

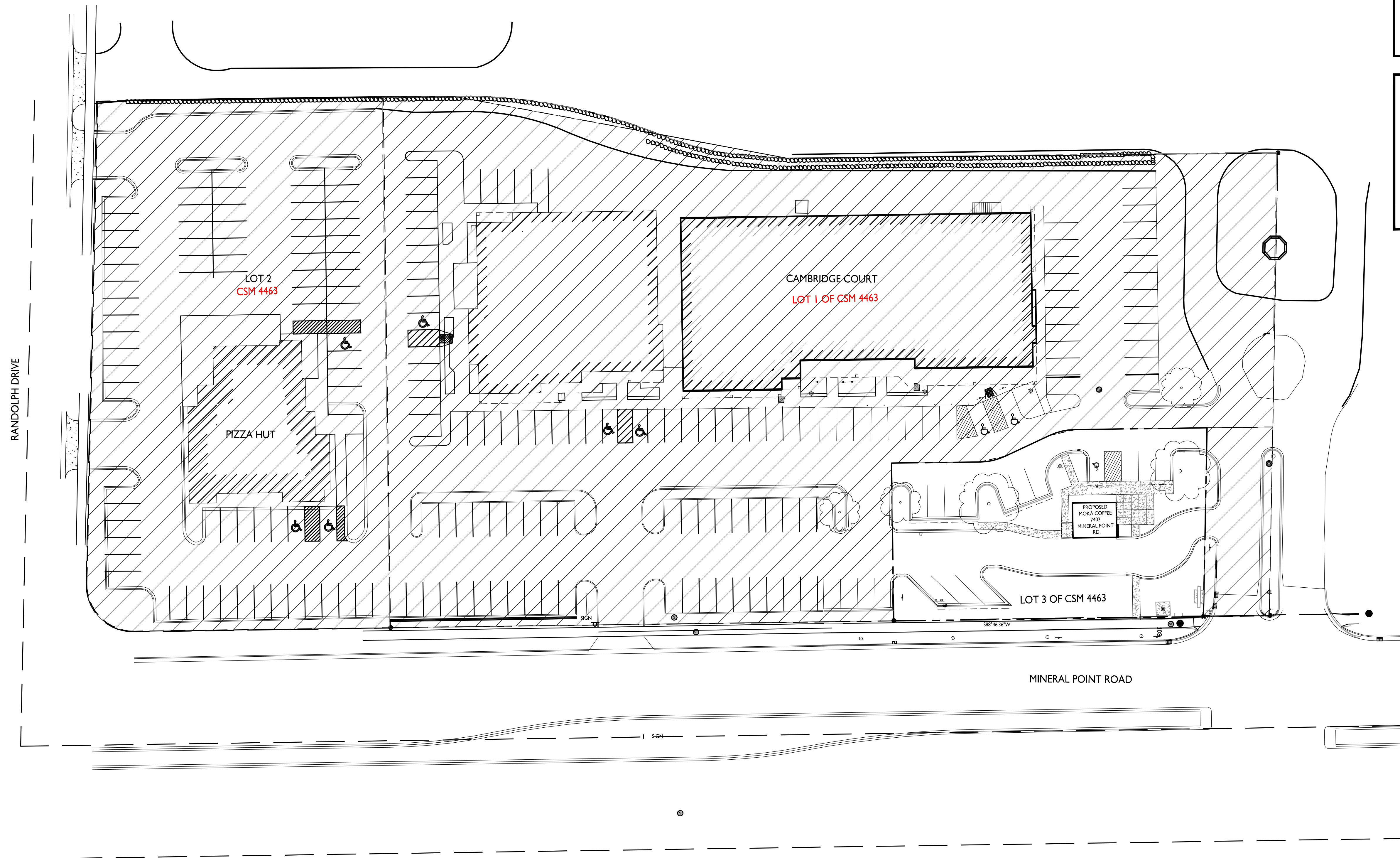


knothe • bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

SHEET INDEX	
SITE	OVERALL SITE PLAN
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A-1.0	FLOOR PLAN & ELEVATIONS
A-2.1	ELEVATION RENDERINGS

- GENERAL NOTES:**
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - THE CONTRACTOR SHALL REPLACE ALL CURB AND GUTTER ADJACENT TO THIS DEVELOPMENT AS DEEMED NECESSARY BY THE CITY ENGINEER.



ISSUED
Issued for Land Use - Dec. 20, 2017

PROJECT TITLE
MOKA Coffee
7402 Mineral Point Road

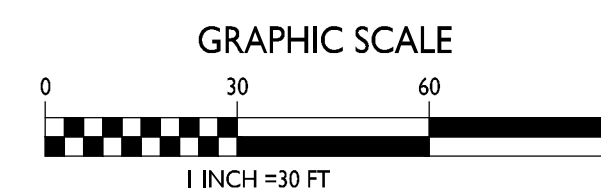
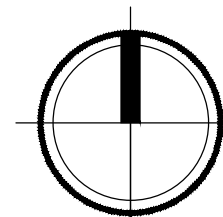
SHEET TITLE
Overall Site Plan

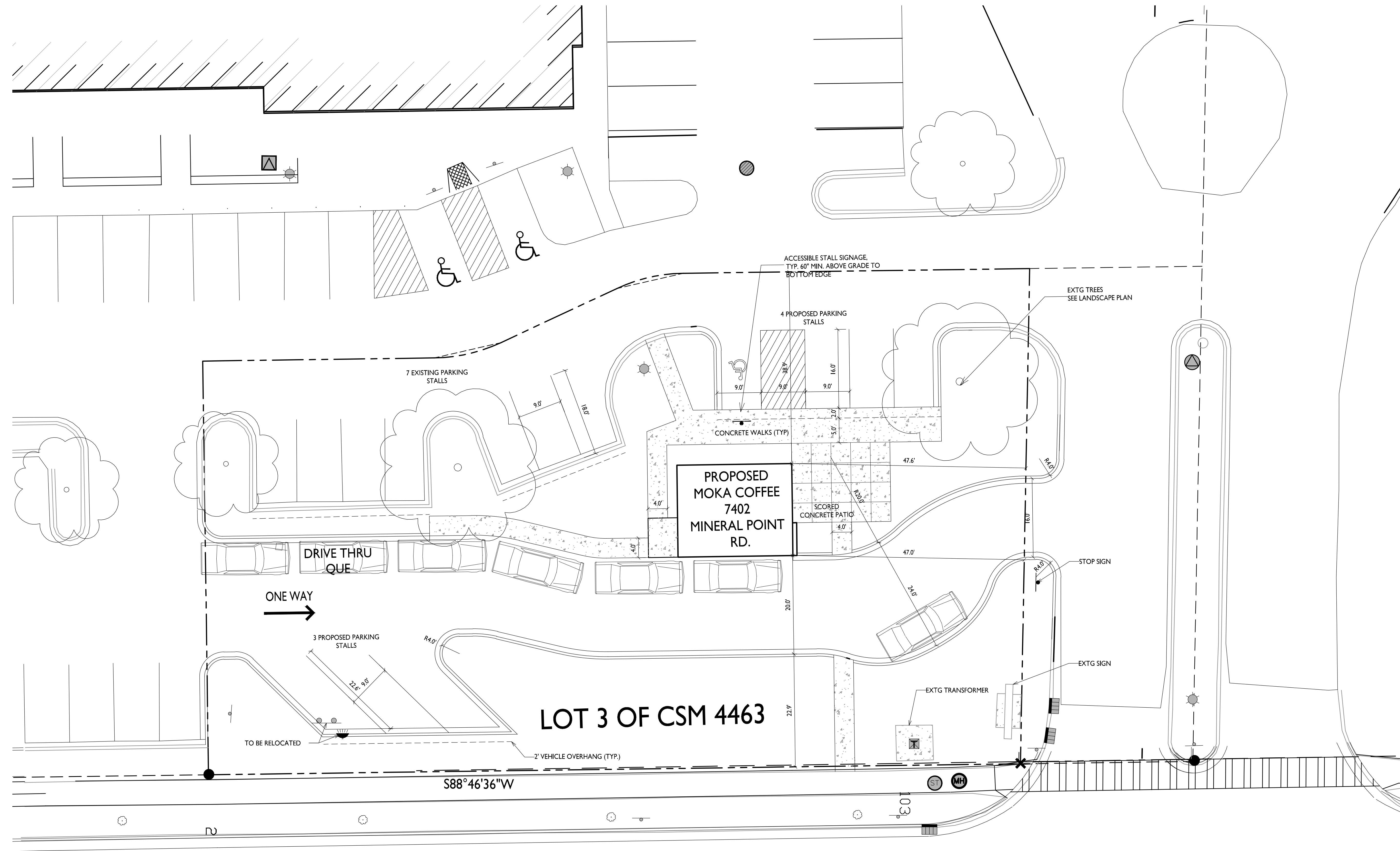
SHEET NUMBER

C-1.0

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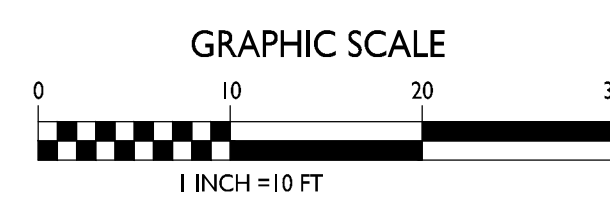
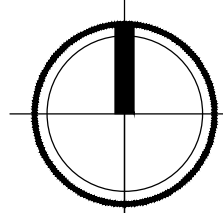
OVERALL SITE PLAN
1" = 30'-0"





