

DEMOLITION AND REDEVELOPMENT OF 1224 SOUTH PARK STREET



VIEW from PARK STREET NORTH

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- A201C EXTERIOR ELEVATIONS COLOR

Architect:

KONTEXT
 architects
 building relationships
 242 East Main St. - Sun Prairie, WI

Builder:

 2866 Agriculture Dr.
 Madison, WI 53718

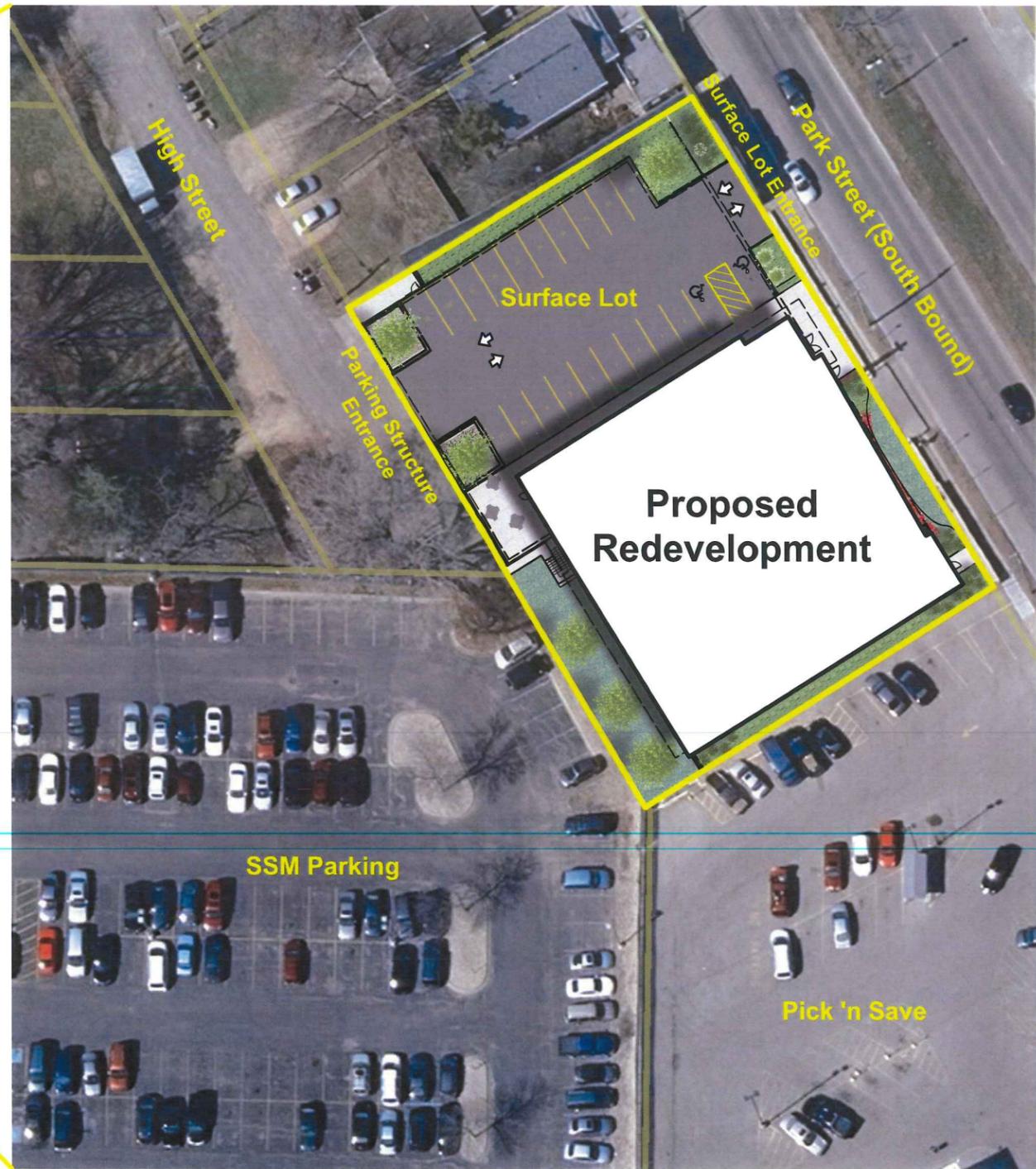
Project Owner:

SARA
 INVESTMENT REAL ESTATE
 1955 Atwood Avenue
 Madison, WI 53704
 Location:
 1216 South Park Street
 Madison, Wisconsin

1216 SOUTH PARK STREET
 REDEVELOPMENT
 MADISON, WI
 Sheet Title:
Title Sheet

Revisions:		
No.	Date:	Description:

Graphic Scale	Not to Scale
Project Number	1903
Set Type	ENTITLEMENT
Date Issued	06/26/2019
Sheet Number	T100



Neighborhood Context Plan

Scale: Not to Scale



Architect:
KONTEXT
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 building relationships
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RR
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 Madison WI 53718

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**1216 SOUTH PARK STREET
 REDEVELOPMENT**
MADISON, WI
 Sheet Title:
Neighborhood Context Plan

Revisions:		
No.	Date:	Description:

Graphic Scale	Not to Scale
Project Number	1903
Set Type	ENTITLEMENT
Date Issued	06/26/2019
Sheet Number	A000



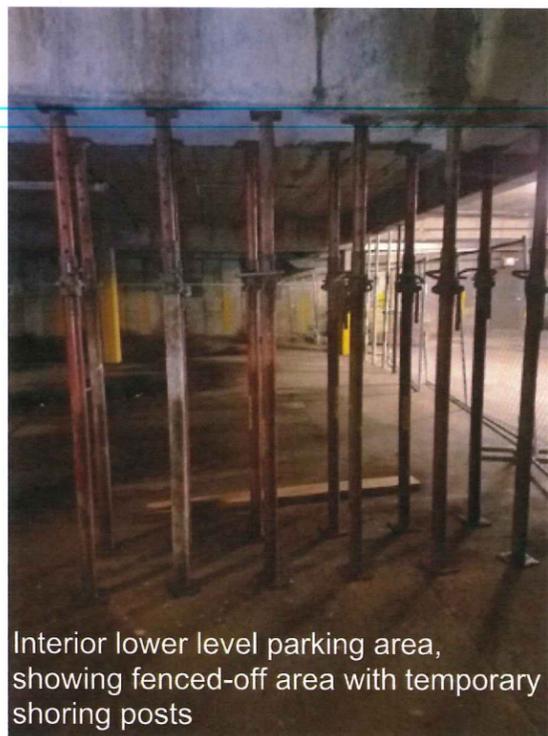
Exterior from Southeast



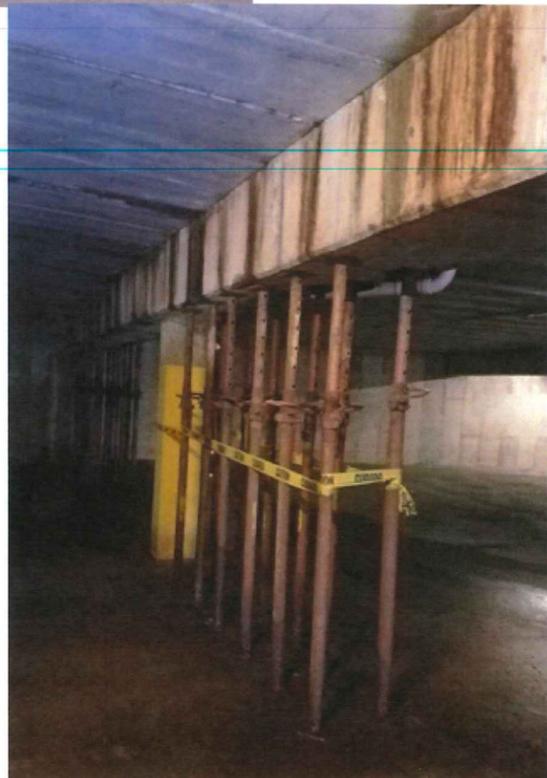
Exterior looking West



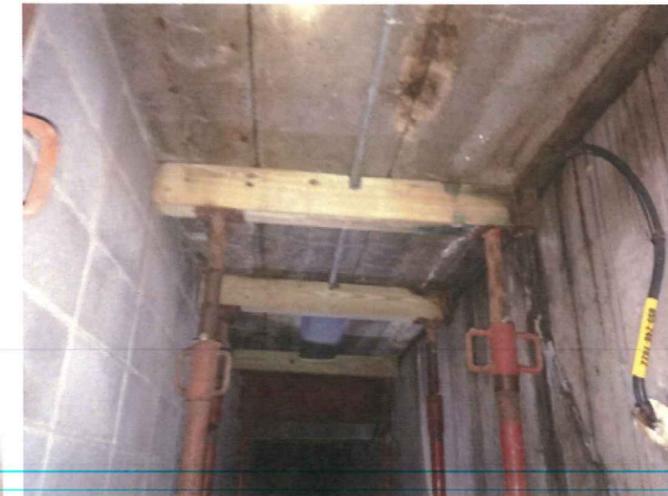
Exterior Lower Level with Neighbor to North and SSM parking lot to South



Interior lower level parking area, showing fenced-off area with temporary shoring posts



Staining on the concrete beams is from rusted rebar inside the precast concrete planks above and the beams themselves.



Lower level former office space with temporary shoring posts. Rust staining and spalled concrete visible.



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 1216 South Park Street
 Madison, Wisconsin

1216 SOUTH PARK STREET
 REDEVELOPMENT
 MADISON, WI

Sheet Title:
 Existing Building Photos

Revisions:	
No.	Description:

Graphic Scale	Not to Scale
Project Number	1903
Set Type	ENTITLEMENT
Date Issued	06/26/2019
Sheet Number	A001

GENERAL SURVEY NOTES: (THIS SHEET)

1. ALL PROPERTY AND R.O.W. LINES SHOWN ARE BASED ON CERTIFIED SURVEY MAP PREPARED BY MERIDIAN SURVEYING, LLC.
2. HORIZONTAL COORDINATES REFERENCED TO WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY.
3. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. CONTOUR INTERVAL IS ONE FOOT
5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES AND BY LOCATING DIGGERS HOT LINE FIELD MARKINGS.
6. PRIVATE UTILITIES SHOWN ARE BASED ON PRIOR PLANS AND ARE SCHEMATIC ONLY. NO FIELD VERIFICATION WAS COMPLETED. A PRIVATE UTILITY LOCATE SHALL BE PERFORMED PRIOR TO ANY EXCAVATION.
7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF PUBLIC UTILITIES, CONTACT DIGGERS HOT LINE, AT 1.800.242.8511.
8. THE ACCURACY OF THE CONTROL POINTS AND BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. EDGE CONSULTING ENGINEERS, INC. DOES NOT WARRANT THE ACCURACY OF THESE CONTROL POINTS AND BENCHMARKS. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS AND/OR DISCREPANCIES.

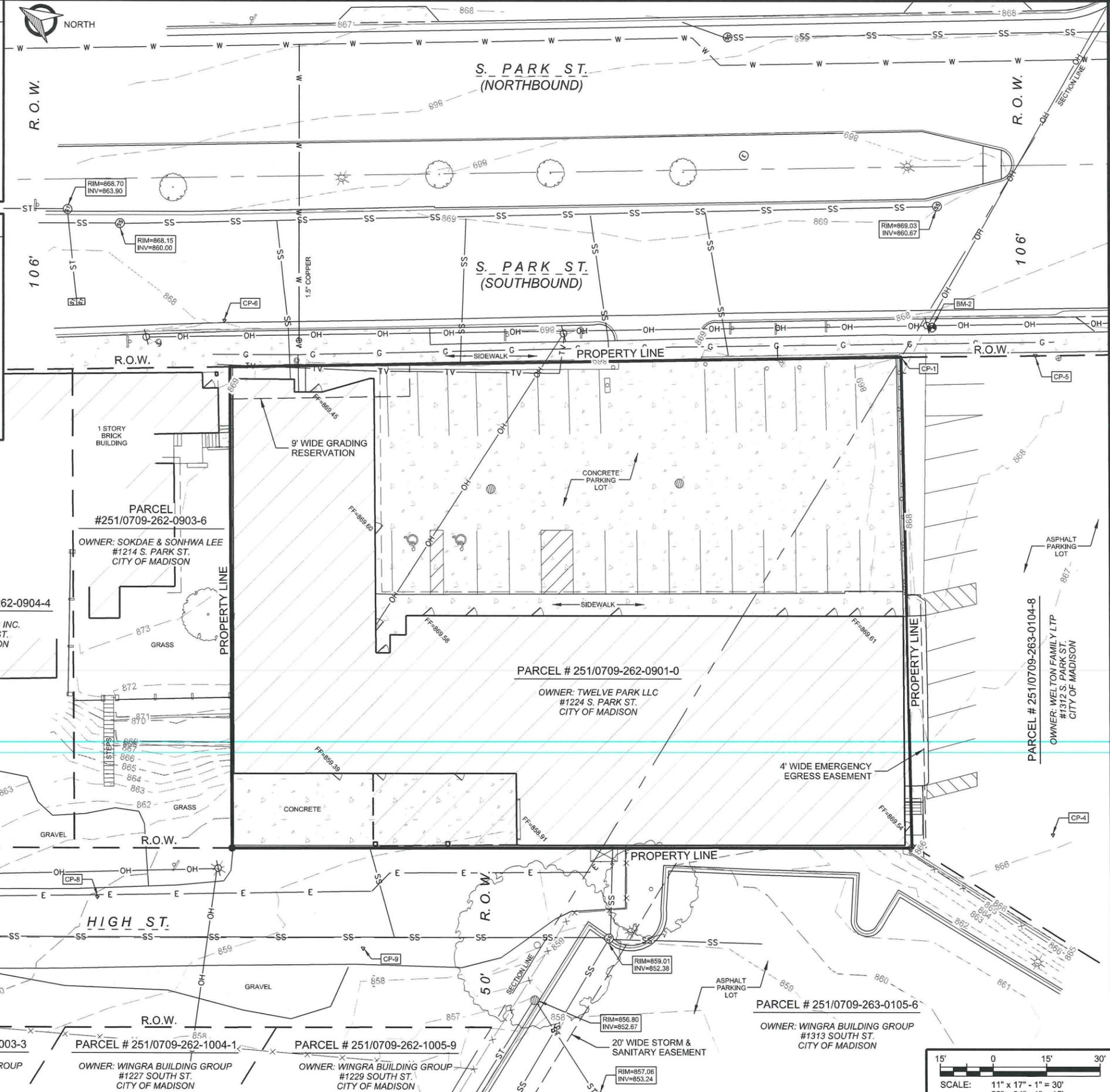
SURVEY LEGEND:

