

ALL SAINTS PHASE III

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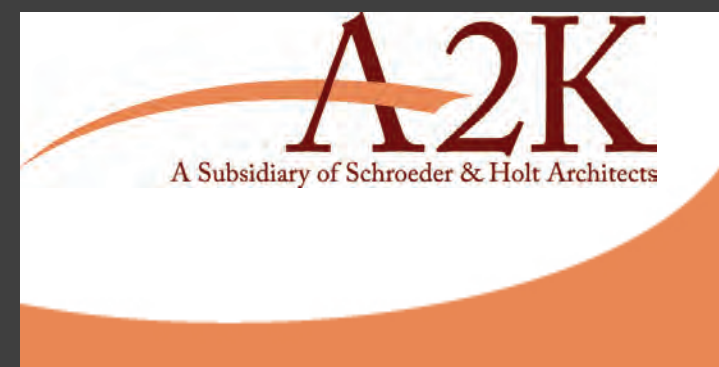
1" = 20' SCALE

CIVIL DRAWINGS

1" = 20' SCALE



SITE LOCATION



ARCHITECTURE 2000
311 E. Chicago St.
Suite 310
Milwaukee, WI 53202
414-727-2321

ALL SAINTS CAMPUS
TITLE SHEET

May 7th, 2014

All Saints Phase III

All Saints Phase III, a Continuum of Care Residential Community
Watts Road and Commerce Drive
Madison, WI 53719
Initial Approval and/or Recommendation
Amended PDP/SIP

History and a Brief description of the proposed Project

History- Project Location

All Saints, a Catholic Charities Company, purchased this site in 2003. All Saint's vision for this property was to create a Catholic based retirement community. The site lies both on the east side and west side of Commerce drive, adjacent to the Bishop O'Connor Center and across Watts Road from the Princeton Club west.

Since 2003, the following has been developed on site:

- Infrastructure, consisting of the extension of Commerce Drive and the construction of Highview Drive and the extension of Plaza Drive,
- All Saints Retirement Center, a 144 Unit apartment building,
- All Saints Assisted Living a 58 unit assisted living and memory care facility,
- Hillside Estates, a 12 unit condominium building, and
- All Saints Cottages, two, free standing, duplex buildings.

In 2004 zoning was approved for 108 units of age restricted condo and multi-family under on the lands east of Commerce Drive. To date, only Hillside Estates, a 12 unit has been constructed in this area.

Vision- Project Description

The current vision for this property is to develop the remaining land as a true Continuum of Care Residential Community (CCRC). In lieu of the 108 units west of Commerce, previously proposed and zoned, we are proposing the following:

- A 3-4 Story Apartment building consisting of 40-50 units of Service Enhanced apartments,
- A 2 story Assisted living facility consisting of 60 units,
- A 40-48 bed Skilled Nursing facility,
- A free standing 12 unit apartment building, and
- The services to support and create a CCRC consisting of a dining area, a café/bistro, commercial kitchen, exercise/wellness center, Chapel, activity area, and associated appropriate retail support.

Process

Rezoning will be required
Re-platting will be required
A minor land acquisition from the Bishop O'Connor Center (complete) will be required with rezoning for same.

Ownership

The project will be owned by All Saints, a non-profit Catholic Charities company.

Streets and Traffic

The site will be accessed from Commerce Drive, Watts Road, and Highview Drive. A new through-drive is envisioned between Watts Road and Commerce Drive. A curb cut is being proposed on Watts Road at an existing boulevard cut and directly across the street from the existing Princeton Club entrance.

Park/Greenway

All Saints is adjacent to Hillpoint Park. The site is served by city and private sidewalks that are connected to city sidewalks, streets, and the park trail system.

Parking

Parking for the residents and staff of All Saints Phase III is envisioned to be structured underground parking. Visitor parking is envisioned to be on the surface, along new through drive and on existing public streets.

Hours of Operation

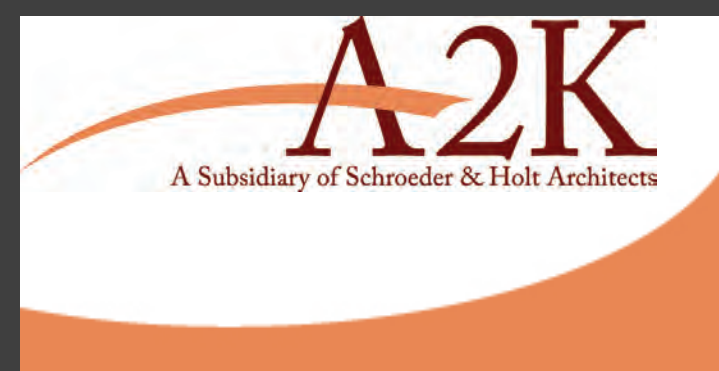
The buildings will be occupied 24 hours a day 365 days per year.

All Saint's Phase III Project Data Table.

| | |
|-------------------------|--|
| Lot Area: | 185,365 sq. ft. (4.26 acres) |
| Dwelling Units: | 170 units (includes 48 bed SNF and 60 bed ASL "private rooms") |
| Lot Area/Dwelling Unit: | 1,055 sq. ft./D.U. |
| Density: | 41.26 units/acre |

Lot Coverage

| | |
|-------------------|------------------------|
| Open Space | 90,175 sq. ft. (35.8%) |
| Building Coverage | 73,320 sq. ft. (40.9%) |
| Total Pavement | 41,729 sq. ft. (23.3%) |



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ALL SAINTS CAMPUS
Narrative



RETAIL AT NORTH WEST CORNER OF WATTS AND COMMERCIAL



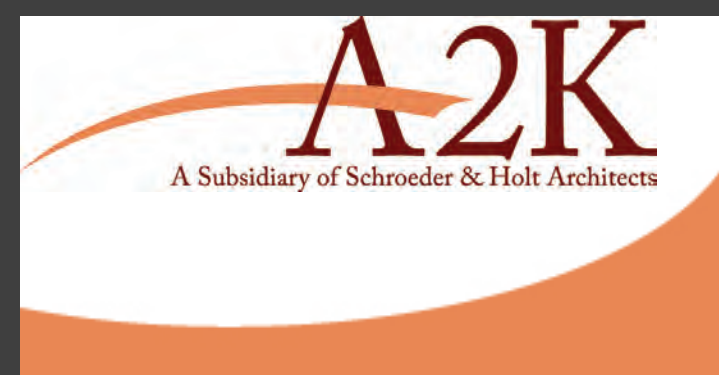
RETAIL AT COMMERCE AND WATTS



144 UNIT ALL SAINTS RETIREMENT



12 UNIT CONDO, HILLSIDE ESTATES



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ALL SAINTS CAMPUS
CONTEXTUAL PHOTOS



VIEW TO SOUTH OF BISHOP O'CONNOR CENTER



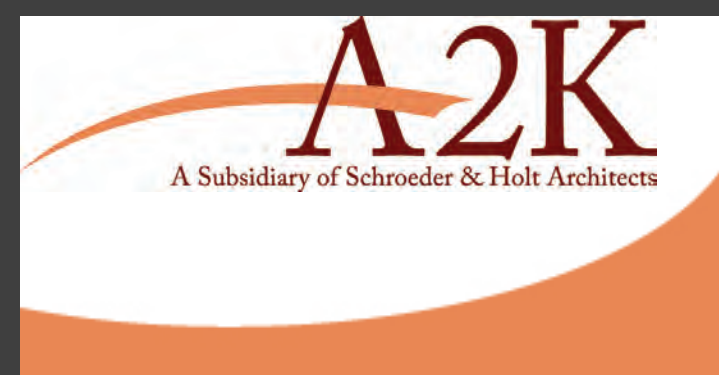
PRINCETON CLUB TO EAST



HOTEL TO NORTH



HOTEL TO NORTHWEST



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ALL SAINTS CAMPUS
CONTEXTUAL PHOTOS



