



## STANDARDS FOR VARIANCE - ANSWERS

### **Description of Requested Variance:**

The purpose of this project is to resurface an existing terrace, replace the railing system, and extend the current roof line over a portion of the terrace. The existing terrace is constructed of ceramic tiles laid over a rubber roof membrane which is fixed to a wood substrate forming a flat roof over finished basement rooms. The rubber membrane has become compromised and the wood substrate is rotting due to years of environmental exposure. Water is leaking into the basement rooms and, if the wood substrate continues to rot, a safety hazard will develop and the terrace and basement rooms will become unusable. The railing system has to be replaced due to rotting wood posts and terrace/roof fascia and soffit which also presents a safety hazard. The extension of the roof line over a portion of the terrace is intended to provide protections against the environmental elements directed at the northwestern exposure of the home; most notably the flat terrace/roof.

### **1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.**

- The home was built in 1952; the footprint of the home nor the shoreline have changed. The current owners purchased the home on 8/29/2003. The most current, strict zoning/setback ordinances basically prohibit all changes in footprint or "bulk" to the home. Restrictions of this nature were not disclosed by the previous owner or agents at the time of sale.
- The closest setback point is on the west side neighbor's lot but adversely influences all remodeling decisions of the property under consideration. The lakeshore lot line has an irregular shape with the shoreline significantly curving inward as it courses from east to west making the setback at the northwest corner markedly closer than the northeast corner of the lot. This places the property at a significant disadvantage in setback measurements.
- The actual setback at the northwest corner is 54.8 feet as measured from the existing terrace footprint. The new roofline extension will be set 7-8 feet back from the edge of the existing terrace. This additional setback of the roofline was made to minimize the roof extension bulk.
- Due to the orientation of the houses on the adjoining lots, the existing terrace or the proposed roof line extension do not interfere with the neighbor's view. The shoreline has not been adversely affected with the home at this longstanding setback point.
- The northwestern exposure of the home and terrace was protected by a large elm tree which succumbed to Dutch Elm disease about 3 years ago and had to be removed. Since then, the northwestern side of the house and terrace have been negatively impacted by environmental factors which have expedited the issues noted below:
  - The terrace construction forms a flat roof over finished basement rooms. The fully exposed flat roof construction has presented significant maintenance issues in recent years. Water leaks into the basement during heavy rains and ice dams form along the flat roof – exterior wall junctions during the thaw/freeze cycle in winter months.
  - The exposed northwestern corner of the house has been adversely affected by the accumulative exposure to lakeside weather elements. High winds, heavy rains, snow accumulation, and hot sun have caused window sills and door jams to rot and to be replaced, window seals have deteriorated and windows had to be replaced, and exterior wood paneling is deteriorating.

- The exposed northwestern corner of the home also presents significant HVAC challenges. In the summer months, the direct sun hits the first floor windows from approximately 1:00p to 8:00p. High R-Value shades have been purchased but the sun's heat prevails and requires that the air conditioner to work overtime to overcome the intense heat.
- The terrace is covered with ceramic tile pavers which when exposed to prolong heat reach temperatures that burn skin essentially making the terrace unusable on sunny days.

**2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.**

- The project does not increase the existing footprint of the terrace or house. The terrace remodel portion of the project replaces the rotted wood substrate, compromised rubber membrane, cracked terrace surface, and rotted railing system. The roof portion of the project extends the existing roof line of the house over a portion of the terrace to provide safeguards against ongoing deterioration of the northwestern corner of the house and terrace/flat roof minimizing extensive and expensive ongoing maintenance issues and burdensome HVAC costs.
- The roof project takes a minimalistic approach in providing these safeguards. The extension of the existing roof line is supported by 2 non-invasive horizontal beams and 3 vertical beams with no sidewalls. It is constructed in an open-pavilion style common to Madison area parks and lake areas and does not interfere with neighbor's lake views. It is not a covered, screened-in porch common to several recent building and remodel projects on the lake shore. The roof while adding bulk does so minimally and does not encroach on the existing setback point (the closest point is 1 foot greater than the terrace setback).

**3. For an area (setbacks, etc.) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.**

- The home was built prior current setback ordinances. The current homeowners respect those ordinances for their protections as well as their neighbors and are in favor of mitigating any environmental lake/shoreline impact associated with encroaching on the setback. The homeowner supports the additional steps required by the conditional use application and the variance process to prevent extraordinary structural changes in the area. However, as it stands for this outlier property, the footprint of the home within current setback regulations, preclude any external structural changes - even significant structural repairs and appropriate structural safeguards. These limitations are beyond those required by most Madison homeowners. And is particularly unsettling when the project does not change the footprint or impact the setback any more than it has since 1952.
- Without the structural repairs to the terrace/roof portion of the project, the terrace and below-rooms would become unusable. Moreover, without the roof portion of the project, the terrace becomes unusable during the time the sun is overhead until sunset. The homeowner has explored many other options such as umbrellas or awnings but high winds off the lake have ruled those options out. As noted above, the roof extension will help with the home maintenance and HVAC issues with minimal impact.

**4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.**

- The house was built in 1952 and included the terrace – the footprint has not changed from the original design and setback distance has not changed. But, the ordinance has. To date, there have been no issues that would be contemplated by the current setback ordinances – no complaints from neighbors regarding view obstruction or negative shoreline impact. The homeowners worked together to repair shoreline riprap and yard damage after extensive flooding in 2009. Therefore, for this property as it was built and as the project is proposed, the ordinance appears unduly burdensome.
- As noted above, the ordinance requires that the setback be measured from the closest point which is actually on the neighbor's lot. The neighbors or the shoreline are not adversely affected by the project.

**5. The proposed variance shall not create substantial detriment to adjacent property.**

- As noted above, the footprint of the house and terrace will not change. The terrace portion of the project is designed to rebuild the wood and rubber membrane substrate and install a new deck surface. No one has been adversely affected by the current terrace so no one should be adversely affected by the remodel. The roof extension square footage is smaller than the terrace and completely open. The lake view will not be obstructed by the roof extension. The adjacent properties are oriented on their lots at angles to maximize lake views and minimize views of the structures on neighbors' property.

**6. The proposed variance shall be compatible with the character of the immediate neighborhood.**

- The home was designed by William V. Kaeser and built in 1951. The homeowners have gone to great length to preserve the architectural integrity of the home with internal remodeling projects. For this project, the homeowners hired Robert Bouril from Bouril Design with the sole intent to achieve a terrace design that maintained the architectural significance of the home. Hence, the terrace design and footprint remain the same with new materials and the new roof extension follows the original roof lines to create an open pavilion-like cover consistent with the design of the house.
- The roof line will further preserve the original exterior wood paneling, window casings, etc. from further deterioration due to the harsh northwestern exposure.
- While many new construction and remodel projects in the area include enclosed porches, this design is minimalistic and achieves the intended goals without excessive bulk – well within the confines of the existing footprint and does not encroach on the current setback.



## Application Requirements

**Please provide the following Information** (Please note any boxes left unchecked below could result in a processing delay or the Board's denial of your application):

<input checked="" type="checkbox"/>	<b>Pre-application meeting with staff:</b> Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. <b>Incomplete applications could result in referral or denial by the Zoning Board of Appeals.</b>
<input checked="" type="checkbox"/>	<b>Site plan</b> , drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"): <ul style="list-style-type: none"> <li><input type="checkbox"/> Lot lines</li> <li><input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines</li> <li><input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance</li> <li><input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features</li> <li><input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred)</li> <li><input type="checkbox"/> North arrow</li> </ul>
<input checked="" type="checkbox"/>	<b>Elevations</b> from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17")
<input checked="" type="checkbox"/>	<b>Interior floor plan of existing and proposed structure</b> , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	<b>Front yard variance requests only.</b> Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input checked="" type="checkbox"/>	<b>Lakefront setback variance requests only.</b> Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	<b>Variance requests specifically involving slope, grade, or trees.</b> Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

N/A

N/A

**Owner's Signature:** Chauncey J. Decker **Date:** 5/18/16

----- (Do not write below this line/For Office Use Only) -----

### DECISION

The Board, in accordance with its findings of fact, hereby determines that the requested variance for \_\_\_\_\_ **(is) (is not)** in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.

