



# City of Madison

## Proposed Demolition

Location  
6018 North Highlands Avenue

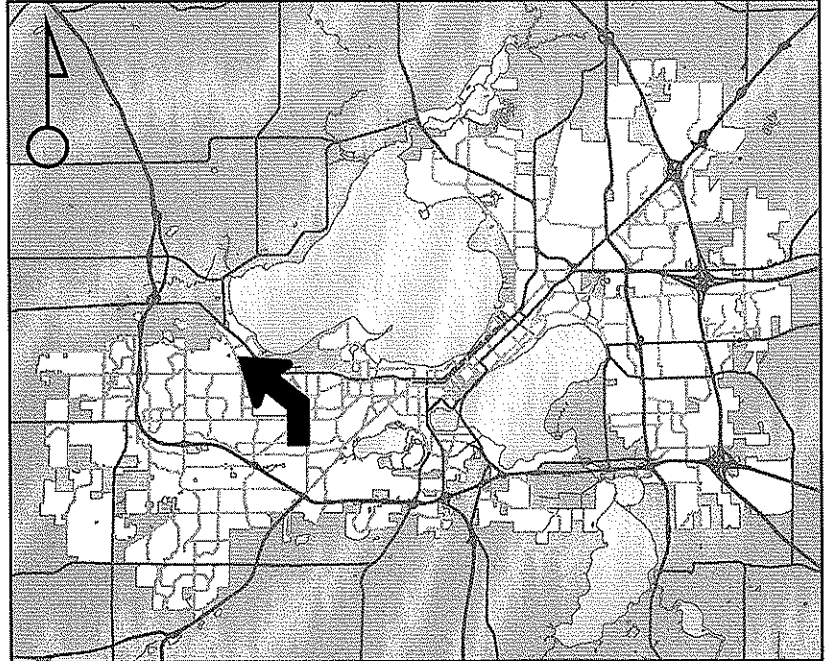
Project Name  
Sekelsky Demo

Applicant  
Jay & Katie Sekelsky/Jason Franzen –  
Hart DeNoble Builders, Inc

Existing Use  
Single-Family Home

Proposed Use  
Demolish Single-Family Home  
and Construct New Residence

Public Hearing Date  
Plan Commission  
01 December 2008

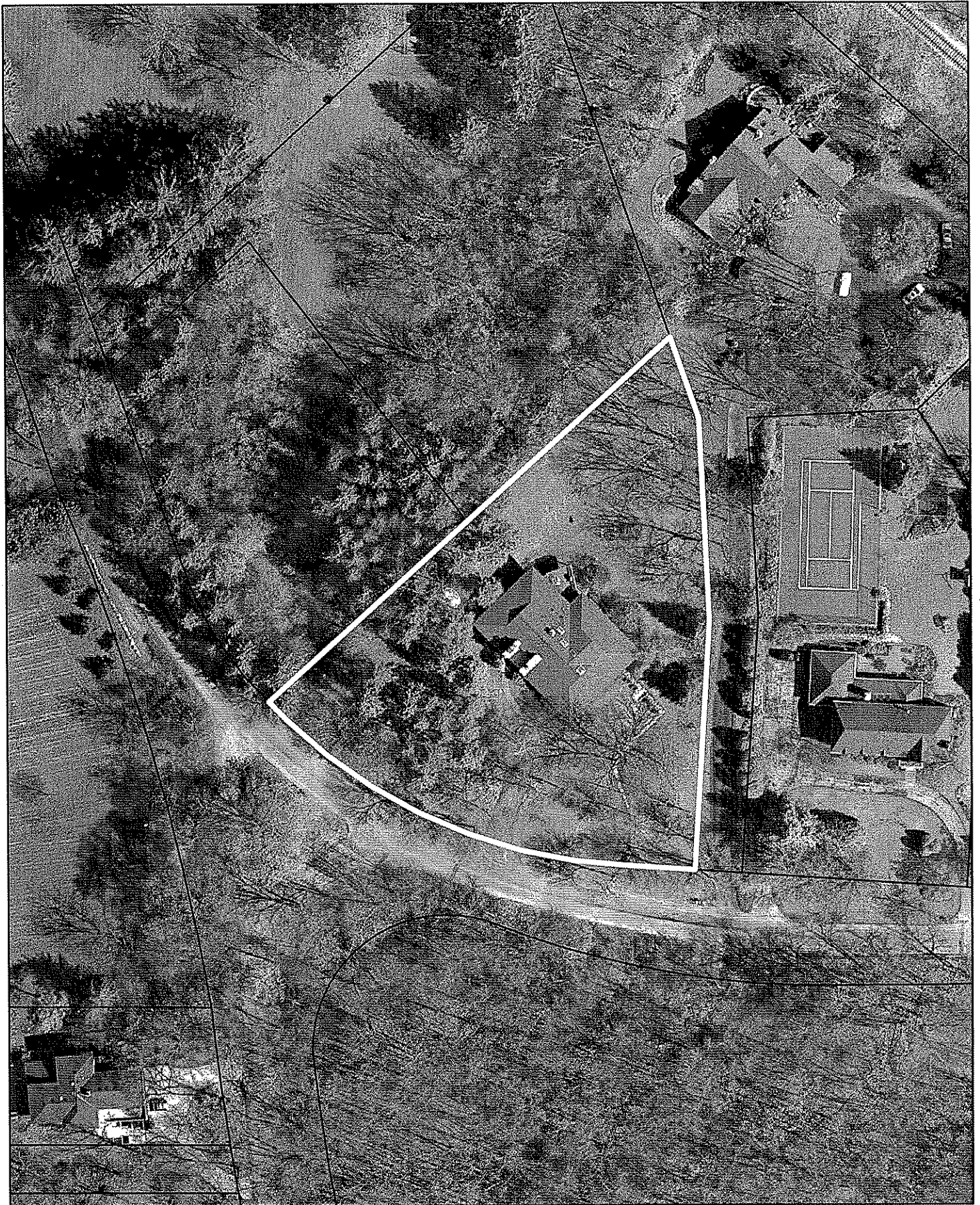


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 18 November 2008





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>550</u> Receipt No. <u>95519</u>
Date Received	<u>10/15/08</u>
Received By	<u>PIDA</u>
Parcel No.	<u>0708-131-1105-5</u>
Aldermanic District	<u>19 MARIL CLEAR</u>
GQ	<u>R1-R</u>
Zoning District	<u>R1-R</u>
<b>For Complete Submittal</b>	
Application	<input checked="" type="checkbox"/> Letter of Intent <input checked="" type="checkbox"/>
IDUP	<input type="checkbox"/> Legal Descript. <input checked="" type="checkbox"/>
Plan Sets	<input checked="" type="checkbox"/> Zoning Text <input type="checkbox"/>
Alder. Notification	<input type="checkbox"/> Waiver <input checked="" type="checkbox"/>
Ngrhhd. Assn Not.	<input type="checkbox"/> Waiver <input type="checkbox"/>
Date Sign Issued	<input type="checkbox"/>

1. Project Address: 6018 NORTH HIGHLANDS AVE Project Area in Acres: 1.28

Project Title (if any): SEKELSKY DEMO

2. This is an application for: (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/ PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/ PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: JAY & KATIE SEKELSKY Company: \_\_\_\_\_  
Street Address: 4268 BLACKSTONE CT. City/State: MIDDLETON, WI Zip: 53562  
Telephone: (608) 831-4095 Fax: ( ) Email: \_\_\_\_\_

Project Contact Person: JASON FRANZEN Company: HART DENOBLE BUILDERS, INC.  
Street Address: 7923 AIRPORT RD. City/State: MIDDLETON, WI Zip: 53562  
Telephone: (608) 831-4422 Fax: (608) 831-8272 Email: JFRANZEN@DENOBLEBUILDERS.COM

Property Owner (if not applicant): \_\_\_\_\_  
Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Project Information:

Provide a general description of the project and all proposed uses of the site: DEMOLITION OF EXISTING STRUCTURE BUILD NEW SINGLE FAMILY RESIDENCE

Development Schedule: Commencement DECEMBER 15TH, 2008 Completion SEPTEMBER 09<sup>th</sup> 11

**5. Required Submittals:**

- **Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- **Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- **Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail.
- **Filing Fee:** \$ 550<sup>00</sup> See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

- For any applications proposing demolition of existing buildings, **photos** of the interior and exterior of the structure(s) to be demolished shall be submitted with your application. Be advised that a **Reuse and Recycling Plan** approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A ~~Zoning Text~~ must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.
- **FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
  - The site is located within the limits of the: COMPREHENSIVE Plan, which recommends: LOW-DENSITY RESIDENTIAL for this property.
- **Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
  - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:  
MARK CLEAR (ALDER), JACK WALKER (NEIGHBORHOOD ASSOC. PRESIDENT)
  - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- **Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.  
 Planner TIM PARKS Date 10/6/08 | Zoning Staff PAT ANDERSON Date 10/6/08

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name JASON FRANZEN Date 10/15/08  
 Signature [Signature] Relation to Property Owner AGENT (GENERAL CONTRACTOR)

→ Authorizing Signature of Property Owner Catherine Sebelsky Date 10/15/08

October 15, 2008

City of Madison Plan Commission  
210 Martin Luther King, Jr. Blvd  
Madison, WI 53710

Re: Letter of Intent for Demolition Permit for 6018 N. Highlands Ave.

Dear Plan Commission Members:

This submittal is for a demolition permit for 6018 N. Highlands Avenue in the City of Madison. The parcel is currently occupied by a residential dwelling. This application is associated with the construction of a new single family home on the same site. The planned new dwelling is a four bedroom, ranch-style home with an attached three car garage.

***Existing Conditions***

The current dwelling is a four bedroom, single family home with a two car garage. Inspection of the existing dwelling revealed numerous structural deficiencies detailed in the Property Inspection Report included with this submission, including leaking chimneys, rotting window frames and mold. A significant concern relates to the mold discovered in various places as this could pose a serious health risk. We have found that based on our research and the Haack Homestead Inspections report that it could cost us as much or even more than the current appraised value of the home to repair and or replace its current deficiencies.

***Development Schedule***

Subject to receipt of the appropriate approvals, the intent is to complete demolition of the existing dwelling by year-end and construction of the new dwelling within seven to nine months of the commencement of work.

***Parties Involved***

The following parties are involved in the redevelopment of this site:


Owner:	Jay and Catherine Sekelsky, 4268 Blackstone Court, Middleton, WI 53562 (608-831-4095)
Builder/Designer:	Hart DeNoble Builders. 7923 Airport Road, Middleton, WI 53562 (608-831-4422).
Planned Square Footage:	3,723 on the main level and 2,821 on the lower level.
Parking stalls:	Three

***Legal Description***

Lot Three (3) of Certified Survey Map No 1908 as recorded in Dane County, Wisconsin Register of Deeds Office in Volume 8 of Certified Survey Maps, Page 16, as Document No. 1456062 in the City of Madison, Dane County, Wisconsin.

Thank you for your consideration.

