

SHEET INDEX

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PROJECT DATA

SITE DEVELOPMENT DATA:

DENSITIES:
LOT AREA: 174,585 Sq.Ft./ 4.00 ACRE
DWELLING UNITS: GDP 95 UNITS
PROPOSED 95 UNITS

LOT AREA PER UNIT: 1,837 sq.ft. / UNIT
DENSITY: 23.75 D.U. / ACRE

SITE COVERAGE:
BUILDING: 42,581 sq.ft. (24.4%)
PAVEMENT: 29,348 sq.ft. (16.9%)
SIDEWALKS: 7,142 sq.ft. (4.0%)
OPEN SPACE: 95,514 sq.ft. (54.7%)

BUILDING HEIGHT:
GDP: 2-3 STORIES, 45 FEET
PROPOSED: 2 & 3 STORIES, 45 FEET MAX

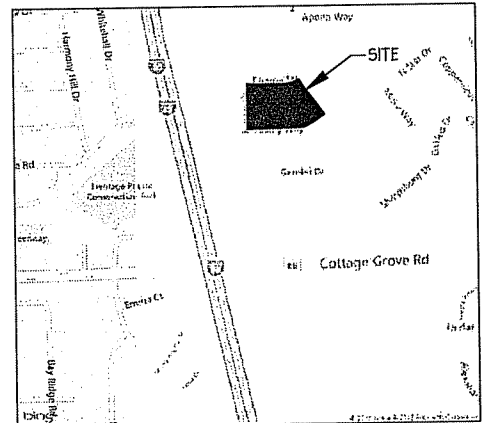
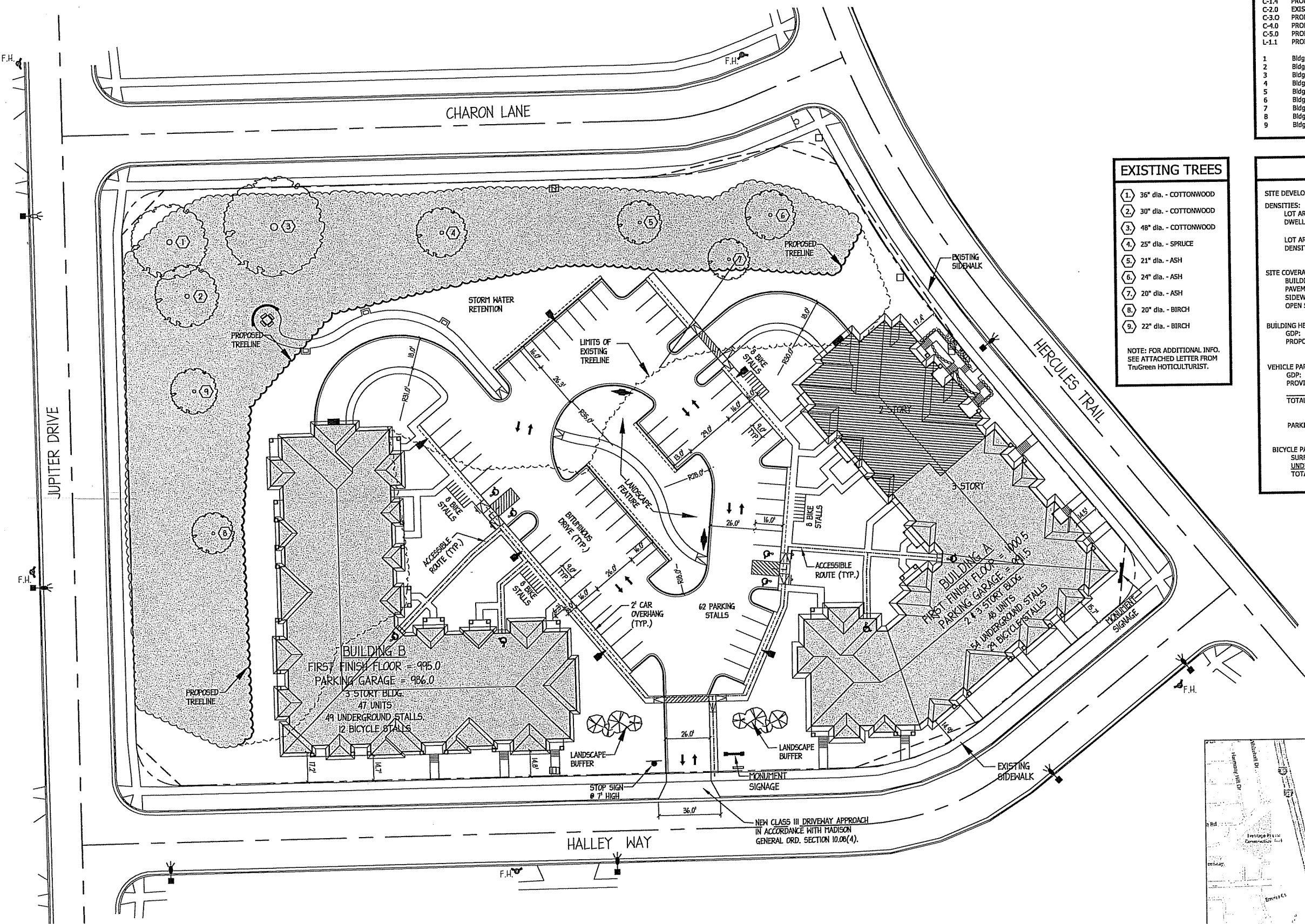
VEHICLE PARKING STALLS:
GDP: VARIES (WILL BE SET IN SIP)
PROVIDED: 105 UNDERGROUND
62 SURFACE
TOTAL: 167

PARKING RATIO: 1.77 / D.U.

BICYCLE PARKING STALLS:
SURFACE: 32
UNDERGROUND: 41
TOTAL: 73

EXISTING TREES

- 1 36" dia. - COTTONWOOD
 - 2 30" dia. - COTTONWOOD
 - 3 48" dia. - COTTONWOOD
 - 4 25" dia. - SPRUCE
 - 5 21" dia. - ASH
 - 6 24" dia. - ASH
 - 7 20" dia. - ASH
 - 8 20" dia. - BIRCH
 - 9 22" dia. - BIRCH
- NOTE: FOR ADDITIONAL INFO. SEE ATTACHED LETTER FROM TruGreen HORTICULTURIST.



0 30 60 90
SCALE: ONE INCH = THIRTY FEET (24"x34")
SCALE: ONE INCH = SIXTY FEET (11"x17")

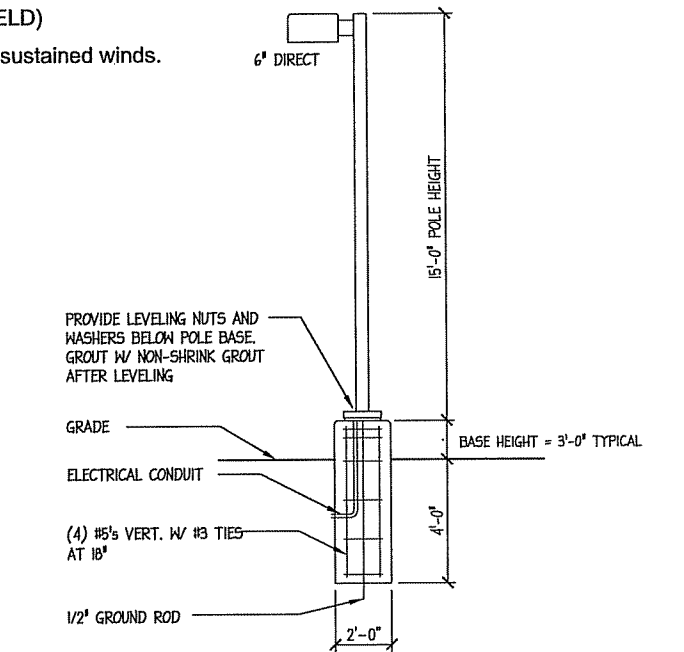
Site Plan
SCALE - 1" = 30' (1" = 60' @ 11x17)

