

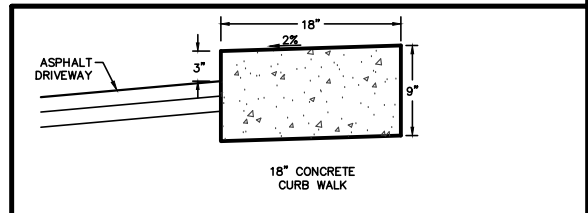
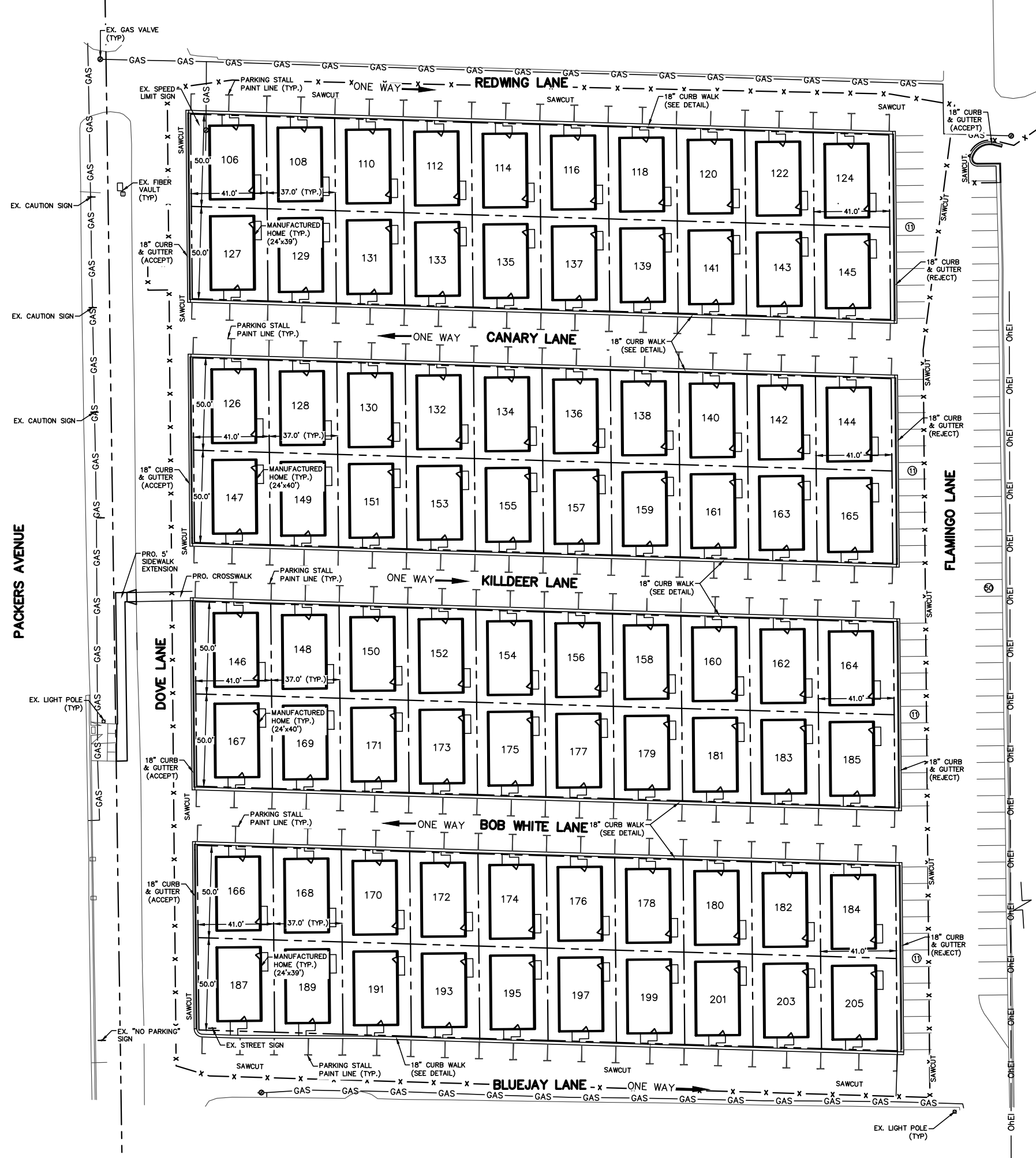
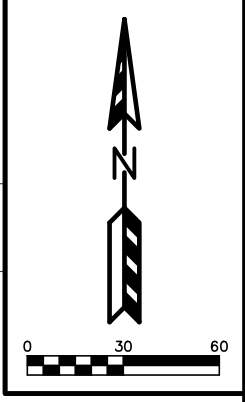
LEGEND FOR COMMON LINES:

- 964 --- EXISTING MINOR CONTOUR
- 965 --- EXISTING MAJOR CONTOUR
- --- PROPERTY LINE
- WAT --- EXISTING BURIED WATER MAIN/SERVICE (DIGITIZED FROM GIS DATA, CONTRACTOR TO CONFIRM)
- SAN --- EXISTING BURIED SANITARY SEWER/LATERAL (DIGITIZED FROM GIS DATA, CONTRACTOR TO CONFIRM)
- GAS --- EXISTING BURIED GAS LINE
- BuFO --- EXISTING BURIED FIBER OPTIC LINE
- OHEI --- EXISTING OVERHEAD ELECTRIC LINE

EXISTING UTILITY NOTES:
EXISTING UTILITIES SHOWN HEREON WERE REQUESTED THROUGH DIGGERS HOTLINE WITH TICKET #2023465578 AND WERE MARKED BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED NOVEMBER 20, 2023

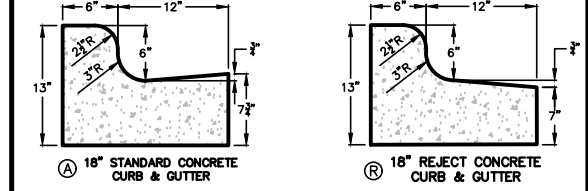
OAK PARK MANUFACTURED HOMES
EXISTING SITE & REMOVALS PLAN
SHEET: C-1
DATED: MAY 27, 2024

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggekkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



CONCRETE CURB NOTES:

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE OF ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED 4" CRUSHED STONE.



18" CONCRETE CURB DETAILS
(city of madison 3.08 type g and type d)

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---	965	EXISTING MAJOR CONTOUR
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---	OHEI	EXISTING OVERHEAD ELECTRIC LINE

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OAK PARK MANUFACTURED HOMES
SITE PLAN
SHEET: C-2
DATED: MAY 27, 2024

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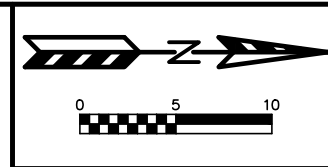
LEGEND FOR COMMON LINES:

964	- EXISTING MINOR CONTOUR
965	- EXISTING MAJOR CONTOUR
---	- PROPERTY LINE
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---	- EXISTING BURIED GAS LINE
---	- EXISTING BURIED FIBER OPTIC LINE
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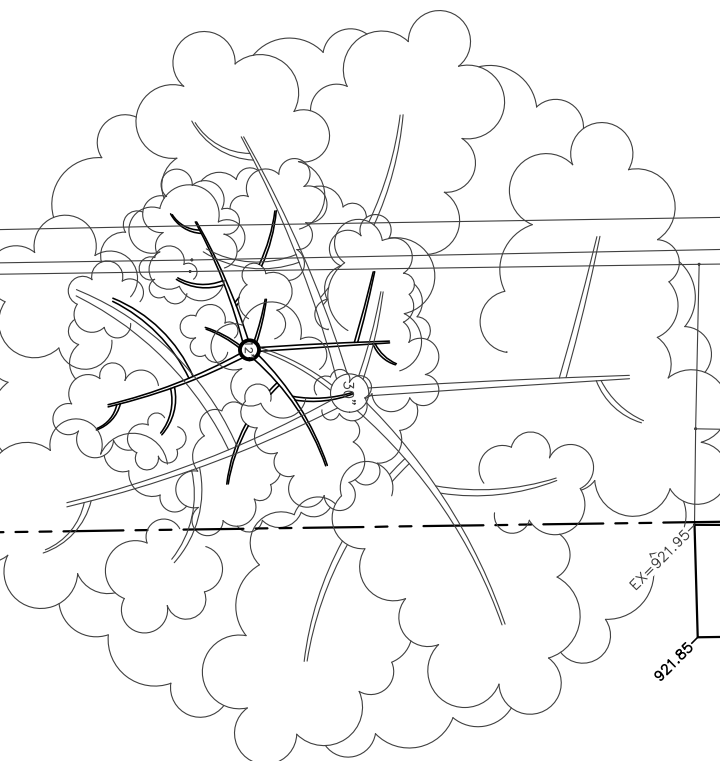
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OAK PARK MANUFACTURED HOMES
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-3
 DATED: MAY 27, 2024

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PACKERS AVENUE



EX. HANDICAP RAMP w/ WARNING DETECTION PAD

END OF 30" CURB & GUTTER

EX. EDGE OF PAVEMENT

EX. BOC=922.04

EX. END OF TAPER=921.46

EX. EOP=921.47

EX. LAWN

EX. EOP=921.15

EX. EOP=920.92

EX. EOP=920.89

EX. LIGHT POLE (TYP)

