

**City of Madison Property Information****Property Address:** 1609 University Ave (303 Lathrop Street)**Parcel Number:** 070922211019

## LEGAL DESCRIPTION

**Information current as of:** 8/14/18 12:00AM**Notice:** This description may be abbreviated and is for assessment purposes only. It should not be used to transfer property

Lot Number: 0

Block: 0

CERTIFIED SURVEY MAP NO 10470 AS RECORDED IN DANE COUNTY REGISTER OF DEEDS IN VOL 62 PAGES 22-24 OF CERTIFIED SURVEYS, LOT 1.

## Property Information Questions?

**Assessor's Office**

210 Martin Luther King, Jr. Boulevard, Room 101

Madison, Wisconsin 53703-3342

Phone: (608) 266-4531

Email: [assessor@cityofmadison.com](mailto:assessor@cityofmadison.com)

# Vacinity Map

Project Location  
303 Lathrop Steet  
Parcel: 070922211019

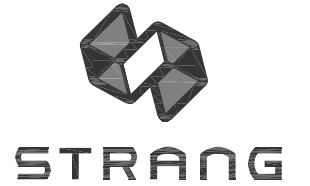




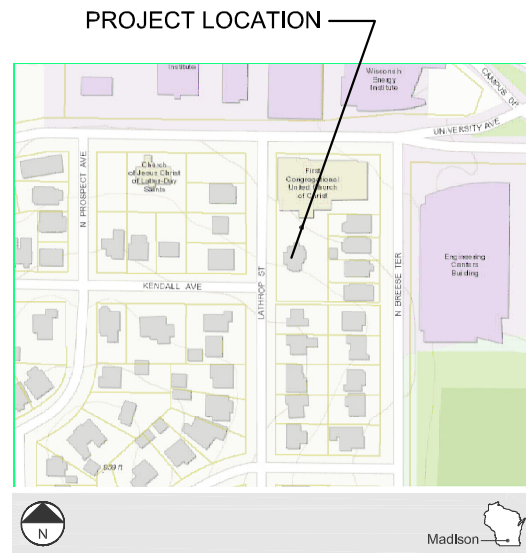
# HEALING HOUSE

303 LATHROP STREET  
MADISON, WI 53726

Project No.: 2017067



## Location Map



## Design Team

Architectural Design  
**STRANG, INC.**

Property Owner  
**FIRST CONGREGATIONAL UNITED CHURCH OF CHRIST**

Property Management  
**MADISON-AREA URBAN MINISTRY**

Linda Ketcham  
2115 S. Park Street  
Madison, WI 53713  
608-256-0906

## Project Image



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

STRANG INC  
8411 MINERAL POINT ROAD  
MADISON, WI 53705-4365  
T/ 608 278 9200  
F/ 608 278 9204

CONDITIONAL  
USE PERMIT  
SUBMITTAL  
08-15-2018

## Sheet Index

| GENERAL            |   |
|--------------------|---|
| T001               | TITLE SHEET                             |
| SITE / LANDSCAPING |   |
| L201               | EXISTING SITE & EXISTING LANDSCAPE PLAN |
| ARCHITECTURAL      |   |
| A100               | DEMOLITION PLANS                        |
| A200               | NEW WORK FLOOR PLANS                    |
| P000               | EXISTING EXTERIOR PHOTOS                |

## Code Summary

**BUILDING TYPE & USE**  
CHAPTER 3 - OCCUPANCY GROUP R-4 (RESIDENTIAL SUPERVISED/CUSTODIAL CARE), CONDITION 1  
2 STORY WITH BASEMENT  
CONSTRUCTION TYPE 5B  
TO BECOME FULLY SPRINKLERED (NFPA 13D) AS PART OF PROJECT (BASEMENT, FIRST, AND SECOND)  
PER 903.3.2 QUICK RESPONSE/RESIDENTIAL SPRINKLERS REQUIRED IN SLEEPING UNITS OF GROUP R  
NFPA 13D WILL REQUIRE 1 HOUR FIRE PARTITIONS BETWEEN SLEEPING UNITS AND OTHER OCCUPANCIES AND DWELLING UNITS.  
HORIZONTAL SEPARATIONS BETWEEN FLOORS NOT REQUIRED