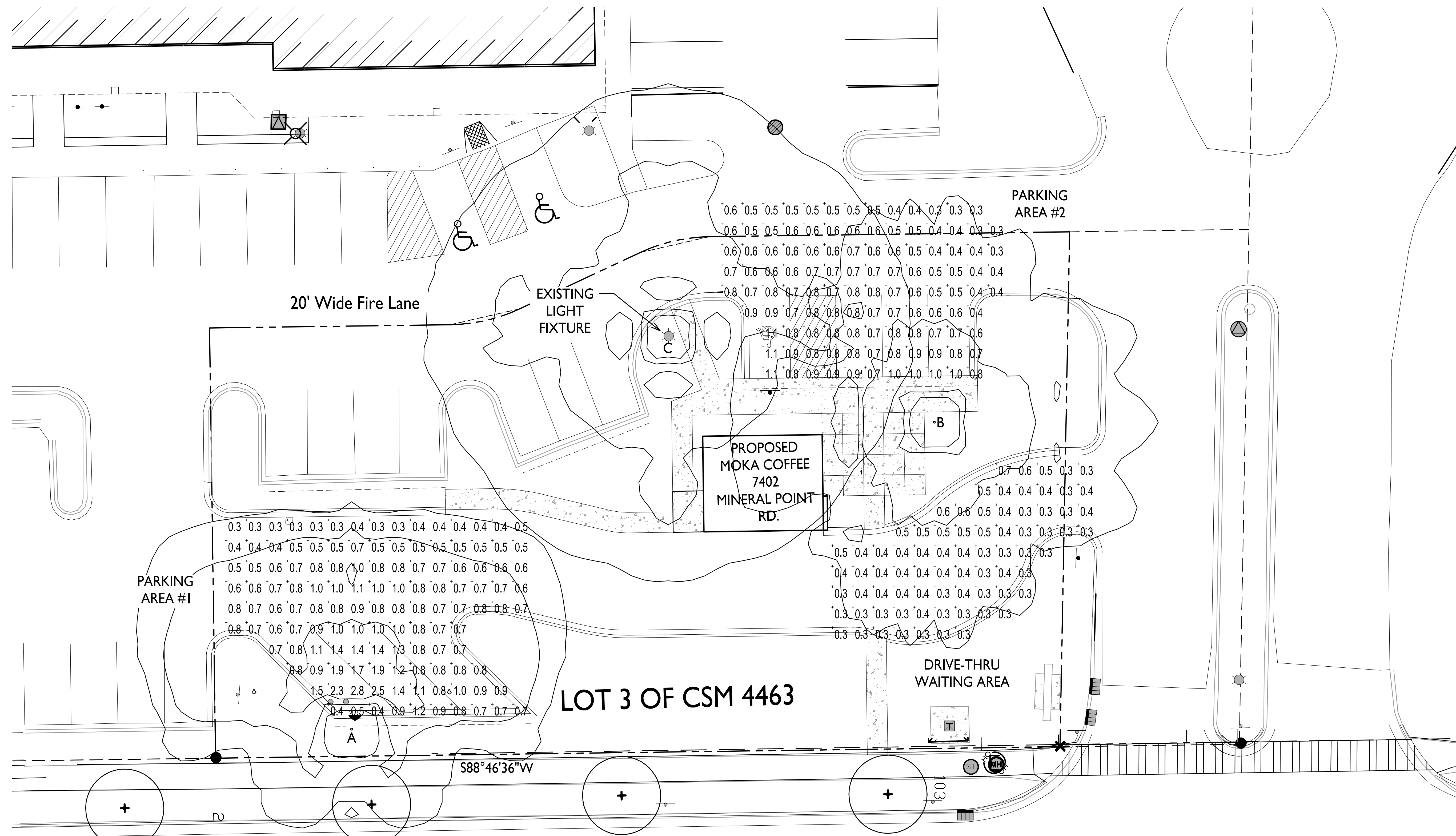
MINERAL POINT ROAD

SITE PLAN
C-1.1
1" = 10'-0"



ISSUED
 Issued for Land Use - Dec. 20, 2017

PROJECT TITLE
MOKA Coffee
 7402 Mineral Point Road



LOT 3 OF CSM 4463

**PROPOSED
 MOKA COFFEE
 7402
 MINERAL POINT
 RD.**

**PARKING
 AREA #2**

20' Wide Fire Lane

**EXISTING
 LIGHT
 FIXTURE**

**PARKING
 AREA #1**

**DRIVE-THRU
 WAITING AREA**

MINERAL POINT ROAD

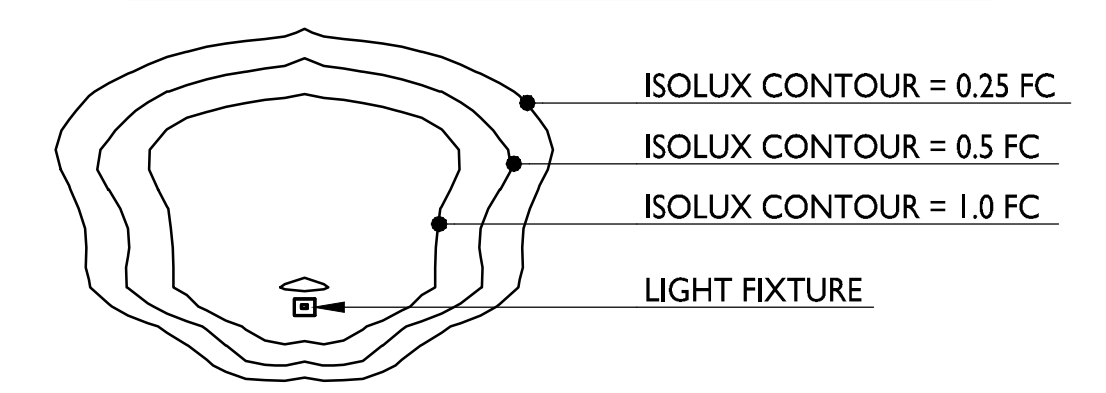
S88°46'36"W

103'

LUMINAIRE SCHEDULE

SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	LAMP	FILE	MOUNTING
○	A	1	STERNBERG LIGHTING	XRLED-L19-12L45T4-MD_14	SONEBRIDGE L19 MISSION STYLE LANTERN, XRLED, TYPE 4, CLEAR LENS	12 LEDs	XRLED-L19-12L45T4-MD_14.IES	12'-0" POLE ON 2'-0" TALL CONC. BASE
○	B	1	STERNBERG LIGHTING	XRLED-L19-9L45T5-MD_14	SONEBRIDGE L19 MISSION STYLE LANTERN, XRLED, TYPE 5, CLEAR LENS	9 LEDs	XRLED-L19-9L45T5-MD_14.IES	14'-0" POLE ON FLUSH CONC. BASE
⊙	C				EXISTING LIGHT FIXTURE AND POLE			

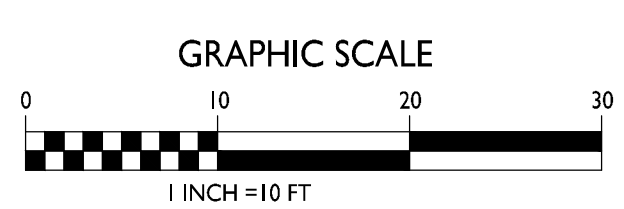
EXAMPLE LIGHT FIXTURE DISTRIBUTION



STATISTICS

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
Drive-Thru Waiting Area	+	0.4 fc	0.7 fc	0.3 fc	2.3:1	1.3:1
Parking Area #1	+	0.8 fc	2.8 fc	0.3 fc	9.3:1	2.7:1
Parking Area #2	+	0.7 fc	1.1 fc	0.3 fc	3.7:1	2.3:1

I SITE LIGHTING PLAN
 C-1.2 1" = 10'-0"