DUPLEX ON HIGHVIEW



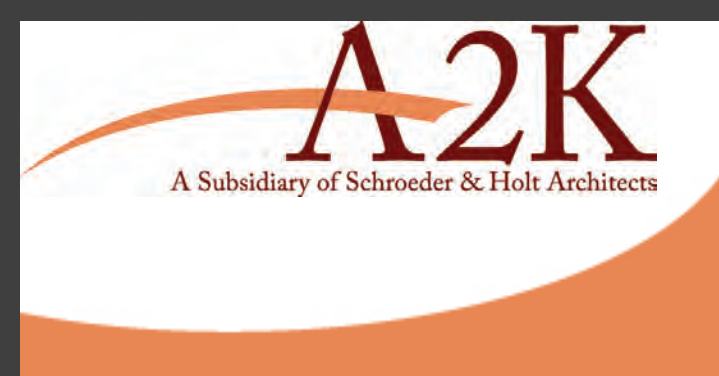
144 UNITS ALL SAINTS RETIREMENT



144 UNITS ALL SAINTS RETIREMENT

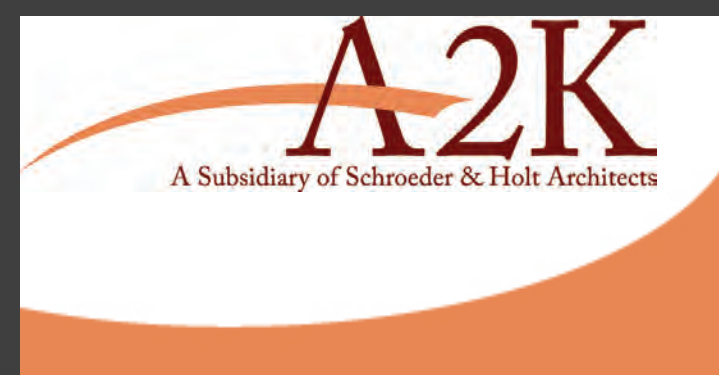


12 UNIT CONDEO, HILLSIDE ESTATES



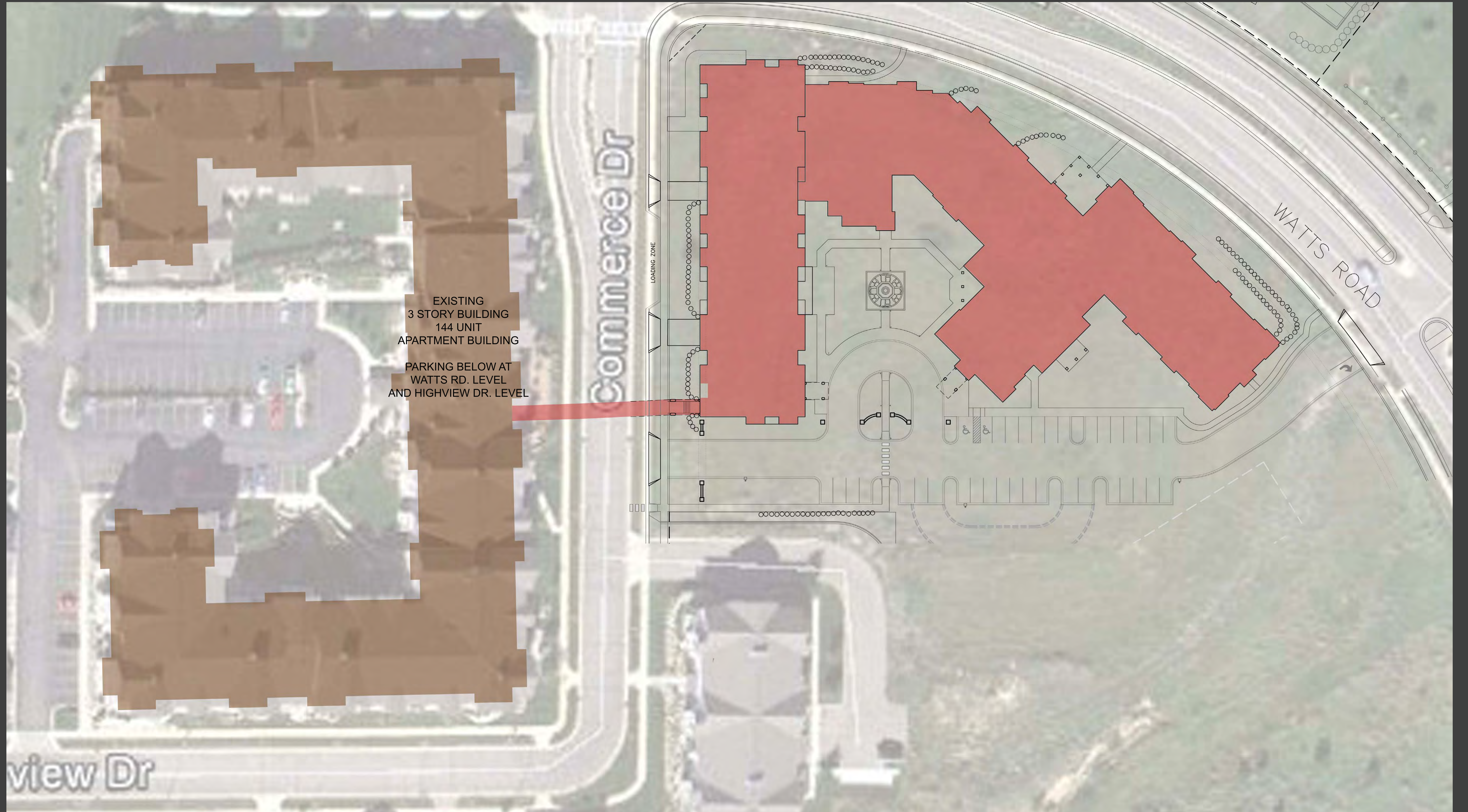
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ALL SAINTS CAMPUS
CONTEXTUAL PHOTOS



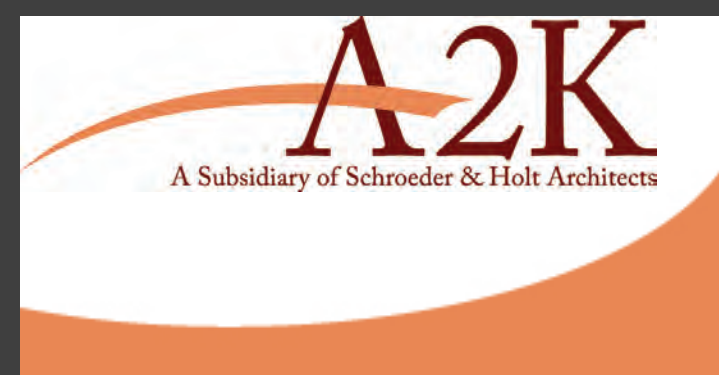
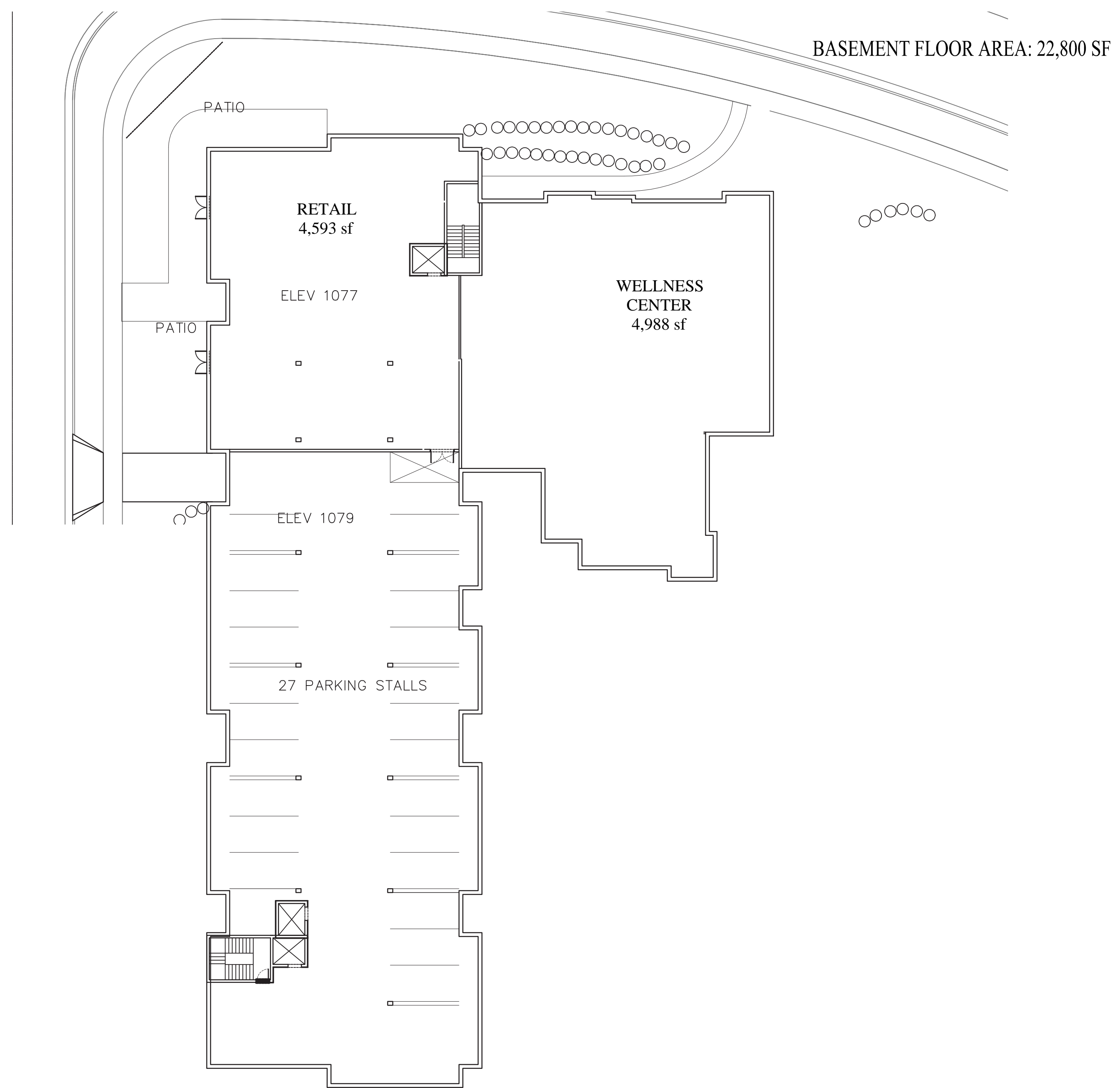
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ALL SAINTS CAMPUS
SITE PLAN; 1" = 60' SCALE



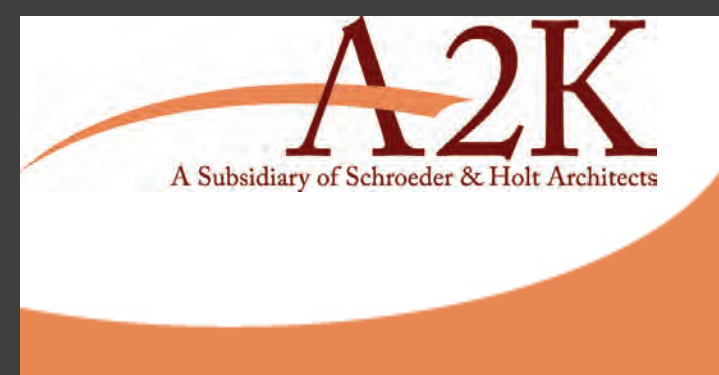
EXISTING
3 STORY BUILDING
144 UNIT
APARTMENT BUILDING

PARKING BELOW AT
WATTS RD. LEVEL
AND HIGHVIEW DR. LEVEL



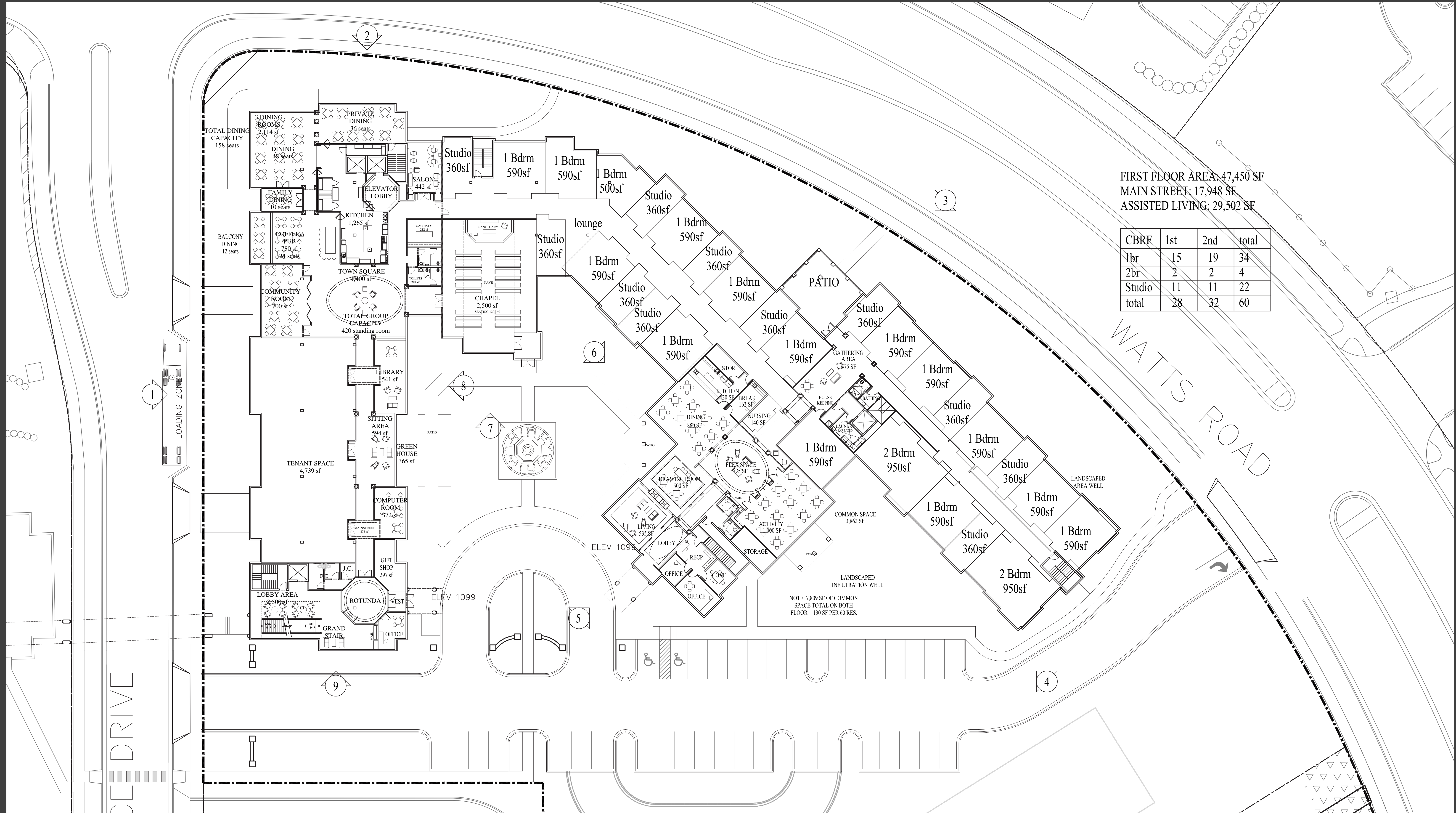
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ALL SAINTS CAMPUS
BASEMENT LEVEL: 1" = 20'