**TYPE 5B FIRE RESISTIVE RATINGS:**  
INTERIOR SUPPORTS = 0  
FLOOR FRAMING = 0  
ROOF FRAMING = 0  
EXTERIOR WALLS = 0  
INTERIOR BEARING WALLS = 0  
PARTITIONS = 0

**TYPE 5B ALLOWABLE AREAS:**  
TABLE 506.2: 7,000 SF MAX W/O CONSIDERING AREA MODIFICATIONS

**BUILDING AREA CALCULATIONS:**  
BUILDING AREA:  
BASEMENT FLOOR: 1186 SF  
FIRST FLOOR: 1283 SF  
SECOND FLOOR: 1178 SF

**REMODELING PROJECT**  
LEVEL 2 ALTERATION  
REMODELING PROJECT AREA:  
REMODELING AREA = FIRST AND SECOND FLOOR  
FIRST FLOOR: 1283 SF  
SECOND FLOOR: 1178 SF  
TOTAL: 2461 SF

**PROJECT OCCUPANCY COUNT**  
BASEMENT FLOOR (STORAGE): 1186 SF / 300 = 3 PERSONS  
FIRST FLOOR (RESIDENTIAL): 1283 SF / 200 = 6 PERSONS  
SECOND FLOOR (RESIDENTIAL): 1178 SF / 200 = 5 PERSONS  
TOTAL = 14 PERSONS

**EXITING:**  
2 EXITS MINIMUM PER FLOOR LEVEL  
EXIT DISTANCE 250 FEET WITH SPRINKLER SYSTEM (ACTUAL 95' MAX.)

**FIRE AND SMOKE DETECTION**  
FIRE ALARMS AND SMOKE ALARMS REQUIRED  
FIRE ALARMS AND SMOKE ALARMS REQUIRED  
SMOKE ALARMS REQUIRED ON CEILING OR WALL OUTSIDE EACH SLEEPING ROOM,  
IN EACH SLEEPING ROOM AND IN EACH STORY OR LEVEL INCLUDING BASEMENT.  
CARBON DIOXIDE DETECTORS REQUIRED PER COM 62.1200

**STAIRWAYS:**  
EXCEPTION 1: STAIRWAYS SERVING AN OCCUPANT LOAD OF 10 OR LESS AND LEVEL  
OF DISCHARGE IS NO MORE THAN ONE FLOOR ABOVE OR BELOW, AN ENCLOSURE IS NOT  
REQUIRED. MAXIMUM CONNECTED FLOORS OF STAIR IS LIMITED TO TWO FLOORS.

**PLUMBING FIXTURES:**  
REQUIRED BASED UPON R-4 (16 OCCUPANTS) PROVIDED  
WC: 1 PER 10 MF = 2 WC: 3  
LAV: 1 PER 10 MF = 2 LAV: 3  
TUB/SHOWER: 1 PER = 2 TUB/SHOWER: 3  
DF: CUPS PROVIDED AT SINK DF: CUPS PROVIDED AT SINK

|               |              |
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| DATE          | 08-15-2018   |
| PROJECT NO.   | 2017067      |
| PROJECT TITLE |              |

HEALING HOUSE

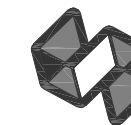
303 LATHROP STREET  
MADISON, WISCONSIN

SHEET TITLE

TITLE SHEET

SHEET NO.