W	EX. WATER SERVICE	⊠	SIGNAGE
SS	EX. SANITARY SEWER	⊠	TRANSFORMER
ST	EX. STORM SEWER	⊠	PEDESTAL (ELEC./CABLE/TEL.)
G	EX. GAS	⊠	METER (PARKING)
E	EX. UNDERGROUND ELECTRIC	⊠	CURB INLET (INL)
OHE	EX. OVERHEAD ELECTRIC	⊠	CATCH BASIN (CB)
⊠	EX. MAN HOLE	⊠	BENCHMARK
⊠	HYDRANT	⊠	CONTROL POINT
⊠	VALVE	⊠	SOIL BORING
⊠	UTILITY POLE	⊠	IRON PIPE - FOUND
⊠	LIGHT POLE	⊠	EXISTING CONTOUR
⊠	CONCRETE	⊠	GRAVEL
⊠	ASPHALT	⊠	LANDSCAPE/MULCH BED

SURVEY DATA	
SURVEY DATE(S)	1/17/2019
HORIZONTAL COORD. SYSTEM	DANE COUNTY - NAD83
VERTICAL DATUM	NAVD 88
CONTROL SOURCE	GPS - WISCORS
SURVEY UNITS	US SURVEY FOOT

BENCHMARK		
POINT ID	ELEVATION	DESCRIPTION
BM-1	862.51	NAIL IN UTILITY POLE
BM-2	869.58	NAIL IN UTILITY POLE
BM-3	870.57	HYDRANT "6-6" BURY TAG BOLT @ INTERSECTION OF SPRUCE & S. PARK

CONTROL POINTS				
POINT ID	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	474938.509	818038.161	868.752	PK NAIL SET IN ASPHALT
CP-4	474834.092	817945.52	866.045	PK NAIL SET IN ASPHALT
CP-5	474906.213	818058.221	868.386	PK NAIL SET IN ASPHALT
CP-6	475107.894	817949.419	868.088	PK NAIL SET IN ASPHALT
CP-7	475194.259	817880.518	867.781	PK NAIL SET IN ASPHALT
CP-8	475056.539	817792.8	859.946	PK NAIL SET IN ASPHALT
CP-9	474985.228	817818.641	858.462	PK NAIL SET IN ASPHALT



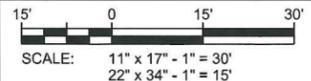
CONSULTANT:
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 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
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 www.edgeconsult.com

CLIENT:

EXISTING SITE PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	BJB, NED
CHECKED BY	BJB
PLOT DATE	8/28/2019
PROJECT NUMBER	21781
SET TYPE	ENTITLEMENT
SHEET NUMBER	V-101



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ZONING SUMMARY

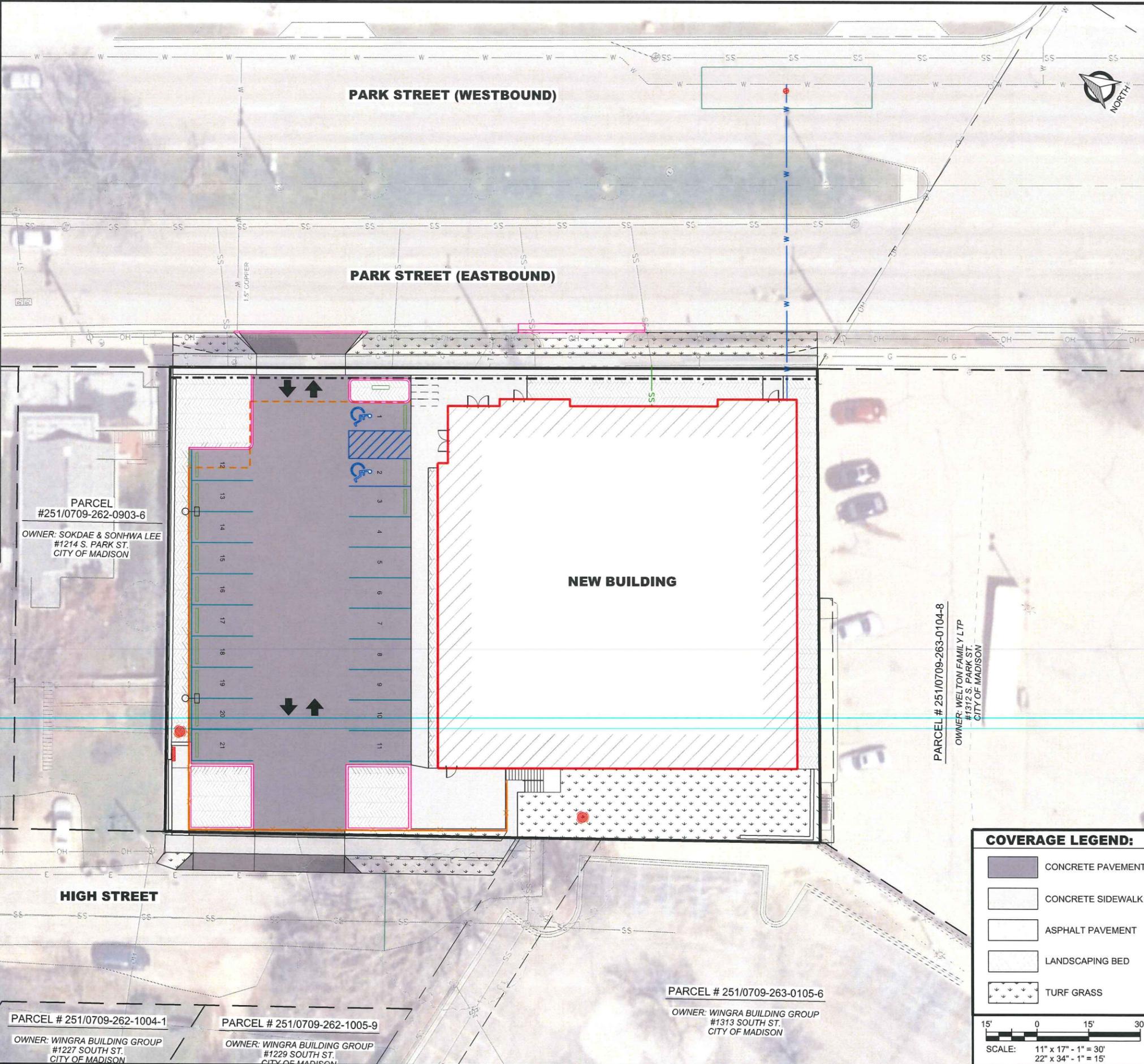
ZONING DISTRICT: CC-T (COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT)
FRONT YARD SETBACK: 1' TO 10' PER UDC #7 REQMTS
SIDE YARD SETBACK: 6'
REAR YARD SETBACK: 20' (EXCEPT ALONG HIGH STREET FRONTAGE, SETBACK = 0')
PARKING SETBACK: 10' PER UDC #7 REQMTS
MAX LOT COVERAGE: 85%
ZONING REQUIREMENTS PER SECTION 28.067 CITY ZONING CODE.

REDEVELOPMENT SUMMARY

CURRENT LOT AREA: 25,813 SF (0.593 AC)
CURRENT IMPERVIOUS AREA: 25,613 SF (99.2%)
PROPOSED PAVEMENT AREA: 9,748 SF
PROPOSED BUILDING FOOTPRINT: 11,060 SF
TOTAL PRO. IMPERVIOUS AREA: 20,808 SF (80.6%)
PROPOSED PERVIOUS AREA: 5,005 SF (19.4%)

PARKING SUMMARY

LAND USE: TBD PERMITTED USE IN CC-T
BUILDING FLOOR AREA: 19,397 SF TOTAL
MAIN FLOOR AREA: 9,507 SF
UPPER FLOOR AREA: 9,890 SF
PROPOSED STALL COUNT: 70 TOTAL (INCLUDES 4 ADA STALLS)
SURFACE STANDARD STALLS: 19 STALLS
SURFACE ADA STALLS: 2 STALLS
BASEMENT STANDARD STALLS: 47 STALLS
BASEMENT ADA STALLS: 2 STALLS
STALL TO FLOOR AREA RATIO: 1 STALL PER 277.1 SF
PROPOSED BIKE STALLS: 10 (4 AT SURFACE, 6 IN BASEMENT)
BIKES TO FLOOR AREA RATIO: 1 BIKE PER 1,940 SF
LOADING SPACE: 1 - 10'x35' SPACE REQUIRED, THIS SPACE WILL BE IN THE SURFACE PARKING DRIVE AISLE PER SECTION 28.141(13)(e) OF THE ZONING CODE



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CLIENT:

AERIAL SITE PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

PARCEL #251/0709-262-0903-6
 OWNER: SOKDAE & SONHWA LEE
 #1214 S. PARK ST.
 CITY OF MADISON

PARCEL # 251/0709-262-0904-4
 OWNER: JI-YOUNG INC.
 #1204 S. PARK ST.
 CITY OF MADISON

PARCEL # 251/0709-263-0104-8
 OWNER: WELTON FAMILY LTP
 #1312 S. PARK ST.
 CITY OF MADISON

PARCEL # 251/0709-263-0105-6
 OWNER: WINGRA BUILDING GROUP
 #1313 SOUTH ST.
 CITY OF MADISON

PARCEL # 251/0709-262-1003-3
 OWNER: WINGRA BUILDING GROUP
 #1223 SOUTH ST.
 CITY OF MADISON

PARCEL # 251/0709-262-1004-1
 OWNER: WINGRA BUILDING GROUP
 #1227 SOUTH ST.
 CITY OF MADISON

PARCEL # 251/0709-262-1005-9
 OWNER: WINGRA BUILDING GROUP
 #1229 SOUTH ST.
 CITY OF MADISON

COVERAGE LEGEND:

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- LANDSCAPING BED
- TURF GRASS

SCALE: 11" x 17" - 1" = 30'
 22" x 34" - 1" = 15'

SUBMITTAL:		
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CHECKED BY	BJB
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PROJECT NUMBER	21781
SET TYPE	ENTITLEMENT
SHEET NUMBER	C-101

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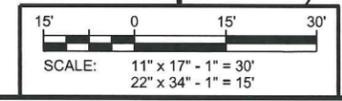
PARK STREET (WESTBOUND)

PARK STREET (EASTBOUND)

NEW BUILDING

HIGH STREET

A UPPER LEVEL SITE PLAN



KEYNOTES: (THIS SHEET)