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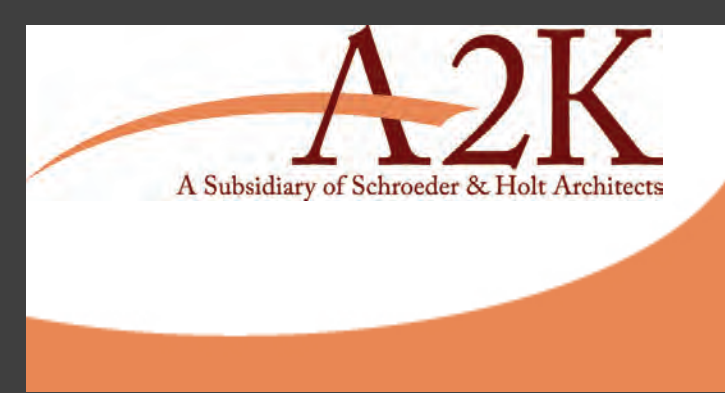
ALL SAINTS CAMPUS
 LOWER LEVEL: 1" = 20'



FIRST FLOOR AREA: 47,450 SF
 MAIN STREET: 17,948 SF
 ASSISTED LIVING: 29,502 SF

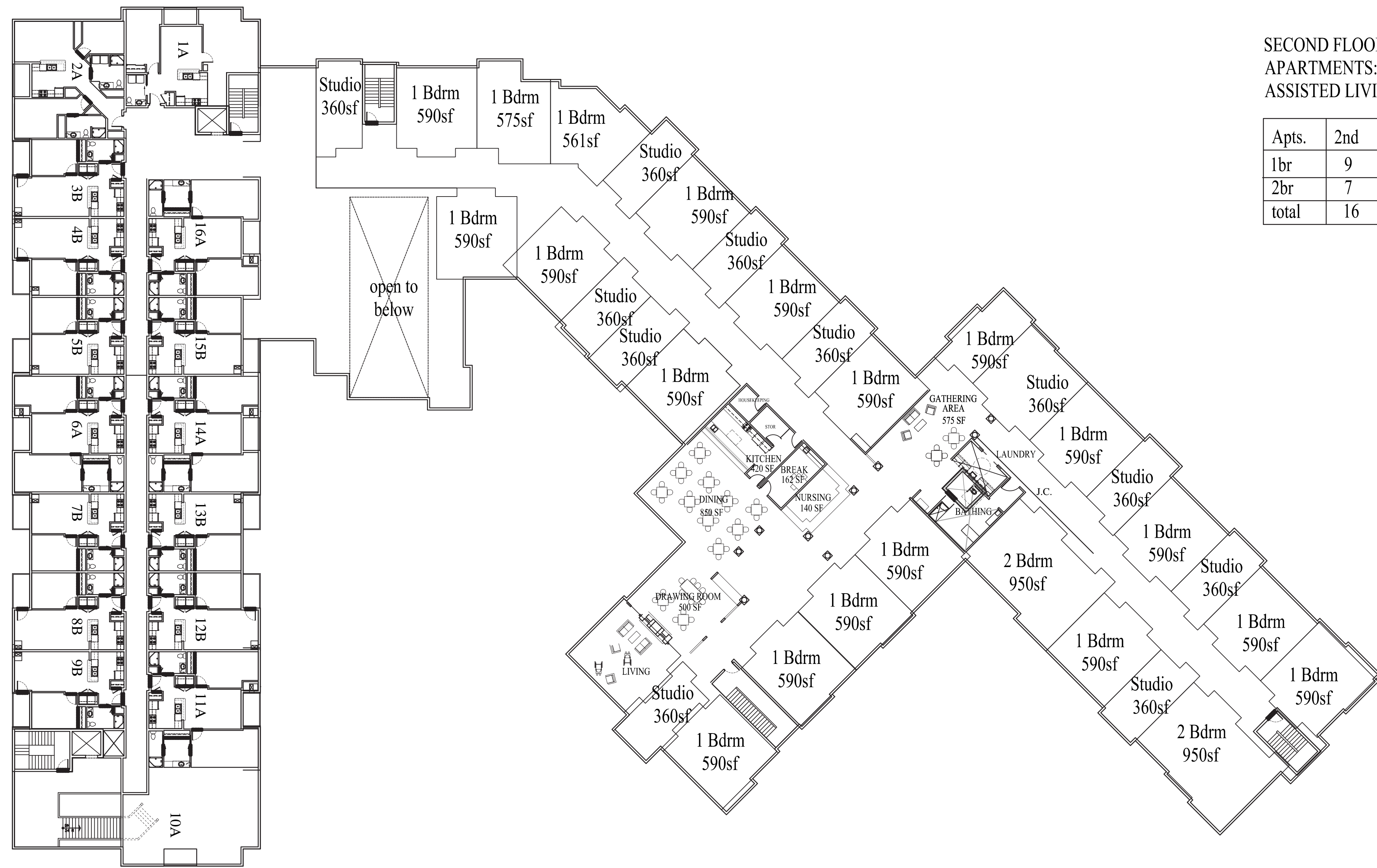
| CBRF | 1st | 2nd | total |
|--------|-----|-----|-------|
| 1br | 15 | 19 | 34 |
| 2br | 2 | 2 | 4 |
| Studio | 11 | 11 | 22 |
| total | 28 | 32 | 60 |

NOTE: 7,809 SF OF COMMON SPACE TOTAL ON BOTH FLOOR = 130 SF PER 60 RES.



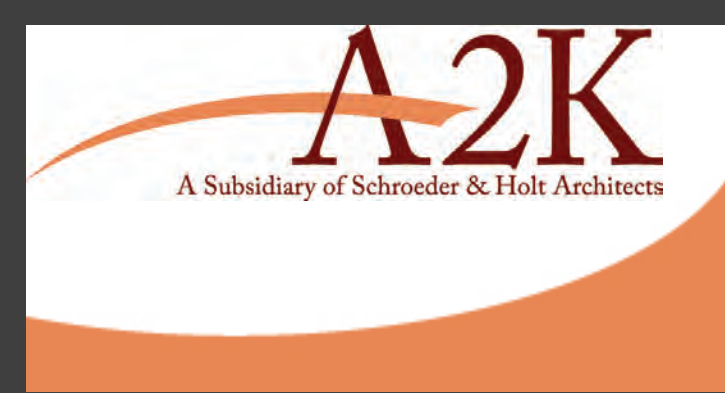
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ALL SAINTS CAMPUS
 FIRST FLOOR: 1" = 20'



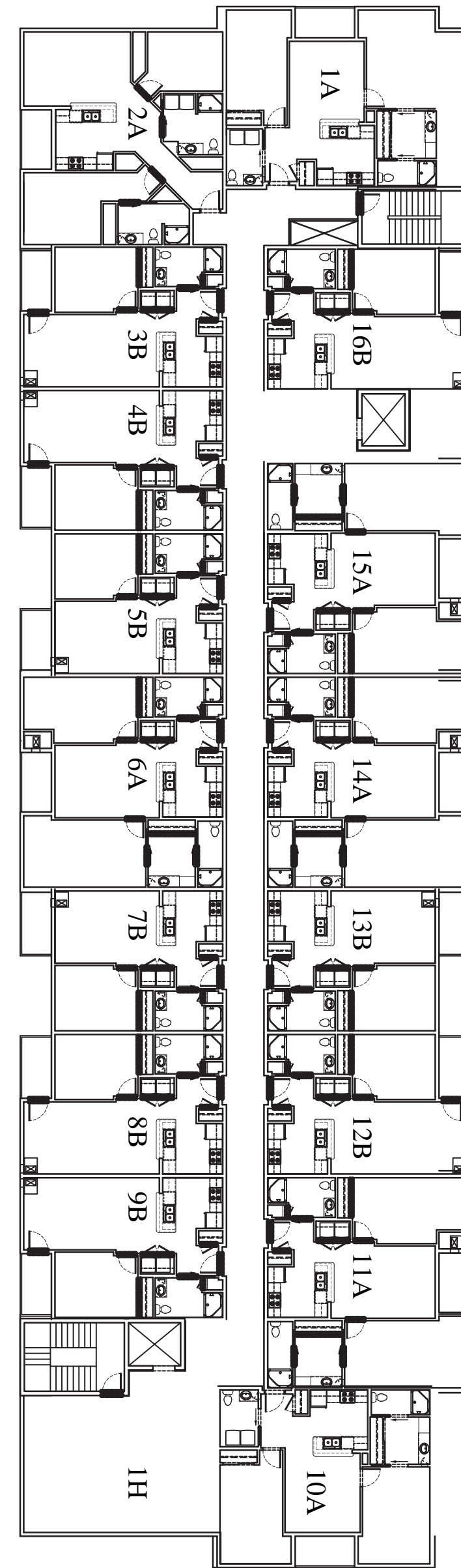
SECOND FLOOR AREA: 46,535 SF
 APARTMENTS: 17,590 SF
 ASSISTED LIVING: 26,365 SF

| Apts. | 2nd | 3rd | 4th | total |
|-------|-----|-----|-----|-------|
| 1br | 9 | 9 | 9 | 27 |
| 2br | 7 | 7 | 7 | 21 |
| total | 16 | 16 | 16 | 48 |

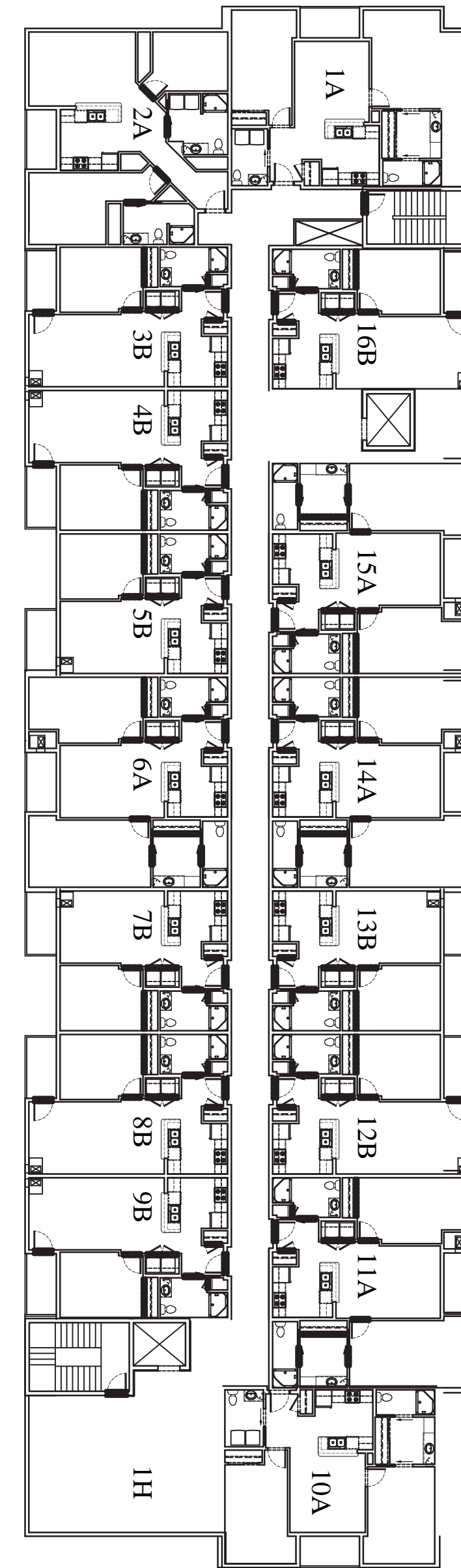


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ALL SAINTS CAMPUS
 SECOND FLOOR: 1" = 20'