Respectfully,

  
Catherine Sekelsky  
Jay and Catherine Sekelsky

EXISTING STRUCTURE 



SCALE: 1"=40'-0"

N 47°24'31" E  
330.56'

40' SETBACK

86.45'

M 19°16'1" N  
52.75'  
10.00'

120.00'  
N 3°16'23" W

EXISTING HOUSE

PROPOSED HOUSE

DECK

SCREEN PORCH

30.20'

36.42'

EXISTING GARAGE

PROPOSED GARAGE

COVERED PORCH

COVERED PORCH

EXISTING DRIVEWAY

155.25'  
N 3°06'31" E

83.78'


NORTH HIGHLANDS AVENUE

40.00'  
N 86°53'29" W

SITE PLAN	
DATE:	REV 10/15/2008
SCALE:	1"=40'-0"
REVISION	SHEET 1
VER. 10	1

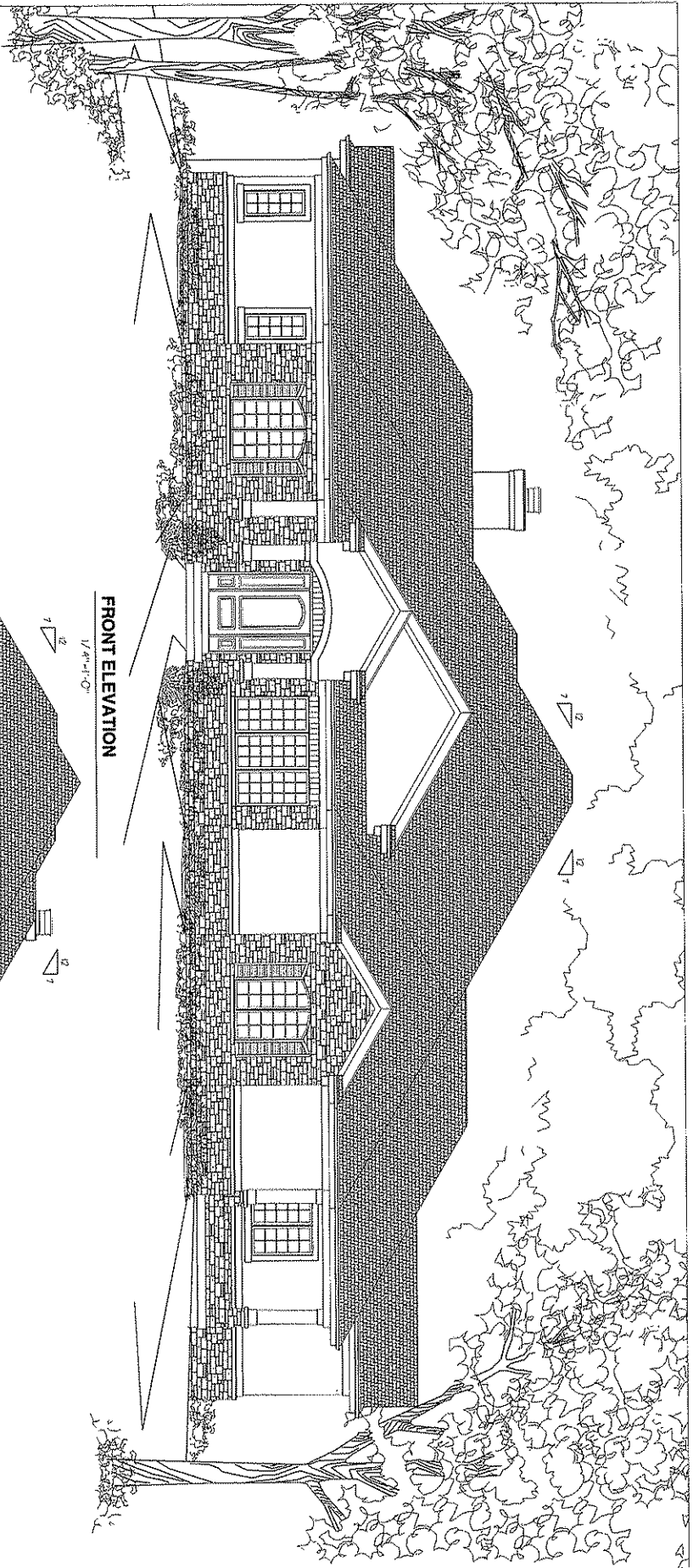
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STEVEN T. HUNTER  
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WITHOUT PRIOR WRITTEN PERMISSION  
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Property Of:

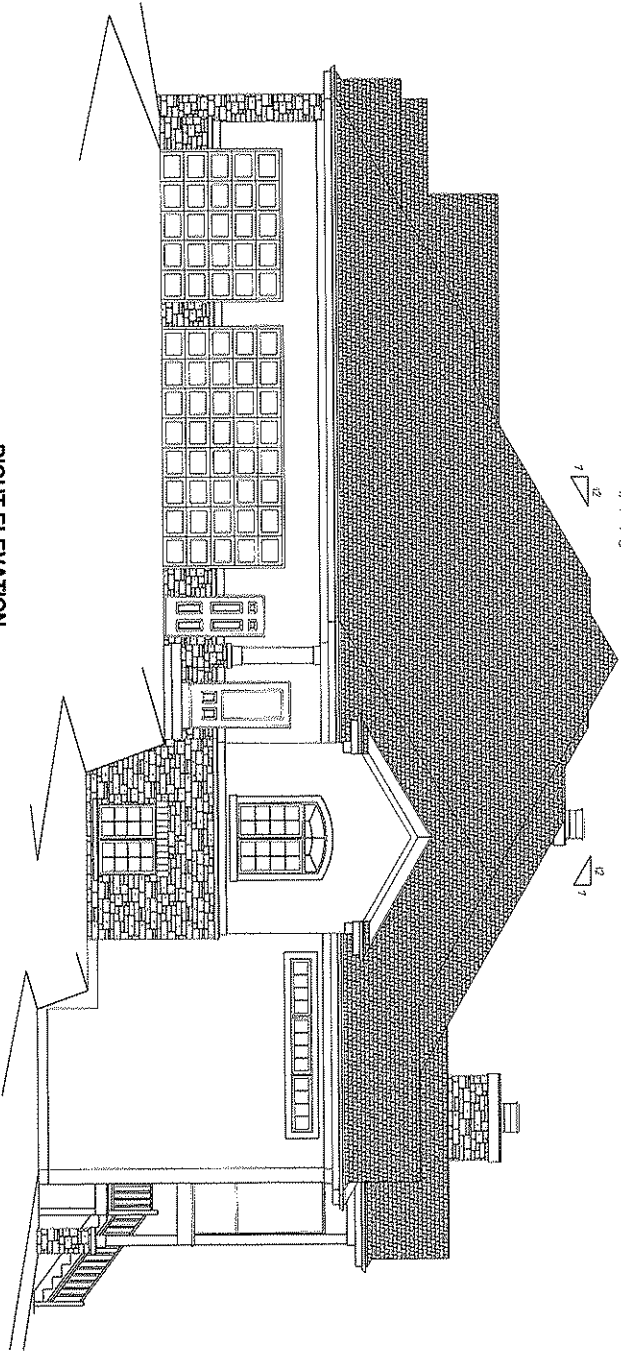


7023 Airport Road  
Middleton, WI 53562  
Office (608) 831-4422  
Fax (608) 831-8272  
www.denoblebuilders.com

NEW RESIDENCE FOR:  
**KATIE AND JAY SEKELSKY**  
**LOT# 3 6018 NORTH HIGHLANDS AVENUE**  
**CITY OF MADISON, DANE COUNTY, WISCONSIN**



FRONT ELEVATION  
1/4" = 1'-0"



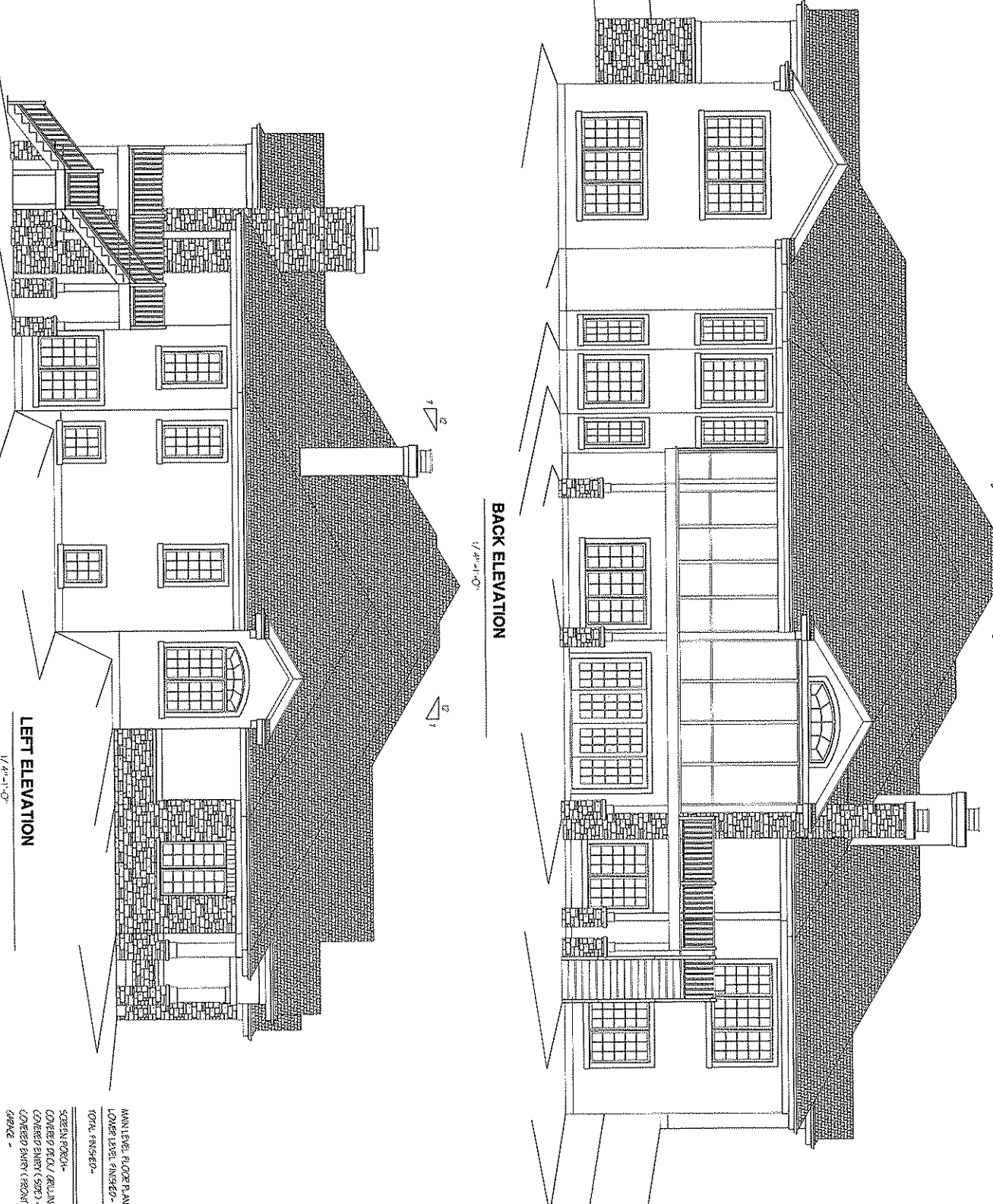
RIGHT ELEVATION  
1/4" = 1'-0"

MAIN LEVEL FLOOR PLAN - 3744 SQ. FT.  
 LOWER LEVEL FINISHED - 2824 SQ. FT.  
 TOTAL FINISHED - 6568 SQ. FT.  
 SCREEN PORCH - 455 SQ. FT.  
 COVERED PORCH / DRILLING - 200 SQ. FT.  
 COVERED ENTRY (5950) - 247 SQ. FT.  
 COVERED ENTRY (FRONT) - 1029 SQ. FT.  
 GARAGE -

DATE	6/17/2008
BY	1
REV	7
VER	10

FLOOR PREPARED BY  
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 7024 Airport Road  
 Madison, WI 53704  
 (608) 831-4422  
 FAX (608) 831-0272  
 www.denoblebuilders.com

NEW RESIDENCE FOR:  
**KATIE AND JAY SEKELSKY**  
**LOT# 3 6018 NORTH HIGHLANDS AVENUE**  
**CITY OF MADISON, DANE COUNTY, WISCONSIN**



BACK ELEVATION

LEFT ELEVATION

MANUAL FLOOR PLAN - 3744 SQ. FT.  
 LOWER LEVEL FINISHED - 2834 SQ. FT.  
 TOTAL FINISHED - 6568 SQ. FT.  
 SCREEN PORCH - 455 SQ. FT.  
 COVERED PORCH / AWNING - 210 SQ. FT.  
 COVERED ENTRY (SOPD) - 72 SQ. FT.  
 COVERED ENTRY (FRONT) - 297 SQ. FT.  
 GARAGE - 1025 SQ. FT.

