

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985
(608) 266-4635



1. LOCATION

Project Address: 2122 CHADBOURNE AVE Aldermanic District: _____

2. PROJECT

Project Title/Description: ADDITION TO REAR OF HOME, GARAGE REPLACEMENT

This is an application for: (check all that apply)

- Alteration/Addition to a building in a Local Historic District or Designated Landmark (specify)**:
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)**:
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows Landmark
- Demolition
 - Alteration/Addition to a building adjacent to a Designated Landmark
 - Variance from the Historic Preservation Ordinance (Chapter 41)
 - Landmark Nomination/Rescission of Historic District Nomination/Amendment
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
 - Other (specify): _____

DPCED USE ONLY	Legistar #:
	DATE STAMP CITY OF MADISON FEB 20 2020 Planning & Community & Economic Development
	Preliminary Zoning Review Zoning Staff Initial: Date: / /

3. APPLICANT

Applicant's Name: DOUGLAS L. PAHL, AIA Company: ARO EBERLE ARCHITECTS

Address: 116 LARG ST, MADISON WI 53703
Street City State Zip

Telephone: 608-204-7464 Email: PAHL@AROEBERLE.COM

Property Owner (if not applicant): JOEL AND MARGO PLANT

Address: 2122 CHADBOURNE AVE MADISON WI 53726
Street City State Zip

Property Owner's Signature: [Signature] Date: 2/7/2020

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located at 215 Martin Luther King Jr Blvd, Suite 017. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: <https://www.cityofmadison.com/dpced/planning/documents/2019-LCMeetingScheduleDates.pdf>

Heather Bailey
City of Madison Planning Division
215 Martin Luther King Jr Boulevard
Madison, WI 53701

February 20, 2020

LANDMARKS COMMISSION APPLICATION

To Whom it may concern,

This letter is to accompany the Landmarks Commission Review Application submitted on this date. The subject property is located at 2122 Chadbourne Avenue in the University Heights historic district. There is one main building (residence) and one accessory building (garage) on the property. The neighboring property to the East is a vacant wooded lot and the property to the West is a primary residence.

The project proposes to add a small addition to the North side of the house (rear), expanding the first floor about 80 square feet. The second floor will be expanded over the single-story kitchen area and the new addition on the first floor to add one new bedroom and to expand and reconfigure another.

The Addition will match the existing house in color, material, detailing and proportions. Similar windows will be used in the addition. Offsets will be maintained to provide relief from the historic roof lines and geometry of the original home.

The existing garage is in disrepair and is slated for complete replacement. Care will be taken to protect the mature trees in the vicinity. The Garage will be constructed in the same location and roughly the same footprint as the original. The roof will be pitched to match the existing residence and oriented in the same direction. A shed roof dormer will be extended off the back, not visible to the street. The attic of the garage will be used for a storage area and is accessible by interior stair.

We respectfully request to attend the next Landmarks Commission meeting to discuss the project and request approval.

Sincerely,



Aro Eberle Architects, Inc.
Douglas Pahl, AIA

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726



116 King St, Suite 202 (608) 204-7464
Madison, WI 53703 AroEberle.com

DEMOLITION PLAN GENERAL NOTES:

- FIELD VERIFY ALL DIMENSIONS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
- REPAIR ALL WALLS AND FINISHES DISTURBED DURING DEMOLITION THAT ARE TO REMAIN.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND STORED FOR REINSTALLATION IN NEW CEILING SYSTEM.
- PROVIDE SHORING OF EXISTING STRUCTURAL WALL AND ROOF MEMBERS PRIOR TO THE COMMENCEMENT OF ASSOCIATED DEMOLITION OPERATIONS.
- PROVIDE SLAB CUTTING/DEMOLITION AS NEEDED TO ROUTE EXISTING PLUMBING TO NEW PLUMBING FIXTURES. PATCH CONCRETE FLOORS AFTER WORK IS COMPLETE.
- ALL EXISTING WALLS TO REMAIN ARE SHOWN SHADED.

GENERAL NOTES

- GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, FEDERAL, AND STATE REGULATIONS, AND ALL OF THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, INSPECTION FEES, AND TAXES AS REQUIRED FOR THEIR PORTION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE WORK AND BECOME FAMILIAR WITH THE LOCAL CONDITIONS AND CODES RELATING TO THE WORK BEFORE SUBMITTING A PROPOSAL. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS, IN WRITING, AND ALLOW SUFFICIENT TIME FROM THE RECEIPT OF NOTIFICATION BY THE ARCHITECT TO FURNISH A CLARIFICATION BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DEFICIENCIES RELATED TO LOCAL CODES AND REGULATIONS OR UTILITIES AND ALLOW SUFFICIENT TIME FROM THE RECEIPT OF NOTIFICATION BY THE ARCHITECT TO FURNISH A REVISION OR CLARIFICATION.
- THE CONTRACTOR WILL ALLOW 7 CALENDAR DAYS FROM THE DATE OF RECEIPT BY THE ARCHITECT FOR RESPONSES TO REQUESTS FOR INFORMATION.
- THE CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR WORK REQUIRING SHOP FABRICATION FOR THE ARCHITECT TO REVIEW. THE CONTRACTOR SHALL ALLOW 10 CALENDAR DAYS FROM THE DATE OF RECEIPT BY THE ARCHITECT FOR REVIEW OF THE SHOP DRAWINGS.
- CONTRACTOR SHALL APPLY, INSTALL, CONNECT, ERECT, USE, CLEAN AND CONDITION MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT AS RECOMMENDED BY THE MANUFACTURER, UNLESS SPECIFIED TO THE CONTRARY. THE MANUFACTURER'S LATEST RECOMMENDATIONS AT THE TIME OF BIDDING SHALL BE USED.

ENERGY EFFICIENCY NOTES

- PROJECT HAS BEEN DESIGNED TO MEET THE CRITERIA OF THE 2009 IECC
- ABOVE-GRADE THERMAL BARRIER- PROVIDE A MINIMUM R23 CAVITY INSULATION; BASIS OF DESIGN BIBS (BLOW-IN BLANKET SYSTEM) INSULATION
- ABOVE-GRADE AIR BARRIER: CONTINUOUS DUPONT TYVEK HOUSE WRAP AND FLASHING ACCESSORIES OR EQUAL
- CEILING ENVELOPE: PROVIDE IC-RATED RECESSED LIGHTING FIXTURES WHEREVER LIGHT FIXTURES ARE RECESSED INTO AN INSULATED CEILING
- PROVIDE AUTOMATIC OR GRAVITY DAMPERS AT ALL OUTDOOR AIR INTAKES AND EXHAUSTS
- PROVIDE A BLOWER-DOOR TEST @50 PA. ≤ 3 ACH (CLIMATE ZONE 6)
- FENESTRATION BASIS OF DESIGN: PELLA FIBERGLASS WINDOW UNITS; FOAM FILLED FRAMES; 11/16" LOW-E IGLS; U-FACTOR: .27; NFRC CERT # PEL-N-150-00692; OR EQUAL
- PATIO DOOR BASIS OF DESIGN: THERMA-TRU 3/4 LITE FIBERGLASS FRONT DOOR; LOW-E GLASS; U-FACTOR .23 WITH SIMILAR SIDELIGHTS; OR EQUAL
- INSULATE ALL BASEMENT WALLS PER WALL SECTIONS ON A311
- PROTECT ANY EXPOSED INSULATION MATERIAL
- INSTALL LABELED INSULATION PRODUCTS AND SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS
- PROVIDE VENTED SOFFIT PANELS AND ROOF VENTS AS RECOMMENDED BY ROOF VENT MANUFACTURER
- ATTIC INSULATION: PROVIDE FULL INSULATION THICKNESS AT EXTERIOR WALL; R49 MIN.
- INSULATION AND SEAL ATTIC ACCESS HATCH/DOOR/ACCESS POINT TO THE MATCHING ADJACENT ASSEMBLY

LEGEND - PLAN SYMBOLS

CALLOUTS

- BUILDING SECTION SYMBOL, 1/A101 INDICATES DETAIL 1 CAN BE FOUND ON SHEET A101
- WALL SECTION SYMBOL, 1/A101 INDICATES DETAIL 1 CAN BE FOUND ON SHEET A101
- SECTION DETAIL SYMBOL, 1/A101 INDICATES DETAIL 1 CAN BE FOUND ON SHEET A101
- PLAN DETAIL OR ENLARGED PLAN SYMBOL, 1/A101 INDICATES DETAIL 1 CAN BE FOUND ON SHEET A101
- EXTERIOR ELEVATION SYMBOL, 1/A101 INDICATES DETAIL 1 CAN BE FOUND ON SHEET A201
- INTERIOR ELEVATION SYMBOL, 1/A101 INDICATES DETAIL 1 CAN BE FOUND ON SHEET A401

VERTICAL OR SPOT ELEVATION

1 HOUR FIRE RATED WALL

FIRE EXTINGUISHER - SURFACE MOUNT

FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER - SEMI-RECESSED

IDENTIFICATION

NEW CONSTRUCTION GRID LINE IDENTIFICATION

EXISTING CONSTRUCTION GRID LINE IDENTIFICATION

WALL TYPE IDENTIFICATION

KEYED NOTE IDENTIFICATION

WINDOW IDENTIFICATION

REVISION IDENTIFICATION

DOOR IDENTIFICATION

ROOM NAME AND NUMBER

101

150 SF

NORTH ARROW

INDICATE FLOOR SLOPING TO DRAIN

HATCH SYMBOLS

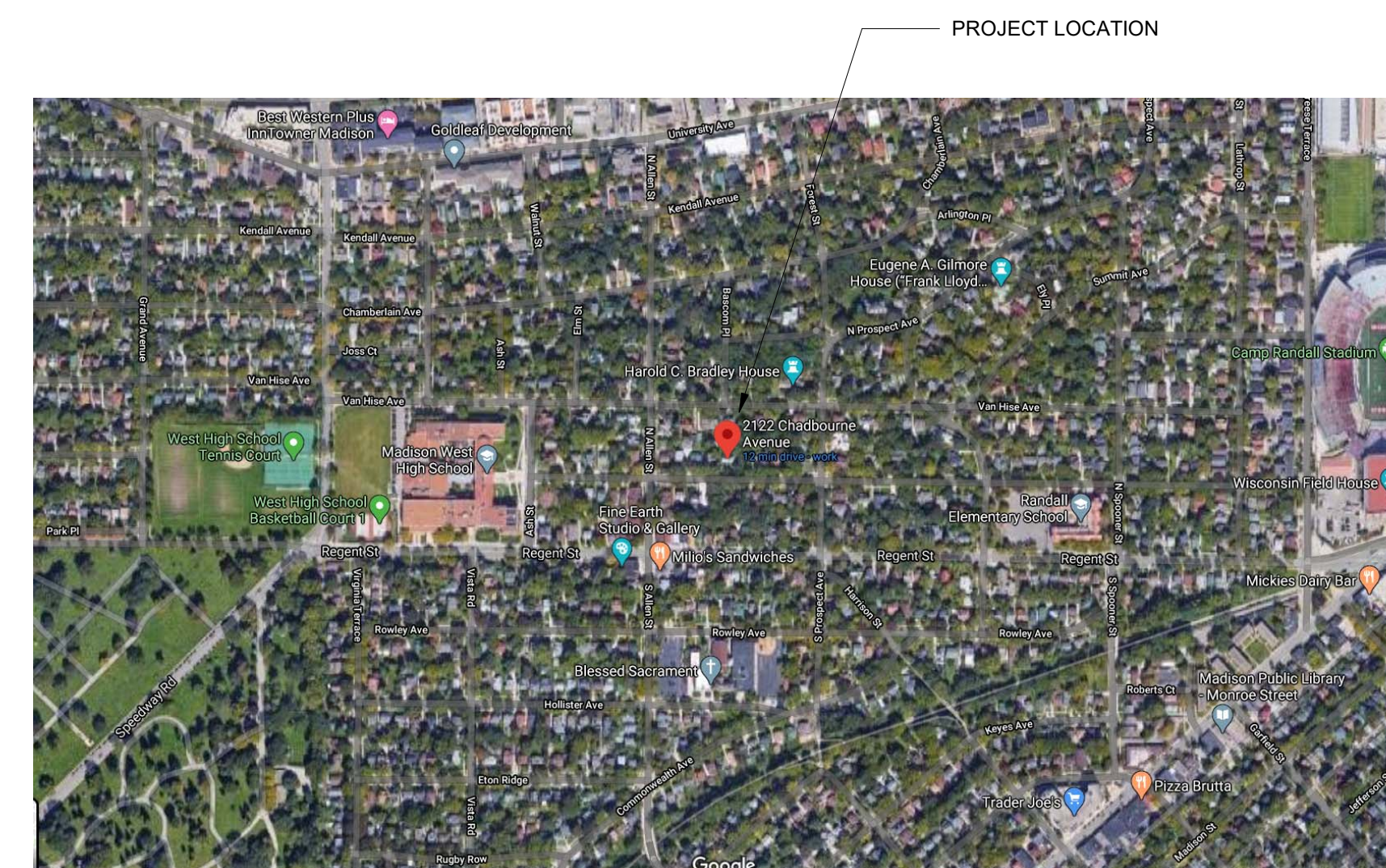
- EARTHWORK
- GRAVEL
- PLASTER, SAND, GROUT
- CONCRETE
- CONCRETE MASONRY
- CLAY MASONRY
- PRECAST CONCRETE
- METAL
- PLYWOOD
- FINISH LUMBER
- WOOD STUDS, BLOCKING
- STEEL STUDS
- GYPSUM WALLBOARD
- ACOUSTICAL TILE
- BATT INSULATION
- RIGID INSULATION

ABBREVIATIONS:

- ADA - AMERICAN WITH DISABILITIES ACT
- AFF - ABOVE FINISHED FLOOR
- AV - AUDIO VISUAL
- CFCI - CONTRACTOR FURNISHED CONTRACTOR INSTALLED
- CFM - CUBIC FOOT PER MINUTE
- CL - CENTERLINE
- CLNG - CEILING
- CLR - CEILING
- DIM - DIMENSION
- DN - DOWN
- EA - EACH
- EQ - EQUAL
- FD - FLOOR DRAIN
- FEC - FIRE EXTINGUISHER CABINET
- FRT - FIRE RESISTANT TREATED
- GWB - GYPSUM WALL BOARD
- MAX - MAXIMUM
- MIN - MINIMUM
- MISC - MISCELLANEOUS
- MTD - MOUNTED
- NIC - NOT IN CONTRACT
- NTS - NOT TO SCALE
- OFCI - OWNER FURNISHED CONTRACTOR INSTALLED
- OFOI - OWNER FURNISHED OWNER INSTALLED
- OPP - OPPOSITE
- SIM - SIMILAR
- SS - STAINLESS STEEL
- STD - STANDARD
- THK - THICK
- TYP - TYPICAL
- UNO - UNLESS OTHERWISE NOTED
- UNO - UNLESS NOTED OTHERWISE
- WI - WITH

DEMOLITION PLAN SYMBOL LEGEND

- TEMPORARY DUST PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING ITEM TO REMAIN
- EXISTING ITEM TO BE REMOVED
- KEYED NOTE IDENTIFICATION



1 PROJECT LOCATION
1/4" = 1'-0"

No.	Description	Date

Design Team

ARCHITECT:

ARO EBERLE ARCHITECTS INC.
116 KING STREET, SUITE 202
MADISON, WI 53703
CONTACT: DOUG PAHL, AIA
PH: (608) 204-7464
EMAIL: PAHL@AROEBERLE.COM

Sheet List

GENERAL		A201	EXTERIOR ELEVATIONS - GARAGE
T001	COVER SHEET	A311	EXTERIOR SECTIONS AND WALL SECTIONS - HOUSE
T002	EXISTING CONDITIONS PHOTOS	A312	EXTERIOR WALL SECTIONS - HOUSE
		A314	EXTERIOR SECTIONS AND WALL SECTIONS - GARAGE
STRUCTURAL			
S100	FOOTING/FOUNDATION PLAN - HOUSE		
S101	SECOND FLOOR & ROOF FRAMING PLAN - HOUSE		
S102	SECOND FLOOR & ROOF FRAMING PLAN - GARAGE		
DEMOLITION			
D100	FIRST AND SECOND FLOOR DEMOLITION PLAN - HOUSE		
ARCHITECTURAL			
A001	DOOR AND ROOM FINISH SCHEDULE		
A100	OVERALL SITE PLAN		
A101	BASEMENT AND FIRST FLOOR PLAN - HOUSE		
A102	SECOND FLOOR AND ROOF PLAN - HOUSE		
A103	FIRST FLOOR, SECOND FLOOR AND ROOF PLAN - GARAGE		
A200	EXTERIOR ELEVATIONS - HOUSE		

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

COVER SHEET

LANDMARKS COMMISSION APPLICATION	
Project number	PLN-19-01
Date	01/21/2020

T001



VIEW FROM STREET



VIEW FROM STREET



SOUTH FACADE



EAST FACADE



WEST FACADE



NORTH FACADE

No.	Description	Date



GARAGE



GARAGE SE CORNER



GARAGE SW CORNER

**JOEL AND MARGO
PLANT**

**HOME ADDITION
AND RENOVATION**

2122 CHADBOURNE AVE
MADISON, WI 53726

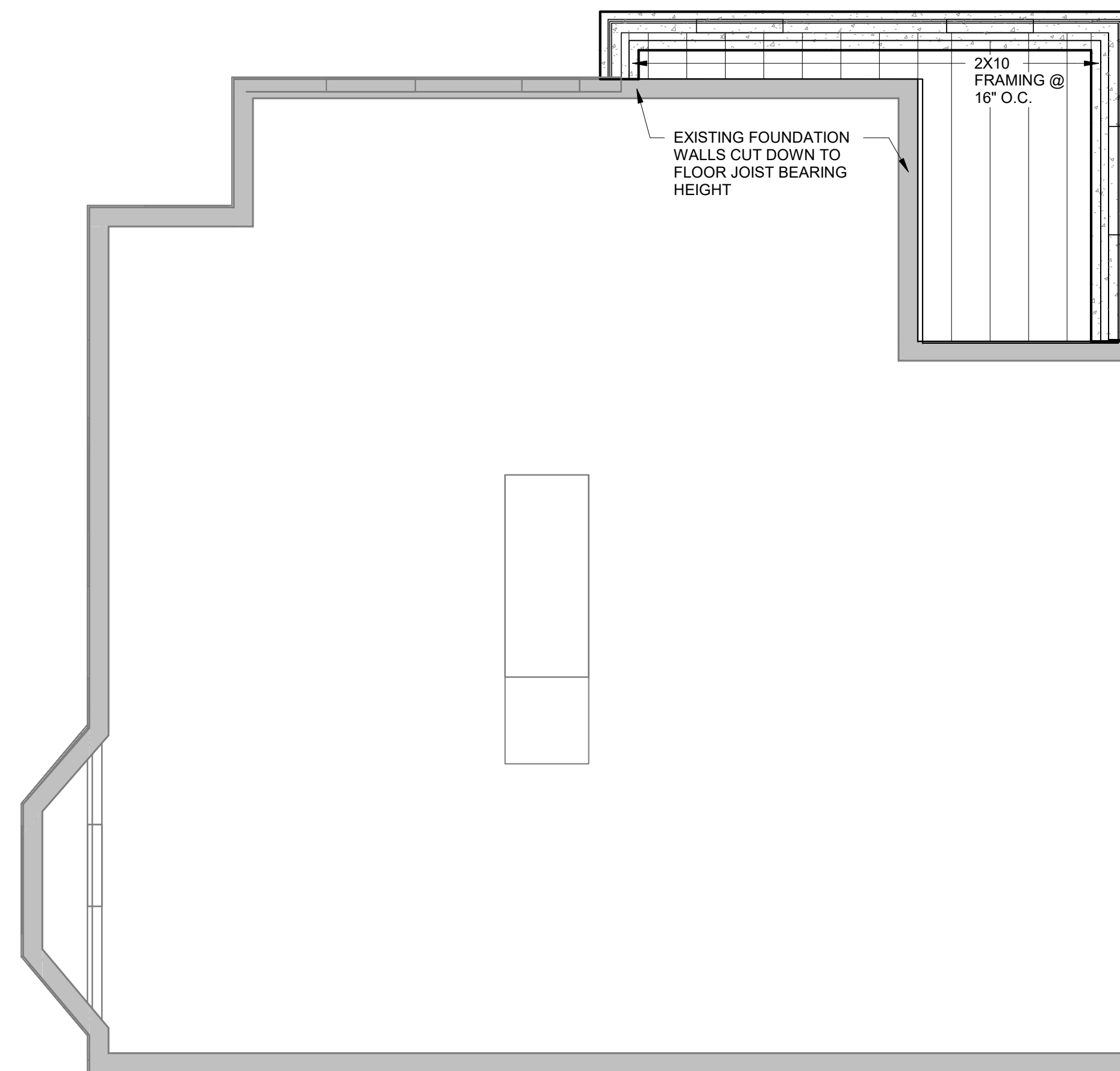
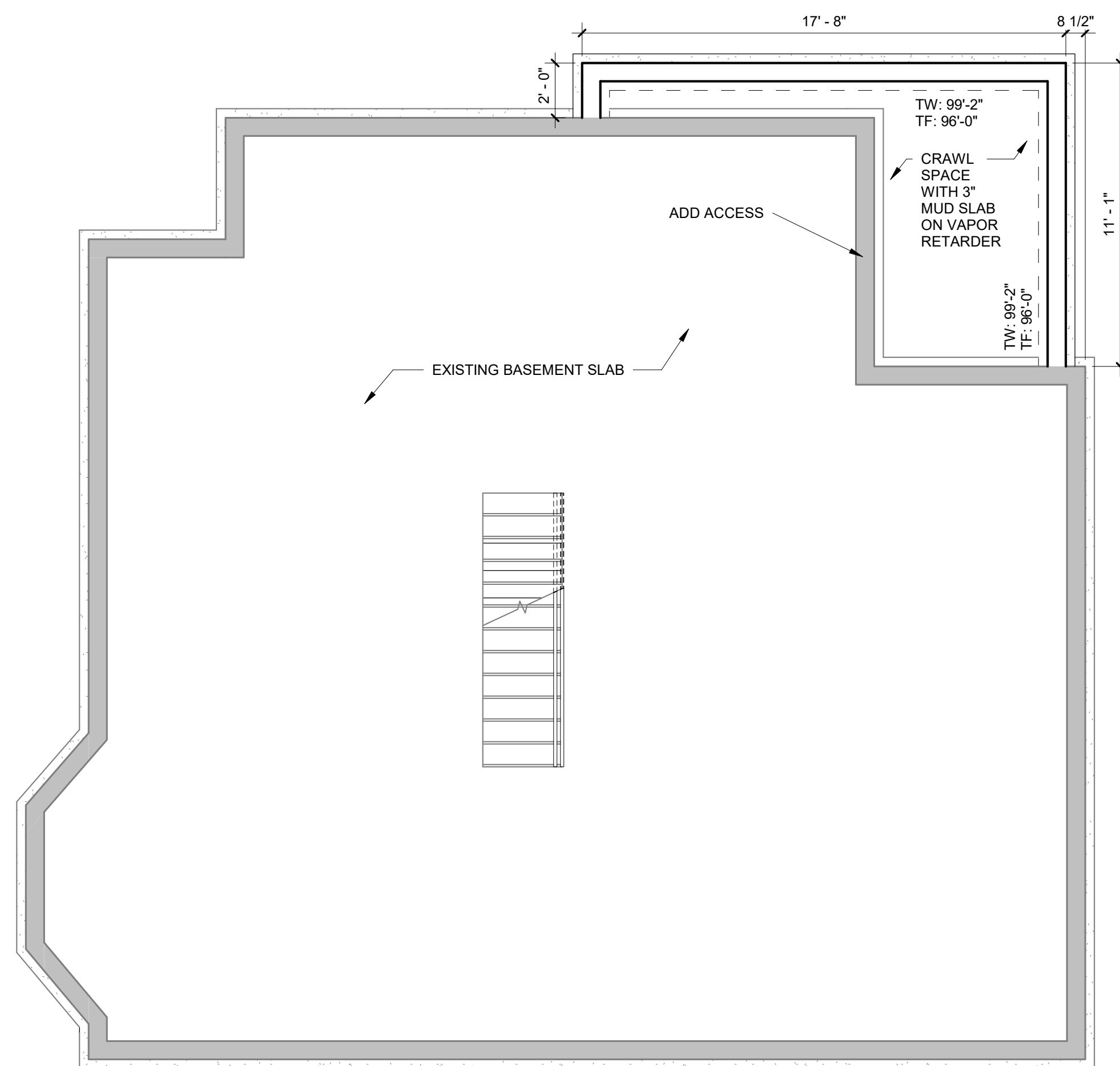
**EXISTING
CONDITIONS
PHOTOS**