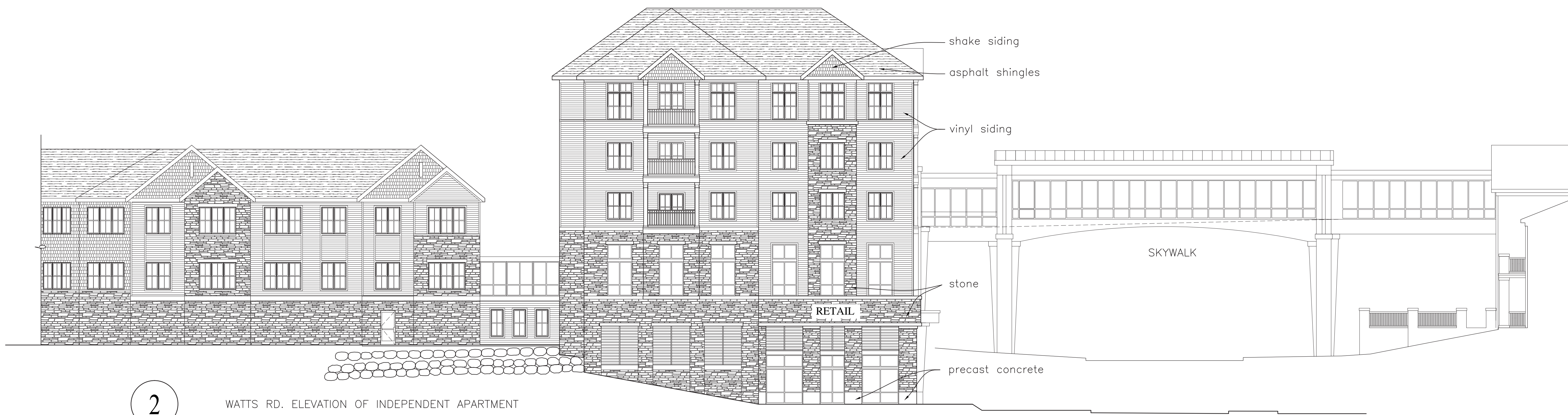
THIRD FLOOR AREA: 17,590 SF
 APARTMENTS: 17,590 SF