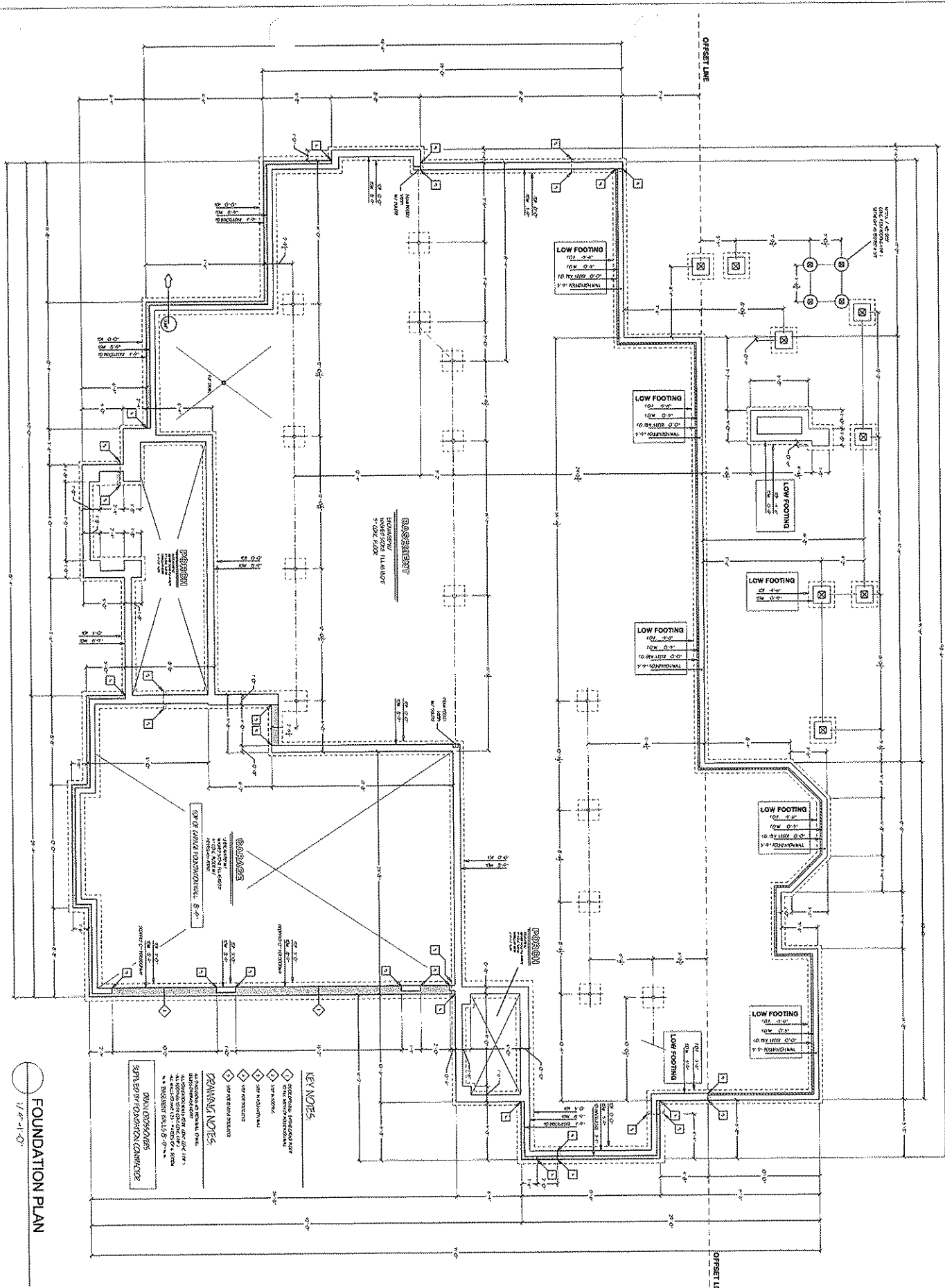
REVISIONS	DATE	BY	APP.
1	1/4/11	JD	JD
2			

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 53506006, WI 53506  
 Office (608) 631-4422  
 Fax (608) 631-4272  
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**KATIE AND JAY SEKELSKY**  
**LOT# 3 6018 NORTH HIGHLANDS AVENUE**  
**CITY OF MADISON, DANE COUNTY, WISCONSIN**





FOUNDATION PLAN  
1/8" = 1'-0"

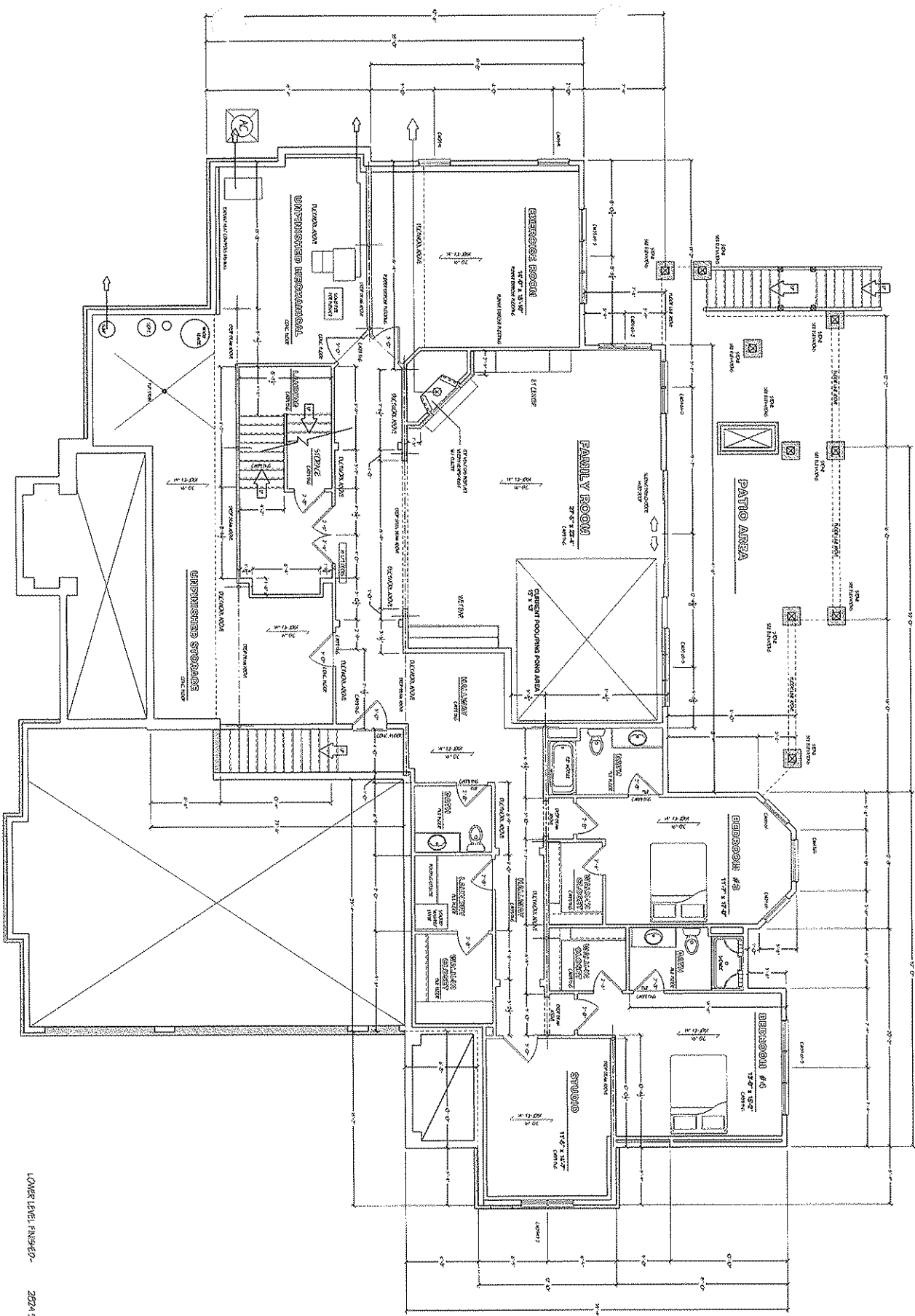
- KEY NOTES**
- 1. ALL FOUNDATION FOOTINGS TO BE CONCRETE ON GRADE
  - 2. ALL FOUNDATION WALLS TO BE CONCRETE ON GRADE
  - 3. ALL FOUNDATION WALLS TO BE 12" THICK
  - 4. ALL FOUNDATION WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD
  - 5. ALL FOUNDATION WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD
  - 6. ALL FOUNDATION WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD
- GENERAL NOTES**
- 1. ALL FOUNDATION FOOTINGS TO BE CONCRETE ON GRADE
  - 2. ALL FOUNDATION WALLS TO BE CONCRETE ON GRADE
  - 3. ALL FOUNDATION WALLS TO BE 12" THICK
  - 4. ALL FOUNDATION WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD
  - 5. ALL FOUNDATION WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD
  - 6. ALL FOUNDATION WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD
- PLAN OBSERVERS**
- SEAN SPITZ FOUNDATION CONSULTING

FOUNDATION PLAN	DATE: 06/19/2008
REV: 01/24/07	SCALE: 1/8" = 1'-0"
VER. 10	3

OWNER: STEVEN T. HANSEN  
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 7293 Alport Road, Madison, WI 53719  
 (608) 831-4422  
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 7293 Alport Road, Madison, WI 53719  
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 Fax: (608) 831-4822  
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**LOT# 3 6018 NORTH HIGHLANDS AVENUE**  
**CITY OF MADISON, DANE COUNTY, WISCONSIN**



LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"

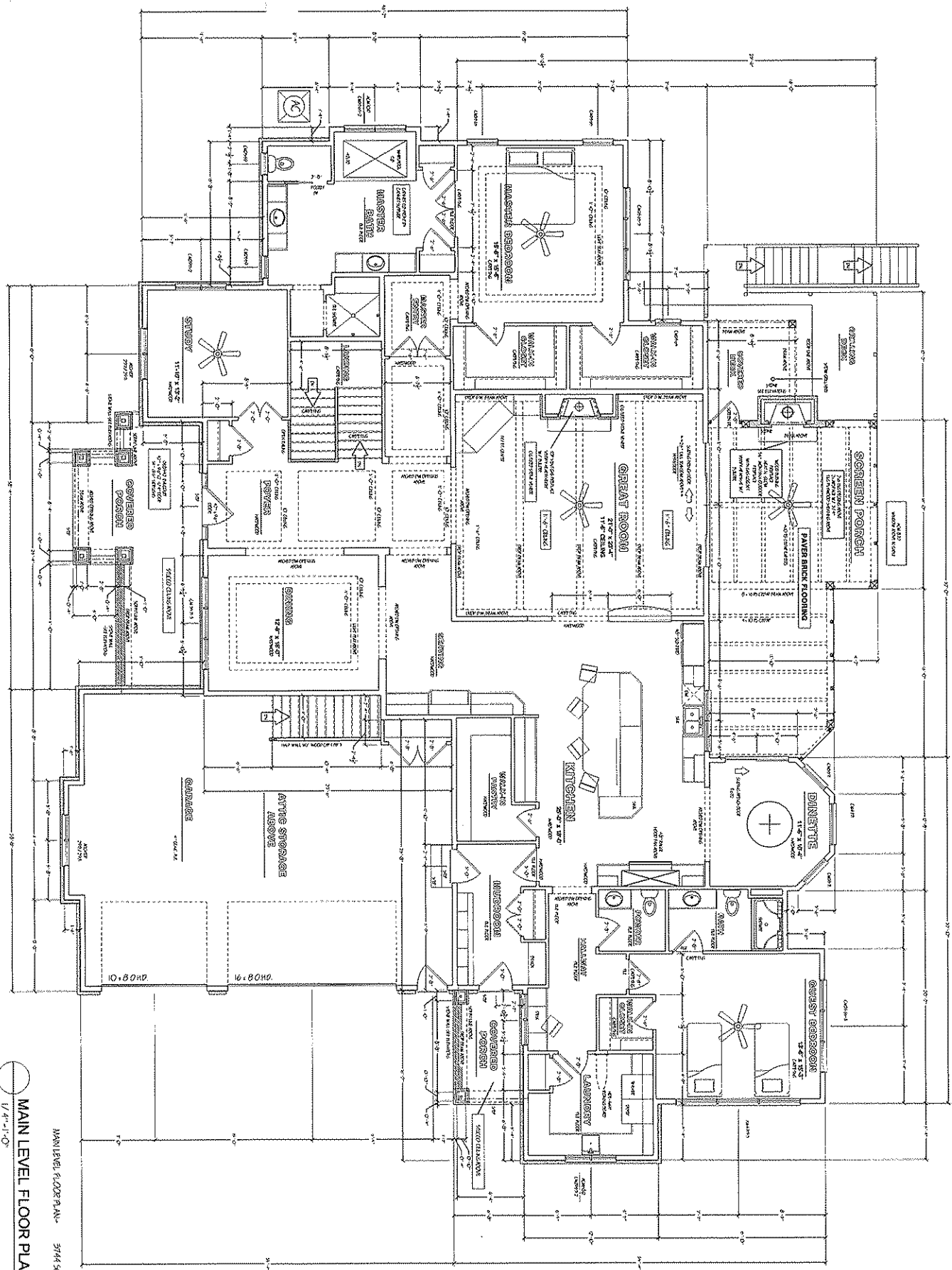
LOWER LEVEL FINISHED - 2824 SQ. FT.

