

Notes:



Hotel Indigo - East Washington Ave Perspective



Hotel Indigo - East Main St Perspective



924 East Main St - Partial Facade to Remain



945 East Washington Ave - To be Demolished



945 East Main St Telephone Building - To Remain



949 East Washington Ave - To Remain

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revision	By/For
02/26/2016	ORIGIN DESIGN SUBMITTAL	

**SITE CONTEXT
IMAGES**



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revision	By/Rev
02/23/19	URBAN DESIGN SUBMITTAL	

**SITE CONTEXT
IMAGES**

Notes:



WEST PERSPECTIVE



SOUTH PERSPECTIVE



EAST PERSPECTIVE



NORTH PERSPECTIVE

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave
Madison, Wisconsin

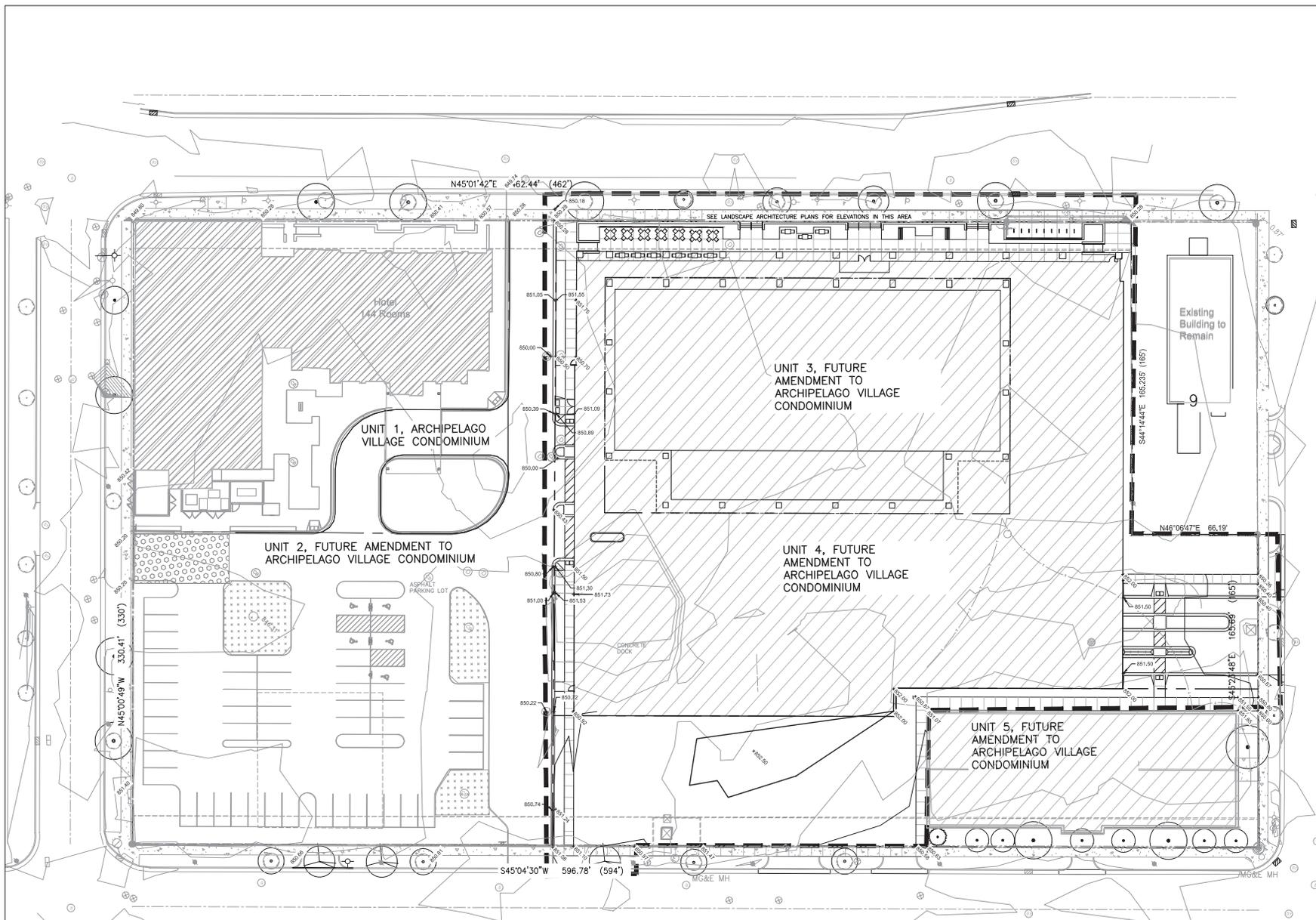
2016.36.02

Date	Issuance/Revision	By/For
02/26/2016	URBAN DESIGN SUBMITTAL	

**929 E
WASHINGTON AVE
PERSPECTIVES**

G004

Notes: _____



- GRADING AND EROSION CONTROL**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, PARKING AREAS, BUILDING PADS AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.
 2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC SOILS FOUND WITHIN THE GRADING LIMITS IN ACCORDANCE WITH SECTION 605 OF THE STANDARD SPECIFICATIONS, GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SOD AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS.
 3. THE SUB GRADE FOR THE ROAD, PARKING AREAS, AND THE BUILDING PADS SHALL BE PREPARED IN ACCORDANCE WITH SECTION 207 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2009 EDITION. COMPACTION OF THE SUB GRADE IN CUT SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 207.2.3.3 USING MECHANICAL COMPACTION EQUIPMENT. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.
 4. THE GRANULAR BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED AND WITNESSED BY OWNER OR OWNERS REPRESENTATIVE.
 5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
 6. CONTRACTORS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDMR BEST MANAGEMENT PRACTICES.
 7. ELEVATIONS SHOWN ARE FINISHED GROUND PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

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929 E Washington Ave
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02/22/19	SD PRICING SET	

**SITE
GRADING PLAN**

C104

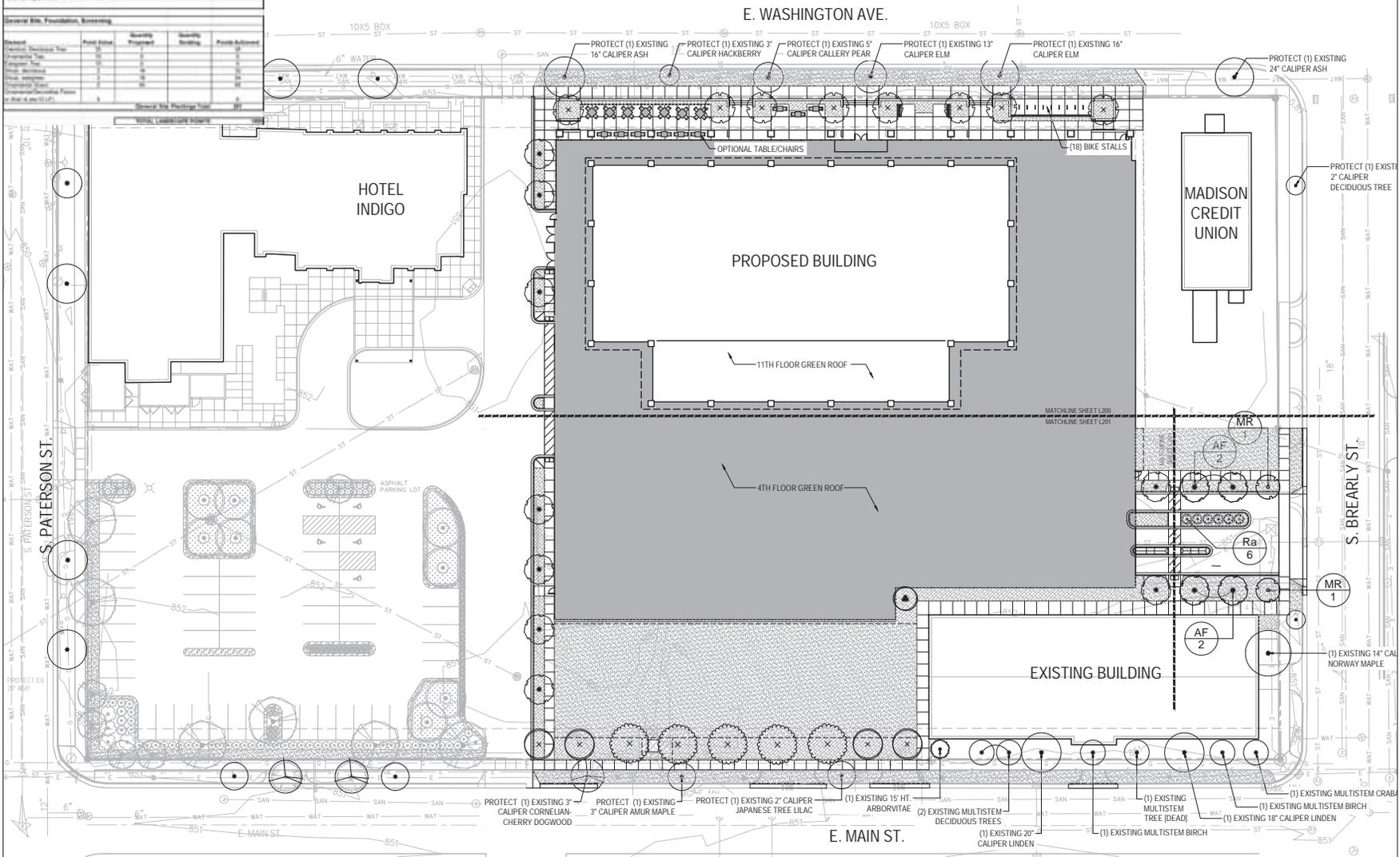
Material	Quantity	Unit	Notes
Bluegrass Lawn	10,000	SQ YD	10' x 10' BOX
Green Roof	10,000	SQ YD	10' x 10' BOX
Hardwood Bark Mulch	10,000	SQ YD	10' x 10' BOX
Stone Mulch	10,000	SQ YD	10' x 10' BOX