FOURTH FLOOR AREA: 17,590 SF
 APARTMENTS: 17,590 SF



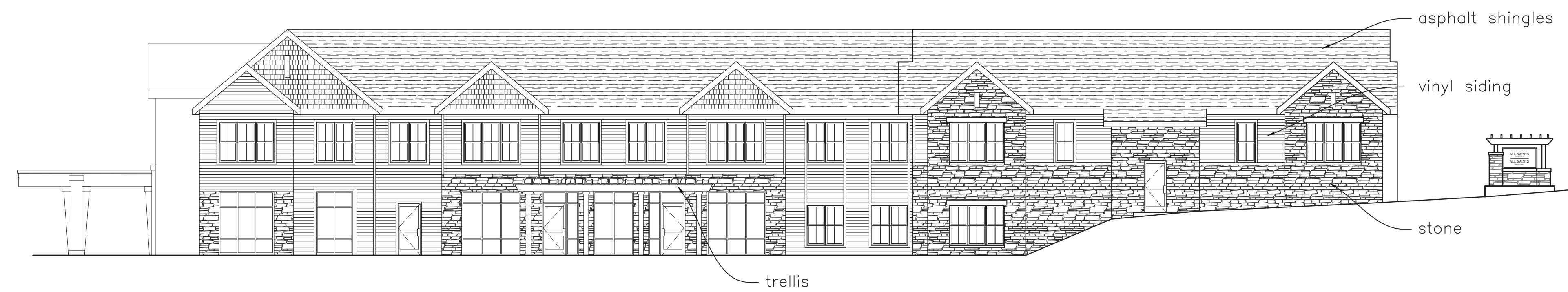
1 COMMERCE ST. ELEVATION



2 WATTS RD. ELEVATION OF INDEPENDENT APARTMENT



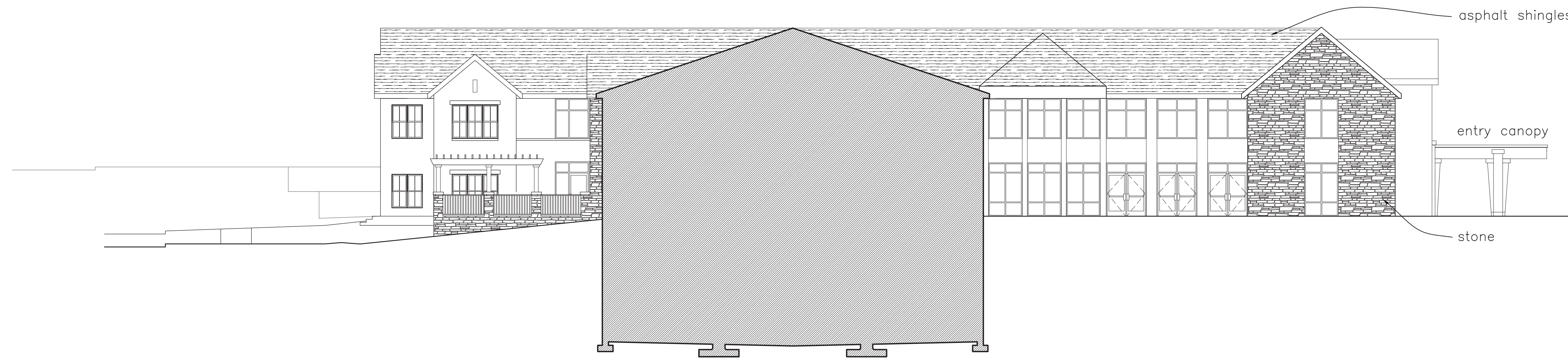
3 WATTS RD. ELEVATION OF CBRF



4 SOUTH ELEVATION OF CBRF AT DRIVE LANE

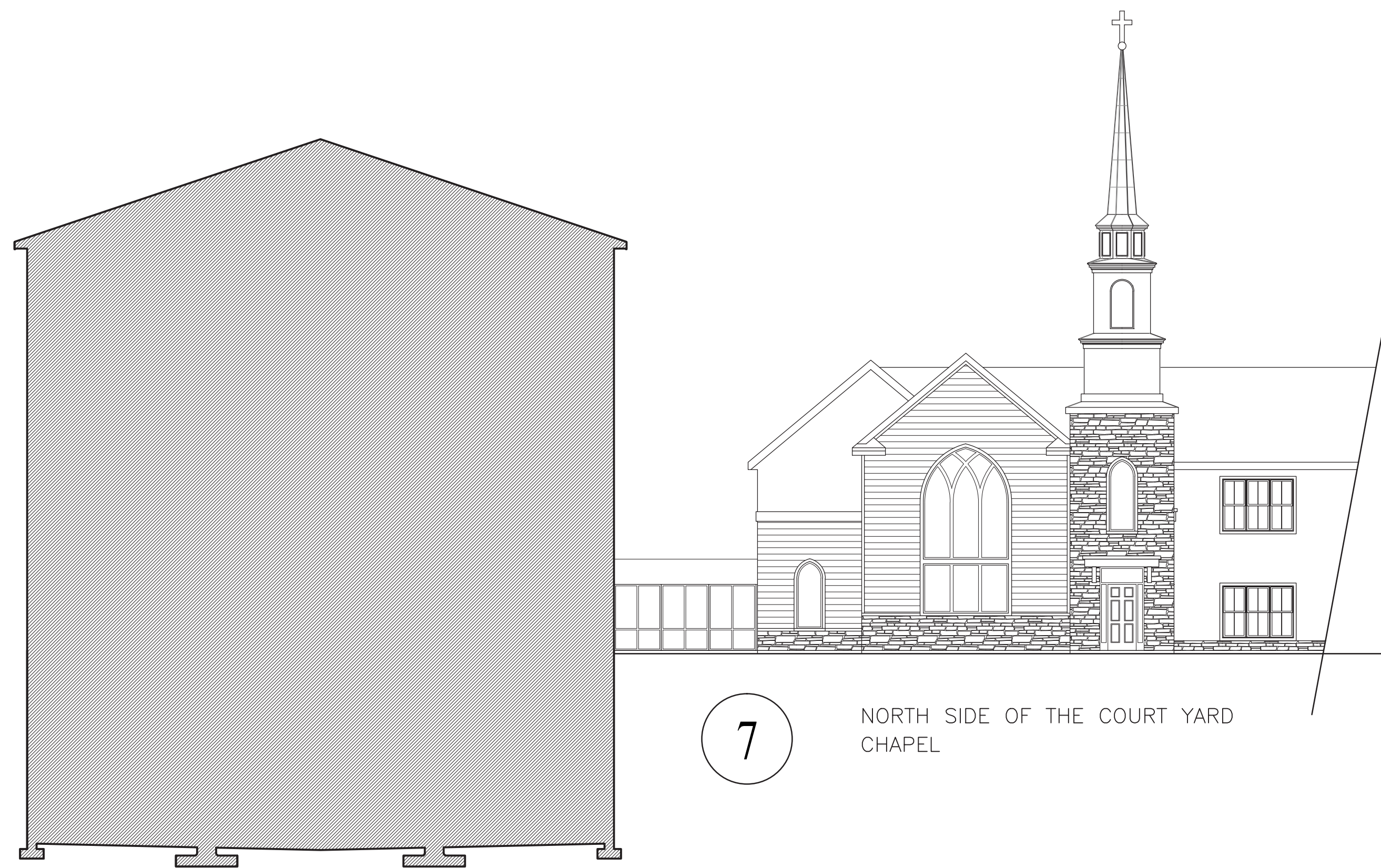


5 ENTRANCE OF CBRF



6

SECTION LOOKING AT ACTIVITY ROOM

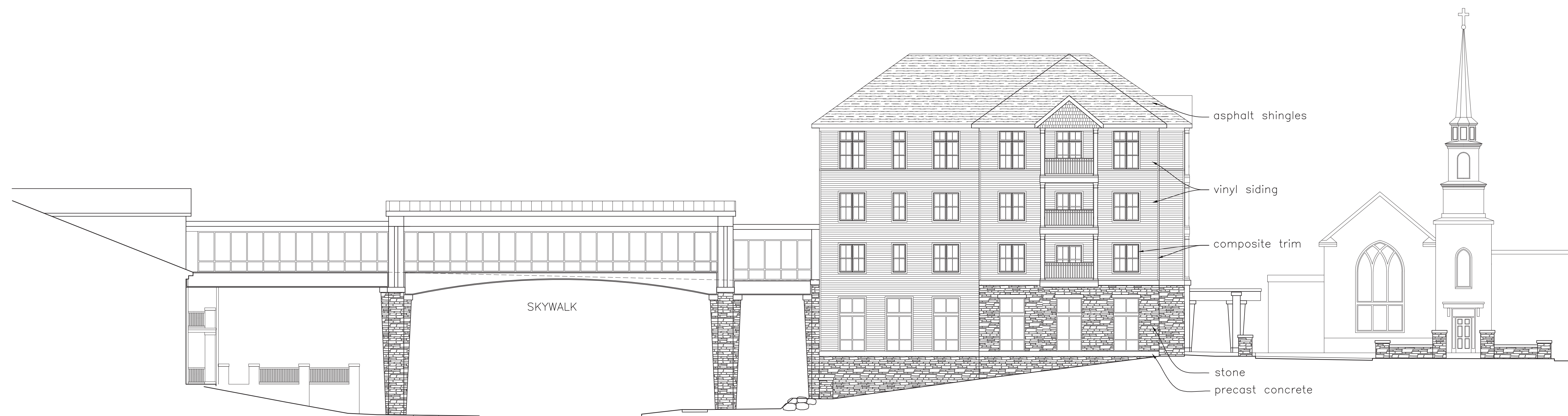


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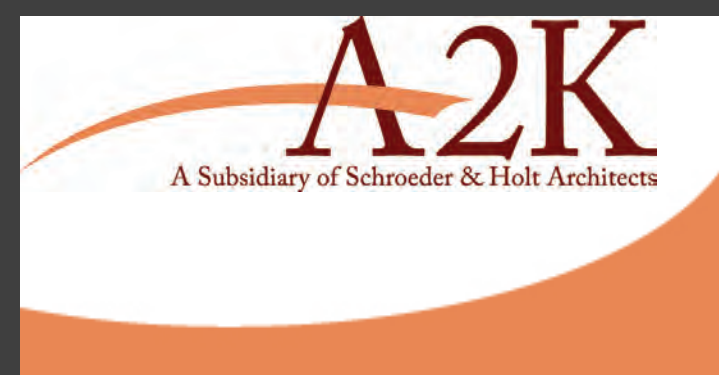
NORTH SIDE OF THE COURT YARD CHAPEL



8 COURT YARD ELEVATION OF INDEPENDENT LIVING

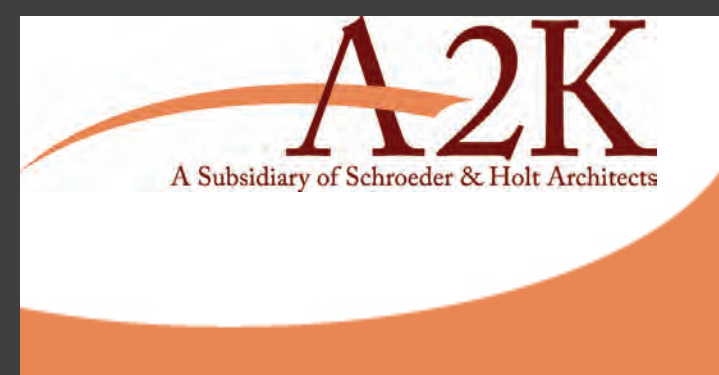


9 SOUTH ELEVATION OF INDEPENDANT LIVING



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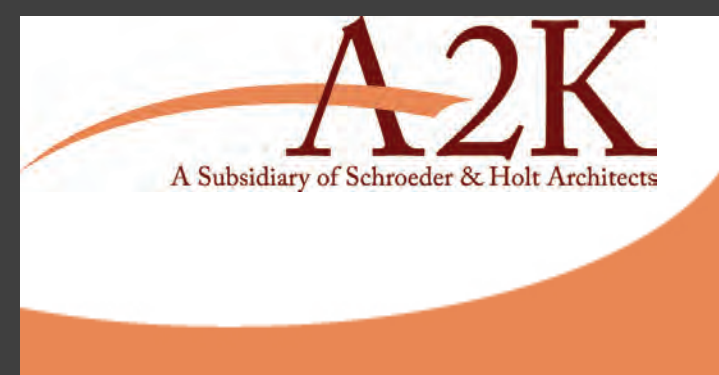
ALL SAINTS CAMPUS
PERSPECTIVES



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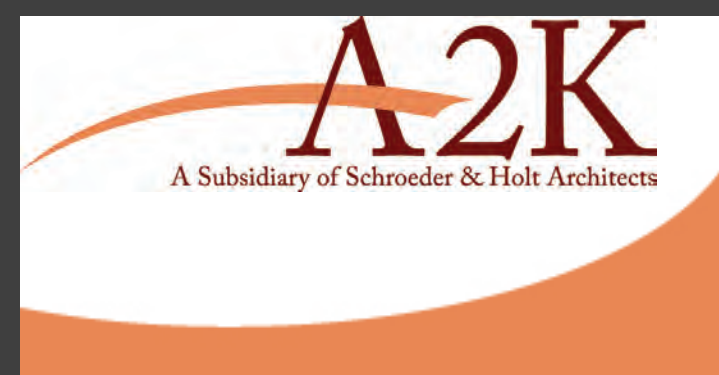
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ALL SAINTS CAMPUS
PERSPECTIVES

May 7th, 2014



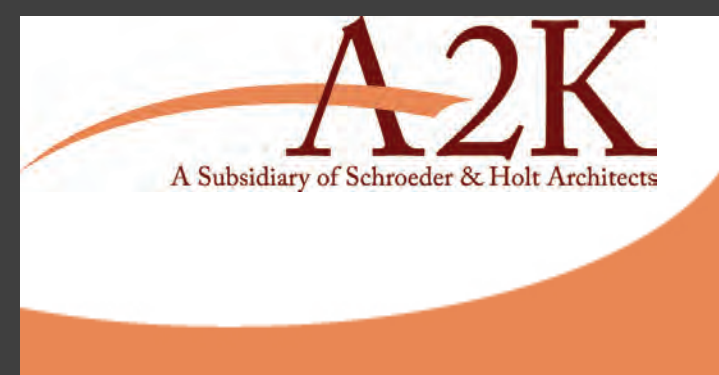
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ALL SAINTS CAMPUS
PERSPECTIVES

May 7th, 2014



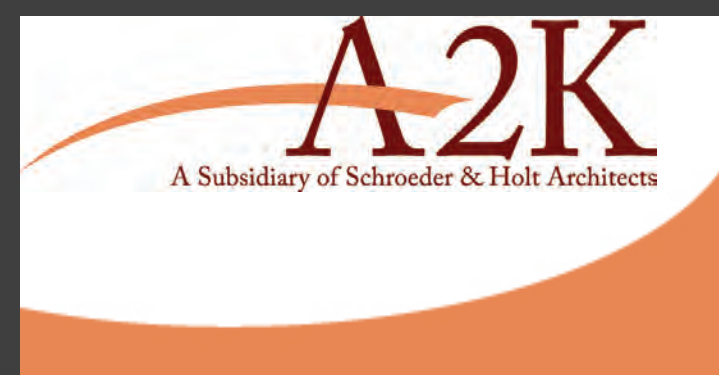
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ALL SAINTS CAMPUS
Perspectives

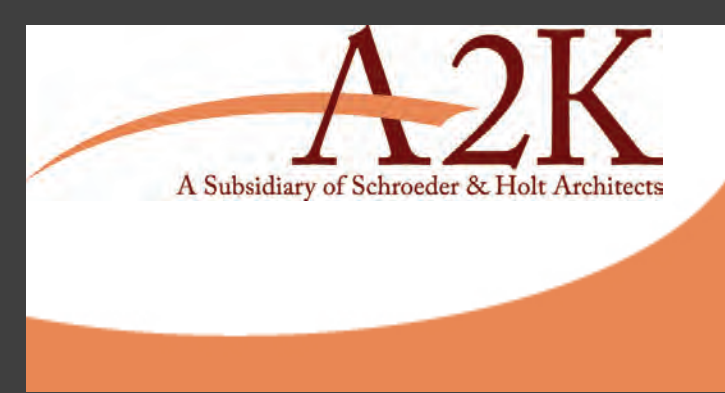
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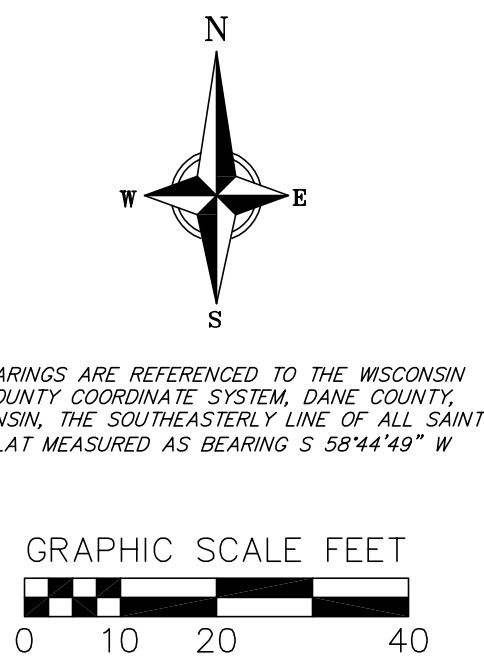
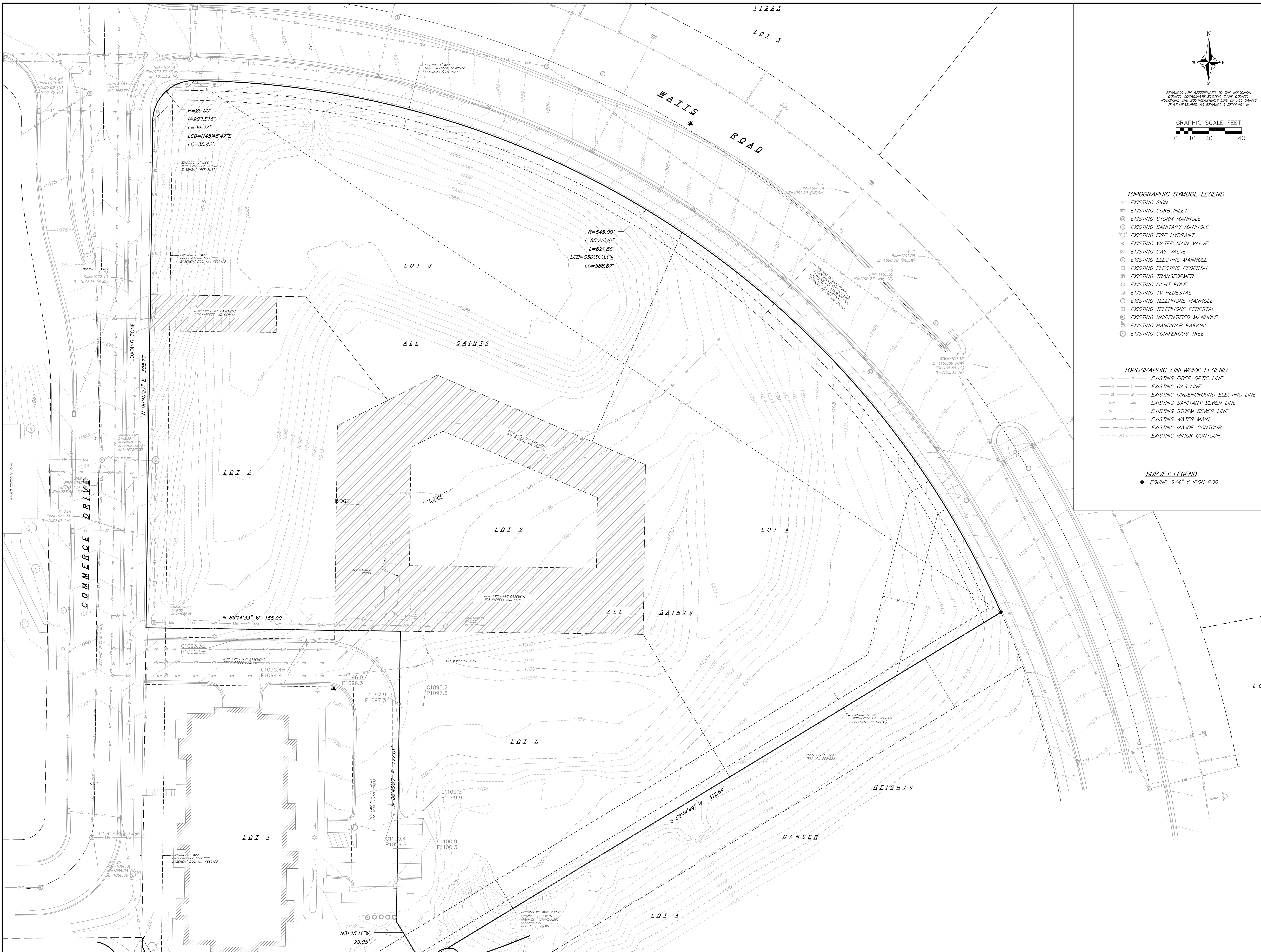
ALL SAINTS CAMPUS
Perspectives