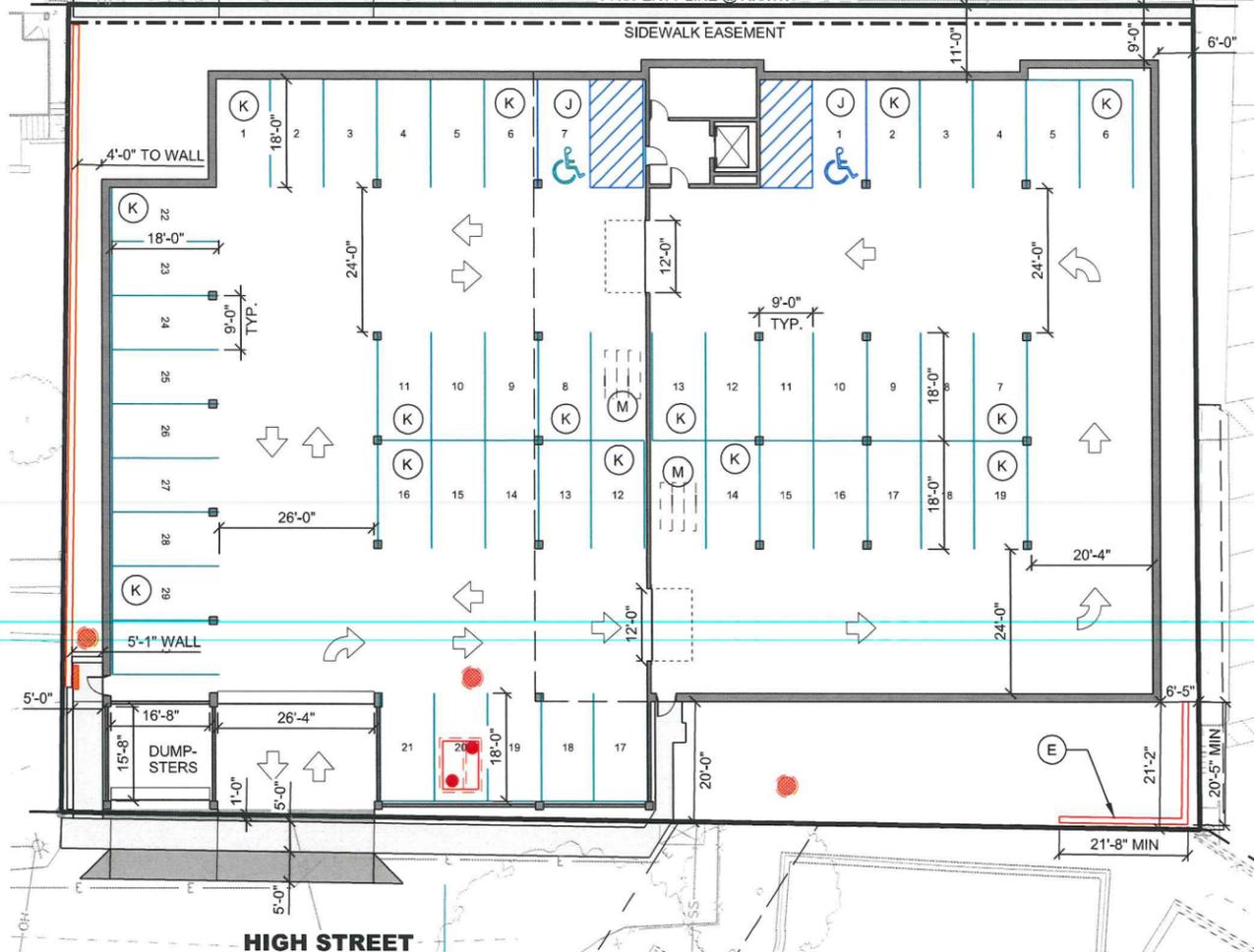
- A. CONCRETE PAVEMENT
- B. CONCRETE SIDEWALK
- C. WIDEN NEW SIDEWALK W/ 5:1 TAPER TO MATCH INTO EXISTING FRONT OF WALK (TYP. NORTH AND SOUTH ENDS OF NEW SIDEWALK)
- D. THICKENED EDGE SIDEWALK
- E. EX. BUILDING FOUNDATION WALL TO REMAIN EXPOSED AS SITE RETAINING WALL
- F. EXISTING BELOW-GROUND CONCRETE FOUNDATION WALL TO REMAIN. REMOVE A PORTION OF THE ABOVE-GROUND CMU WALL TO MAINTAIN 1' ABOVE ADJACENT PROPERTY OWNER'S FINISH GRADE LEVEL
- G. CONCRETE SIDEWALK WITH CONC. RETAINING WALL INTEGRAL TO NORTH SIDE. 5' MIN CLEAR SIDEWALK WIDTH FROM PARKING STRUCTURE WALL TO INTEGRAL CONCRETE WALL
- H. CONC. DRIVEWAY APRON. SAWCUT EXISTING CURB HEAD IN PLACE TO FORM DRIVEWAY OPENING
- I. REPLACE EXISTING DRIVEWAY CURB WITH NEW FULL HEIGHT 30" CONCRETE CURB AND GUTTER
- J. ADA STALL
- K. STANDARD PARKING STALL (9'x18')
- L. WHEEL STOP (TYP.)
- M. BIKE STALLS (2' x 8' STALL EACH, MADRAX PHOENIX SINGLED SIDED BIKE RACKS)
- N. RAISED PLANTER BED
- O. CURBED LANDSCAPE ISLAND
- P. TURF RESTORATION
- Q. STREET PATCH FOR NEW WATER SERVICE TAP
- R. CONCRETE RETAINING WALL
- S. SITE LIGHTING (SEE SHEET C-601)
- T. EXTERIOR STAIRS (SEE ARCH PLANS)
- U. GROUND-MOUNTED SIGN

CONSULTANT:

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CLIENT:

UPPER/LOWER SITE PLAN LAYOUTS
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN



HIGH STREET

B LOWER LEVEL SITE PLAN

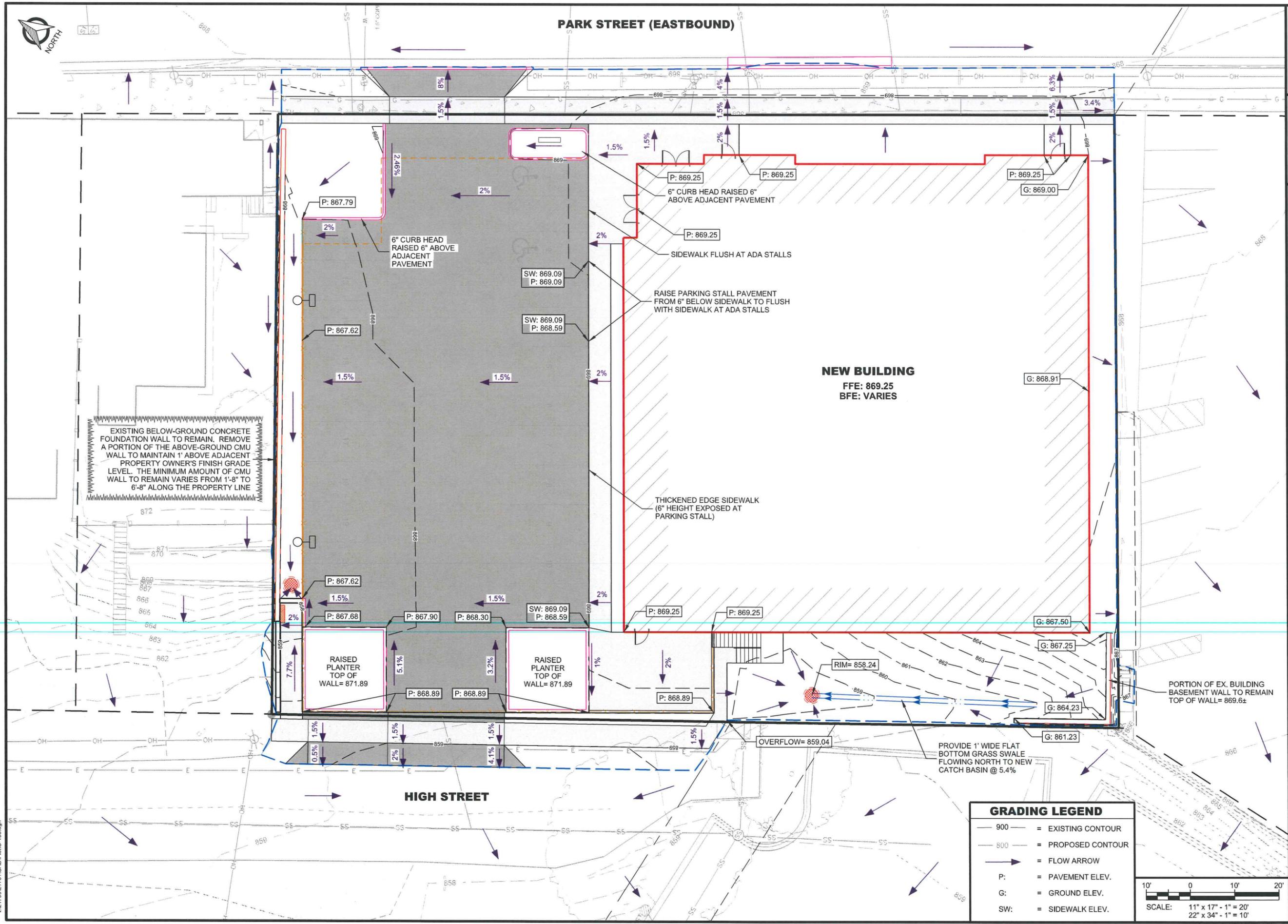
COVERAGE LEGEND:

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- LANDSCAPING BED
- TURF GRASS

SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

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PROJECT NUMBER	21781
SET TYPE	ENTITLEMENT
SHEET NUMBER	C-102



PARK STREET (EASTBOUND)

NEW BUILDING
FFE: 869.25
BFE: VARIES

HIGH STREET

EXISTING BELOW-GROUND CONCRETE FOUNDATION WALL TO REMAIN. REMOVE A PORTION OF THE ABOVE-GROUND CMU WALL TO MAINTAIN 1" ABOVE ADJACENT PROPERTY OWNER'S FINISH GRADE LEVEL. THE MINIMUM AMOUNT OF CMU WALL TO REMAIN VARIES FROM 1'-8" TO 6'-8" ALONG THE PROPERTY LINE

RAISED PLANTER
TOP OF WALL= 871.89

RAISED PLANTER
TOP OF WALL= 871.89

6" CURB HEAD RAISED 6" ABOVE ADJACENT PAVEMENT

6" CURB HEAD RAISED 6" ABOVE ADJACENT PAVEMENT

RAISE PARKING STALL PAVEMENT FROM 6" BELOW SIDEWALK TO FLUSH WITH SIDEWALK AT ADA STALLS

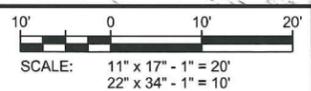
THICKENED EDGE SIDEWALK (6" HEIGHT EXPOSED AT PARKING STALL)

PORTION OF EX. BUILDING BASEMENT WALL TO REMAIN TOP OF WALL= 869.6±

PROVIDE 1' WIDE FLAT BOTTOM GRASS SWALE FLOWING NORTH TO NEW CATCH BASIN @ 5.4%

GRADING LEGEND

- 900 — = EXISTING CONTOUR
- 800 — = PROPOSED CONTOUR
- = FLOW ARROW
- P: = PAVEMENT ELEV.
- G: = GROUND ELEV.
- SW: = SIDEWALK ELEV.



CONSULTANT:
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CLIENT:

OVERALL GRADING PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

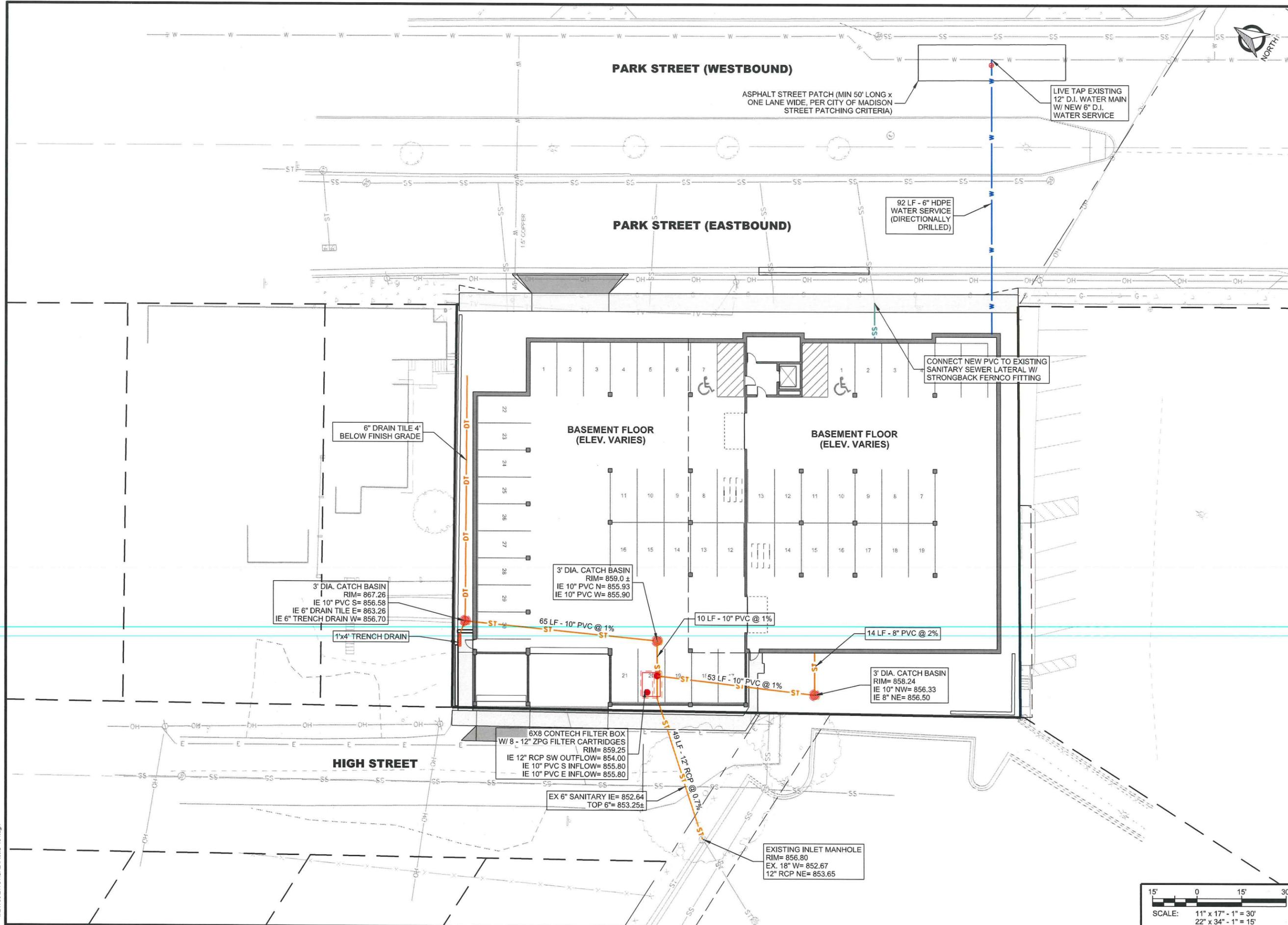
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PLOT DATE	8/28/2019
PROJECT NUMBER	21781
SET TYPE	ENTITLEMENT
SHEET NUMBER	C-103

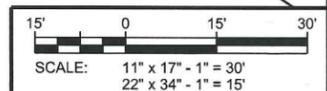
SITE UTILITY PLAN
 1224 S PARK STREET REDEVELOPMENT
 SARA INVESTMENT
 DANE COUNTY, MADISON, WISCONSIN