T001



STRANG

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

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HEALING HOUSE

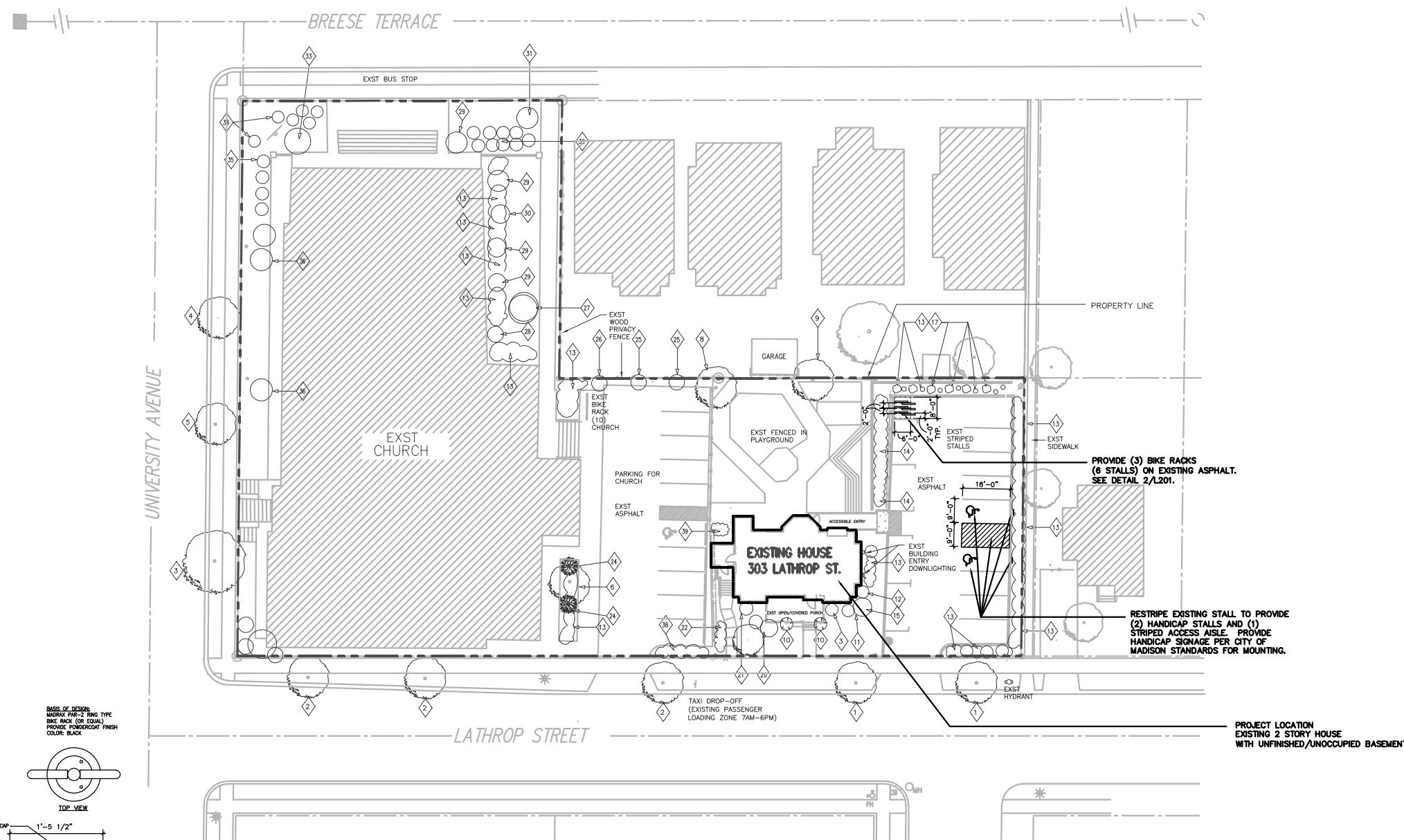
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MADISON, WISCONSIN

SHEET TITLE

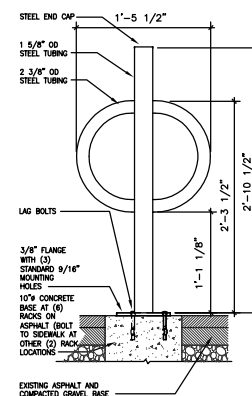
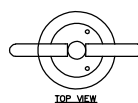
EXISTING SITE  
& EXISTING  
LANDSCAPE PLAN

SHEET NO.