NO.	DATE	DESCRIPTION
1	1/15/07	ISSUE FOR PERMITS
2	1/15/07	ISSUE FOR PERMITS
3	1/15/07	ISSUE FOR PERMITS
4	1/15/07	ISSUE FOR PERMITS
7	1/15/07	ISSUE FOR PERMITS

PLANS PREPARED BY  
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4475 Wood County Road, Mt. Pleasant, WI 53408  
www.dcnobuilders.com

Property Of:  
**HART DENOBLE**  
7922 Airport Road Oshkosh (920) 631-4422  
58550000, WI 53092 Fax (920) 631-6972  
www.dcnobuilders.com

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**KATIE AND JAY SEKELSKY**  
**LOT# 3 6018 NORTH HIGHLANDS AVENUE**  
**CITY OF MADISON, DANE COUNTY, WISCONSIN**



MAIN LEVEL FLOOR PLAN  
 1/4" = 1'-0"

MANUAL FLOOR PLAN 3744 SQ. FT.

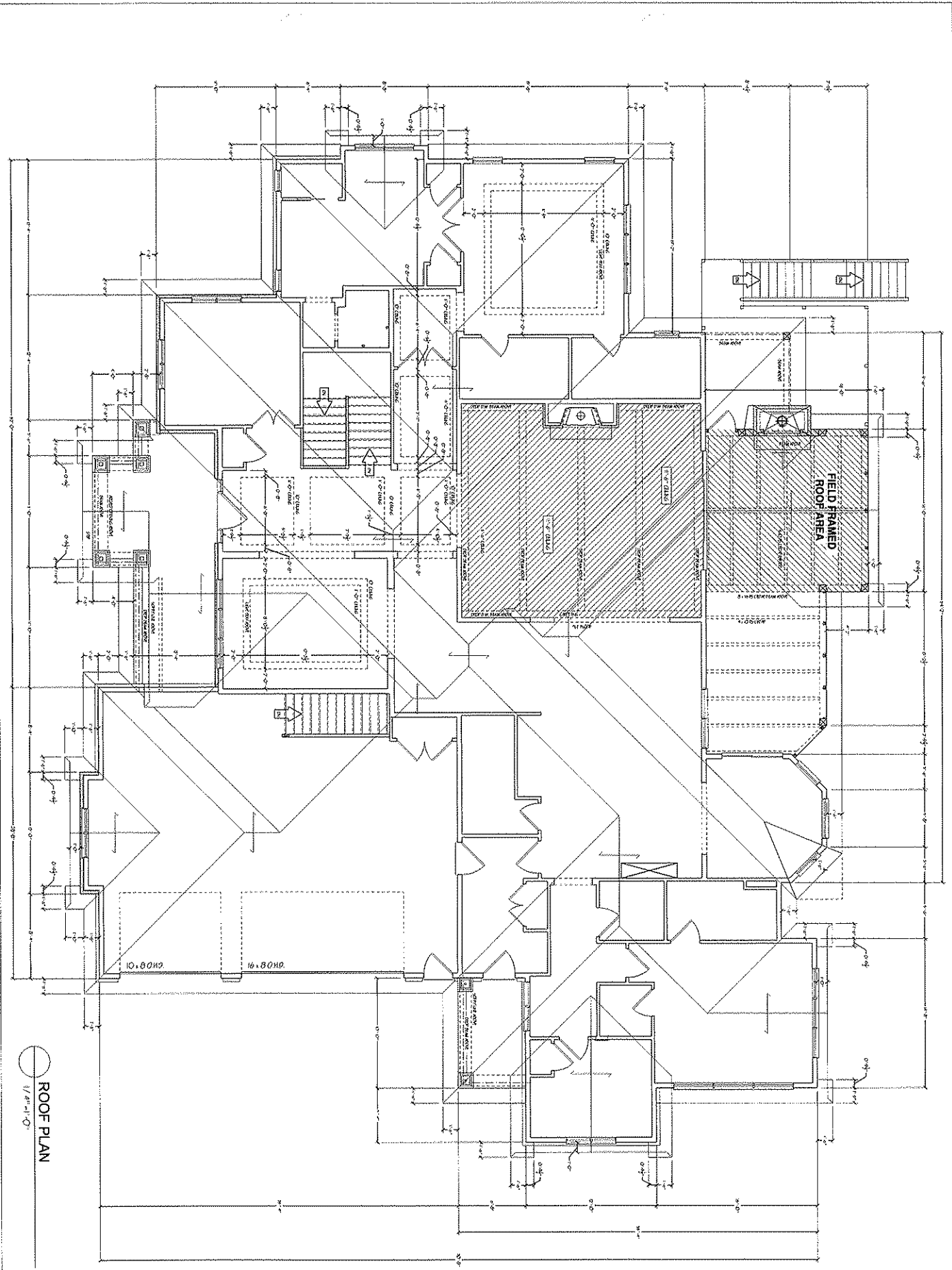
DATE	NO.	DESCRIPTION
1/11/10	1	ISSUED FOR PERMITS
1/11/10	2	REVISED PER COMMENTS
1/11/10	3	REVISED PER COMMENTS
1/11/10	4	REVISED PER COMMENTS
1/11/10	5	REVISED PER COMMENTS
1/11/10	7	REVISED PER COMMENTS

ALSO DRAWN BY:  
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 www.denoblebuilders.com

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 Fax (608) 831-8272  
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**LOT# 3 6018 NORTH HIGHLANDS AVENUE**  
**CITY OF MADISON, DANE COUNTY, WISCONSIN**

11



ROOF PLAN  
1/2" = 1'-0"

DATE	02/07/2018
PROJECT	1/2" = 1'-0"
SCALE	1/2" = 1'-0"
REV.	7
VER.	10
6	

PLANNED BY:  
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Hart Denoble Builders, Inc.  
400 W. MONROE ST., SUITE 200, MADISON, WI 53703

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BUILDERS, INC.  
7023 Airport Road  
Madison, WI 53742  
Office (608) 631-4423  
Fax (608) 631-9272  
www.denoblebuilders.com

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**KATIE AND JAY SEKELSKY**  
**LOT# 3 6018 NORTH HIGHLANDS AVENUE**  
**CITY OF MADISON, DANE COUNTY, WISCONSIN**

11





## Home Inspection Report

**6018 N. Highlands Ave. - Madison, WI**

---

**Inspection Date:**

October 14, 2008

**Prepared For:**

Hart DeNoble Builders

**Prepared By:**

Haack Homestead Inspections, LLC.

8449 West Mineral Point Rd.

Cross Plains, WI 53528

(608) 438-9305

[dave@haackhomestead.com](mailto:dave@haackhomestead.com)

**Report Number:**

101408-1

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This confidential report is prepared exclusively for Hart DeNoble Builders  
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## REPORT OVERVIEW

### THE HOUSE IN PERSPECTIVE

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### CONVENTIONS USED IN THIS REPORT

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**SATISFACTORY** - Indicates the component is functionally consistent with its original purpose but may show signs of normal wear and tear and deterioration.

**MARGINAL** - Indicates the component will probably require repair or replacement anytime within five years.

**POOR** - Indicates the component will need repair or replacement now or in the very near future.

**MAJOR CONCERNS** - A system or component that is considered significantly deficient or is unsafe.

**SAFETY HAZARD** - Denotes a condition that is unsafe and in need of prompt attention.

### THE SCOPE OF THE INSPECTION

---

All components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

### BUILDING DATA

---

Approximate Age:	29
Style:	Single Family
Main Entrance Faces:	South
State of Occupancy:	Vacant
Weather Conditions:	Sunny
Recent Rain:	No
Ground cover:	Dry/Temperature: Over 60°F

---

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**SERVICE WALKS**  None  *Public sidewalk needs repair*

**Material:**  Concrete  Flagstone  Gravel  Brick  Other

**Condition:**  Satisfactory  Marginal  Poor  *Trip Hazard*

*Pitched towards home*  *Settling cracks*  Not visible  Typical cracks

**DRIVEWAY/PARKING**  None

**Material:**  Concrete  Asphalt  Gravel/Dirt  Brick  Other

**Condition:**  Satisfactory  Marginal  Poor  Fill cracks and seal

*Pitched towards home*  *Trip hazard*  *Settling Cracks*  Typical cracks

**PORCH (covered entrance)**  None

**Support Pier:**  Concrete  Wood  Not visible  Other

**Condition:**  Satisfactory  Marginal  Poor  *Railing/Balusters recommended*

**Floor:**  Satisfactory  Marginal  Poor  *Safety Hazard*

**STOOPS/STEPS**  None  *Uneven risers*

**Material:**  Concrete  Wood  Other  *Railing/Balusters recommended*

**Condition:**  Satisfactory  Marginal  Poor  *Cracked*  *Settled*

*Rotted/Damaged*  *Safety Hazard*

**PATIO**  None

**Material:**  Concrete  Flagstone  Pavers  *Trip hazard*

**Condition:**  Satisfactory  Marginal  Poor  *Settling Cracks*

*Pitched towards home*  Drainage provided  Typical cracks

**DECK**  None

**Material:**  Wood  Metal  Composite  Not visible  *Railing/Balusters recommended*

**Finish:**  Treated  Painted/Stained  Other

*Improper attachment to house*  *Wood Rot*

**Condition:**  Satisfactory  Marginal  Poor  *Wood in contact with soil*

**DECK/PATIO COMBOS**  None  *Earth to wood contact*  *Moisture/Insect damage*

**Condition:**  Satisfactory  Marginal  Poor  *Posts/Supports need Repair*

**Recommend:**  Metal Straps/Bolts/Nails/Flashing  *Improper attachment to house*

**LANDSCAPING AFFECTING FOUNDATION**

**Negative Grade:**  East  West  North  South  Satisfactory

*Recommend re-grading*  *Recommend window well covers*  *Trim back trees/shrubberies*

*Wood in contact with soil*

**RETAINING WALL**  None **Material:** Wood

**Condition:**  Satisfactory  Marginal  Poor  *Safety Hazard*  *Leaning/cracked/bowed*

(Relates to the visual condition of the wall)

**HOSE BIBS**  None

**Operates:**  Yes  No  Not tested  Not on

**GENERAL COMMENTS:**

Driveway had some settlement towards foundation on east side of home, repair as needed.  
 Patio has large settling cracks causing trip hazards and has major settlement toward the house. Patio is beyond repair and will need full replacement.  
 Wood deck has severe wood rot to floor joists and deck flooring. Decks will need to removed and rebuilt.  
 Trees need to be trimmed away from the house.  
 General site drainage is not properly sloping away from the house on both south and north sides and wood retaining walls are rotted and leaning; recommend professional landscaper re-grade exterior soil and rebuild wood retaining walls.



**ROOF VISIBILITY**  All  Partial  None  Limited by:

**INSPECTED FROM**  Roof  Ladder at eaves  Ground (*Inspection Limited*)  With Binoculars

**STYLE OF ROOF**

**Type:**  Gable  Hip  Mansard  Shed  Flat  Other  
**Pitch:**  Low  Medium  Steep  Flat

**ROOF COVERING**

**Roof #1:** Type: Composition Fiberglass Estimated Layers: 1 Layer Approximate age of cover: 1-5+ years  
**Roof #2:** Type: Rubber Estimated Layers: Unknown Approximate age of cover: Unknown years

**VENTILATION SYSTEM** **Type:**  Soffit  Ridge  Gable  Roof  
**Appears Adequate:**  Yes  No  Turbine  Powered  Other

**FLASHING**

**Material:**  Galv/Alum  Not visible  Rubber  
 Copper  Other  
**Condition:**  Not visible  Satisfactory  Marginal  Poor  
 Separated from chimney/roof  Recommend Sealing

**VALLEYS**

N/A **Material:**  Galv/Alum  Copper  
 Not visible  
**Condition:**  Not visible  Satisfactory  Marginal  Poor  
 Rusted  Holes  Recommend Sealing

**CONDITION OF ROOF COVERINGS**

**Roof #1:**  Satisfactory  Marginal  Poor  
**Roof #2:**  Satisfactory  Marginal  Poor  
**Roof #3:**  Satisfactory  Marginal  Poor  
**Condition:**  Curling  Cracking  Ponding  Burn Spots  Broken/Loose Tiles/Shingles  
 Nail popping  Granules missing  Alligatoring  Blistering  Missing Tabs/Shingles/Tiles  
 Moss buildup  Exposed felt  Cupping  Improper installation

**SKYLIGHTS**

N/A  Cracked/Broken  Not visible  
**Condition:**  Satisfactory  Marginal  Poor

**LEAKING AREAS**

Yes  No  Satisfactory  Marginal  Poor  Need Cleaning  
 Recommend roofer evaluate  Not Visible  Rubber seal needs repair

Conditions reported above reflect visible portion only

**CENTRAL COMMENTS**

Rubber roofing above front entry was not installed properly. Rubber has large bubbles in it causing water to pond on roof and not properly drain which will cause rubber to deteriorate and leak. Recommend professional roofer re-roof flat area.