SHEET TITLE
Site Lighting Plan

SHEET NUMBER

C-1.2

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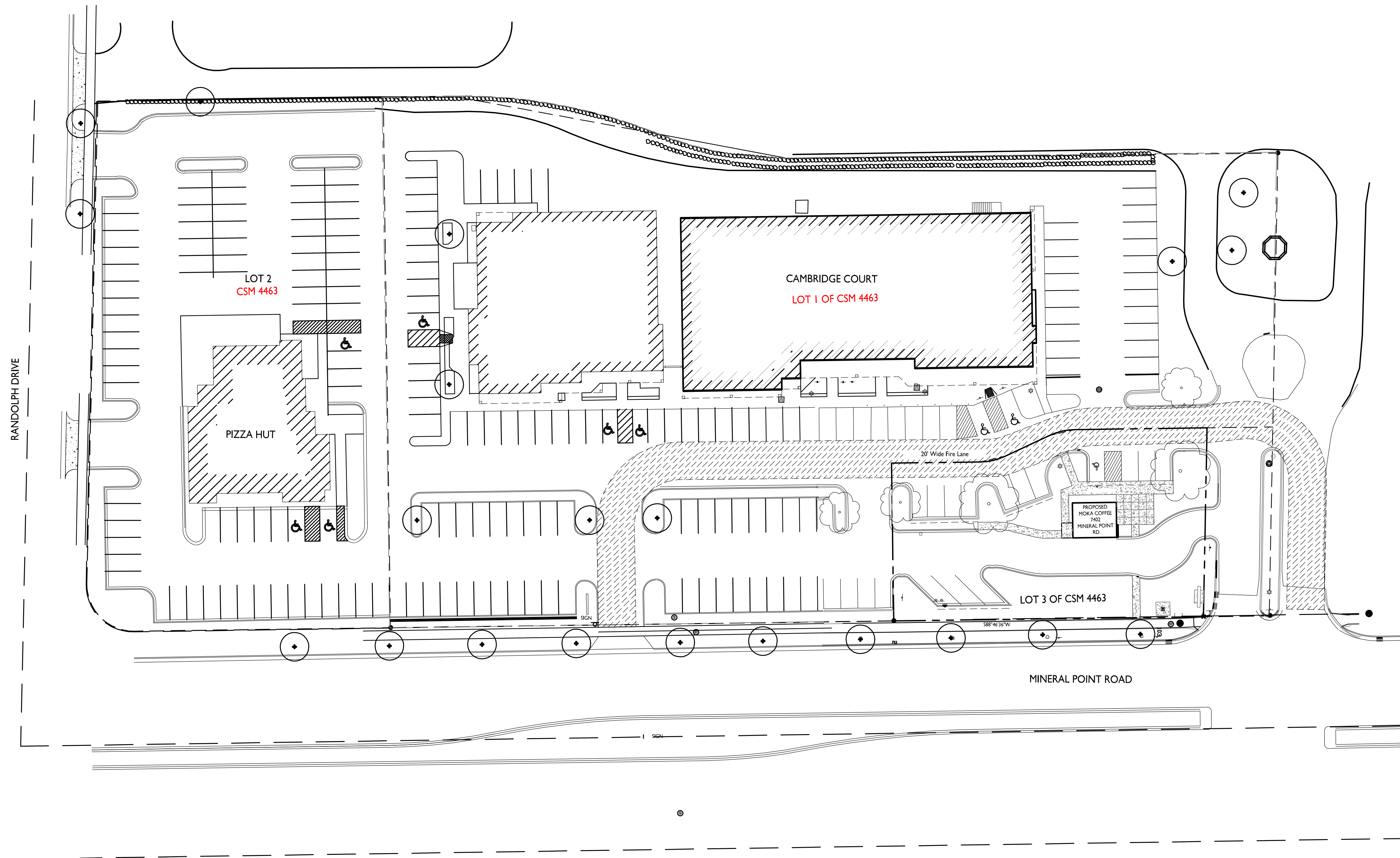
PROJECT TITLE
MOKA Coffee
7402 Mineral Point Road

SHEET TITLE
**Fire Department
Access Plan**

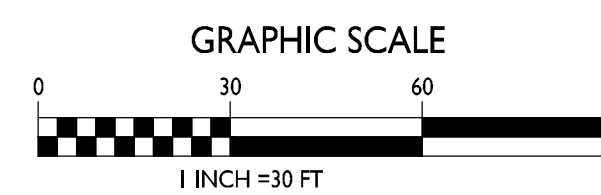
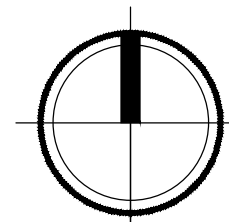
SHEET NUMBER

C-1.3

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FIRE DEPARTMENT ACCESS PLAN
C-1.3 1" = 30'-0"



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Issued for Land Use - Dec. 20, 2017

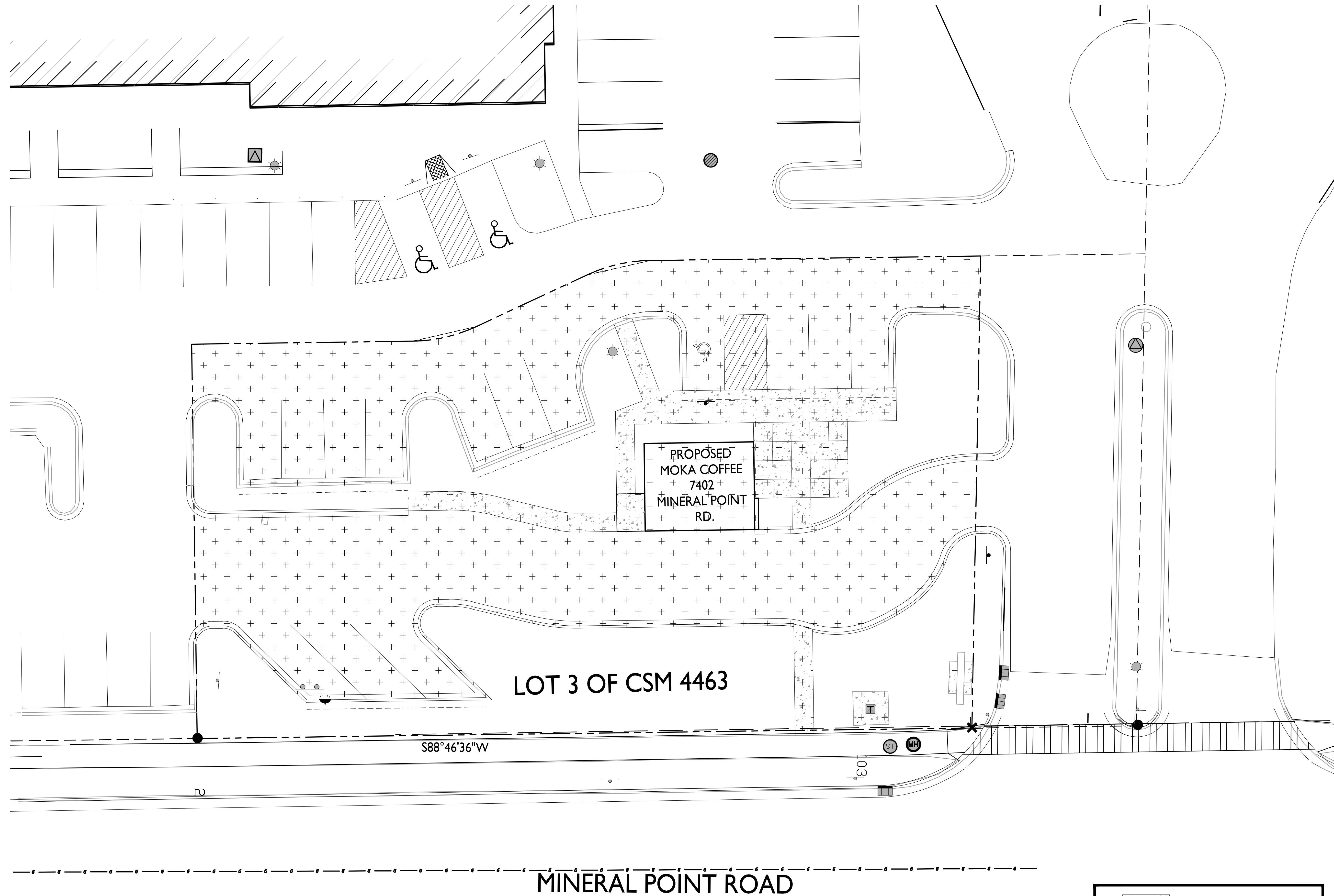
PROJECT TITLE
MOKA Coffee
7402 Mineral Point Road

SHEET TITLE
Lot Coverage

SHEET NUMBER

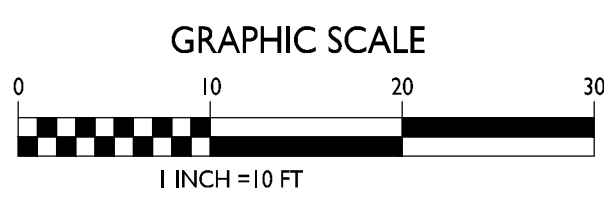
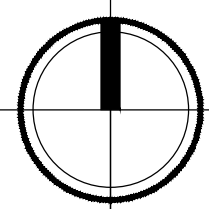
C-1.4