EX=921.90

EX=921.81

5' CONC. SIDEWALK

EX=921.95

921.85

921.77

920.90

920.10

919.05

919.15

EX. EOP=919.41

EX. EOP=919.31

EX. EOP=919.12

EX. EOP=918.96

EX. EOP=918.92

EX. EOP=918.80

EX. EOP=918.68

EX. EOP=918.61

EX. EOP=918.59

EX. EOP=918.56

DOVE LANE

BOB WHITE LANE

KILLDEER LANE

918.35

917.62

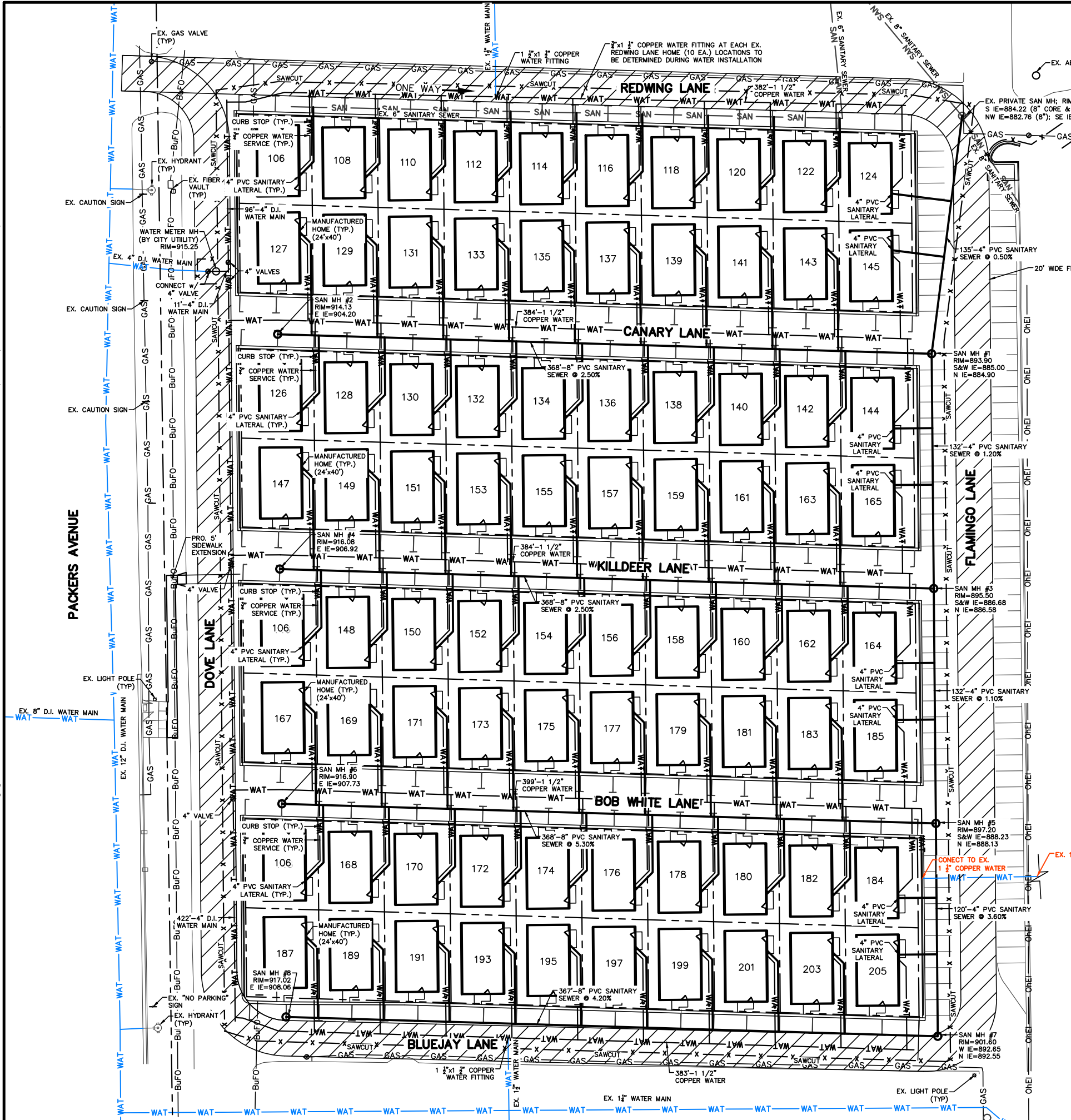
917.57

167

106

OAK PARK MANUFACTURED HOMES
 SIDEWALK IMPROVEMENTS PLAN
 SHEET: C-3.1
 DATED: MAY 27, 2024

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OAK PARK MANUFACTURED HOMES
UTILITY PLAN
SHEET: C-4
DATED: MAY 27, 2024

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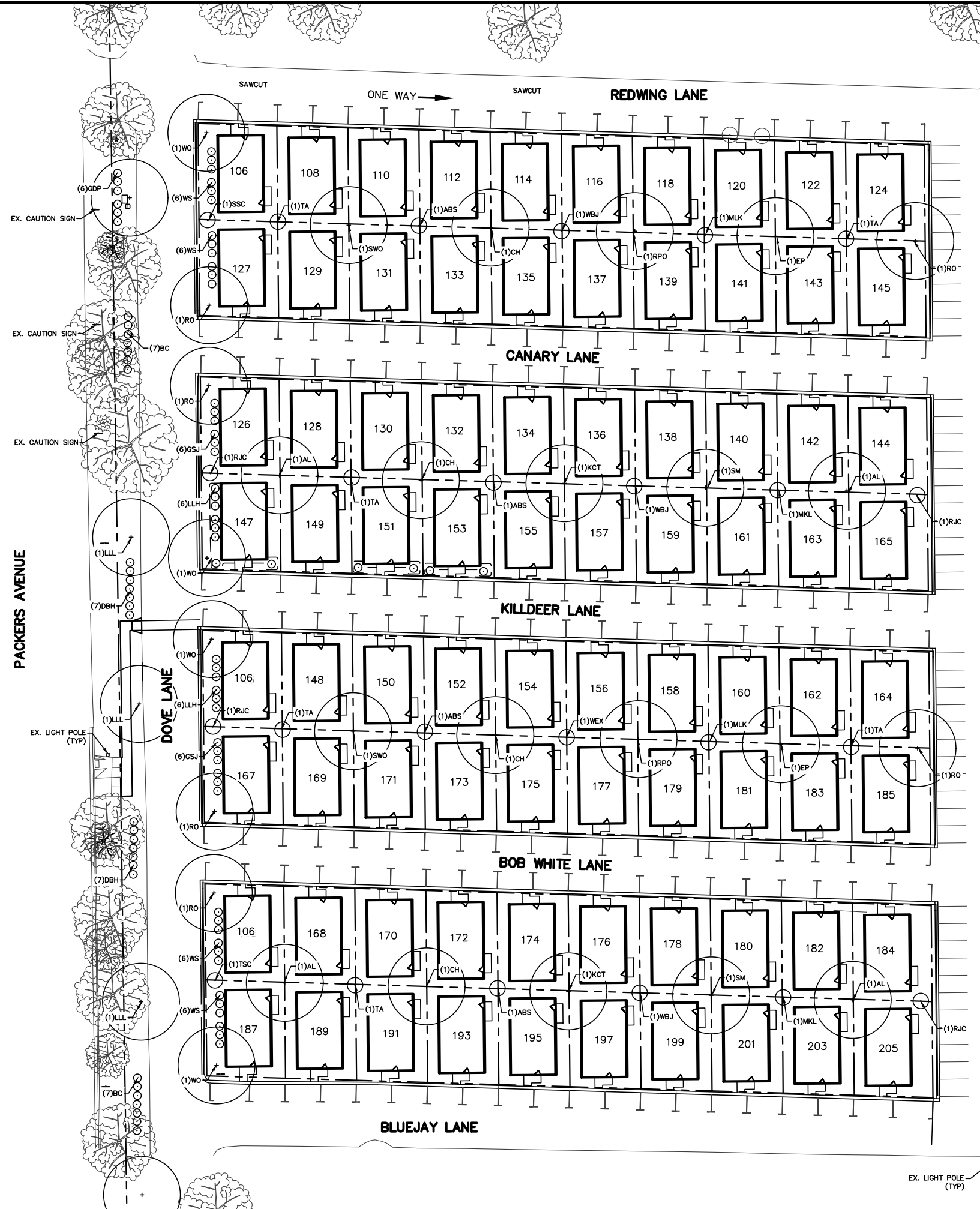
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OAK PARK MANUFACTURED HOMES
POND AND DITCHING PLAN
 SHEET: C-5
 DATED: MAY 27, 2024

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STREET TREE LIST

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
EP	(22)	4"	Street Trees		
HL	1	4"	Exclamation Planetree	Platanus Acerifolia	EX
ISLT	9	12"	Honey Locust	Gleditsia Tricarinata	EX
LLS	2	4"	(Ivory Silk) Tree Lilac?	Syringa Reticulata	EX
LLL	10	4"	Little Leaf Linden	Tilia Cordata	EX

CITY STREET TREE NOTES:
 All proposed street tree removals within the right of way shall be reviewed by city forestry before the plan commission meeting. Street tree removals require approval and a tree removal permit issued by city forestry. Any street tree removals requested after the development plan is approved by the plan commission or the board of public works and city forestry will require a minimum of a 72-hour review period which shall include the notification of the alderperson within whose district is affected by the street tree removal(s) prior to a tree removal permit being issued.
 Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree. This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to city forestry at (608) 266-4816. Penalties and remediation shall be required.
 As defined by the section 107.13 of City of Madison standard specifications for public works construction: no excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 5 inches in diameter. If excavation is necessary, the contractor shall contact Madison city forestry at (608) 266-4816 prior to excavation. City of Madison forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/specs.cfm>
 Section 107.13(g) of City of Madison standard specifications for public works construction (website: <https://www.cityofmadison.com/business/pw/specs.cfm>) addresses soil compaction near street trees and shall be followed by contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.
 On this project, street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
 Street tree pruning shall be coordinated with city forestry at a minimum of two weeks prior to the start of construction for this project. Contact city forestry at (608)266-4816. All pruning shall follow the american national standards institute (ansi) a300 - part 1 standards for pruning.
 Contractor shall contact city forestry at (608) 266-4816 to schedule inspection and approval of nursery tree stock and review planting specifications with the landscaper at least one week prior to street tree planting.

PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
AL	(289)	2 1/2"	Canopy Trees		
CCM	4	18"	American Linden	Tilia Americana	BB
CH	3	16"	Existing Crimson King Maple	Acer P 'Crimson King'	EX
CH	12	2 1/2"	Common Hackberry	Celtis Occidentalis	BB
EMA	1	8"	Existing European Mt Ash	Sorbus Aucuparia	BB
EP	5	2 1/2"	Exclamation Planetree	Platanus Acerifolia	EX
KCT	6	2 1/2"	Espresso Kentucky Coffeetree	Gymnocladus D 'Espresso'	BB
LLL	3	2 1/2"	Little Leaf Linden	Tilia Cordata	BB
O	51	12"+	Existing White Oak	Quercus alba	EX
RO	18	2 1/2"	Red Oak	Quercus Rubrum	BB
RPO	2	2 1/2"	Regal Prince Oak	Quercus Robur	BB
SIM	2	2 1/2"	Sugar Maple	Acer Saccharum	BB
SM	161	12"+	Existing Silver Maple	Acer Saccharinum	EX
SWO	2	2 1/2"	Swamp White Oak	Quercus Bicolor	BB
WB	5	12"+	Existing White Birch	Betula Papyrifera	EX
WO	4	2 1/2"	White Oak	Quercus Alba	BB

- 1) New lawn areas and existing lawn areas disturbed by construction to receive a minimum of 4" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw mulch.
- 2) Designated planting beds to be mulched with shredded hardwood bark mulch spread to a depth of 3".
- 3) Individual trees, and shrub groupings in lawn areas to receive shredded hardwood bark mulch planting rings (4' diameter) spread to a depth of 3".
- 4) Designated planting beds be separated from lawn areas with 5" shovel edge.

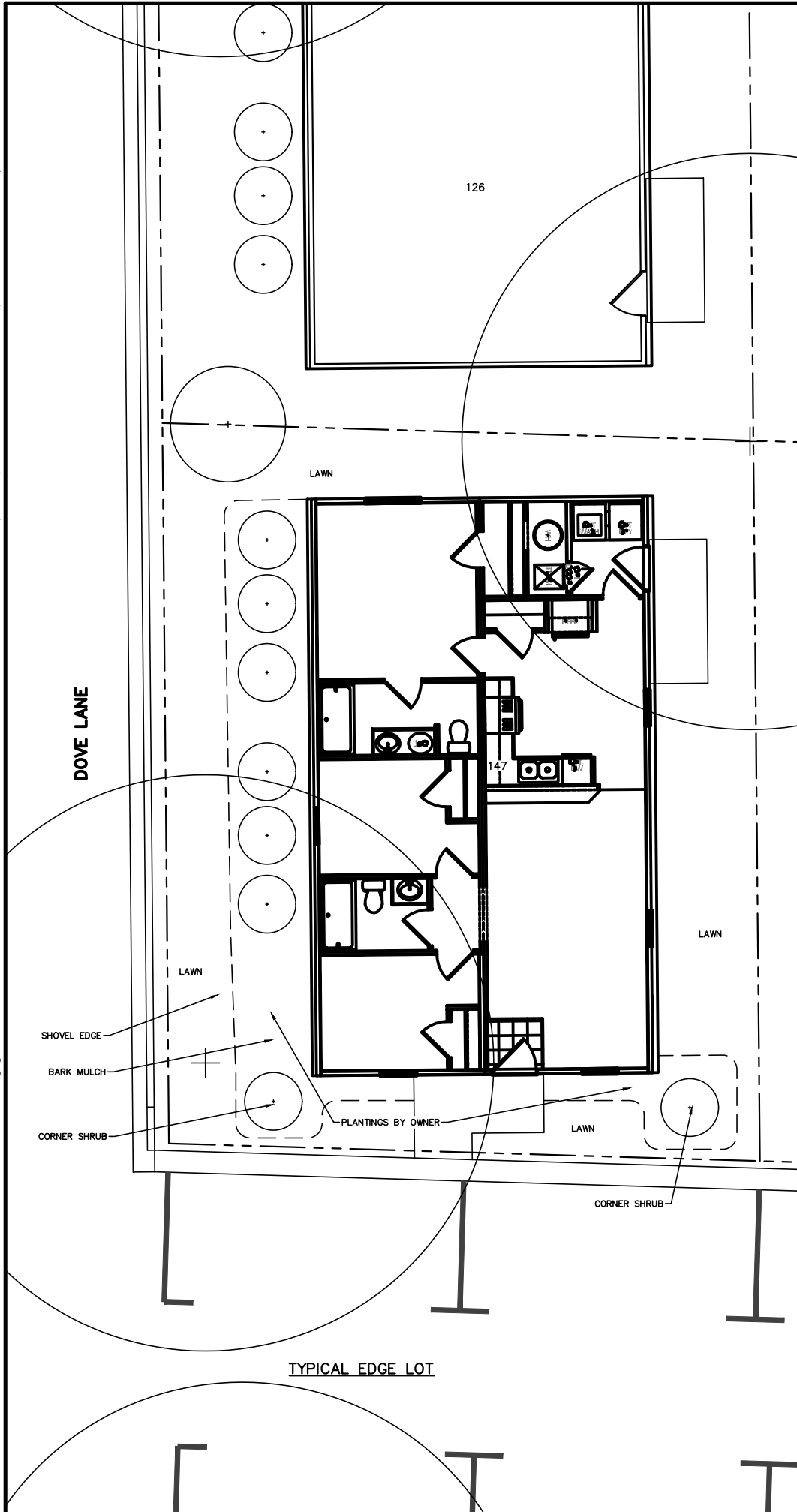
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OAK PARK MANUFACTURED HOMES
 LANDSCAPE PLAN - NEW DEVELOPMENT AREA
 SHEET: L-2
 DATED: MAY 27, 2024

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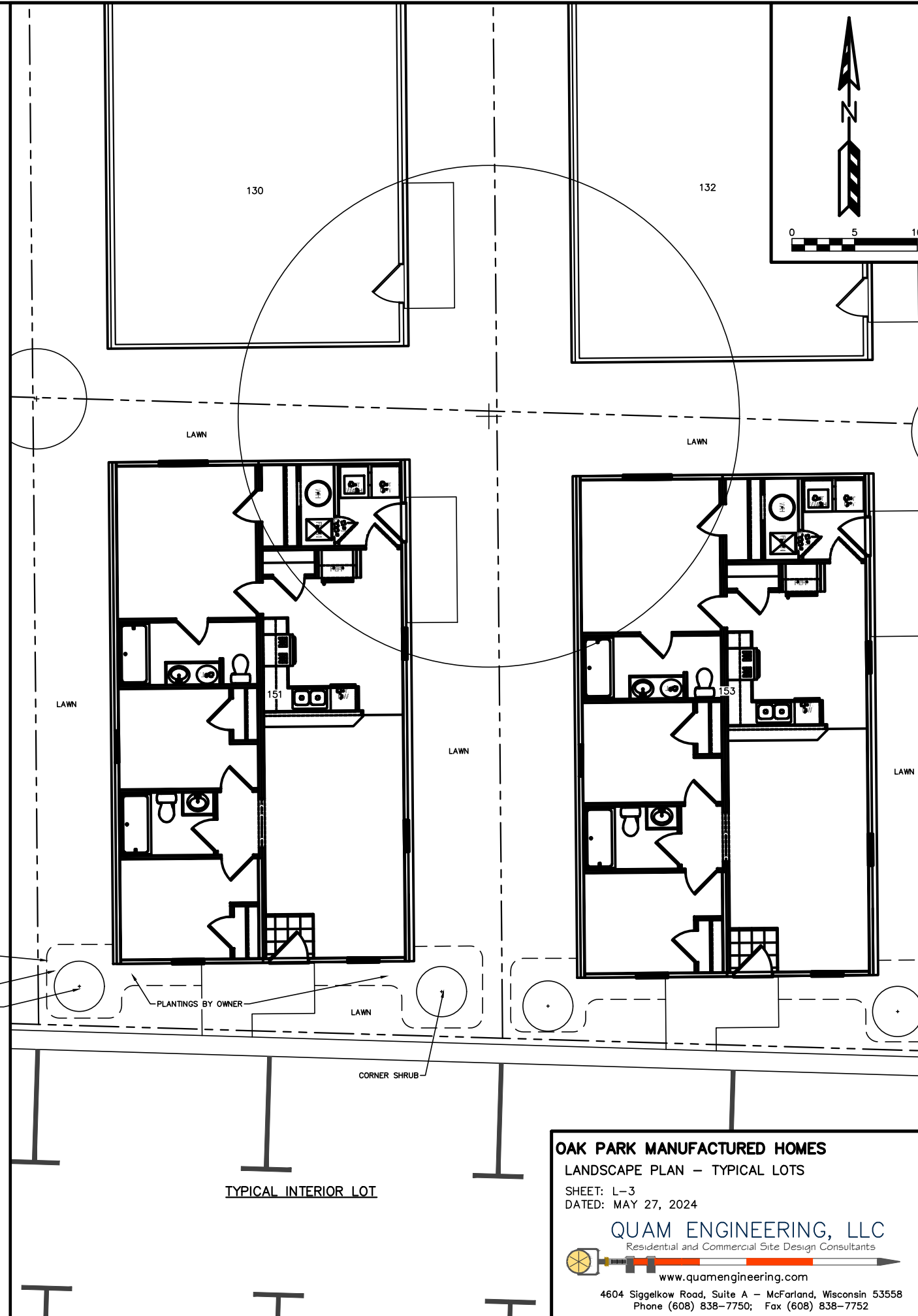


TYPICAL LOT PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
Deciduous Shrubs - Corner Shrubs					
LDN	()	30"	Little Devil Ninebark	Physocarpus O 'Donna May'	Pot
LLH	()	30"	Little Lime Hydrangea	Hydrangea P Little Lime	Pot
LQFH	()	30"	Little Quick Fire Hydrangea	Hydrangea P Little Quick Fire	Pot
WRW	()	30"	Wine and Roses Weigelia	Weigelia Florida 'Alexandria'	Pot
Deciduous Shrubs - Frontage Shrubs					
BC	()	24"	Black Chokeberry	Aronia Melanocarpa	Pot
DSH	()	24"	Dwarf Bush Honeysuckle	Dierville Lonicera	Pot
GDP	()	24"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
WS	()	24"	White Snowberry	Symphoricarpos Alba	Pot
• Plant quantities to be determined at time of planting.					