**CHIMNEYS**

- None
- Viewed From:**  Roof  Ladder at eaves  Ground with binoculars
- Rain Cap/Spark Arrestor:**  Yes  No  *Recommended*
- Chase:**  Brick  Stone  Metal  Blocks  Framed
- Evidence of:**  Holes in metal  Cracked mortar  Loose mortar joints  Flaking  Loose Stone  Rust
- Flue:**  Tile  Metal  *Unlined*  Not visible
- Evidence of:**  Scaling  Cracks  Creosote  *Not evaluated*
- Condition:**  *Have flue(s) cleaned and re-evaluated*  *Recommend Cricket/Saddle/Flashing*
- Satisfactory  Marginal  Poor

**RAIN GUTTERS**

- None  *Need to be cleaned*  *Downspouts needed*
- Material:**  Copper  Vinyl/Plastic  Galvanized/Aluminum  Other
- Condition:**  Satisfactory  Marginal  Poor  *Rusting*
- Leaking:**  Corners  Joints  *Hole in main run*
- Attachment:**  Loose  *Missing spikes*  *Improperly sloped*
- Extension needed:**  North  South  East  West

**SIDING**

- Material:**  Stone  Slate  Brick  Fiberboard  Fiber-cement  Stucco
- EIFS\*  Asphalt  Wood  Metal  Block  Vinyl
- Typical cracks  *Monitor*  *Wood rot*  Peeling paint  *Loose/Missing/Holes*
- Condition:**  Satisfactory  Marginal  Poor **Recommend:**  Repair  Painting

**TRIM, SOFFIT, CASCA, FLASHING**

- Material:**  Wood  Vinyl  Aluminum  Fiber Cement  Stucco
- Recommend repair/painting*  *Wood Rot*  Other
- Condition:**  Satisfactory  Marginal  Poor

**CAULKING**

- Condition:**  Satisfactory  Marginal  Poor
- Recommend around windows/doors/masonry ledges/corners/utility penetrations*

**WINDOWS & SCREENS**

- Failed/fogged insulated glass*
- Material:**  Wood  Metal  Vinyl  Aluminum/Vinyl Clad
- Condition:**  Satisfactory  Marginal  Poor  *Wood rot*  *Recommend replacement*
- Screens:**  Torn  Holes  Not (all) installed  Glazing/caulk needed
- Condition:**  Satisfactory  Marginal  Poor  *Wood rot*  *Recommend repair/painting*

**STORY WINDOWS**

- None  Metal  Wood  Clad comb.  Wood/metal comb.
- Condition:**  Satisfactory  *Broken/cracked*  *Wood rot*  *Recommend repair/painting*

**GENERAL COMMENTS**

Large cracks in the chimney mortar around stone, some stone is very loose - recommend professional mason tuck point as needed. Chimney caps also were installed improperly, water is ponding on top which will eventually rust.

Gutters on only a portion of the house, recommend additional gutters where needed.

LP T-11 siding manufacturer has had a class action lawsuit against them due to premature rotting and warping of wood. Siding has been damaged over the years by woodpeckers and has large holes in it; recommend replacement.

Wood window frames were painted to hide wood rot which is present on the sills and frames. Basement windows on west and north side also have failed thermo pane seals. Most windows are in need of replacement.



**STRUCTURE**

- Underground     Overhead    Condition:     Sat.     Marginal     Poor  
 *Weather head/mast needs repair*     *Overhead wires too low*     *Less than 3' from balcony/deck/window*  
 Exterior outlets:     Yes     No    Operative:     Yes     No  
 GFCI protected:     Yes     No    Operative:     Yes     No  
 Reverse polarity     *Open ground*     *Safety Hazard*

**BUILDING(S) INTERIOR WALL CONSTRUCTION**

- Type:     Not visible     Framed     Masonry     Other  
 Condition:     Satisfactory     Marginal     Poor     Not visible

**EXTERIOR DOORS**

- |                   |                                       |  |                                   |  |                                  |   |
|-------------------|---------------------------------------|--|-----------------------------------|--|----------------------------------|---|
|                   |                                       | <i>Patio</i>                                 | <i>Side</i>                       | <i>Basement</i>                          | <i>Entrance</i>                  |   |
| Weatherstripping: | <input type="checkbox"/> Satisfactory | <input type="checkbox"/> Marginal            | <input type="checkbox"/> Marginal | <input checked="" type="checkbox"/> Poor | <input type="checkbox"/> Missing | <input checked="" type="checkbox"/> Replace |
| Door Condition:   | <input type="checkbox"/> Satisfactory | <input checked="" type="checkbox"/> Marginal | <input type="checkbox"/> Marginal | <input type="checkbox"/> Poor            |                                  |   |

**EXTERIOR A/C**

- UNIT #1:**     N/A    Location: East Side  
 Brand: Heil    Model #: N/A    Approximate age: 30 yrs.  
 Outside Disconnect:     Yes     No    Maximum fuse/breaker rating: N/A Amp    Fuses/breaker/pull plug installed: Yes  
 Level:     Yes     No     *Replace Refrigerant line Insulation*     *Improperly sized fuses/breakers*  
 Condenser Fins:     *Damaged*     Need cleaning  
 Condition:     Satisfactory     Marginal     Poor
- UNIT #2:**     N/A    Location: East Side  
 Brand: Carrier    Model #: 38TKB030300    Approximate age: 8 yrs.  
 Outside Disconnect:     Yes     No    Maximum fuse/breaker rating: 25 Amp    Fuses/breakers/pull plug installed: Yes  
 Level:     Yes     No     *Replace Refrigerant line Insulation*     *Improperly sized fuses/breakers*  
 Condenser Fins:     *Damaged*     Need cleaning  
 Condition:     Satisfactory     Marginal     Poor
- UNIT #3:**     N/A    Location: East Side  
 Brand: Carrier    Model #: 38TKB030300    Approximate age: 8 yrs.  
 Outside Disconnect:     Yes     No    Maximum fuse/breaker rating: 25 Amp    Fuses/breakers/pull plug installed: Yes  
 Level:     Yes     No     *Replace Refrigerant line Insulation*     *Improperly sized fuses/breakers*  
 Condenser Fins:     *Damaged*     Need cleaning  
 Condition:     Satisfactory     Marginal     Poor

**GENERAL COMMENTS**

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**TYPE**  
 Attached     None     Detached     1-car     2-car     3-car     4-car

**AUTOMATIC OPENER**  
 Yes     No     Operable     Inoperable

**SAFETY REVERSE**  
**Operable:**     Pressure reverse     Satisfactory     *Need(s) adjusting*     *Safety hazard*  
                    Electric Eye     Satisfactory     *Not Working*     *Safety hazard*

**ROOFING**  
**Material:**     Same as house

**CUTTERS/LEAVES THROUGH**  
**Condition:**     Satisfactory     None     Marginal     Poor

**SIDING/TRIM**  
**Siding:**     Same as house     Wood     Metal/Aluminum     Vinyl  
                    Stucco     Masonry     Slate     Fiberboard  
**Trim:**     Same as house     Wood     Aluminum     Vinyl

**FLOOR**  
**Material:**     Concrete     Gravel     Asphalt     Dirt     Other  
**Condition:**     Satisfactory     Typical cracks     *Large settling cracks*     *Recommend evaluation/repair*  
**Burners less than 18" above garage floor:**     N/A     Yes     No     *Safety hazard*

**SILL BEARDS**  
 Not visible     Floor level     Elevated     *Rotted/Damaged*     *Recommend repair*

**OVERHEAD DOOR(S)**  
**Material:**     Wood     N/A     Fiberglass     Masonite     Metal     *Recommend repair*  
**Condition:**     Satisfactory     Marginal     Poor     *Overhead door hardware loose*  
*Recommend Priming/Painting Inside & Edges:*     Yes     No     *Recommend lubrication*     *Weatherstripping missing/damaged*

**EXTERIOR SERVICE DOOR**     None  
**Condition:**     Satisfactory     Marginal     Poor     *Damaged/Rusted*

**ELECTRICITY PRESENT**     Yes     No     Not visible  
**Reverse polarity:**     Yes     No    **Open ground:**     Yes     No     *Safety hazard*  
**GFCI Protected:**     Yes     No    **Operates:**     Yes     No     *Handyman/extension cord wiring*

**FIRE SEPARATION WALLS & CEILING**    *(Between garage & living area)*  
**Condition:**     N/A     Present     *Missing*     *Recommended*  
                    Satisfactory     *Safety hazard(s)*     *Recommend repair*     *Holes walls/ceiling*  
**Fire door:**     Not verifiable     *Not a fire door*     Satisfactory     *Recommended*  
**Attic Access:**     N/A     Yes    **Firewall Protected:**     Yes     No     *Recommended*

**Moisture Stains Present:**     Yes     No     Fresh     Old stains

**GENERAL COMMENTS**  
 Fire door needed between garage and house.





**BATH/BIRS/FLOOR  
HALL BATH**

**SINKS/TUBS/SHOWERS**

**Faucet leaks:**  Yes  No **Drain Pipe Leaks:**  Yes  No  
**Fixture(s) Condition:**  Satisfactory  Marginal  Poor

**TOILET**

**Bowl Loose:**  Yes  No **Operates:**  Yes  No  Toilet leaks  Cracked bowl/tank

**SHOWER/TUB AREA/SINKS**

**Material:**  Ceramic/Plastic  Fiberglass  Other  
**Condition:**  Satisfactory  Marginal  Poor  Rotted floors  
**Caulk/Grouting Needed:**  Yes  No **Where:** Around sink  
**Functional Drainage:**  Adequate  Poor **Functional Flow:**  Adequate  Poor

**WALLS/CEILING/CABINETS**

**Moisture stains present:**  Yes  No **Outlets present:**  Yes  No  
**G.F.C.I. Protected:**  Yes  No **Operates:**  Yes  No  
**Open ground/Reverse polarity within 6' of water:**  Yes  No **Potential safety hazards present:**  Yes  No

**HEATING/COOLING SOURCE**

Yes  No  
**Window/Door:**  Yes  No  Satisfactory  Marginal  Poor  
**Exhaust Fan:**  Yes  No **Operates:**  Yes  No **Noisy:**  Yes  No

**GENERAL COMMENTS**

**BATH/WASHING  
BEDROOM BATH**

**SINKS/TUBS/SHOWERS**

**Faucet leaks:**  Yes  No **Drain Pipe Leaks:**  Yes  No  
**Fixture(s) Condition:**  Satisfactory  Marginal  Poor

**TOILET**

**Bowl Loose:**  Yes  No **Operates:**  Yes  No  Toilet leaks  Cracked bowl/tank

**SHOWER/TUB AREA/SINKS**

**Material:**  Ceramic/Plastic  Fiberglass  Masonite  Other  
**Condition:**  Satisfactory  Marginal  Poor  Rotted floors  
**Caulk/Grouting Needed:**  Yes  No **Where:** Around tub/shower tile  
**Functional Drainage:**  Adequate  Poor **Functional Flow:**  Adequate  Poor

**WALLS/CEILING/CABINETS**

**Moisture stains present:**  Yes  No **Outlets present:**  Yes  No  
**G.F.C.I. protected:**  Yes  No **Operates:**  Yes  No  
**Open ground/Reverse polarity within 6' of water:**  Yes  No **Potential safety hazards present:**  Yes  No

**HEATING/COOLING SOURCE**

Yes  No  
**Window/Door:**  Yes  No  Satisfactory  Marginal  Poor  
**Exhaust Fan:**  Yes  No **Operates:**  Yes  No **Noisy:**  Yes  No

**GENERAL COMMENTS**

 **BATHROOM(S)**

**BATH/BEDROOM/HALL  
MAIN BATH**

**SINKS/TUBS/SHOWERS**

**Faucet leaks:**  Yes  No      **Drain Pipe Leaks:**  Yes  No  
**Fixture(s) Condition:**  Satisfactory  Marginal  Poor

**TOILET**

**Bowl Loose:**  Yes  No      **Operates:**  Yes  No  Toilet leaks  Cracked bowl/tank

**SHOWER/TUB AREA/SINK(S)**

**Material:**  Ceramic/Plastic  Fiberglass  Masonite  Other  
**Condition:**  Satisfactory  Marginal  Poor  Rotted floors  
**Caulk/Grouting Needed:**  Yes  No      Where: Tile around and in tub unit  
**Functional Drainage:**  Adequate  Poor      **Functional Flow:**  Adequate  Poor

**WALLS/CEILING/CABINETS**

**Moisture stains present:**  Yes  No      **Outlets present:**  Yes  No  
**G.F.C.I. protected:**  Yes  No      **Operates:**  Yes  No  
**Open ground/Reverse polarity within 6' of water:**  Yes  No      **Potential safety hazards present:**  Yes  No

**HEAT/COOLING SOURCE**  Yes  No

**Window/Door:**  Yes  No  Satisfactory  Marginal  Poor  
**Exhaust Fan:**  Yes  No      **Operates:**  Yes  No      **Noisy:**  Yes  No

**GENERAL COMMENTS**

Drain under sink is leaking - recommend repair and/or replacement as necessary.