Site Locator Map

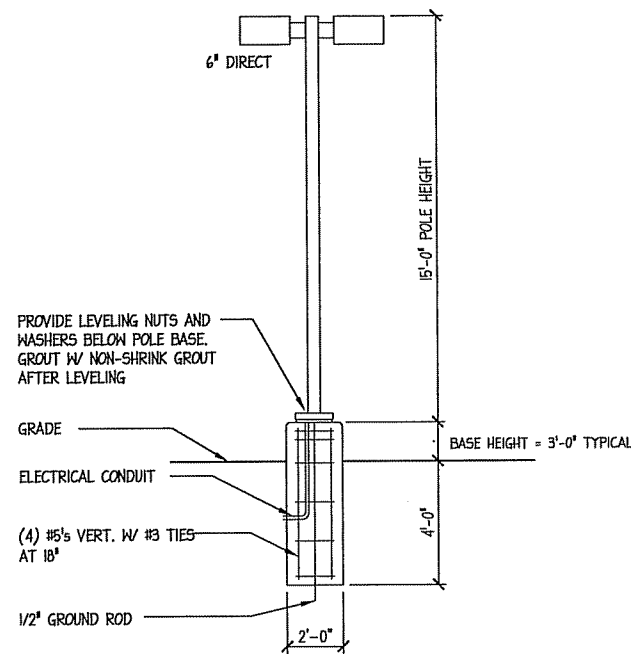
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
☐		C	SINGLE	8100	0.650	762	MPR2410-M 100W PSMH w/ BACK LIGHT SHIELD MH-20
☐		B	SINGLE	3100	0.650	136	E8405-M 50W PSMH MH-8
☐		C2	BACK-TO-BACK	8100	0.650	508	MPR2410-M 100W PSMH w/ BACK LIGHT SHIELD MH-20

Calculation Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	
CalcPls						
Parking Lot						

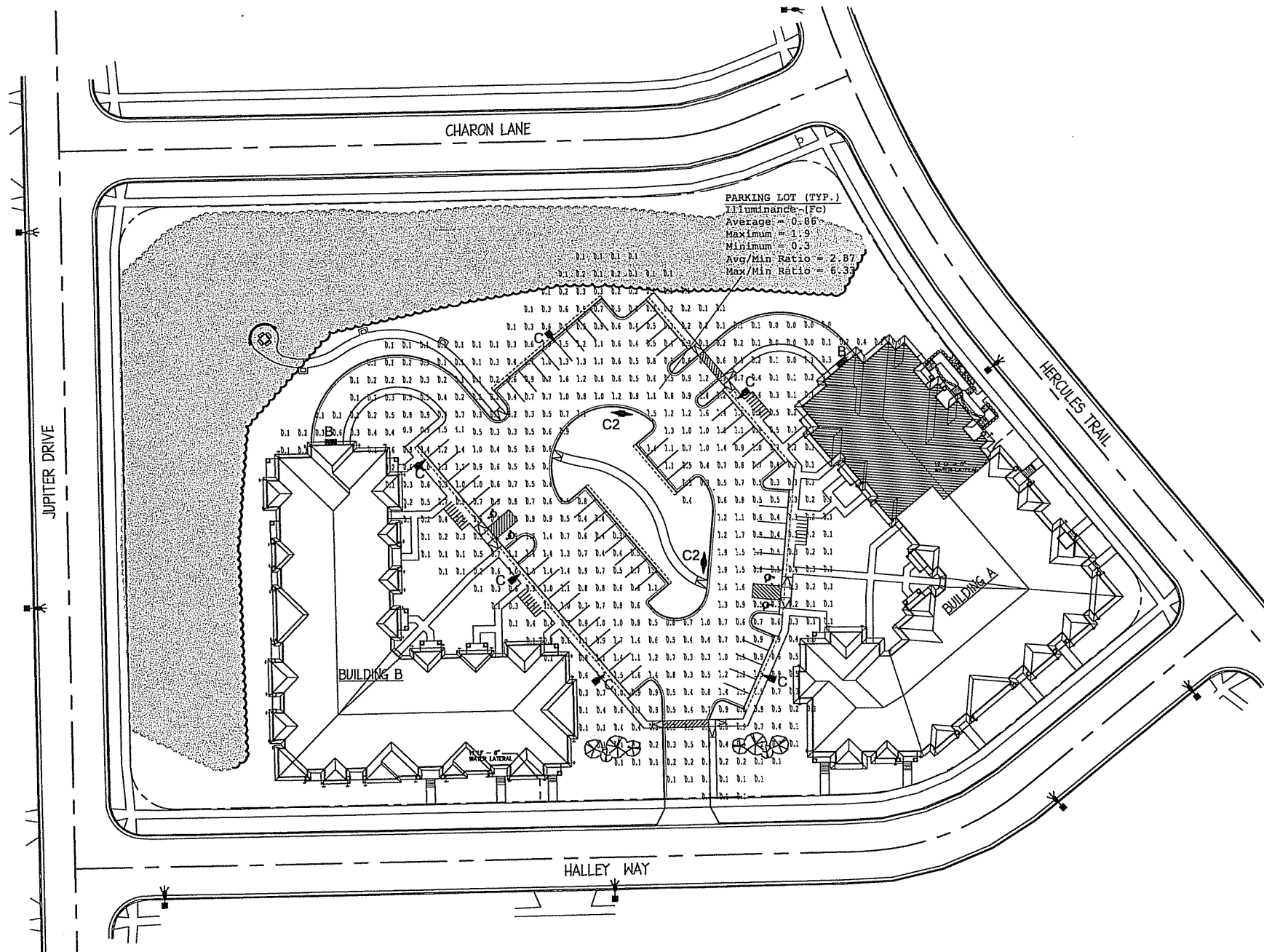
- Pole Schedule**
- (6) PS4S17C1BZ (17' X 4" STEEL SQUARE POLE)
 - (2) PS4S17C2BZ (17' X 4" STEEL SQUARE POLE @180)
 - (10) SBL-12 (BACKLIGHT SHIELD)
- Proposed poles meet 140 MPH sustained winds.