LEGEND

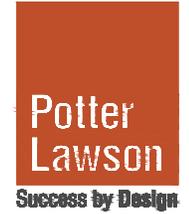
- BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED
- STONE MULCH
- EXISTING TREE
- SHOVEL-CUT EDGE

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31 13 16.
- "SELECTIVE TREE AND SHRUB PROTECTION AND TRIMMING" FOR PROTECTION REQUIREMENTS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDING AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- FORESTRY WILL ISSUE A REMOVAL PERMIT FOR STREET TREES.
- CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFFMAN) AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK. REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFFMAN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.



1 OVERALL SITE RESTORATION PLAN
SCALE: 1" = 20'-0" (AT 30"x42" FULL SIZE SHEET)

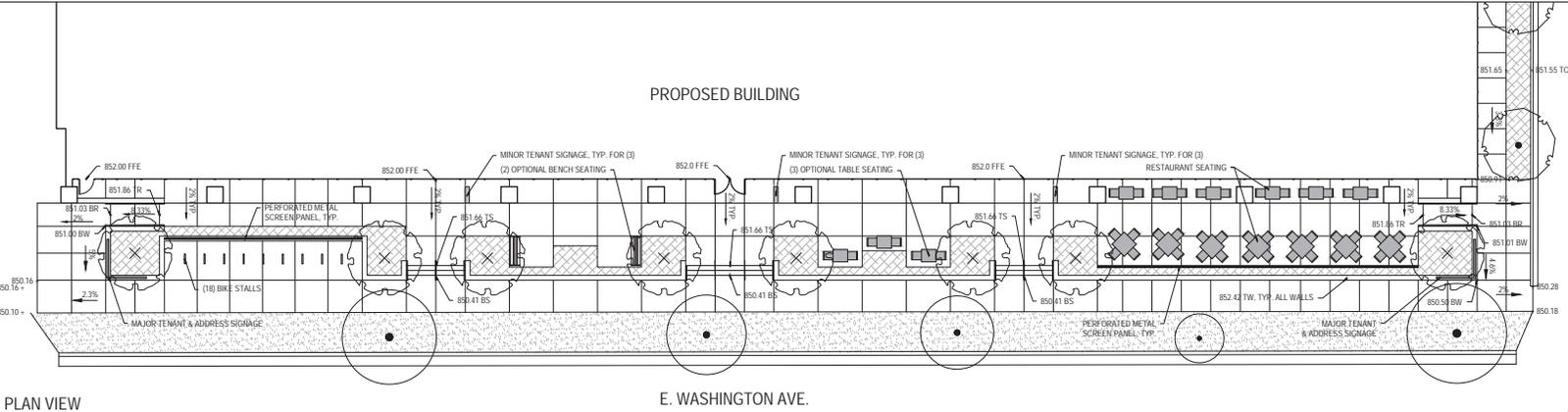


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OVERALL SITE RESTORATION PLAN
L100



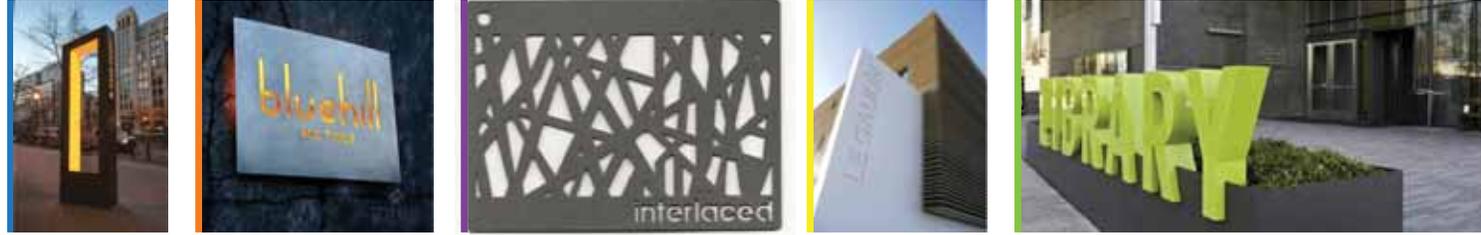
PLAN VIEW

E. WASHINGTON AVE.



ELEVATION VIEW

1 EAST WASHINGTON AVENUE TERRACE
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



2 SIGNAGE OPTIONS & INSPIRATION // NOTE: IMAGES AND LOCATIONS ARE CONCEPTUAL, HAVE BEEN PROVIDED FOR INFORMATION ONLY, AND DO NOT CONSTITUTE A SIGNAGE PACKAGE SUBMITTAL
SCALE: N/A



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EAST WASHINGTON AVENUE TERRACE PLAN

L101

PLANT SCHEDULE PLANT SCHEDULE (NORTH)