**The Zoning Board of Appeals:**     **Approved**         **Denied**         **Conditionally Approved**

**Zoning Board of Appeals Chair:**

**Date:**

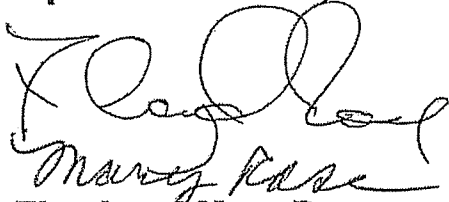
**17 May, 2016**

**Zoning Board of Appeals  
City of Madison**

**To whom it may concern:**

**We, the residents of the property next to 3030 Waunona Way, have reviewed the architectural drawings and renderings for the project at 3030 Waunona Way which includes resurfacing of the existing terrace, replacing the railing system, and extending the current roof line over a portion of the terrace.**

**Upon that review, we have no objections to the project.**

Handwritten signature in cursive script, appearing to read "Floyd and Mary Rose".

**Floyd and Mary Rose  
3024 Waunona Way  
Madison, WI 53713**

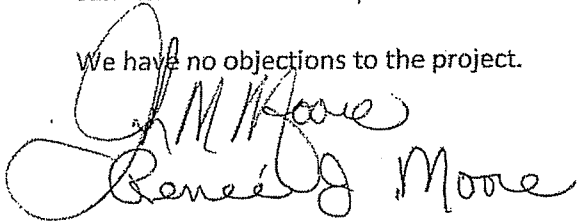
May 17, 2016

Zoning Board of Appeals  
City of Madison

To whom it may concern:

We have reviewed the architectural drawings and renderings for the project at 3030 Waunona Way. The project includes resurfacing of the existing terrace, replacing the railing system, and extending the current roof line over a portion of the terrace.

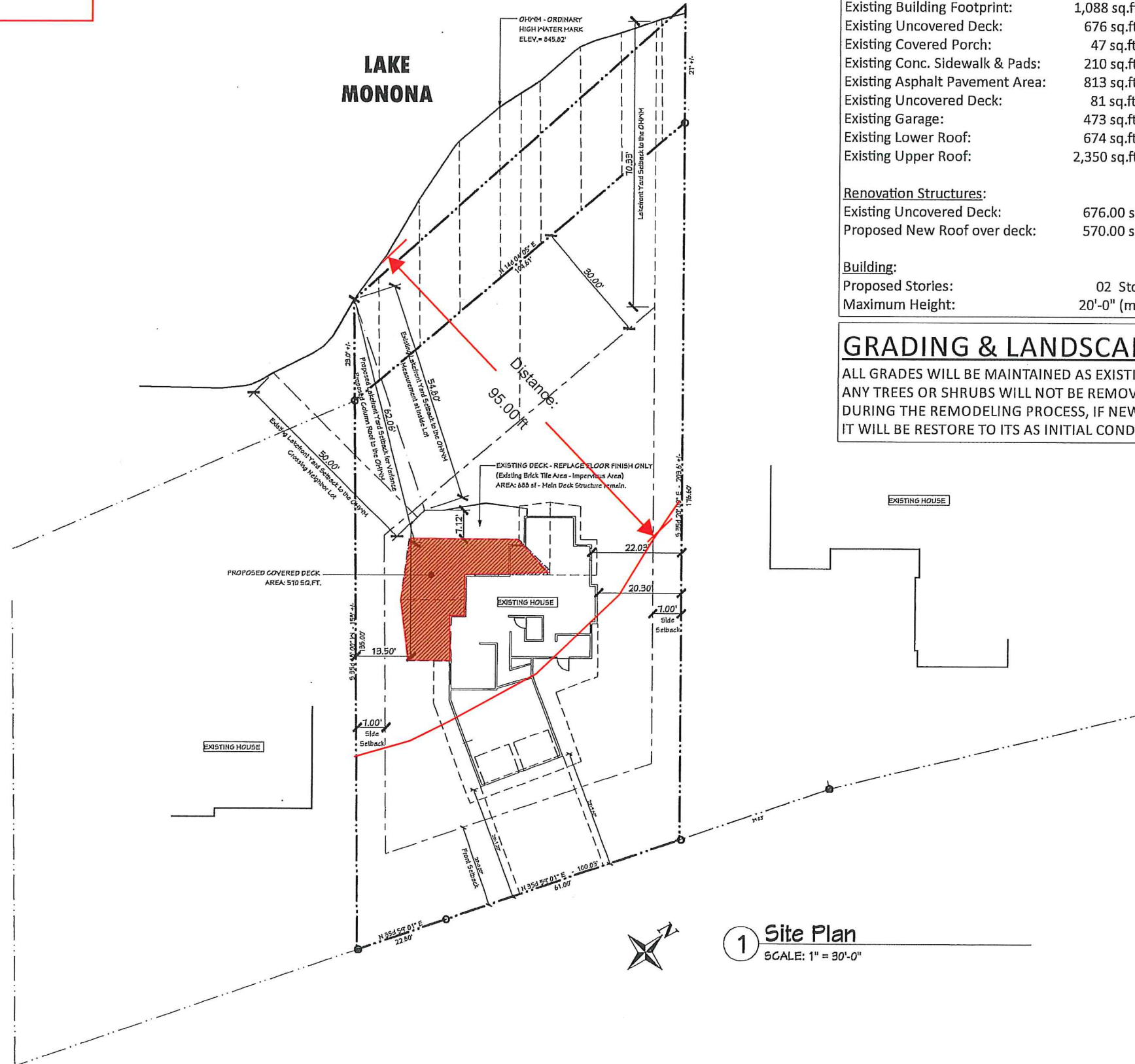
We have no objections to the project.

Handwritten signatures of John and Renee Moore. The signature for John Moore is written above the signature for Renee Moore. Both signatures are in cursive and are written in black ink.

John and Renee Moore  
3032 Waunona Way  
Madison, WI 53713

Two-story single-family home  
 Construct porch roof atop existing  
 open deck at second-story level  
 Lakefront setback variance

95' required  
 51.5' provided  
 43.5' variance



### SITE PLAN SUMMARY

Lot Area:	12,422 sq.ft. = 0.28 Acres (To Meaner Line)
Lot Coverage:	3,307 sq.ft./ 12,422 sq.ft. = 26.62% - Less than 50% (Sidewalk & Pavement are included)
Existing Impervious Area/ Ratio:	3,723 sq.ft./ 12,422 sq.ft. = 29.97%
Existing Building Footprint:	1,088 sq.ft. (First Flr Level - Gross Area)
Existing Uncovered Deck:	676 sq.ft. (First Flr Level - Tiled Finished)
Existing Covered Porch:	47 sq.ft.
Existing Conc. Sidewalk & Pads:	210 sq.ft. (Main Level)
Existing Asphalt Pavement Area:	813 sq.ft. (New Driveway Area - Shaded)
Existing Uncovered Deck:	81 sq.ft. (Less than 36" above ground - Open deck joint)
Existing Garage:	473 sq.ft.
Existing Lower Roof:	674 sq.ft.
Existing Upper Roof:	2,350 sq.ft.
<b>Renovation Structures:</b>	
Existing Uncovered Deck:	676.00 sq.ft. (At First Flr Level - Replacing floor finish)
Proposed New Roof over deck:	570.00 sq.ft. (At First Flr Level)
<b>Building:</b>	
Proposed Stories:	02 Stories (After infill depressed actual garage area)
Maximum Height:	20'-0" (measured from 1st FIN. FLR. to Ridge Line)

### GRADING & LANDSCAPING NOTES:

ALL GRADES WILL BE MAINTAINED AS EXISTING.  
 ANY TREES OR SHRUBS WILL NOT BE REMOVED.  
 DURING THE REMODELING PROCESS, IF NEW WORK PRODUCE A DISTURBED AREA;  
 IT WILL BE RESTORE TO ITS AS INITIAL CONDITIONS.

1 Site Plan  
 SCALE: 1" = 30'-0"

The design represented by these drawings is the sole property of Bouril Design Studio, LLC. These drawings, regardless of media or format, may not be copied or reproduced without the written consent of Bouril Design Studio, LLC, at Madison, Wisconsin.