1 LIGHT POLE BASE
C-1.2

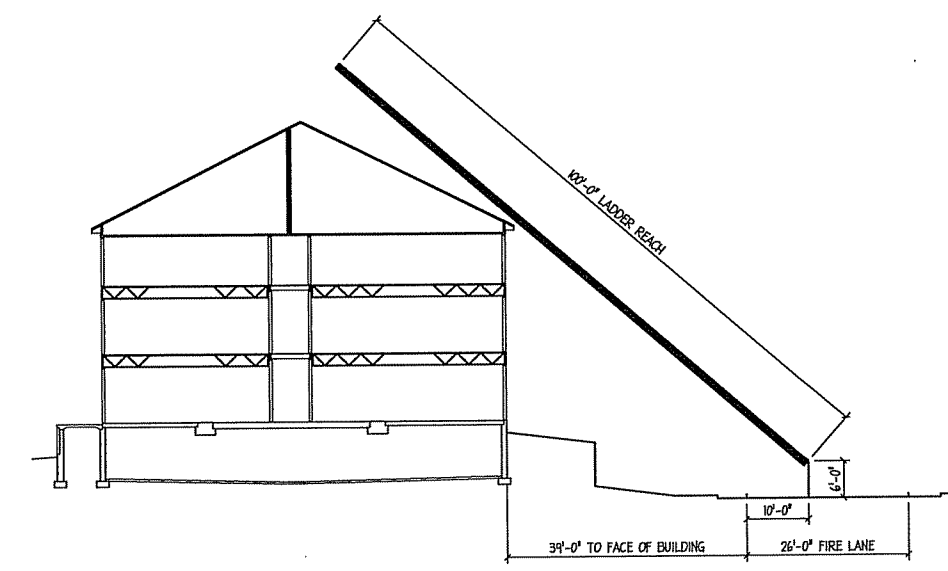


2 LIGHT POLE BASE
C-1.2

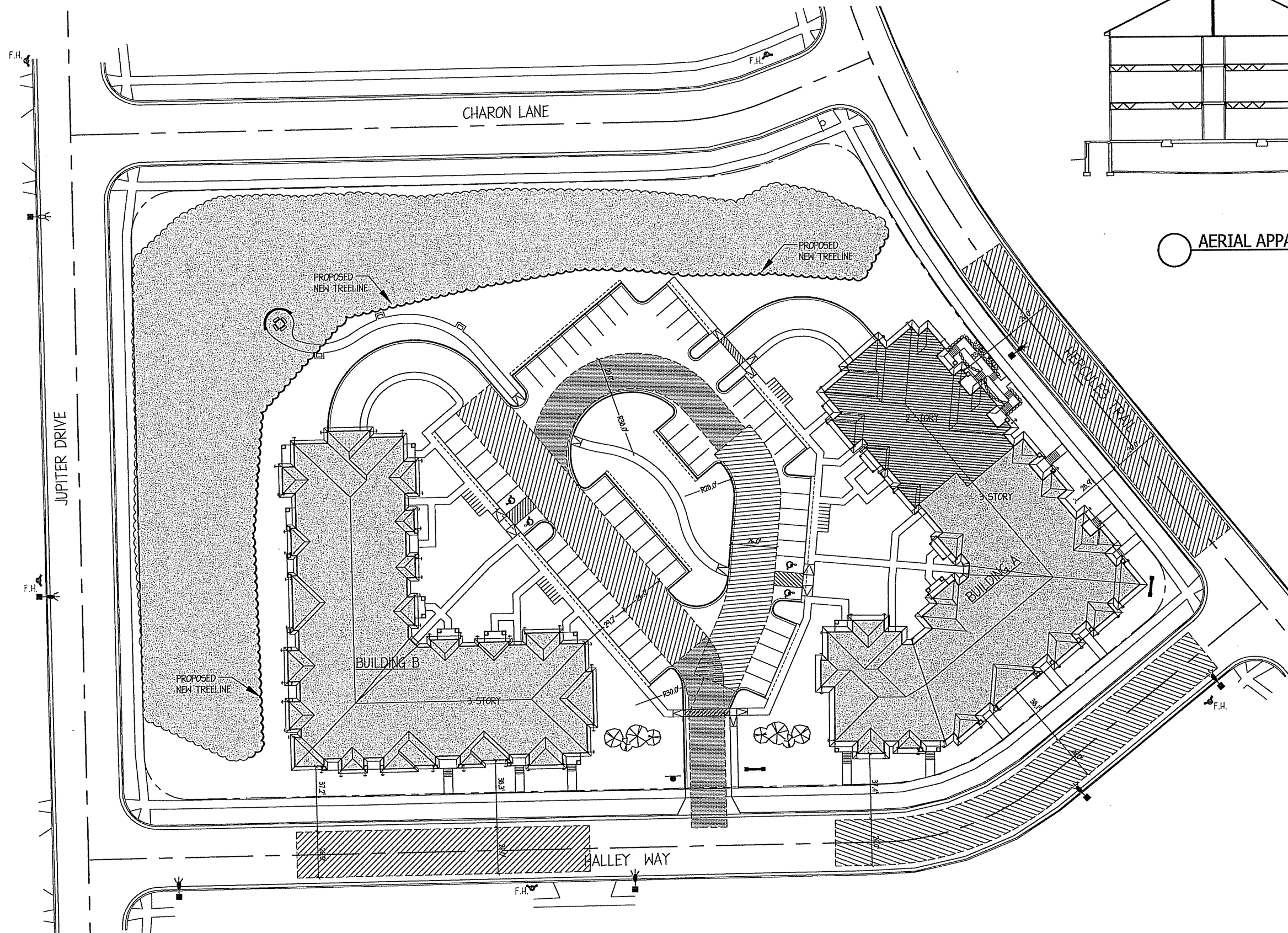


Site Lighting Plan
SCALE - 1" = 30' (1" = 60' @ 11x17)

0 30 60 90
SCALE: ONE INCH = FORTY FEET (24"x34")
SCALE: ONE INCH = EIGHTY FEET (11"x17")



○ AERIAL APPARATUS LADDER REACH



- NOTES**
- 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.
 - 20' MIN. WIDE FIRE LANE.
- FIRE LANE SIGN SPECS:**
SIZE: MINIMUM 12" WIDE BY 18" HIGH
- VERBIAGE:** NO PARKING
FIRE LANE
TOW AWAY ZONE
- SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH BLOCK RED LETTERS AND A RED BORDER.
- DIRECTION ARROWS MAY BE REQUIRED TO INDICATE THE SPECIFIC LOCATION, BEGINNING AND END OF THE FIRE LANE.
- HEIGHT ABOVE GRADE: THE BOTTOM OF THE SIGN SHALL BE 7 FEET ABOVE GRADE.

0 30 60 90
SCALE: ONE INCH = THIRTY FEET (24"x34")
SCALE: ONE INCH = SIXTY FEET (11"x17")

Fire Department Access Plan
SCALE - 1" = 30' (1" = 60' @ 11x17)

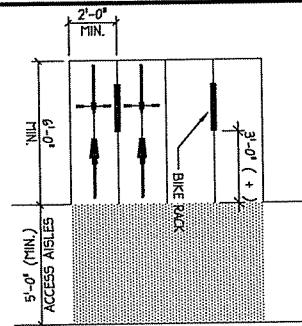
Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

SIP Rezoning
10-03-2012

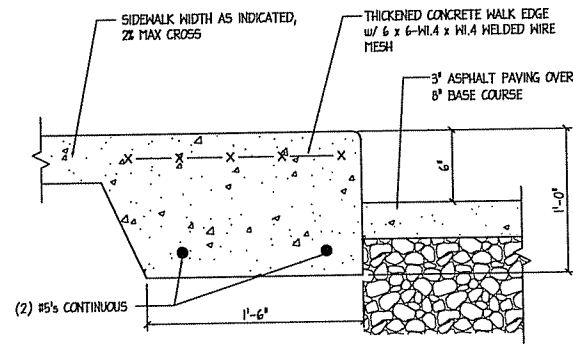
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Drawing Name
Proposed Fire Department Access Plan

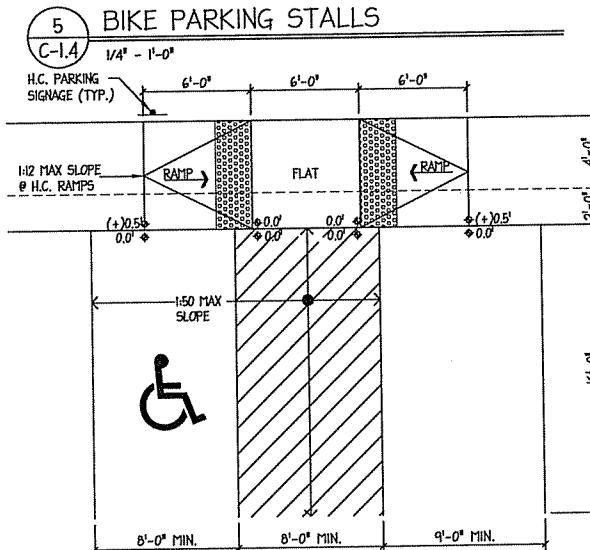
Project Number 1206 Sheet No. C-1.3



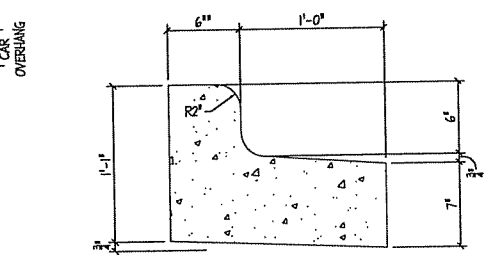
LAYOUT FOR INVERTED-U TYPE RACK INSTALLATION, TWO BICYCLES TO BE PARKED ON EACH INVERTED-U, PER CITY OF MADISON BIKE RACK REQUIREMENTS



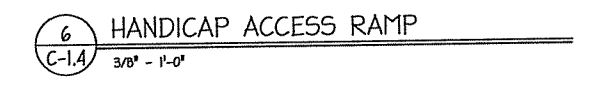
1 SIDEWALK CURB DETAIL
C-1.4 1 1/2' - 1'-0"



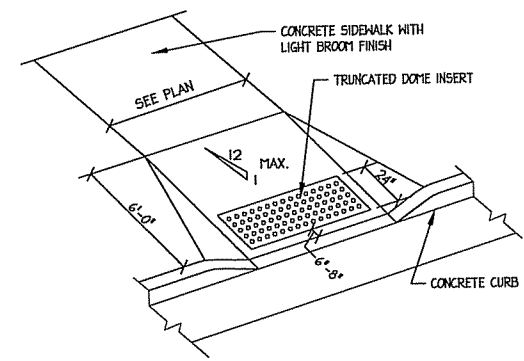
5 BIKE PARKING STALLS
C-1.4 3/8' - 1'-0"



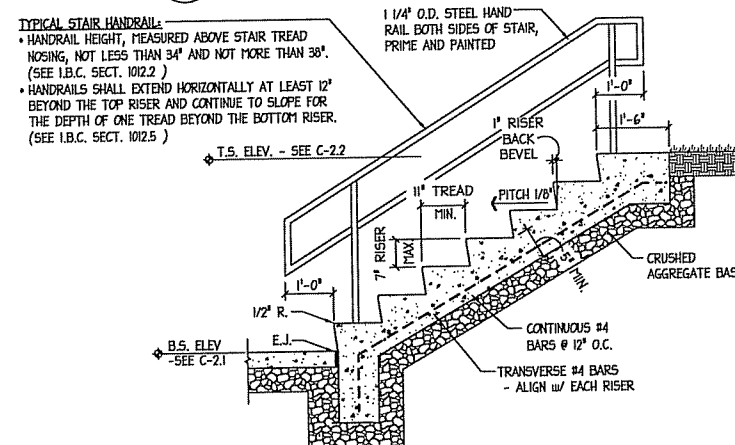
2 REJECT CURB DETAIL
C-1.4 1 1/2' - 1'-0"