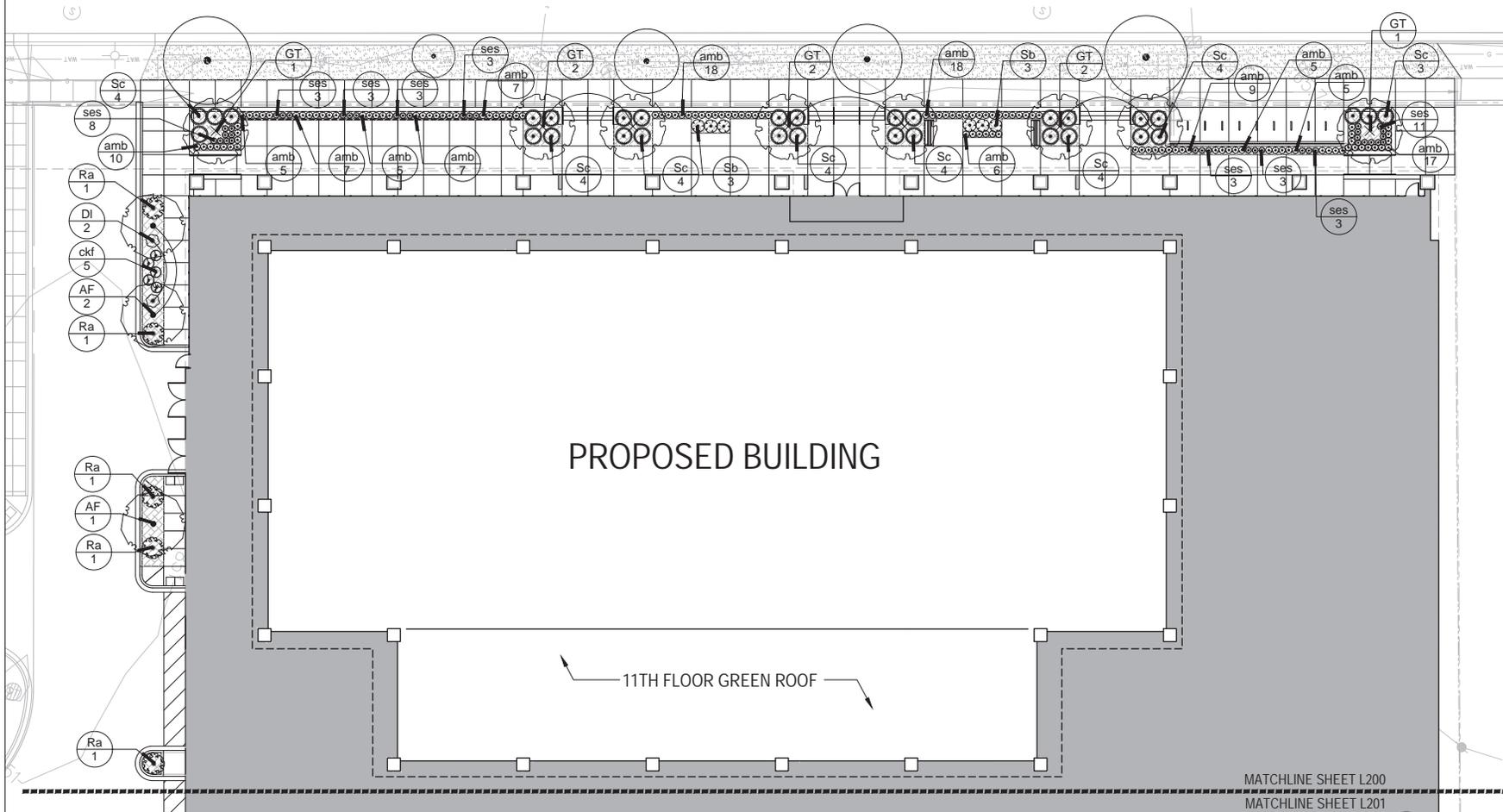
DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AF	Acer x freemanii / Armstrong / Armstrong Freeman Maple	8 & 8	2.5' Cal		3
	GT	Gleditsia thornacanthos var. inermis / Shademaster / Shademaster Honeylocust	8 & 8	2.5' Cal	Single, straight leader; match specimens; branching shall start at 5'-0" min.	8
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	DI	Diervilla lonicera / Kodak Black / Kodak Black Dwarf Bush Honeysuckle	3 gal	24" SP. (MIN)		2
	Ra	Rhus aromatica / Gro-Low / Gro-Low Fragrant Sumac	2 gal	CONT.		5
	Sb	Spirea betulifolia / Tor / Birchleaf Spirea	2 gal	CONT.		6
	Sc	Stephanandra incisa / Crispi / Cutleaf Stephanandra	3 gal	18" SP. (MIN)	Space 48" o.c.	31
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	ckf	Calamagrostis x acutiflora / Karl Foerster / Feather Reed Grass	1 gal	CONT.		5
	ses	Setaria autumnalis / Autumn Moor Grass	1 qt	CONT.	Space 18" O.C.	40
PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	amb	Amsonia tabernaemontana / Blue Ice / Blue Ice Star Flower	1 qt	CONT.		119

LEGEND

-  BLUEGRASS LAWN
-  GREEN ROOF
-  HARDWOOD BARK MULCH PLANTING BED
-  STONE MULCH
-  EXISTING TREE
-  SHOVEL-CUT EDGE

NOTES

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- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDED AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.



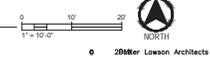
PROPOSED BUILDING

11TH FLOOR GREEN ROOF

MATCHLINE SHEET L200

MATCHLINE SHEET L201

1 PLANTING & LANDSCAPE RESTORATION PLAN (NORTH)
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



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PLANTING & LANDSCAPE RESTORATION PLAN (NORTH)

L200

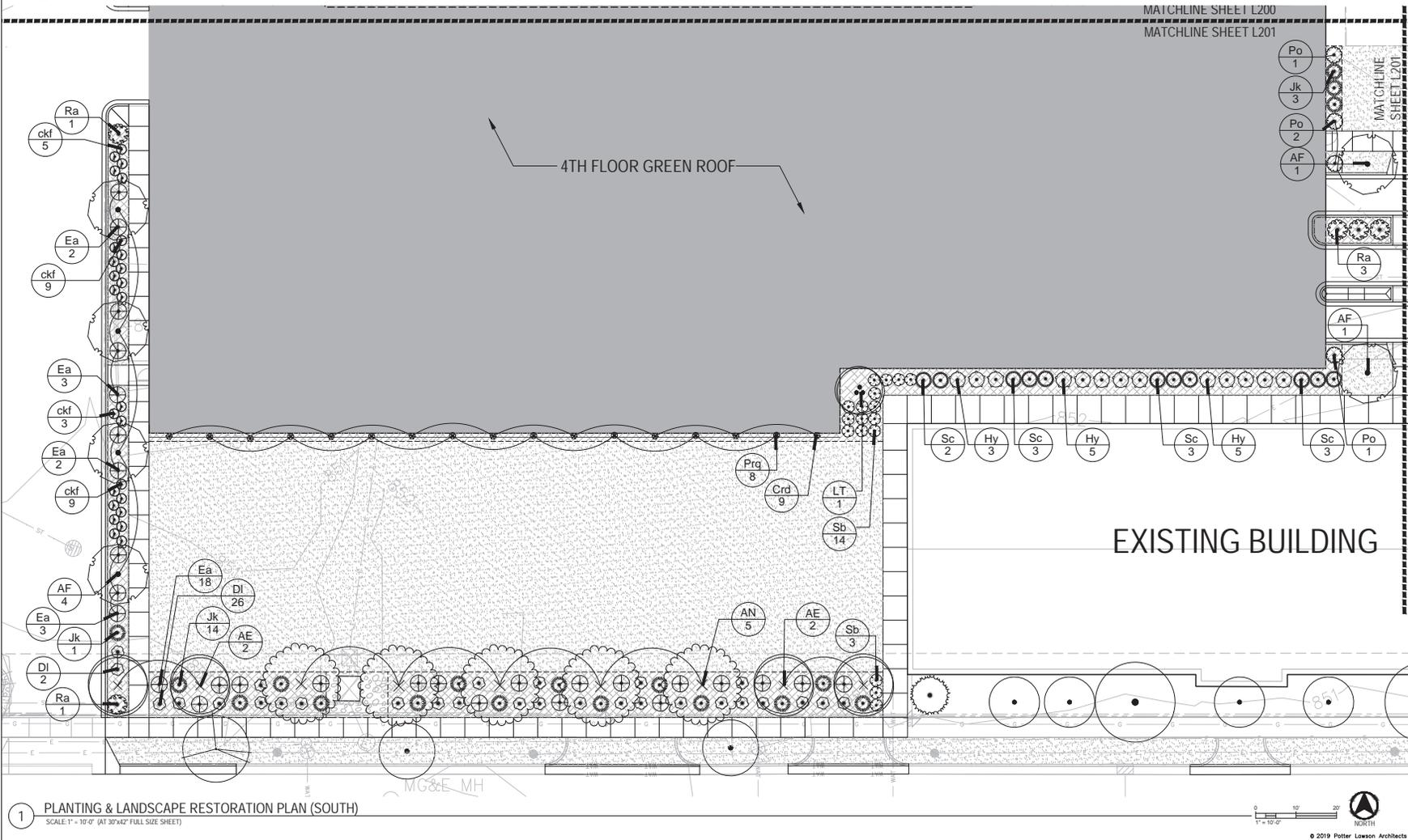
PLANT SCHEDULE PLANT SCHEDULE (SOUTH)

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AN	Acer truncatum 'Norwegian Sunset' / Maple	B & B	2.5' Cal		5
	AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5' Cal		10
	LT	Liriodendron tulipifera 'Arnold' / Arnold Tulip Poplar	B & B	2' Cal		1
ORNAMENTAL TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AE	Aesculus x carnea 'Fort McNair' / Red Horsechestnut	B & B	2' Cal		4
	MR	Malus x 'Red Jewel' / Crab Apple	B & B	2' Cal	SINGLE, STRAIGHT LEADER	2
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	DI	Diervilla lonicera 'Kodiak Black' / Kodiak Black Dwarf Bush Honeysuckle	3 gal	24" SPR. (MIN)		28
	Ea	Eunymus alatus 'Rudy Haag' / Rudy Haag Burning Bush	3 gal	24" HT (MIN)	Space 60" O.C.	28
	Hy	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	30" HT (MIN)	Space 60" O.C.	13
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal	18" HT. MIN.	Space 48" o.c.	4

	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	CONT.		11
	Sb	Spiraea betulifolia 'Tor' / Briarleaf Spiraea	2 gal	CONT.		17
	Sc	Stephanandra indica 'Crispa' / Cutleaf Stephanandra	3 gal	18" SP. (MIN)	Space 48" o.c.	11
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	Jk	Juniperus chinensis 'Kailiys Compact' / Kailay Compact Pfitzer Juniper	3 gal	18" SP. (MIN)	Space 60" O.C.	18
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	df	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.		26
VINES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	Crd	Campsis radicans / Trumpet Creeper	1 gal	CONT.	36" HT. (MIN)	9
	Prq	Parthenocissus quinquefolia / Virginia Creeper	1 gal	CONT.	36" HT. (MIN)	8