LANDMARKS COMMISSION APPLICATION	
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Date	01/21/2020

T002

KEYED NOTES

STRUCTURAL COMPONENT SCHEDULE					
CODE	TYPE	DIMENSIONS	DEPTH	REINFORCING	DESCRIPTION
FW1	FOUNDATION WALL 1	8" THICK	VARIABLE	(2) #5 BARS TOP AND BOTTOM	CAST IN PLACE CONCRETE
B1	BEAM TYPE 1	(1) 1 3/4" X 11 7/8" LVL	11 7/8"		
H1	HEADER TYPE 1	(2) 2X6	5 1/2"		
H2	HEADER TYPE 2	(2) 2X8	7 1/4"		
H3	HEADER TYPE 3	(2) 2X10	9 1/4"		
H4	HEADER TYPE 4	(2) 1 3/4" X 11 7/8" LVL	11 7/8"		



No.	Description	Date

JOEL AND MARGO
PLANT

HOME ADDITION
AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

FOOTING/FOUNDATION
PLAN - HOUSE

LANDMARKS COMMISSION APPLICATION	
Project number	PLN-19-01
Date	01/21/2020

S100

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NORTH **2** FOUNDATION PLAN - HOUSE
1/4" = 1'-0"

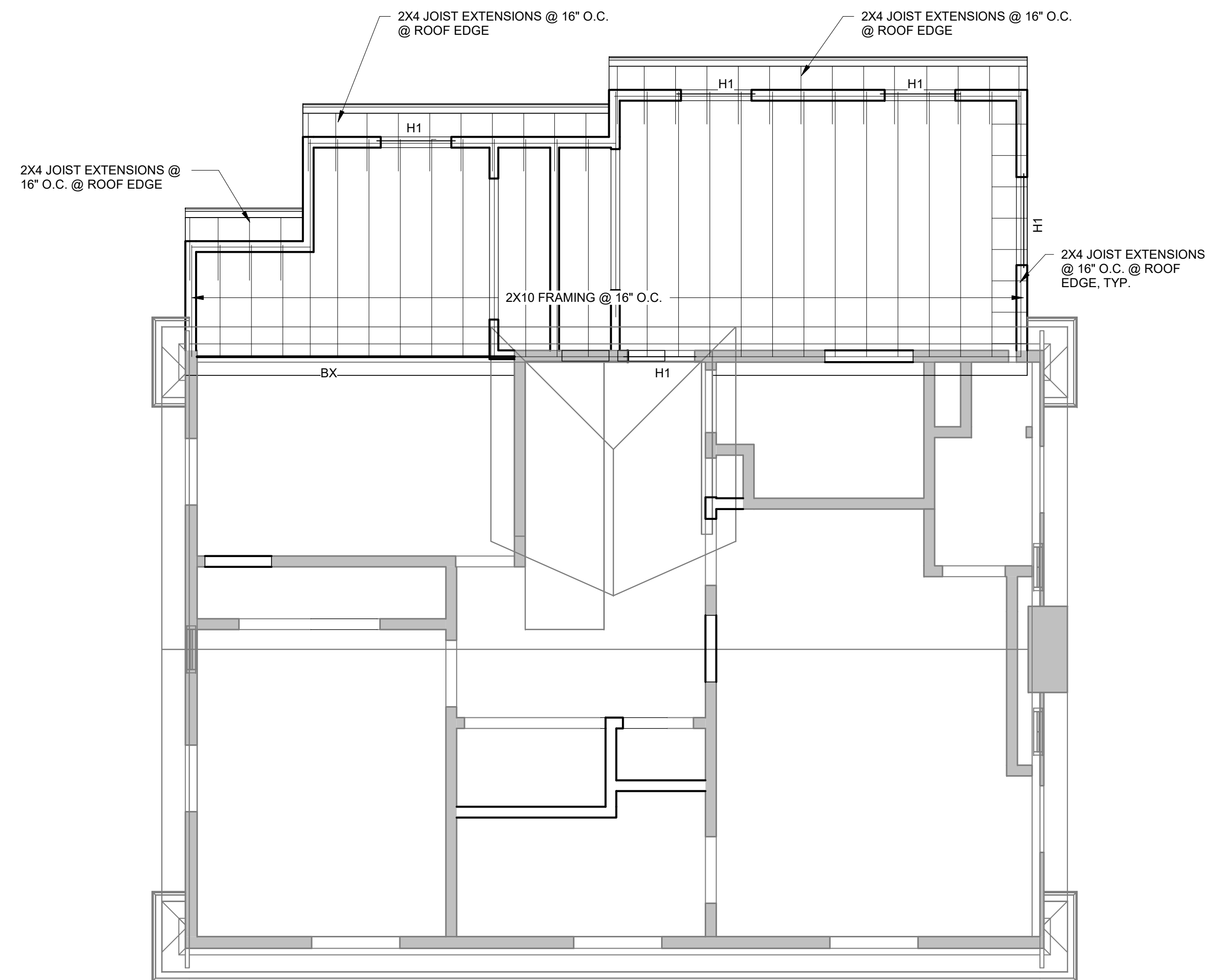
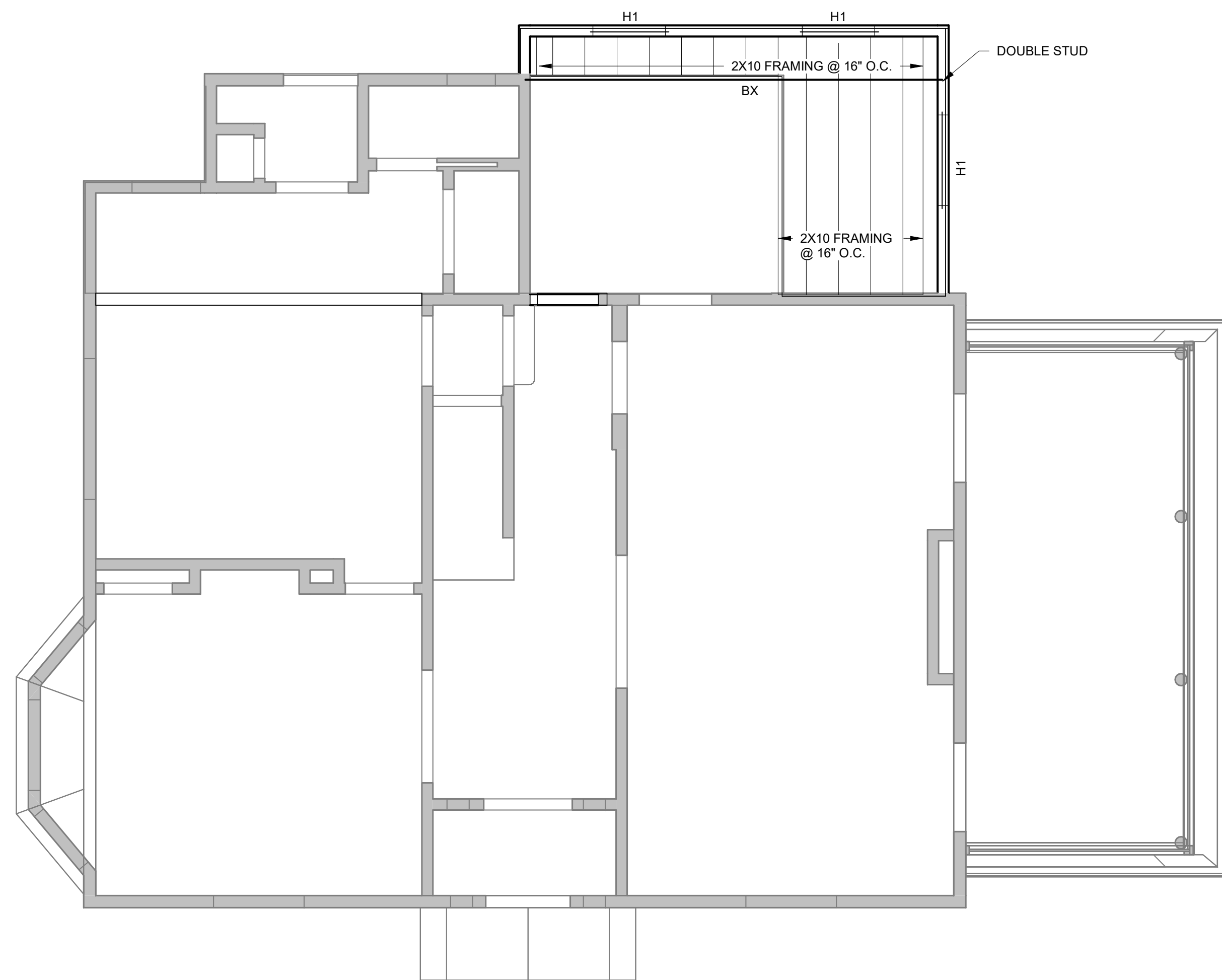


NORTH **1** 01 - FIRST FLOOR FRAMING PLAN - HOUSE
1/4" = 1'-0"



KEYED NOTES

STRUCTURAL COMPONENT SCHEDULE					
CODE	TYPE	DIMENSIONS	DEPTH	REINFORCING	DESCRIPTION
FW1	FOUNDATION WALL 1	8" THICK	VARIABLE	(2) #5 BARS TOP AND BOTTOM	CAST IN PLACE CONCRETE
B1	BEAM TYPE 1	(1) 1 3/4" X 11 7/8" LVL	11 7/8"		
H1	HEADER TYPE 1	(2) 2X6	5 1/2"		
H2	HEADER TYPE 2	(2) 2X8	7 1/4"		
H3	HEADER TYPE 3	(2) 2X10	9 1/4"		
H4	HEADER TYPE 4	(2) 1 3/4" X 11 7/8" LVL	11 7/8"		



No.	Description	Date

**JOEL AND MARGO
PLANT**

**HOME ADDITION
AND RENOVATION**

2122 CHADBOURNE AVE
MADISON, WI 53726

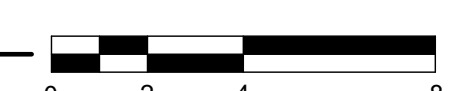
**SECOND FLOOR &
ROOF FRAMING
PLAN - HOUSE**

LANDMARKS COMMISSION APPLICATION	
Project number	PLN-19-01
Date	01/21/2020

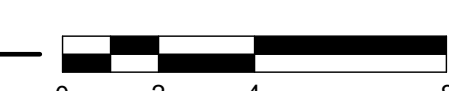
S101

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NORTH **2** **SECOND FLOOR FRAMING PLAN**
1/4" = 1'-0"

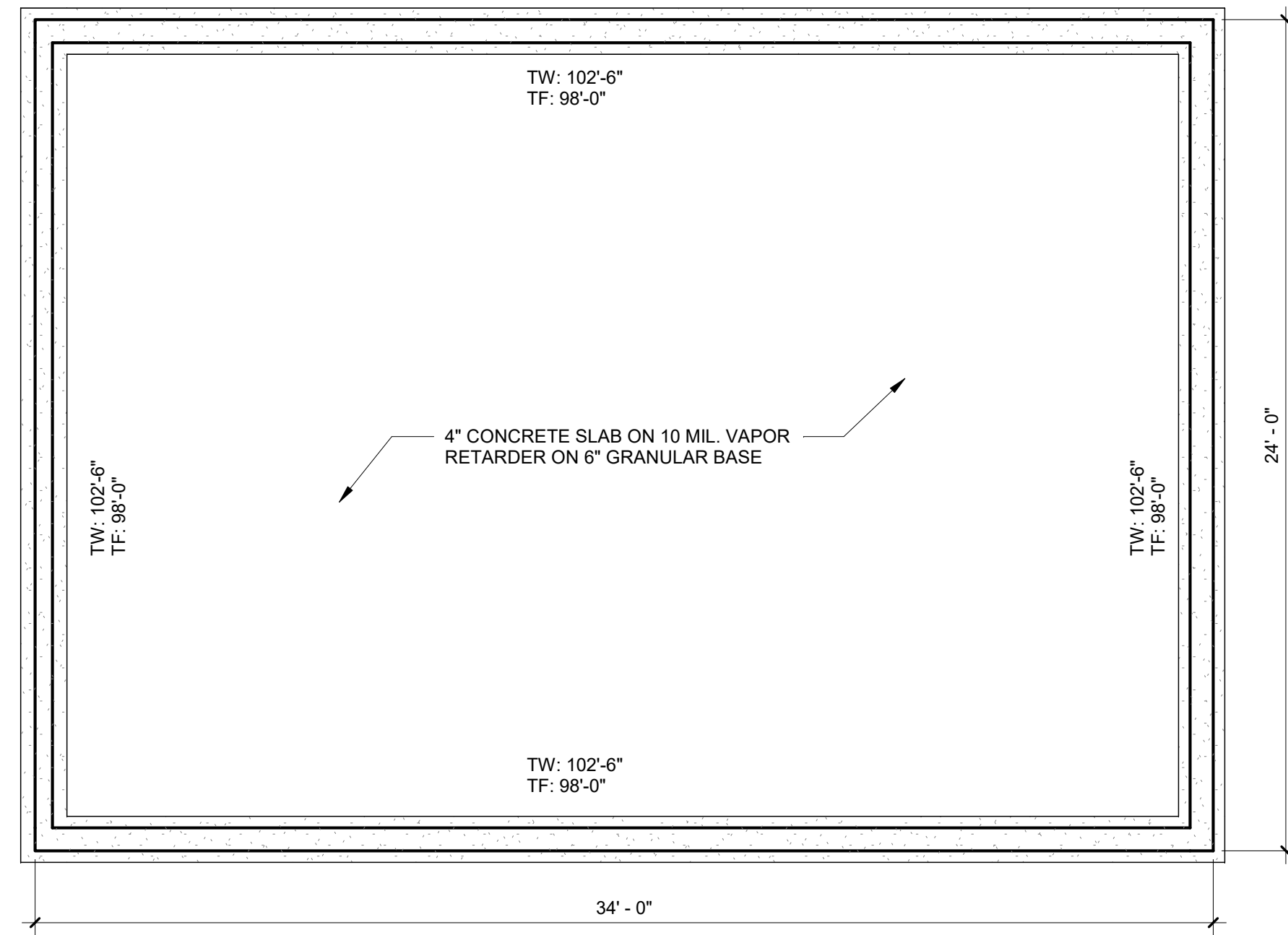


NORTH **1** **ROOF FRAMING PLAN - HOUSE**
1/4" = 1'-0"