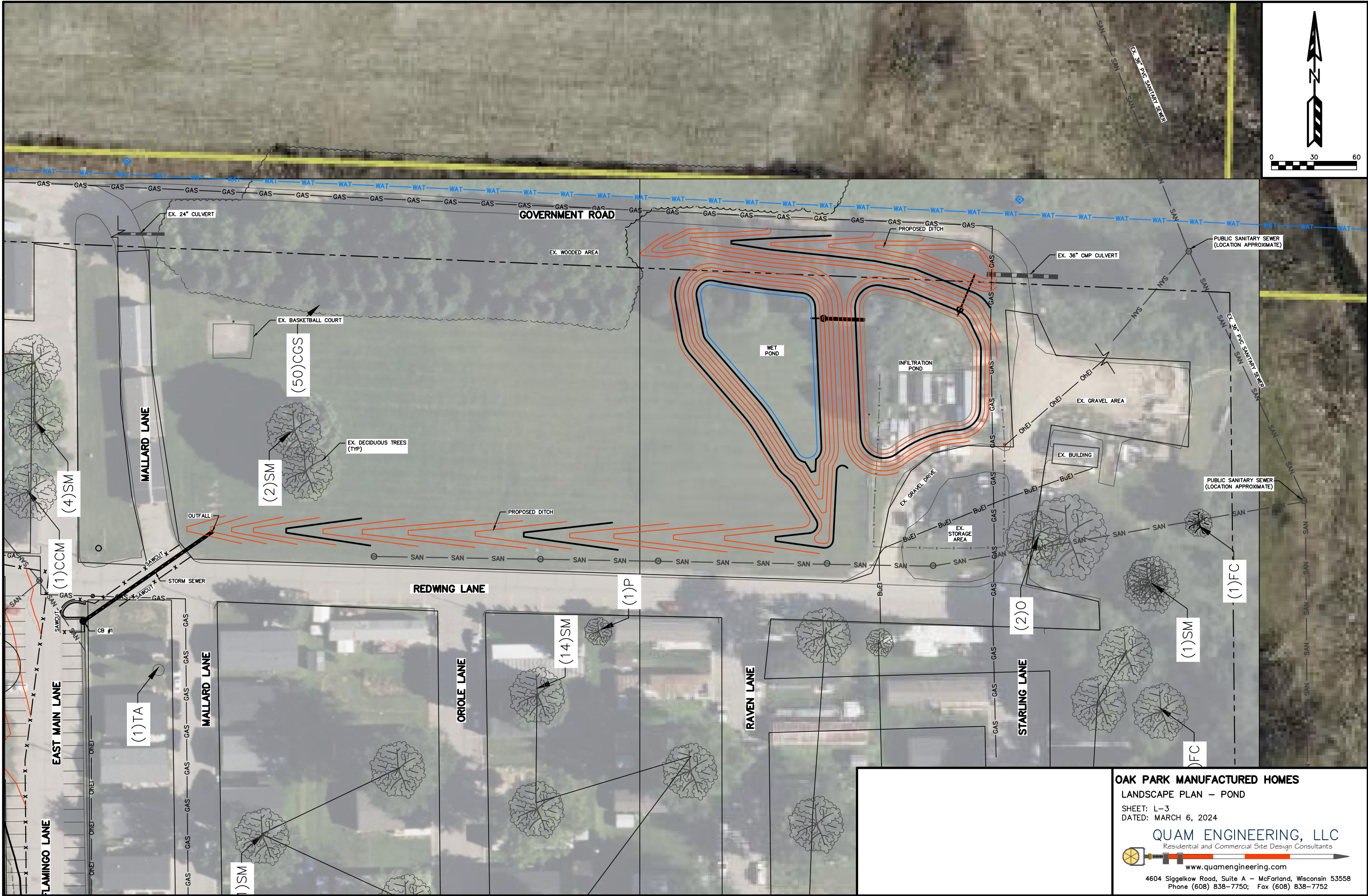
NOTES:

1) Plant types and quantities to be determined at time of development of each lot.



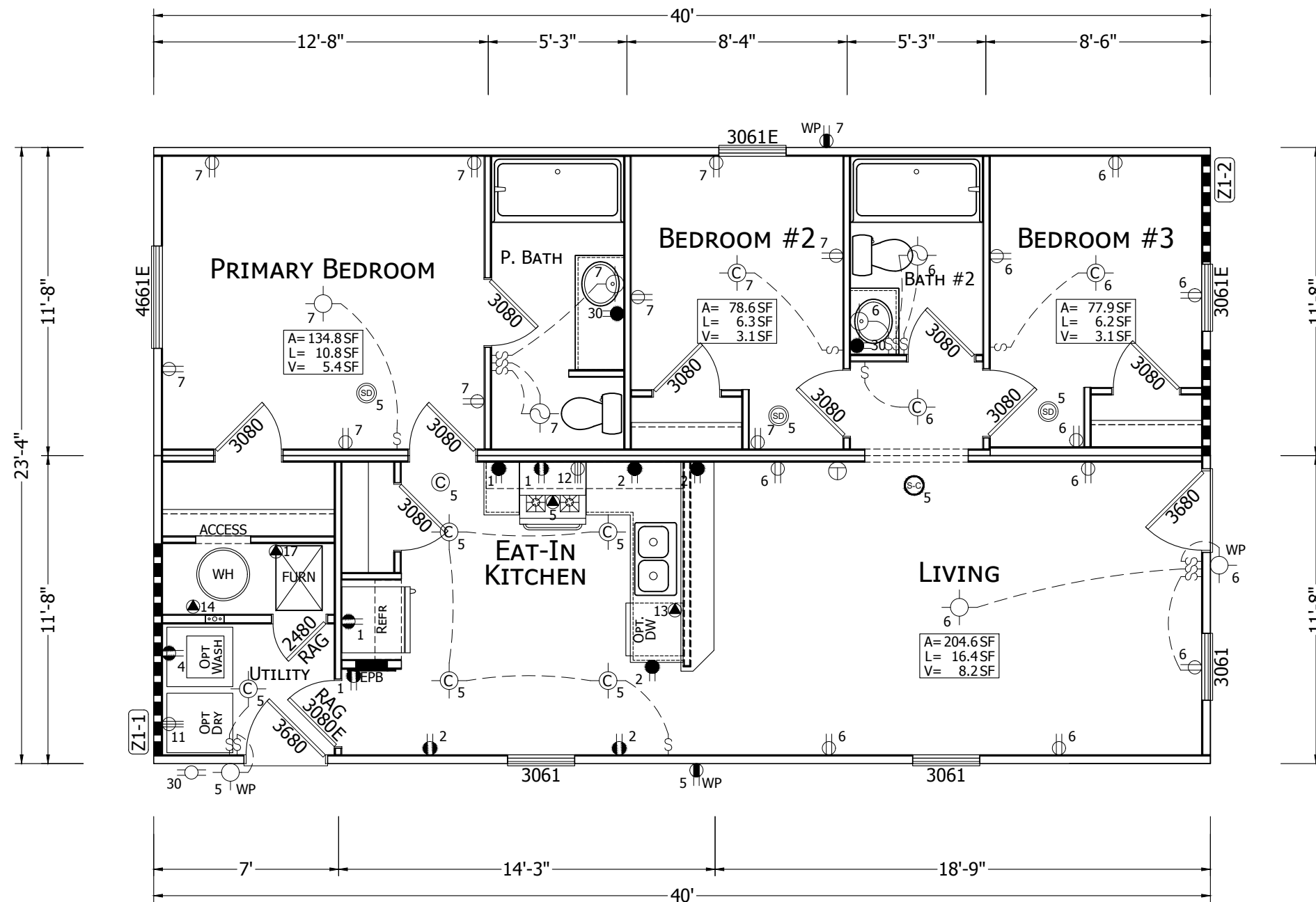
OAK PARK MANUFACTURED HOMES
 LANDSCAPE PLAN - TYPICAL LOTS
 SHEET: L-3
 DATED: MAY 27, 2024

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OAK PARK MANUFACTURED HOMES
 LANDSCAPE PLAN - POND
 SHEET: L-3
 DATED: MARCH 6, 2024

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DESIGN CRITERIA
 ZONES: WIND 1, ROOF MIDDLE, TEMP III
 TOTAL ROUGH WINDOW OPENINGS: 88.5 SF

Overall Check = **PASS**

CHB Shear Wall - Layout / Design

Model#: 112-C812512-14

Wind Zone = **I**
Wind Load = 15 psf

Diaphragm Construction:
Diaphragm Type = **Wood Roof**
Fasteners: **15GAx1.75**

Wall Construction:
Bottom Plate Thickness = **2x**
Top Plate Thickness = **2x**

Peir Height (in.)	Near Beam Angle (Deg.)	Far Beam Angle (Deg.)	Ground Tie Spacing (ft)	Max. Spacing (ft.)
12	53.55		9.24	9'-2"
20	61.56	14.53	15.06	15'-0"
28	66.85	18.17	14.86	14'-10"
36	70.54	21.67	14.46	14'-5"
44	73.25	25.01	14.10	14'-1"
52	75.31	28.18	13.71	13'-8"
60	76.93	31.16	13.31	13'-3"
68	78.23	33.97	12.90	12'-10"

Module Width = **140** in
 Number of Boxes = **2**
 Wall Height = **96** in
 Roof Pitch = **4.36** :12
 Angle = **20.0** °
 Roof Overhang = **8** in
 Floor Joist Spacing = **16** in o.c.
 Rim Joist Plies = **1**
 Frame Spacing = **99.5** in
 Beam Depth = **10** in
 Open Porch = **0.00** ft.
 Home Length = **40.00** ft.

Minimum Width = in
 Max plf = 176.3 plf
 Max. End Wall Reaction = 4,114 lbs
 Max. Interior Reaction = 8,227 lbs
 Max. Span = 96.00 ft.