| Common Name | Quantity | Scheduled Size |
|--------------------------------|----------|----------------|
| Mohican Viburnum | 9 | 3ft |
| Pachysandra | 145 | 2.5in Pot |
| Koreanspice Viburnum | 6 | #5 |
| Sieboldiana Elegans Hosta | 32 | 1 Gal |
| Japanese Blood Grass | 26 | 1 Gal |
| Scarlet Meidland Rose | 4 | |
| Everlow Yew | 50 | |
| Pink Diamond Hydrangea | 11 | 18in |
| Common Name | 0 | Scheduled Size |
| Tautonii Yew | 71 | #5 |
| Royalty Lilac | 8 | 3-4ft |
| Unique Hydrangea | 16 | 2ft |
| Spirea Neon Flash | 12 | 15-18in |
| Knockout Rose | 28 | 2 Gal |
| Carol Mackie Daphne | 9 | 12-15in |
| Endless Summer Hydrangea | 23 | #1 Grade |
| Dwarf Bushhoneysuckle | 15 | 4.5in Pot |
| Tor Birchleaf Spirea | 7 | 12-15in |
| North Star Boxwood | 29 | #5 |
| Miss Kim Lilac | 5 | 2-3ft |
| Minuet Weigela | 12 | 12in |
| Goldflame Spirea | 8 | 15-18in |
| Fuchsia Meidland Rose | 27 | 2 Gal |
| Diablo Ninebark | 2 | 2-3ft |
| Little Princess Spirea | 7 | 15-18in |
| Peppermint Stick Spirea | 6 | 12-15in |
| Northwind Switch Grass | 32 | 1 Gal |
| Grow Low Sumac | 26 | 15-18in |
| Compacta Andorra Juniper | 17 | #3 |
| Hughes Juniper | 9 | #3 |
| New Horizon Elm | 6 | 2in BB |
| Celebration Maple | 5 | 2in BB |
| Swamp White Oak | 4 | 2in BB |
| Annabelle Hydrangea | 10 | #1 Grade |
| Poppurascens Maidengrass | 18 | 1 Gal |
| Ice Dance Sedge | 33 | 4.5in Pot |
| Sum and Substance Hosta | 17 | 1 Gal |
| Happy Returns Daylily | 18 | 4.5in Pot |
| Serbian Spruce | 3 | 6ft BB |
| Red Japanese maple | 1 | #10 |
| Autumn Brilliance Juneberry | 13 | --- |
| Blue Cloud Calamint | 69 | 4.5in Pot |
| Walker's Low Cat Mint | 53 | 4.5in Pot |
| Fulgida Black Eyed Susan | 18 | 4.5in Pot |
| Hameln Fountain Grass | 31 | 1 Gal |
| Autumn Joy Sedum | 44 | 4.5in Pot |
| May Nite Meadow Sage | 36 | 4.5in Pot |
| Stella de Oro Daylily | 20 | 4.5in Pot |
| Eastern Redbud | 1 | 5' BB |
| Hicks Yew | 25 | |
| Purple Prince Crab | 6 | 2in BB |
| Bradford callery pear | 3 | 2in BB |
| Bressingham Blue Hosta | 22 | 1 Gal |
| Nannyberry | 1 | 4-5ft |
| Mt. Airy Fothergilla | 5 | #5 |
| Chicago Lustre Viburnum | 1 | 3ft |
| Golden Tiara Hosta | 35 | 4.5in Pot |
| Tiger Eyes Sumac | 7 | 2-3ft |
| Dwarf Zebra Grass | 22 | 1 Gal |
| Sapphire Blue Oat Grass | 12 | 1 Gal |
| Graziella Maidengrass | 4 | 1 Gal |
| Dwarf Sargent Crabapple | 2 | 3/4in |
| Ivory Silk Japanese Tree Lilac | 8 | 2in BB |
| Little Spire Russian Sage | 8 | 4.5in Pot |



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ALL SAINTS CAMPUS
 LANDSCAPE PLAN: 1" = 20'



- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING SIGN
 - EXISTING CURB INLET
 - ⊙ EXISTING STORM MANHOLE
 - ⊙ EXISTING SANITARY MANHOLE
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING WATER MAIN VALVE
 - ⊙ EXISTING GAS VALVE
 - ⊙ EXISTING ELECTRIC MANHOLE
 - ⊙ EXISTING ELECTRIC PEDESTAL
 - ⊙ EXISTING TRANSFORMER
 - ⊙ EXISTING LIGHT POLE
 - ⊙ EXISTING TV PEDESTAL
 - ⊙ EXISTING TELEPHONE MANHOLE
 - ⊙ EXISTING TELEPHONE PEDESTAL
 - ⊙ EXISTING UNIDENTIFIED MANHOLE
 - ⊙ EXISTING HANDICAP PARKING
 - ⊙ EXISTING CONIFEROUS TREE
- TOPOGRAPHIC LINEWORK LEGEND**
- FO — EXISTING FIBER OPTIC LINE
 - G — EXISTING GAS LINE
 - UE — EXISTING UNDERGROUND ELECTRIC LINE
 - SAW — EXISTING SANITARY SEWER LINE
 - ST — EXISTING STORM SEWER LINE
 - WM — EXISTING WATER MAIN
 - 820 — EXISTING MAJOR CONTOUR
 - 818 — EXISTING MINOR CONTOUR
- SURVEY LEGEND**
- FOUND 3/4" # IRON ROD

EXISTING CONDITIONS PLAN
 ALL SAINTS CAMPUS
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

| NO. | DATE | REVISIONS | REMARKS | | | | |
|-----|------|-----------|---------|-----|------|-----------|---------|
| | | | | NO. | DATE | REVISIONS | REMARKS |
| | | | | | | | |
| | | | | | | | |
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SCALE AS SHOWN

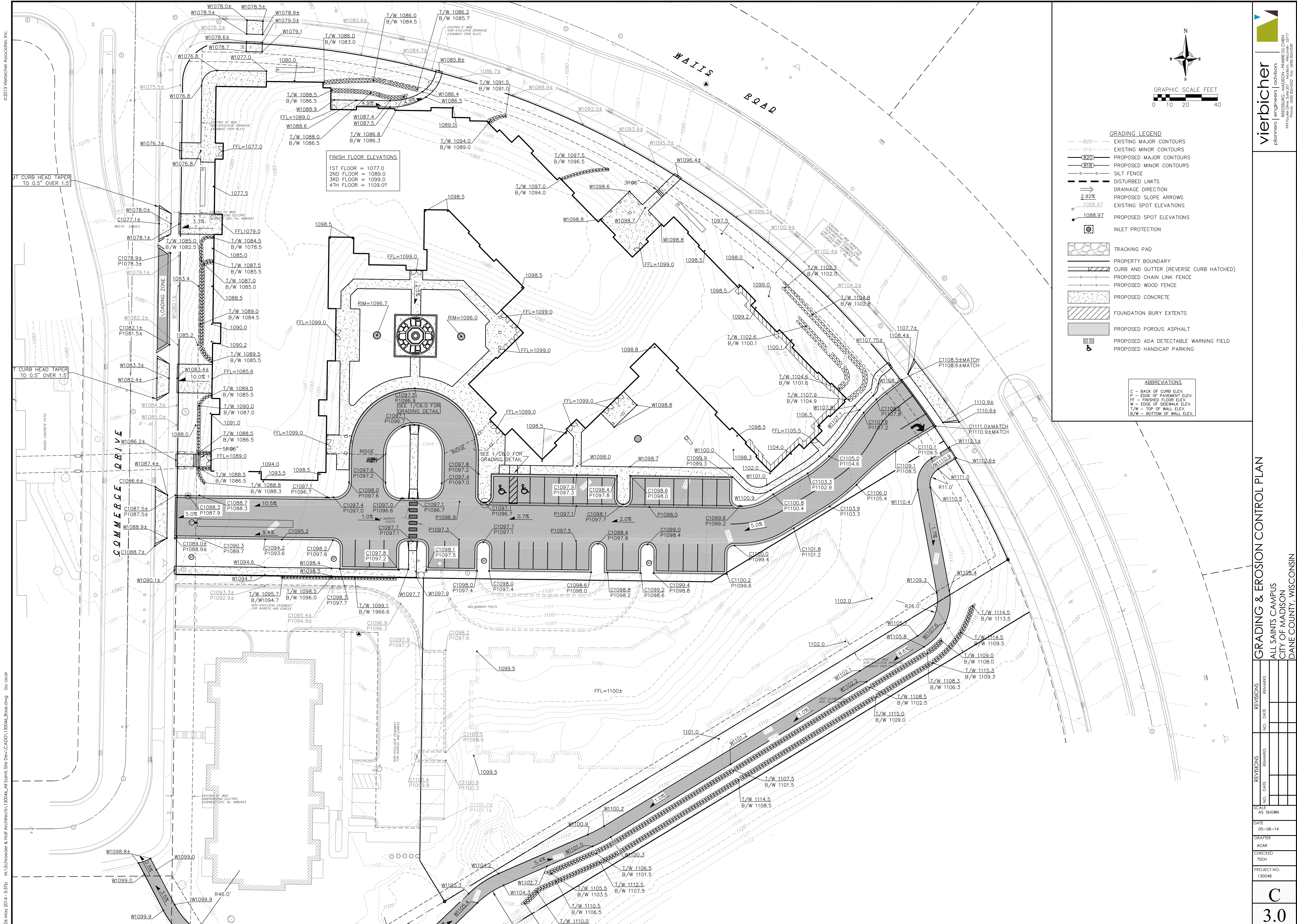
DATE 05-06-14

DRAFTER ACAR

CHECKED TSOH

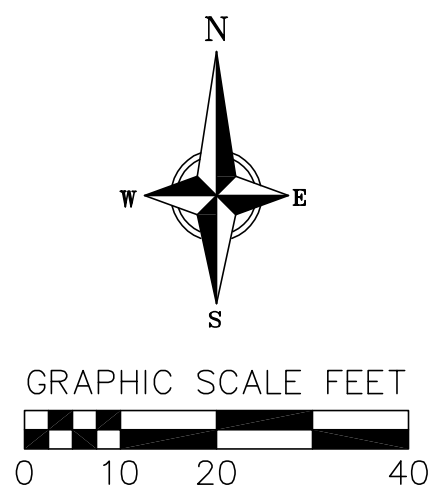
PROJECT NO. 130946

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05 May 2014 - 5:37p M:\Schnieder & Holt\Architects\130046_All Saints_Site_Dev\CADD\130046_Base.dwg By: acar