SHEET TITLE:

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INT.	DATE:	DESCRIPTION:

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SHEET NUMBER	C-104



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294 LF - HOSE LAY DISTANCE

325 LF - HOSE LAY DISTANCE

EXISTING FIRE HYDRANT

EXISTING FIRE HYDRANT

PARK STREET (WESTBOUND)

PARK STREET (EASTBOUND)

NEW
SPRINKLERED
BUILDING

FIRE LANE

26'-0"

26'-10"

115'-8" FROM PROPERTY LINE

26'-0"

132'-2"

HIGH STREET

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CLIENT:

FIRE LANE ACCESS PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:

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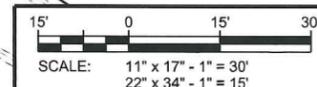
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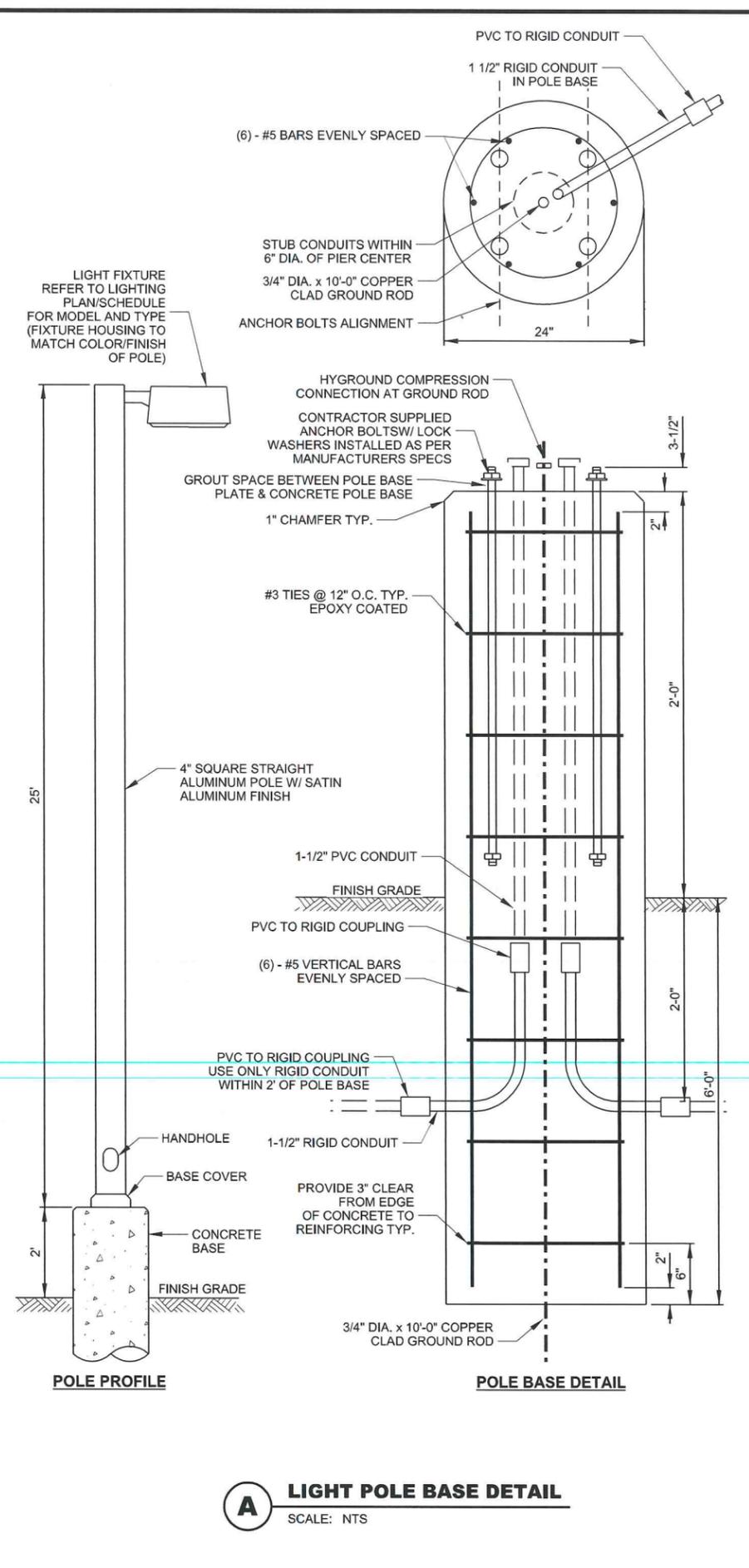
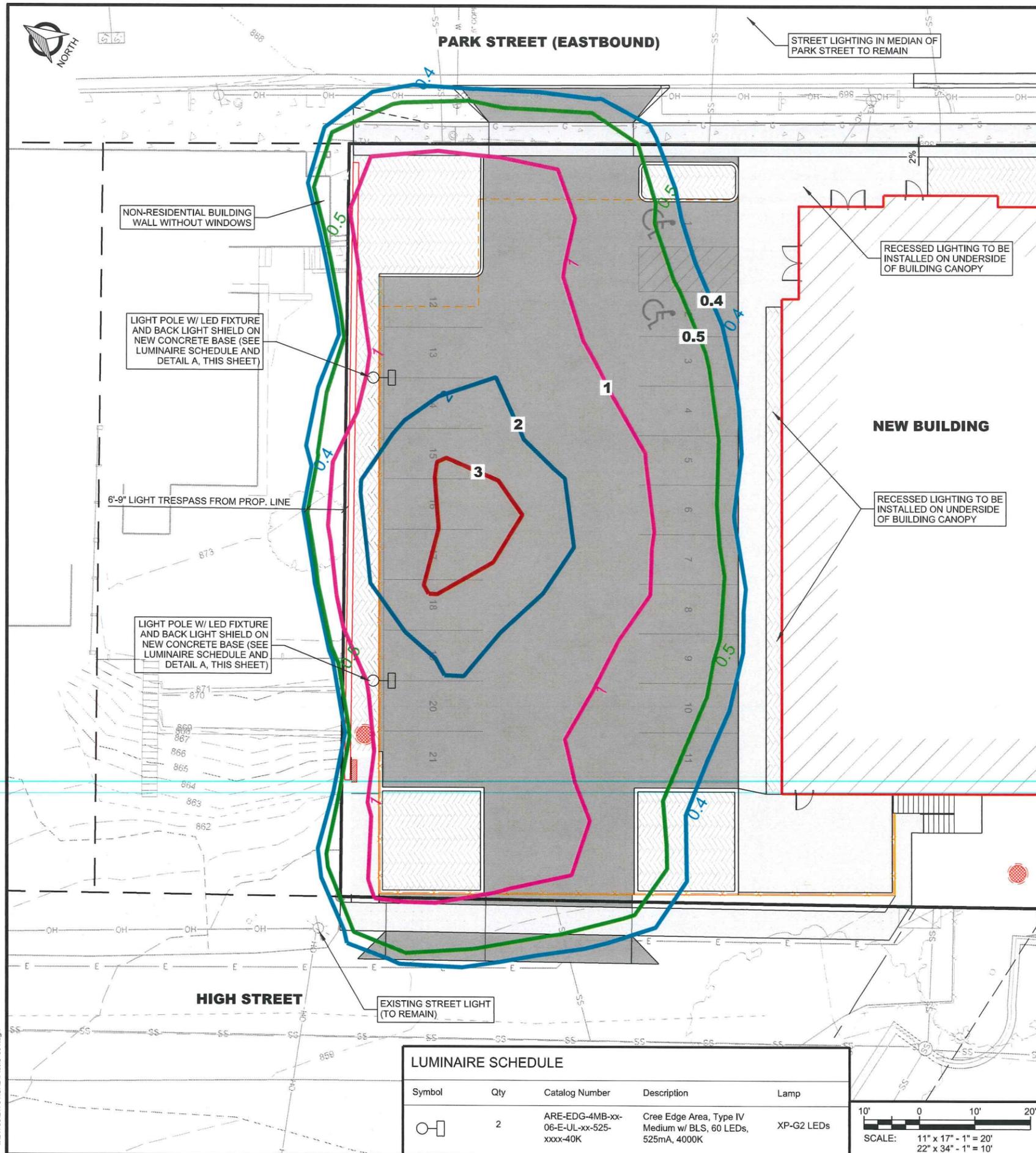
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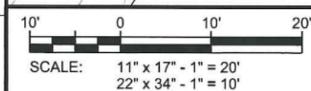
SET TYPE: ENTITLEMENT

SHEET NUMBER: **C-401**





LUMINAIRE SCHEDULE				
Symbol	Qty	Catalog Number	Description	Lamp
	2	ARE-EDG-4MB-xx-06-E-JL-xx-525-xxxx-40K	Cree Edge Area, Type IV Medium w/ BLS, 60 LEDs, 525mA, 4000K	XP-G2 LEDs



A LIGHT POLE BASE DETAIL
SCALE: NTS

CONSULTANT:
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CLIENT:

SITE LIGHTING PHOTOMETRIC PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

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INT.	DATE:	DESCRIPTION:

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PLOT DATE	8/28/2019
PROJECT NUMBER	21781
SET TYPE	ENTITLEMENT
SHEET NUMBER	C-601



PARK STREET (EASTBOUND)

(1) FS - FIRESPIRE MUSCLEWOOD
(SEE STREET TREE PLANTING NOTE)

(1) MA - ADIRONDACK CRABAPPLE
(SEE STREET TREE PLANTING NOTE)

(1) FS - FIRESPIRE MUSCLEWOOD
(SEE STREET TREE PLANTING NOTE)

(1) MA - ADIRONDACK CRABAPPLE
(SEE STREET TREE PLANTING NOTE)

30'-0" TYP. SPACING

15'-0"

CONSULTANT:

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CLIENT:

LANDSCAPING PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

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CHECKED BY: BJB

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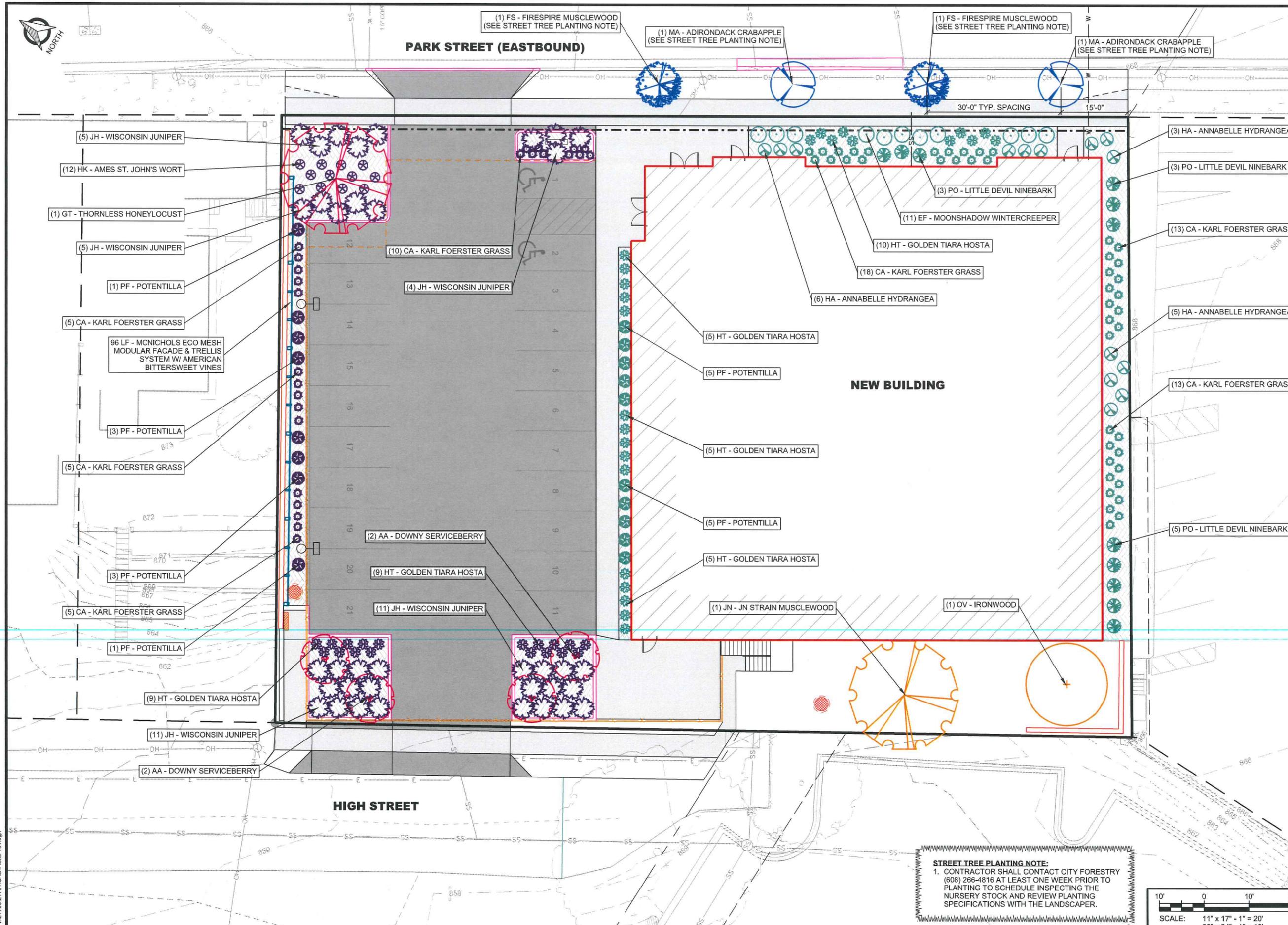
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SET TYPE: ENTITLEMENT

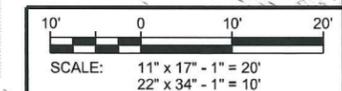
SHEET NUMBER: **L-101**

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STREET TREE PLANTING NOTE:
 1. CONTRACTOR SHALL CONTACT CITY FORESTRY (608) 266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.