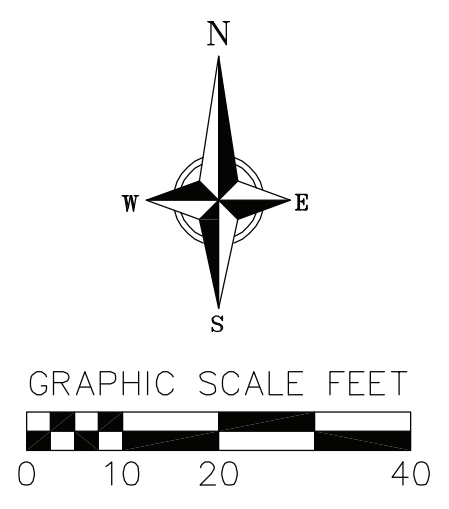
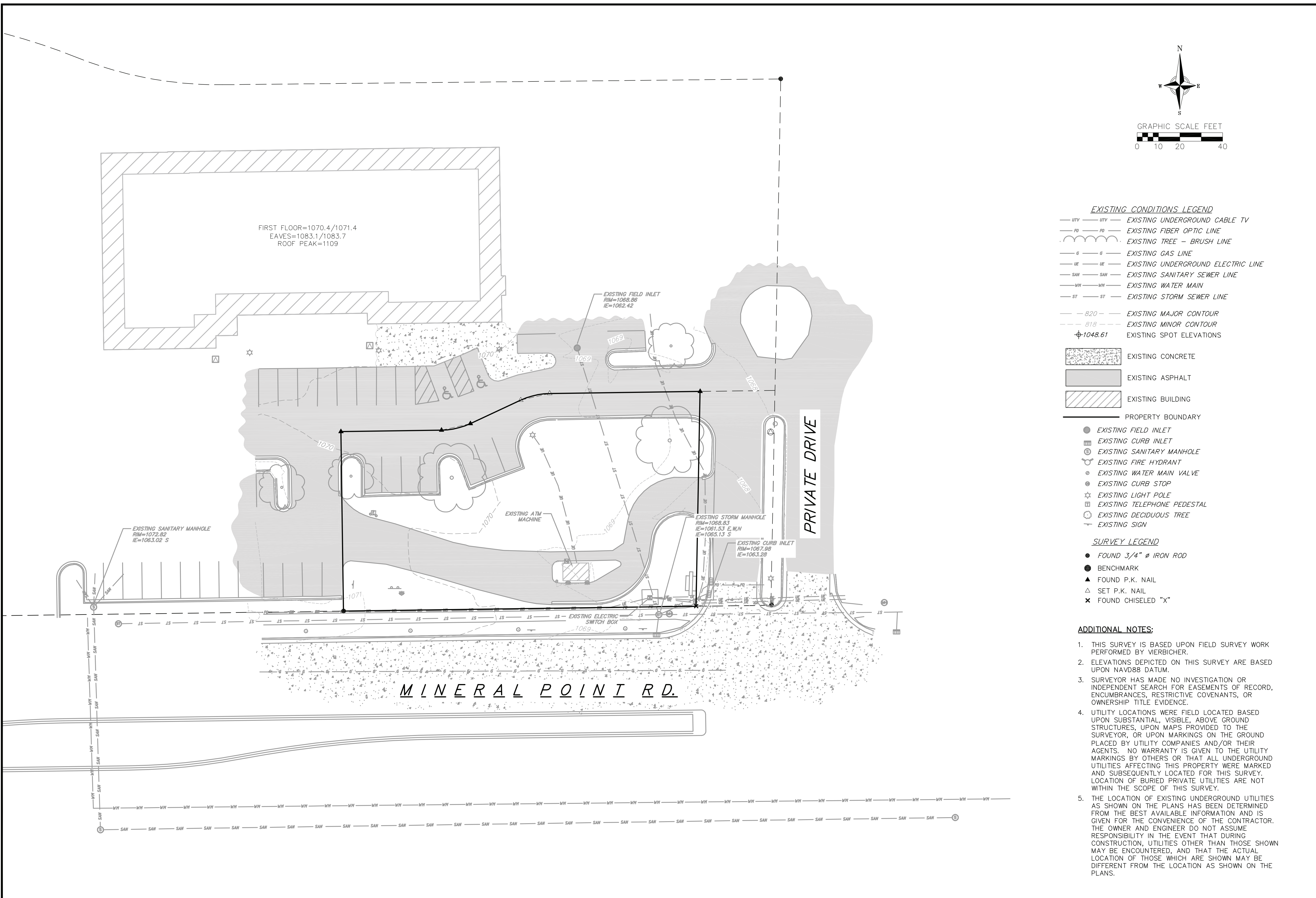
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	LOT COVERAGE
TOTAL NET LOT AREA	=15,548 SF
LOT COVERAGE	=10,202 SF (65.6%)

LOT COVERAGE
C-1.4 1" = 10'-0"





- EXISTING CONDITIONS LEGEND**
- UTV — UTV — EXISTING UNDERGROUND CABLE TV
 - FO — FO — EXISTING FIBER OPTIC LINE
 - B — B — EXISTING TREE - BRUSH LINE
 - G — G — EXISTING GAS LINE
 - UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
 - SAN — SAN — EXISTING SANITARY SEWER LINE
 - WM — WM — EXISTING WATER MAIN
 - ST — ST — EXISTING STORM SEWER LINE
 - 820 — — EXISTING MAJOR CONTOUR
 - 818 — — EXISTING MINOR CONTOUR
 - ⊕ 1048.61 — — EXISTING SPOT ELEVATIONS
- [Pattern] EXISTING CONCRETE
 - [Pattern] EXISTING ASPHALT
 - [Pattern] EXISTING BUILDING
 - — — — — PROPERTY BOUNDARY

- EXISTING FIELD INLET
- ⊕ EXISTING CURB INLET
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER MAIN VALVE
- ⊕ EXISTING CURB STOP
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING TELEPHONE PEDESTAL
- ⊕ EXISTING DECIDUOUS TREE
- ⊕ EXISTING SIGN

- SURVEY LEGEND**
- FOUND 3/4" Ø IRON ROD
 - BENCHMARK
 - ▲ FOUND P.K. NAIL
 - △ SET P.K. NAIL
 - ✕ FOUND CHISELED "X"

- ADDITIONAL NOTES:**
- THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED BY VIERBICHER.
 - ELEVATIONS DEPICTED ON THIS SURVEY ARE BASED UPON NAVD88 DATUM.
 - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OWNERSHIP TITLE EVIDENCE.
 - UTILITY LOCATIONS WERE FIELD LOCATED BASED UPON SUBSTANTIAL, VISIBLE, ABOVE GROUND STRUCTURES, UPON MAPS PROVIDED TO THE SURVEYOR, OR UPON MARKINGS ON THE GROUND PLACED BY UTILITY COMPANIES AND/OR THEIR AGENTS. NO WARRANTY IS GIVEN TO THE UTILITY MARKINGS BY OTHERS OR THAT ALL UNDERGROUND UTILITIES AFFECTING THIS PROPERTY WERE MARKED AND SUBSEQUENTLY LOCATED FOR THIS SURVEY. LOCATION OF BURIED PRIVATE UTILITIES ARE NOT WITHIN THE SCOPE OF THIS SURVEY.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12/19/2017

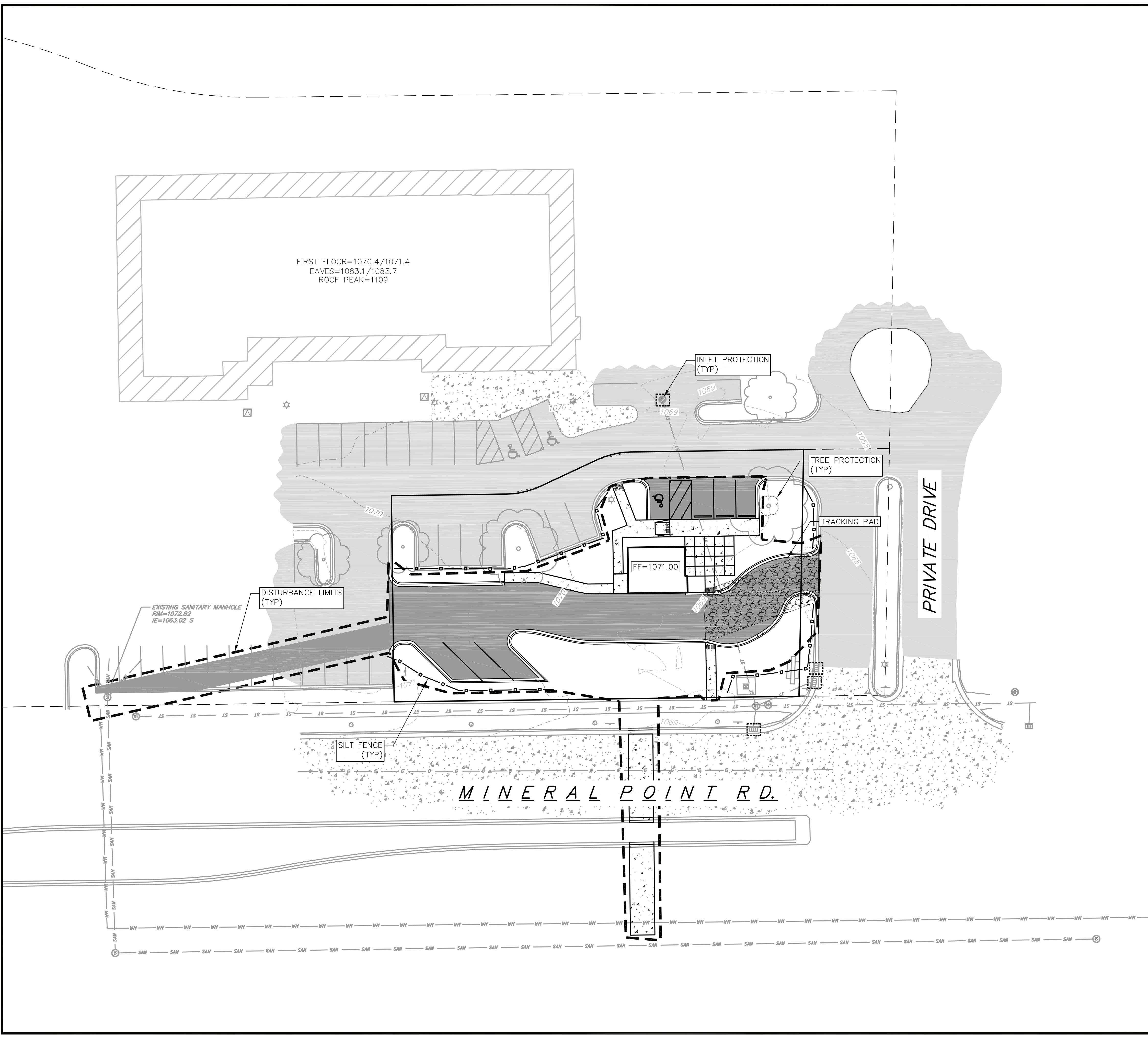
DRAFTER JARC

CHECKED JZAM

PROJECT NO. 160222

SHEET 1 OF 4

DWG. NO. C-20



EROSION CONTROL LEGEND

- EXISTING CURB INLET
- EXISTING SANITARY MANHOLE
- EXISTING LIGHT POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING DECIDUOUS TREE
- SILT FENCE
- DISTURBED LIMITS
- INLET PROTECTION
- TRACKING PAD
- TREE PROTECTION

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
3. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
4. INSTALL WSDOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND WSDOT TYPE A IN FIELD INLETS.
5. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING.
6. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
7. SILT FENCE SHALL BE PLACED AROUND ALL PROPOSED BIORETENTION BASINS TO MINIMIZE SILTATION AND SOIL COMPACTION WITHIN THE BASIN AREAS DURING THE CONSTRUCTION PROCESS. ONLY EXCEPTION IS IN THE AREA OF THE TEMPORARY SEDIMENT TRAPS AT THE NORTH AND SOUTH SIDE OF THE PROJECT AREA.