- GRADING LEGEND**
- 820- EXISTING MAJOR CONTOURS
 - 818- EXISTING MINOR CONTOURS
 - (820) PROPOSED MAJOR CONTOURS
 - (818) PROPOSED MINOR CONTOURS
 - - - SILT FENCE
 - - - DISTURBED LIMITS
 - - - DRAINAGE DIRECTION
 - 2.92% PROPOSED SLOPE ARROWS
 - 1088.97 EXISTING SPOT ELEVATIONS
 - 1088.97 PROPOSED SPOT ELEVATIONS
 - INLET PROTECTION
 - TRACKING PAD
 - PROPERTY BOUNDARY
 - CURB AND GUTTER (REVERSE CURB HATCHED)
 - PROPOSED CHAIN LINK FENCE
 - PROPOSED WOOD FENCE
 - PROPOSED CONCRETE
 - FOUNDATION BURY EXTENTS
 - PROPOSED POROUS ASPHALT
 - PROPOSED ADA DETECTABLE WARNING FIELD
 - PROPOSED HANDICAP PARKING

- ABBREVIATIONS**
- C - BACK OF CURB ELEV.
 - P - EDGE OF PAVEMENT ELEV.
 - FF - FINISHED FLOOR ELEV.
 - W - EDGE OF SIDEWALK ELEV.
 - T/W - TOP OF WALL ELEV.
 - B/W - BOTTOM OF WALL ELEV.

FINISH FLOOR ELEVATIONS

1ST FLOOR = 1077.0
 2ND FLOOR = 1089.0
 3RD FLOOR = 1099.0
 4TH FLOOR = 1109.0?

GRADING & EROSION CONTROL PLAN
 ALL SAINTS CAMPUS
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

| REVISIONS | NO. | DATE | REMARKS |
|-----------|-----|------|---------|
| | | | |
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SCALE AS SHOWN

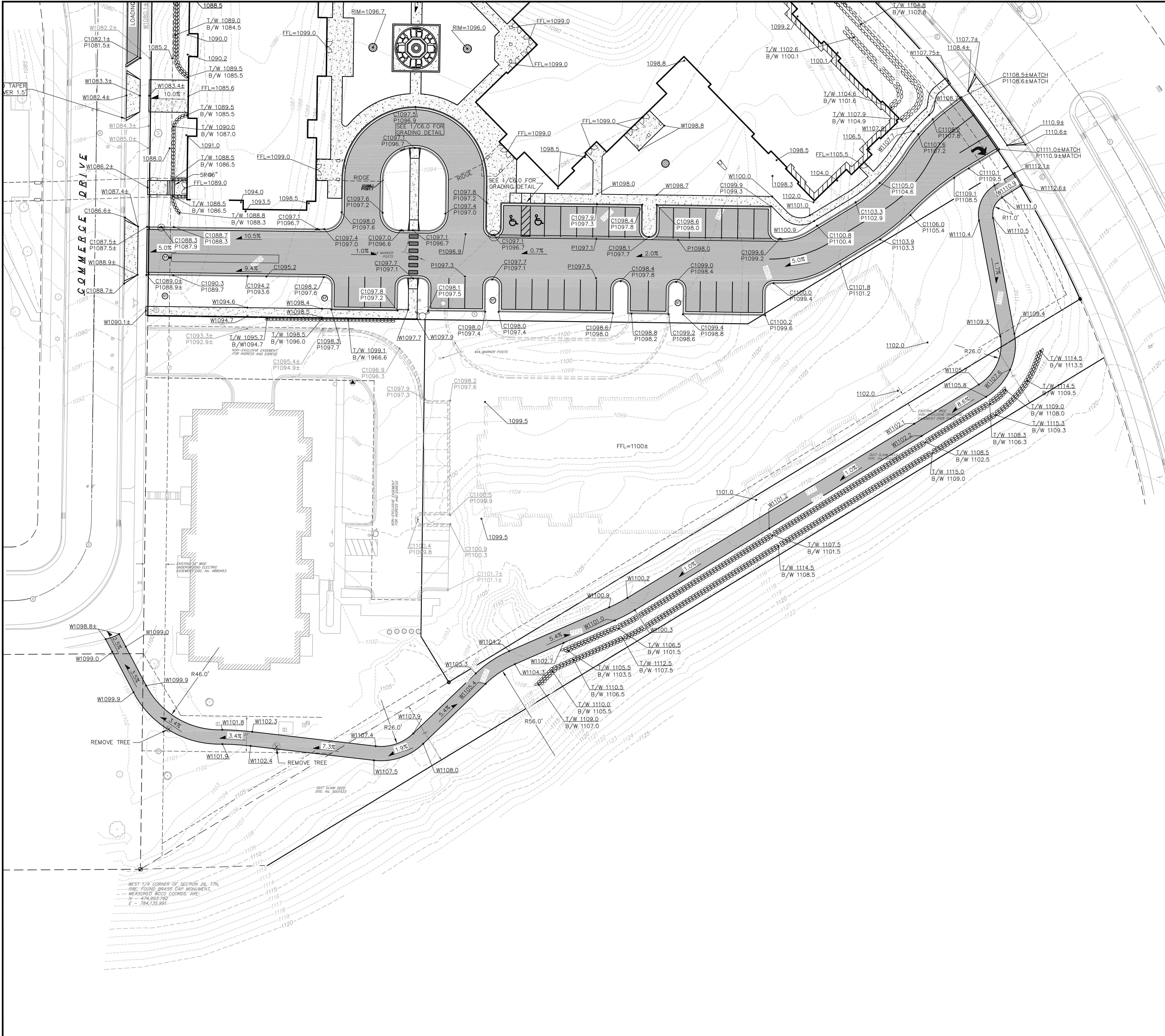
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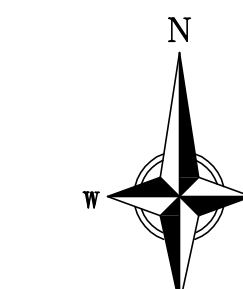
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3.0





GRAPHIC SCALE FEET
0 10 20 40

GRADING LEGEND

- 820- EXISTING MAJOR CONTOURS
- 818- EXISTING MINOR CONTOURS
- (820) PROPOSED MAJOR CONTOURS
- (818) PROPOSED MINOR CONTOURS
- - - SILT FENCE
- - - DISTURBED LIMITS
- DRAINAGE DIRECTION
- 2.92% PROPOSED SLOPE ARROWS
- 1088.97 EXISTING SPOT ELEVATIONS
- 1088.97 PROPOSED SPOT ELEVATIONS
- ⊙ INLET PROTECTION
- ▨ TRACKING PAD
- ▨ PROPERTY BOUNDARY
- ▨ CURB AND GUTTER (REVERSE CURB HATCHED)
- ▨ PROPOSED CHAIN LINK FENCE
- ▨ PROPOSED WOOD FENCE
- ▨ PROPOSED CONCRETE
- ▨ FOUNDATION BURY EXTENTS
- ▨ PROPOSED POROUS ASPHALT
- ▨ PROPOSED ADA DETECTABLE WARNING FIELD
- ▨ PROPOSED HANDICAP PARKING

ABBREVIATIONS

- C - BACK OF CURB ELEV.
- P - EDGE OF PAVEMENT ELEV.
- FF - FINISHED FLOOR ELEV.
- W - EDGE OF SIDEWALK ELEV.
- T/W - TOP OF WALL ELEV.
- B/W - BOTTOM OF WALL ELEV.

| REVISIONS | | REVISIONS | |
|-----------|------|-----------|------|
| NO. | DATE | NO. | DATE |
| | | | |
| | | | |
| | | | |
| | | | |

SCALE AS SHOWN

DATE 05-06-14

DRAFTER ACAR

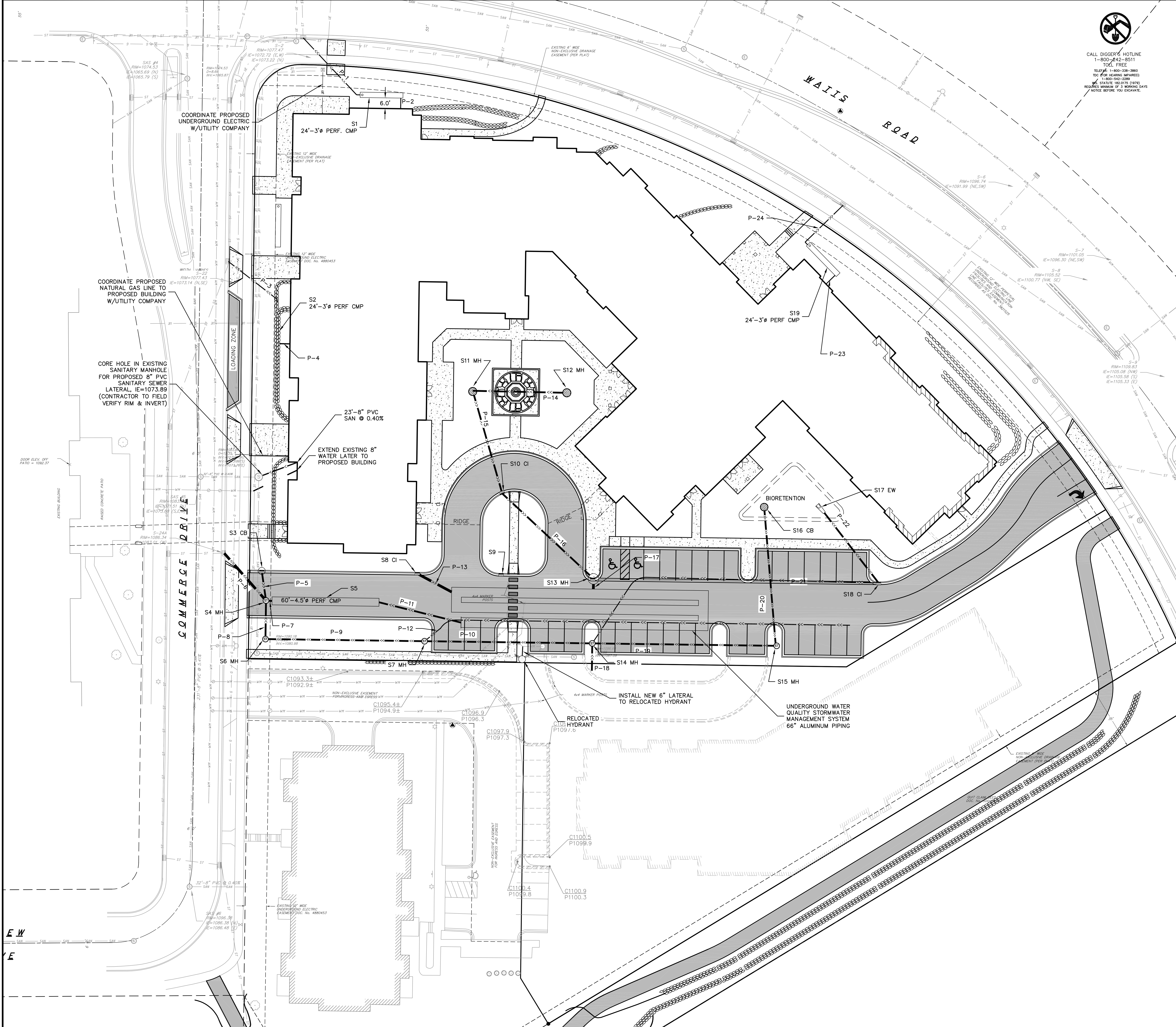
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PROJECT NO. 130046

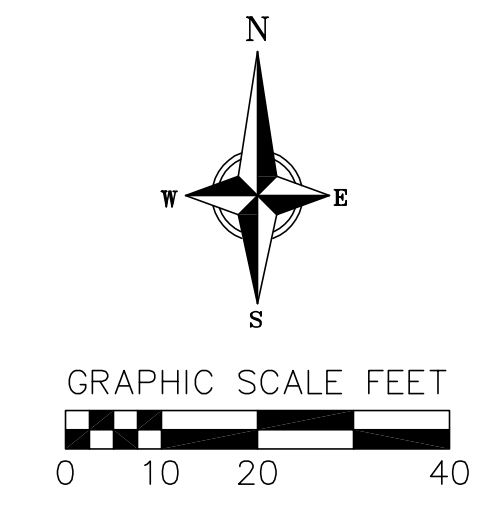
C

3.1

WEST 1/4 CORNER OF SECTION 26, T1N,
R6E FOUND BRASS CAP MONUMENT.
MEASURED W/CS COORDS ARE:
N = 474,993.782
E = 784,135.991



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TEL# 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-342-2389
STATUTE (82.0715 (1979))
REQUIRED MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.