1224 S Park Street Redevelopment

LANDSCAPING POINT SUMMARY

25,813 = Total Lot Area (SF)
9,748 = Developed Area (SF)
162 = Landscape Points Required (5/300 SF)
189.40 = Park Street Frontage (LF)
N/A Exempt - Building at Sidewalk
7,300 = Site Area for Parking Stalls (SF)
584 = 8% of Parking Stall Area (SF)
1,074 = Provided Landscape Island Area (SF)

Interior Parking Lot Island Areas

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
TREES								
AA	4	Amelanchier arborea	Downy Serviceberry	15-25'	10-12'	2" BB	15	60
GT	1	Gleditsia triacanthos var. inermis	Thornless Honeylocust	60'	60'	2" BB	35	35
SHRUBS								
PF	8	Potentilla fruticosa	Bush Cinquefoil/Potentilla	2-3'	3'	3 gal.	3	24
HK	12	Hypericum kalmianum 'Ames'	Ames St. John's Wort	2-3'	3'	3 gal.	3	36
JH	36	Juniperus horizontalis 'Wisconsin'	Wisconsin Juniper	8"	5'	3 gal.	4	144
GRASSES								
CA	25	Calamagrostis acutiflore 'Karl Foerster'	Karl Foerster Grass	4-5'	2'	3 gal.	2	50
PERENNIALS								
HG	18	Hosta 'Golden Tiara'	Golden Tiara Hosta	2'	2-3'	1 gal.	2	36
VEGETATED FENCING								
---	96 LF	Celastrus scandens	American Bittersweet	4'	96'	---	4	38
							Subtotal	423

Foundation Plantings

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
TREES								
JN	1	Carpinus caroliniana 'J.N. Strain'	J.N. Strain Muscledwood	25'	25'	2" BB	15	15
OV	1	Ostrya virginiana	Ironwood	25'	15'	2" BB	15	15
SHRUBS								
HA	14	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	4'	4'	3 gal.	3	42
PF	10	Potentilla fruticosa	Bush Cinquefoil/Potentilla	2-3'	3'	3 gal.	3	30
PO	11	Physocarpus opulifolius 'Donna May'	Little Devil Ninebark	3-4'	3-4'	3 gal.	3	33
EF	11	Euonymus fortunei 'Moonshadow'	Moonshadow Wintercreeper	2'	3-4'	3 gal.	3	33
GRASSES								
CA	44	Calamagrostis acutiflore 'Karl Foerster'	Karl Foerster Grass	4-5'	2'	3 gal.	2	88
PERENNIALS								
HT	25	Hosta 'Golden Tiara'	Golden Tiara Hosta	2'	2-3'	1 gal.	2	50
							Subtotal	306
							TOTAL POINTS	729
							Points Req'd	162

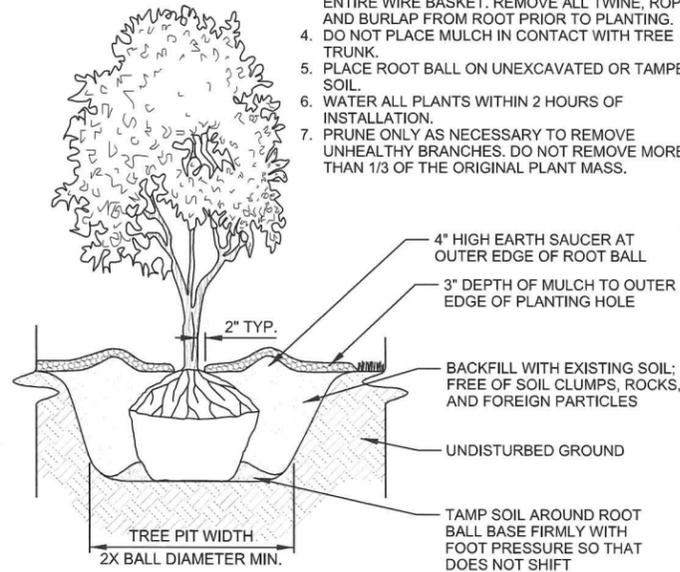
Street Trees

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size
TREES						
FS	2	Carpinus caroliniana 'J.N. Upright' Firespire®	Firespire Muscledwood	20'	10'	2" BB
MA	2	Malus 'Adirondack'	Adirondack Crabapple	15'	10'	2" BB

R:\217001\21781\CAD\Plant\1-102.dgn

NOTES:

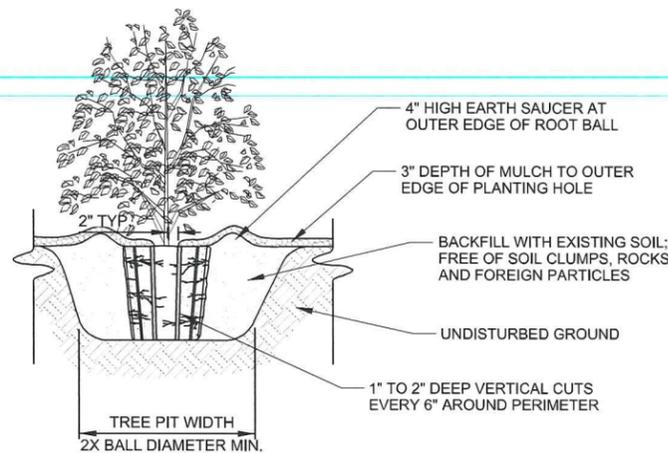
1. PLANT EACH TREE SUCH THAT THE BASE OF THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE ENTIRE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT PRIOR TO PLANTING.
4. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



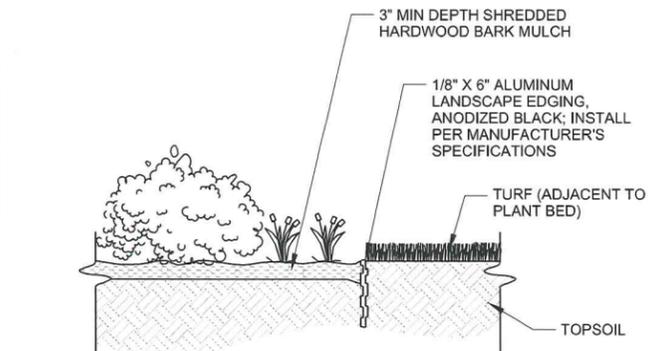
A BALL & BURLAP TREE PLANTING DETAIL
SCALE: NTS

NOTES:

1. FOR 3 TO 10 GALLON CONTAINERS: MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



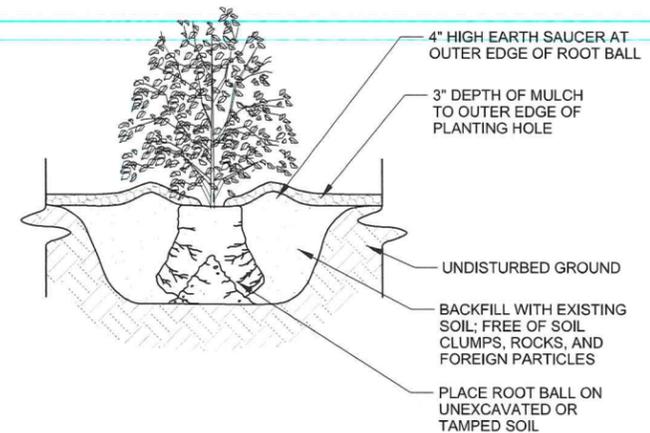
C LARGE CONTAINER PLANTING DETAIL
SCALE: NTS



B PLANTING BED EDGE DETAIL
SCALE: NTS

NOTES:

1. FOR 1 TO 2 GALLON CONTAINERS: BUTTERFLY ROOT BALL. SEVER LOWER 1/3 TO 1/2 OF ROOTBALL WITH A SINGLE CUT. SPREAD OPEN SEVERED ROOT BALL AND PLACE AGAINST BOTTOM OF THE MOUNDED PLANTING HOLE.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



D SMALL CONTAINER PLANTING DETAIL
SCALE: NTS

CONSULTANT:



CLIENT:

LANDSCAPE DETAILS
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:

INT.	DATE	DESCRIPTION

DRAWN BY: BJB, NED

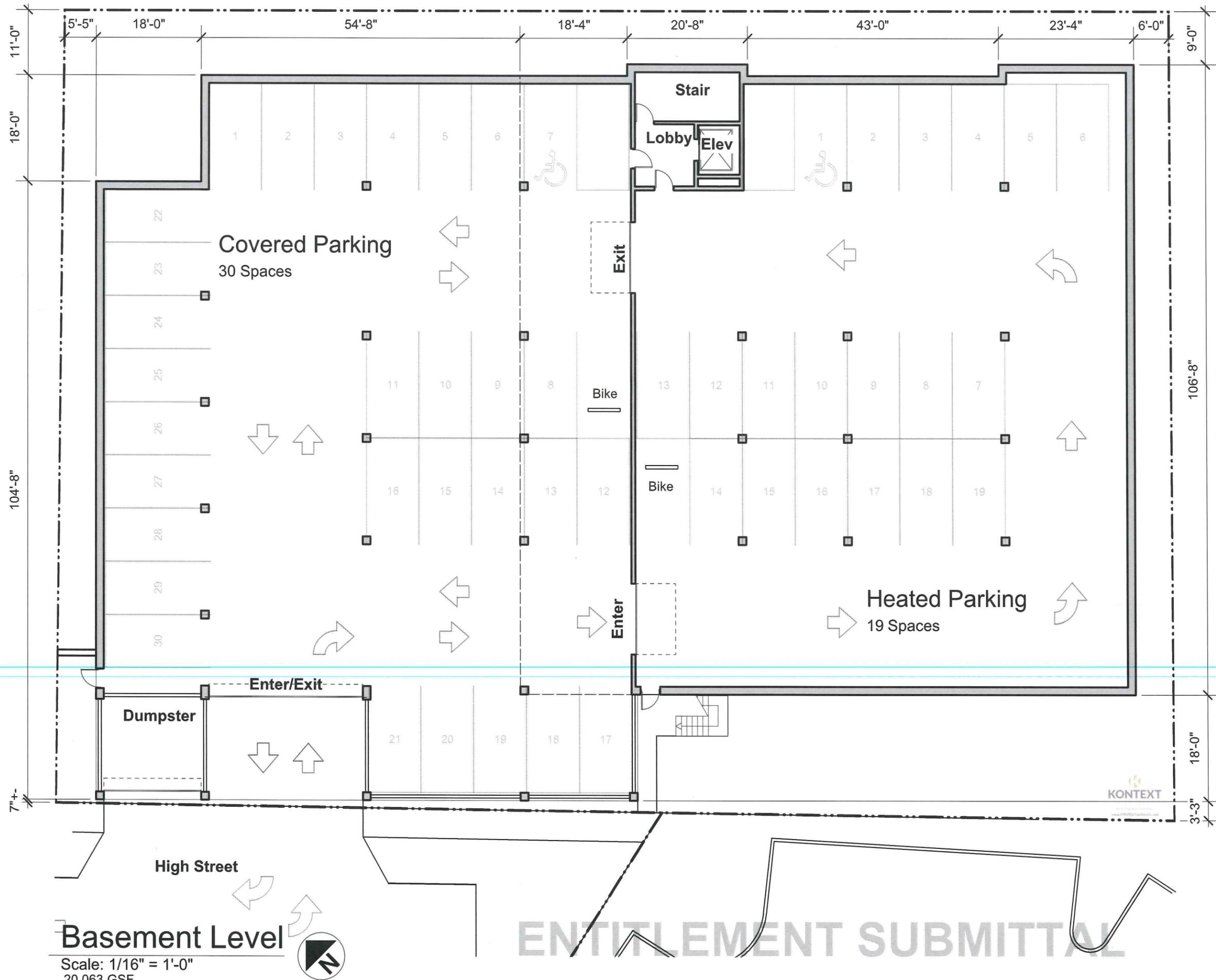
CHECKED BY: BJB

PLOT DATE: 8/28/2019

PROJECT NUMBER: 21781

SET TYPE: ENTITLEMENT

SHEET NUMBER: **L-102**



ENTITLEMENT SUBMITTAL

Architect:
KONTEXT architects
 building relationships
 242 East Main St. - Sun Prairie, WI

Builder:
RR
 2866 Agriculture Dr.
 Madison WI 53718

Project Owner:
SARA INVESTMENT REAL ESTATE
 1955 Atwood Avenue
 Madison, WI 53704