Floor Construction:
 Floor Joist Size = **2x6**
 Floor Joist Species = **SPF**
 Floor Joist Grade = **#3**
 Decking Glued to Joists = **Yes**

* For monoslope homes only

Vertical Trib = 4.00 ft
 King Post Height *= in
 Porch End Wall = --

Left End Wall Shear Wall	Shear Wall 2	Shear Wall 3	Shear Wall 4	Shear Wall 5	Shear Wall 6
Dist. To Next SW = 40.00 ft.	Dist. To Next SW = ft.	Dist. To Next SW = ft.	Dist. To Next SW = ft.	Dist. To Next SW = ft.	Dist. To Next SW = ft.
Manual Input = --	Manual Input = --	Manual Input = --	Manual Input = --	Manual Input = --	Manual Input = --
Load to Shearwall = 1200.0 lbs	Load to Shearwall = 1200.0 lbs	Load to Shearwall = 0.0 lbs	Load to Shearwall = 0.0 lbs	Load to Shearwall = 0.0 lbs	Load to Shearwall = 0.0 lbs

Panel Layout	Panel Layout	Panel Layout	Panel Layout	Panel Layout	Panel Layout
From Module Edge = 6.00 in.	From Module Edge = 6.00 in.	From Module Edge = in.	From Module Edge = in.	From Module Edge = in.	From Module Edge = in.
Panel Length = 96.00 in.	Panel Length = 48.00 in.	Panel Length = in.	Panel Length = in.	Panel Length = in.	Panel Length = in.
From Module Edge = in.	From Module Edge = 92.00 in.	From Module Edge = in.	From Module Edge = in.	From Module Edge = in.	From Module Edge = in.
Panel Length = in.	Panel Length = 48.00 in.	Panel Length = in.	Panel Length = in.	Panel Length = in.	Panel Length = in.
Shearwall plf = 150.0 plf	Shearwall plf = 150.0 plf	Shearwall plf = N/A plf	Shearwall plf = N/A plf	Shearwall plf = N/A plf	Shearwall plf = N/A plf
Shearwall Panel = Gypsum	Shearwall Panel = Gypsum	Shearwall Panel =	Shearwall Panel =	Shearwall Panel =	Shearwall Panel =
Gyp. Brand = U.S.G.	Gyp. Brand = U.S.G.	Gyp. Brand =	Gyp. Brand =	Gyp. Brand =	Gyp. Brand =
Fasteners = Yes	Fasteners = Yes	Fasteners =	Fasteners =	Fasteners =	Fasteners =
Adhesive = PVA	Adhesive = PVA	Adhesive =	Adhesive =	Adhesive =	Adhesive =
One Side or Two = 1	One Side or Two = 1	One Side or Two =	One Side or Two =	One Side or Two =	One Side or Two =
Max. Shearwall plf = 247 plf	Max. Shearwall plf = 247 plf	Max. Shearwall plf = plf	Max. Shearwall plf = plf	Max. Shearwall plf = plf	Max. Shearwall plf = plf

*Construct per Note 6 on SW01.35.XX *Construct per Note 6 on SW01.35.XX *Construct per SW01.25.01 *Construct per SW01.25.01 *Construct per SW01.25.01 *Construct per SW01.25.01

Zone - ID	Z1-1	Zone - ID	Z1-2	Zone - ID	Zone - ID	Zone - ID	Zone - ID
Joist	2	Joist	2	Joist		Joist	
Wall Conn.	8	Wall Conn.	8	Wall Conn.		Wall Conn.	
SC O.C.	12 @ 8"	SC O.C.	12 @ 8"	SC O.C.		SC O.C.	
SF O.C.	16 @ 6"	SF O.C.	16 @ 6"	SF O.C.		SF O.C.	
Beam Lag	2	Beam Lag	2	Beam Lag		Beam Lag	

*May be 1 joist per Note 9.C. on SW01.00.04 *May be 1 joist per Note 9.C. on SW01.00.04

Result = **PASS** Result = **PASS** Result = Result = Result = Result =



MODIFICATIONS

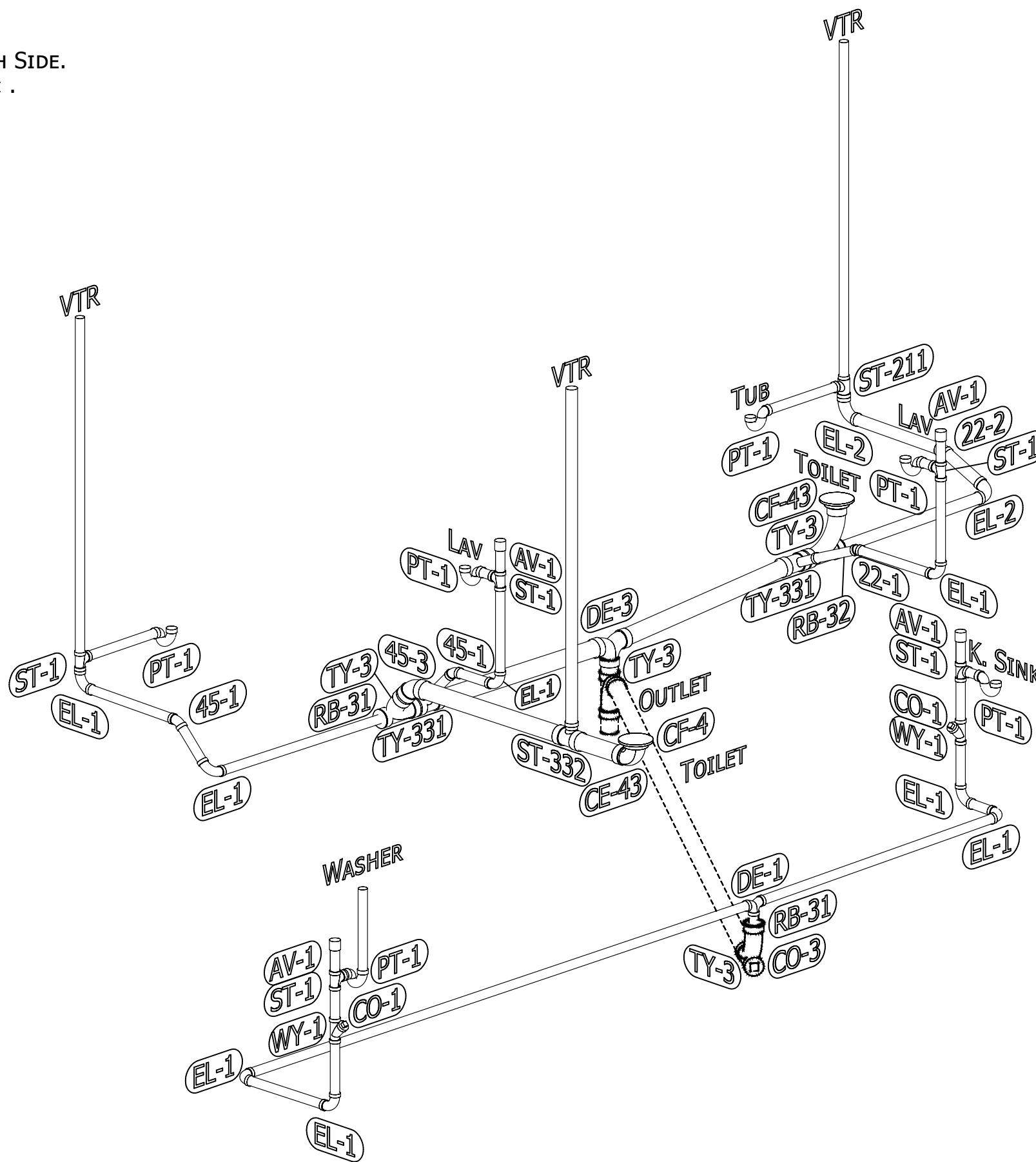
PROJECT: **112APB-2440C32LS1**
40'-0" x 23'-4"
3 BD 2 BT
 DRAWN BY: J.RILEY
 DATE: 05-09-24
 SCALE: NTS

TITLE: **SHEAR WALLS**
 FILENAME: 112APB-2440C32LS1

SHEET: **SW-101**
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 THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL
 PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION.
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NOTES:

1. PIPE SIZES DETERMINED BY FITTINGS ON EACH SIDE.
2. SITE INSTALLED PLUMBING NOTED BY ----- .



FITTING SCHEDULE		FITTING SCHEDULE	
CALL	NAME	CALL	NAME
22-1	1 1/2" 22 1/2° ELL	EL-1	1 1/2" LT 90° ELL
22-2	2" 22 1/2° ELL	EL-2	2" LT 90° ELL
45-1	1 1/2" 45° ELL	PT-1	1 1/2" P-TRAP
45-3	3" 45° ELL	RB-31	3" x 1 1/2" BUSHING
AV-1	1 1/2" AUTO VENT	RB-32	3" x 2" BUSHING
CE-43	4" x 3" CLOSET ELL	ST-1	1 1/2" TEE
CF-4	4" CLOSET FLANGE	ST-211	2" x 1 1/2" x 1 1/2" TEE
CF-43	4" x 3" CLOSET FLANGE	ST-332	3" x 3" x 2" TEE
CO-1	1 1/2" CLEANOUT	TY-3	3" LTTY
CO-3	3" CLEANOUT	TY-331	3" x 3" x 1 1/2" LTTY
DE-1	1 1/2" DOUBLE ELL	WY-1	1 1/2" WYE
DE-3	3" DOUBLE ELL		

**CHAMPION
HOME BUILDERS**

755 W. BIG BEAVER ROAD, SUITE 1000 TROY, MI 48064
PHONE: 248-614-8200

MODIFICATIONS

PROJECT:
112APB-2440C32LS1
40'-0" x 23'-4"
3 BD 2 BT

DRAWN BY: A.GOULD
DATE: 03-18-24
SCALE: 3/16" = 1'-0"