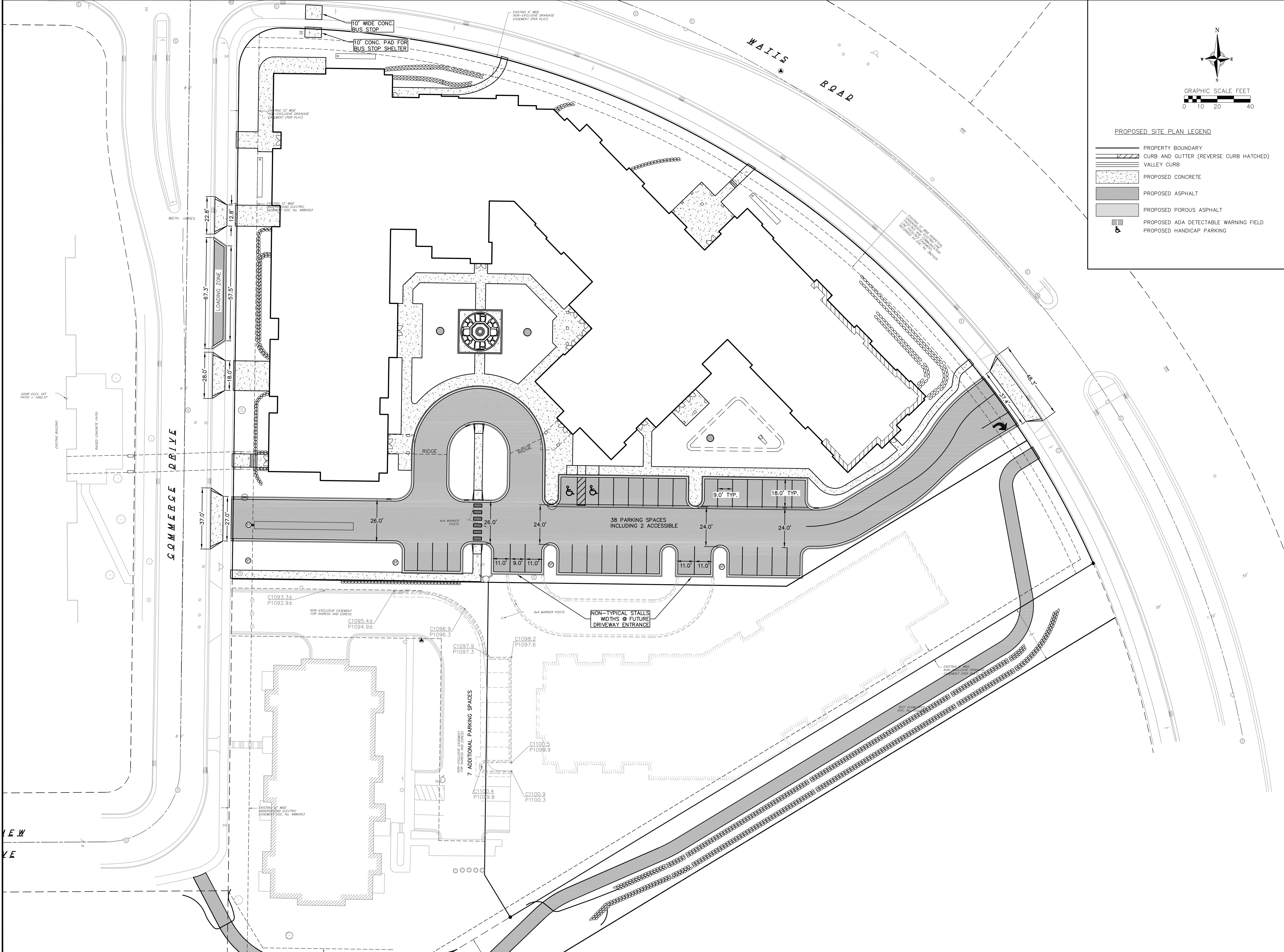
- PROPOSED UTILITY LEGEND**
- > STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER CURB INLET
 - STORM SEWER FIELD INLET
 - SANITARY SEWER PIPE (GRAVITY)
 - WATER MAIN
 - FIRE HYDRANT
 - WATER VALVE
 - ▨ PROPOSED PIPE INSULATION
 - GAS MAIN
 - ELECTRIC SERVICE
 - TELEPHONE SERVICE
 - FIBER OPTIC LINE

- ABBREVIATIONS**
- STMH - STORM MANHOLE
 - FI - FIELD INLET
 - CI - CURB INLET
 - CB - CATCH BASIN
 - SMH - SANITARY MANHOLE

UTILITY NOTES:

1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS MAINS AND WATER SERVICES MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(1)(h) AND COMM 82.40(8)(k).
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
13. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
14. THE DEVELOPER SHALL INSTALL THE 3M[®] ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
15. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

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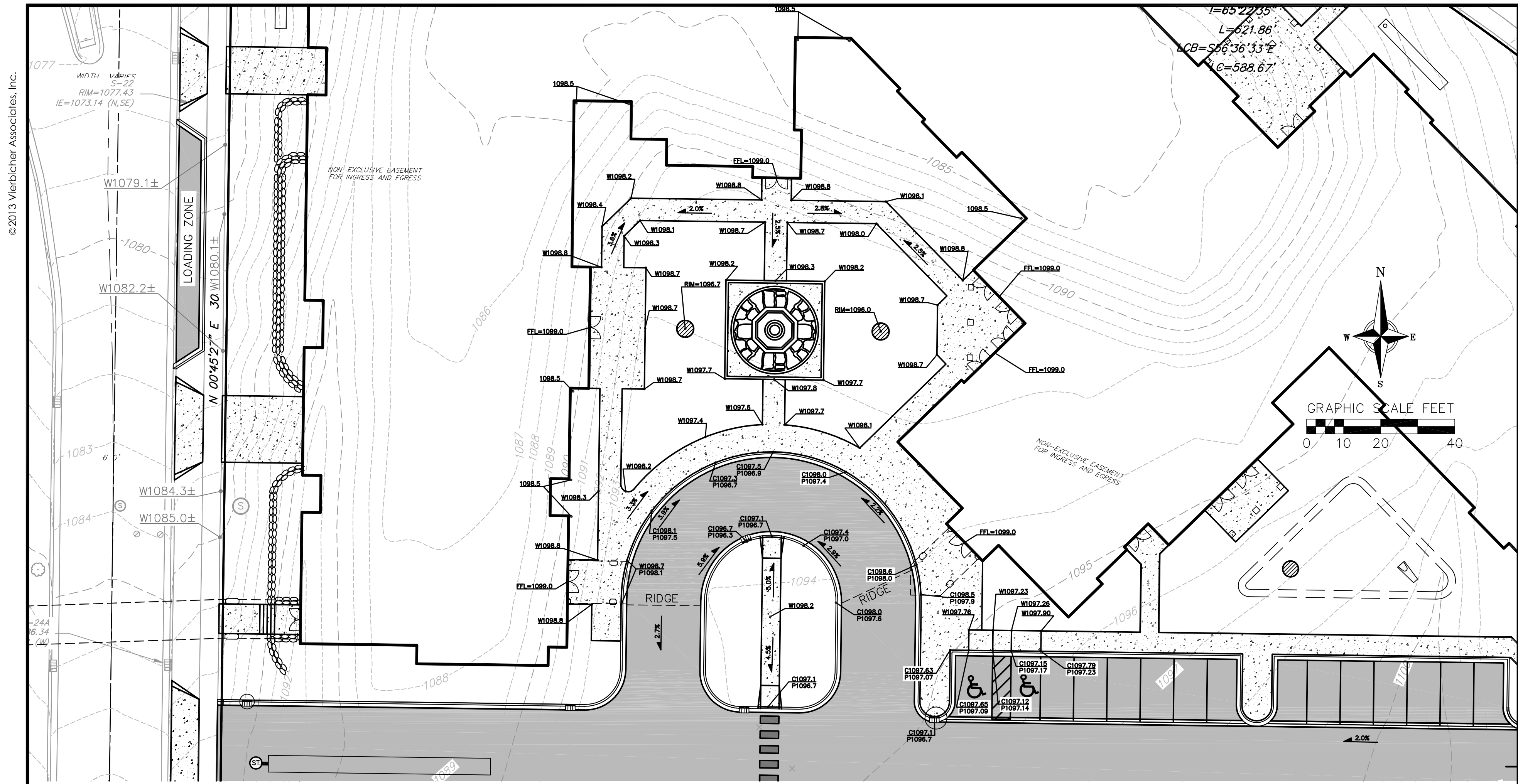
PROPOSED SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- VALLEY CURB
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED POROUS ASPHALT
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

SITE PLAN
 ALL SAINTS CAMPUS
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

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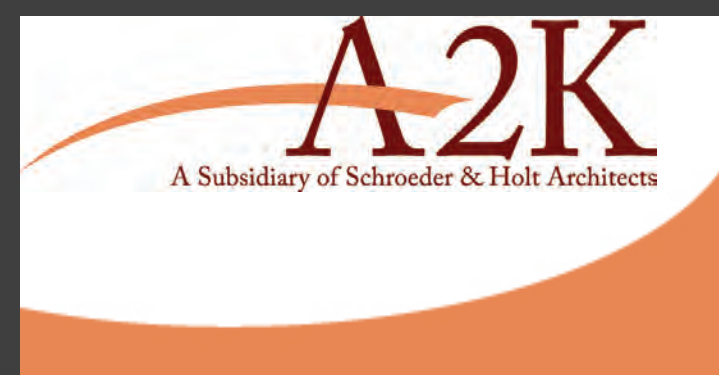
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 DATE 05-06-14
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 CHECKED TSOH
 PROJECT NO. 130046



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6.0 ELEVATION SPOT DETAIL
SCALE: 1:20

06 May 2014 5:42p M:\Schnoeder & Holt\Architects\130046_All Saints Site Dev\CADD\130046_Base.dwg by: acar

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