6 HANDICAP ACCESS RAMP
C-1.4 3/8' - 1'-0"

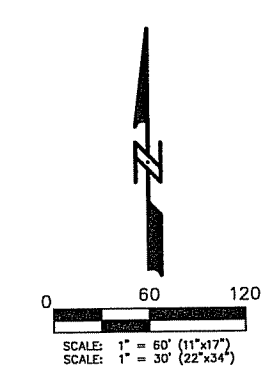
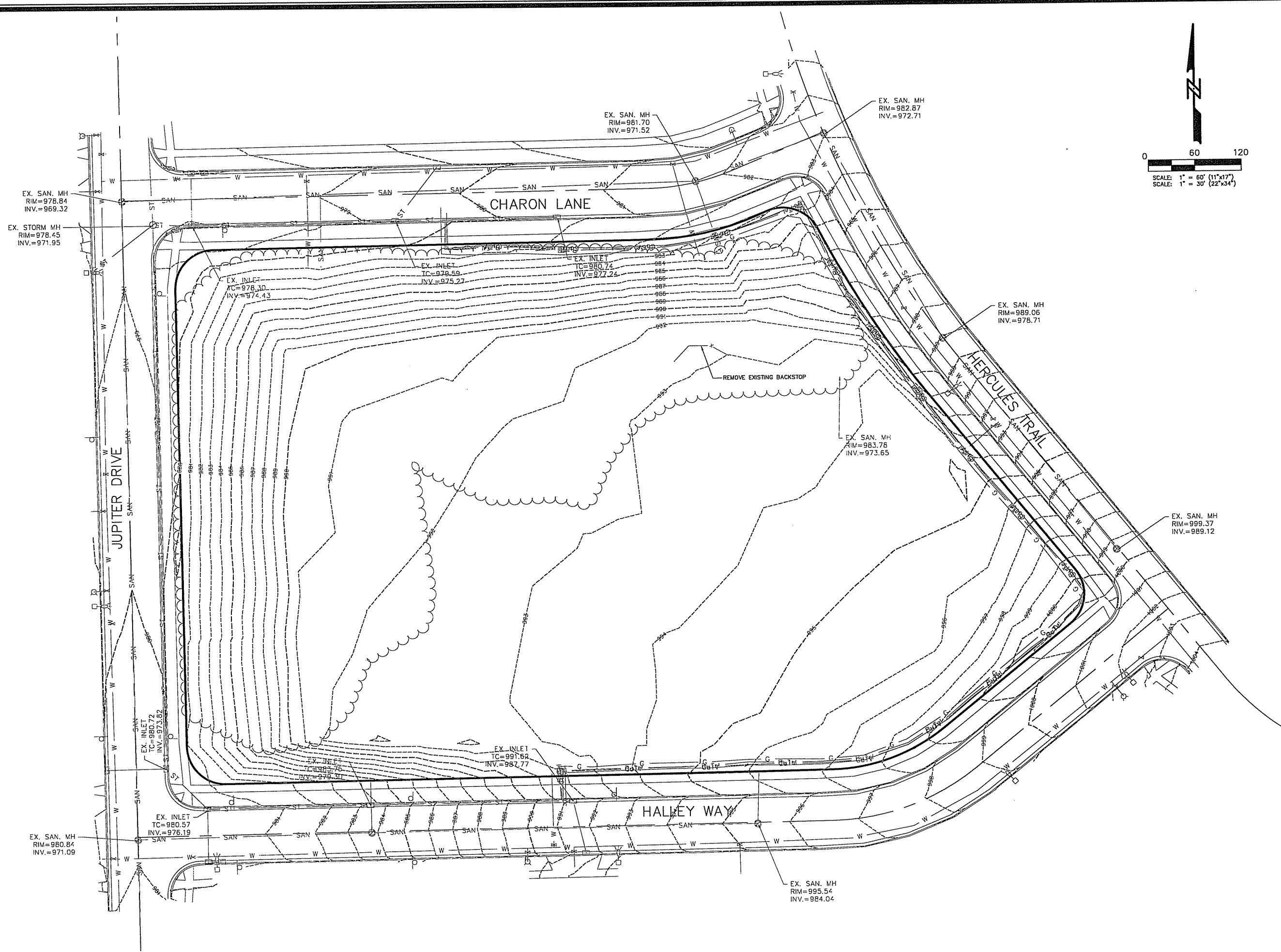


3 ACCESSIBLE SIDEWALK RAMP
C-1.4 1' - 1'-0"



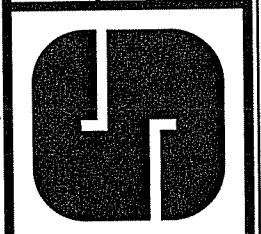
TYPICAL STAIR HANDRAIL:
 • HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSING, NOT LESS THAN 34" AND NOT MORE THAN 38". (SEE I.B.C. SECT. 1012.2)
 • HANDRAILS SHALL EXTEND HORIZONTALLY AT LEAST 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. (SEE I.B.C. SECT. 1012.5)

4 CONCRETE STAIR @ RETAINING WALL
C-1.4 1/2' - 1'-0"

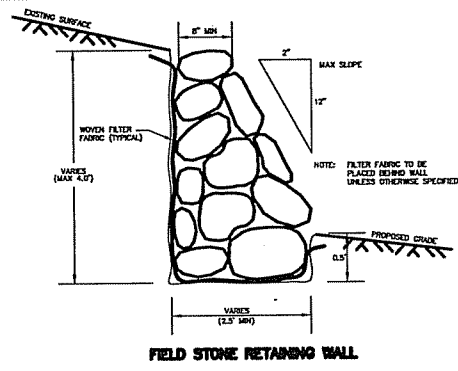
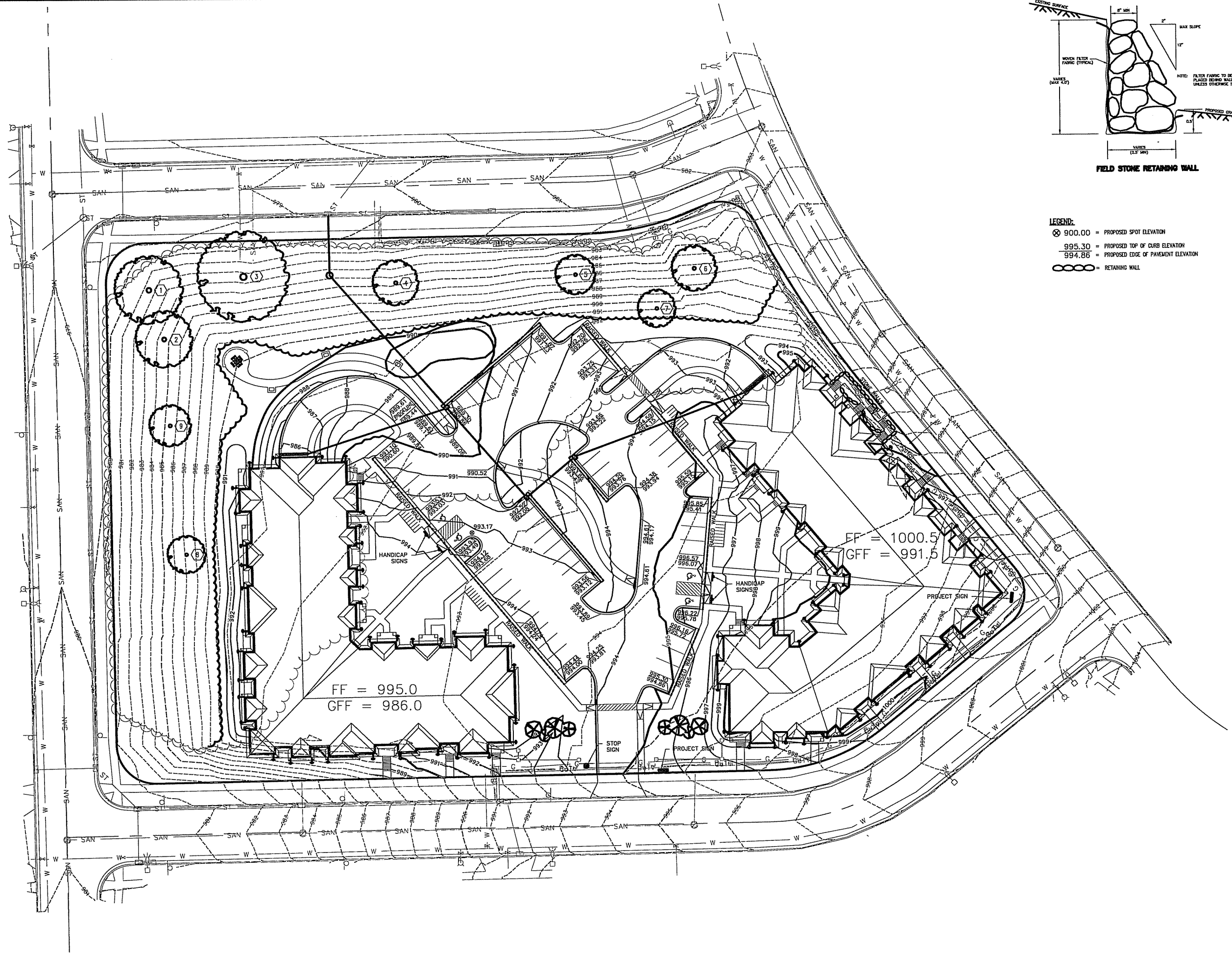
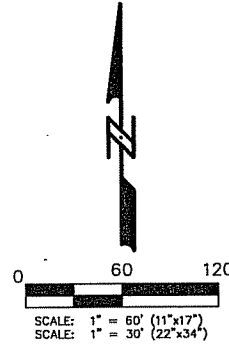