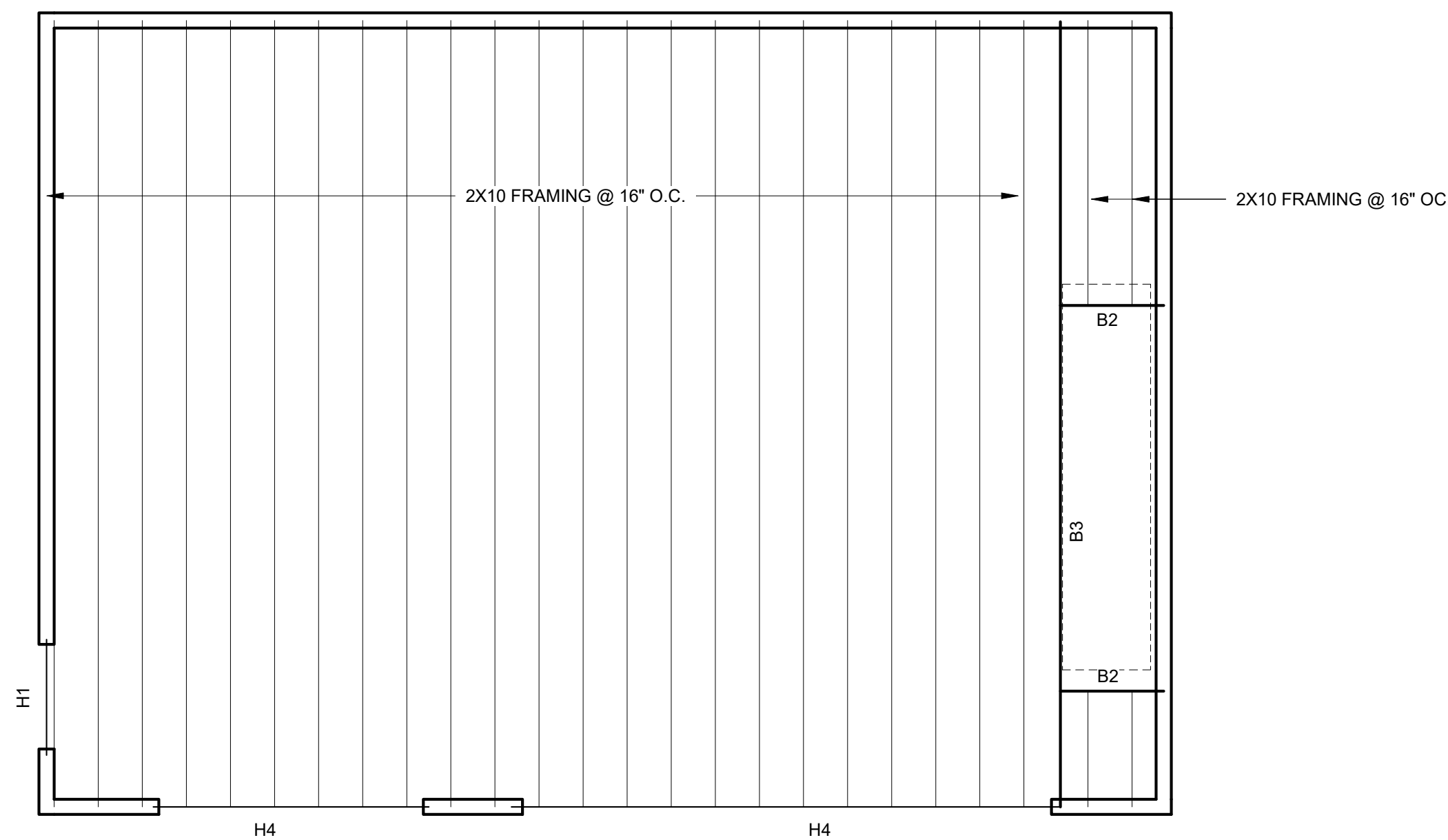


KEYED NOTES

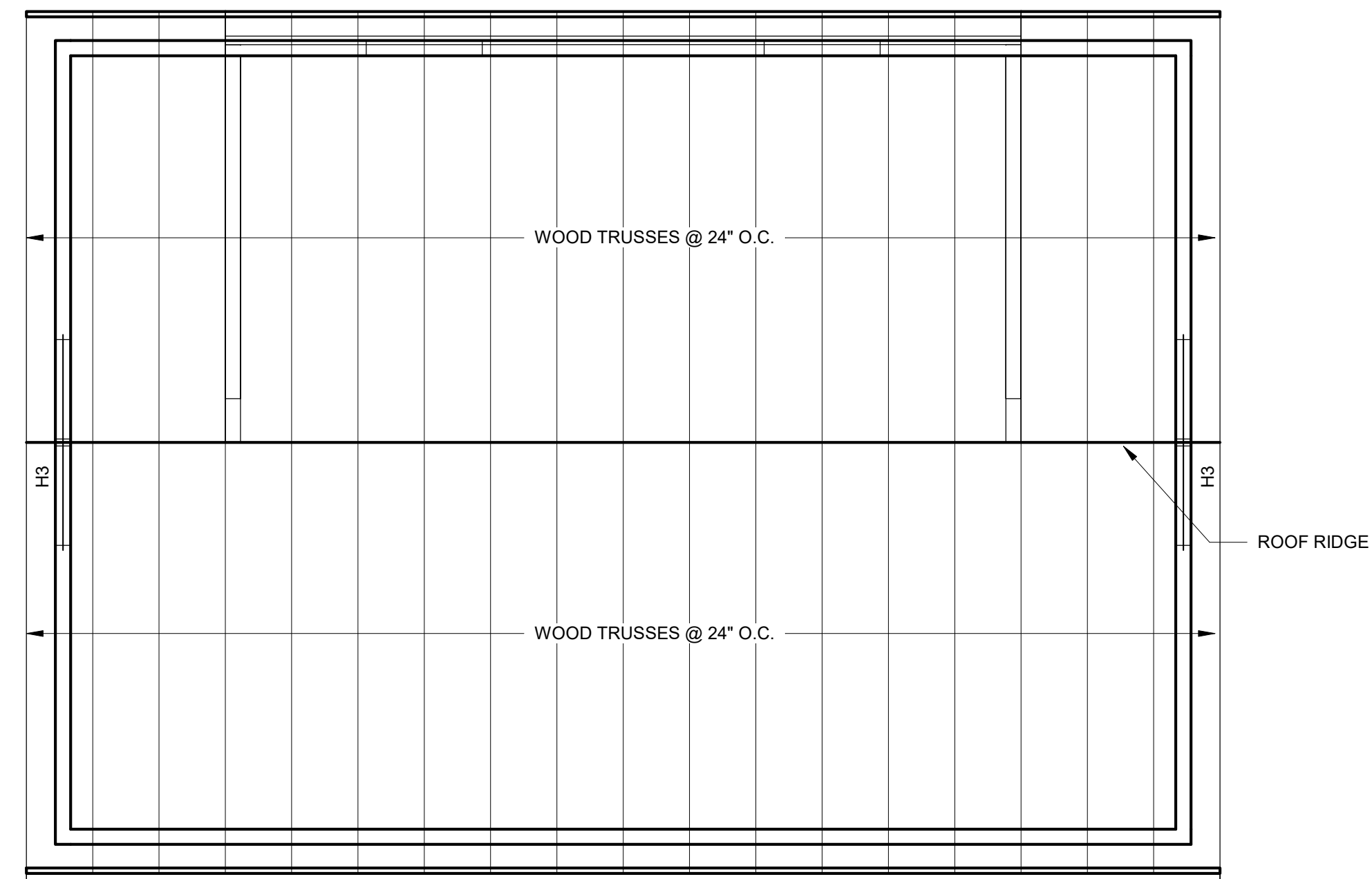
STRUCTURAL COMPONENT SCHEDULE					
CODE	TYPE	DIMENSIONS	DEPTH	REINFORCING	DESCRIPTION
FW1	FOUNDATION WALL 1	8" THICK	VARIES	(2) #5 BARS TOP AND BOTTOM	CAST IN PLACE CONCRETE
B1	BEAM TYPE 1	(1) 1 3/4" X 11 7/8" LVL	11 7/8"		
H1	HEADER TYPE 1	(2) 2X6	5 1/2"		
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H4	HEADER TYPE 4	(2) 1 3/4" X 11 7/8" LVL	11 7/8"		



3 FOUNDATION PLAN - GARAGE
1/4" = 1'-0" 0 2 4 8



2 SECOND FLOOR FRAMING PLAN - GARAGE
1/4" = 1'-0" 0 2 4 8



1 ROOF FRAMING PLAN - GARAGE
1/4" = 1'-0" 0 2 4 8

No.	Description	Date

JOEL AND MARGO PLANT

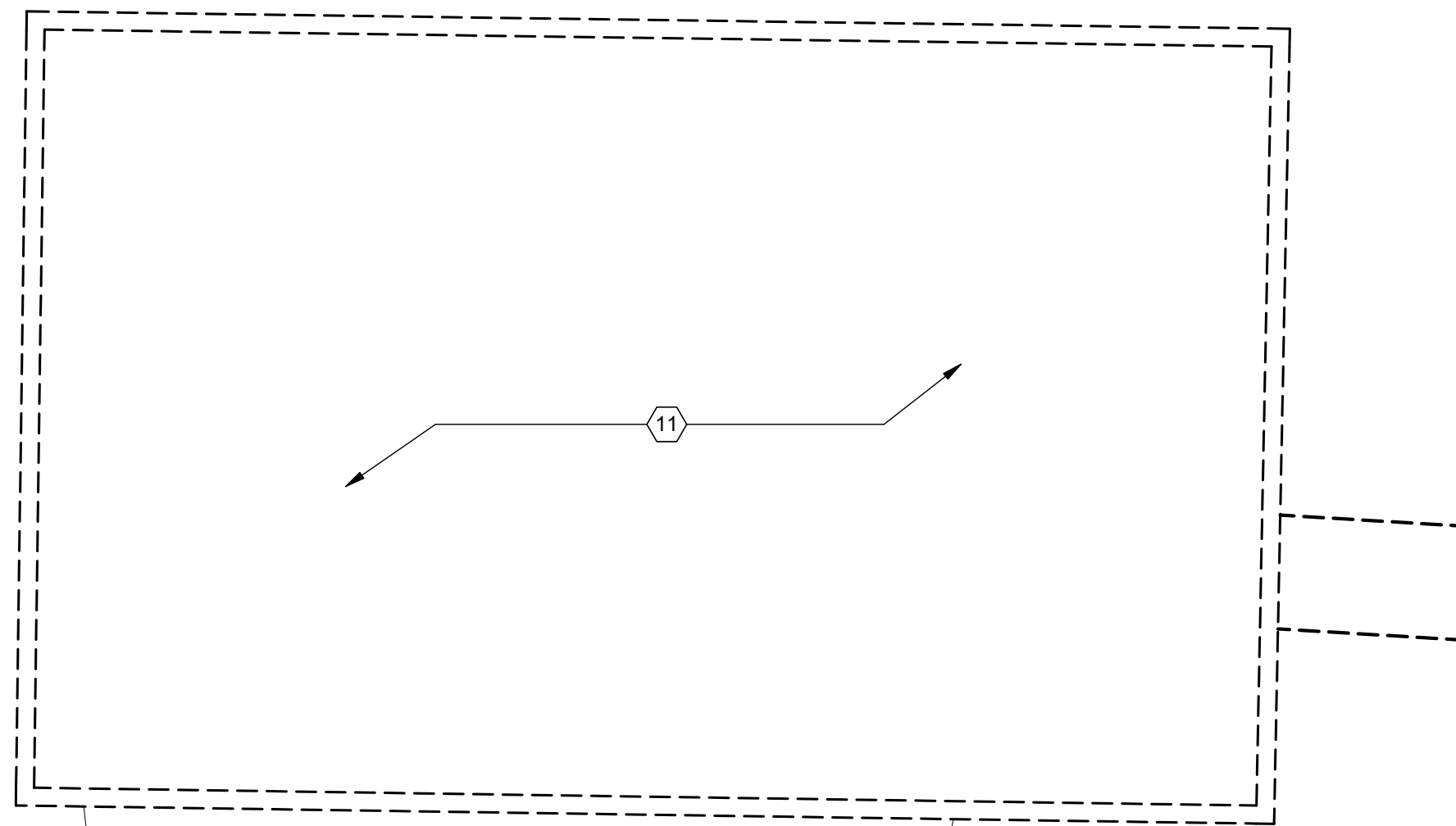
HOME ADDITION AND RENOVATION

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SECOND FLOOR & ROOF FRAMING PLAN - GARAGE

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Date: 01/21/2020

S102



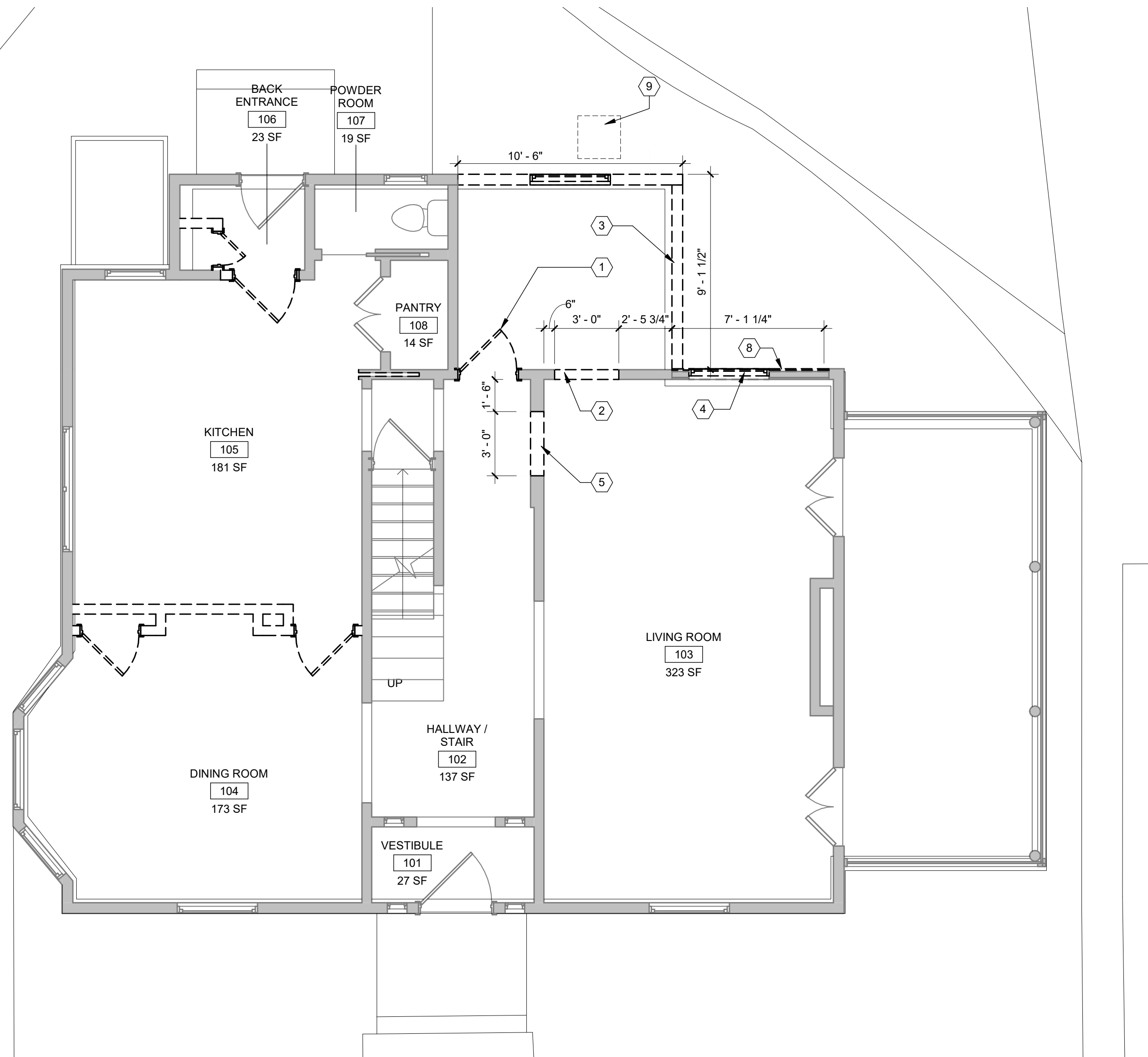
KEYED NOTES	
1	REMOVE DOOR, FRAME, AND ASSOCIATED HARDWARE
2	REMOVE PORTION OF WALL TO LIMIT REQUIRED FOR NEW DOOR - CAUTION - LOAD BEARING WALL - TEMPORARILY SUPPORT AS REQUIRED - PATCH FLOORING AS NECESSARY, BLENDING NEW WOOD FLOORING WITH EXISTING
3	REMOVE PORTION OF WALL TO LIMIT SHOWN - CAUTION - LOAD BEARING WALL - TEMPORARILY SUPPORT AS REQUIRED - PATCH FLOORING AS NECESSARY, BLENDING NEW WOOD FLOORING WITH EXISTING
4	REMOVE WINDOW, FRAME, AND ASSOCIATE HARDWARE
5	REMOVE PORTION OF WALL TO LIMIT SHOWN - PATCH FLOORING AS NECESSARY, BLENDING NEW WOOD FLOORING WITH EXISTING
6	REMOVE FLAT ROOF SHOWN HATCHED - PROVIDE TEMPORARY PROTECTION FROM THE ELEMENTS
7	REMOVE RAILING IN ITS ENTIRETY
8	REMOVE EXISTING SIDING AND PREP FOR INTERIOR GWB
9	REMOVE AND RELOCATE EXISTING AIR CONDITIONING UNIT
10	REMOVE GUTTER AND ASSOCIATED DOWNSPOUTS THIS ROOF EDGE
11	DEMO EXISTING GARAGE IN ITS ENTIRETY. REMOVE EXISTING SLAB AND FOOTINGS.

DEMOLITION PLAN GENERAL NOTES:	
1.	FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
2.	REPAIR ALL WALLS AND FINISHES DISTURBED DURING DEMOLITION THAT ARE TO REMAIN.
3.	ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND STORED FOR REINSTALLATION IN NEW CEILING SYSTEM.
4.	PROVIDE SHORING OF EXISTING STRUCTURAL WALL AND ROOF MEMBERS PRIOR TO THE COMMENCEMENT OF ASSOCIATED DEMOLITION OPERATIONS.
5.	PROVIDE SLAB CUTTING/DEMOLITION AS NEEDED TO ROUTE EXISTING PLUMBING TO NEW PLUMBING FIXTURES. PATCH CONCRETE FLOORS AFTER WORK IS COMPLETE.
6.	ALL EXISTING WALLS TO REMAIN ARE SHOWN SHADED.

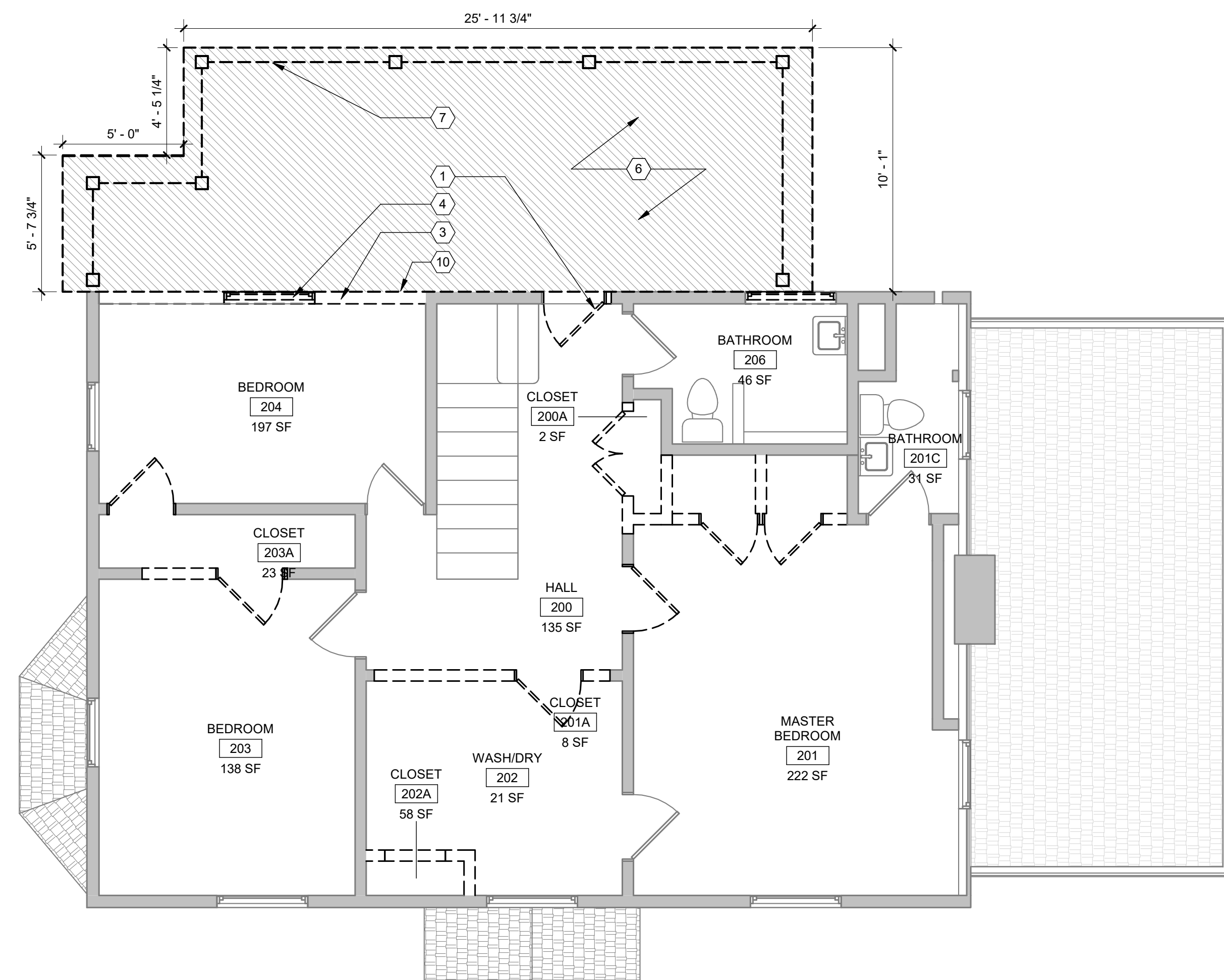
DEMOLITION PLAN SYMBOL LEGEND

- TEMPORARY DUST PARTITION
- ==== EXISTING PARTITION TO REMAIN
- ===== EXISTING PARTITION TO BE REMOVED
- |— EXISTING DOOR TO REMAIN
- |/— EXISTING DOOR TO BE REMOVED
- |— EXISTING ITEM TO REMAIN
- EXISTING ITEM TO BE REMOVED
- ① KEYED NOTE IDENTIFICATION

01 - FIRST FLOOR DEMOLITION PLAN - GARAGE
1/4" = 1'-0"



01 - FIRST FLOOR DEMOLITION PLAN - HOUSE
1/4" = 1'-0"



02 - SECOND FLOOR DEMOLITION PLAN - HOUSE
1/4" = 1'-0"



No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

FIRST AND SECOND FLOOR DEMOLITION PLAN - HOUSE

LANDMARKS COMMISSION APPLICATION	
Project number	PLN-19-01
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D100

ROOM FINISH SCHEDULE												
Level	ROOM NO.	ROOM NAME	Area	FLOOR	BASE	WALLS				CEILING		REMARKS
						NORTH	SOUTH	EAST	WEST	MTL	HEIGHT	
BASEMENT	001	EXISTING BASEMENT	1084 SF									
FIRST FLOOR	101	VESTIBULE	27 SF									
FIRST FLOOR	102	HALLWAY / STAIR	137 SF									
FIRST FLOOR	103	LIVING ROOM	323 SF									
FIRST FLOOR	104	DINING ROOM	190 SF									
FIRST FLOOR	105	KITCHEN	214 SF									
FIRST FLOOR	106	BACK ENTRANCE	18 SF									
FIRST FLOOR	107	POWDER ROOM	19 SF									
FIRST FLOOR	108	PANTRY	14 SF									
FIRST FLOOR	109	OFFICE	180 SF									
FIRST FLOOR	G100	GARAGE	744 SF									
SECOND FLOOR	200	HALL	135 SF									
SECOND FLOOR	200A	CLOSET	2 SF									
SECOND FLOOR	201	MASTER BEDROOM	222 SF									
SECOND FLOOR	201A	CLOSET	8 SF									
SECOND FLOOR	201C	BATHROOM	31 SF									
SECOND FLOOR	202	WASH/DRY	21 SF									
SECOND FLOOR	202A	CLOSET	58 SF									
SECOND FLOOR	203	BEDROOM	138 SF									
SECOND FLOOR	203A	CLOSET	23 SF									
SECOND FLOOR	204	BEDROOM	203 SF									
SECOND FLOOR	204A	CLOSET	19 SF									
SECOND FLOOR	205	BEDROOM	179 SF									
SECOND FLOOR	205A	CLOSET	19 SF									
SECOND FLOOR	206	BATHROOM	46 SF									
GARAGE ATTIC	G200	GARAGE ATTIC	689 SF									

DOOR AND HARDWARE SCHEDULE																	
DOOR NUMBER	QTY.	LEAF SIZE				DOOR				FRAME				MISCELLANEOUS		REMARKS	
		WIDTH	HEIGHT	TYPE	MAT'L	GLAZING TYPE	FINISH	TYPE	MAT'L	HEAD	JAMB	OTHER	FINISH	LABEL	HDWR SET		
		DETAILS															
109		3'-0"	7'-0"														
202C		6'-0"	6'-8"														
202D		6'-0"	6'-8"														
203A		6'-0"	6'-8"														
205		2'-8"	7'-0"														
G100		3'-0"	7'-0"														
G100A	(1)	8'-0"	6'-6"	SC													
G100B	(1)	16'-0"	6'-6"	SC													

DOOR AND HARDWARE SCHEDULE ABBREVIATIONS	DOOR AND HARDWARE SCHEDULE GENERAL NOTES
DOOR/FRAME MATERIALS AL = ALUMINUM EX = EXISTING HM = HOLLOW METAL SS = STAINLESS STEEL ST = STEEL WD = WOOD	1. schedule notes 2. 3.