L201



BASE OF DESIGN: WADSWORTH PWR-2 RING TYPE BIKE RACK (OR EQUAL) FINISH: POLYURETHANE FRESH COLOR: BLACK



**BIKE RACK DETAIL**  
2 L201 SCALE: NTS

**SITE/LANDSCAPE PLAN - EXISTING CONDITIONS**  
SCALE: 1" = 50'-0"  
0' 25' 50'

1609 UNIVERSITY AVENUE  
303 LATHROP STREET  
PARCEL NUMBER: 070922211019  
LOT SIZE 43,390 SF  
ZONED: HIS-UH, TR-U1

PROJECT NAME: HEALING HOUSE  
(PROGRAM OF MADISON URBAN MINISTRY)

HOURS: 8AM TO 5PM

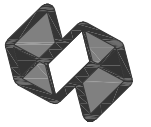
PROJECT REMODEL: FIRST FLOOR 1283 SF  
SECOND FLOOR 1178 SF  
TOTAL: 2461 SF

REQUIRED BIKE PARKING (HOUSE): 2461 SF/400 = 6 BIKES  
BIKE PARKING PROVIDED: 6 BIKES

REQUIRED AUTOMOBILE PARKING (HOUSE): 2461 SF/400 = 8 STALLS  
AUTOMOBILE PARKING PROVIDED: 13 STALLS

EXISTING PLANTING LEGEND (SHOWN FOR GENERAL COORDINATION)