TITLE:
**DRAIN LINE
PLAN**

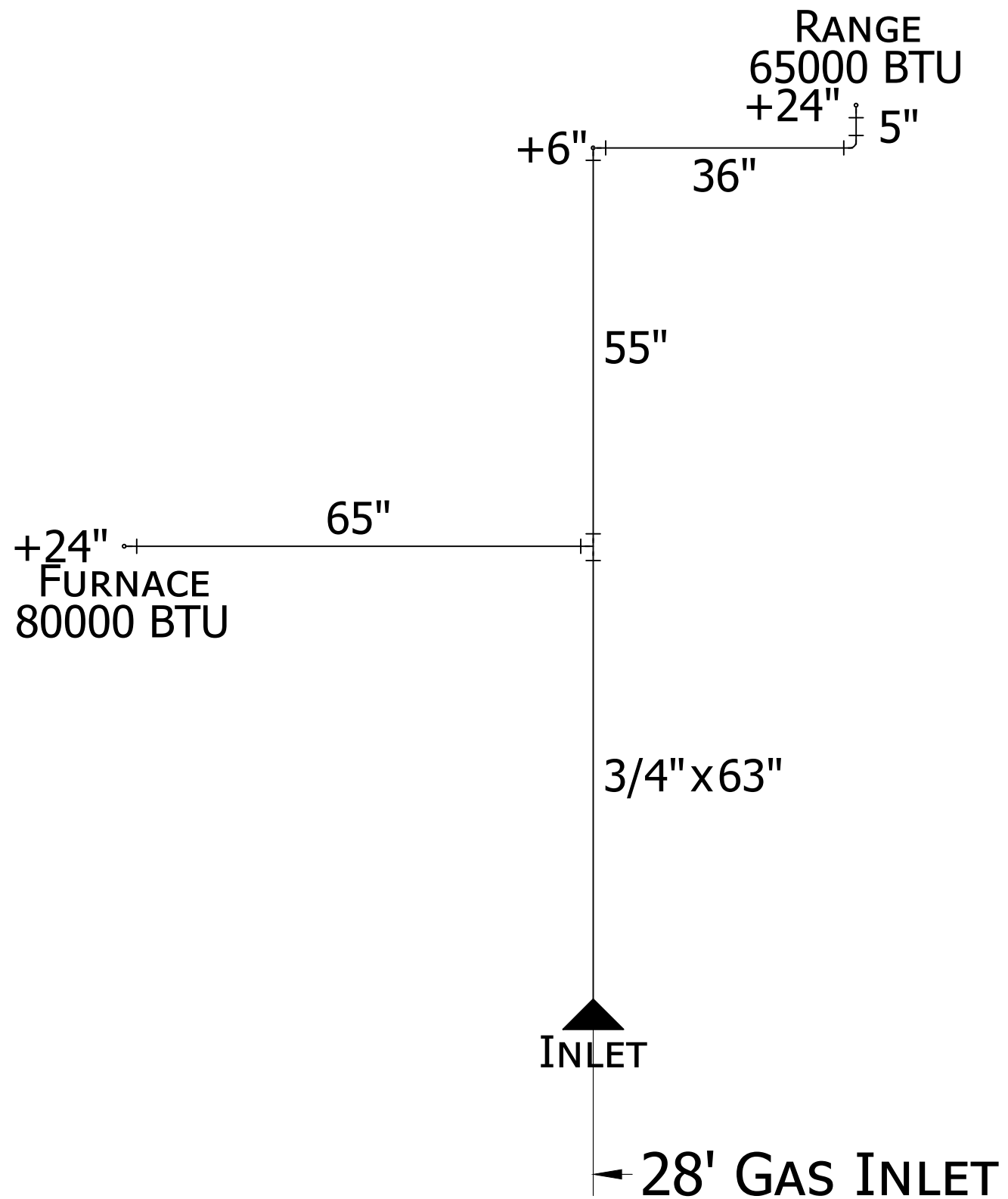
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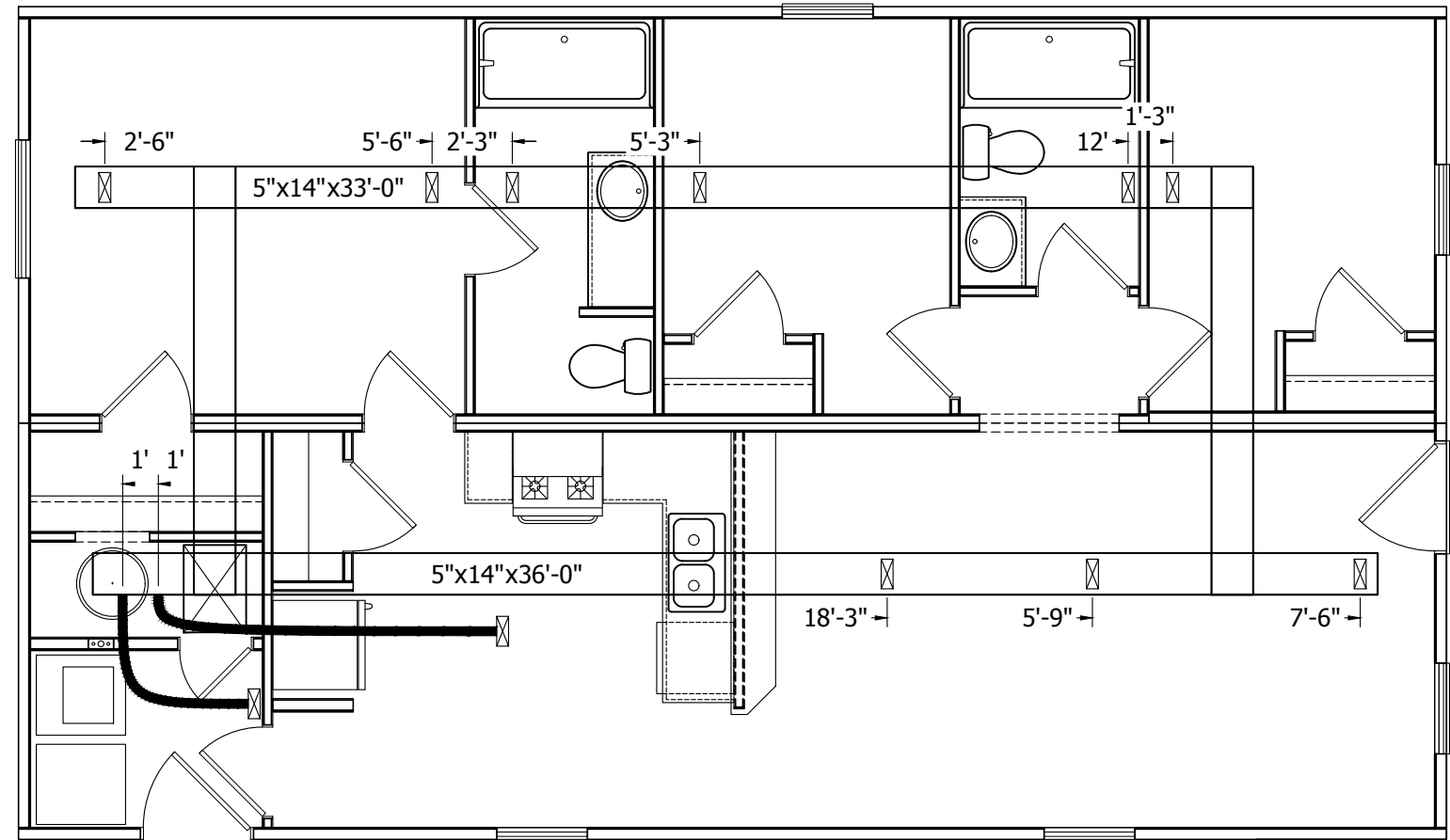
SHEET:
D-101

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NOTES:

- 1. ALL PIPE SIZES 1/2" UNLESS OTHERWISE SPECIFIED
- 2. TOTAL BTU = 145,000
- 3. COLUMN LENGTH = 20'-0"





- 1) THE MANUFACTURER ASSUMES NO RESPONSIBILITY FOR ACTUAL FOUNDATION DESIGN AND CONSTRUCTION.
- 2) ADDITIONAL BLOCKING IS REQUIRED AT EACH SIDE OF EXTERIOR DOORS AND AT EACH SIDE OF SIDEWALL OPENINGS GREATER THAN 4 FEET IN WIDTH (I.E., PATIO DOORS, PICTURE WINDOWS, ETC.).
- 3) FOR PIER REQUIREMENTS AT ENDWALL SEE FIGURE 8 IN THE INSTALLATION MANUAL.
- 4) ALL DWV, PLUMBING, GAS SUPPLY, ETC., DIMENSIONS ON PRINT MAY BE + OR - 12".
- 5) IT WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO VERIFY THE PROPER LOCATION OF COLUMN SUPPORT BLOCKING AND TO VERIFY THE PROPER MATING LINE GROWTH DIMENSIONS BASED UPON ACTUAL SITE CONDITIONS AND REQUIREMENTS (DOUBLE WIDES ONLY).
- 6) ALLOW 1/2" AT MATING LINE FOR MATE UP GROWTH.
- 7) SEE SET-UP AND INSTALLATION MANUAL FOR PERIMETER BLOCKING REQUIREMENTS.

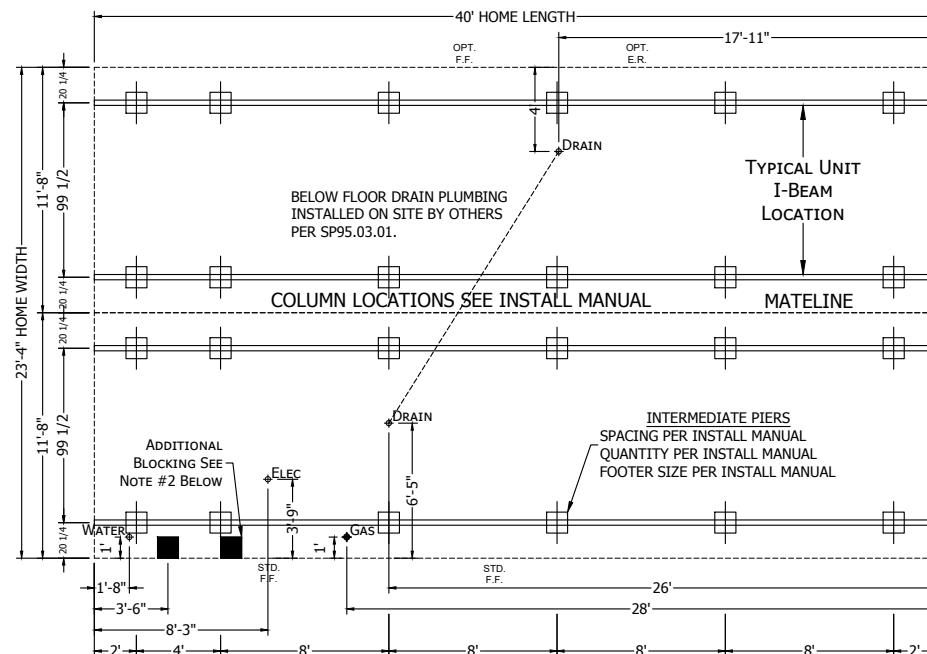
MANUFACTURER DISCLAIMER NOTICE: (THIS PIER PRINT IS FOR HOMES PRODUCED ON OR AFTER JUNE 1ST 2006)
 PLEASE READ AND UNDERSTAND THE FOLLOWING INFORMATION. THE MANUFACTURER DOES NOT DO FOUNDATION INSTALLATION OF HOMES. IT WILL BE THE RESPONSIBILITY OF THE DEALER/SITE CONTRACTOR TO INSURE THAT ALL SITE WORK WILL CORRELATE WITH THE UNIT ORDERED.