MARK	REVISION	DATE	BY
Engineer: L.A.O.	Checked By: XXX	1" = 30'	
Technician: XXX	Date: 12 SEPT 2012	Field Bk.	Pg.
Project No:	112.0652	Sheet	C-2.0

HERCULES TRAIL APARTMENTS
 EXISTING SITE PLAN
SNYDER & ASSOCIATES, INC.
 CITY OF MADISON, WI
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



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- LEGEND:**
- ⊗ 900.00 = PROPOSED SPOT ELEVATION
 - 995.30 = PROPOSED TOP OF CURB ELEVATION
 - 994.86 = PROPOSED EDGE OF PAVEMENT ELEVATION
 - ⊖ ⊖ ⊖ = RETAINING WALL

MARK	REVISION	DATE	BY
	Engineer: L.A.O. Checked By: XXX	Scale: 1"=30'	
	Technician: XXX	Date: 12 SEPT 2012	Field Bk: Pg:
Project No: 112.0652			Sheet C-3.0

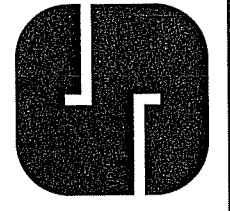
CITY OF MADISON, WI

HERCULES TRAIL APARTMENTS

GRADING PLAN

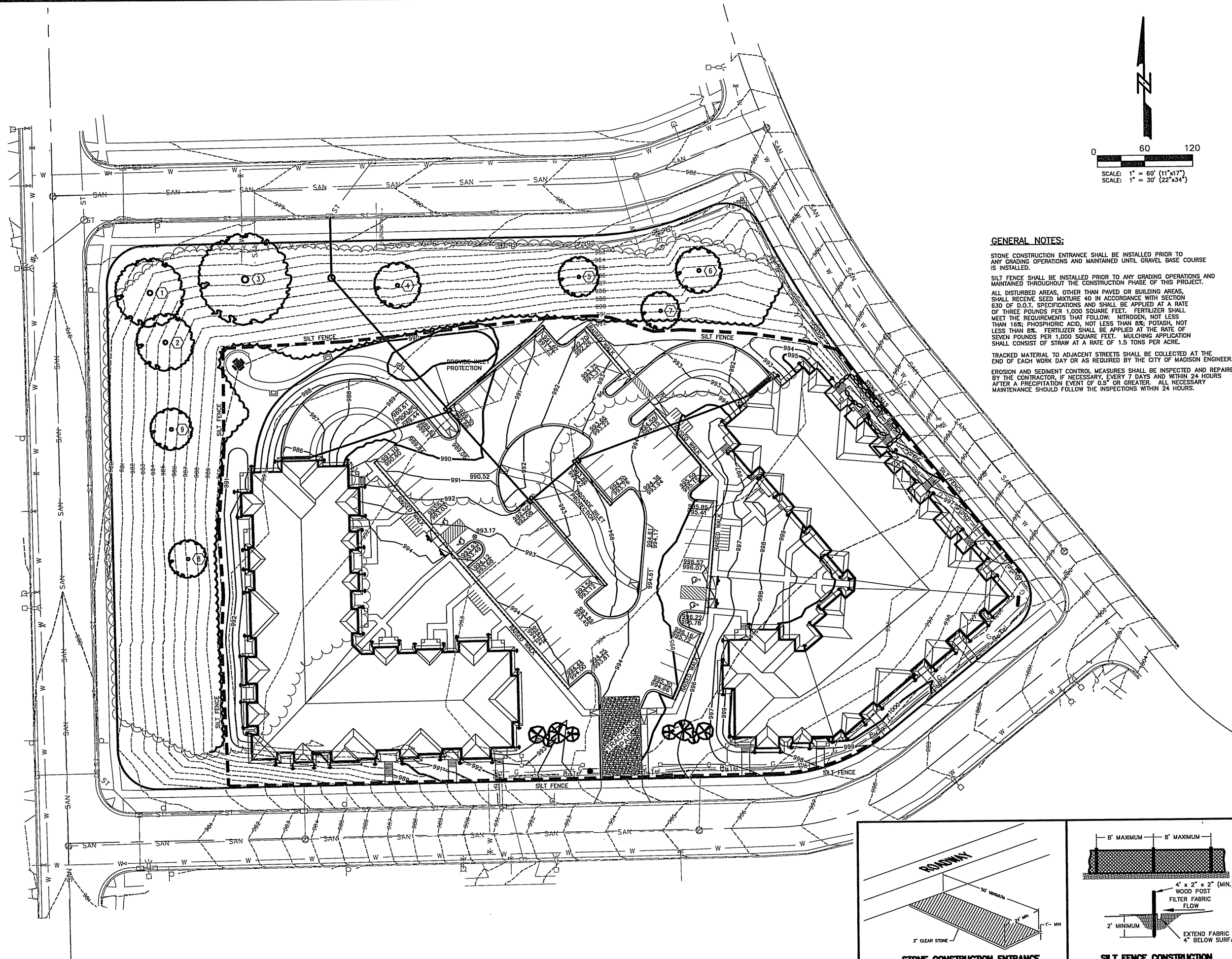
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Project No: 112.0652
Sheet C-3.0



GENERAL NOTES:

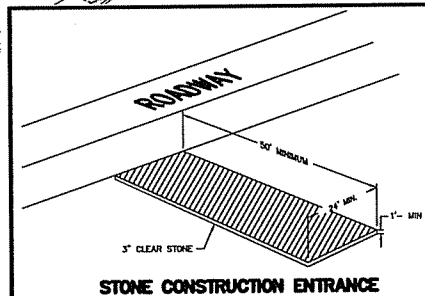
STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE COURSE IS INSTALLED.

SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

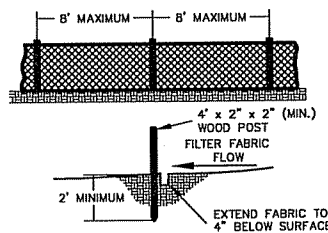
ALL DISTURBED AREAS, OTHER THAN PAVED OR BUILDING AREAS, SHALL RECEIVE SEED MIXTURE 40 IN ACCORDANCE WITH SECTION 830 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF THREE POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A RATE OF 1.5 TONS PER ACRE.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON ENGINEER.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.