**VARIANCE APPLICATION**  
 Lakefront Yard Setback

Bouril Design Studio, LLC  
 8242 Odessa Road Suite 2, Madison, WI 53718  
 608-303-0400 www.bourilstudio.com

House Alteration - Covered Porch  
**Chauncey Hunker**  
 3030 Maunona Way, Madison WI 53713 - Dane County

revision index		
#	date	reference

project: 15056  
 date: 5/14/2016  
 drawn by: ja

SW1

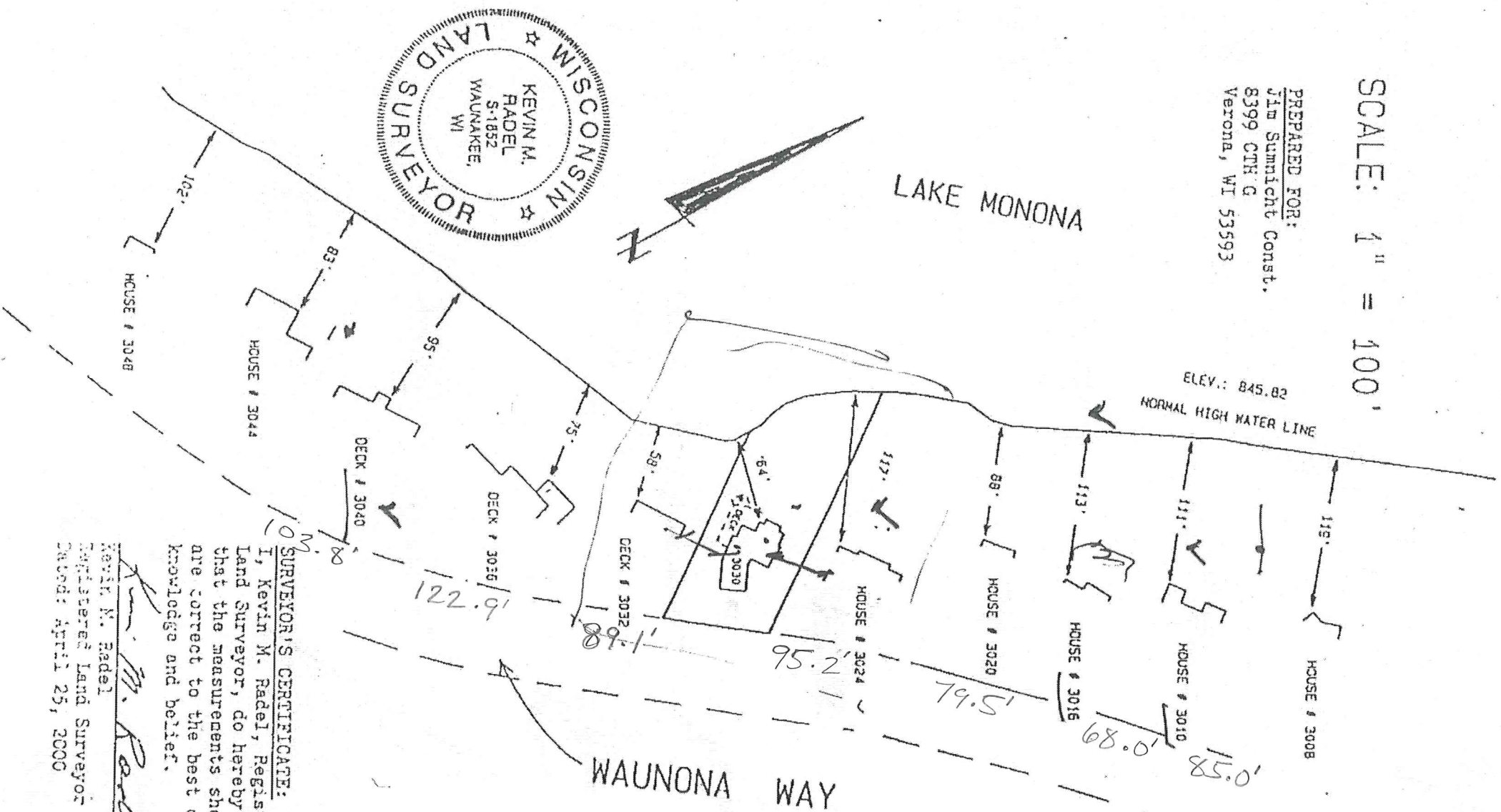
# PLOT PLAN

PREPARED BY  
**ARROW** Land Surveying  
 507 W. Main Street • P.O. Box 151 • Waunakee, WI 53597  
 Phone: (608) 849-8116 • FAX: (608) 849-8115

3010 Waunona Way ~ 111'  
 3016 Waunona Way ~ 113'  
 3020 Waunona Way ~ 88'  
 3024 Waunona Way ~ 117'  
 3032 Waunona Way ~ 58'  
 3036 Waunona Way ~ 75'  
 3040 Waunona Way ~ 95'

SCALE: 1" = 100'

PREPARED FOR:  
 Jim Sumnicht Const.  
 8399 CTH G  
 Verona, WI 53593



Lake front  
 setback

58'  
 75'  
 88'  
 95.1'  
 111'  
 113'  
 117'



**SURVEYOR'S CERTIFICATE:**  
 I, Kevin M. Radel, Registered  
 Land Surveyor, do hereby certify  
 that the measurements shown hereon,  
 are correct to the best of my  
 knowledge and belief.

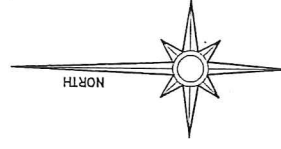
*Kevin M. Radel*  
 Kevin M. Radel  
 Registered Land Surveyor S-1852  
 Dated: April 25, 2000



PLAT OF SURVEY  
WALKER SURVEYING INC.  
5964 LINDA CT. MAZOMANIE WI. 53560

LOCATED IN THE SE 1/4 OF THE SE 1/4, SECTION 25, T07N, R09E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