No.	Description	Date

JOEL AND MARGO
PLANT

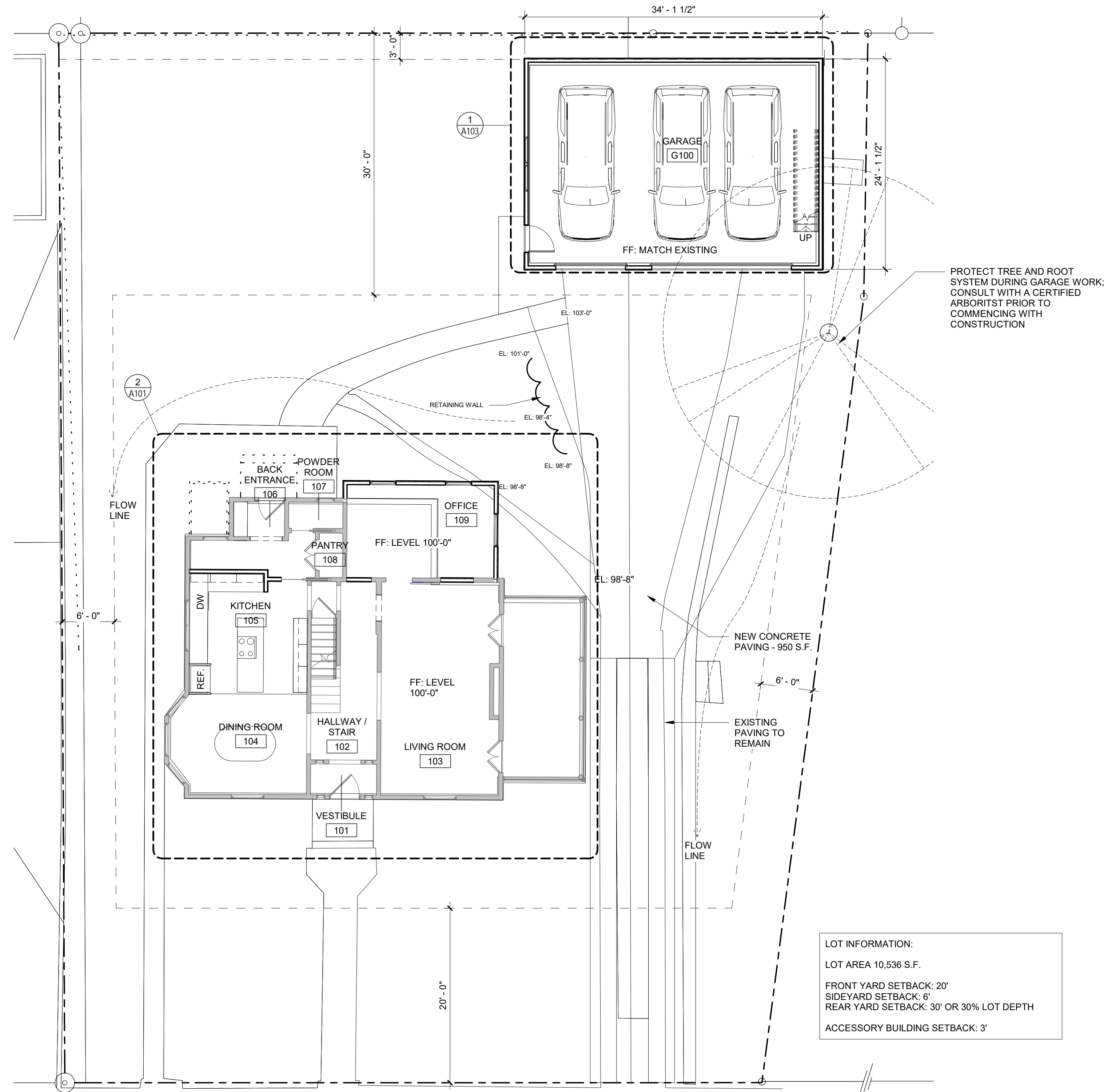
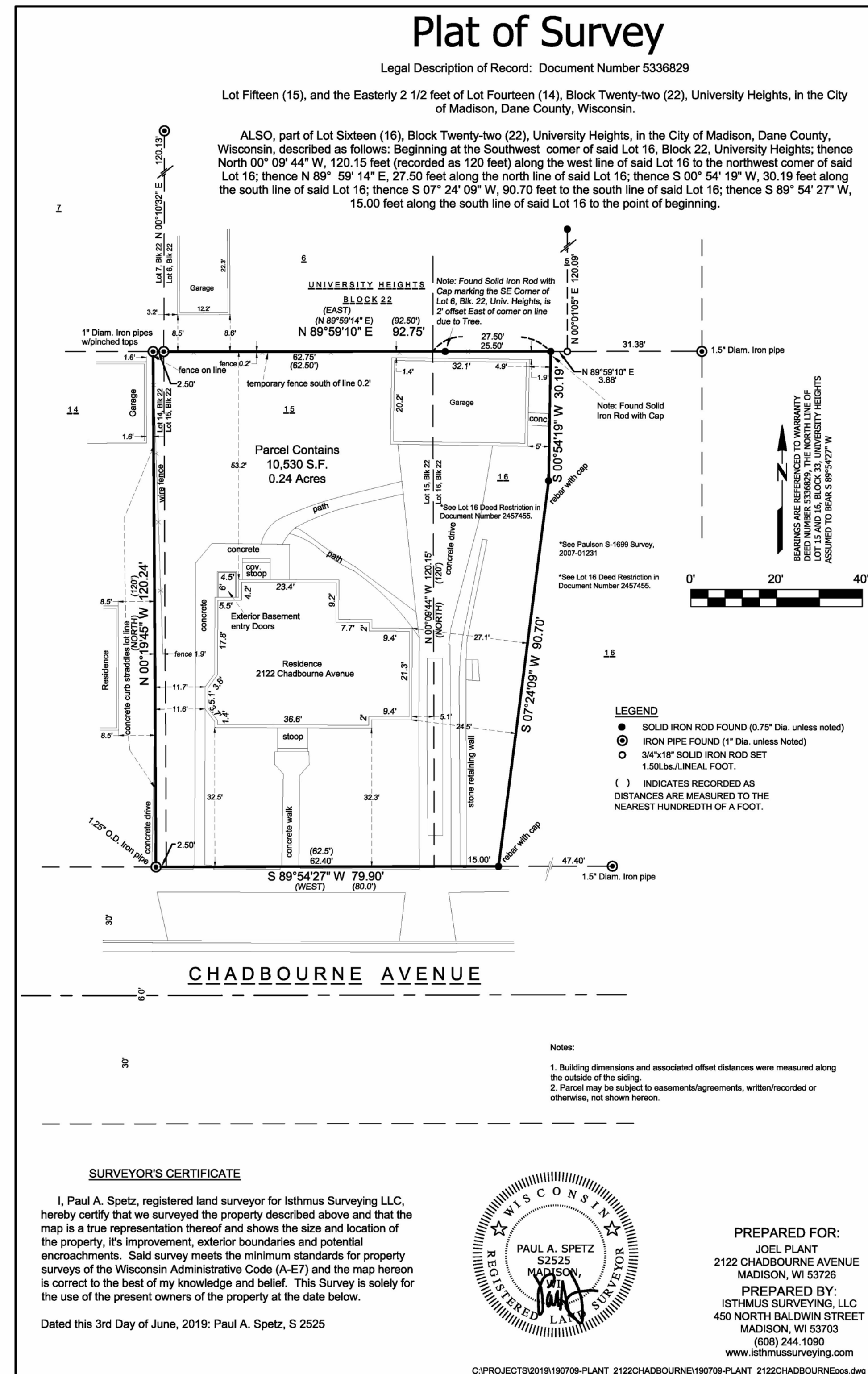
HOME ADDITION
AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

DOOR AND ROOM
FINISH SCHEDULE

LANDMARKS COMMISSION APPLICATION	
Project number	PLN-19-01
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A001



No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

SITE PLAN AND EXISTING CONDITIONS SURVEY

LANDMARKS COMMISSION APPLICATION

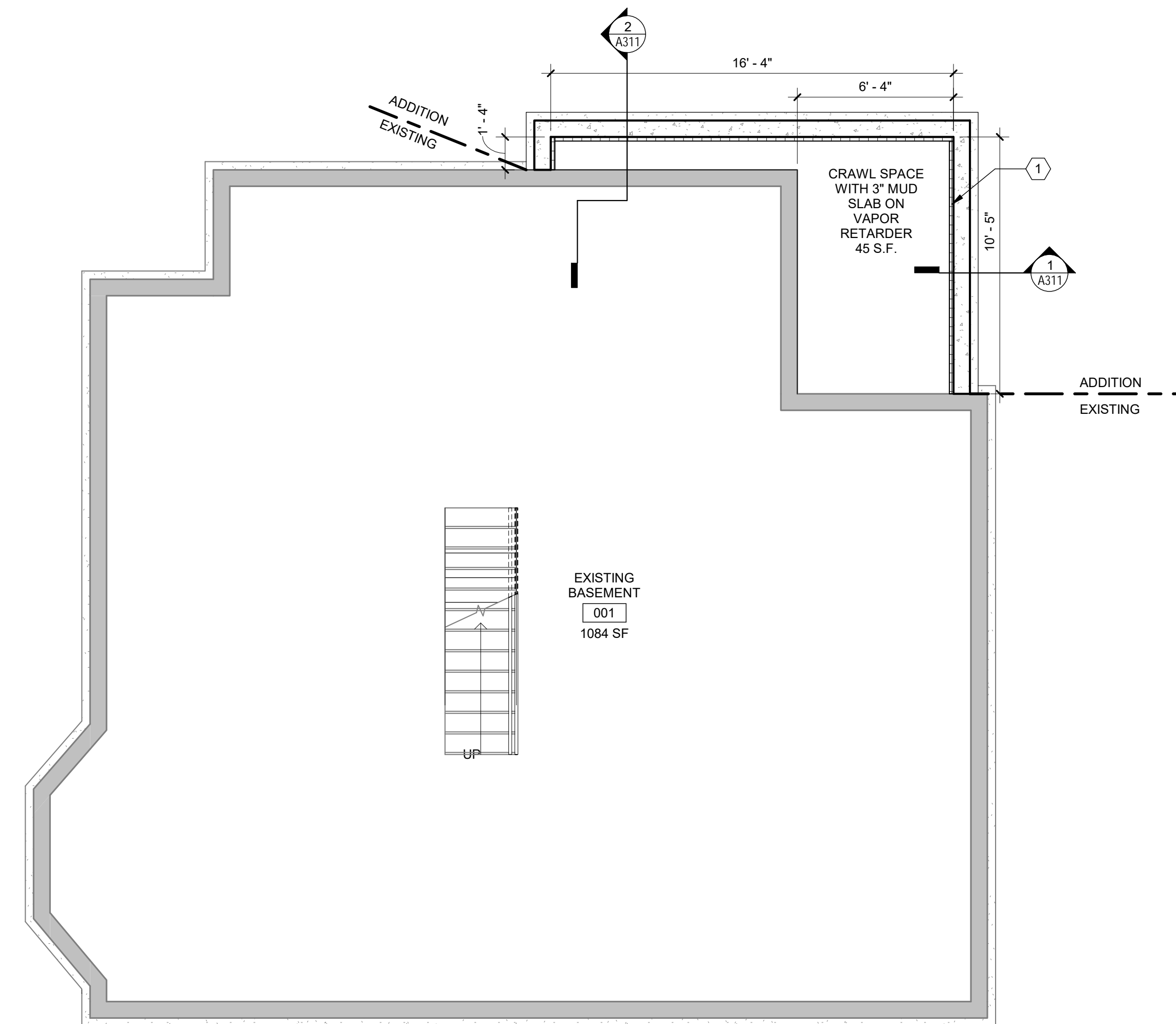
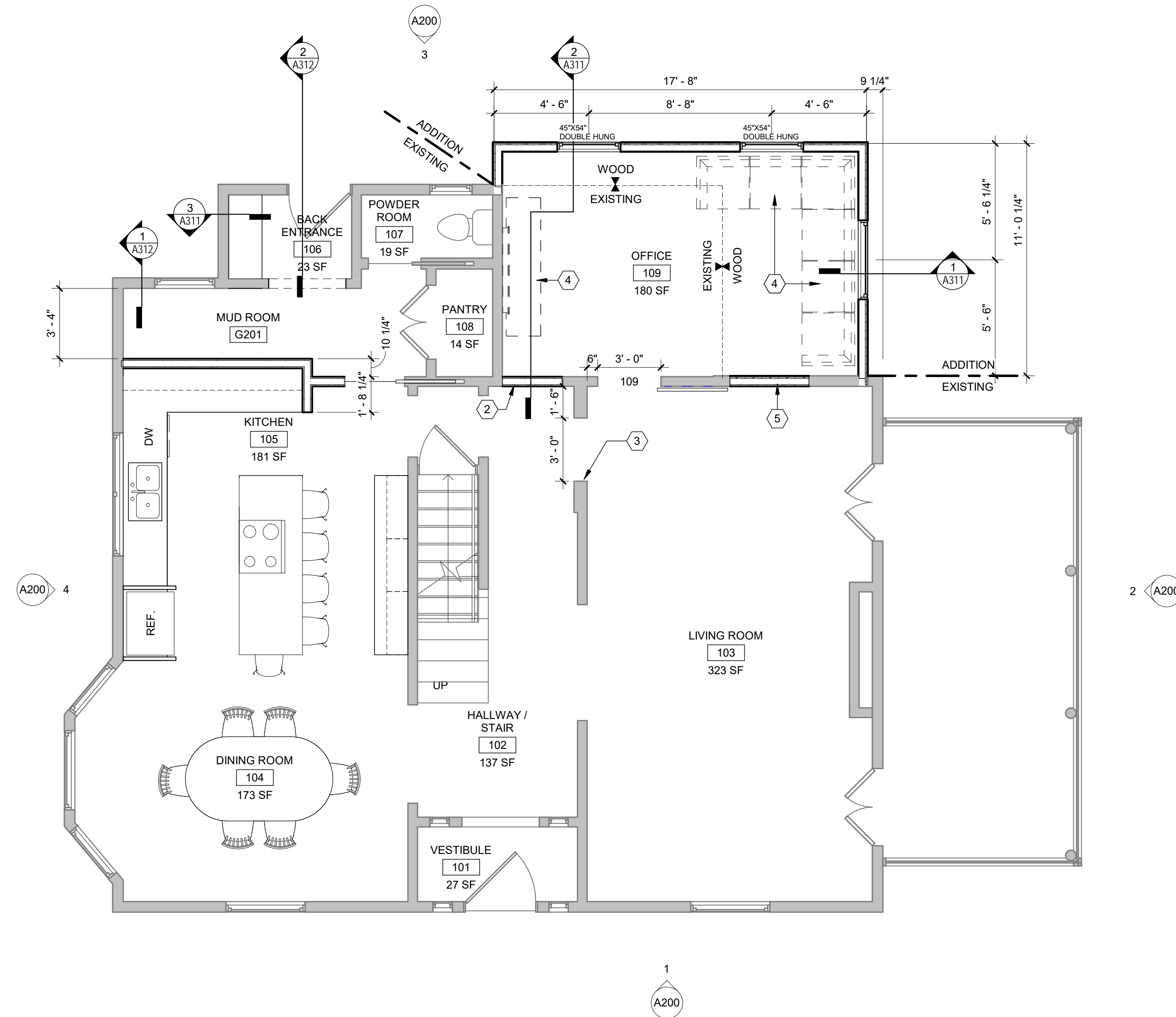
Project number	PLN-19-01
Date	01/21/2020

A100

KEYED NOTES	
1	2" RIGID INSULATION
2	INFILL DOOR OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION AND WALL FINISH
3	NEW DOOR OPENING IN EXISTING WALL - TRIM OPENING TO MATCH ADJACENT EXISTING WALL OPENING
4	FURNITURE - BY OWNER
5	INFILL WINDOW OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION AND WALL FINISH

FLOOR PLAN GENERAL NOTES:

1. SITE DATUM OF XXX' = FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS.
2. FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
3. SEE SHEET A001 FOR PARTITION TYPES.
4. SEE SHEET A001 FOR DOOR SCHEDULE AND WINDOW TYPES AND DETAILS.
5. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISH WALL TO FINISHED WALL (NOMINAL).
6. REFER TO DEMOLITION VIEWS FOR COORDINATION OF DEMOLITION SCOPE.
7. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL ITEMS AND NOTES.
8. CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. ANY DISRUPTION IN SERVICE REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING DUCTWORK, PIPING, CONDUIT, CIRCUITS OR ANY ASSOCIATED EQUIPMENT, MUST BE COORDINATED IN ADVANCE WITH THE OWNER/ USER.
9. EXTERIOR DIMENSIONS ON FLOOR PLANS ARE BASED ON EXTERIOR FACE OF FLYWOOD.