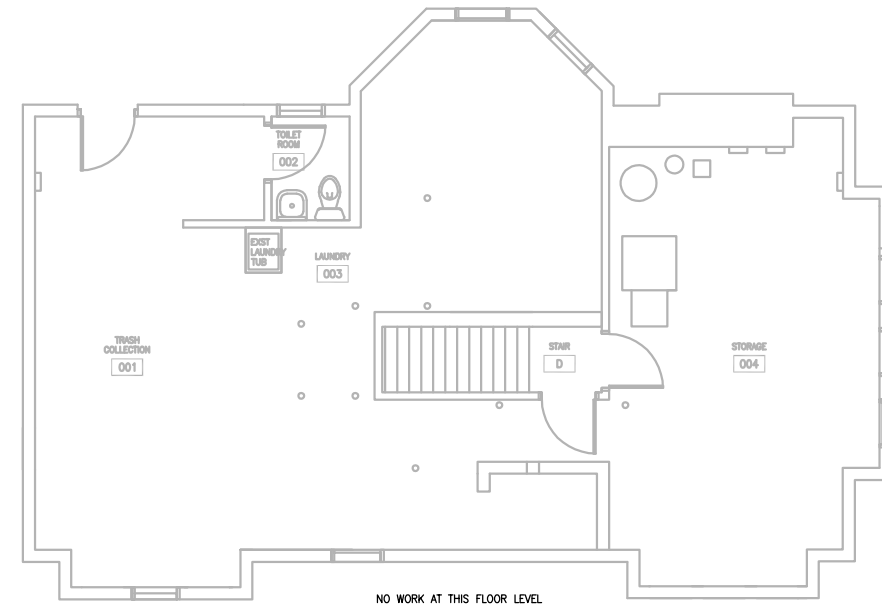
|  |   |   |
|--|---|---|
| 1 13' CALPER SUGAR MAPLE - EXISTING    | 14 6' H LIQUISTRUM PRIVET HEDGE - EXISTING                                      | 27 15' H STAR MAGNOLIA/STELLATA - EXISTING    |
| 2 14' CALPER SUGAR MAPLE - EXISTING    | 15 9' H ARBOR VITAE - EXISTING  | 28 PURPLE LEAF PLUM PRUNES CISTENA - EXISTING |
| 3 24' CALPER ELM - EXISTING            | 16 5' H HONEYSUCKLE - EXISTING  | 29 5' H BURNING BUSH - EXISTING               |
| 4 5' CALPER NORWAY MAPLE - EXISTING    | 17 PERENNIALS - EXISTING  | 30 5' H JAPANESE MAPLE - EXISTING             |
| 5 2 1/2' CALPER SUGAR MAPLE - EXISTING | 18 5' H HONEYSUCKLE - EXISTING  | 31 5' H SERVICE BERRY - EXISTING              |
| 6 11 CALPER HONEY LOCUST - EXISTING    | 19 2' H JAPANESE MAPLE - EXISTING   | 32 2' H YEW (S) - EXISTING                    |
| 7 AESCULUS HIPPOCASTANUM - EXISTING    | 20 6' H SNOWBERRY - EXISTING  | 33 3' H BOXWOOD - EXISTING                    |
| 8 15 CALPER HONEY LOCUST - EXISTING    | 21 6' SERVICE BERRY - EXISTING  | 34 3' H YEW - EXISTING                        |
| 9 8' CALPER ELM - EXISTING             | 22 5' H DOGWOOD - EXISTING. OWNER TO REPLACE WHERE AFFECTED BY NEW CONSTRUCTION | 35 5' H YEW - EXISTING                        |
| 10 5' H GLOBE ARBORVITAE - EXISTING    | 23 3' H LIQUISTRUM PRIVET HEDGE - EXISTING                                      | 36 10' TAXUS YEW - EXISTING                   |
| 11 7' H SNOWBERRY - EXISTING           | 24 4' H FRAGRANT SUMAC HEDGE - EXISTING   | 37 3' H LIQUISTRUM PRIVET HEDGE - EXISTING    |
| 12 16' H ARBOR VITAE HEDGE - EXISTING  | 25 5' H JUNIPER - EXISTING  | 38 3' H LIQUISTRUM PRIVET HEDGE - EXISTING    |
| PERENNIAL BEDS - EXISTING              | 26 3' H SUMAC - EXISTING  | 39 NEW PLANTINGS BY OWNER                     |