Location:
 1216 South Park Street
 Madison, Wisconsin

1224 SOUTH PARK STREET REDEVELOPMENT
MADISON, WI
 Sheet Title: **Basement Level**

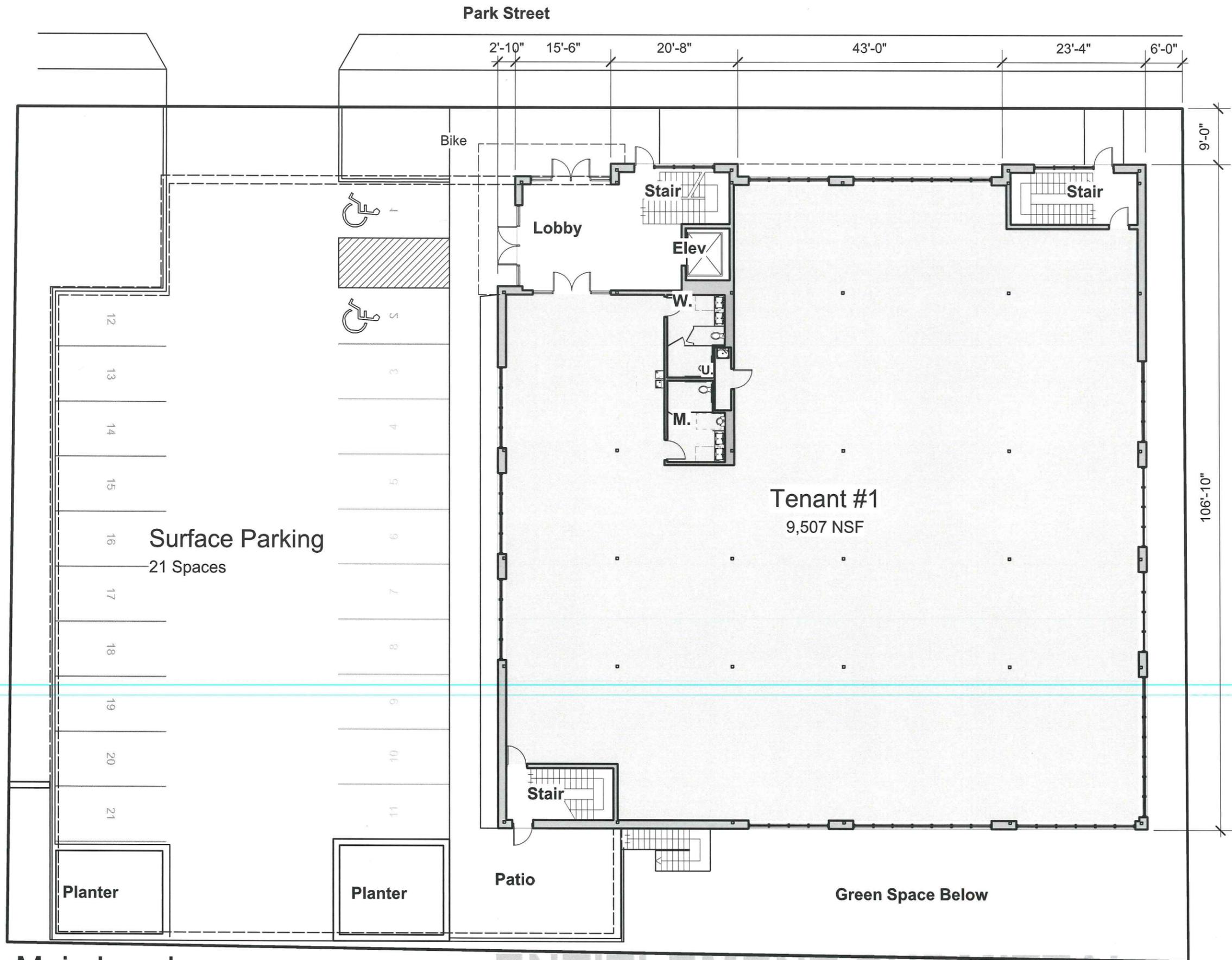
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No.	Date:	Description:

Graphic Scale: 0" 8" 12"

Project Number: 1903
Set Type: Entitlement
Date Issued: 08/28/2019

Sheet Number: **A100**

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Main Level

Scale: 1/16" = 1'-0"
11,060 GSF



ENTITLEMENT SUBMITTAL

Architect:

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242 East Main St. - Sun Prairie, WI

Builder:

RR
2866 Agriculture Dr.
Madison WI 53718

Project Owner:

SARA
INVESTMENT REAL ESTATE
1955 Atwood Avenue
Madison, WI 53704

Location:
1216 South Park Street
Madison, Wisconsin

1224 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI
Sheet Title:
Main Level

Revisions:

No.	Date:	Description:

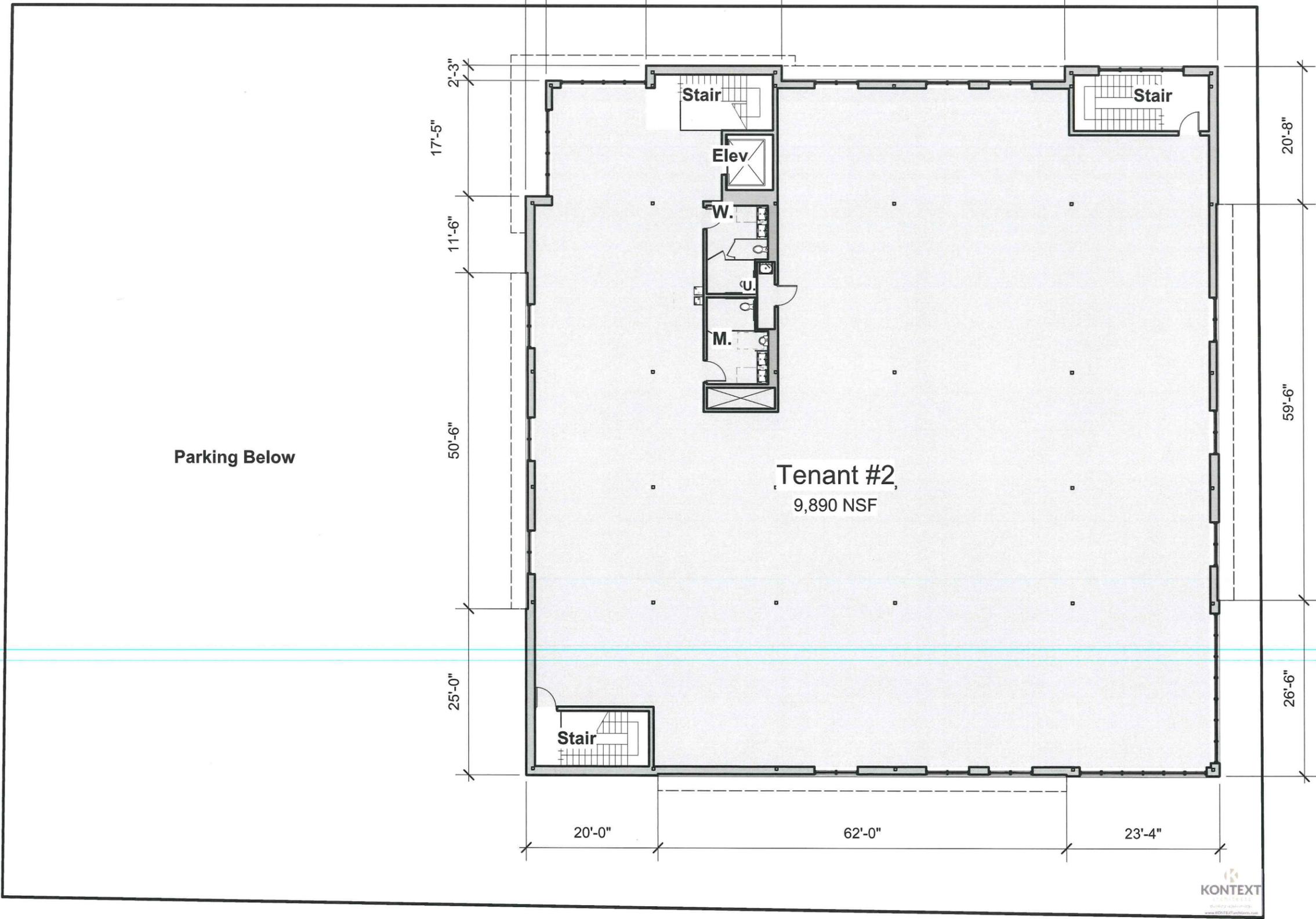
Graphic Scale: 0" 8" 12"

Project Number: 1903

Set Type: Entitlement

Date Issued: 08/28/2019

Sheet Number: **A101**



Upper Level
 Scale: 1/16" = 1'-0"
 11,055 GSF



ENTITLEMENT SUBMITTAL

Architect:
KONTEXT architects
 building relationships
 242 East Main St. - Sun Prairie, WI

Builder:

 2866 Agriculture Dr.
 Madison, WI 53718

Project Owner:
SARA INVESTMENT REAL ESTATE
 1955 Atwood Avenue
 Madison, WI 53704

Location:
 1216 South Park Street
 Madison, Wisconsin

1224 SOUTH PARK STREET REDEVELOPMENT
MADISON, WI
 Sheet Title:
Upper Level

Revisions:

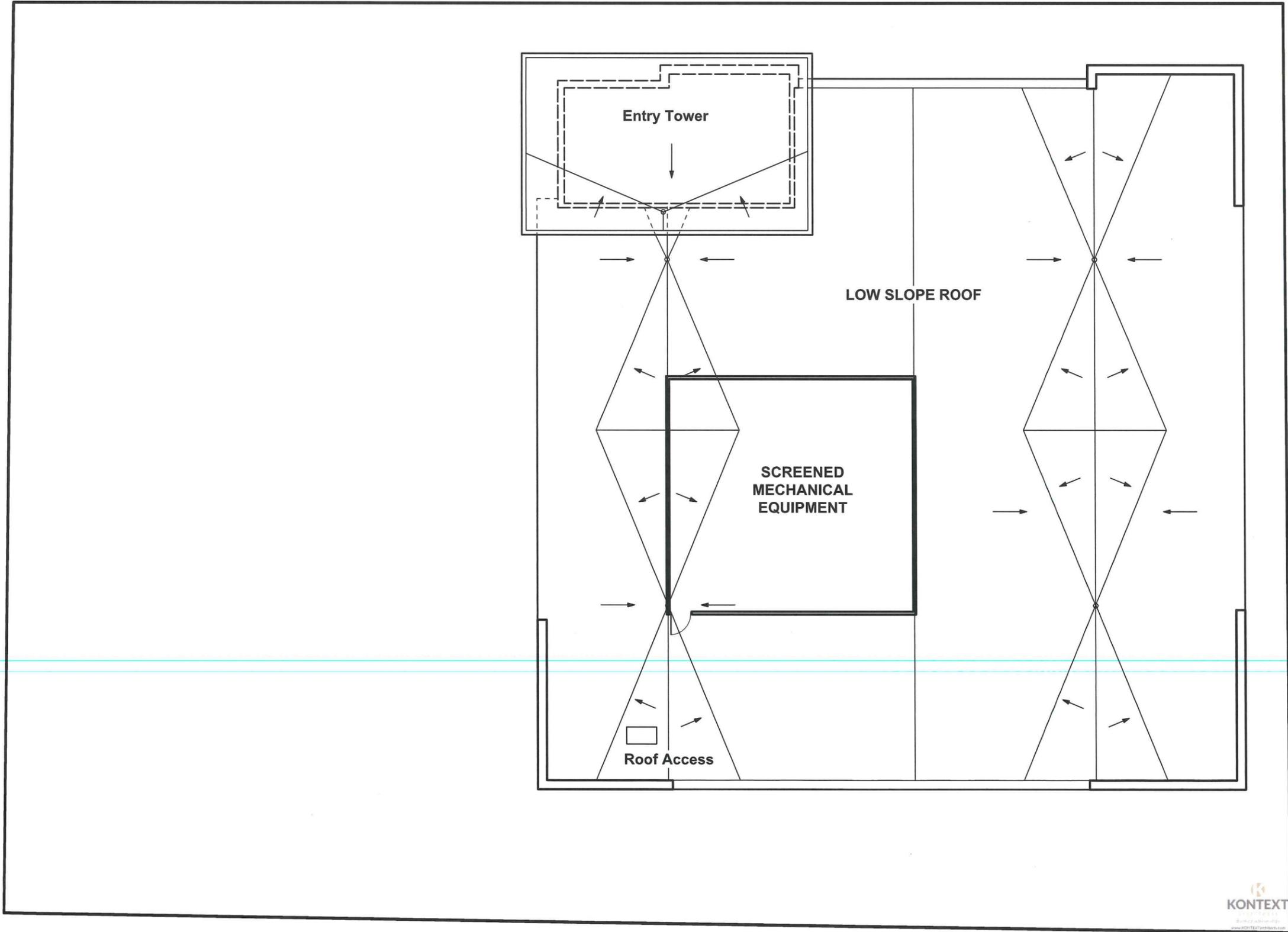
No.	Date:	Description:

Graphic Scale: 0" 8" 12"

Project Number: 1903
 Set Type: Entitlement
 Date Issued: 08/28/2019

Sheet Number: **A102**

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Roof Level
Scale: 1/16" = 1'-0"