No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

BASEMENT AND FIRST FLOOR PLAN - HOUSE

LANDMARKS COMMISSION APPLICATION	
Project number	PLN-19-01
Date	01/21/2020

A101

2/11/2020 10:10:14 AM

NORTH
2 FIRST FLOOR PLAN - HOUSE
1/4" = 1'-0"

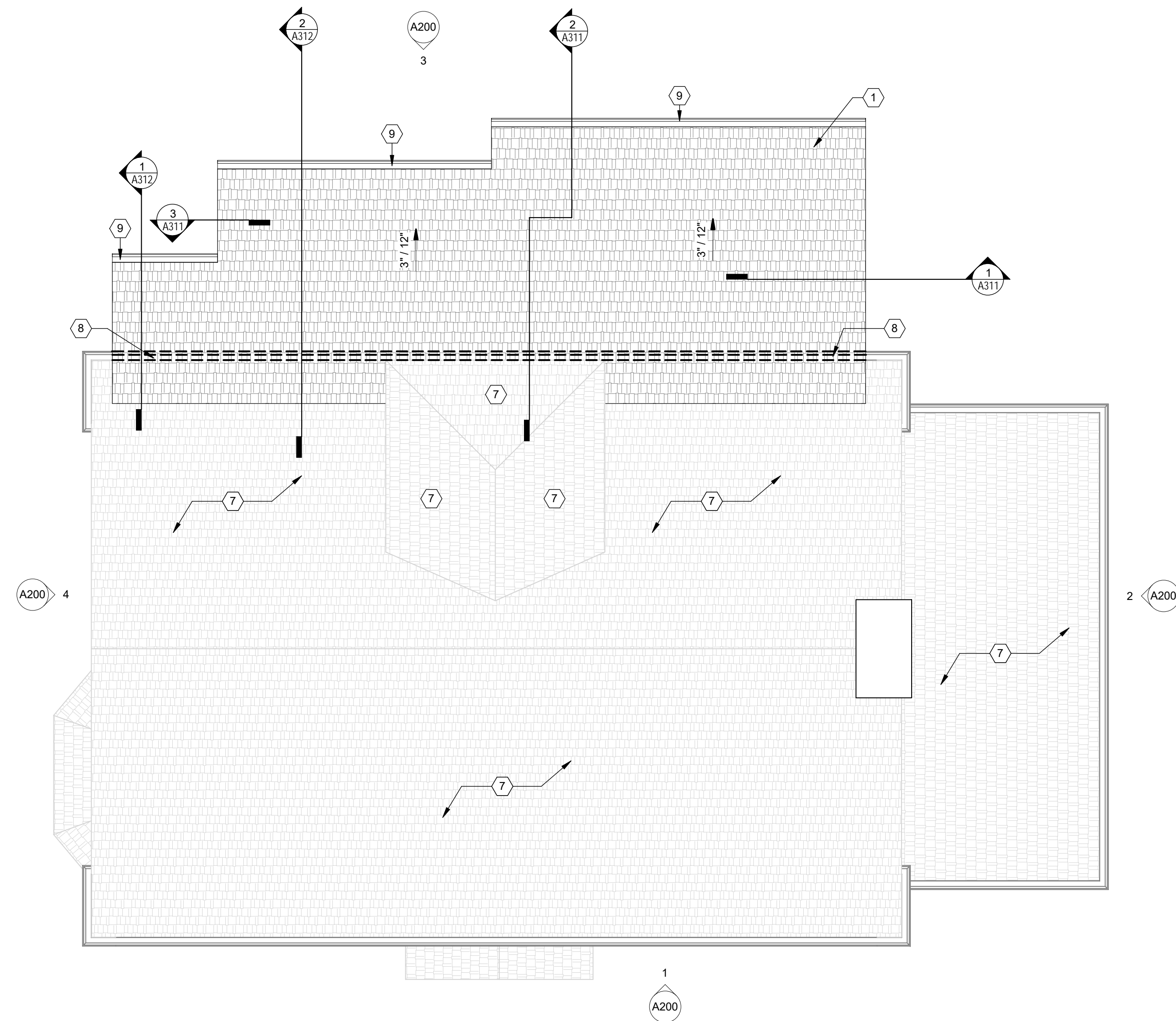


NORTH
1 BASEMENT FLOOR PLAN - HOUSE
1/4" = 1'-0"

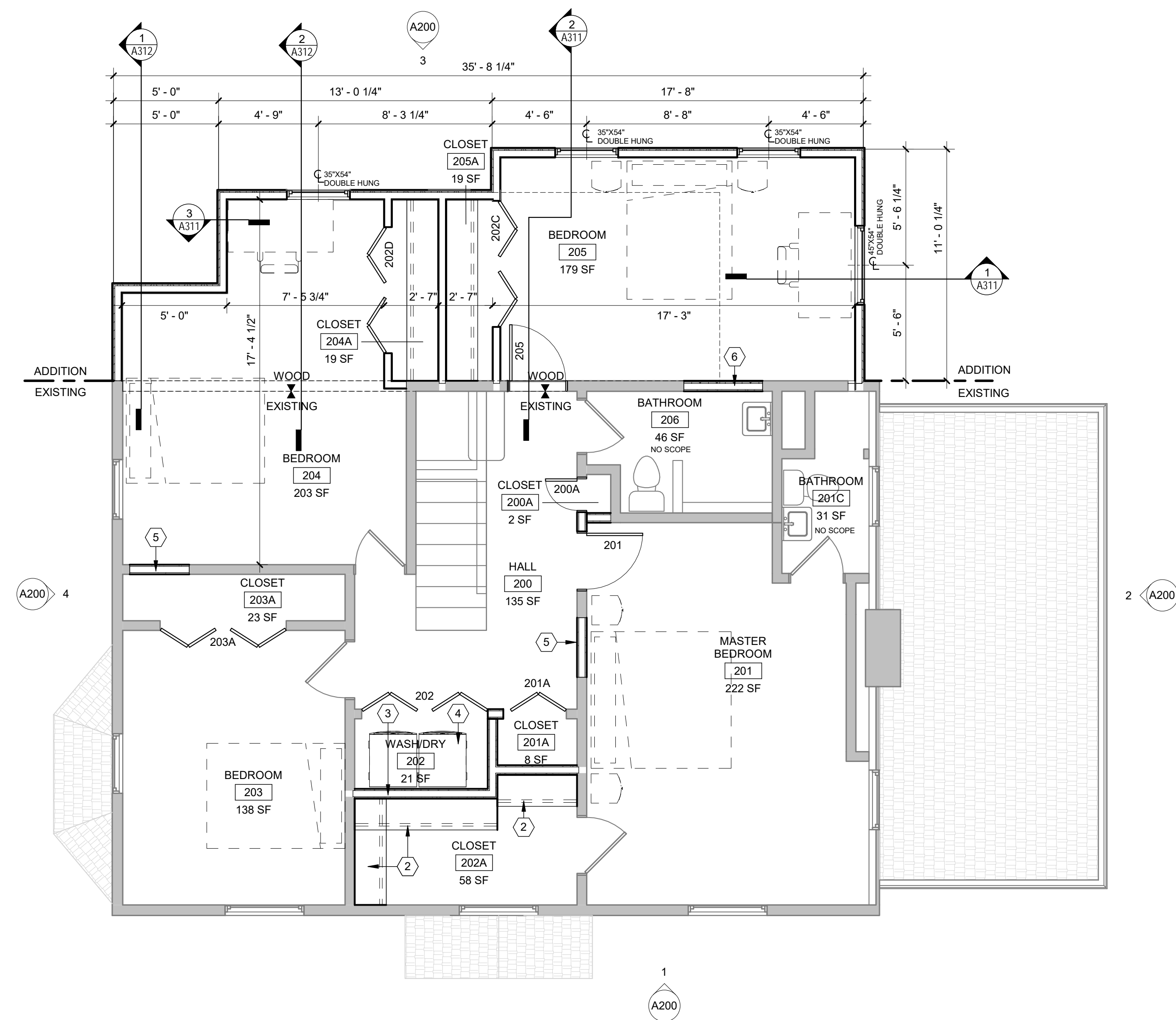


KEYED NOTES	
1	NEW CEDAR SHINGLE ROOF - MATCH STYLE AND SIZE OF EXISTING CEDAR SHINGLE ROOF - INSTALL PER MANUFACTURER'S RECOMMENDATIONS
2	WOOD CLOSET SHELF AND ROD
3	WASHING MACHINE AND DRYER HOOKUPS
4	WASHDRY MACHINE - BY OWNER
5	INFILL DOOR OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION AND WALL FINISH
6	INFILL WINDOW OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION AND WALL FINISH
7	EXISTING ROOF TO REMAIN
8	EXISTING GUTTERS TO BE REMOVED WHERE ADDITION INTERSECTS EXISTING ROOF
9	NEW GUTTERS THIS ROOF EDGE TO MATCH EXISTING

- FLOOR PLAN GENERAL NOTES:**
1. SITE DATUM OF XXX' = FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS.
 2. FIELD VERIFY ALL DIMENSIONS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
 3. SEE SHEET A001 FOR PARTITION TYPES.
 4. SEE SHEET A001 FOR DOOR SCHEDULE AND WINDOW TYPES AND DETAILS.
 5. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISH WALL TO FINISHED WALL (NOMINAL).
 6. REFER TO DEMOLITION VIEWS FOR COORDINATION OF DEMOLITION SCOPE.
 7. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL ITEMS AND NOTES.
 8. CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. ANY DISRUPTION IN SERVICE REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING DUCTWORK, PIPING, CONDUIT, CIRCUITS OR ANY ASSOCIATED EQUIPMENT, MUST BE COORDINATED IN ADVANCE WITH THE OWNER/USER.
 9. EXTERIOR DIMENSIONS ON FLOOR PLANS ARE BASED ON EXTERIOR FACE OF PLYWOOD.



NORTH
2 ROOF PLAN - HOUSE
1/4" = 1'-0"



NORTH
1 SECOND FLOOR PLAN - HOUSE
1/4" = 1'-0"



No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

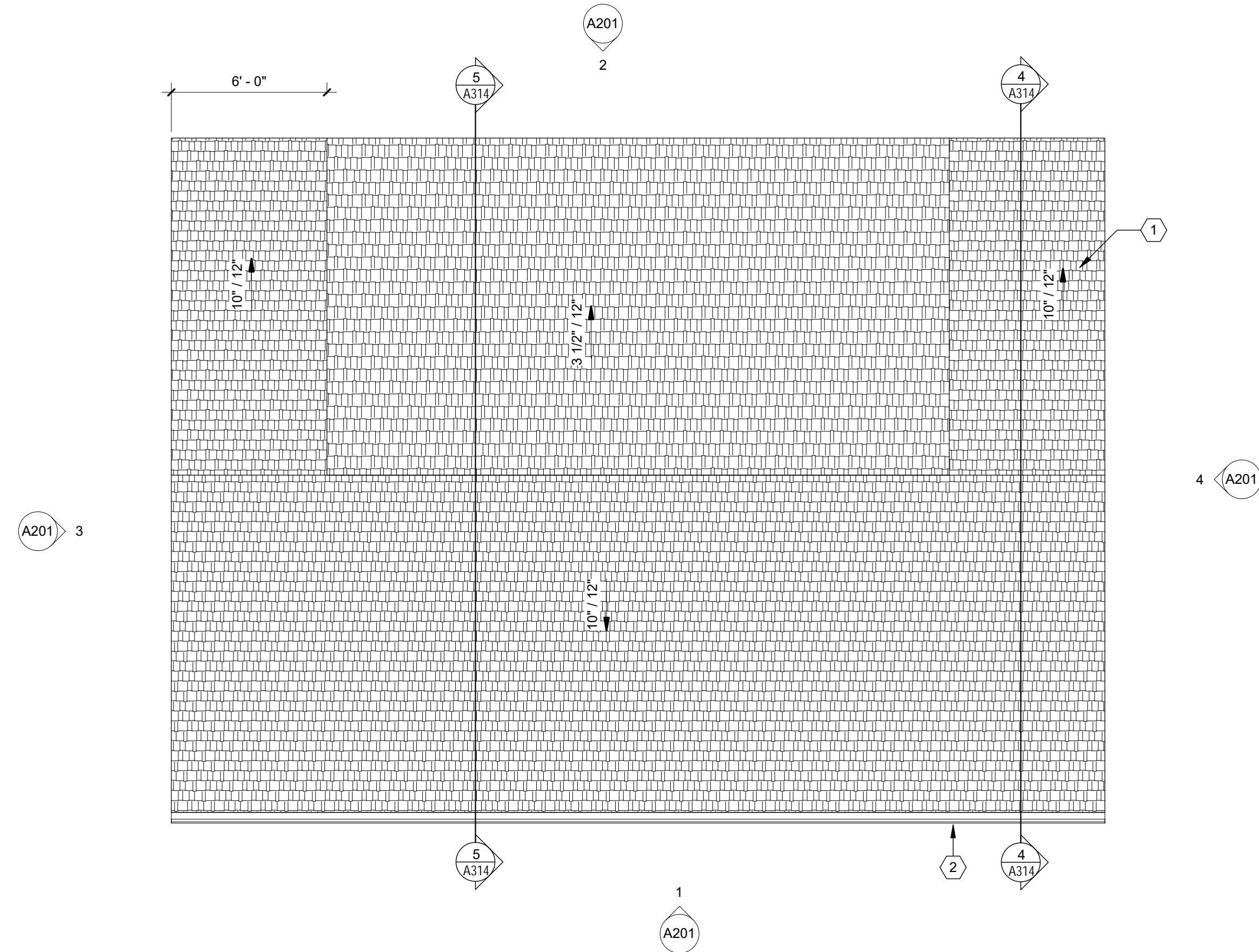
2122 CHADBOURNE AVE
MADISON, WI 53726

SECOND FLOOR AND ROOF PLAN - HOUSE

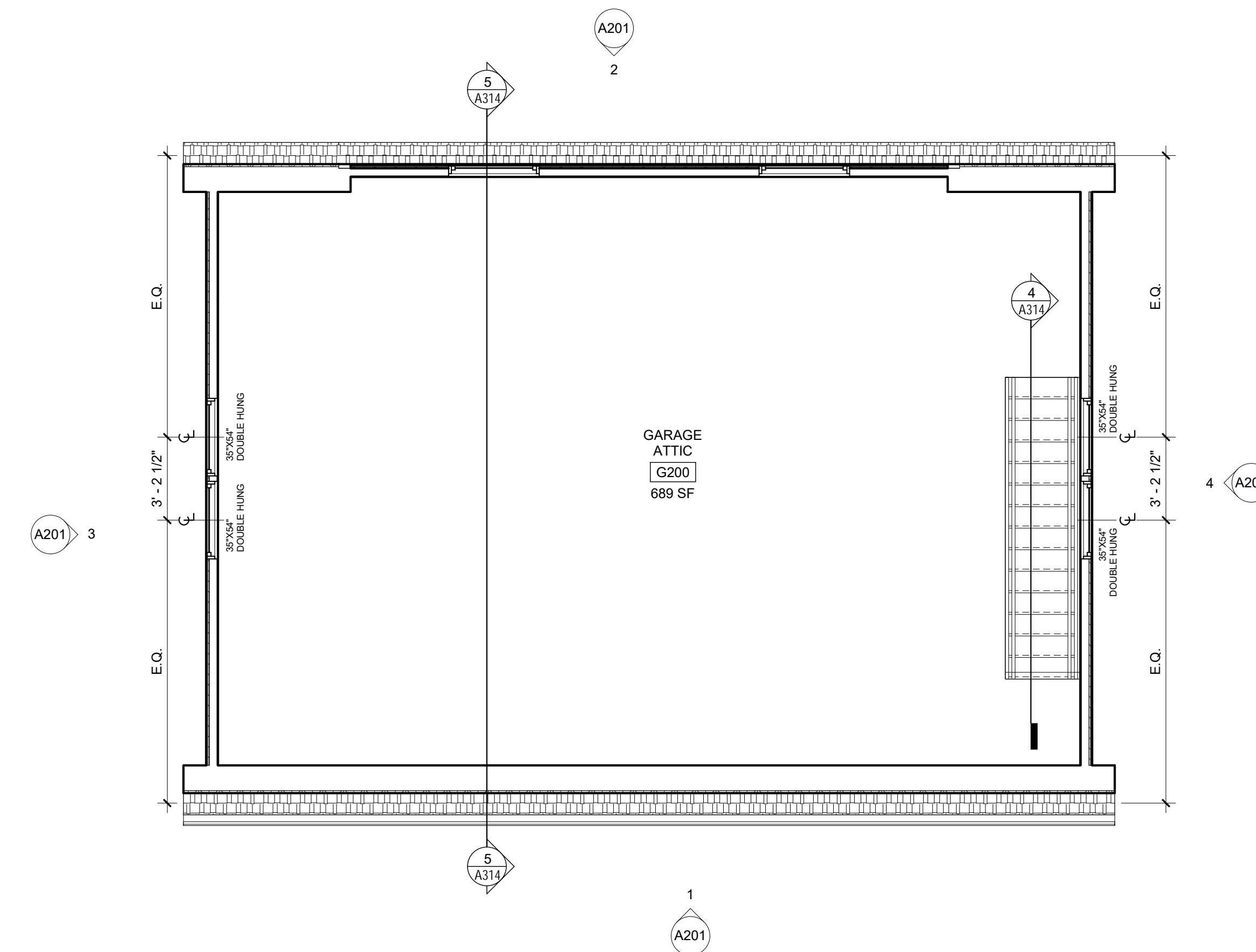
LANDMARKS COMMISSION APPLICATION
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KEYED NOTES	
1	NEW CEDAR SHINGLE ROOF - MATCH STYLE AND SIZE OF EXISTING CEDAR SHINGLE ROOF - INSTALL PER MANUFACTURER'S RECOMMENDATIONS
2	NEW GUTTERS THIS ROOF EDGE TO MATCH EXISTING

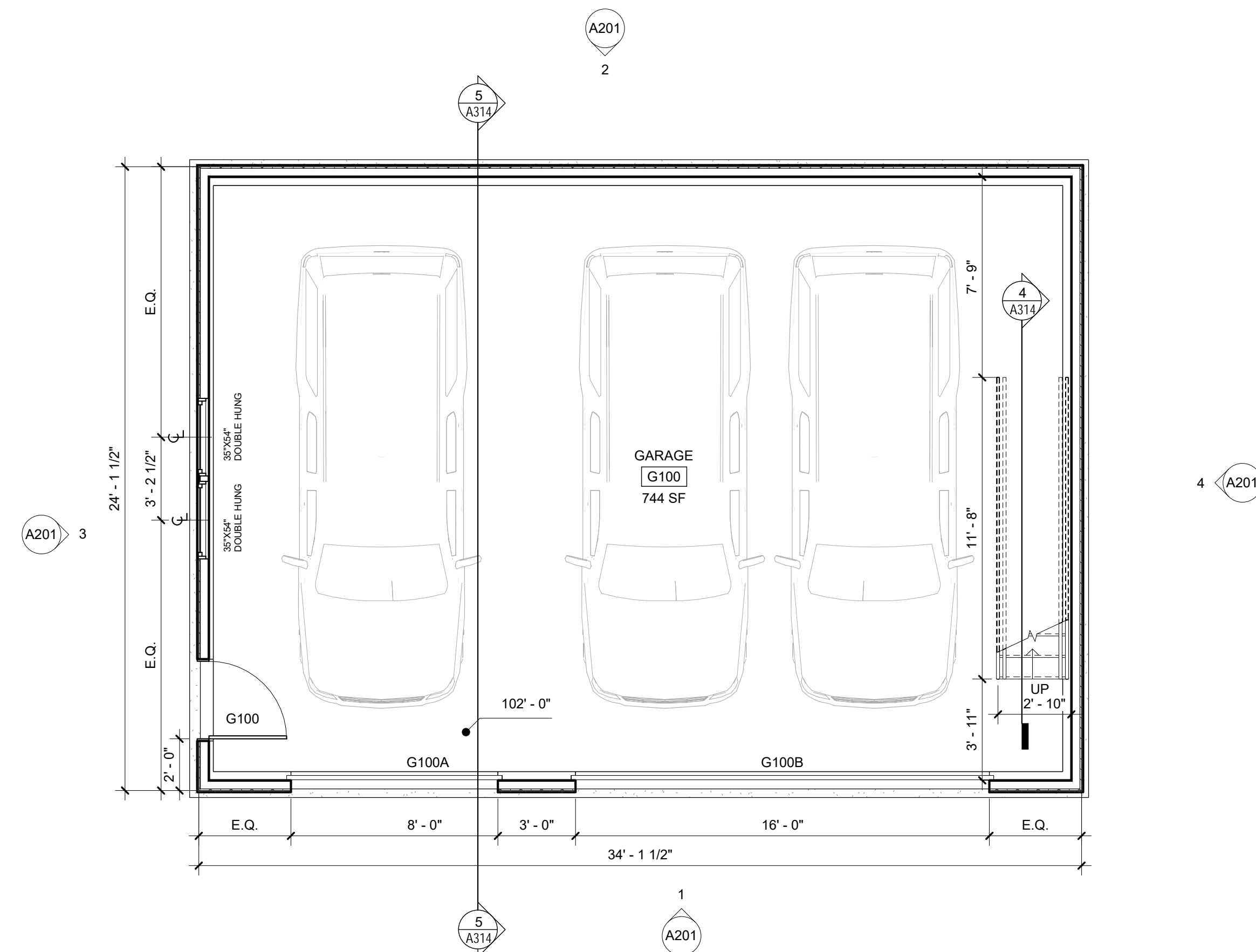
- FLOOR PLAN GENERAL NOTES:**
- SITE DATUM OF XXX' = FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS.
 - FIELD VERIFY ALL DIMENSIONS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
 - SEE SHEET A001 FOR PARTITION TYPES.
 - SEE SHEET A001 FOR DOOR SCHEDULE AND WINDOW TYPES AND DETAILS.
 - DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISH WALL TO FINISHED WALL (NOMINAL).
 - REFER TO DEMOLITION VIEWS FOR COORDINATION OF DEMOLITION SCOPE.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL ITEMS AND NOTES.
 - CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. ANY DISRUPTION IN SERVICE REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING DUCTWORK, PIPING, CONDUIT, CIRCUITS OR ANY ASSOCIATED EQUIPMENT, MUST BE COORDINATED IN ADVANCE WITH THE OWNER/ USER.
 - EXTERIOR DIMENSIONS ON FLOOR PLANS ARE BASED ON EXTERIOR FACE OF PLYWOOD.