**BATH/BASEMENT/BATH**

**SINKS/TUBS/SHOWERS**

**Faucet leaks:**  Yes  No      **Drain Pipe Leaks:**  Yes  No  
**Fixture(s) Condition:**  Satisfactory  Marginal  Poor

**TOILET**

**Bowl Loose:**  Yes  No      **Operates:**  Yes  No  Toilet leaks  Cracked bowl/tank  Cross connection

**SHOWER/TUB AREA/SINK(S)**

**Material:**  Ceramic/Plastic  Fiberglass  Masonite  Other  
**Condition:**  Satisfactory  Marginal  Poor  Rotted floors  
**Caulk/Grouting Needed:**  Yes  No      Where: Tiles on floor are cracked and broken.  
**Functional Drainage:**  Adequate  Poor      **Functional Flow:**  Adequate  Poor

**WALLS/CEILING/CABINETS**

**Moisture stains present:**  Yes  No      **Outlets present:**  Yes  No  
**G.F.C.I. protected:**  Yes  No      **Operates:**  Yes  No  
**Open ground/Reverse polarity within 6' of water:**  Yes  No      **Potential safety hazards present:**  Yes  No

**HEAT/COOLING SOURCE**  Yes  No

**Doors:**  Yes  No  Satisfactory  Marginal  Poor  
**Exhaust Fan:**  Yes  No      **Operates:**  Yes  No      **Noisy:**  Yes  No

**GENERAL COMMENTS**





**LOCATION: LIVING ROOM**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where: \_\_\_\_\_  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS:**

**LOCATION: FORMAL DINING ROOM**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where: \_\_\_\_\_  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS:**

**LOCATION: DINNETTE**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where: \_\_\_\_\_  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS:**



**LOCATION: MASTER BEDROOM**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where: \_\_\_\_\_  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS**

**LOCATION: BEDROOM #2**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where: \_\_\_\_\_  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS**

**LOCATION: BEDROOM #3**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where: \_\_\_\_\_  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS**



**LOCATION: FAMILY ROOM**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where: Above fireplace  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS**

**LOCATION: BASEMENT/FAMILY ROOM**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where:  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS**

**LOCATION: BASEMENT BEDROOM #1**

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes Where:  
**Typical cracks:**  Yes  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  Needs Balancing  
**Electrical:** **Switches/Outlets:**  Yes  No **Operate:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  Coverplates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

**GENERAL COMMENTS**



**INTERIOR WINDOWS/GLASS**

**Condition:**  Satisfactory  Marginal  Poor  *Need repair/replacement*  
 Representative number of windows operated  Painted shut  Stuck shut  
**Evidence of Leaking Insulated Glass:**  Yes  No  N/A  
 Cracked glass  Hardware missing/needs repair  *Wood rot*

**FIREPLACES**

None Location(s): Living room/Family room/Basement  
**Type:**  Gas  (Gas not on) **Operates:**  Yes  No  Wood  *Woodburning stove*  Electric  
**Material:**  Masonry  Metal (pre-fabricated)  Metal insert  
**Miscellaneous:**  Blower built-in  N/A **Operates:**  Yes  No **Damper operates:**  Yes  No  
 *Open joints or cracks in firebrick/panels should be sealed*  *Fireplace doors need repair*  
**Damper Modified for Gas Operation:**  Yes  No  *Damper missing*  *Pre-fab panels damaged/worn*  
**Hearth Adequate:**  Yes  No **Mantle:**  N/A  Satisfactory  Adequate  
**Physical Condition:**  Satisfactory  Marginal  Poor  *Recommend having flue cleaned and re-examined*

**SECOND FLOOR STAIRS**

Satisfactory  Marginal  Poor  None  
**Handrail:**  Satisfactory  Marginal  Poor  *Safety hazard*  
**Risers/Treads:**  Satisfactory  Marginal  Poor  *Risers/Treads uneven*

**ATTIC/STRUCTURE/TRAVEL/INSULATION**

N/A  
**Access:**  Stairs  Pulldown  Scuttlehole/Hatch  *No access*  Other  
**Inspected From:**  Access panel  In the attic  Other  
**Location:**  Bedroom hall  Bedroom closet  Garage  Other  
**Access Limited By:**  
**Flooring:**  Complete  Partial  None  
**Insulation:** Type: Cellulose  Batts  Loose Average inches: 4 Approx. R-rating: R15-20  
 *Damaged*  *Displaced*  *Missing*  *Compressed*  *Recommend Baffles @ Eaves*  
**Installed In:**  Rafters  Walls  Between ceiling joists  Not visible  
 *Recommend additional insulation*  
**Ventilation:**  *Ventilation appears adequate*  *Recommend additional ventilation*  
**Fans Exhausted To:**  N/A  Not Visible  Attic  Outside  
**Chimney Chase:**  N/A  Satisfactory  *Needs repair*  Not visible  
**Structural Problems Observed:**  Yes  No  *Recommend repair*  *Recommend Structural Engineer*  
**Roof Structure:**  Rafters  Trusses  Wood  Metal  Other  
**Collar Ties Present:**  Yes  No  N/A  
**Roof Sheathing:**  Plywood  OSB  1x Wood  *Rotted*  *Stained*  *Delaminated*  
**Evidence of Condensation/Moisture Leaking:**  Yes  No  
**Ceiling Joists:**  Wood  Metal  Other  Not visible  
**Vapor Barriers:**  Kraft/foil faced  Plastic  Not visible  Improperly installed  
**Firewall Between Units:**  N/A  Yes  No  *Needs repair/sealing*

**GENERAL COMMENTS**

Sheathing, examined from the attic, had some water damage, repair/replace as needed. Some areas of sheathing along lower edge appear to have a mold like substance from possible ice damming damage.  
 Insulation was missing in some areas and is very low in R-value.  
 Kitchen fan exhaust pipe is venting into attic; Recommend extending kitchen exhaust to the exterior.



**STAIRS**  N/A

**Condition:**  Satisfactory  Marginal  Poor  Typical wear and tear  Need repair  
**Handrail:**  Yes  No **Condition:**  Satisfactory  Loose

**FOUNDATION**

**Condition:**  Satisfactory  Marginal  *Have evaluated*  *Monitor*  
**Material:**  Brick  Concrete block  Fieldstone  Poured concrete  
**Horizontal Cracks:**  North  South  East  West  
**Step Cracks:**  North  South  East  West  
**Vertical Cracks:**  North  South  East  West  
**Covered Walls:**  North 1/2  South 1/2  East  West  
**Movement Apparent:**  North  South  East  West  
**Indication of Moisture:**  Yes  No  Fresh  Old stains

*Condition reported above reflects visible portion only*

**FLOOR**

**Material:**  Concrete  Dirt/Gravel  Not Visible  Other  
**Condition:**  Satisfactory  Marginal  Poor  Large cracks

**BASEMENT DRAINAGE**

**Sump Pump:**  Yes  No  Working  Not working  Sealed  *Not tested*  
**Floor Drains:**  Yes  Not visible

**GIRDERS/BEAMS/COLUMNS**

**Material:**  Steel  Wood  Block  Concrete  Not visible  
**Condition:**  Satisfactory  Marginal  Poor  Stained/rusted

**JOISTS**

**Material:**  Wood  Steel  Truss  Not visible  
 2x8  2x10  2x12  Engineered I-Type  *Sagging/altered joists*  
**Condition:**  Satisfactory  Marginal  Poor

**SUBFLOOR**

Indication of moisture stains/rotting  
 \*\* Areas around shower stalls, etc., as viewed from basement or crawl space

**GENERAL COMMENTS**

Floor has large cracks and shows signs of water penetration through cracks on floor recommend sealing the cracks and installing drain line and sump pump to relieve water pressure under floor.  
 Some fresh moisture stains are present around exterior door area where retaining wall is leaning and landscape is improperly sloped. Wood framing around door and in open walls is rotted and will need replacement. Dry walled walls and insulation between studs have a black mold like substance on them from moisture. Recommend damaged wood and insulation be replaced. Sub flooring around toilets and drainpipes have moisture stains present from leakage.



**WATER SERVICE**

**Main Shut-off Location:** Basement

- Water Entry Piping:**  Not visible  Copper  Galvanized  Plastic  Lead  Unkown
- Visible Water Distribution Piping:**  Copper  Galvanized  Plastic  Lead
- Condition:**  Satisfactory  Marginal  Poor
- Functional Flow:**  Adequate  Poor
- Pipes, Supply/Drain:**  Corroded  Leaking  Valves broken/missing
- Drain/Waste/Vent Pipe:**  Copper  Cast iron  Galvanized  PVC
- Condition:**  Satisfactory  Marginal  Poor
- Cross connection:**  Yes  No
- Proper P-Traps:**  N/A  Yes  No  P-traps recommended
- Functional Drainage:**  Adequate  Poor  Recommend plumber evaluate
- Interior Fuel Storage System:**  Yes  No Leaking:  Yes  No
- Gas Line:**  Copper  Brass  Black iron  CSST  Not visible
- Condition:**  Satisfactory  Marginal  Poor

**MAIN FUEL SHUT-OFF LOCATION:**

Exterior Meter  N/A

**WELL/PUMP**

- N/A  Submersible
- Location:**  In basement  Well house  Well pit  Shared well
- Pressure Gauge Operates:**  Yes  No  Unknown Well pressure: psi  Not visible

**SANITARY/GREY WATER PUMP**

N/A

- Sealed Crock:**  Yes  No **Check Valve:**  Yes  No **Vented:**  Yes  No

**WATER HEATER #1**

N/A

**Condition:**  Satisfactory  Marginal  Poor

- Brand name:** Ruud **Serial #:** RUNG 0399D04257
- Type:**  Gas  Electric  Oil  Other
- Unit Elevated:**  Yes  No  N/A  Piping corroded/leaking
- Capacity:** 50 gallons **Approximate age:** 9 year(s)
- Combustion Air Venting Present:**  Yes  No  N/A
- Relief Valve:**  Yes  No **Extension proper:**  Yes  No  Missing  Recommend repair
- Vent Pipe:**  N/A  Satisfactory  Pitch proper  Improper  Rusted  Recommend repair

**WATER HEATER #2**

N/A

**Condition:**  Satisfactory  Marginal  Poor

- Brand name:**  Gas  Electric **Serial #:**  Oil  Other
- Type:**  Gas  Electric  Oil  Other
- Unit Elevated:**  Yes  No  N/A  Tank/Piping corroded/leaking
- Capacity:** gallons **Approximate age:** year(s)
- Combustion Air Venting Present:**  Yes  No  N/A
- Relief Valve:**  Yes  No **Extension proper:**  Yes  No  Missing  Recommend repair
- Vent Pipe:**  N/A  Satisfactory  Pitch proper  Improper  Rusted  Recommend repair

**WATER SOFTENER**

(Unit not evaluated)

- Softener Present:**  Yes  No **Plumbing Hooked up:**  Yes  No
- Plumbing Leaking:**  Yes  No

**GENERAL COMMENTS**

Drain pipes are leaking - recommend licensed plumber repair as necessary. Supply pipe on hot water heater is corroded and leaking; needs to be repaired and/or replaced by a licensed plumber.