TREE PROTECTION NOTE:

1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
 -[HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF](http://www.cityofmadison.com/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF). ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

vierbicher
 planners | engineers | architects
 REEDSBURG - MADISON - FRASER DU CHEN
 4000 LINDEN AVENUE, SUITE 200, REEDSBURG, WI 53150
 PHONE: (608) 524-4448 FAX: (608) 524-4218

Erosion Control Plan
 Moka Coffee - 7402 Mineral Point Road
 City of Madison
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12/19/2017

DRAFTER JARC

CHECKED JZAM

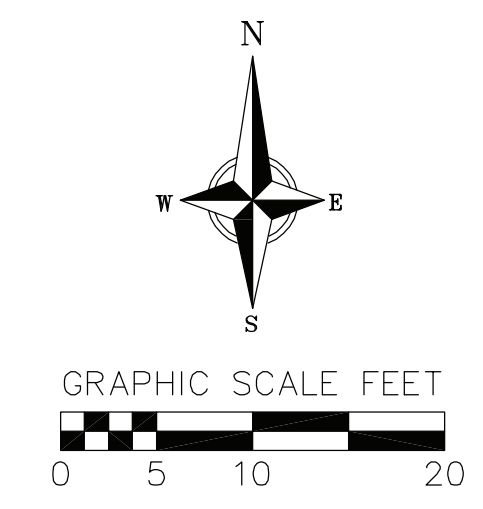
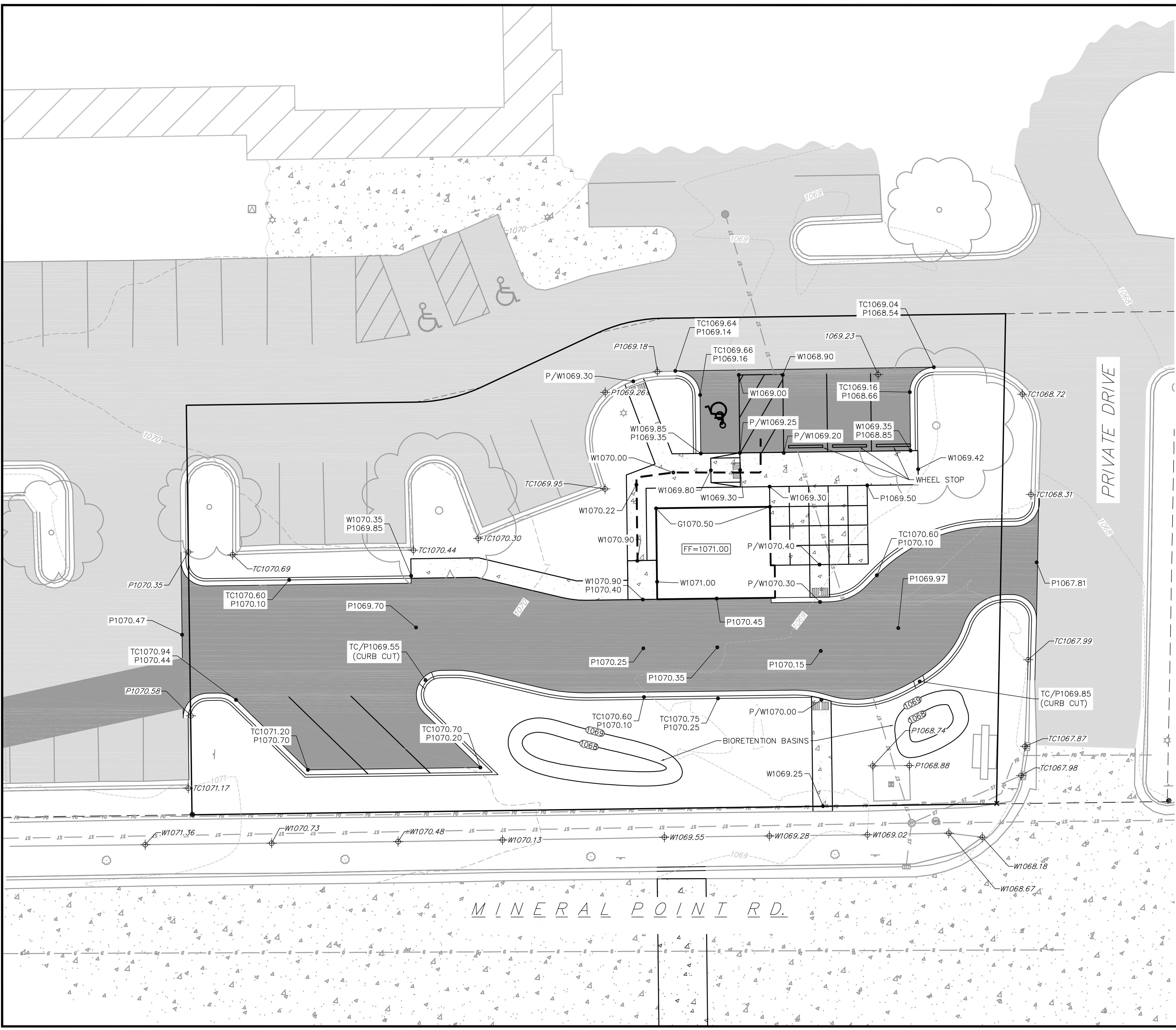
PROJECT NO. 160222

SHEET 2 OF 4

DWG. NO. C-30

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19 Dec 2017 - 12:35p M:\Flood Development\160222_7402 Mineral Point Rd, Madison\CADD\160222_Base.dwg by:jarc

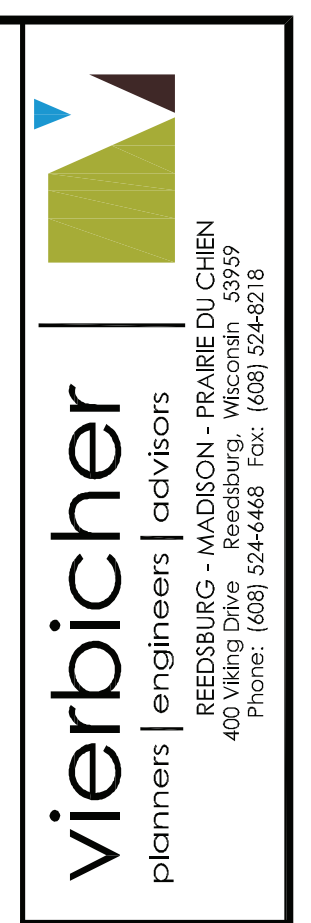


- GRADING LEGEND**
- 820 --- EXISTING MAJOR CONTOURS
 - 818 --- EXISTING MINOR CONTOURS
 - 820 --- PROPOSED MAJOR CONTOURS
 - 818 --- PROPOSED MINOR CONTOURS
 - --- ADA ROUTE
 - 2.92% PROPOSED SLOPE ARROWS
 - ⊕ 1048.61 EXISTING SPOT ELEVATIONS
 - ⊕ 1048.61 PROPOSED SPOT ELEVATIONS

- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - ⊕ PROPOSED HANDICAP PARKING
 - EXISTING CONCRETE
 - EXISTING ASPHALT
 - EXISTING BUILDING
 - ⊕ EXISTING HANDICAP PARKING
 - ADA ACCESSIBLE RAMPS
- ABBREVIATIONS**
- TC - TOP OF CURB
 - P - PAVEMENT
 - R - RIM
 - FF - FIRST FLOOR
 - W - SIDEWALK
 - G - GROUND

GRADING PLAN/SITE CONSTRUCTION NOTES:

- CURB FACE HEIGHT SHALL BE 6 INCHES.
- CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
- CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ADA REQUIREMENTS SPECIFY PARKING STALLS SLOPE MUST BE LESS THAN 2% IN ANY DIRECTION. ADA WALKWAYS MUST NOT EXCEED 5% SLOPE IN LONGITUDINAL DIRECTION WITHOUT A RAILING AND 8.3% WITH A RAILING. THE CROSS SECTION SLOPE OF AN ADA WALKWAY MUST NOT EXCEED 1.5% SLOPE.
- ALL GRADES ARE FINISHED GRADES.
- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AN CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- CONTRACTOR TO OBTAIN CITY DRIVEWAY PERMIT PRIOR TO CONSTRUCTION.