STONE CONSTRUCTION ENTRANCE



SILT FENCE CONSTRUCTION

HERCULES TRAIL APARTMENTS

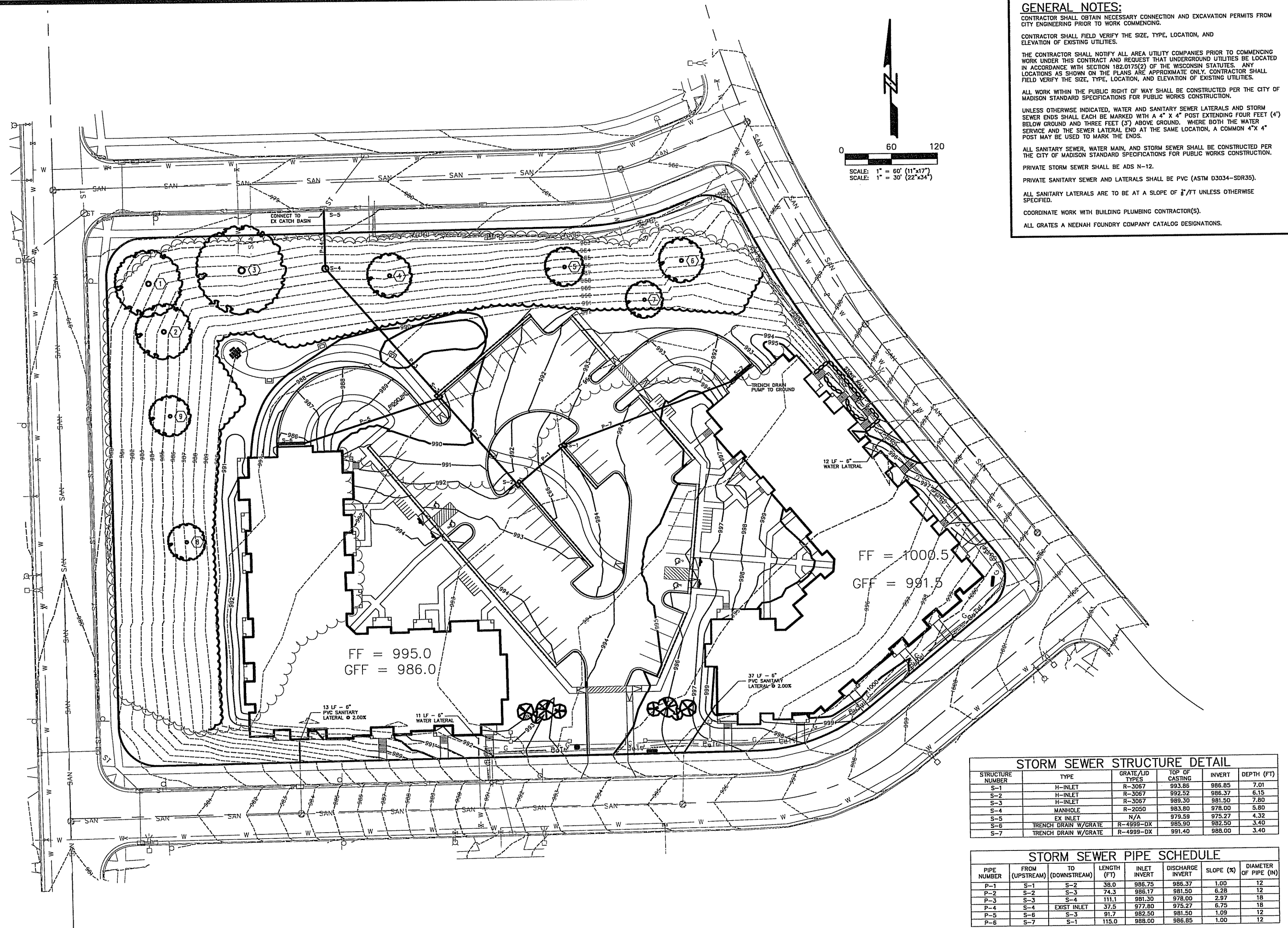
EROSION CONTROL PLAN

CITY OF MADISON, WI

5010 VOGES ROAD
MADISON, WISCONSIN 53718
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SNYDER & ASSOCIATES, INC.

MARK	REVISION	DATE	BY
Engineer: L.A.O.	Checked By: XXX	Scale: 1"=30'	
Technician: XXX	Date: 12 SEPT 2012	Field Bk	
Project No:	112.0652	Sheet	C-4.0



GENERAL NOTES:
 CONTRACTOR SHALL OBTAIN NECESSARY CONNECTION AND EXCAVATION PERMITS FROM CITY ENGINEERING PRIOR TO WORK COMMENCING.
 CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WISCONSIN STATUTES. ANY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 UNLESS OTHERWISE INDICATED, WATER AND SANITARY SEWER LATERALS AND STORM SEWER ENDS SHALL EACH BE MARKED WITH A 4" X 4" POST EXTENDING FOUR FEET (4') BELOW GROUND AND THREE FEET (3') ABOVE GROUND. WHERE BOTH THE WATER SERVICE AND THE SEWER LATERAL END AT THE SAME LOCATION, A COMMON 4" X 4" POST MAY BE USED TO MARK THE ENDS.
 ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 PRIVATE STORM SEWER SHALL BE ADS N-12.
 PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).
 ALL SANITARY LATERALS ARE TO BE AT A SLOPE OF 1/8"/FT UNLESS OTHERWISE SPECIFIED.
 COORDINATE WORK WITH BUILDING PLUMBING CONTRACTOR(S).
 ALL GRATES A NEENAH FOUNDRY COMPANY CATALOG DESIGNATIONS.

STORM SEWER STRUCTURE DETAIL

STRUCTURE NUMBER	TYPE	GRATE/LID TYPES	TOP OF CASTING	INVERT	DEPTH (FT)
S-1	H-INLET	R-3067	993.86	986.85	7.01
S-2	H-INLET	R-3067	992.52	986.37	6.15
S-3	H-INLET	R-3067	989.30	981.50	7.80
S-4	MANHOLE	R-2050	983.80	978.00	5.80
S-5	EX INLET	N/A	979.59	975.27	4.32
S-6	TRENCH DRAIN W/GRATE	R-4999-DX	985.90	982.50	3.40
S-7	TRENCH DRAIN W/GRATE	R-4999-DX	991.40	988.00	3.40

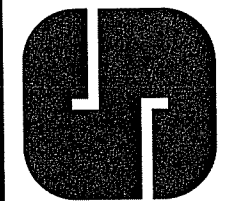
STORM SEWER PIPE SCHEDULE

PIPE NUMBER	FROM (UPSTREAM)	TO (DOWNSTREAM)	LENGTH (FT)	INLET INVERT	DISCHARGE INVERT	SLOPE (%)	DIAMETER OF PIPE (IN)
P-1	S-1	S-2	38.0	986.75	986.37	1.00	12
P-2	S-2	S-3	74.3	986.17	981.50	6.28	12
P-3	S-3	S-4	111.1	981.30	978.00	2.97	18
P-4	S-4	EXIST INLET	37.5	977.80	975.27	6.75	18
P-5	S-6	S-3	91.7	982.50	981.50	1.09	12
P-6	S-7	S-1	115.0	988.00	986.85	1.00	12

MARK	REVISION	DATE	BY
Engineer: L.A.O.	Checked By: XXX	Scale: 1"= 30'	
Technician: XXX	Date: 12 SEPT 2012	Field Bk:	
Project No: 112.0652		Sheet	C-5.0

CITY OF MADISON, WI
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
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HERCULES TRAIL APARTMENTS
 UTILITY PLAN
SNYDER & ASSOCIATES, INC.

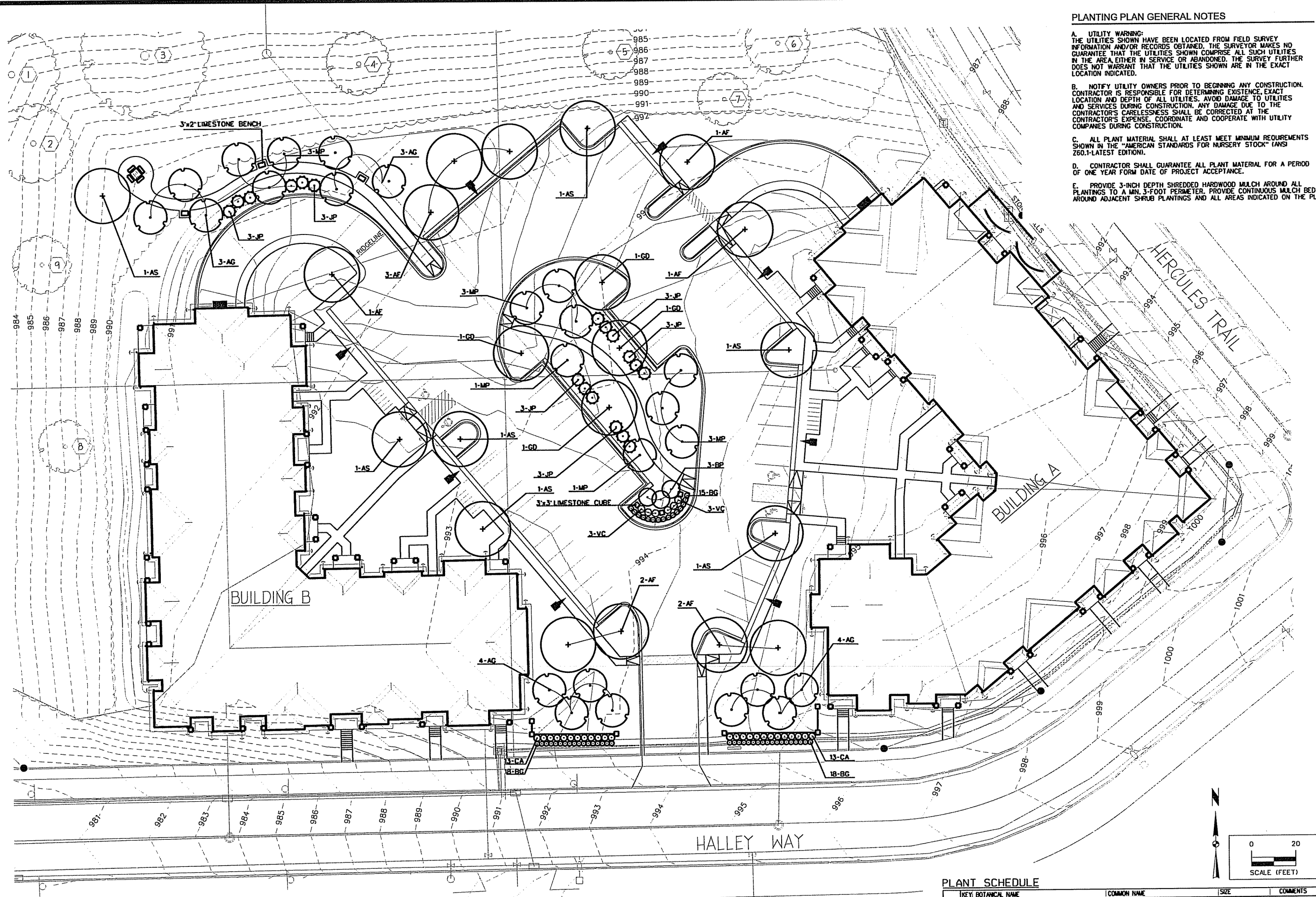


Project No: 112.0652
 Sheet C-5.0

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PLANTING PLAN GENERAL NOTES

A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).