LEGEND

- BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED
- STONE MULCH
- EXISTING TREE
- SHOVEL-CUT EDGE



1 PLANTING & LANDSCAPE RESTORATION PLAN (SOUTH)
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



Notes:

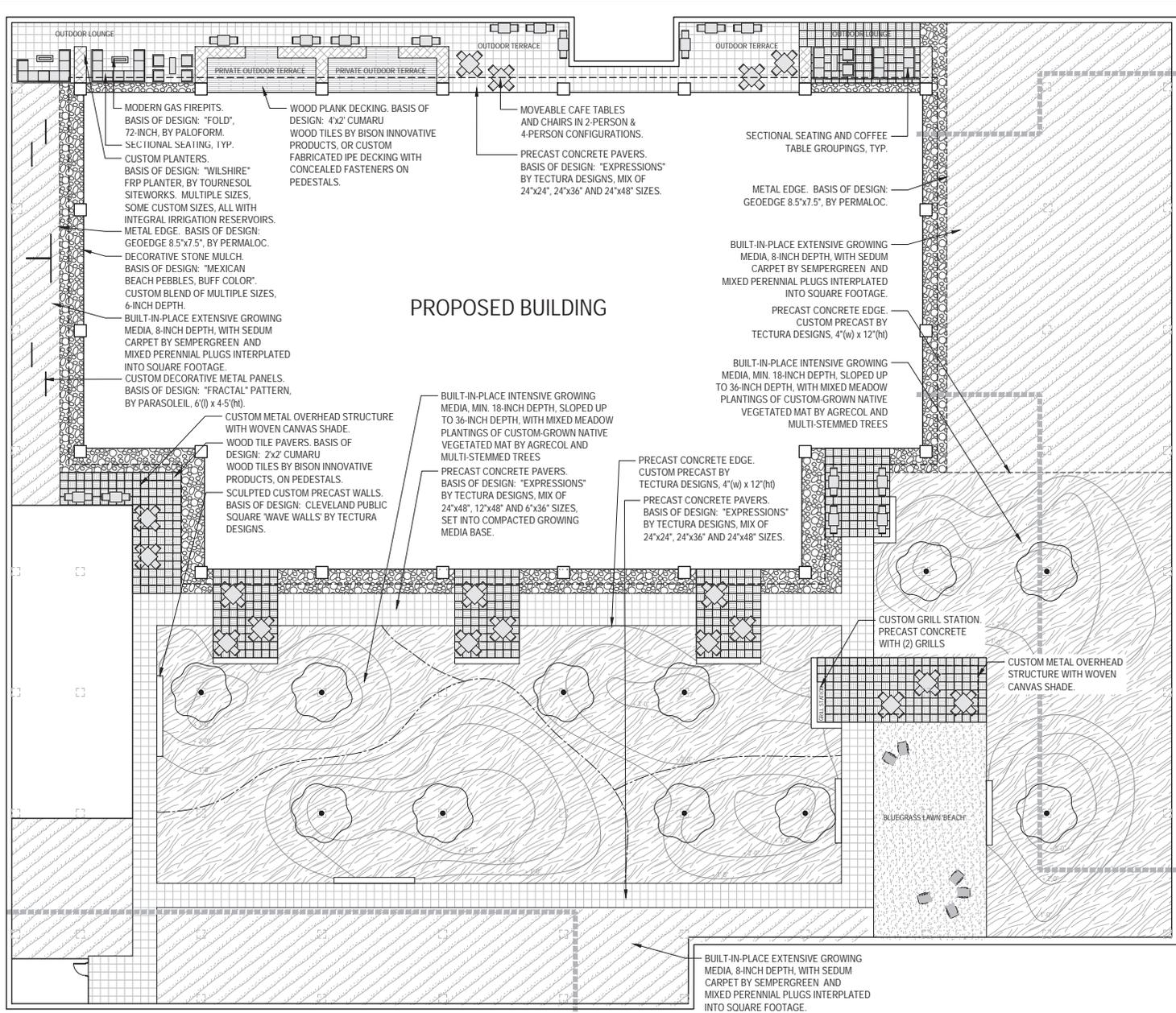
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Project #: 2016.36.02

Date: 03/06/19
Issuance/Revisions: URBAN DESIGN SUBMITTAL
Symbol:

PLANTING & LANDSCAPE RESTORATION PLAN (SOUTH)

L201



- ### LEGEND
- SEDUM CARPET OVER 6-8" OF EXTENSIVE GROWING MEDIA
 - BLUEGRASS LAWN
 - STONE MULCH
 - MEADOW OVER 24" OF INTENSIVE GROWING MEDIA
 - PROPOSED TREE
 - L-SHAPE ALUMINUM EDGE
 - RETAINING / SEAT WALL, 1.5' HT. TYP.
 - PHASE 2 BUILDING EXPANSION LIMITS
 - STRUCTURAL BUILDING COLUMN
 - OVERHEAD SHADE STRUCTURE
 - POTENTIAL WALKING PATH THROUGH MEADOW

1 4TH FLOOR GREEN ROOF PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



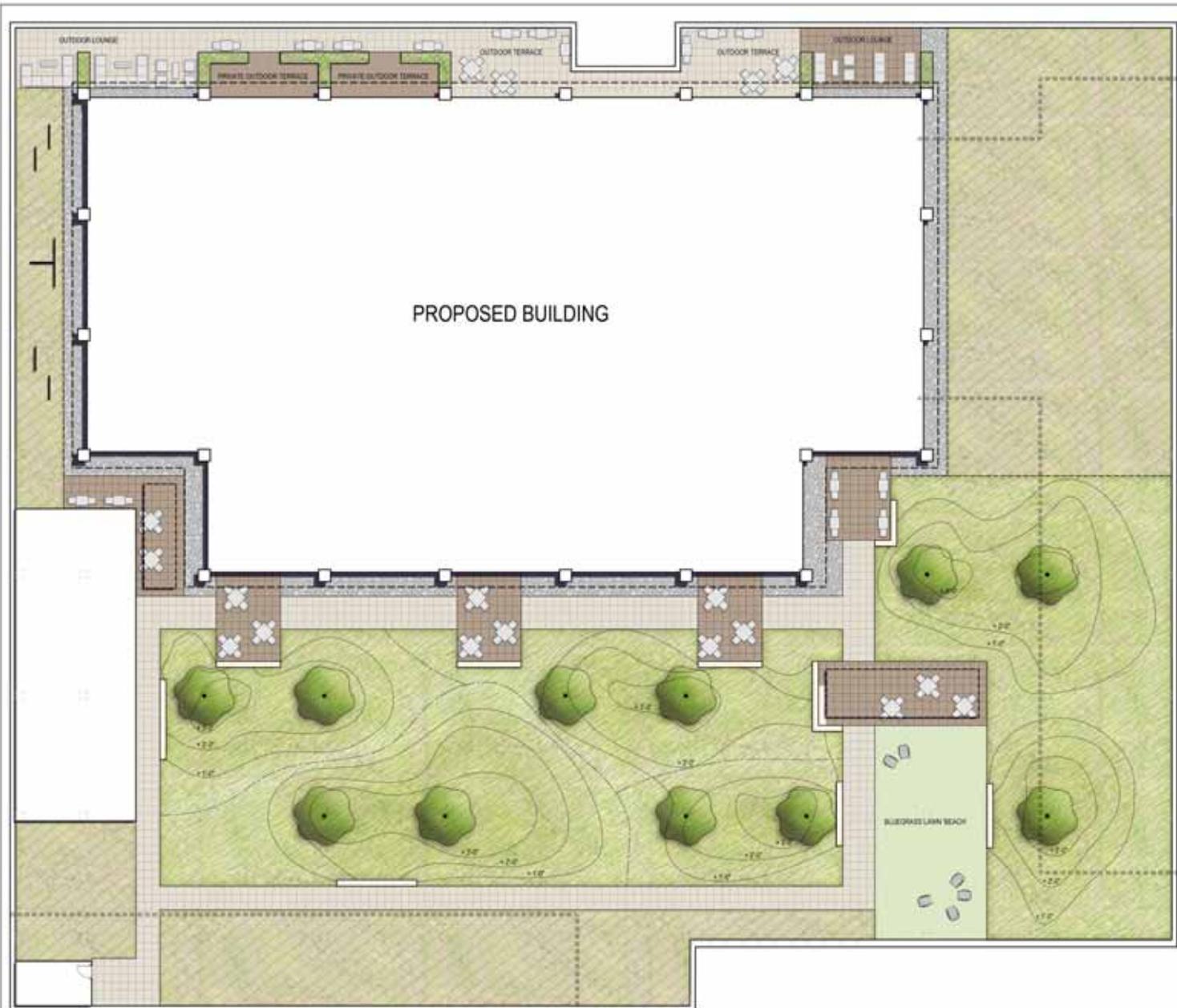
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03/06/19	URBAN DESIGN SUBMITTAL	