ENTITLEMENT SUBMITTAL



1224 SOUTH PARK STREET REDEVELOPMENT MADISON, WI		Roof Level																																				
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No.	Date:	Description:																																				
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<small>Project Number</small> 1903																																						
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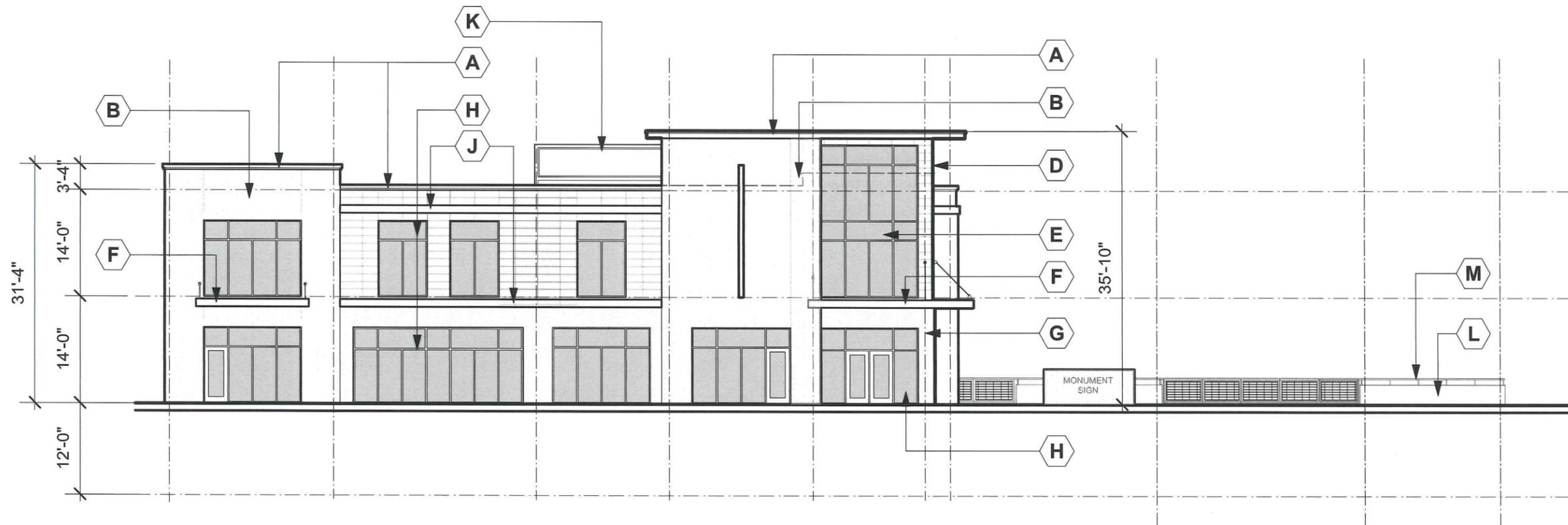
Architect:
KONTEXT architects
building relationships
242 East Main St. - Sun Prairie, WI

Builder:

2866 Agriculture Dr.
Madison WI 53718

Project Owner:
SARA
INVESTMENT REAL ESTATE
1955 Atwood Avenue
Madison, WI 53704

Location:
1216 South Park Street
Madison, Wisconsin

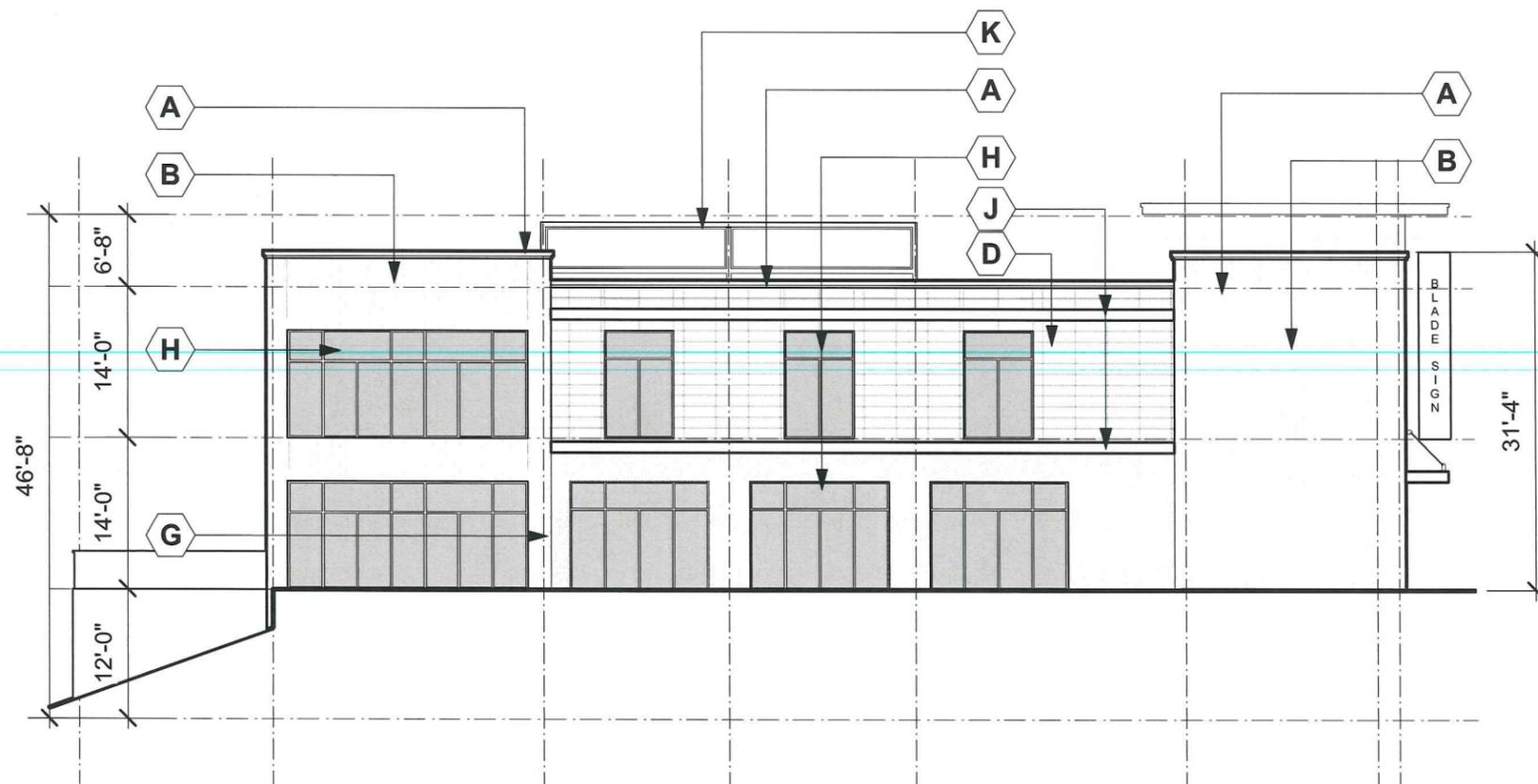


East Elevation

Scale: 1/16" = 1'-0"

Keyed Notes

- A SHEET METAL ROOF EDGE
- B 8x16 BURNISHED CONCRETE MASONRY UNIT
- C NOT USED
- D FIBER CEMENT WALL PANELS
- E ALUMINUM CURTAIN WALL ASSEMBLY
- F PREFINISHED ALUMINUM AWNING W/DOWN LIGHTS
- G BRICK VENEER
- H ALUMINUM ENTRANCE / STOREFRONT SYSTEM
- J PROJECTING ALUMINUM BAND
- K ALUMINUM LOUVER, MECHANICAL SCREENING
- L EXPOSED CONCRETE WALL
- M PAINTED STEEL RAILING
- N PAINTED STEEL STAIR SYSTEM



South Elevation

Scale: 1/16" = 1'-0"

Architect:

KONTEXT
architects
building relationships
242 East Main St. - Sun Prairie, WI

Builder:

RR
2866 Agriculture Dr.
Madison WI 53718

Project Owner:

SARA
INVESTMENT REAL ESTATE
1955 Atwood Avenue
Madison, WI 53704

Location:
1216 South Park Street
Madison, Wisconsin

1224 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI

Sheet Title:
Building Elevations

Revisions:

No.	Date:	Description:

Graphic Scale: 0" 8" 12"

Project Number: 1903

Set Type: Entitlement

Date Issued: 08/28/2019

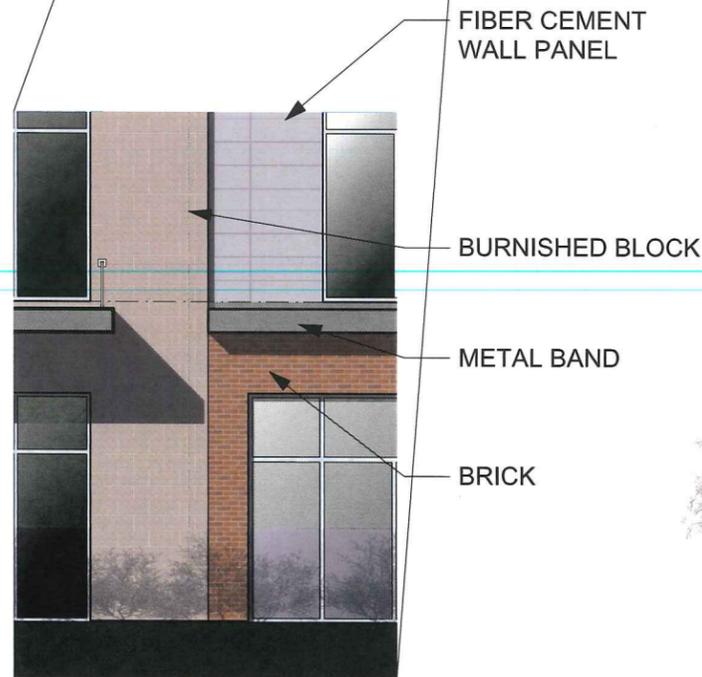
Sheet Number: **A200**

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East Elevation

Scale: 1/16" = 1'-0"



Detailed Elevation

Scale: 1/8" = 1'-0"



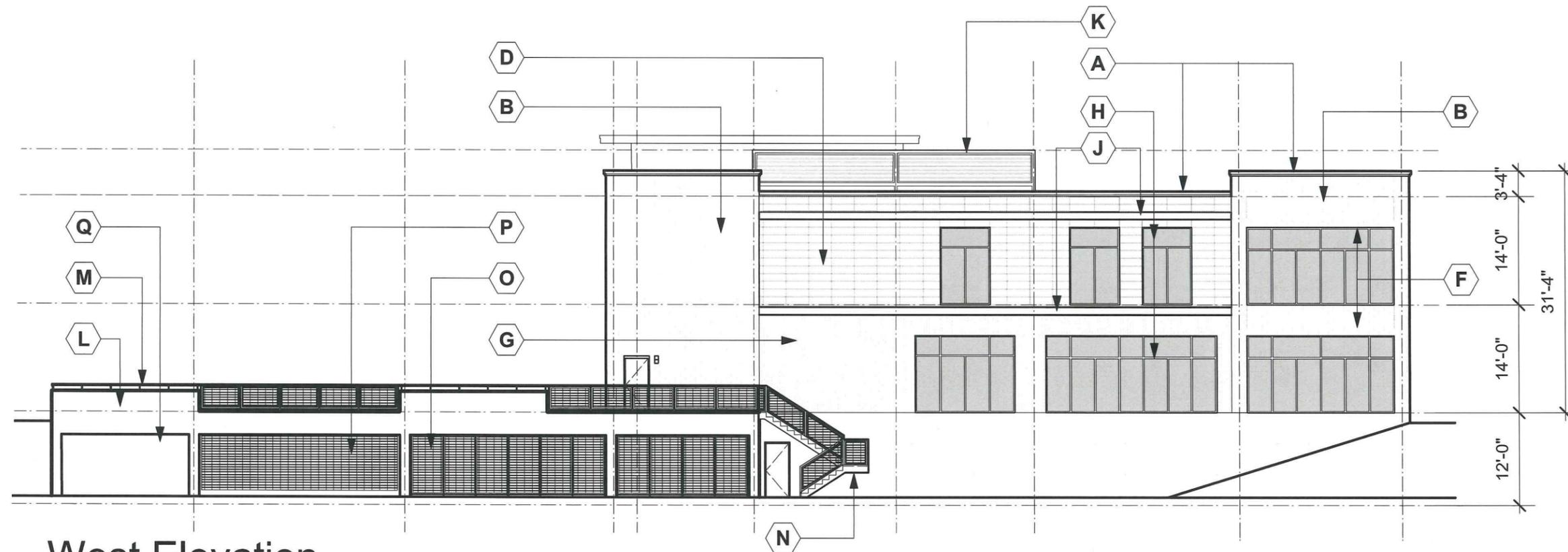
South Elevation

Scale: 1/16" = 1'-0"

Revisions:

No.	Date:	Description:

Graphic Scale	0' 8' 12'
Project Number	1903
Set Type	Entitlement
Date Issued	08/28/2019
Sheet Number	A200C

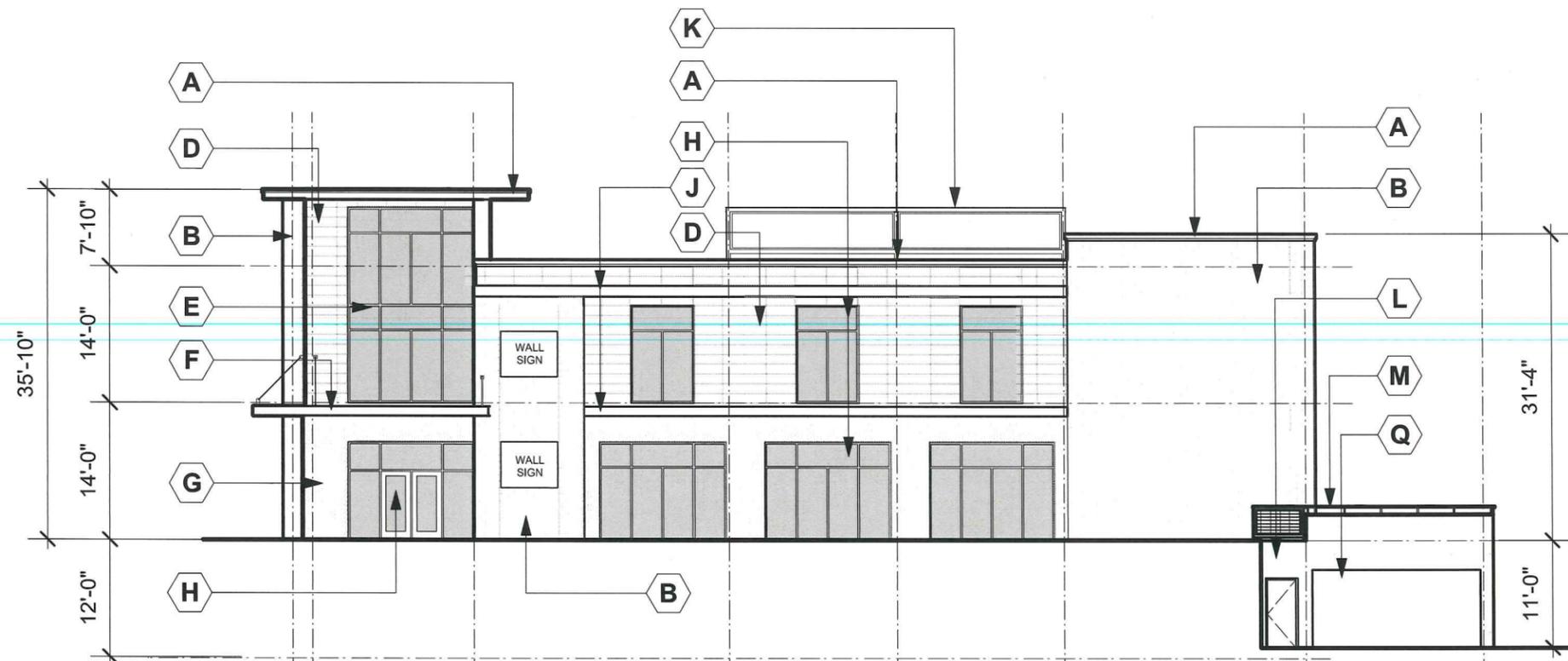


West Elevation

Scale: 1/16" = 1'-0"