FULL DESCRIPTION WARRANTY DEED  
DOCUMENT #3815772

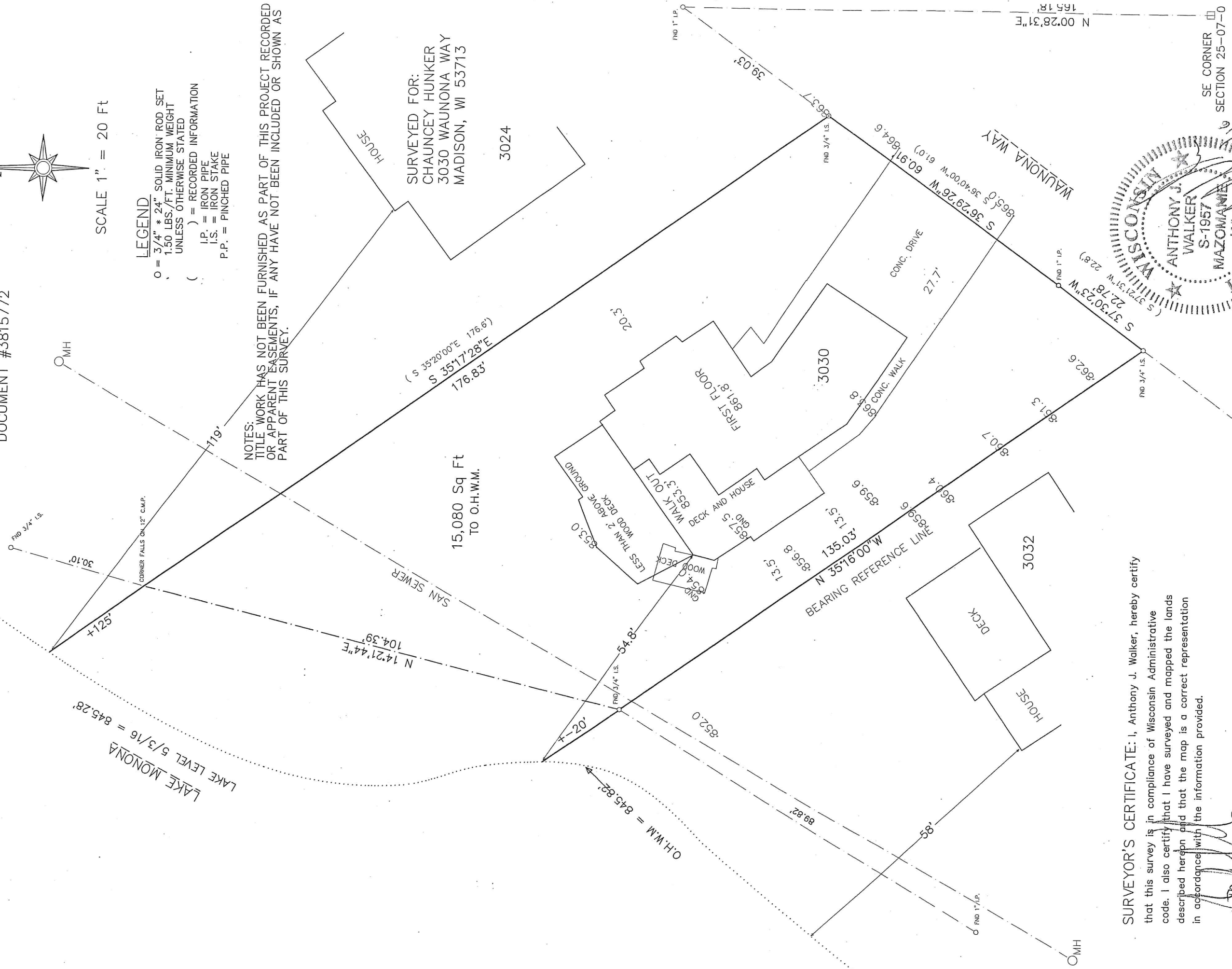


SCALE 1" = 20 Ft

LEGEND

- = 3/4" \* 24" SOLID IRON ROD SET  
1.50 LBS./FT. MINIMUM WEIGHT  
UNLESS OTHERWISE STATED
- ( ) = RECORDED INFORMATION
- IP. = IRON PIPE
- I.S. = IRON STAKE
- P.P. = PINCHED PIPE

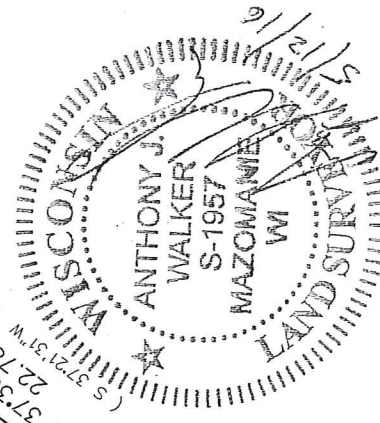
NOTES:  
TITLE WORK HAS NOT BEEN FURNISHED AS PART OF THIS PROJECT RECORDED OR APPARENT EASEMENTS, IF ANY HAVE NOT BEEN INCLUDED OR SHOWN AS PART OF THIS SURVEY.



SURVEYOR'S CERTIFICATE: I, Anthony J. Walker, hereby certify that this survey is in compliance of Wisconsin Administrative code. I also certify that I have surveyed and mapped the lands described hereon and that the map is a correct representation in accordance with the information provided.

*Anthony J. Walker*  
Anthony J. Walker RLS 1957

DATED THIS 12<sup>TH</sup> DAY OF MAY, 2016



SE CORNER  
SECTION 25-07-0









6 Exterior Perspectives  
SCALE: NTS



5 Exterior Perspectives  
SCALE: NTS



4 Exterior Perspectives  
SCALE: NTS



3 Exterior Perspectives  
SCALE: NTS



2 Exterior Perspectives  
SCALE: NTS



1 Exterior Perspectives  
SCALE: NTS

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**VARIANCE APPLICATION**  
Lakefront Yard Setback

Bouril Design Studio, LLC  
6425 Odana Road Suite 2, Madison, WI 53719  
608-833-3400 www.bourilstudio.com



House Alteration - Covered Porch  
**Chancey Hunker**  
3030 Waunona Way, Madison WI 53713 - Dane County

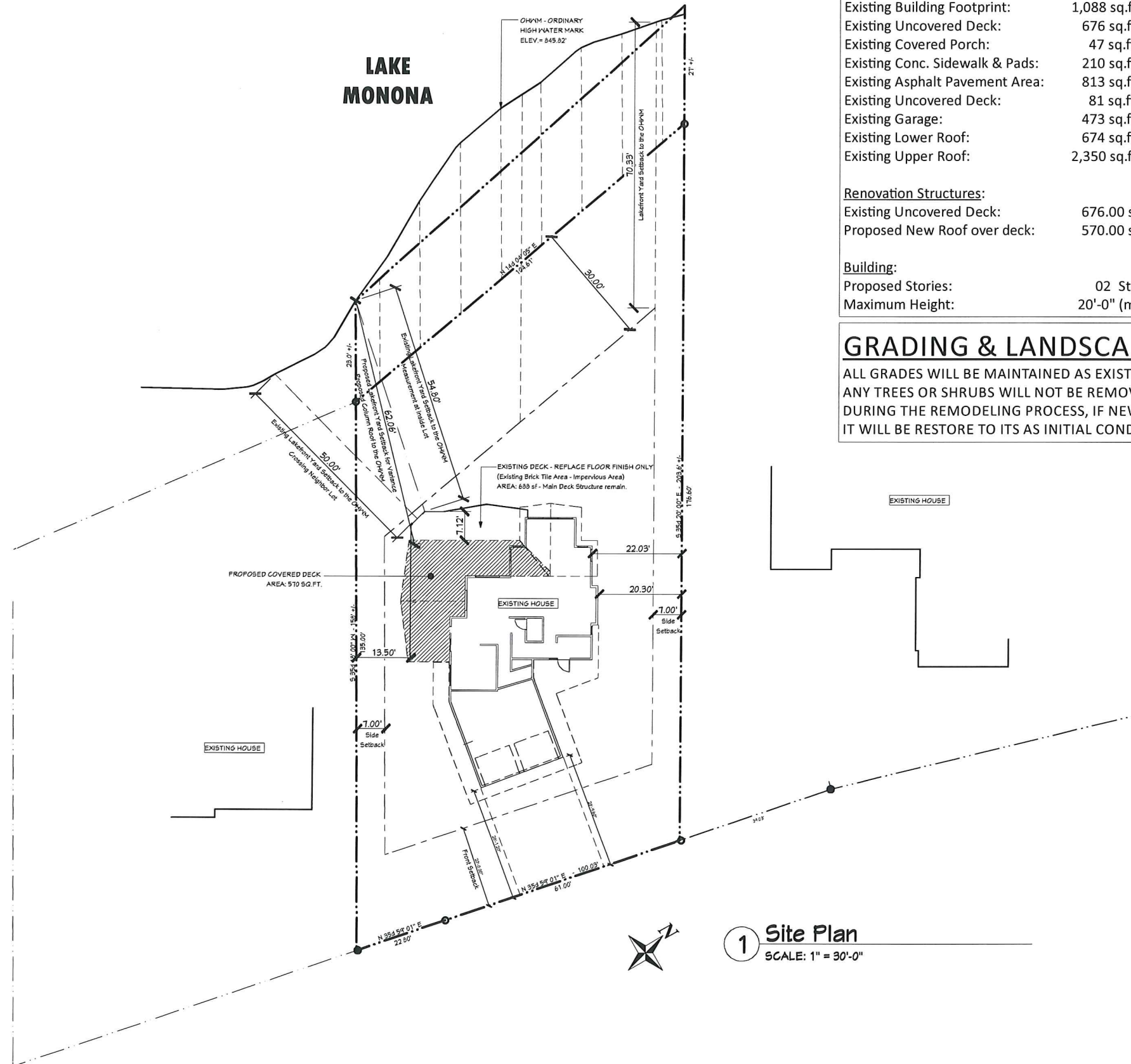
revision index		
#	date	reference

project: 15056  
date: 5/19/2016  
drawn by: ja

T2



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1 Site Plan  
SCALE: 1" = 30'-0"