4TH FLOOR GREEN
ROOF PLAN
L300



- LEGEND**
- SEDUM CARPET OVER 6-8" OF EXTENSIVE GROWING MEDIA
 - BLUEGRASS LAWN
 - STONE MULCH
 - MEADOW OVER 24" OF INTENSIVE GROWING MEDIA
 - PROPOSED TREE
 - L-SHAPE ALUMINUM EDGE
 - RETAINING / SEAT WALL, 1.5' HT. TYP.
 - PHASE 2 BUILDING EXPANSION LIMITS
 - STRUCTURAL BUILDING COLUMN
 - OVERHEAD SHADE STRUCTURE
 - POTENTIAL WALKING PATH THROUGH MEADOW



**Potter
Lawson**
Success by Design



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Madison, Wisconsin

Project #: 2016.36.02

Date	Issued/Revised	By
12/15/16	1/16/16, 2/22/16, 3/28/16	PL

**4TH FLOOR GREEN
ROOF PLAN**
L300

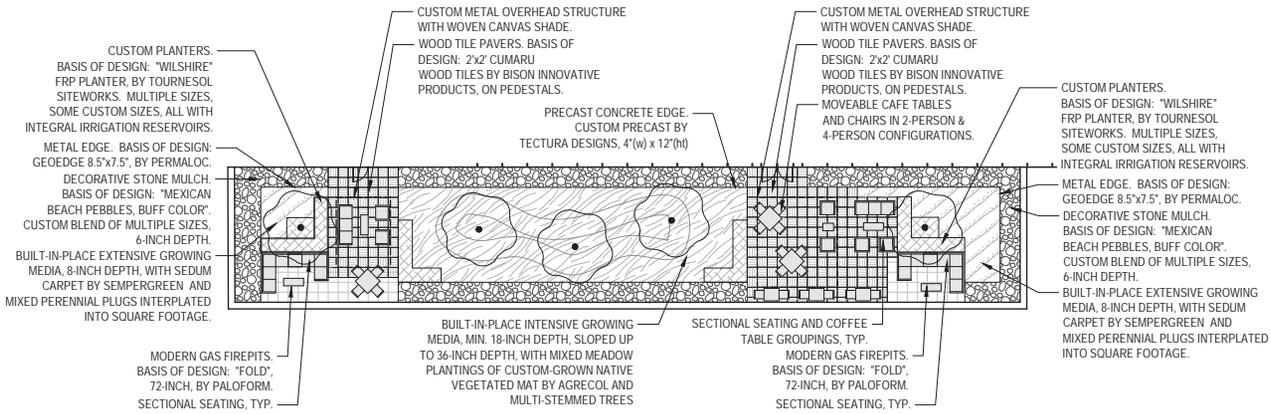
1 4TH FLOOR GREEN ROOF PLAN
SCALE: 1" = 10' (AT 20x28" FULL SIZE SHEET)



Notes: _____

LEGEND

- SEDUM CARPET OVER 6-8" OF EXTENSIVE GROWING MEDIA
- BLUEGRASS LAWN
- STONE MULCH
- MEADOW OVER 24" OF INTENSIVE GROWING MEDIA
- PROPOSED TREE
- L-SHAPE ALUMINUM EDGE
- RETAINING / SEAT WALL, 1.5' HT. TYP.
- PHASE 2 BUILDING EXPANSION LIMITS
- STRUCTURAL BUILDING COLUMN
- OVERHEAD SHADE STRUCTURE



1 11TH FLOOR GREEN ROOF PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)

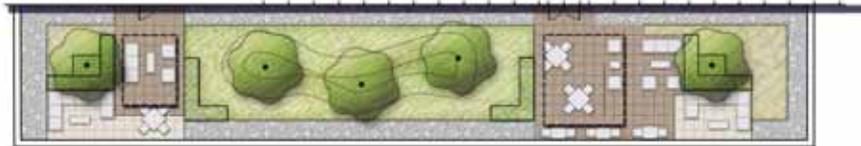


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11TH FLOOR GREEN
ROOF PLAN
L301



LEGEND

-  SEDUM CARPET OVER 6-8" OF EXTENSIVE GROWING MEDIA
-  BLUEGRASS LAWN
-  STONE MULCH
-  MEADOW OVER 2" OF INTENSIVE GROWING MEDIA
-  PROPOSED TREE
-  L-SHAPE ALUMINUM EDGE
-  RETAINING / SEAT WALL, 1.5' HT. TYP.
-  PHASE 2 BUILDING EXPANSION LIMITS
-  STRUCTURAL BUILDING COLUMN
-  OVERHEAD SHADE STRUCTURE

1 11TH FLOOR GREEN ROOF PLAN
SCALE: 1/8" = 1'-0" (AT 20" X 30" FULL SIZE SHEET)



Archipelago
929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

Date	Revisions/Revisions	By/Checked
11/15/16	Update Section Submittals	

**11TH FLOOR GREEN
ROOF PLAN**
L301



D1. Demolition Context Aerial
Archipelago - Madison
March 06, 2019

945 East Washington Ave.

Foundation: Concrete foundation.

Structure: Concrete masonry unit bearing walls with a steel roof truss.

Roof: Curved roof with a rubber roofing membrane.

Façade: Brick façade.

Building Description: The building is one story and composed of a brick facades.



D2. Demolition Context Images

Archipelago - Madison

March 06, 2019

Potter
Lawson

Success by Design

924 East Main St.

Foundation: Concrete foundation.

Structure: Concrete masonry unit bearing walls and piers with a steel barrel vault roof truss.

Roof: Curved roof with a rubber roofing membrane.

Façade: Brick façade.

Building Description: The building is one story and composed of a brick facades. The original facade of the building is to remain while the addition and the building behind the facade is to be demolished.



D3. Demolition Context Images

Archipelago - Madison

March 06, 2019

Potter
Lawson

Success by Design

Notes:

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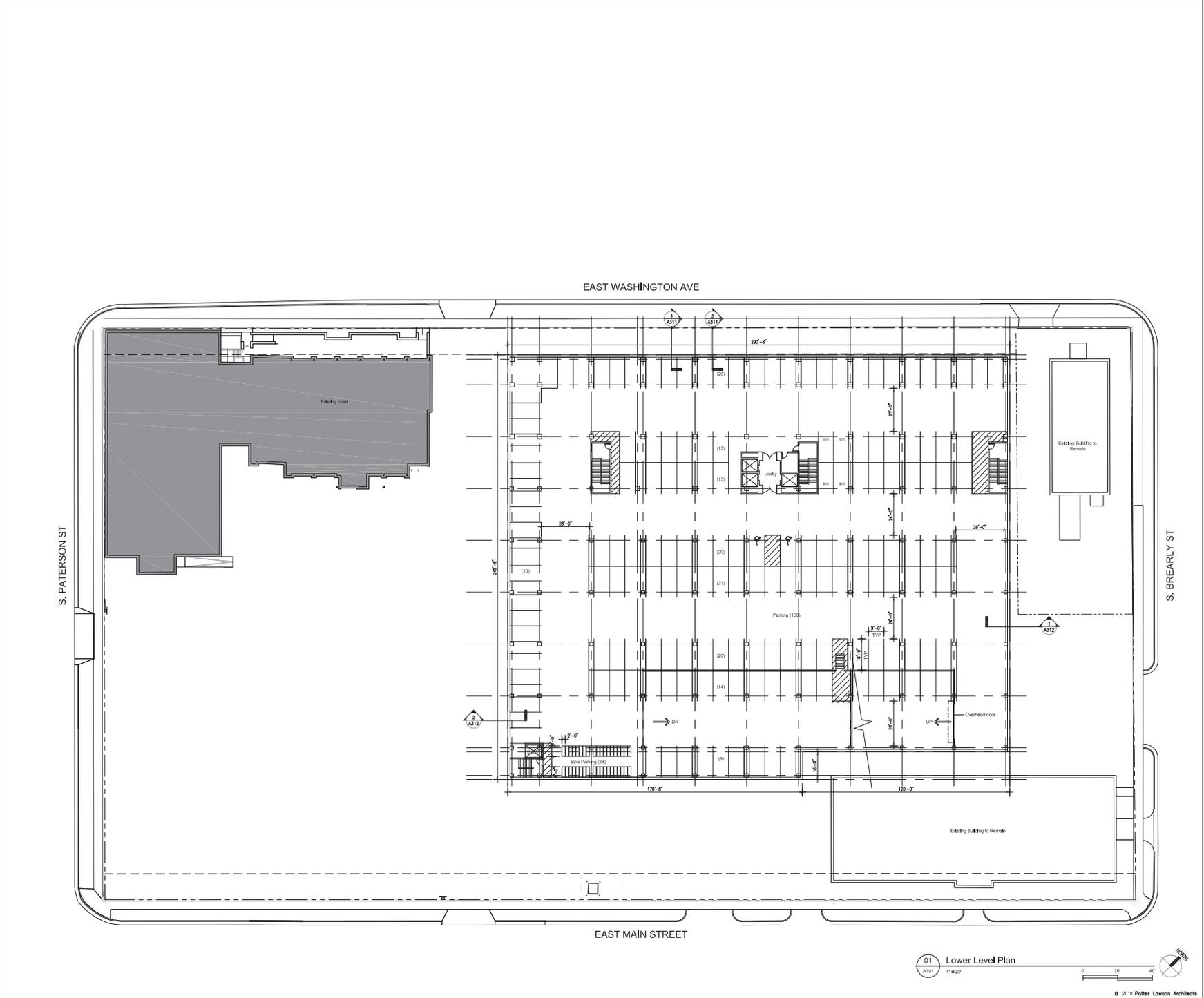
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Lower Level Plan