3 ROOF PLAN - GARAGE
1/4" = 1'-0"



2 SECOND FLOOR PLAN - GARAGE
1/4" = 1'-0"



1 FIRST FLOOR PLAN - GARAGE
1/4" = 1'-0"

No.	Description	Date

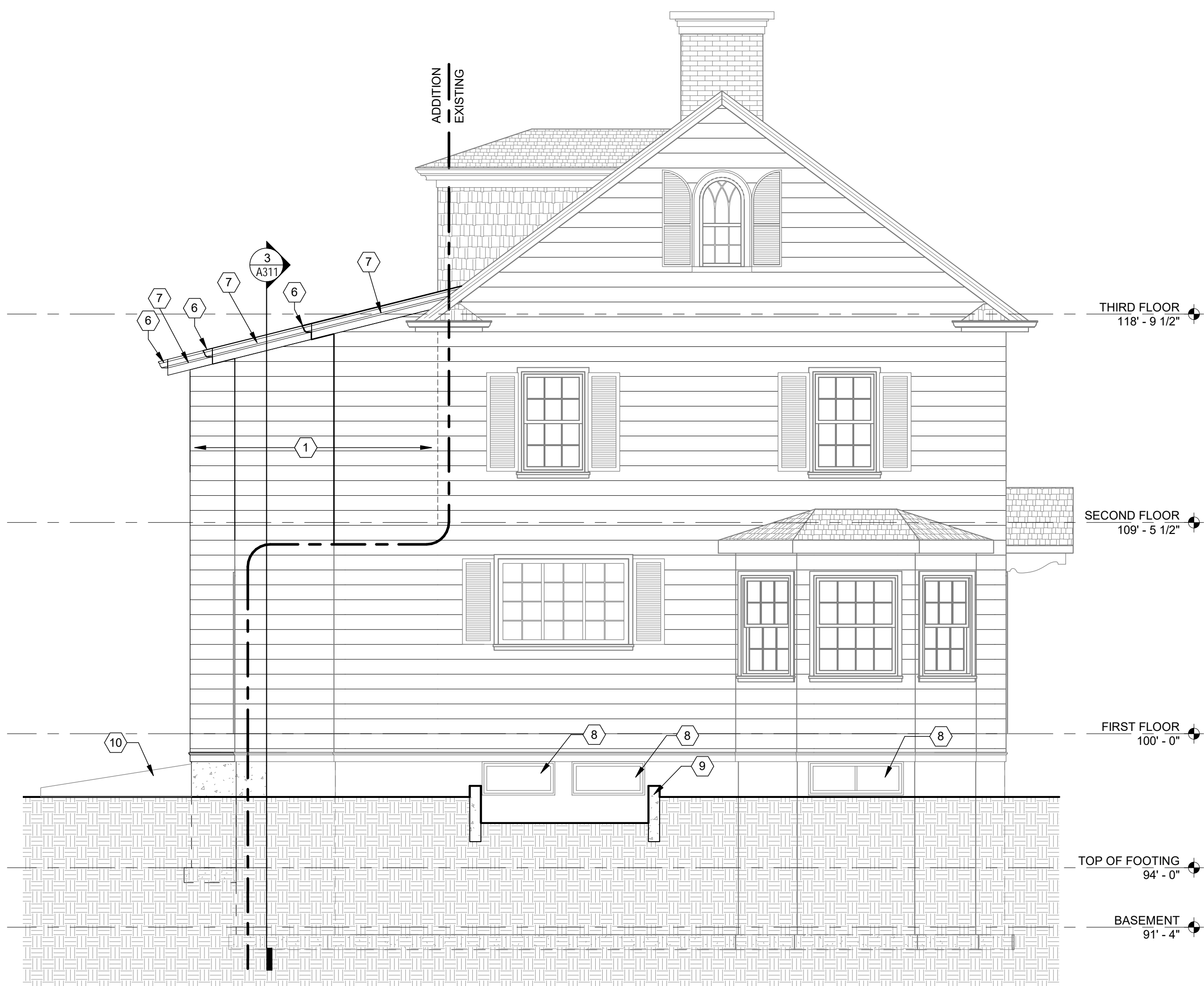
JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

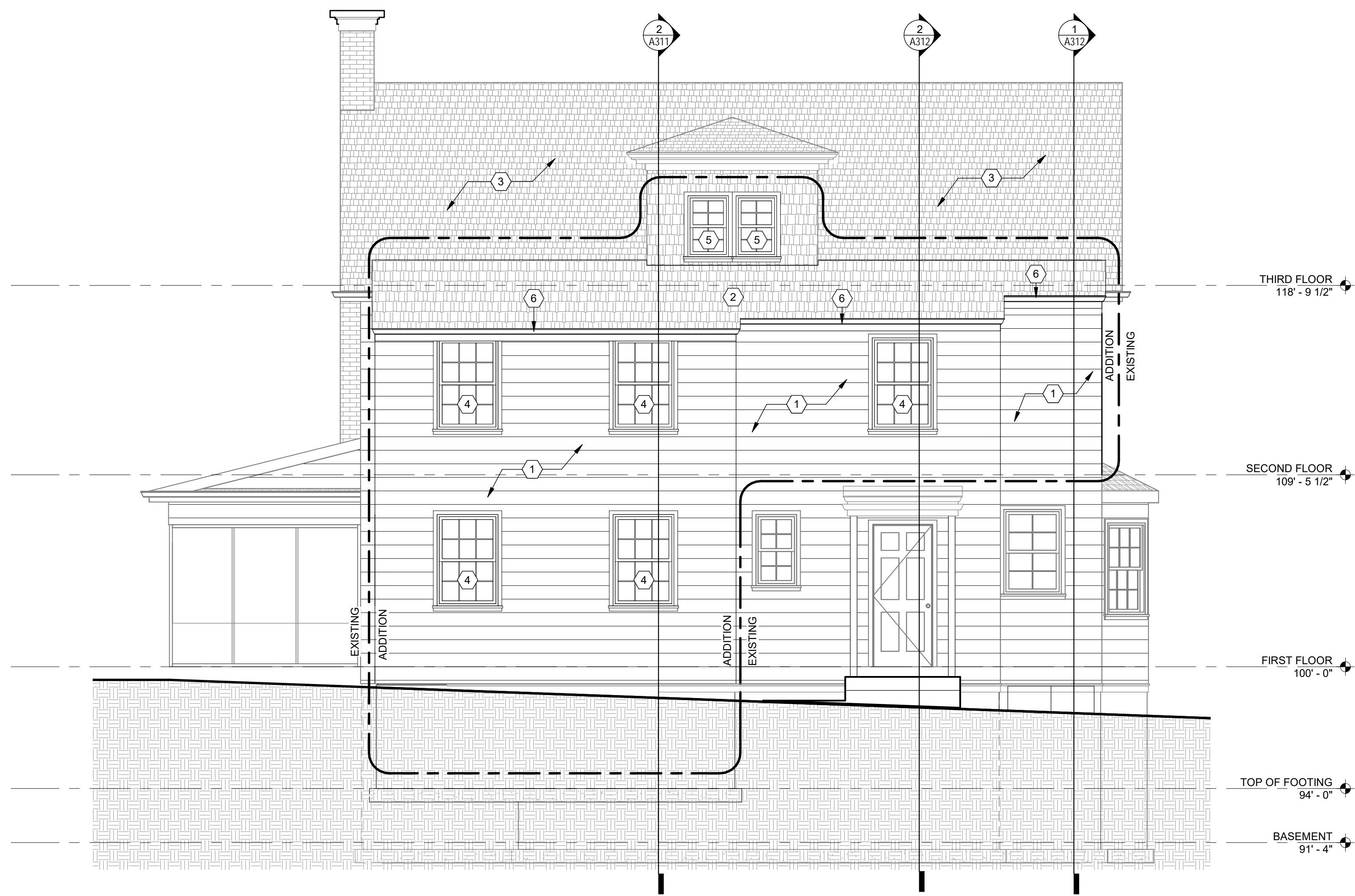
2122 CHADBOURNE AVE
MADISON, WI 53726

FIRST FLOOR, SECOND FLOOR AND ROOF PLAN - GARAGE

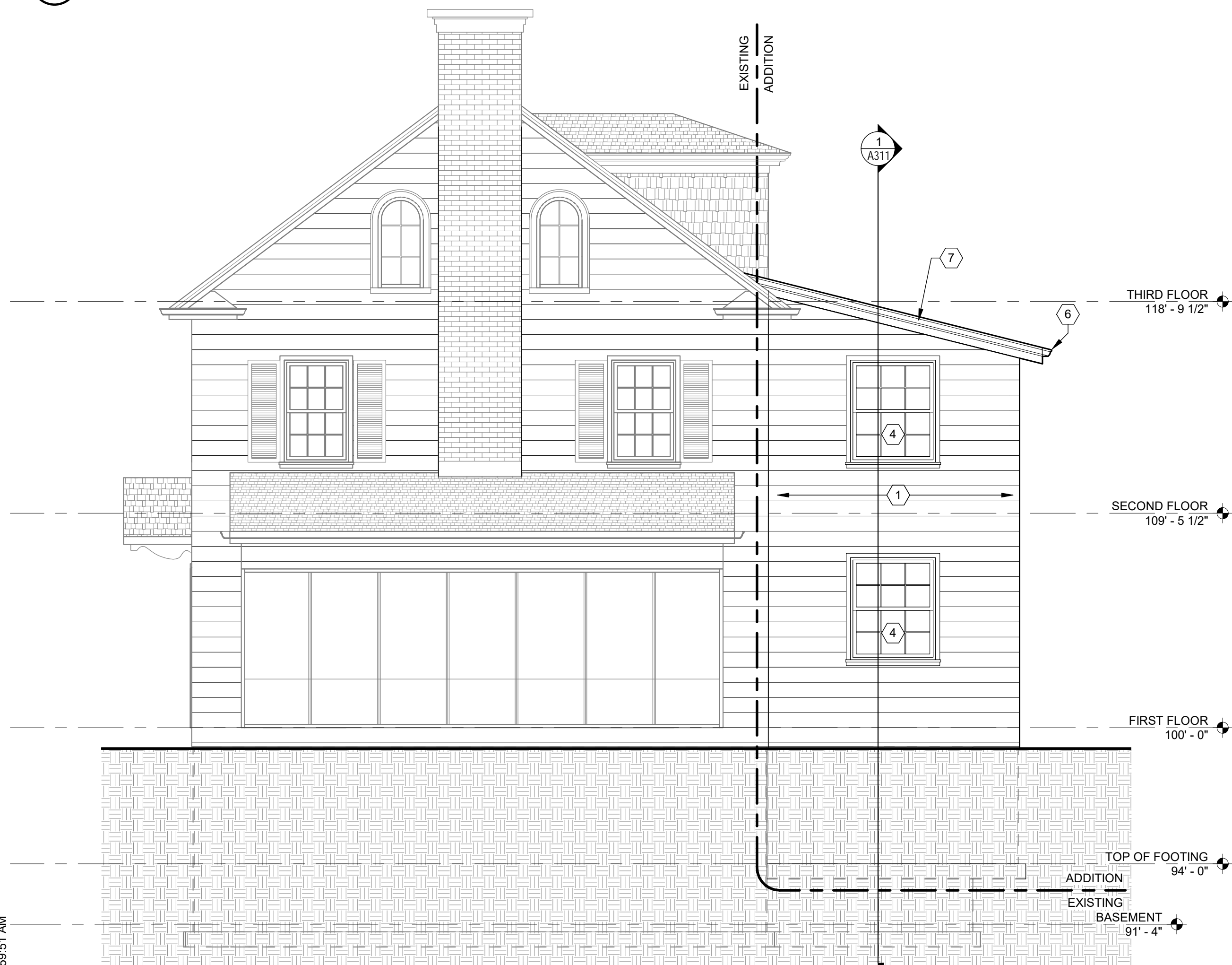
LANDMARKS COMMISSION APPLICATION	
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4 WEST ELEVATION - HOUSE
1/4" = 1'-0"



3 NORTH ELEVATION - HOUSE
1/4" = 1'-0"



2 EAST ELEVATION - HOUSE
1/4" = 1'-0"



1 SOUTH ELEVATION - HOUSE
1/4" = 1'-0"

No.	Description	Date

**JOEL AND MARGO
PLANT**

**HOME ADDITION
AND RENOVATION**

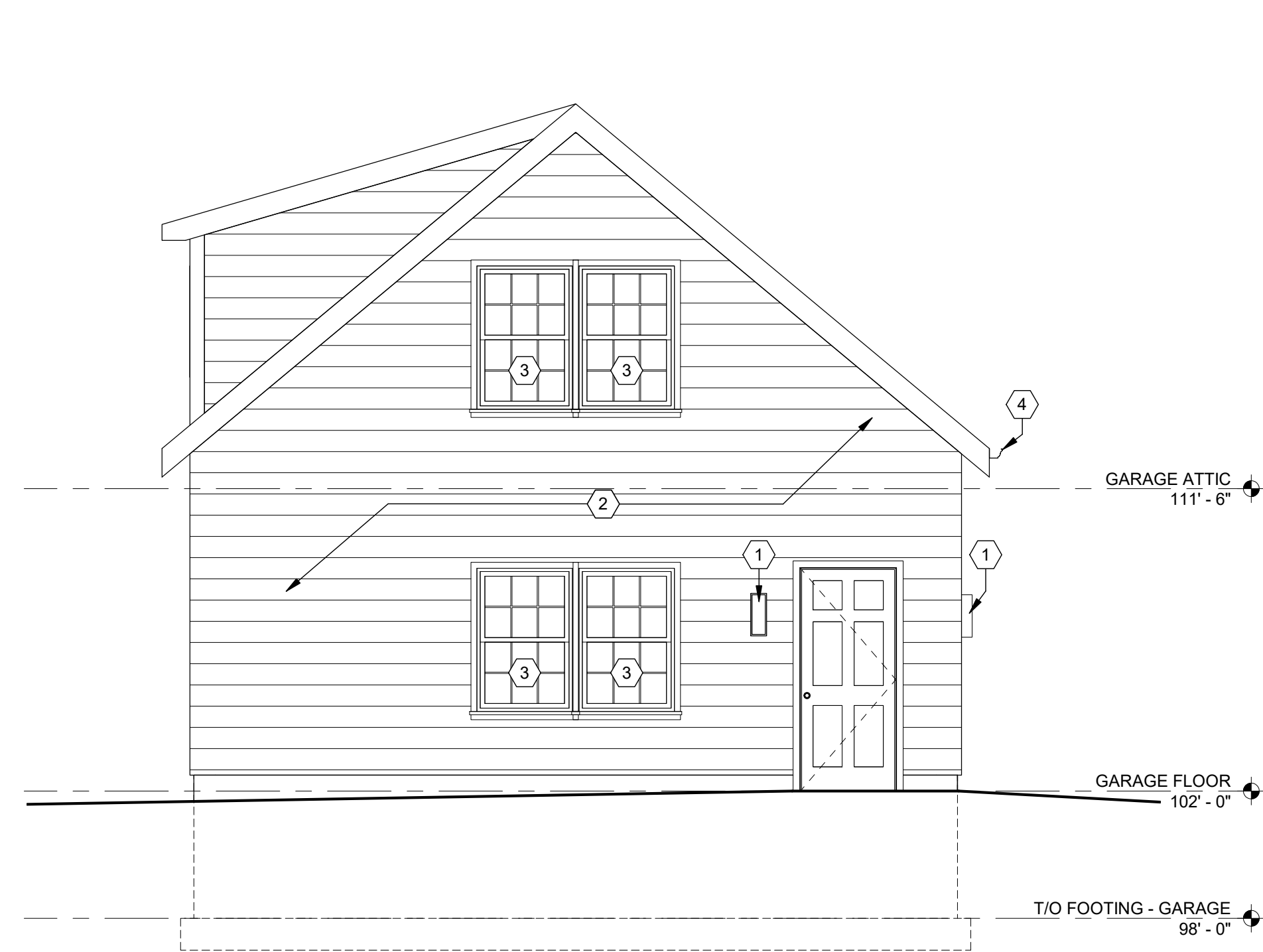
2122 CHADBOURNE AVE
MADISON, WI 53726

**EXTERIOR
ELEVATIONS -
HOUSE**

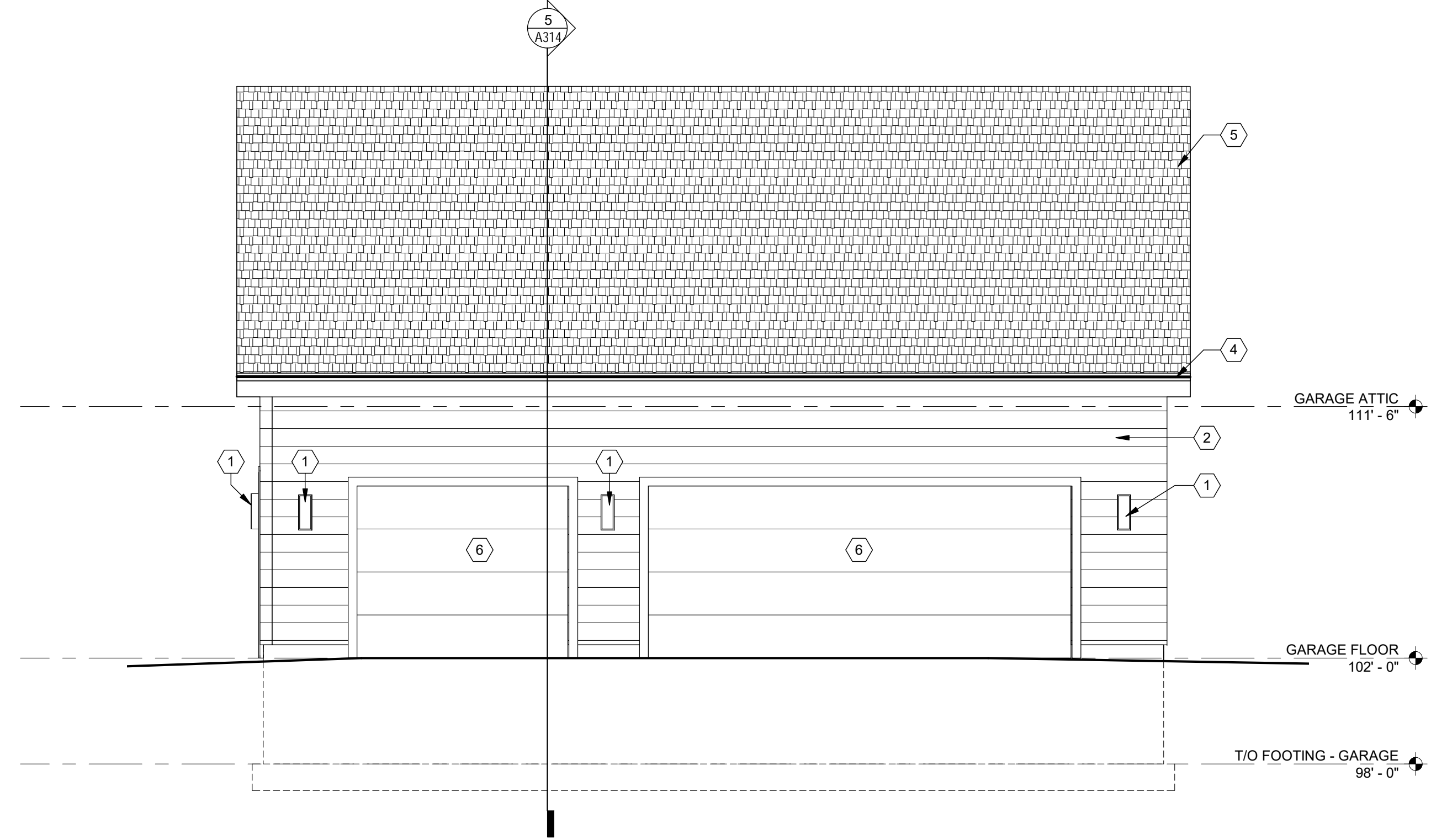
LANDMARKS COMMISSION APPLICATION	
Project number	PLN-19-01
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A200

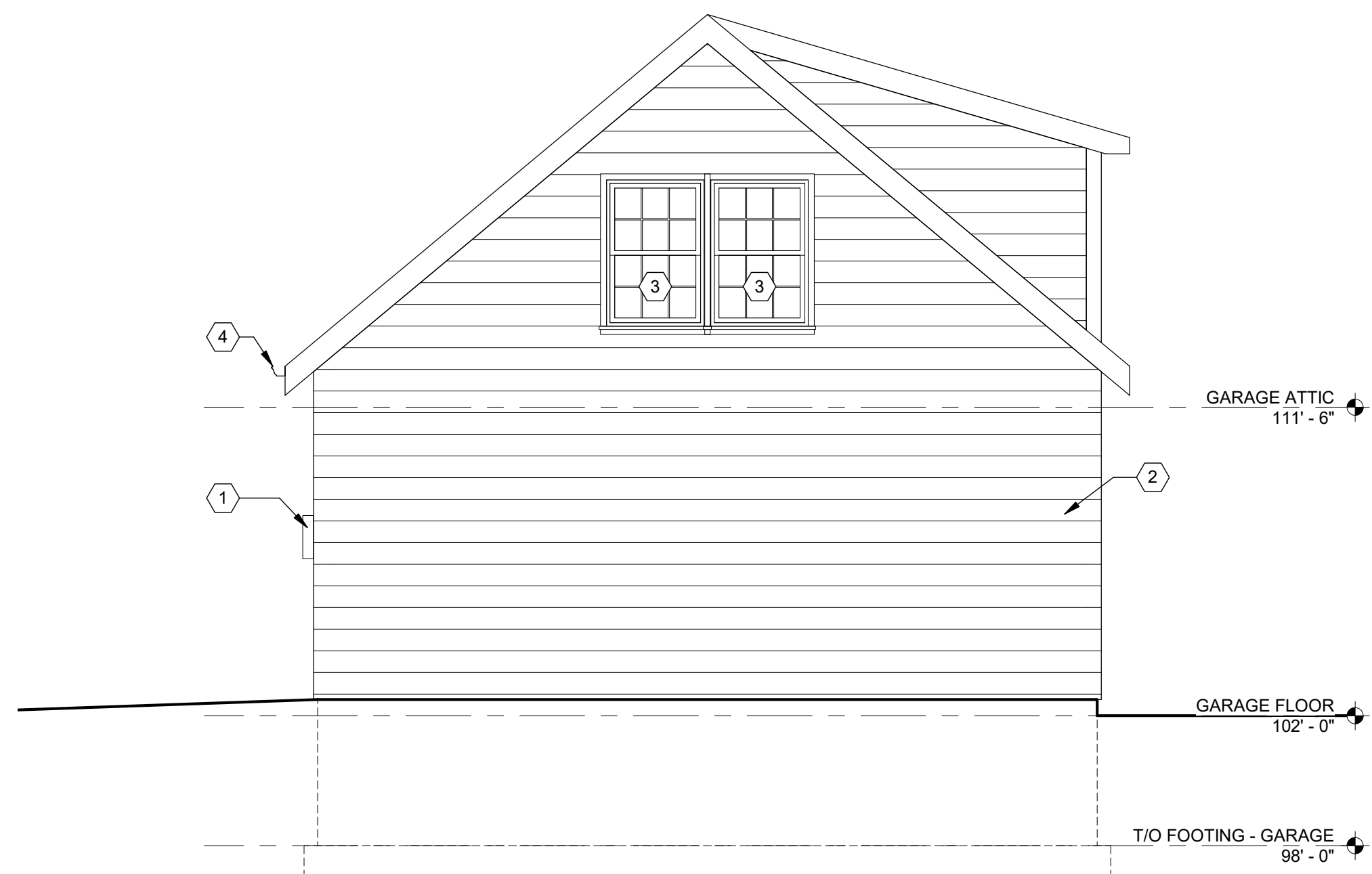
KEYED NOTES	
1	WALL SCONCE - SELECTION BY OWNER
2	WOOD SIDING TO MATCH EXISTING IN DEPTH, PROFILE AND EXPOSURE
3	NEW WOOD HUNG WINDOW - SEE PLAN FOR SIZES
4	GUTTER TO MATCH EXISTING; INTEGRATE GUTTER WITH FASCIA TRIM
5	NEW CEDAR SHINGLE ROOF - MATCH STYLE AND SIZE OF EXISTING CEDAR SHINGLE ROOF - INSTALL PER MANUFACTURER'S RECOMMENDATIONS
6	DECORATIVE SECTIONAL GARAGE DOOR - SEE DOOR SCHEDULE
7	WOOD SHINGLE ROOF - MATCH SPECIES, STYLE AND SIZE OF EXISTING WOOD SHINGLE ROOF