### SITE PLAN SUMMARY

Lot Area:	12,422 sq.ft. = 0.28 Acres (To Meaner Line)
Lot Coverage:	3,307 sq.ft./ 12,422 sq.ft. = 26.62% - Less than 50% (Sidewalk & Pavement are included)
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Existing Lower Roof:	674 sq.ft.
Existing Upper Roof:	2,350 sq.ft.
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Lakefront Yard Setback

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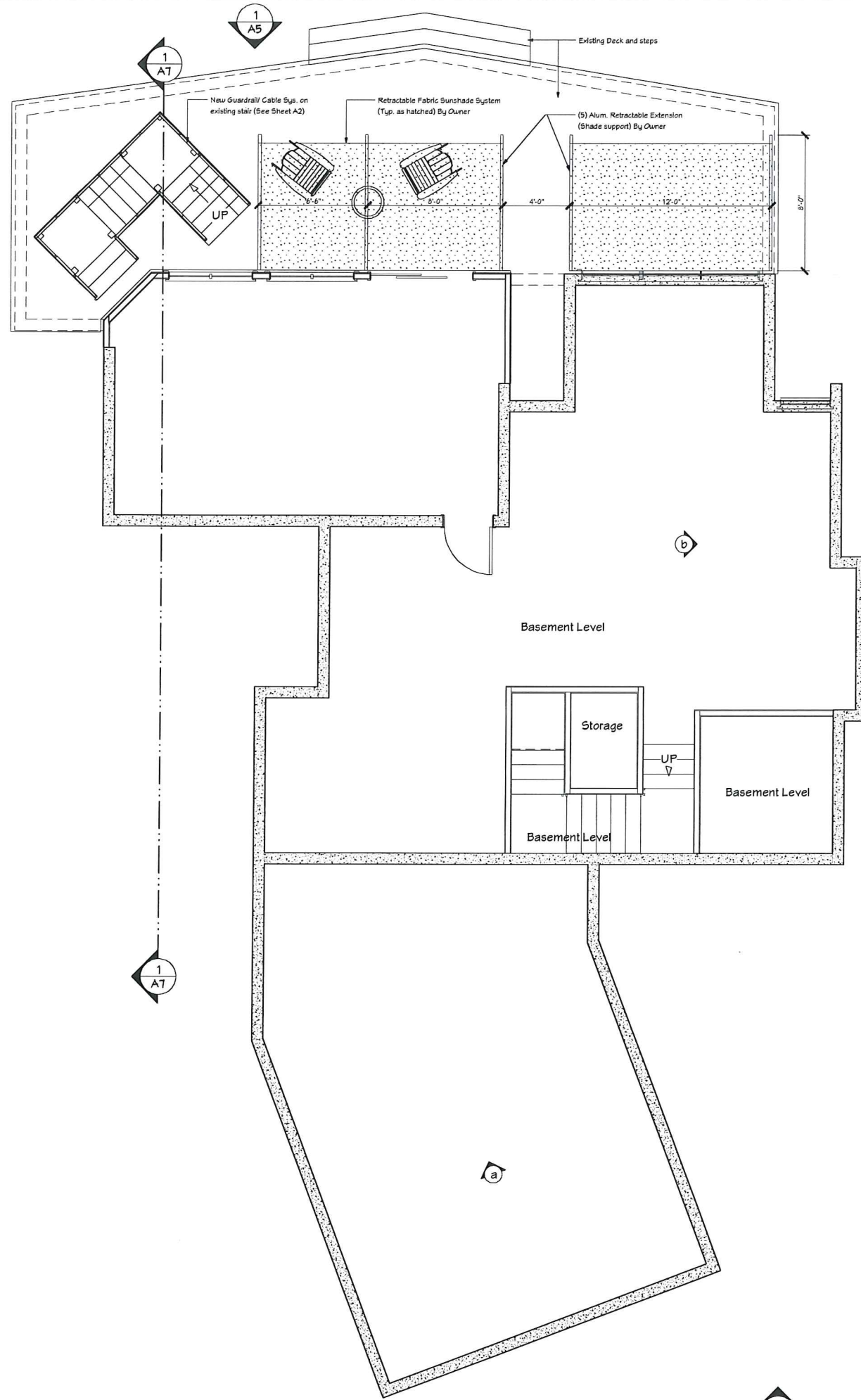
House Alteration - Covered Porch  
**Chauncey Hunker**  
 3030 Waunona Way, Madison WI 53713 - Dane County

revision Index		
#	date	reference

project: 15056  
 date: 5/19/2016  
 drawn by: ja

**SW1**

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Notes:  
 1- New All lighting fixtures are not shown in plans. (type & locations TBD later w/ owner).  
 2- New exterior colors TBD later.  
 3- New Stair concept is in progress

**1** Ground Floor Plan  
 SCALE: 1/4" = 1'-0"

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**VARIANCE APPLICATION**  
 Lakefront Yard Setback

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 6425 Odana Road Suite 2, Madison, WI 53719  
 608-833-3400 www.bourilstudio.com

**House Alteration - Covered Porch**  
**Chauncey Hunter**  
 3030 Waunona Way, Madison WI 53713 - Dane County

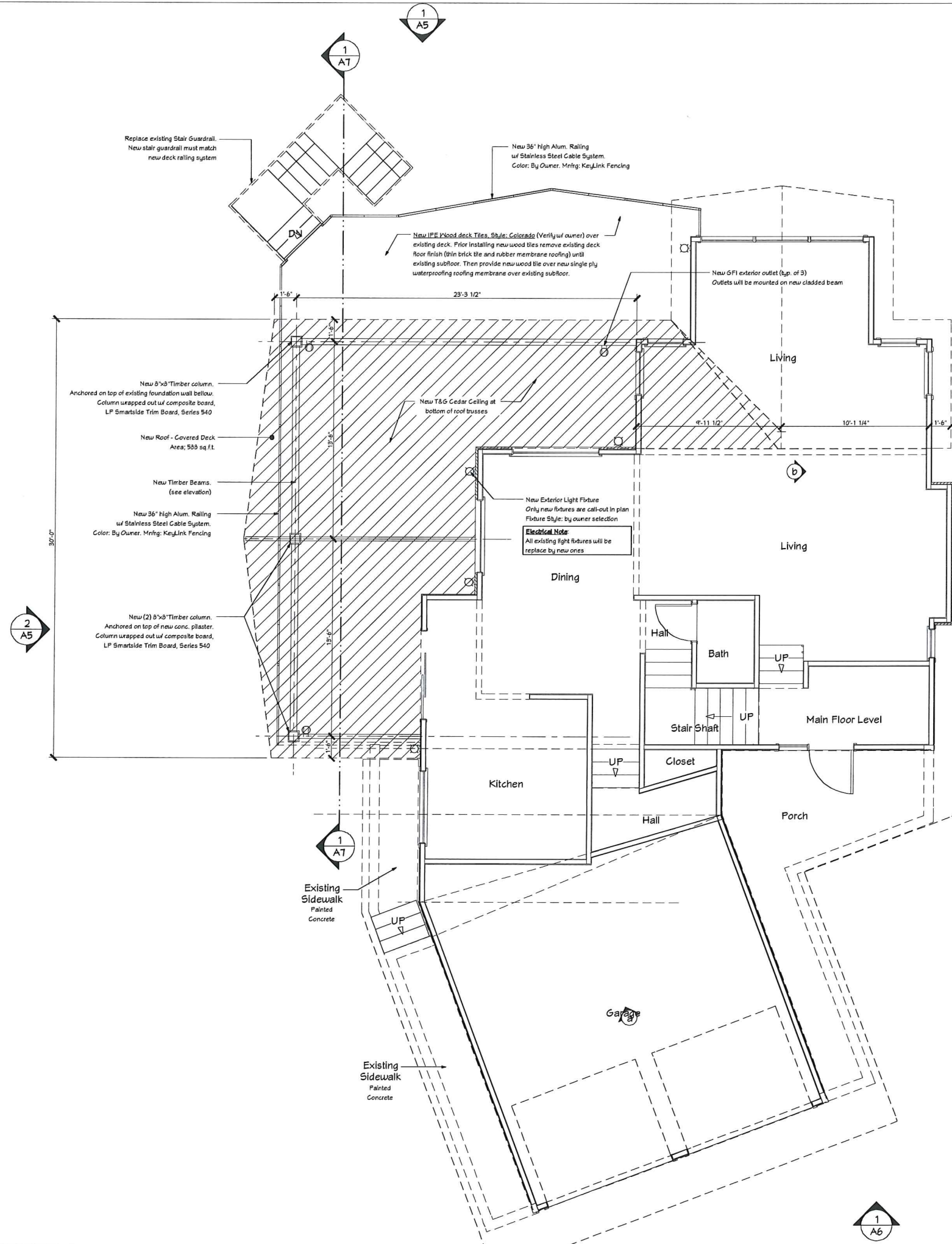
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#	date	reference

project: 15056  
 date: 5/19/2016  
 drawn by: ja

**A1**



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**Notes:**  
 1- New All lighting fixtures are not shown in plans (type & locations TBD later w/ owner).  
 2- New exterior colors TBD later.  
 3- New Stair concept is in progress.