A101



01 Lower Level Plan
A101 1/8"=1'-0"
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Notes:

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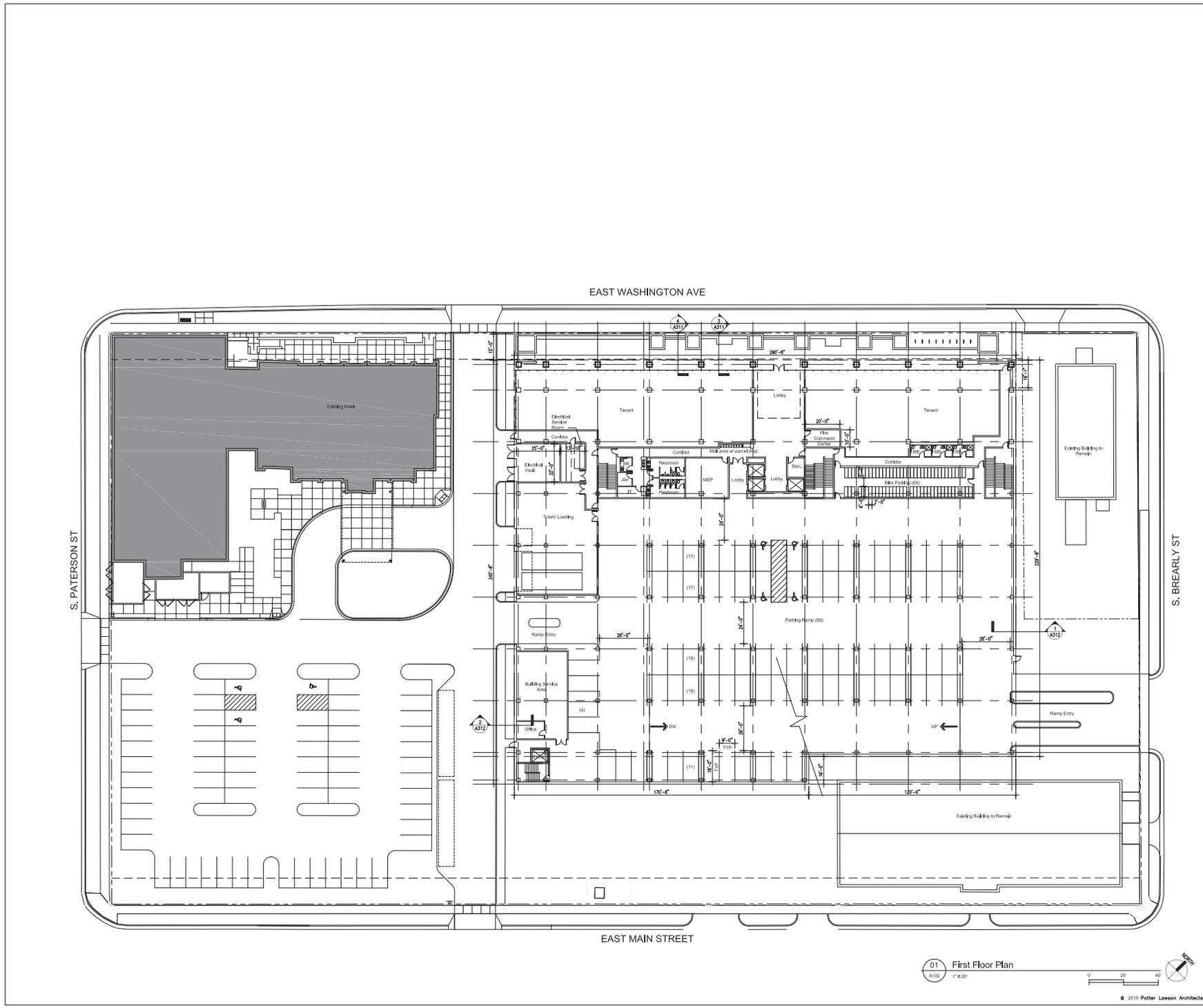
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First Floor Plan

A102



01 First Floor Plan
A102 11" x 20"

0' 20' 40'

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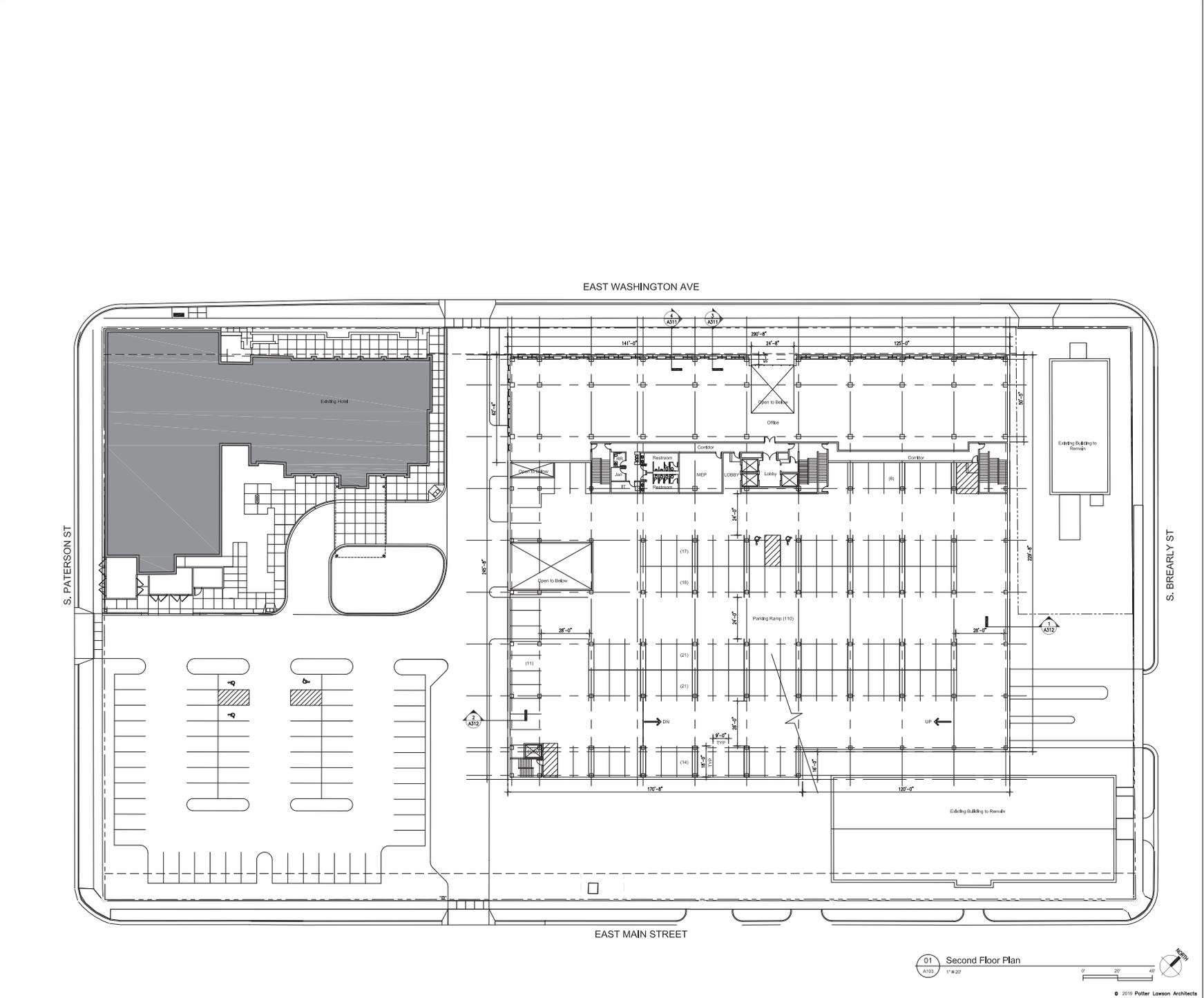
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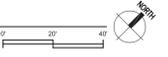
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Second Floor Plan