Grading Plan
 Moka Coffee - 7402 Mineral Point Road
 City of Madison
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12/19/2017

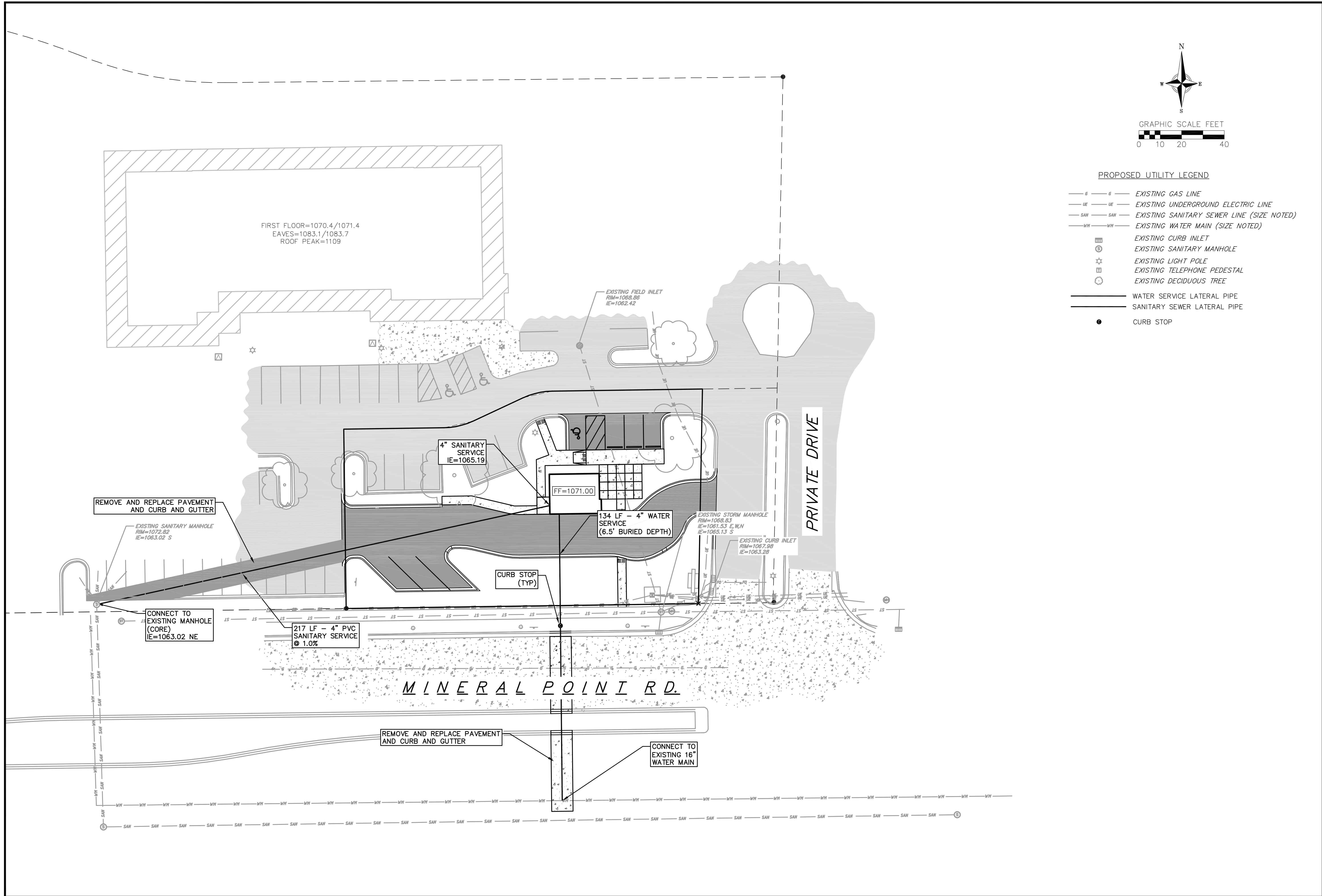
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PROJECT NO. 160222

SHEET 3 OF 4

DWG. NO. C-40



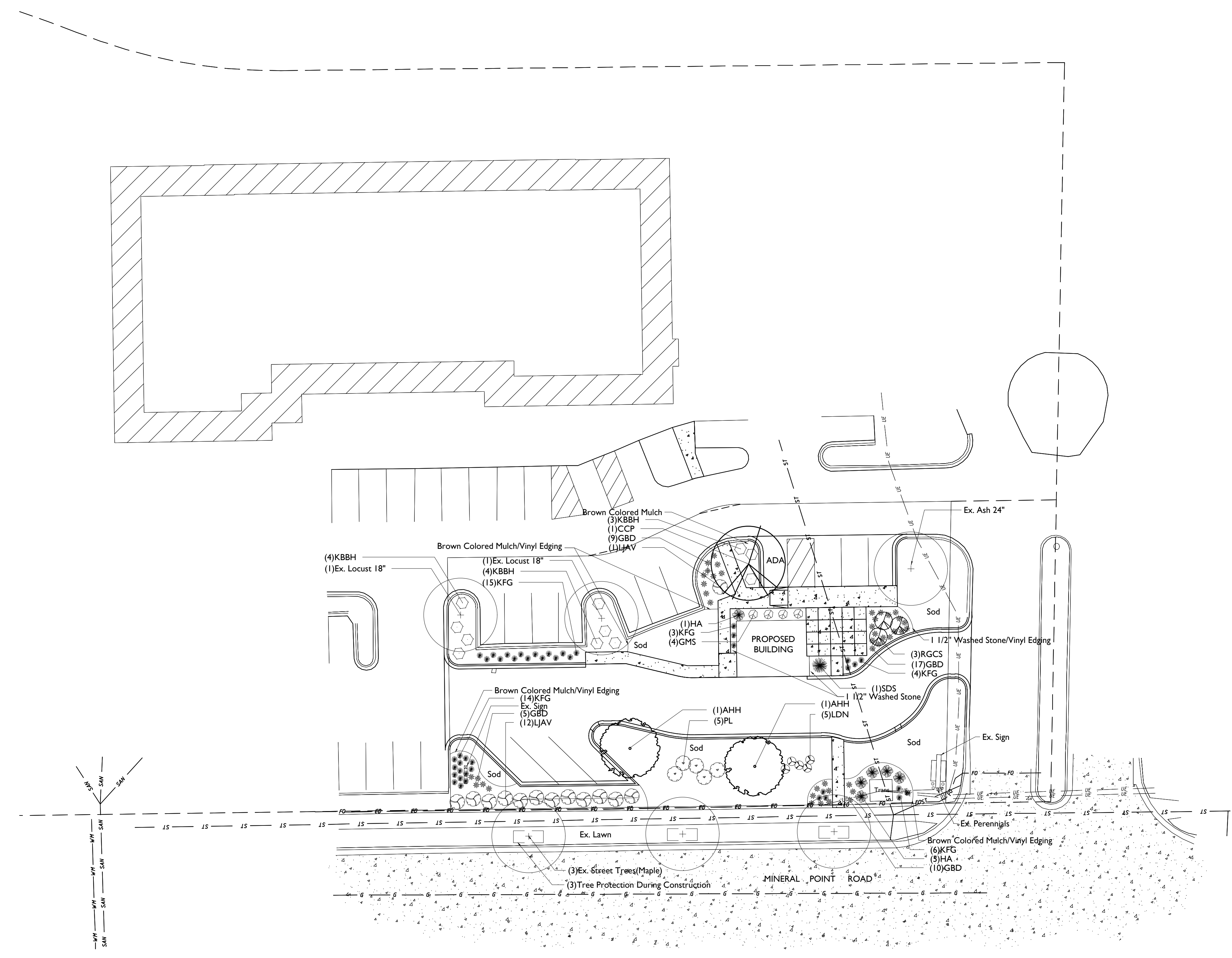
REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN
 DATE 12/19/2017
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 CHECKED JZAM
 PROJECT NO. 160222
 SHEET 4 OF 4
 DWG. NO. C-5.0

Plant Material List				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
Broadleaf Deciduous				
3	RGCS	Royal Gem Crabapple (std)	Malus 'royal Gem' (std)	2" B&B
3	CCP	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	2 1/2" B&B
Conifer Evergreen				
1	SDS	Sester Dwarf Blue Spruce	Picea Pungens 'sester Dwarf'	#10 CONT.
6	HA	Holmstrup Arborvitae	Thuja Occidentalis 'holmstrup'	4' B&B
Perennial				
42	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
41	GBD	Going Bananas Daylily	Hemerocallis 'going Bananas'	#1 CONT.
Shrub				
11	KBBH	Kodiak Black Bush-Honeysuckle	Diervilla Rivularis 'smndrsf'	#3 CONT.
5	LDN	Little Devil Ninebark	Physocarpus Opulifolius 'donna May'	#3 CONT.
4	GMS	Gold Mound Spirea	Spiraea Japonica 'gold Mound'	#3 CONT.
5	PL	Palibin Lilac	Syringa Meyer 'palibin'	#7 CONT.
13	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'kjmseventeen'	#5 CONT.