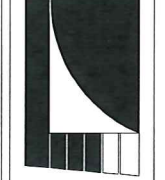
**Electrical Note:**  
 All existing light fixtures will be replaced by new ones.

**1 First Floor Plan**  
 SCALE: 1/4" = 1'-0"

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**VARIANCE APPLICATION**  
 Lakefront Yard Setback

**Bourill Design Studio, LLC**  
 6425 Odane Road Suite 2, Madison, WI 53719  
 608-833-3400 www.bourilldesign.com



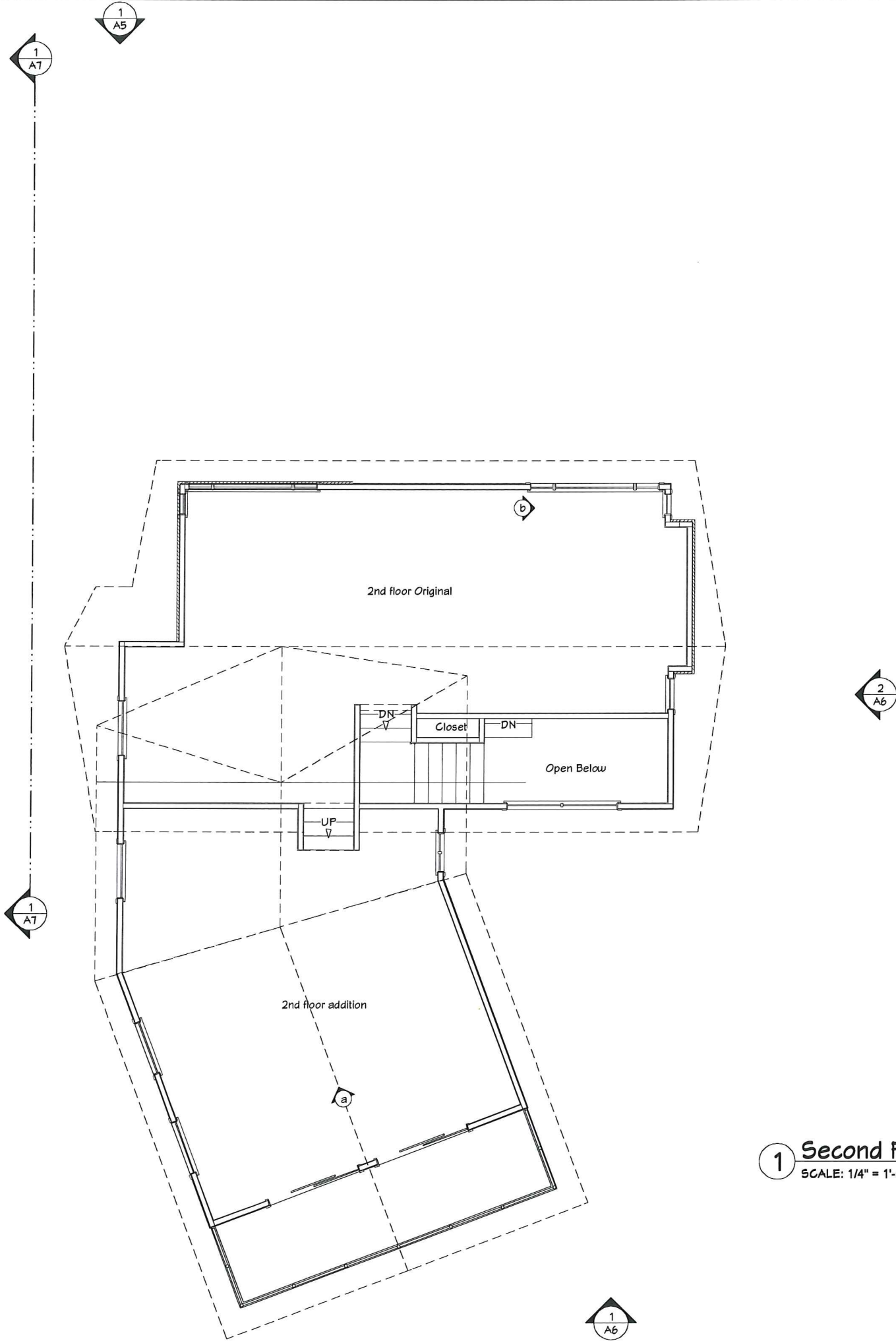
**House Alteration - Covered Porch**  
**Chauncey Hunner**  
 3030 Waunona Way, Madison WI 53713 - Dane County

revision index		
#	date	reference

project: 15056  
 date: 5/19/2016  
 drawn by: ja

**A2**

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**1 Second Floor Plan**  
SCALE: 1/4" = 1'-0"

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**VARIANCE APPLICATION**  
Lakefront Yard Setback

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608-833-3400 www.bourilstudio.com



**House Alteration - Covered Porch**  
**Chauncey Hunker**  
3030 Waunona Way, Madison WI 53713 - Dane County

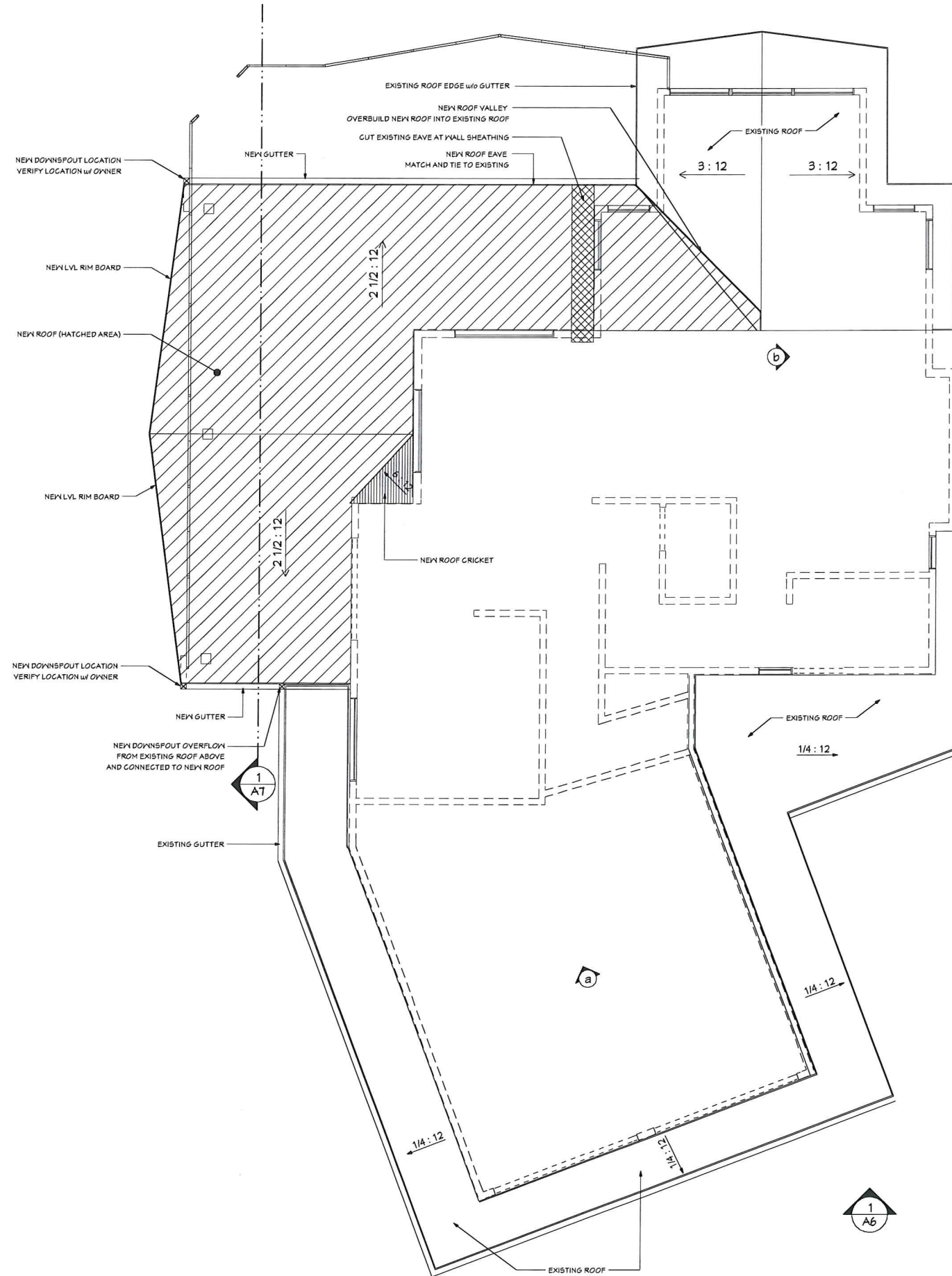
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project: 15056  
date: 5/19/2016  
drawn by: ja