A103



01 Second Floor Plan
A103 1"=20'



Notes:

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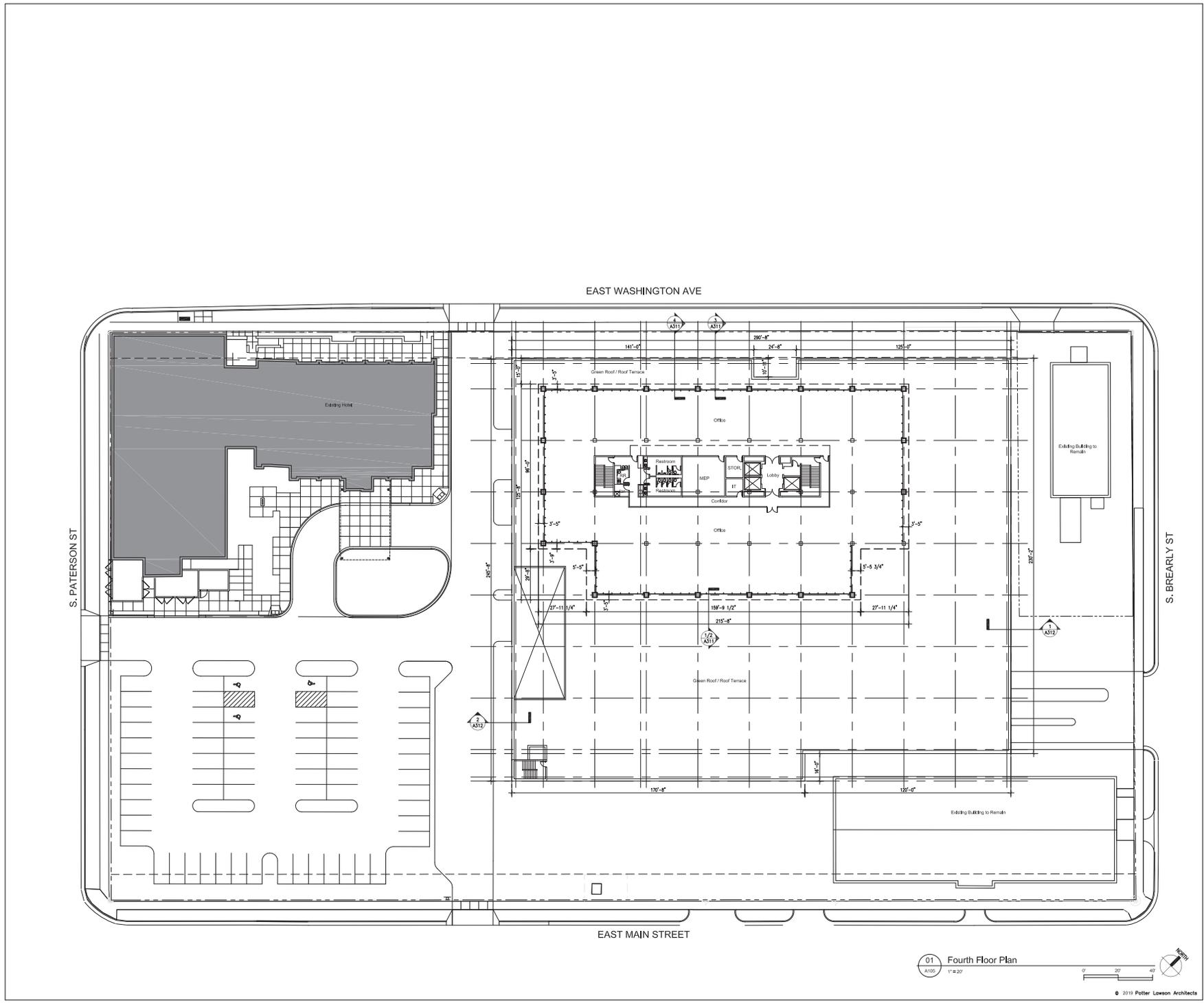
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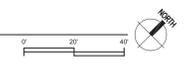
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Fourth Floor Plan

A105



01 Fourth Floor Plan
A105 11.0.20



Notes:

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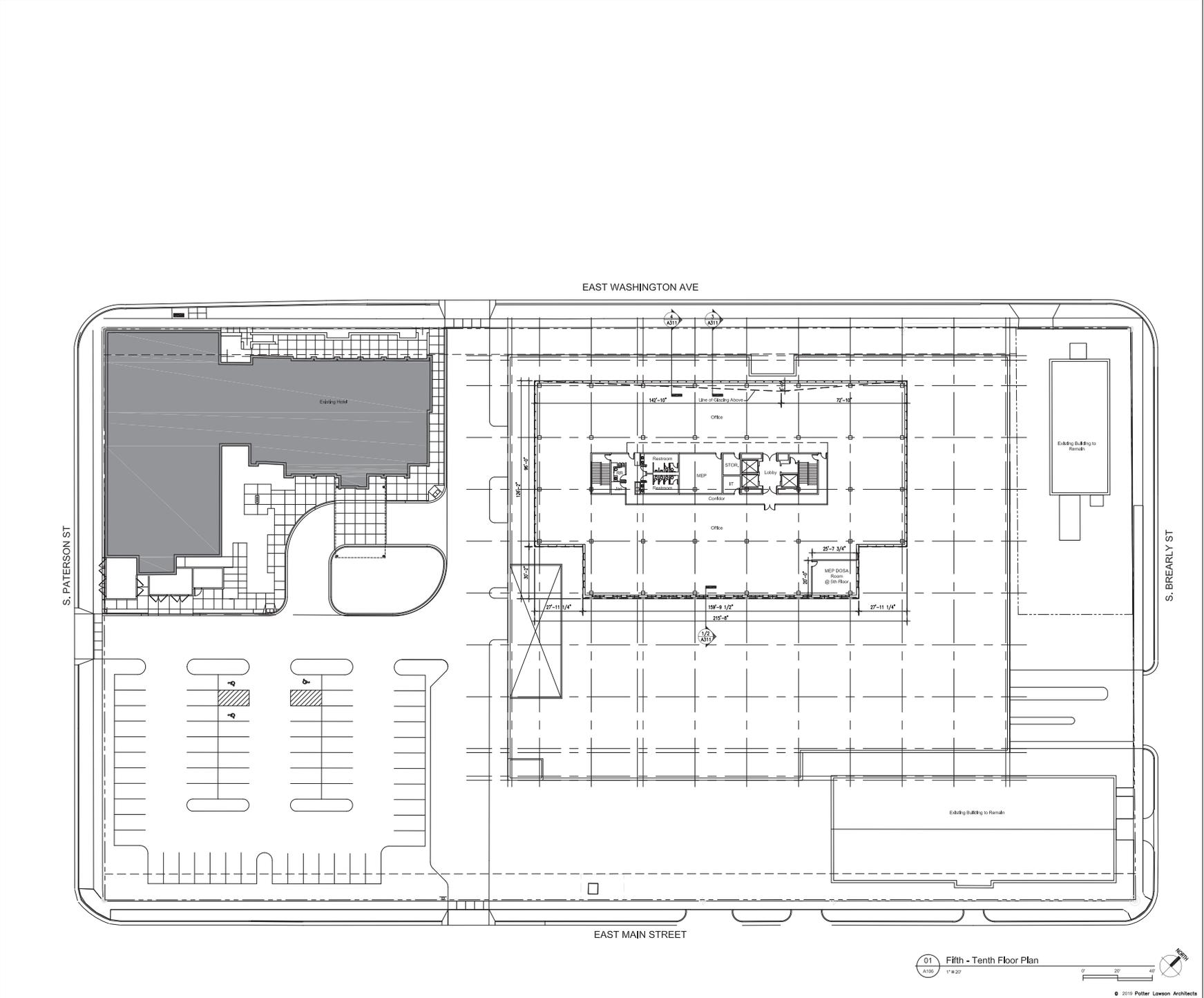
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**Fifth - Tenth
Floor Plan**