**HEATING SYSTEM UNIT #** Location: Basement

**Brand Name:** Bryant Approximate age: 9 year(s)  
**Energy Source:**  Gas  LP  Oil  Electric  
**Heat Exchanger:**  N/A (sealed)  Visual w/mirror  *Flame distortion*  *Rusted*  *Carbon/soot buildup*  
**Combustion Air Venting Present:**  Yes  No  N/A  
**Controls:** Disconnect:  Yes  No  Normal operating and safety controls observed  
**Distribution:**  Metal duct/cold air returns  Insul. flex duct  *Asbestos-like wrap*  
**Flue Piping:**  N/A  Rusted  Improper slope  *Safety hazard*  
**Filter:**  Standard  Electrostatic  Satisfactory  Needs Replacement  Missing  
**When Turned On By Thermostat:**  Fired  Did not fire  
**Proper Operation:**  Yes  No  Not tested  
 *Recommend technician examine* **System Condition:**  Satisfactory  Marginal  Poor

**HEATING SYSTEM UNIT #** Location: Basement

**Brand Name:** Carrier Approximate age: 9 year(s)  
**Energy Source:**  Gas  LP  Oil  Electric  
**Heat Exchanger:**  N/A (sealed)  Visual w/mirror  *Flame distortion*  *Rusted*  *Carbon/soot buildup*  
**Combustion Air Venting Present:**  Yes  No  N/A  
**Controls:** Disconnect:  Yes  No  Normal operating and safety controls observed  
**Distribution:**  Metal duct/cold air returns  Insul. flex duct  *Asbestos-like wrap*  
**Flue Piping:**  N/A  Rusted  Improper slope  *Safety hazard*  
**Filter:**  Standard  Electrostatic  Satisfactory  Needs Replacement  Missing  
**When Turned On By Thermostat:**  Fired  Did not fire  
**Proper Operation:**  Yes  No  Not tested  
 *Recommend technician examine* **System Condition:**  Satisfactory  Marginal  Poor

**HEATING SYSTEM UNIT #** Location: Basement

**Brand Name:** Carrier Approximate age: 9 year(s)  
**Energy Source:**  Gas  LP  Oil  Electric  
**Heat Exchanger:**  N/A (sealed)  Visual w/mirror  *Flame distortion*  *Rusted*  *Carbon/soot buildup*  
**Combustion Air Venting Present:**  Yes  No  N/A  
**Controls:** Disconnect:  Yes  No  Normal operating and safety controls observed  
**Distribution:**  Metal duct/cold air returns  Insul. flex duct  *Asbestos-like wrap*  
**Flue Piping:**  N/A  Rusted  Improper slope  *Safety hazard*  
**Filter:**  Standard  Electrostatic  Satisfactory  Needs Replacement  Missing  
**When Turned On By Thermostat:**  Fired  Did not fire  
**Proper Operation:**  Yes  No  Not tested  
 *Recommend technician examine* **System Condition:**  Satisfactory  Marginal  Poor

**OTHER SYSTEMS:**  N/A  
 Gas space heater  Woodburning stove  Electric baseboard  
**Proper Operation:**  Yes  No  
**System Condition:**  Satisfactory  Marginal  Poor

**GENERAL COMMENTS:**  
 Recommend HVAC technician evaluate venting of furnaces and hot water heater. All 4 units are venting into one flue pipe and one chimney which is against code requirements.



**MAIN PANEL** Location: Basement Condition:  Satisfactory  Marginal  Poor  
**Adequate Clearance To Panel:**  Yes  No Amperage: 200 Volts 120/240  Breakers  Fuses  
 Federal Pacific Panel Stab Lok® (*Safety Hazard*)\*  
**Appears Grounded:**  Yes  No  Not visible  
**G.F.C.I. present:**  Yes  No **Operative:**  Yes  No  
**MAIN WIRE:**  Copper  Aluminum  Not visible  
 *Tapping before the main breaker*  *Double tapping of the main wire*  
**Condition:**  Satisfactory  Poor  
**BRANCH WIRE:**  Copper  Aluminum\*  Copper clad aluminum  Not visible  
**Condition:**  Satisfactory  Poor  *Recommend electrician evaluate/repair\**  
 Romex  BX cable  Conduit  *Knob & tube\*\**  
 *Double tapping*  *Wires undersized/oversized breaker/fuse*  
 Panel not accessible  Not evaluated **Reason:**

**SUBPANELS**  None apparent  
 Location 1: Basement Location 2: Location 3:  
 Panel not accessible  Not evaluated **Reason:**  
**Branch Wire:**  Copper  Aluminum  Copper clad aluminum  
 Neutral/ground separated:  Yes  No Neutral isolated:  Yes  No  *Safety hazard*  
**Condition:**  Satisfactory  Marginal  Poor  *Recommend separating/isolating neutrals*

**ELECTRICAL FIXTURES**  
 A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:  
**Condition:**  Satisfactory  Marginal  Poor  
 Open grounds  Reverse polarity  GFCIs not operating  
 *Solid conductor aluminum branch wiring circuits\**  
 Ungrounded 3-prong outlets  *Recommend electrician evaluate/repair\**

**GENERAL COMMENTS**

**COOLING SYSTEM - UNIT #1**  Central system  N/A  
**Energy Source:**  Electric  Gas  Water  Other  
**Unit Type:**  Air cooled  Water cooled  Gas chiller  Geothermal  Heat pump  
**Evaporator Coil:**  Satisfactory  Not visible  Needs cleaning  Damaged  
**Refrigerant lines:**  Leak  Damage  *Insulation damaged*  Satisfactory  
**Condensate Line/Drain:**  To exterior  To pump  Floor drain  Other  
**Operation:** Differential °F  
 Difference in temperature (split) should be 14-22° Fahrenheit  
**Condition:**  Satisfactory  Marginal  Poor  
 *Not operated due to exterior temperature*  *Recommend HVAC technician examine/clean/service*

**GENERAL COMMENTS**



**SUMMARY**

**MAJOR CONCERNS**

*Item(s) that have failed or have potential of failing soon.*



**Concrete patio has cracked and settled towards home creating trip hazards; recommend replacement of patio.**



**Severe wood rot to deck floor joists and decking; recommend replacement of decks. Wood support post was added to prevent floor from collapsing.**

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Wood rot around window sills, frames and patio door frames. Wood was painted over to hide wood rot. Majority of windows and door frames are in need of replacement.



LP T-11 siding manufacturer has had a class action lawsuit against them due to premature rotting and warping of wood. Siding has been damaged over the years by woodpeckers and has large holes in it; recommend replacement.



**Improper drainage around exterior of home, landscaping is pitched towards foundation allowing water seepage into basement rotting door frames and wood wall supports. Wood retaining wall is also rotted and is leaning. Recommend re-grading of landscape to maintain positive drainage and rebuilding of retaining walls.**





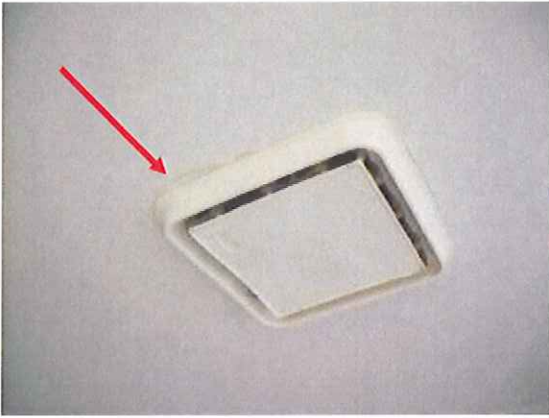
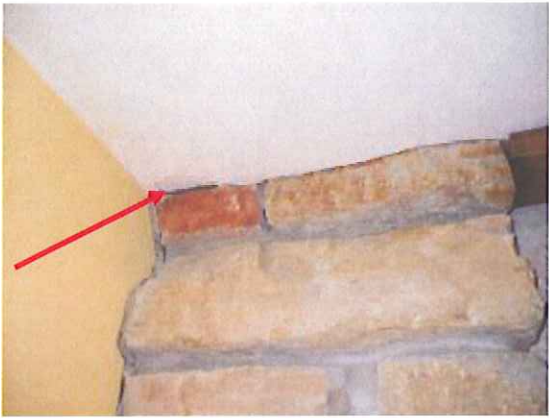
**Mortar around chimney stone is cracking and falling out causing loose stones; recommend professional mason tuck point stone. Metal chimney caps were not properly pitched so water would run off, eventually caps will rust and leakage will occur.**



**Rubber roofing over front entry was properly installed allowing water to pond towards interior windows causing wood frames too rot.**



**Skylights (4) on roof have failing thermo pane seals and condensation around windows has leaked into attic causing wood rot to roof sheathing.**



Moisture stains on kitchen walls, above family room fireplace and around bathroom vent show that roof has had leakage and many damaged areas have been covered with paint.



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**Moisture damage to roof sheathing in attic and trusses around skylights. Possible mold like substance was noted in these areas.**



**Kitchen fan exhaust is not properly venting to the exterior of home. Insulation has been displaced and R-value is very low. Bottom picture shows where moisture has leaked onto insulation, this area is above moisture stains in kitchen.**



Windows on west wall in basement have failed thermo pane seals allowing moisture in between glass panels.



Missing wall tiles and cracked floor tiles in basement bathroom.



Areas of water seepage on floor, moisture damage and possible mold growth on insulation, walls and floor in furnace room.

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**Recommend plumber repair leaking drain pipe under sink in hallway bathroom, corroded and leaking water pipe on hot water heater and evaluate leakage stains on sub flooring and ductwork in furnace room.**

### POTENTIAL SAFETY HAZARDS



**All three furnaces and hot water heater vent into one flue pipe and chimney flue. Recommend having HVAC technician evaluate and bring exhaust piping up to code.**

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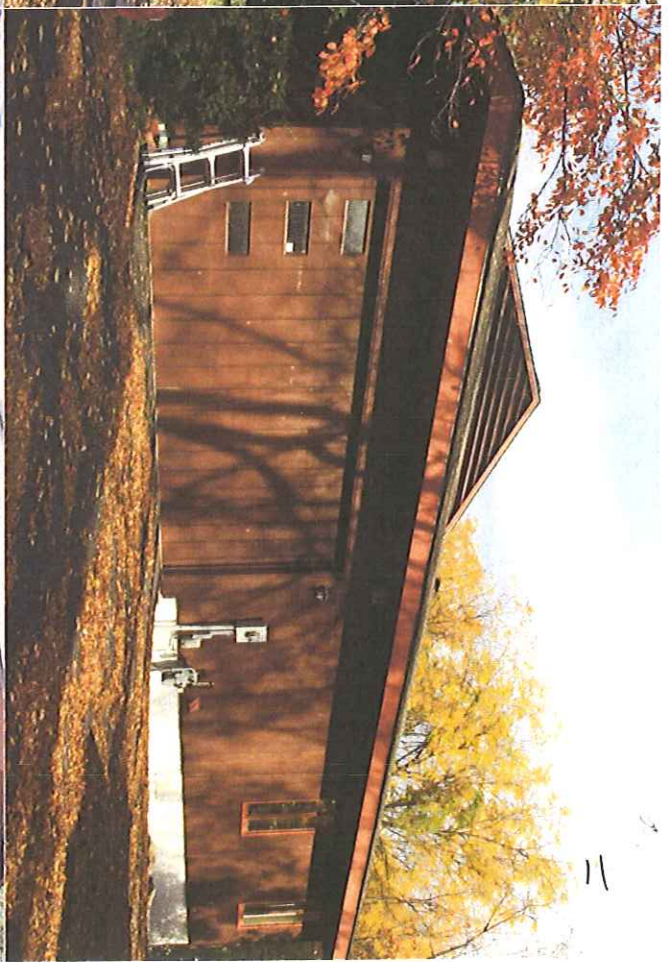
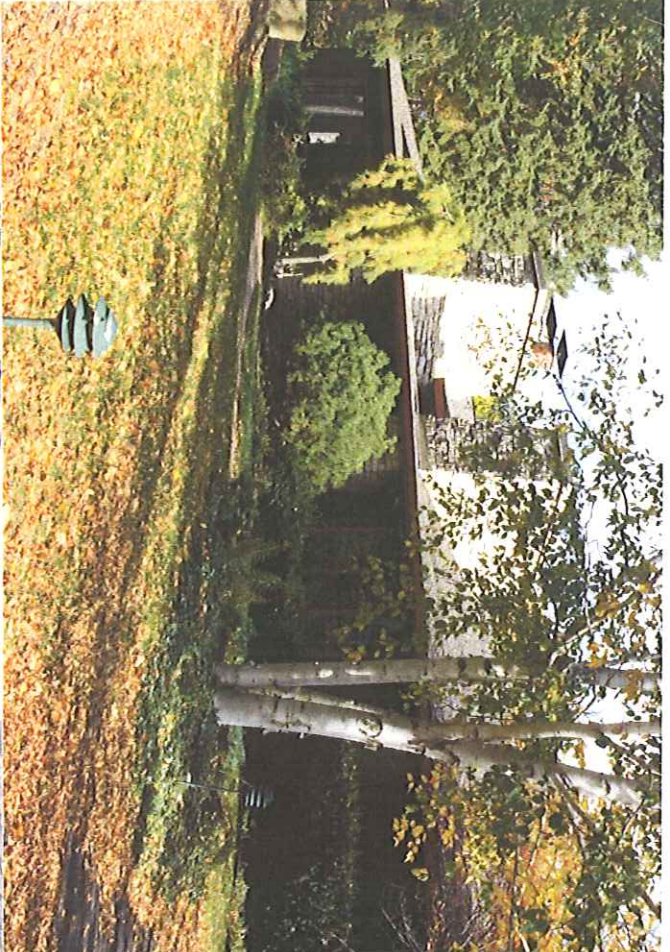