Keyed Notes

- A SHEET METAL ROOF EDGE
- B 8x16 BURNISHED CONCRETE MASONRY UNIT
- C NOT USED
- D FIBER CEMENT WALL PANELS
- E ALUMINUM CURTAIN WALL ASSEMBLY
- F PREFINISHED ALUMINUM AWNING W/DOWN LIGHTS
- G BRICK VENEER
- H ALUMINUM ENTRANCE / STOREFRONT SYSTEM
- J PROJECTING ALUMINUM BAND
- K ALUMINUM LOUVER, MECHANICAL SCREENING
- L EXPOSED CONCRETE WALL
- M PAINTED STEEL RAILING
- N PAINTED STEEL STAIR SYSTEM
- O PREFINISHED STEEL FENCING
- P ALUMINUM COILING SECURITY SCREEN DOOR
- Q PREFINISHED STEEL COILING DOOR (TRASH ENCLOSURE)



North Elevation

Scale: 1/16" = 1'-0"



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1955 Atwood Avenue
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Madison WI 53718

1224 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI

1216 South Park Street
Madison, Wisconsin

1224 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI

Sheet Title:
Building Elevations

Revisions:		
No.	Date:	Description:

Graphic Scale: 0" 8" 12"

Project Number: 1903

Set Type: Entitlement

Date Issued: 08/28/2019

Sheet Number: **A201**

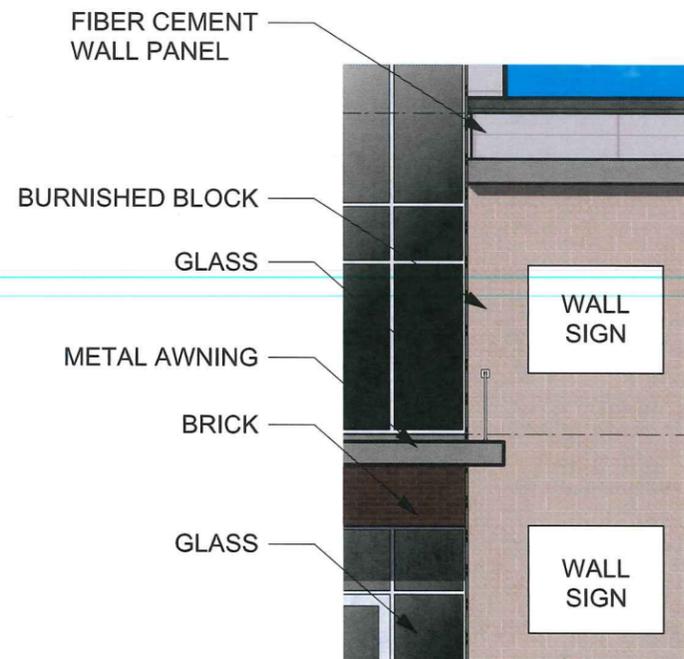
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ENTITLEMENT SUBMITTAL



West Elevation

Scale: 1/16" = 1'-0"



Detailed Elevation

Scale: 1/8" = 1'-0"



North Elevation

Scale: 1/16" = 1'-0"

Architect: **KONTEXT architects**
building relationships
242 East Main St. - Sun Prairie, WI

Builder: **RR**
2866 Agriculture Dr.
Madison WI 53718

Project Owner: **SARA INVESTMENT REAL ESTATE**
1955 Atwood Avenue
Madison, WI 53704

Location: 1216 South Park Street
Madison, Wisconsin

1224 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI
Sheet Title: Building Elevations Color

Revisions:	
No.	Description:

Graphic Scale	
Project Number	1903
Set Type	Entitlement
Date Issued	08/28/2019
Sheet Number	A201C

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ENTITLEMENT SUBMITTAL

Cree Edge™ Series

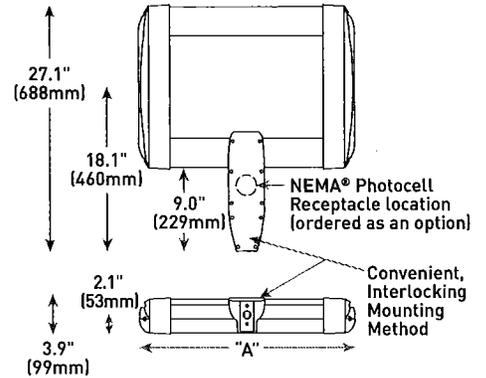
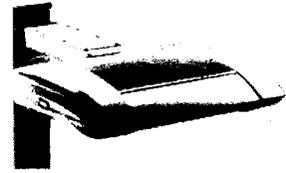
LED Area/Flood Luminaire

Product Description

The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

DA Mount



Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel

LED Count [x10]	Dim. "A"	Weight
02	12.1" [306mm]	21 lbs. [10kg]
04	12.1" [306mm]	24 lbs. [11kg]
06	14.1" [357mm]	27 lbs. [12kg]
08	16.1" [408mm]	28 lbs. [13kg]
10	18.1" [459mm]	32 lbs. [15kg]
12	20.1" [510mm]	34 lbs. [15kg]
14	22.1" [560mm]	37 lbs. [17kg]
16	24.1" [611mm]	41 lbs. [19kg]

AA/DL/SA Mount - see page 22 for weight & dimensions

Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options					
ARE-EDG	2M Type II Medium	3MB Type III Medium w/BLS	4MP Type IV Medium w/Partial	AA Adjustable Arm	02	E	UL Universal 120-277V	BK Black	350 350mA	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current F Fuse - Refer to ML spec sheet for availability with ML options - Available with UL voltage only - Available for U.S. applications only - When code dictates fusing, use time delay fuse HL Hi/Low (Dual Circuit Input) - Refer to HL spec sheet for details - Sensor not included ML Multi-Level - Refer to ML spec sheet for details - Intended for downlight applications at 0° tilt P Photocell - Refer to ML spec sheet for availability with ML options - Available with UL voltage only	PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt R NEMA® Photocell Receptacle - Intended for downlight applications with maximum 45° tilt - Photocell by others - Refer to ML spec sheet for availability with ML options 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire		
					04								
	2MB Type II Medium w/BLS	3MP Type III Medium	5M Type V Medium	DA Direct Arm	06	UH Universal 347-480V	BZ Bronze	525 525mA					
					08								
	2MP Type II Medium w/Partial BLS	3MB Type III Medium	5M Type V Medium	DL Direct Long Arm	10		SV Silver	700 700mA					
					12								
	2MP Type II Medium w/Partial BLS	3MB Type III Medium	5M Type V Medium		14		WH White	- Available with 20-60 LEDs					
					16								
	FLD-EDG	25° Flood 40° Flood	70° Flood SN Sign	N6 NEMA® 6	AA Adjustable Arm SA Side Arm - Available with 20-60 LEDs								

* Reference EPA and pole configuration suitability data beginning on page 19



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V7 R1 10/02/2018

Canada: www.cree.com/canada



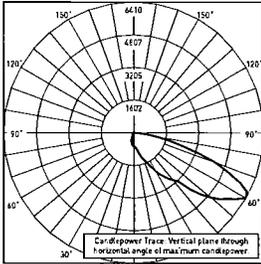
T (800) 473-1234 F (800) 890-7507

Cree Edge™ LED Area/Flood Luminaire

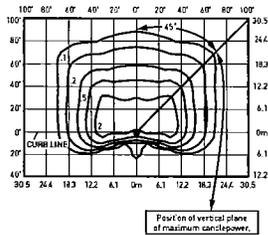
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/area/cree-edge-series-1>

4MB



RESTL Test Report #: PL01023-002B
 ARE-EDG-4MB-**-06-E-UL-525-40K
 Initial Delivered Lumens: 7,985



ARE-EDG-4MB-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 13,185
 Initial FC at grade

Type IV Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,884	B0 U0 G1	1,921	B0 U0 G1
04	3,768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5,698	B1 U0 G2
08	7,450	B1 U0 G2	7,598	B1 U0 G2
10	9,291	B1 U0 G2	9,475	B1 U0 G2
12	11,149	B1 U0 G2	11,370	B1 U0 G2
14	12,924	B1 U0 G2	13,181	B1 U0 G2
16	14,771	B2 U0 G2	15,063	B2 U0 G2
525mA				
02	2,674	B0 U0 G1	2,730	B0 U0 G1
04	5,348	B1 U0 G1	5,460	B1 U0 G1
06	7,930	B1 U0 G2	8,096	B1 U0 G2
08	10,573	B1 U0 G2	10,794	B1 U0 G2
10	13,185	B1 U0 G2	13,461	B1 U0 G2
12	15,821	B2 U0 G3	16,153	B2 U0 G3
14	18,341	B2 U0 G3	18,726	B2 U0 G3
16	20,962	B2 U0 G3	21,401	B2 U0 G3
700mA				
02	3,156	B1 U0 G1	3,220	B1 U0 G1
04	6,311	B1 U0 G2	6,440	B1 U0 G2
06	9,359	B1 U0 G2	9,549	B1 U0 G2

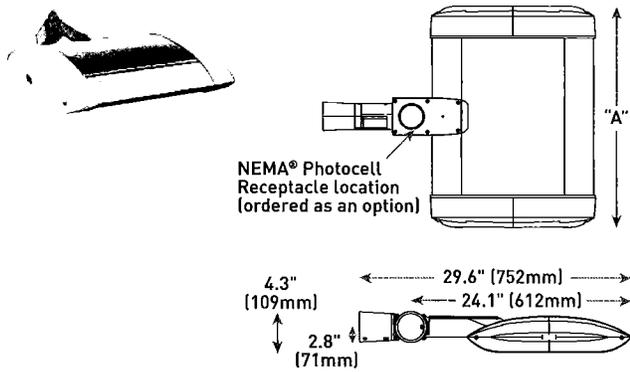
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



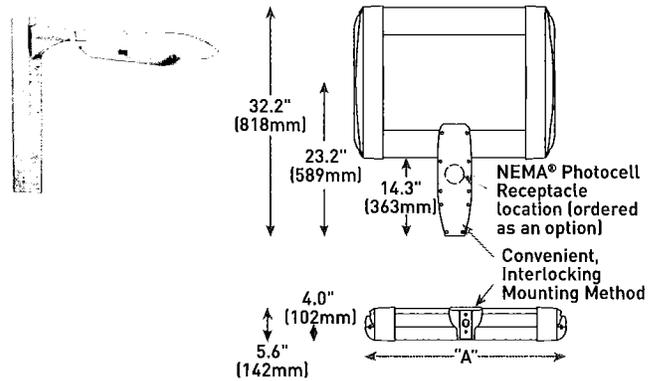
Cree Edge™ LED Area/Flood Luminaire

AA Mount



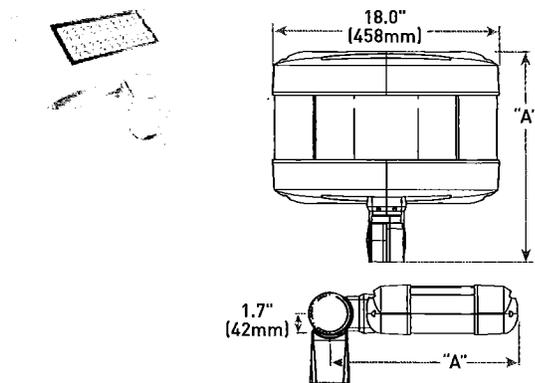
LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

DL Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	23 lbs. (10kg)
04	12.1" (306mm)	26 lbs. (12kg)
06	14.1" (357mm)	29 lbs. (13kg)
08	16.1" (408mm)	30 lbs. (14kg)
10	18.1" (459mm)	34 lbs. (15kg)
12	20.1" (510mm)	36 lbs. (16kg)
14	22.1" (560mm)	42 lbs. (19kg)
16	24.1" (611mm)	44 lbs. (20kg)

SA Mount



LED Count (x10)	Dim. "A"	Weight
02	16.0" (406mm)	25 lbs. (11kg)
04	18.0" (457mm)	26 lbs. (12kg)
06	20.0" (508mm)	28 lbs. (13kg)

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