GENERAL NOTES

- A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
 10% Palmer IV Perennial Ryegrass
 20% Dragon Kentucky Bluegrass
 20% Diva Kentucky Bluegrass
 20% Foxy II Creeping Red Fescue
 15% Vail II Perennial Ryegrass
 15% Ginney Kentucky Bluegrass
- G) Areas labeled "Seed with Straw Erosion Matting" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control netting that is then pegged into the soil with metal staples.
- H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.
- J) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction-
<http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/PartI.pdf>.
- K) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



MOKA COFFEE SHOP
 MINERAL POINT ROAD
 MADISON, WISCONSIN

Checked By: SS
 Drawn By: 12/20/17
 RS

- Revised:
- Revised:
- Revised:
- Revised:
- Revised:
- Revised:
- Revised:

L-1.0

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12/18/2017 12:18:20 PM CAOSTEVE SHORT MOKA COFFEE SHOP L10.CLDWG Created: 12/12/2017, Saved: 12/18/2017, Printed: 12/18/2017

MADISON LANDSCAPE WORKSHEET



LANDSCAPE ARCHITECT
 LANDSCAPE CONTRACTOR
 2830 PARMENTER STREET
 P.O. BOX 620330
 MIDDLETON, WI 53562-4
 TEL (608) 836-7041
 FAX (608) 831-6266

Zoning district is C2
 Total square footage of developed area9,655 SF
 Total square footage of first 5 acres of developed area ÷ 300 square feet =32 Landscape Units
 Total square footage of 0 additional acres of developed area ÷ 100 square feet =0 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED
 32 Landscape Units x 5 landscape points for first 5 acres..... 160 points
 0 Landscape Units x 1 landscape point for additional ___ acres.....0 points
TOTAL LANDSCAPE POINTS REQUIRED.....160 points

PLANT TYPE or ELEMENT	Point Value	NEW		EXISTING		TOTAL POINTS PROVIDED
		Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree : 2-1/2" (dbh)	35	2	70	3	105	
Tall Evergreen Tree : 5-6 feet tall	35					
Ornamental Tree : 1-1/2" Caliper (dbh)	15	4	60			
Upright Evergreen Shrub : 3-4 feet tall	10	7	70			
Shrub, deciduous : 3 gallon / 12"-24"	3	38	114			
Shrub, evergreen : 3 gallon / 12"-24"	4					
Ornamental grass/perennial : 1gallon / 8"-18"	2	83	164			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	14 per Cal. In.					
Landscape furniture for public seating and /or transit connections	5 per 'seat'					
Sub Totals			478	+	105	= 583

Street Frontage Landscape Required
 Street Frontage = 164 LF
 Canopy Trees Required: 1 per 30 LF Frontage = 5
 Shrubs Required : 5 per 30 LF Frontage = 28

Street Frontage Landscape Supplied
 Proposed Canopy Trees =5
 Proposed Shrubs =39

MOKA COFFEE SHOP
 MINERAL POINT ROAD
 MADISON, WISCONSIN

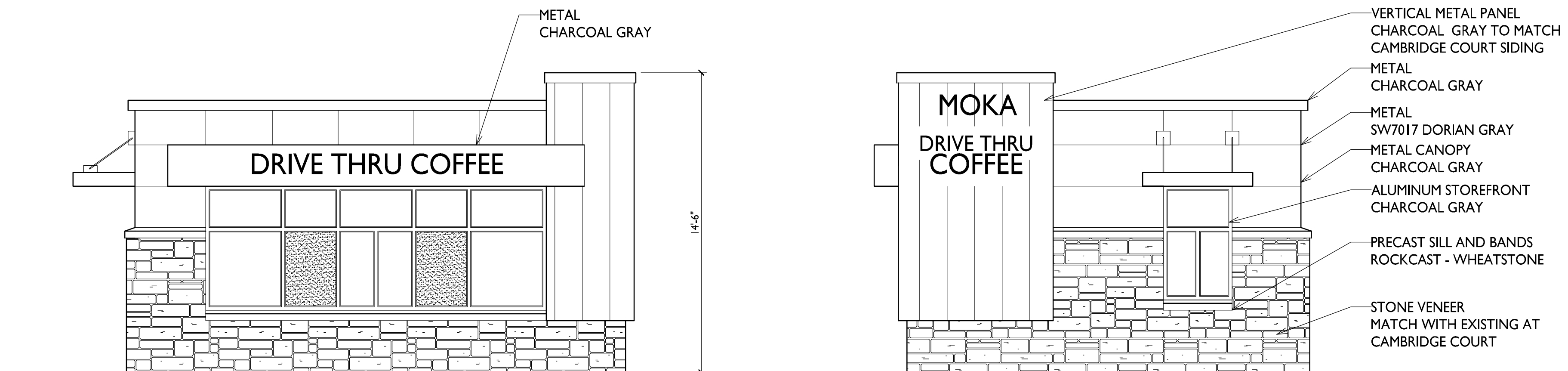
Checked By: SS
 Drawn By: 12/20/17
 RS

Revised:
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L-2.1

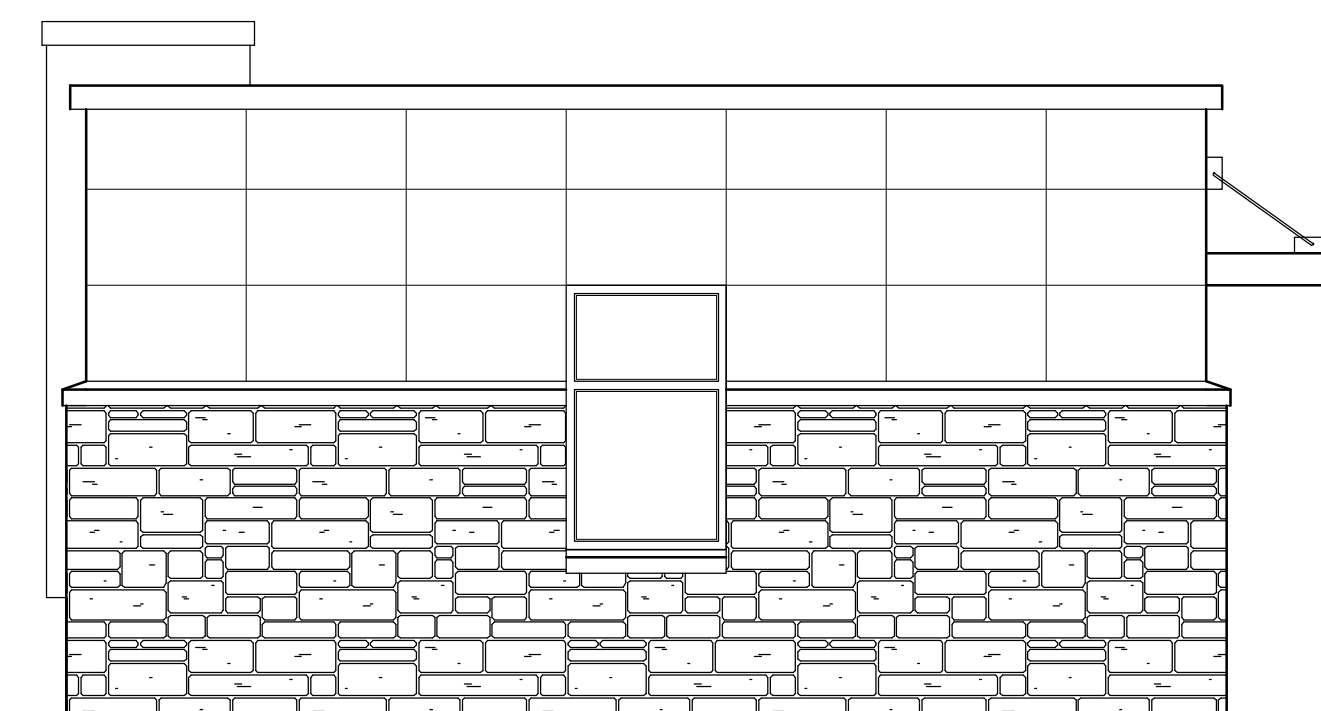
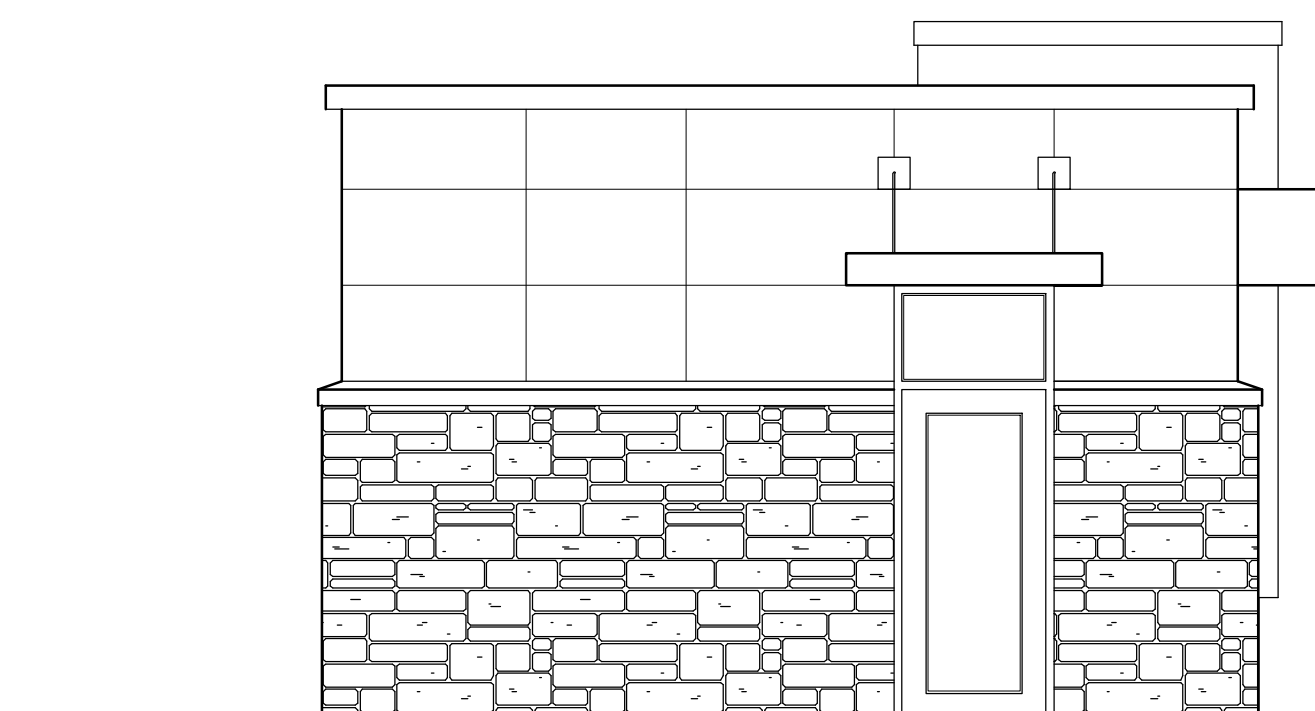
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TYPICAL MATERIALS