**Granite slabs on top of basement stairs are not properly secured down and could be possibly knocked off and down staircase.**

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\* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks.

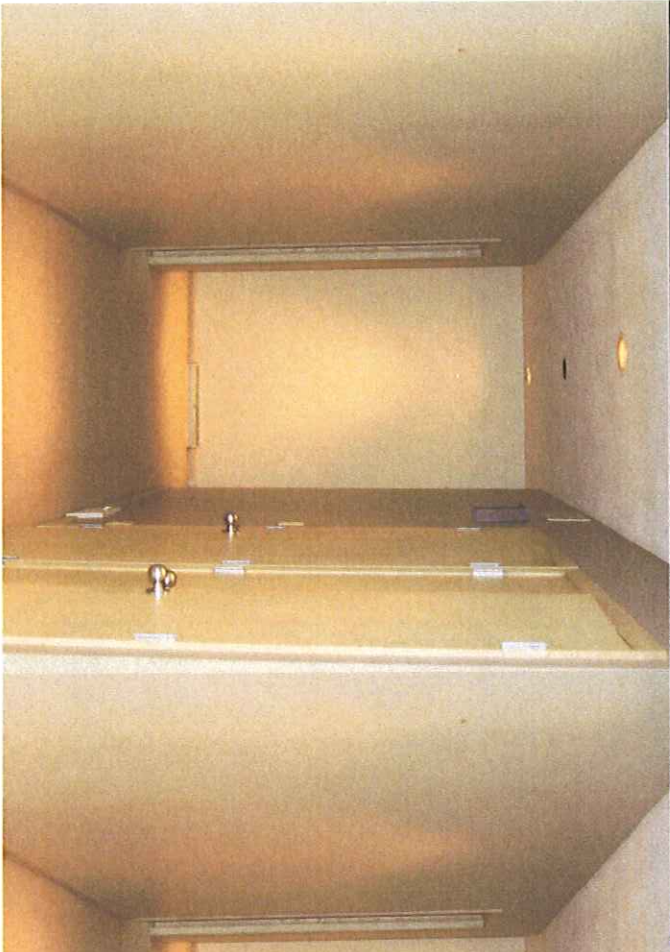
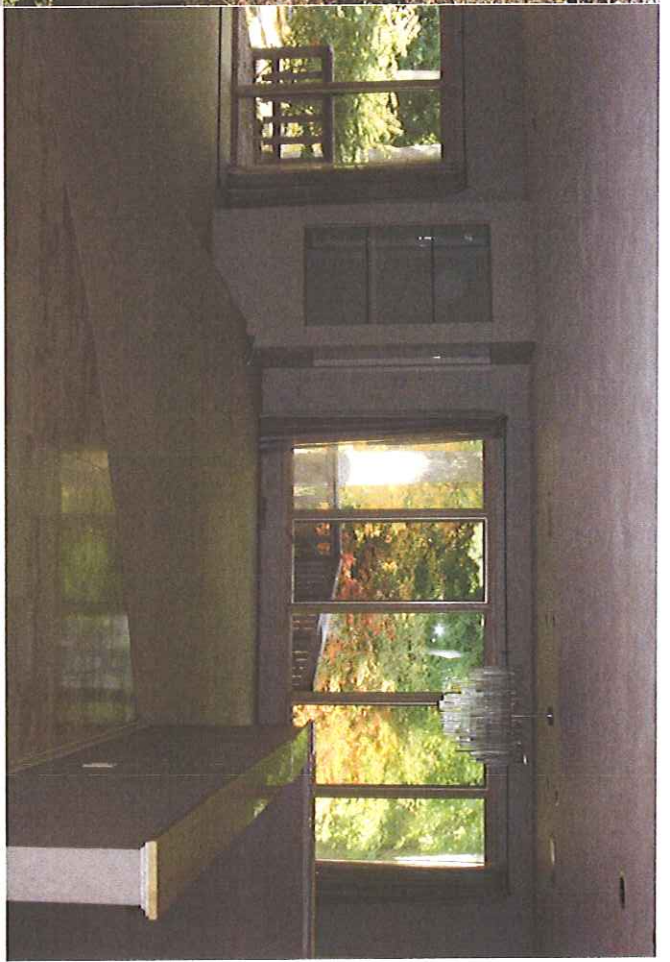
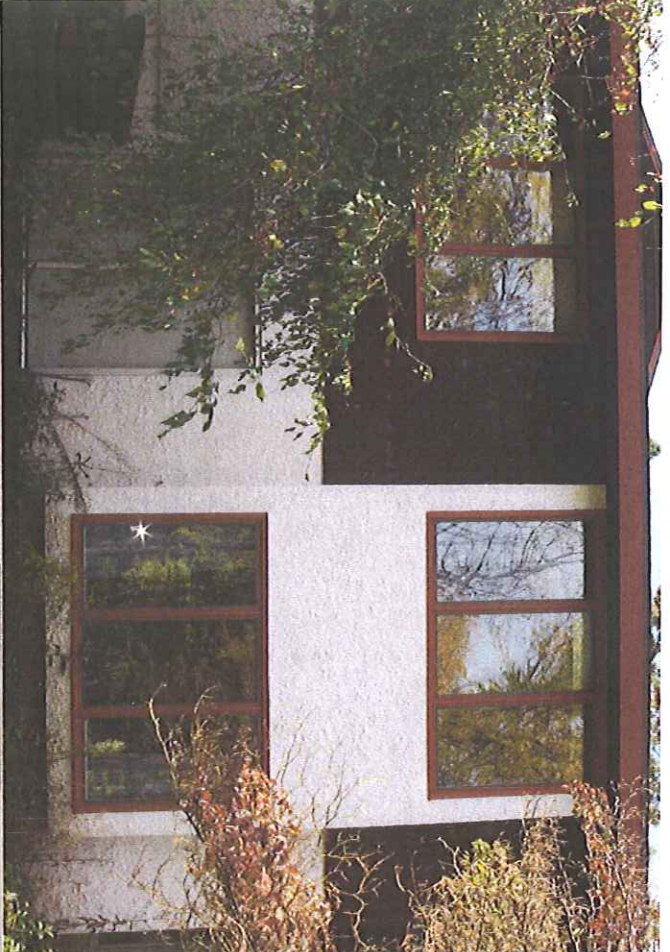
FRONT  
ELEVATIONS  
OF CURVED  
STRUCTURE

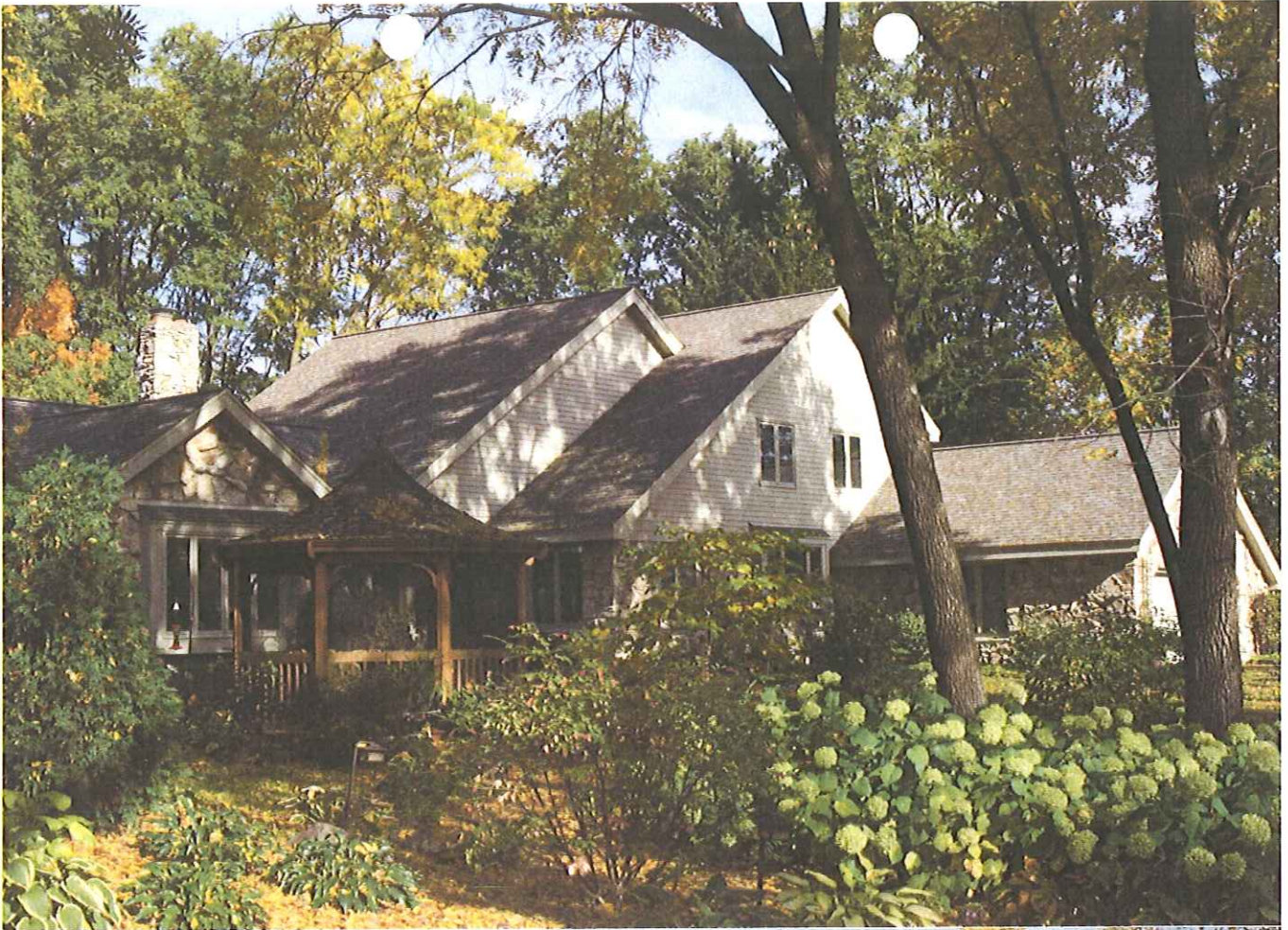


SIDE &  
REAR  
ELEVATIONS  
OF CURVED  
STRUCTURE



REAR  
INTERIOR  
OF CURRENT  
PICTURES  
STRUCTURE





①  
6012  
HIGHLAY  
AVE  
NORTH  
PROJEC  
SITE



②  
6010  
HIGHU  
AVE  
EAST  
PROJEC  
SITE