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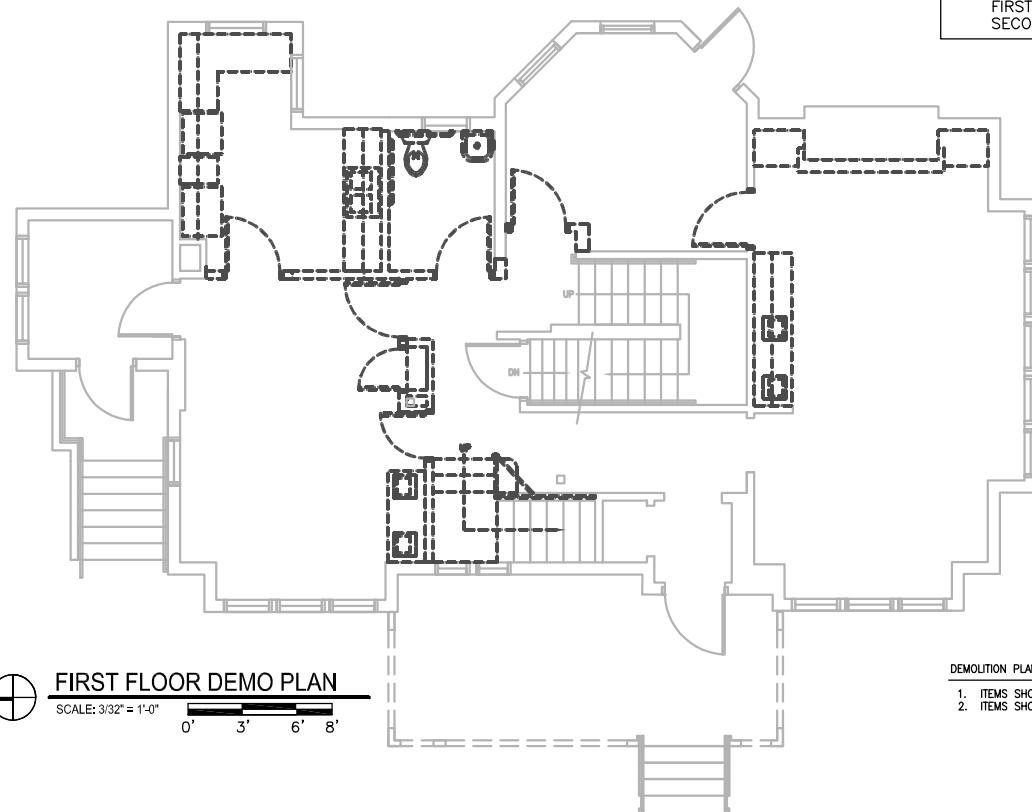
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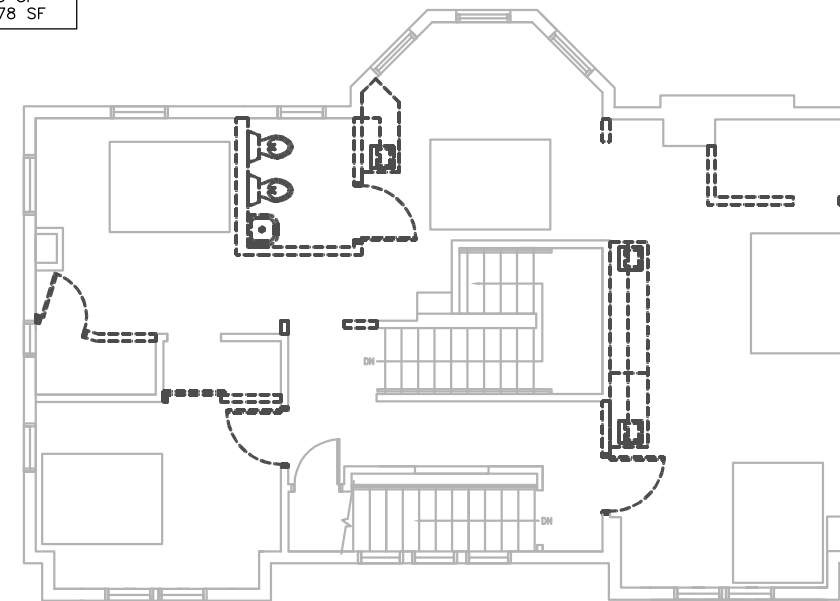
**BASEMENT DEMO PLAN**  
SCALE: 3/32" = 1'-0"  
0' 3' 6' 8'

BUILDING AREA:  
BASEMENT FLOOR: 1186 SF  
FIRST FLOOR: 1283 SF  
SECOND FLOOR: 1178 SF



**FIRST FLOOR DEMO PLAN**  
SCALE: 3/32" = 1'-0"  
0' 3' 6' 8'

DEMOLITION PLAN NOTES:  
1. ITEMS SHOWN DARK AND DASHED TO BE REMOVED.  
2. ITEMS SHOWN SCREENED ARE EXISTING TO REMAIN.