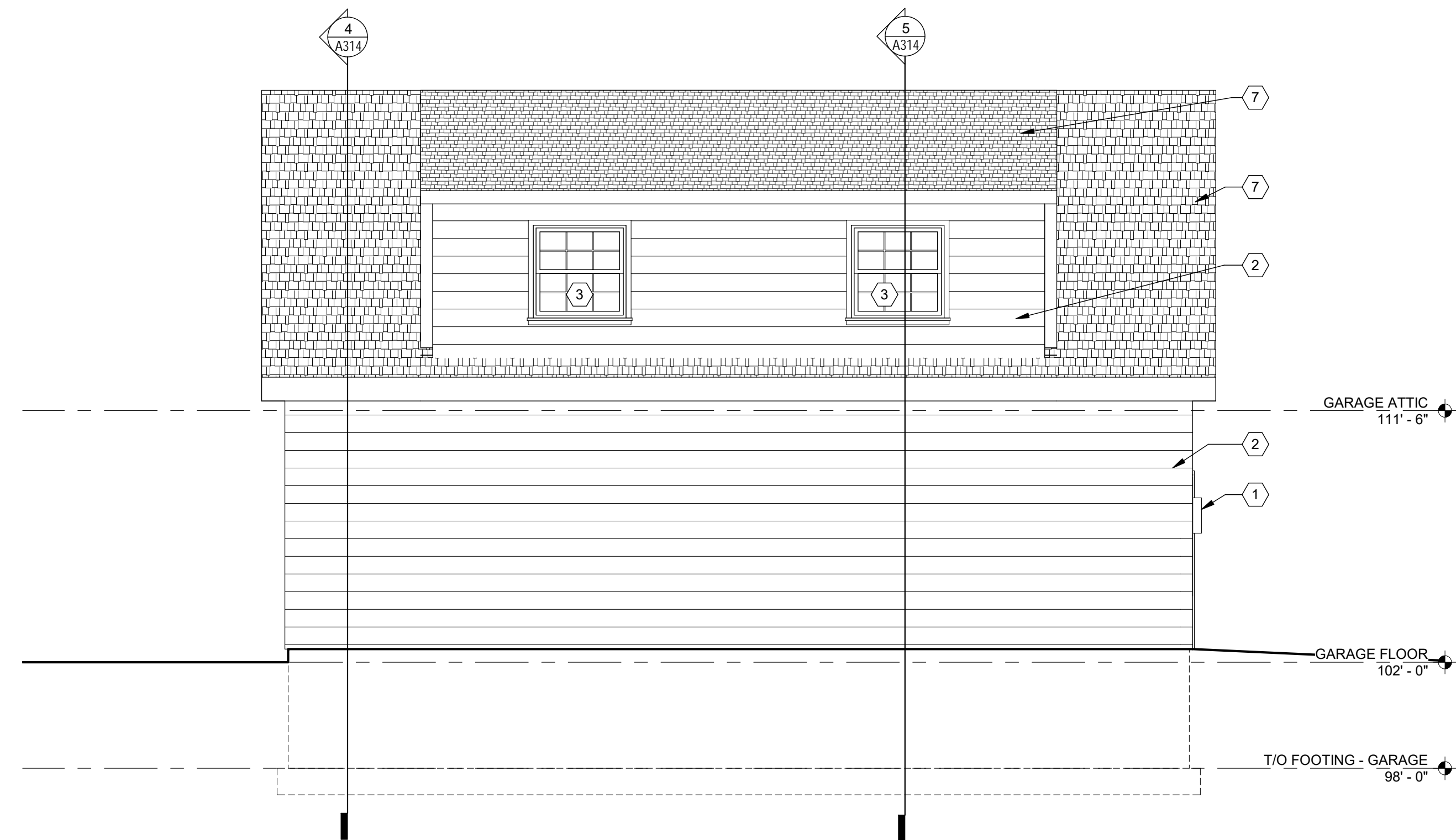
3 WEST ELEVATION - GARAGE
1/4" = 1'-0"



1 SOUTH ELEVATION - GARAGE
1/4" = 1'-0"



4 EAST ELEVATION - GARAGE
1/4" = 1'-0"



2 NORTH ELEVATION - GARAGE
1/4" = 1'-0"

No.	Description	Date

**JOEL AND MARGO
PLANT**

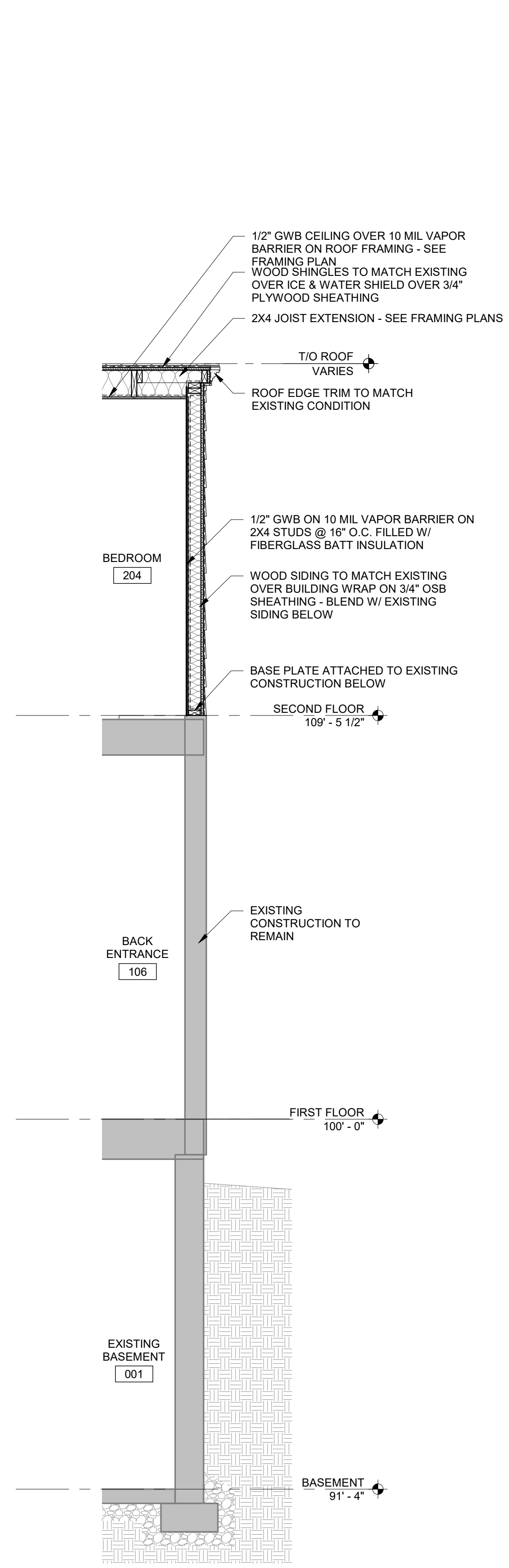
**HOME ADDITION
AND RENOVATION**

2122 CHADBOURNE AVE
MADISON, WI 53726

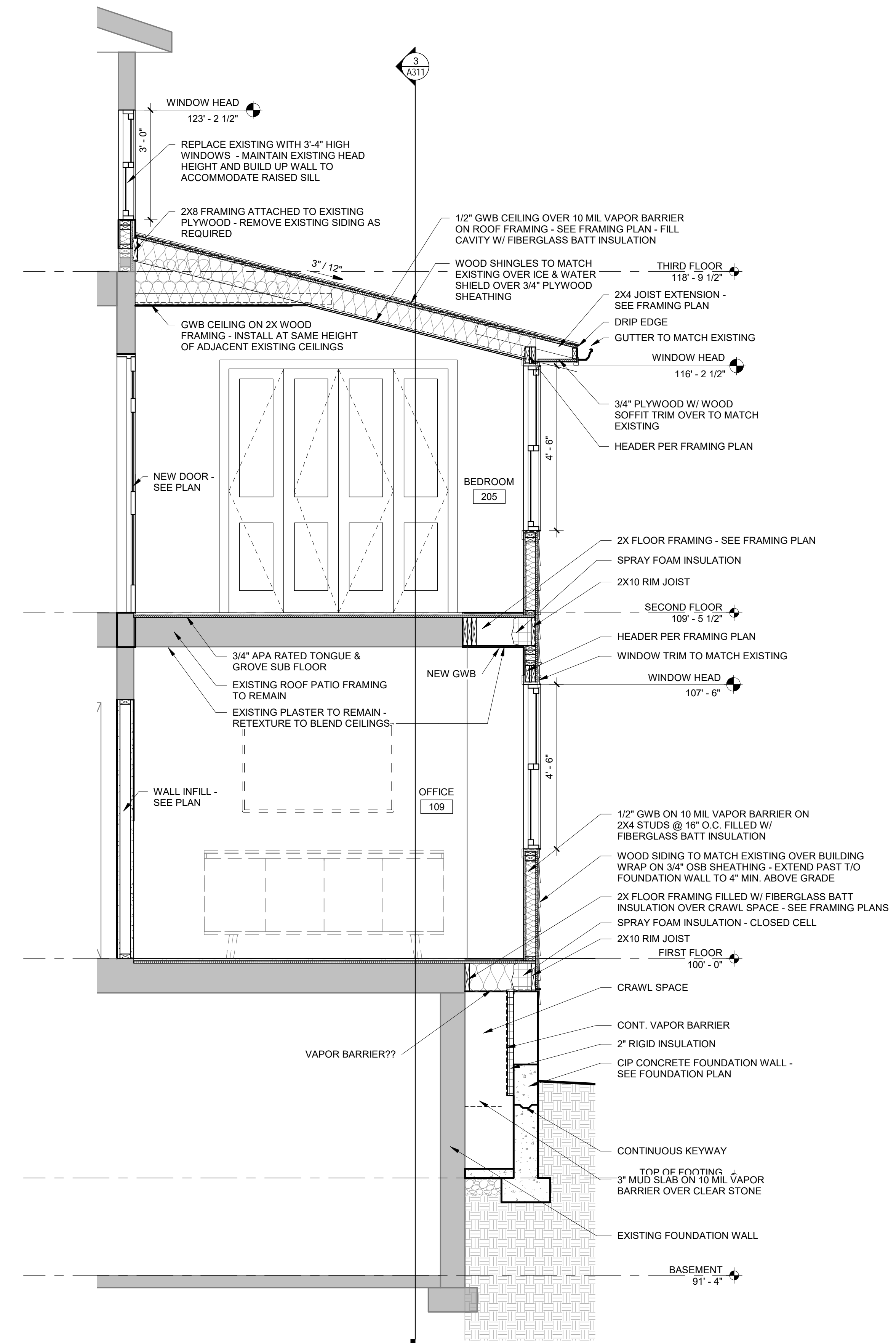
**EXTERIOR
ELEVATIONS -
GARAGE**

LANDMARKS COMMISSION APPLICATION	
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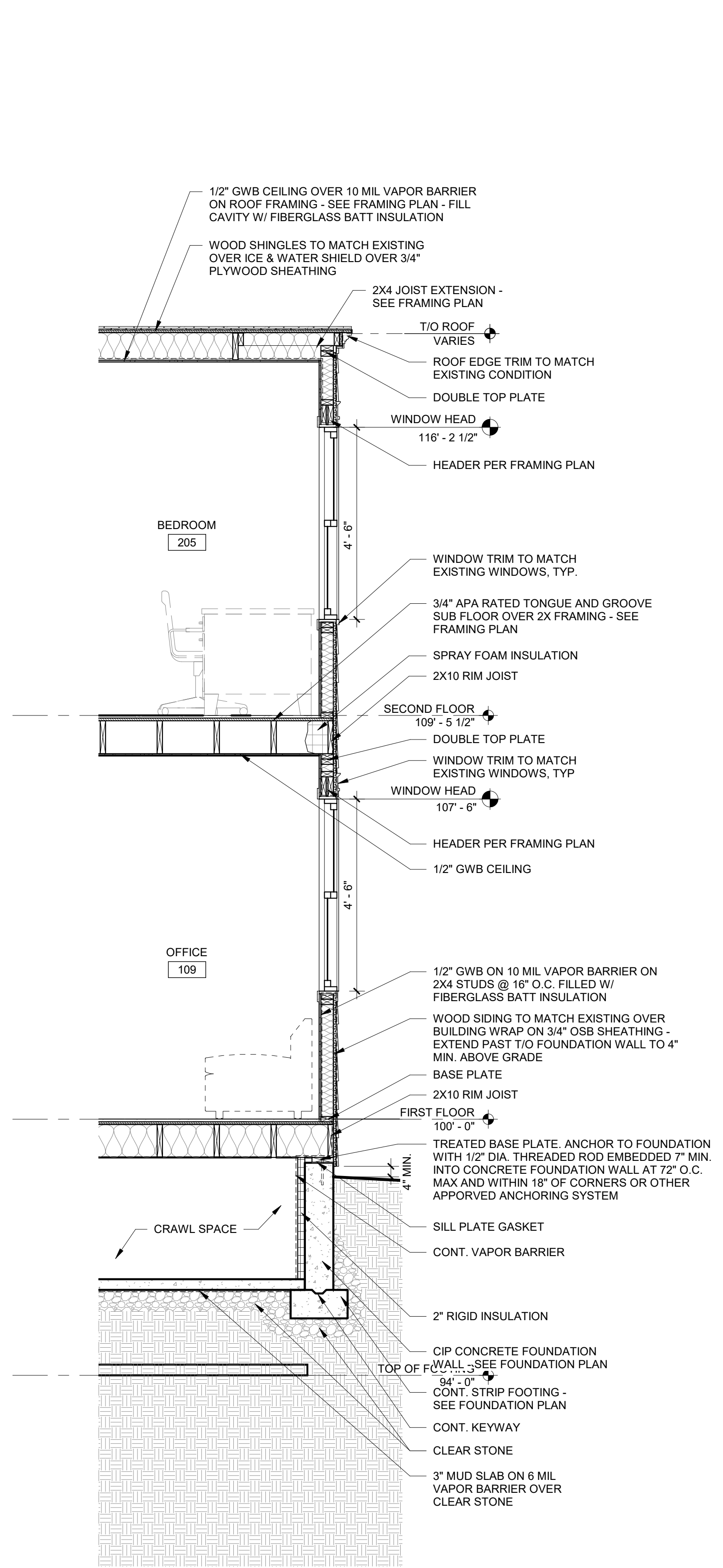
A201



3 WALL SECTION
1/2" = 1'-0"



2 WALL SECTION
1/2" = 1'-0"



1 WALL SECTION
1/2" = 1'-0"

No.	Description	Date

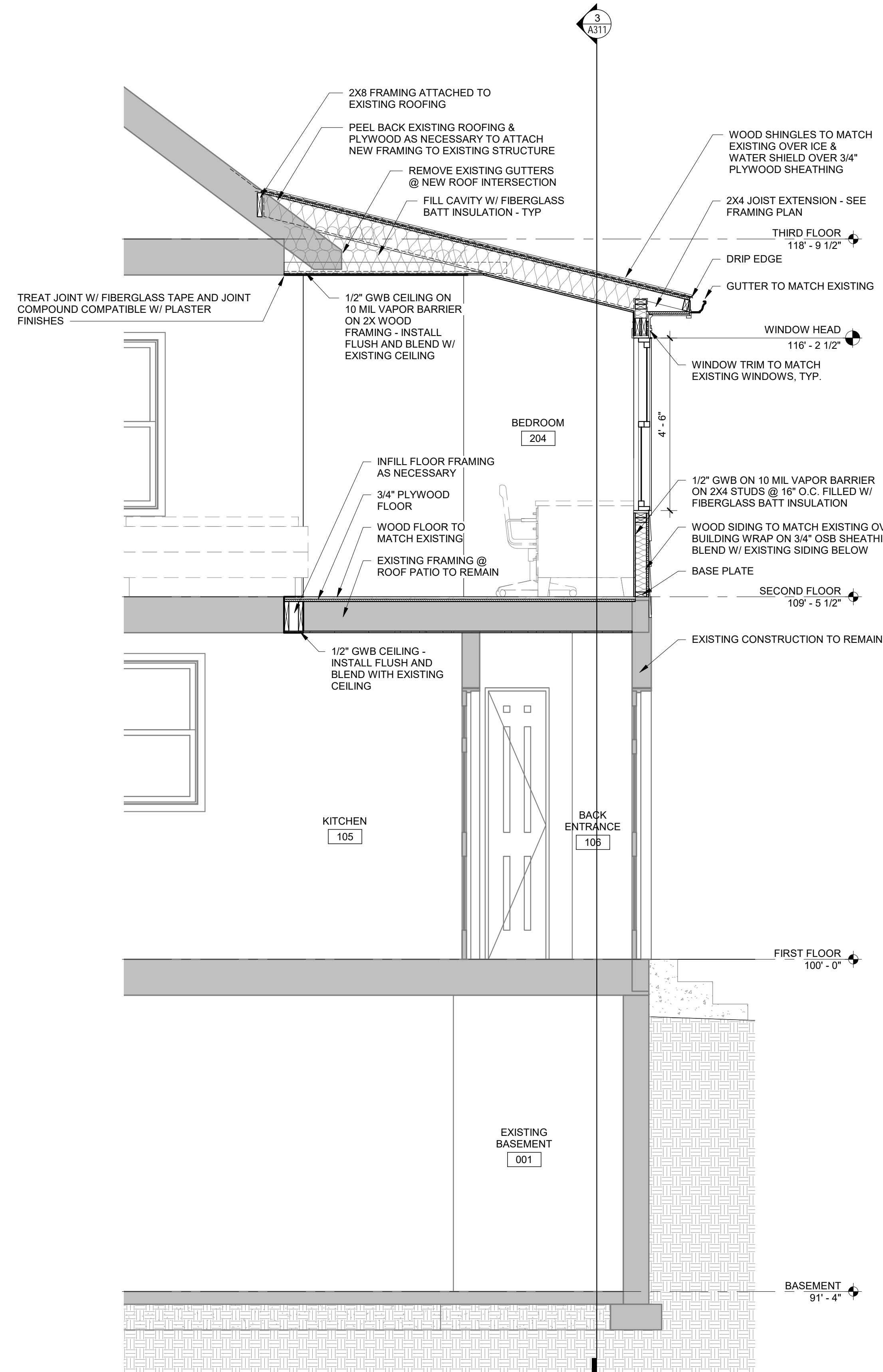
JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