NOTICE TO HOME INSTALLERS: MANUFACTURED HOMES WEIGH SEVERAL TONS. DO NOT ATTEMPT TO INSTALL ANY HOME ON SITE WITHOUT HAVING EXPERIENCE, KNOWLEDGE, AND UNDERSTANDING OF ALL INSTALLATION REQUIREMENTS. FAILURE TO MEET THESE REQUIREMENTS MAY RESULT IN SERIOUS INJURY OR DEATH TO AN INEXPERIENCED INSTALLER. INSTALLERS: PLEASE READ AND UNDERSTAND THE SET-UP AND INSTALLATION MANUAL SUPPLIED WITH THE HOME BEFORE ATTEMPTING ANY INSTALLATION OF ANY MANUFACTURED HOME.

PIERS ARE NOT REQUIRED AT 36" EXTERIOR DOORS WHEN "PIER SAVERS" ARE UTILIZED.
 PIER SPACING IS FOR ILLUSTRATION ONLY. ACTUAL PIER SPACING SHOULD BE DETERMINED USING THE INSTALLATION MANUAL

PERMANENT FOUNDATIONS: CHECK LOCAL BUILDING CODES AND REGULATIONS AND CONSULT A REGISTERED PROFESSIONAL OR STRUCTURAL ENGINEER WHEN YOU ARE SITING YOUR HOME ON A PERMANENT FOUNDATION (SUCH AS A FULL BASEMENT, CRAWL SPACE, OR LOAD BEARING PERIMETER FOUNDATION).

INTERMEDIATE PIERS
 SPACING PER INSTALL MANUAL
 QUANTITY PER INSTALL MANUAL
 FOOTER SIZE PER INSTALL
 MANUAL



PLEASE VERIFY I-BEAM
 SPREAD AND HOUSE
 MEASUREMENTS BEFORE
 STARTING FOUNDATION
 DESIGN.

MODIFICATIONS

PROJECT:
112APB-2440C32LS1
40'-0" x 23'-4"
3 BD 2 BT

DRAWN BY: A.GOULD
 DATE: 03-18-24
 SCALE: 5/32" = 1'-0"

TITLE:
**PIER
 FOUNDATION
 PLAN**

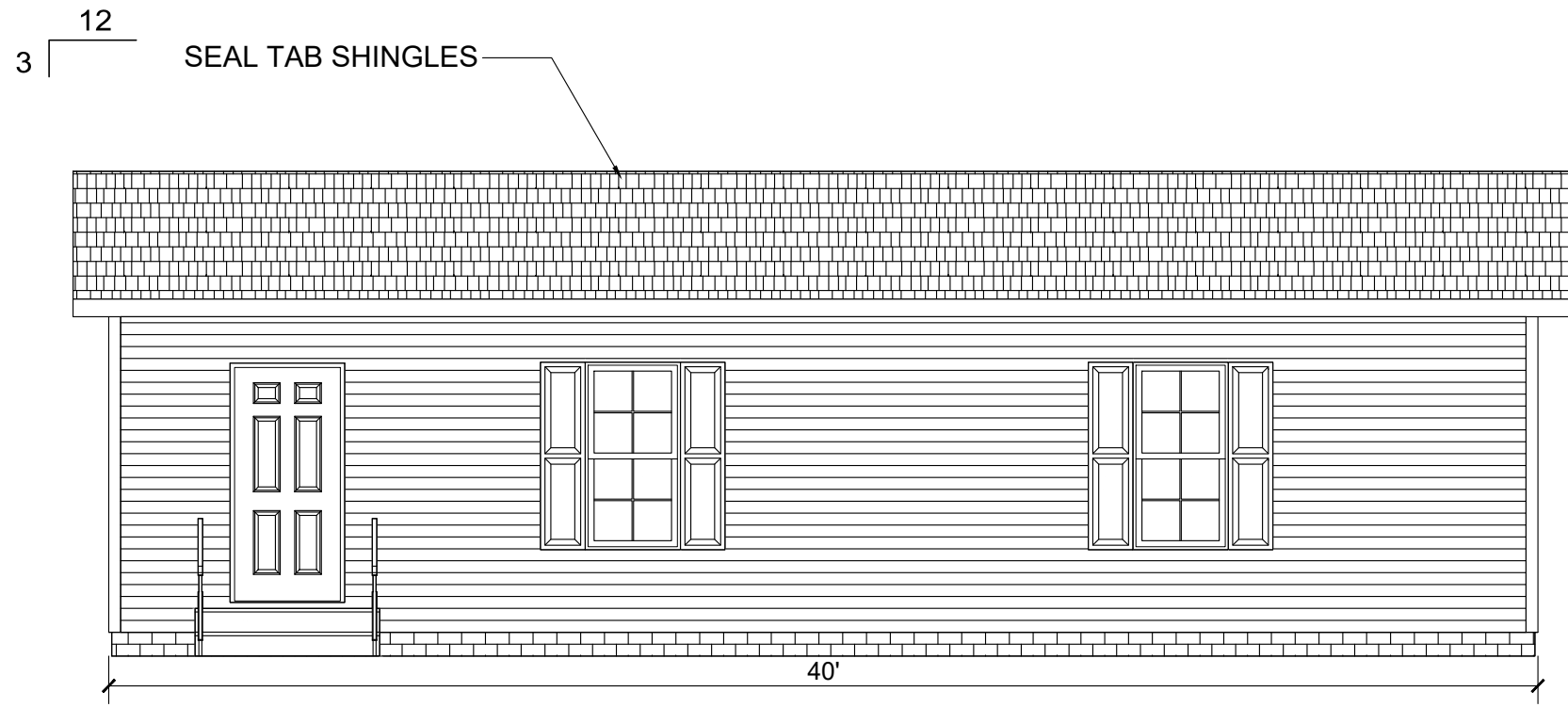
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SHEET:
PR-101

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**CHAMPION
 HOME BUILDERS**

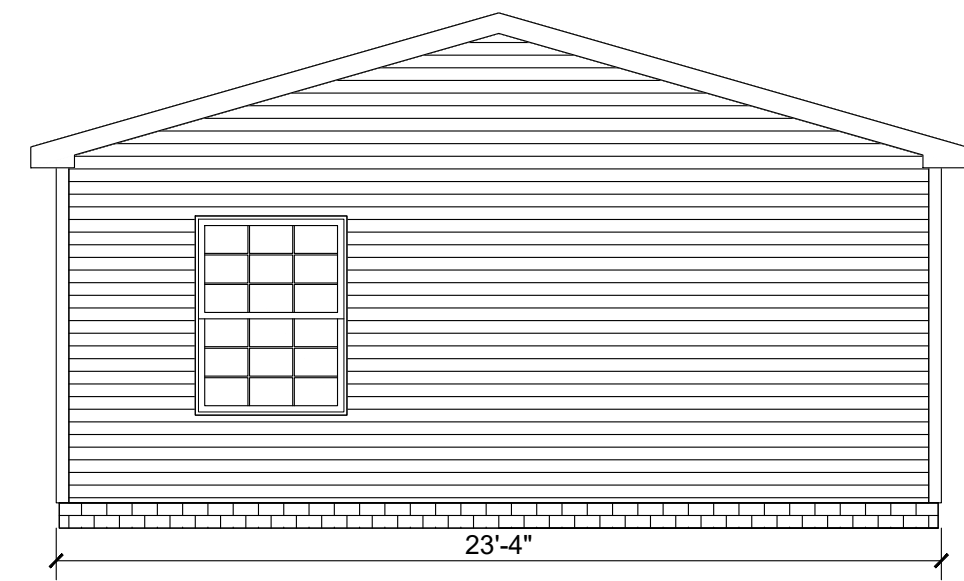
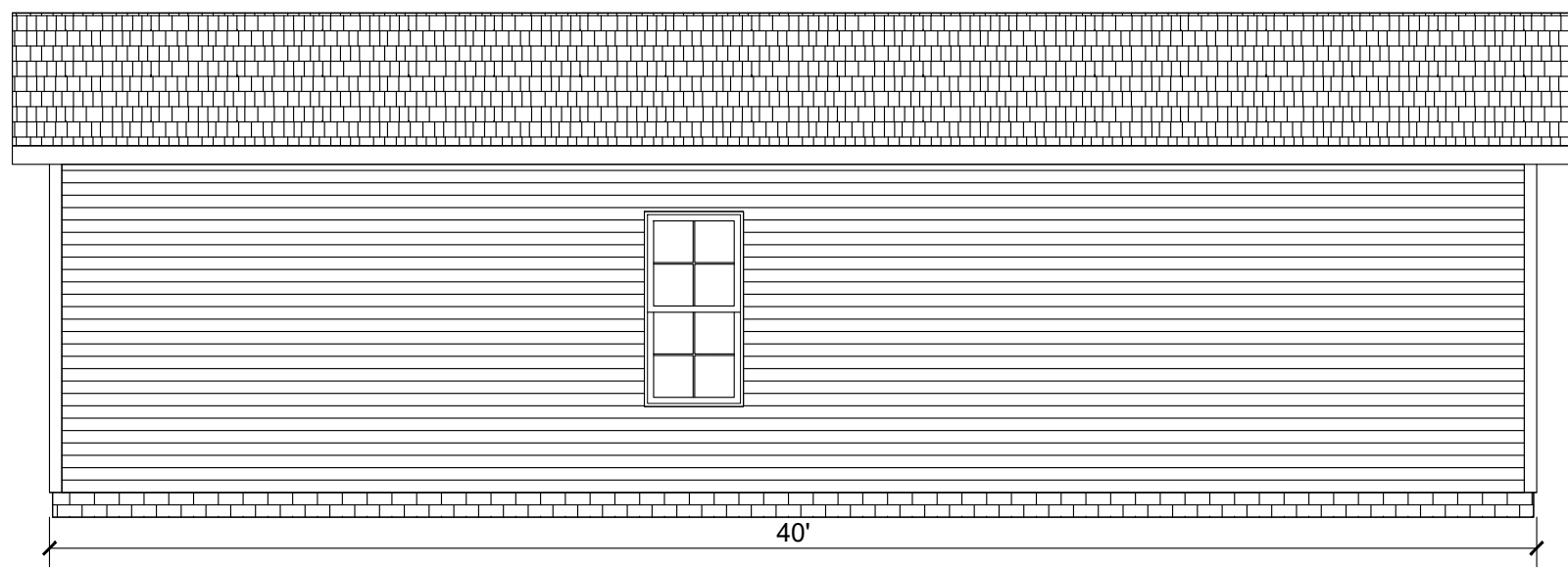
755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064
 PHONE: 248-614-8800