**A3**



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- ### Roof Plan Notes
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
  - Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, vents, and stacks) along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch, and other vertical surfaces; over the entire surface of any roof, crickets, or over-build with a slope less than 3:12. All areas not covered by waterproof membrane will be covered with 30# roofing felt applied horizontally from eave to ridge.
  - Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents, and stacks; along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch, and other vertical surfaces; over the entire surface of any roof, crickets, or over-build with a slope less than 3:12. All areas not covered by waterproof membrane will be covered with 30# roofing felt applied horizontally from eave to ridge.
  - Install hip and ridge exhaust vents along all vented attic (cold roof) spaces. Vent intake will be accomplished with perforated soffit at all under-eave areas open to the vented attic space. Roof overbuild areas should not be sheathed beneath the overbuild framing to maintain free air flow throughout the attic volume.
  - Gutters, downspouts, and leaders shall be roll-formed from 0.032" aluminum coil stock in a color to match the eave fascia. Gutter lengths shall be seamless; profile shall be selected by the Owner, but shall provide 20sqin (min) of net cross-sectional area and shall have a depth to width ratio of not less than 1.25 (eg a 4" deep x 5" high U-shaped gutter satisfies this requirement). All gutters shall receive a fully covered leaf guard system selected by the Owner. Downspouts and leaders shall be a 4"x3" rectangular profile. Downspouts which discharge to a leader at grade shall be provided with a decorative aggregate concrete splash block at the leader termination. Downspouts which discharge to a drain receptor shall terminate into a 4x3x4 PVC offset downspout the adaptor mated to a buried 4" SDR35 drain pipe receiver. Buried drain pipe shall slope at 1/4:12 and drain to daylight; all pipe fittings shall be permanently welded or use gaskets; all bends shall be 45 degrees or less.

**1 Roof Plan**  
SCALE: 1/4" = 1'-0"

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**VARIANCE APPLICATION**  
Lakefront Yard Setback

**Bouril Design Studio, LLC**  
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608-833-3400 www.bourilstudio.com

**House Alteration - Covered Porch**  
**Chauncey Hunker**  
3030 Waunona Way, Madison WI 53713 - Dane County

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#	date	reference

project: 15056  
date: 5/11/2016  
drawn by: ja

**A4**

Exterior Elevation Notes	
1. All final material selections, colors, finishes, and other options to be coordinated with the Owner.	
Exterior Feature and Material Key	
1.	Shingles: CertainTeed Designer Landmark asphalt roof shingles.
2.	Eave fascia: LVL Rim Board wrapped w/ composite trim board. Paint to match existing.
3.	Gutter: color to match eave fascia.
4.	Beam wrapped w/ composite trim board. Finish: Painted. Color: TBD
5.	Column wrapped w/ composite trim board. Finish: Painted. Color: TBD
6.	New overflow gutter
7.	New 36" Guardrail/ Stainless Steel Cable System (Upper Deck & Stairs)
8.	Mfr: Kay Link Fencing or similar. Section size per Mfr. specs. See Sheet AT for details
9.	Concrete Pilaster
10.	(2) Retractable Sunshades Awnings (Lower Deck Area)
11.	6" Composite Trim Board (Shadow Board - Typ.)

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**VARIANCE APPLICATION**  
Lakefront Yard Setback

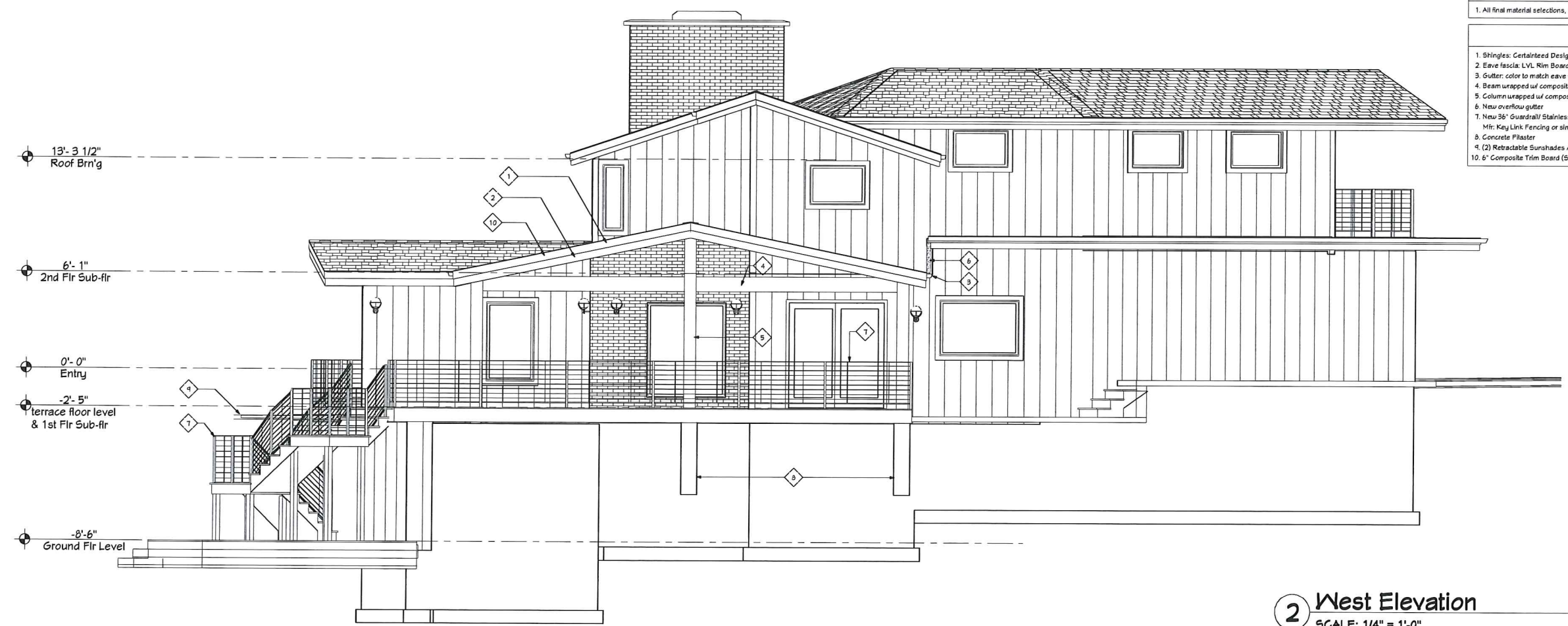
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#	date	reference