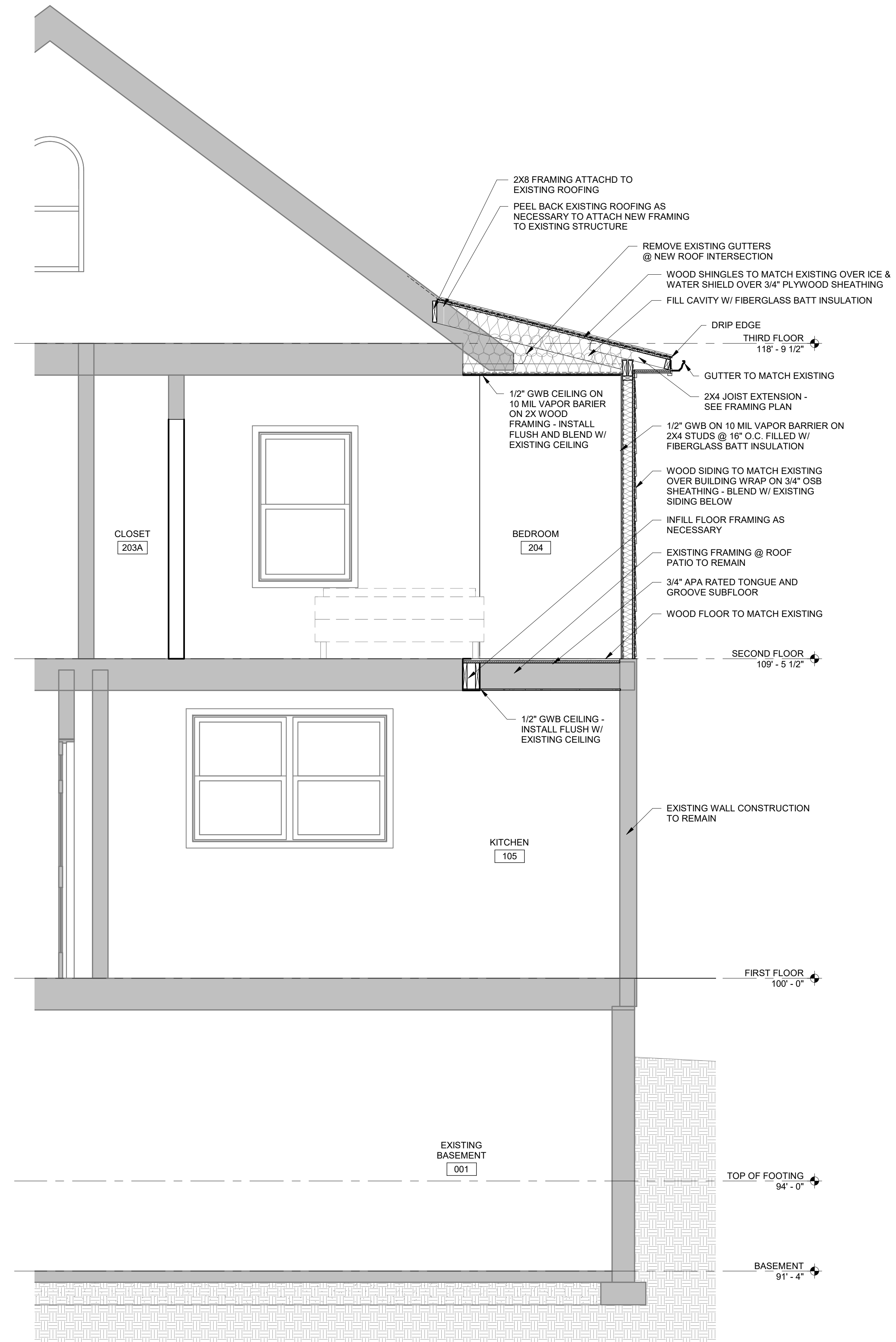
2122 CHADBOURNE AVE
MADISON, WI 53726

EXTERIOR SECTIONS AND WALL SECTIONS - HOUSE

LANDMARKS COMMISSION APPLICATION
Project number: PLN-19-01
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2 WALL SECTION
1/2" = 1'-0"



1 WALL SECTION
1/2" = 1'-0"

No.	Description	Date

**JOEL AND MARGO
PLANT**

**HOME ADDITION
AND RENOVATION**

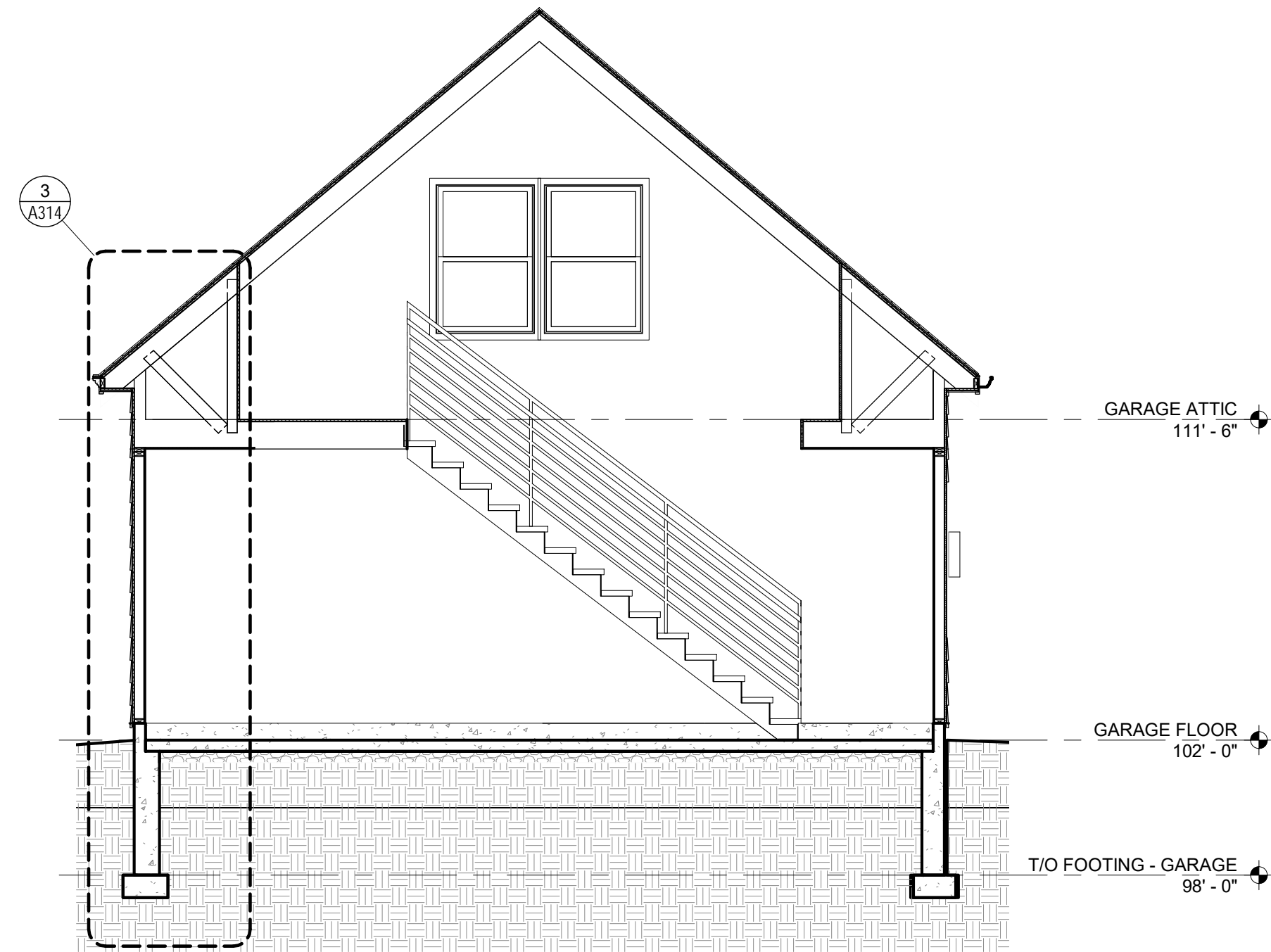
2122 CHADBOURNE AVE
MADISON, WI 53726

**EXTERIOR WALL
SECTIONS - HOUSE**

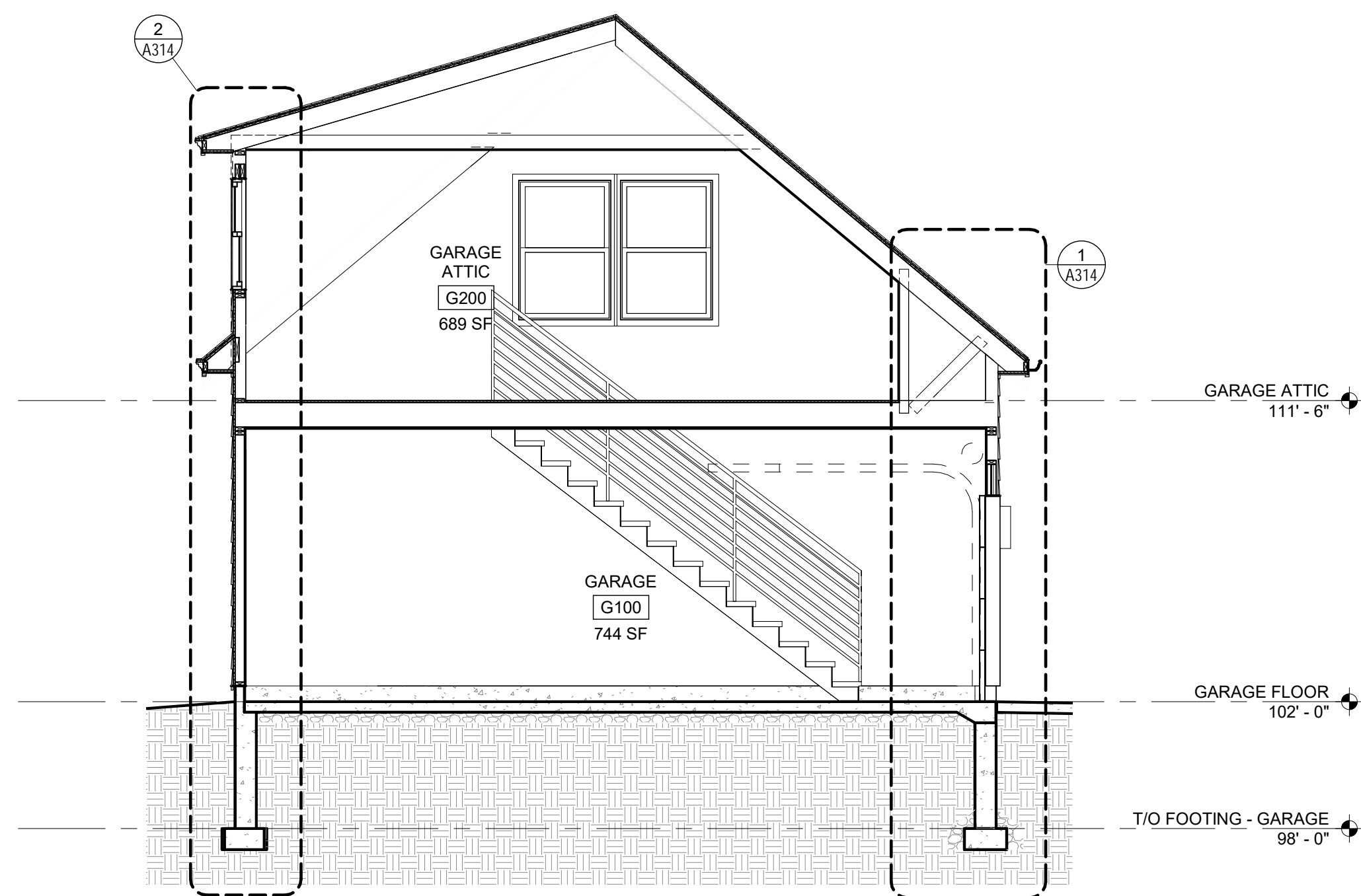
LANDMARKS COMMISSION APPLICATION

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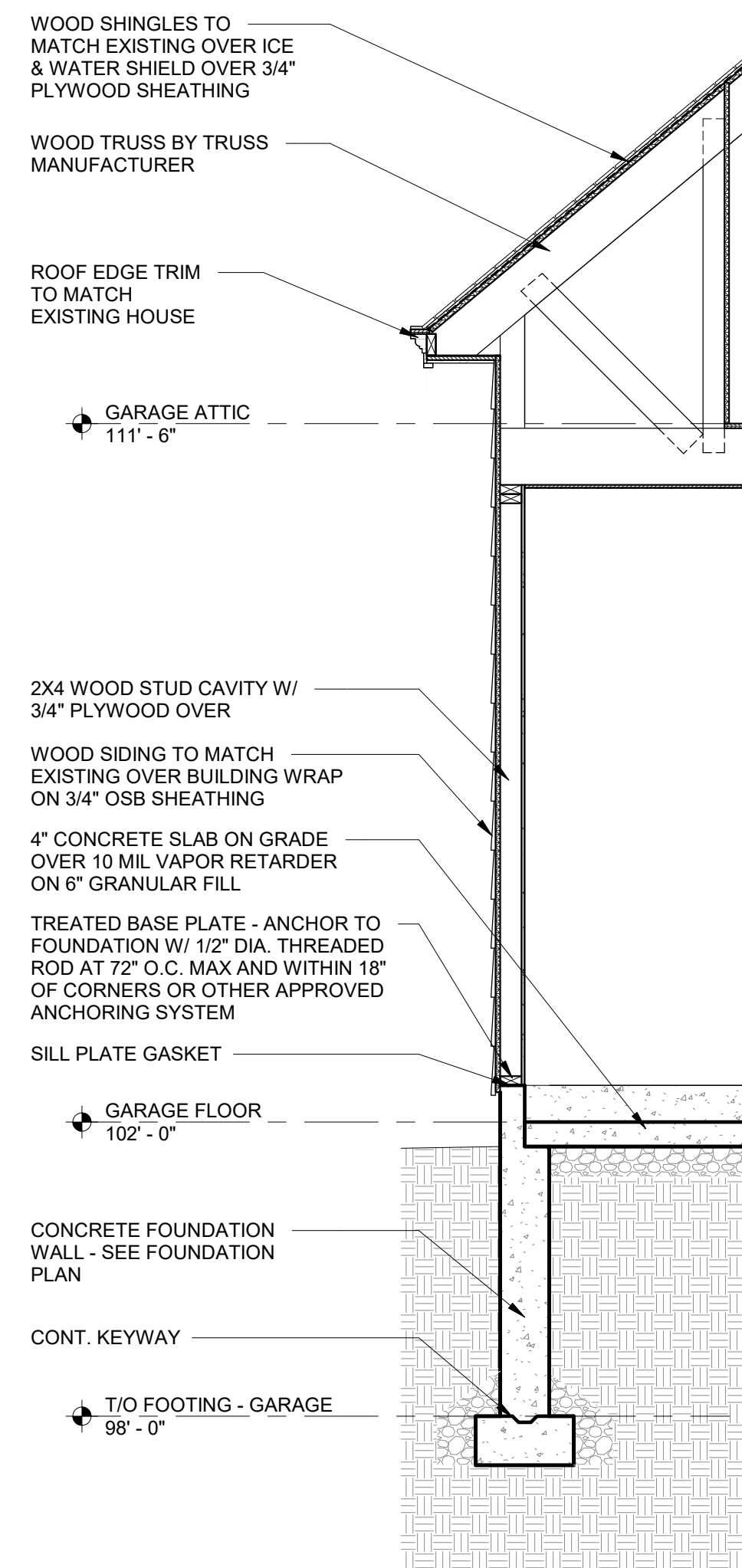
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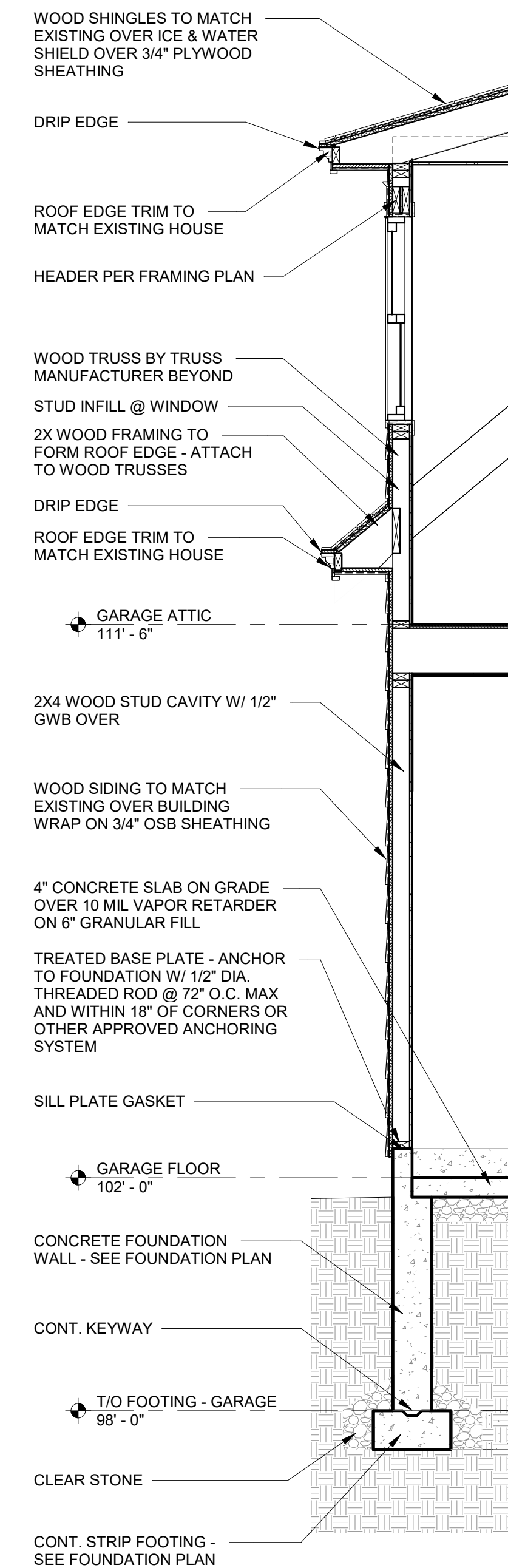
4 STAIR SECTION
1/4" = 1'-0"



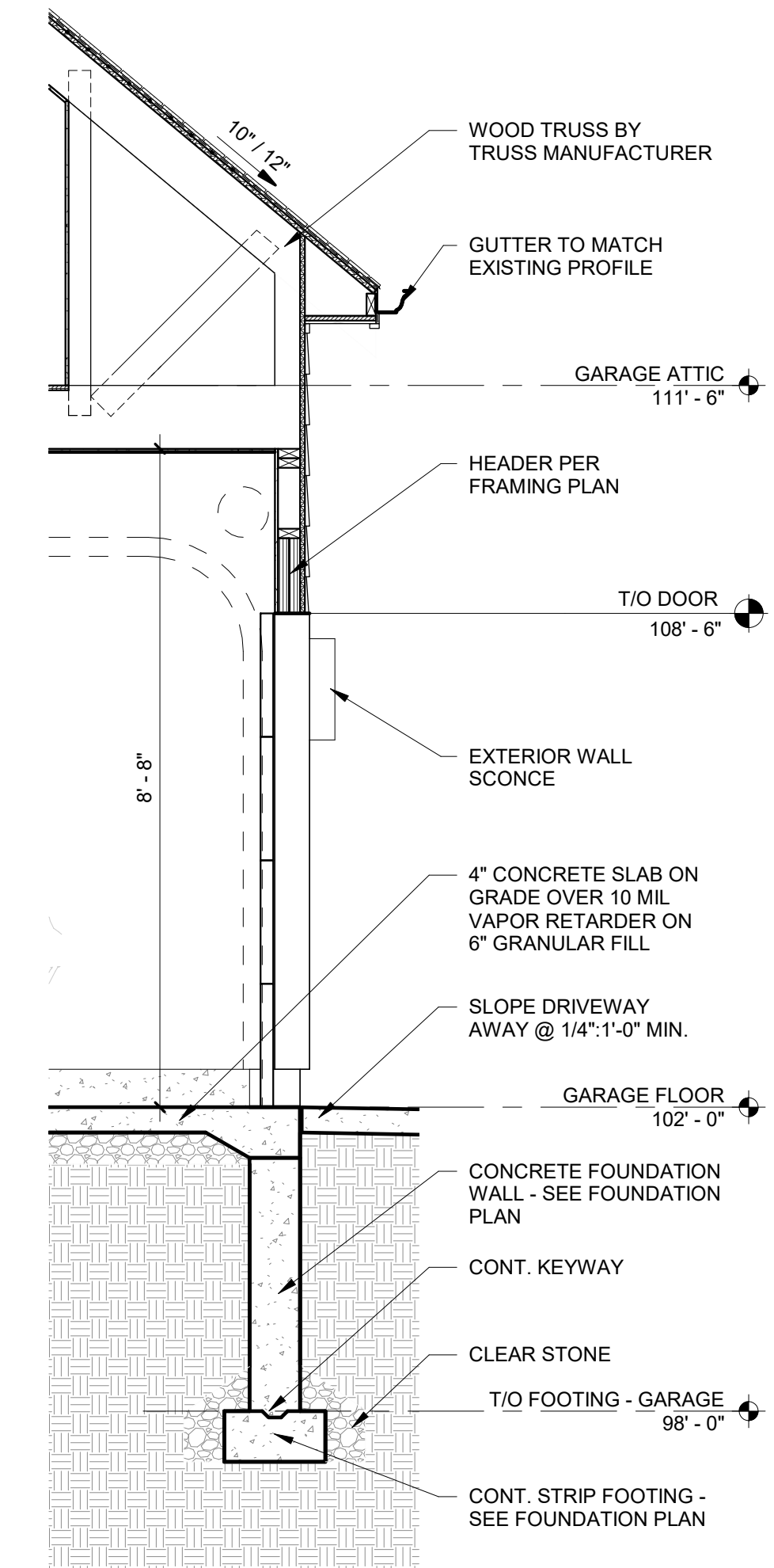
5 N/S BUILDING SECTION
1/4" = 1'-0"



3 Section 9 - Callout 1
1/2" = 1'-0"



2 WALL SECTION
1/2" = 1'-0"



1 WALL SECTION
1/2" = 1'-0"

No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

EXTERIOR SECTIONS AND WALL SECTIONS - GARAGE

LANDMARKS COMMISSION APPLICATION
Project number PLN-19-01
Date 01/21/2020

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