**SECOND FLOOR DEMO PLAN**  
SCALE: 3/32" = 1'-0"  
0' 3' 6' 8'

**CONDITIONAL  
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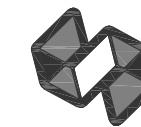
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**HEALING HOUSE**

303 LATHROP STREET  
MADISON, WISCONSIN

SHEET TITLE  
**DEMOLITION PLANS**

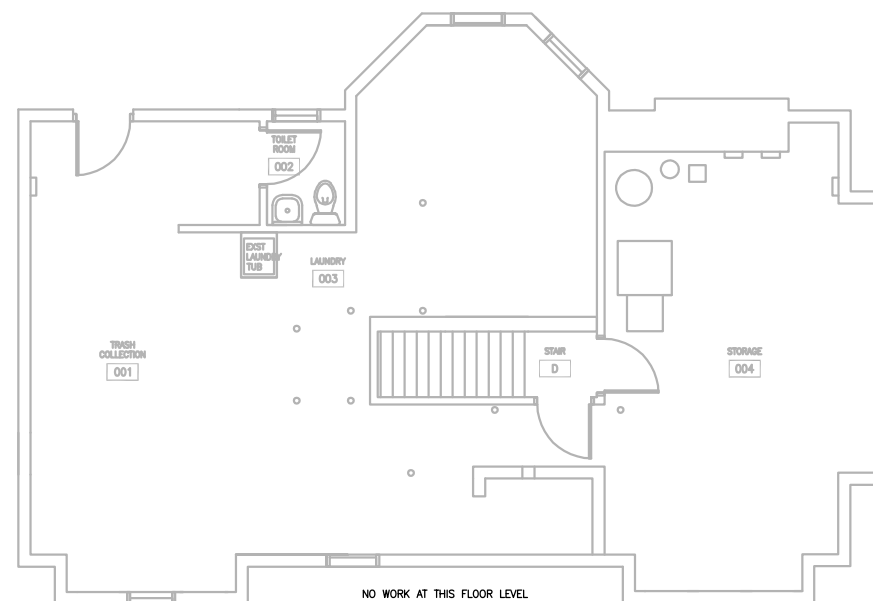
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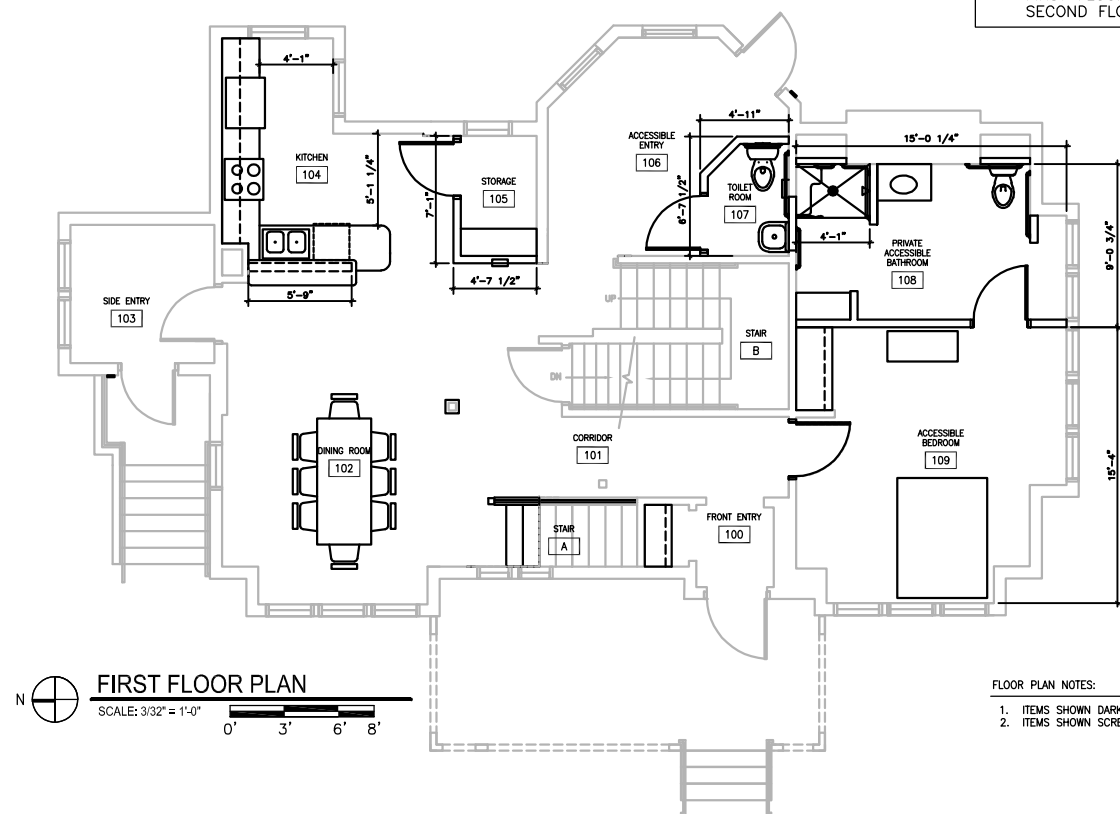
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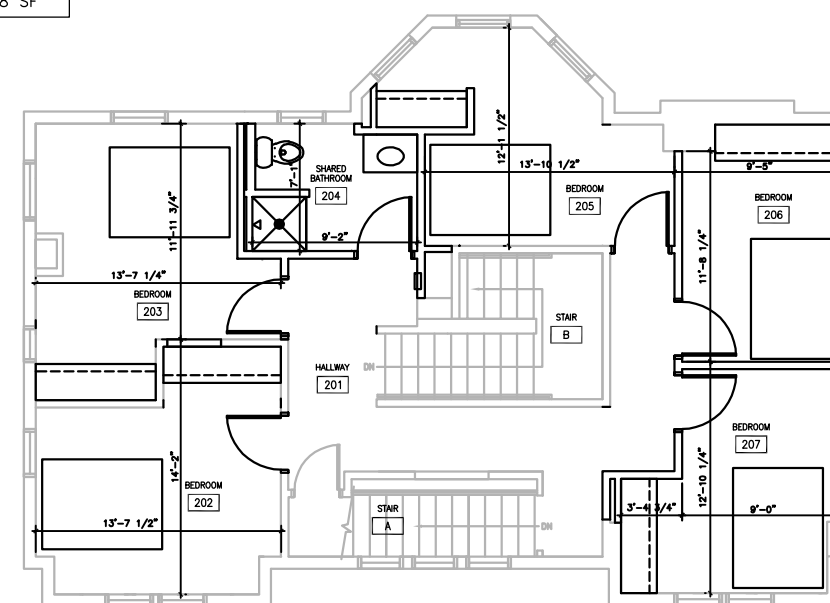
**BASEMENT FLOOR PLAN**  
SCALE: 3/32" = 1'-0"  
0' 3' 6' 8'

BUILDING AREA:  
BASEMENT FLOOR: 1186 SF  
FIRST FLOOR: 1283 SF  
SECOND FLOOR: 1178 SF



**FIRST FLOOR PLAN**  
SCALE: 3/32" = 1'-0"  
0' 3' 6' 8'

FLOOR PLAN NOTES:  
1. ITEMS SHOWN DARK AND SOLID ARE PROPOSED NEW WORK.  
2. ITEMS SHOWN SCREENED ARE EXISTING TO REMAIN.



**SECOND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"  
0' 3' 6' 8'

**CONDITIONAL  
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08-15-2018

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| PROJECT TITLE |              |

**HEALING HOUSE**

303 LATHROP STREET  
MADISON, WISCONSIN

SHEET TITLE

**NEW WORK  
FLOOR PLANS**

SHEET NO.

**A200**



FRONT – WEST ELEVATION



SIDE – SOUTH ELEVATION



REAR – EAST ELEVATION



FRONT – NORTH ELEVATION



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HEALING HOUSE

303 LATHROP STREET  
MADISON, WISCONSIN

SHEET TITLE  
EXISTING EXTERIOR  
PHOTOS

SHEET NO.  
**P000**