GENERAL NOTES:

1. VINYL SHUTTERS SHOWN ARE STANDARD FRONT SIDE ONLY.
2. ALL WINDOWS SINGLE HUNG INSULATED LOW E.
3. SIDING IS VINYL LAP FACTORY APPLIED OVER 3/8" MIN OSB SHEATHING AND POLYETHYLENE FABRIC HOMEWRAP SHEATHING PAPER (PRIMEWRAP OR EQUAL) INSTALLED TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (SIDING FOR ENDS IS SHIPPED LOOSE FOR FIELD INSTALLATION BY OTHERS.)
4. PERIMETER ROOF OVERHANG IS PERFORATED METAL OR VINYL SOFFIT WITH VENTILATION TO THE ATTIC SPACE.
5. SOME STANDARD AND OPTIONAL FEATURES ARE SHOWN.
6. ALL GUTTERS, DOWN SPOUTS, STEPS AND HANDRAILS BY OWNER.
7. FOUNDATION WINDOWS AND/OR VENTS NOT SHOWN.
8. THIS HOME HAS ATTIC VENTILATION OF NOT LESS THAN 1/150th OF THE ATTIC AREA.

*** DESIGNATES FIELD WORK**



CHAMPION
HOME BUILDERS
 755 W. BIG BEAVER ROAD, SUITE 1000 TROY, MI 48064
 PHONE: 248-614-8200

MODIFICATIONS

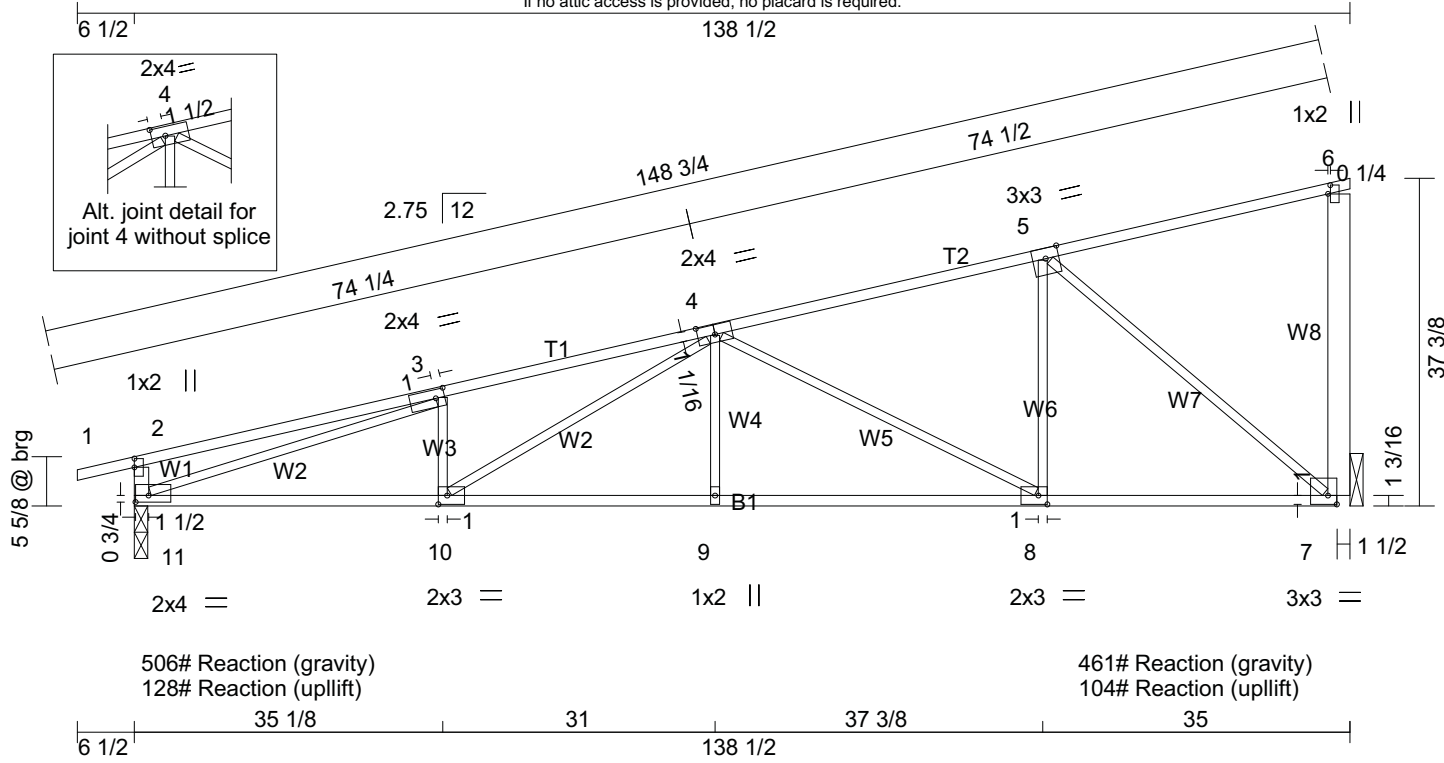
PROJECT:
112APB-2440C32LS1
 40'-0" x 23'-4"
 3 BD 2 BT
 DRAWN BY: A.GOULD
 DATE: 03-18-24
 SCALE: 3/16" = 1'-0"

TITLE:
ELEVATIONS
 FILENAME: 112APB-2440C32LS1

SHEET:
EV-101
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Attic is not designed or to be used for storage.
 Access is provided for service or inspection only and house must be placarded per HUD Code.
 If no attic access is provided, no placard is required.



SPACING	2-0-0	SPACING	1-4-0	PLATES MT20
LOADING	(psf)	LOADING	(psf)	
TCLL	30.0	TCLL	45.0	
TCDL	6.0	TCDL	9.0	
BCLL	0.0	BCLL	0.0	
BCDL	4.0	BCDL	6.0	CODE: Proof Load 1.75 (Hud Non-Destruct)

WIND ZONE I 2.5i 24" O/C	WIND ZONE I 2.5i 16" O/C
-9 PSF WL NET UPLIFT	-9 PSF WL NET UPLIFT
-22.5 PSF WL(EAVES)	-22.5 PSF WL(EAVES)

WIND ZONE I 2.5i 24" O/C	WIND ZONE I 2.5i 16" O/C
-9 PSF WL NET UPLIFT	-9 PSF WL NET UPLIFT
-22.5 PSF WL(EAVES)	-22.5 PSF WL(EAVES)

LUMBER-
 TOP CHORD H* 1-1/2 x 1-3/16 SPF Stud
 BOT CHORD H* 1-1/2 x 1-3/16 SPF No.2
 WEBS H* 1-1/2 x 1-0/16 SPF Stud *Except*
 W1: H* 1-1/2 x 1-5/8 SPF Stud, W8: H* 2x3 SPF Stud

- NOTES**
- 1) Truss members shall not be cut, drilled, sliced, notched or otherwise altered without written approval of the design engineer.
 - 2) Manufacturing Tolerances: + 1/4" overall height, + 1/4" overall length, + 1" vertical post/diagonal placement, + 1" vertical post/chord splice placement provided centerline of post is centered over the splice. Maximum allowable plate rotation +/- 10 degrees plates. Size and/or grade of lumber must be equal to or greater than what is noted on print.
 - 3) Top chord overhang and/or soffit block may be cut back to the heel of the truss. Overhang may be mfg. at any length up to the maximum shown.
 - 4) All connector plates to be placed +/- 1/4". For 1x2 plates provide 4 teeth bite (min) into each member (per plate, per side).
 - 5) For complete plate placement details, refer to the joint details published separately.
 - 6) Field connections to secure the truss to other framing members are the responsibility of the home builder or others. Minimum bearing length is 1-1/2" unless noted otherwise.
 - 7) Top and bottom chords to be equally cambered.
 - 8) Chords & webs are to be certified from the specific grade & species of lumber noted above, per the 2013 UFP QC Manual sec. 4.1-4.9 and Appendix F.
 - 9) This truss has been designed to meet MHCSS Sec. 3280.303, 3280.304, 3280.305, 3280.402 (Effective 1-13-2014). For HUD load cases on calculated designs, the snow load applied to the truss (TCLL) has not been reduced and is equivalent to the ground snow load indicated in the design loading box. For trusses qualified through full-scale testing all loads, including any loading from field installed cap members shown on the design prints, have been considered during the qualification of the truss assembly.
 - 10) (H*) H-data directory referenced for material.
 - 11) Continuous lateral bracing or equivalent (i.e. roof sheathing, or drywall, etc.) required for top & bottom chords.