A106



01 Fifth - Tenth Floor Plan
A106 1" = 20'

Notes:

PRELIMINARY USE ONLY

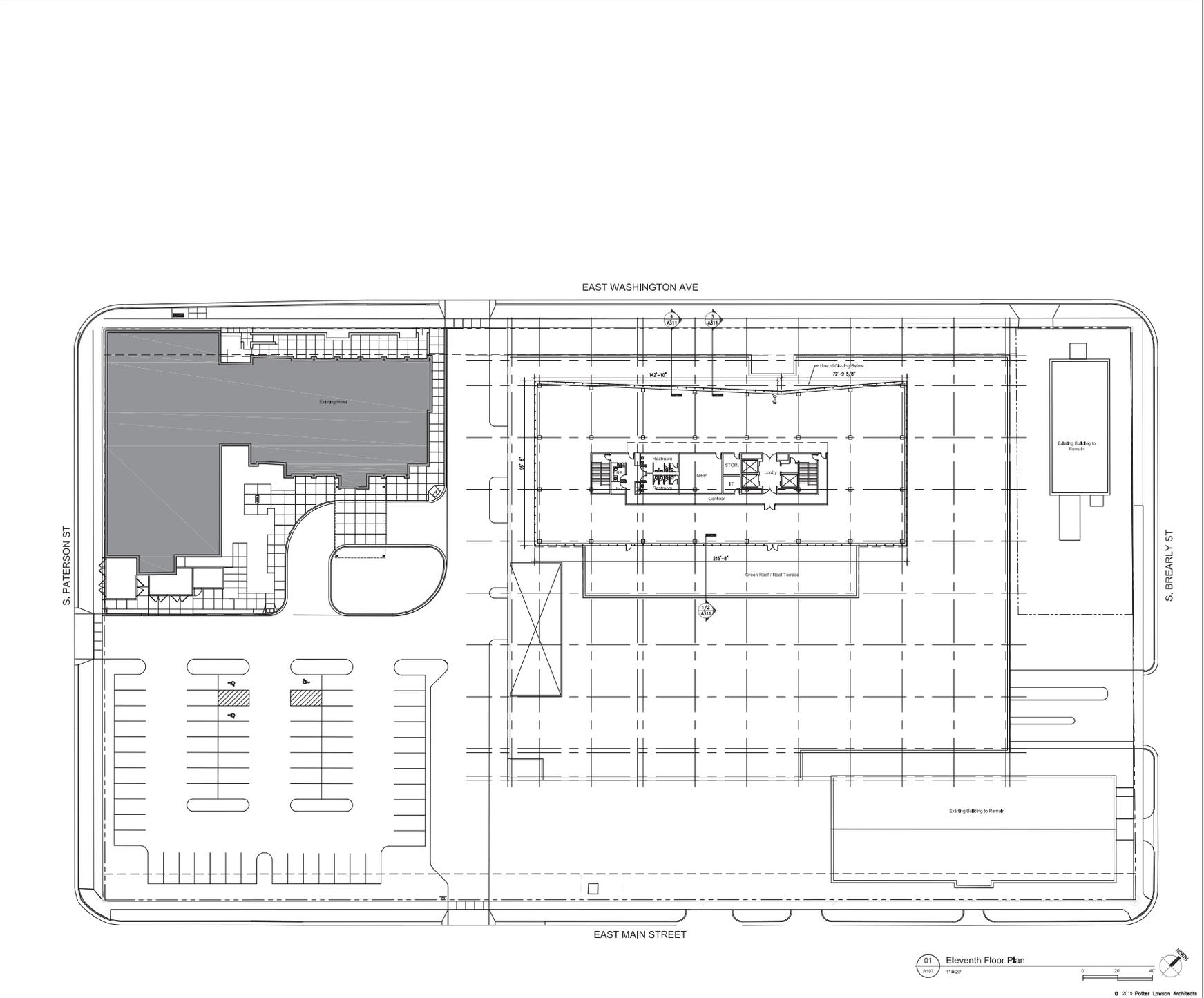
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Eleventh Floor Plan

A107



01 Eleventh Floor Plan
A107 1"=20'

Notes:

PRELIMINARY USE ONLY

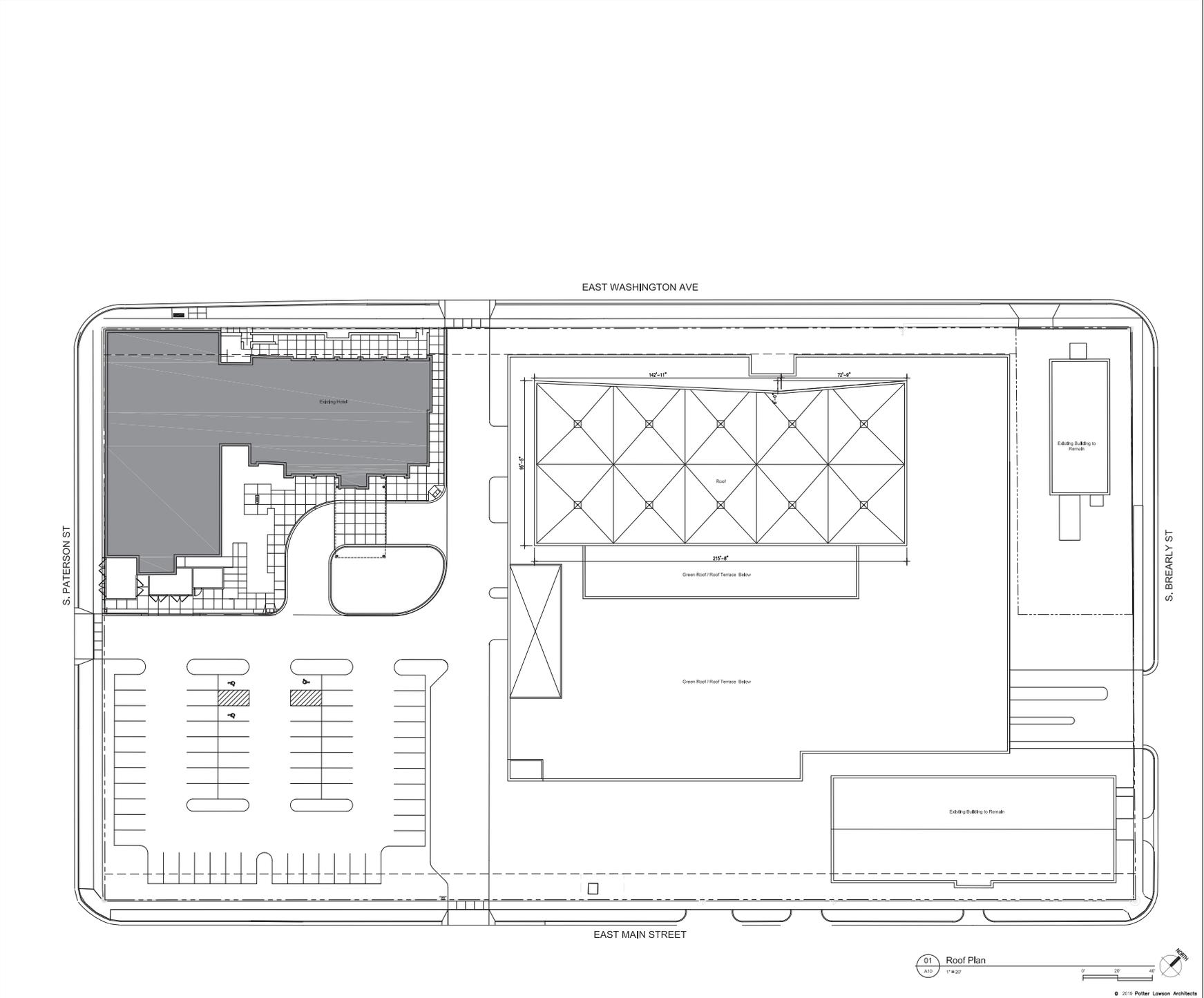
Archipelago
929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
03/06/19	URBAN DESIGN SUBMITTAL	

Roof Plan

A108



01 Roof Plan
A108 1"=20'