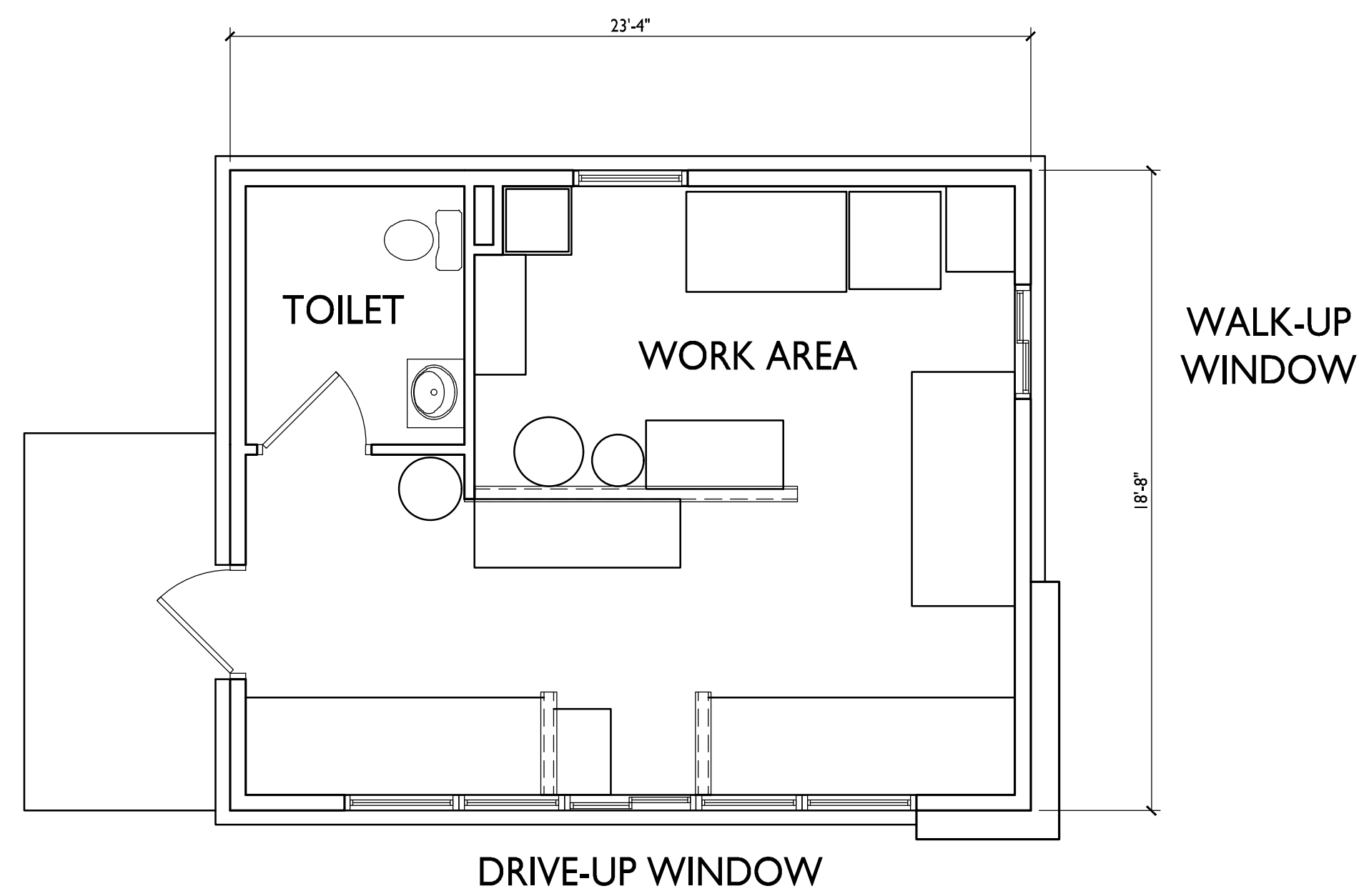
2 South Elevation
A-1.1 1/4"=1'-0"

3 East Elevation
A-1.1 1/4"=1'-0"

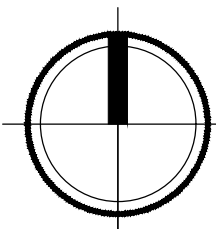


4 West Elevation
A-1.1 1/4"=1'-0"

5 North Elevation
A-1.1 1/4"=1'-0"



1 Floor Plan
A-1.1 1/8"=1'-0"



ISSUED
Issued for Land Use Submittal - Dec. 20, 2017

PROJECT TITLE
MOKA Coffee
7402 Mineral Point Road

SHEET TITLE
Floor Plan & Elevations

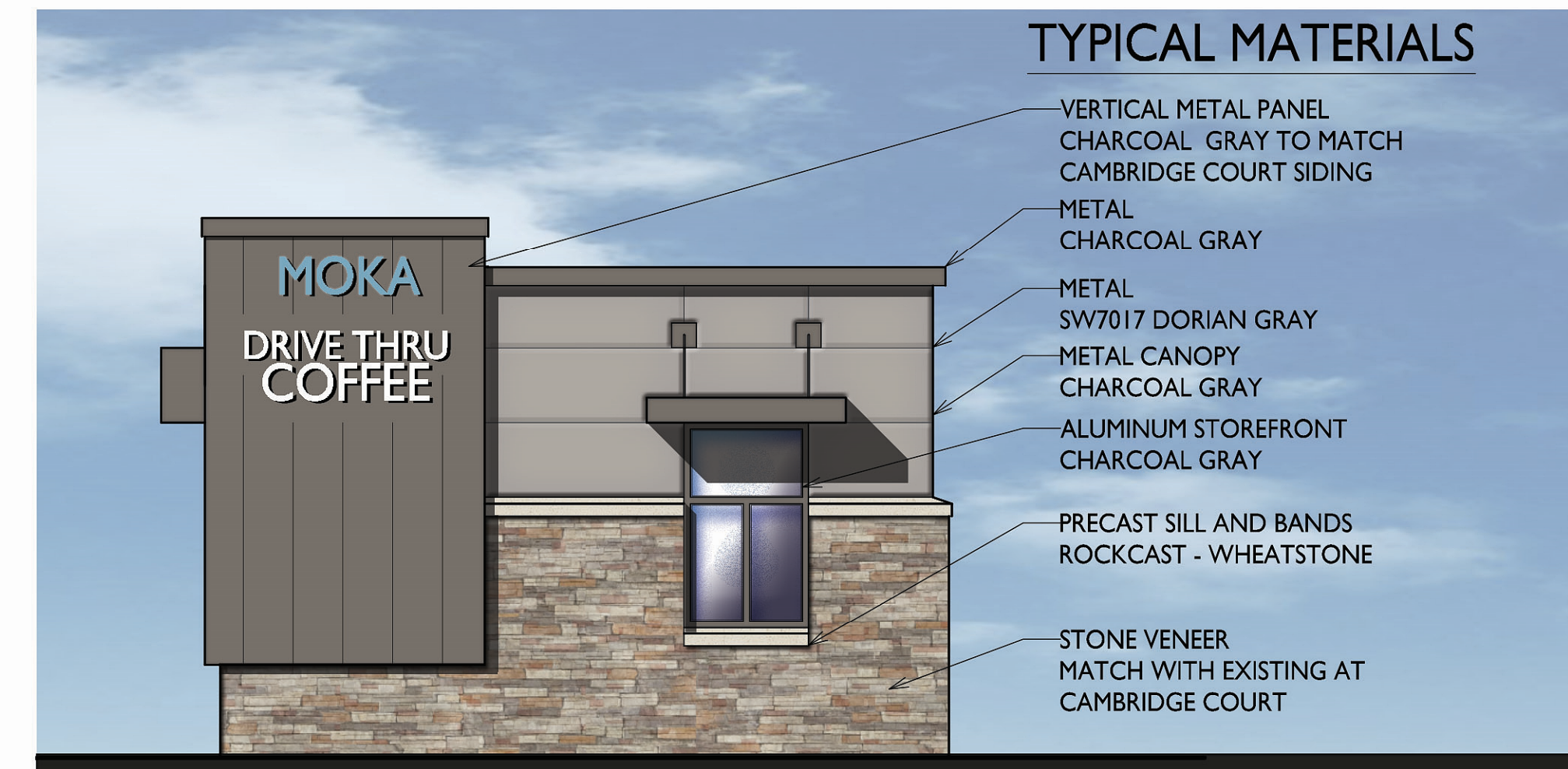
SHEET NUMBER

A- 1.1

PROJECT NO. **1628**
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South Elevation



East Elevation



West Elevation



North Elevation