project: 15056  
date: 5/14/2016  
drawn by: ja

**A5**

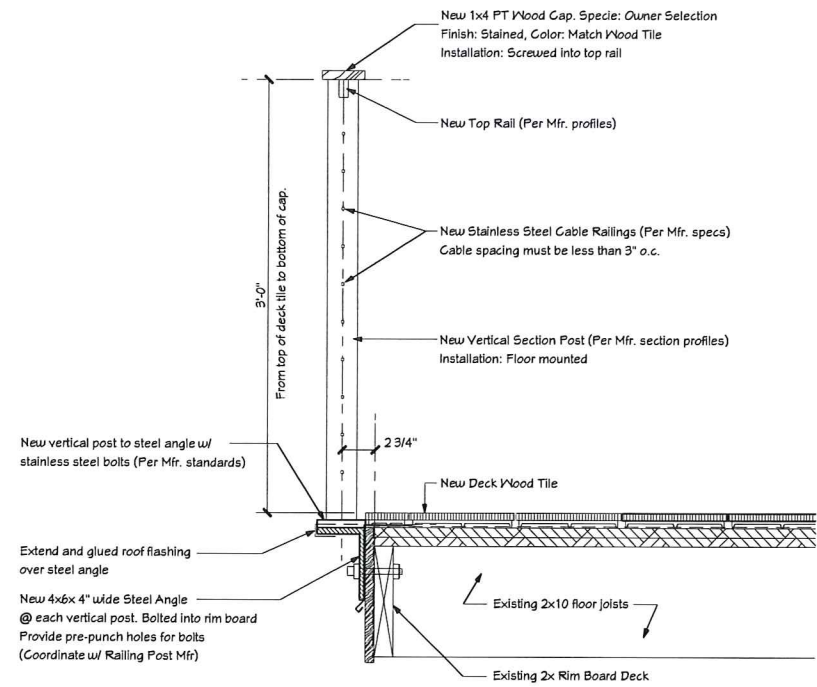


**2 West Elevation**  
SCALE: 1/4" = 1'-0"

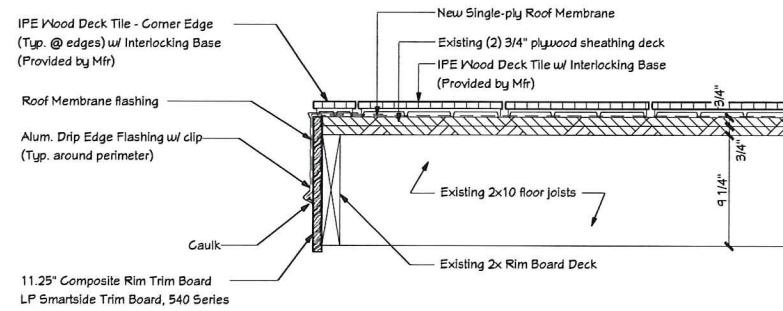


**1 North Elevation**  
SCALE: 1/4" = 1'-0"

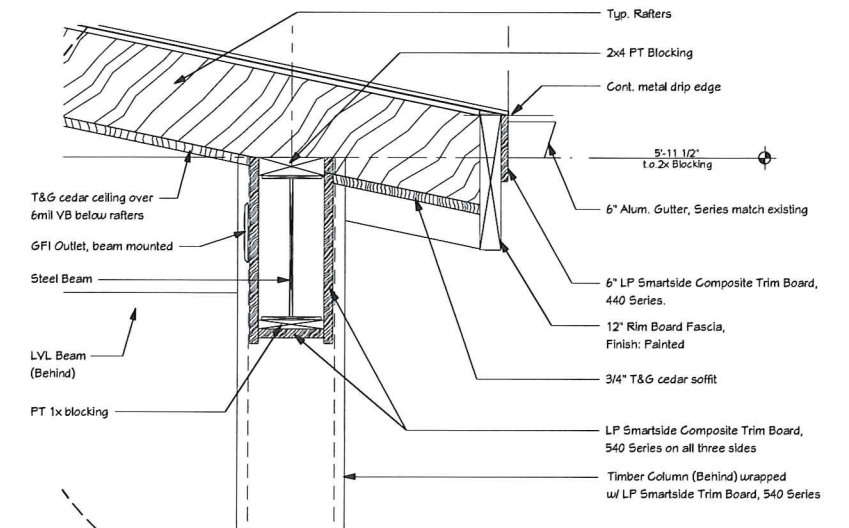




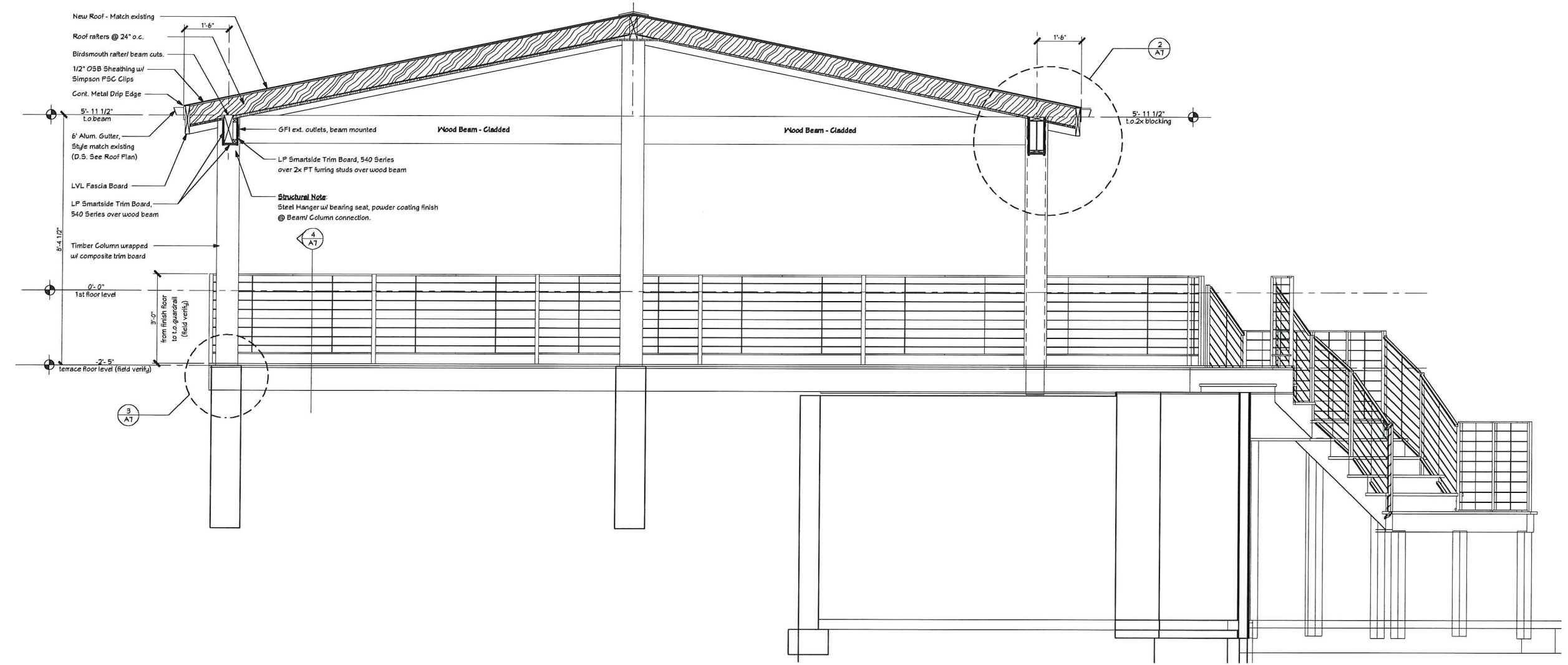
**4 Guardrail Detail**  
SCALE: 1-1/2" = 1'-0"



**3 Wood Deck Detail**  
SCALE: 1-1/2" = 1'-0"



**2 Beam Box-out Detail**  
SCALE: 1-1/2" = 1'-0"



**1 Building Section Profile**  
SCALE: 1/2" = 1'-0"

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**A7**