D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.

E. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 3-FOOT PERIMETER. PROVIDE CONTINUOUS MULCH BEDS AROUND ADJACENT SHRUB PLANTINGS AND ALL AREAS INDICATED ON THE PLAN.

PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
CHOPPY TREES	AF	Acer x freemanii 'Marmo'	2"	B&B
	AS	Acer x saccharum 'Autumn Fest'	2"	B&B
	GD	Gymnocladia dioica	2"	B&B, SEEDLESS
	AG	Amelanchier x grandiflora 'Autumn Brilliance'	6" HT.	B&B, MULTI-STEM
ORNAMENTAL TREES	BP	Betula papyrifera 'Dakota Pinocle'	6" HT.	B&B, COLUMNAR
	MP	Morus 'Prairiefire'	6" HT.	B&B
	BC	Buxus 'Green Velvet'	24" HL.	CONT. (2' O.C.)
SHRUBS	CA	Ceanothus americanus	24" HL.	CONT. (3' O.C.)
	JP	Juniperus x pfitzeriana 'Sea Green'	24" HL.	CONT. (3' O.C.)
	VC	Viburnum carlesii 'Compactum'	24" HL.	CONT. (3' O.C.)

HERCULES TRAIL APARTMENTS

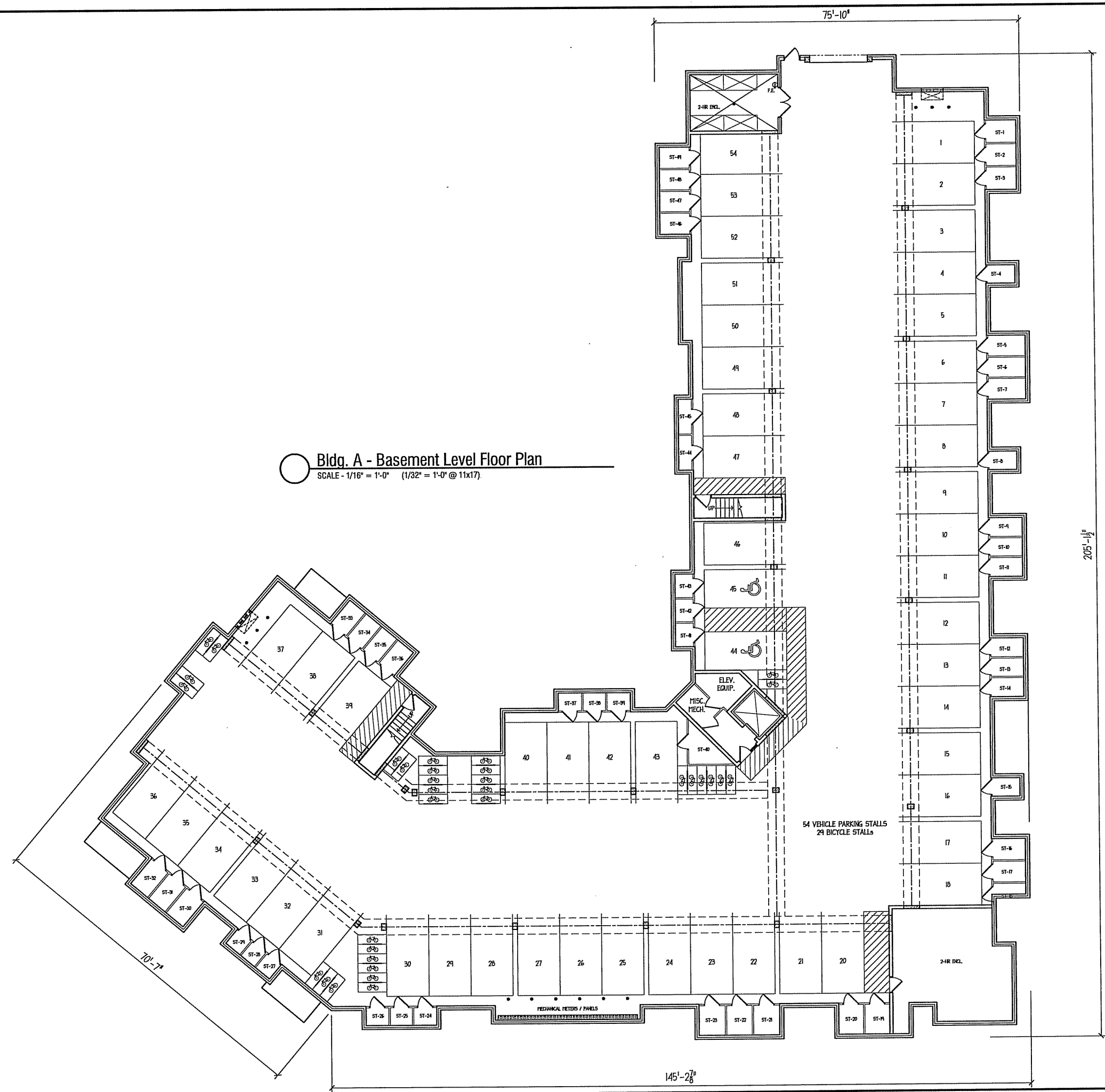
PROPOSED LANDSCAPE PLAN

CITY OF MADISON, WI

SNYDER & ASSOCIATES, INC.

MARK	REVISION	DATE	BY
Engineer: MC	Checked By: DPM	Scale: 1"= 20'	
Technician: DEG	Date: 10-01-12	Field Bk:	
Project No: 112.0652.30	Sheet	L-1.1	

5010 VOGES ROAD
MADISON, WISCONSIN 53718
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Bldg. A - Basement Level Floor Plan
SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)

**Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin**

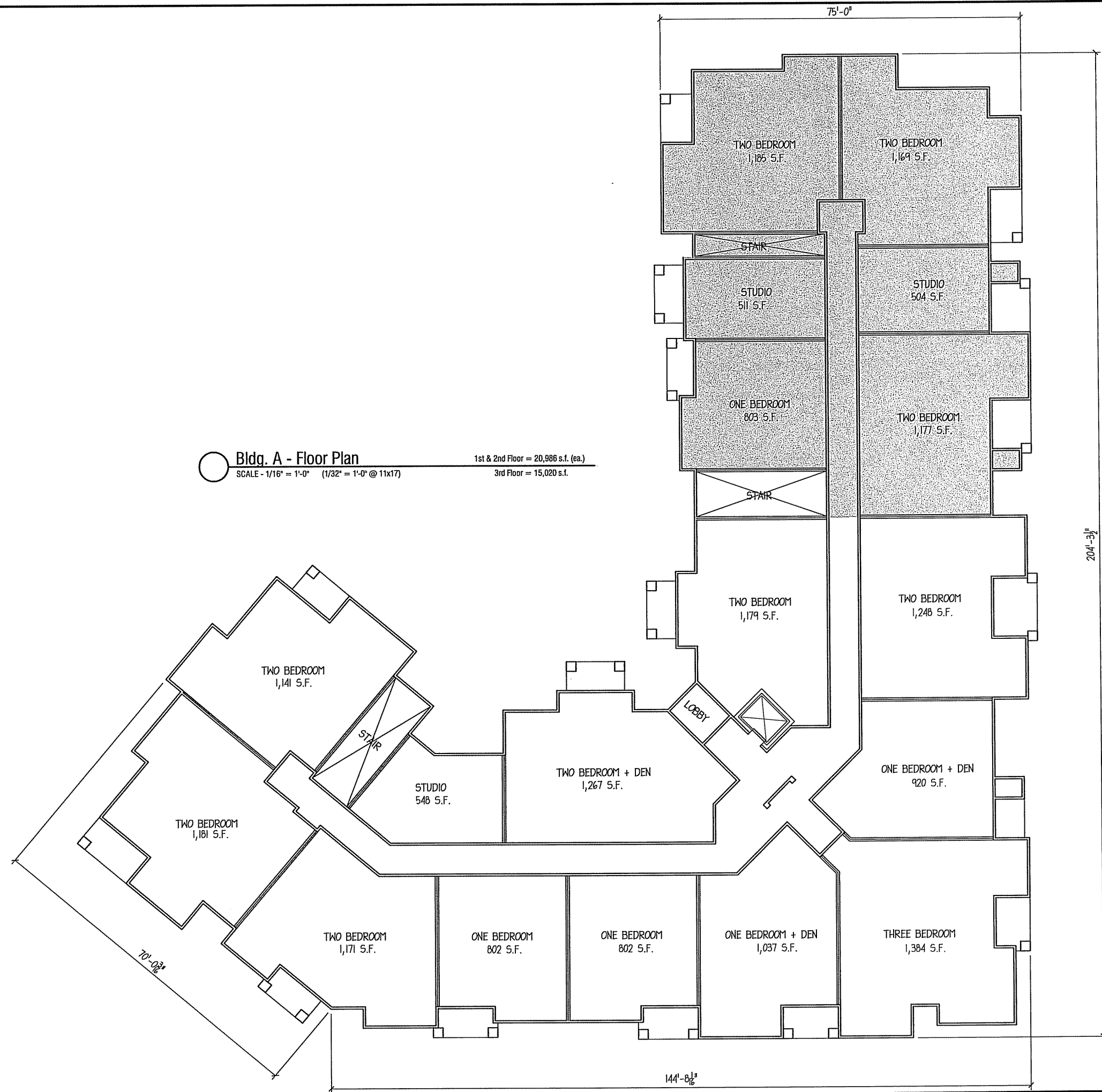
SIP Rezoning
10-03-2012

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Drawing Name
**Bldg. A
Floor Plan**

Project Number
1206

Sheet No.
2



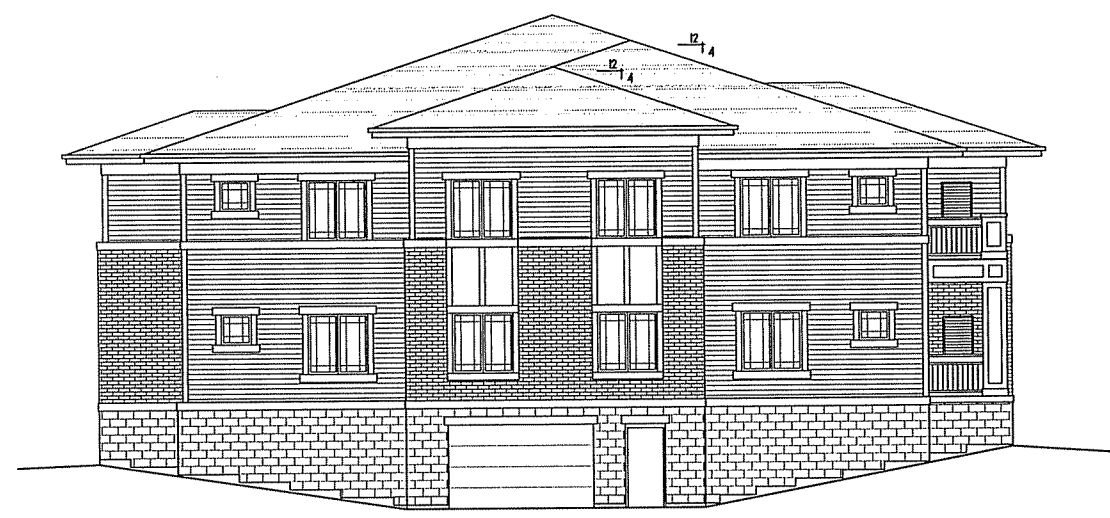
Bldg. A - Floor Plan
SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)
1st & 2nd Floor = 20,986 s.f. (ea.)
3rd Floor = 15,020 s.f.

TYPICAL MATERIALS

- 30 YEAR ARCHITECTURAL GRADE SHINGLES
- ALUMINUM FASCIA & SOFFIT
- COMPOSITE FRIEZE BOARD
- COMPOSITE CORNER TRIM, BANDS, & HIDDEN TRIM
- COMPOSITE TRIM & PANELS
- HORIZONTAL SIDING
- VINYL WINDOWS & PATIO DOORS
- PRECAST CONCRETE CAP
- BRICK VENEER



 BUILDING A - NORTH ELEVATION (HERCULES TRAIL)
SCALE - 1/8" = 1'-0"



 BUILDING A - NORTHWEST ELEVATION
SCALE - 1/8" = 1'-0"



550 Sunrise Drive, Suite 201
Post Office Box 1024
Spring Green, WI 53588

Phone: 608-588-3691
Fax: 608-588-3582

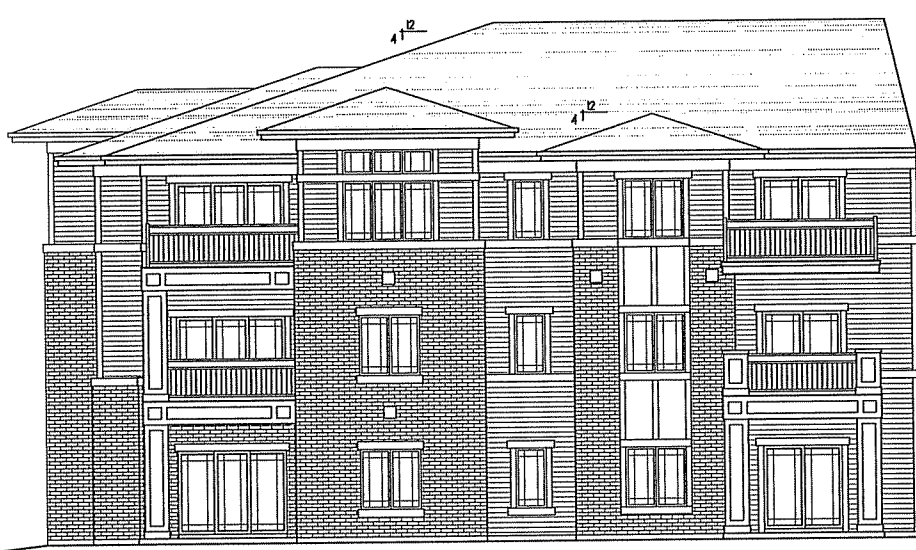
Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

SIP Rezoning
10-03-2012

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Drawing Name
Bldg A - Elevation

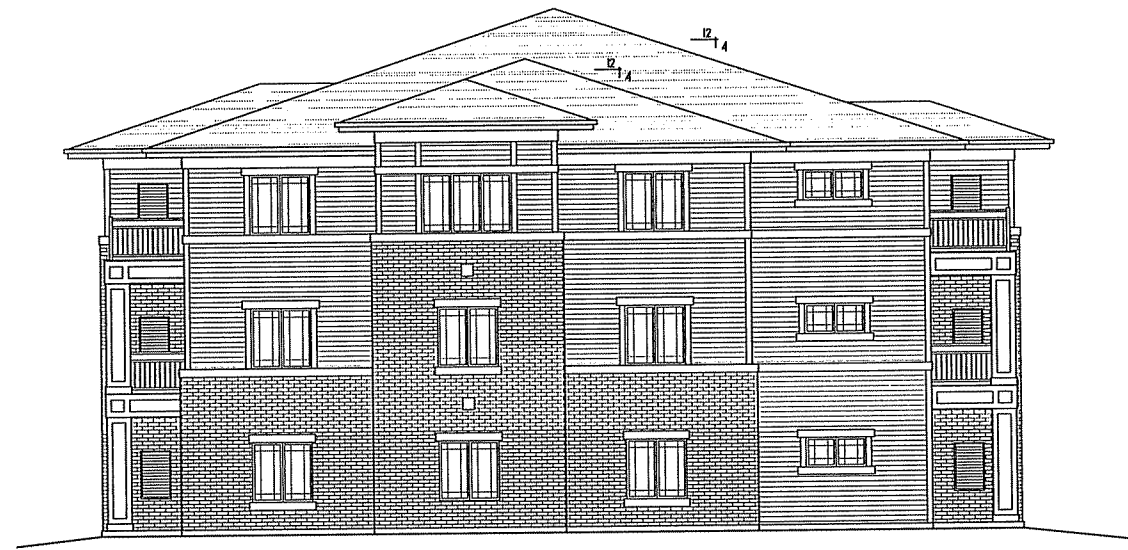
Project Number	Sheet No.
1206	3



BUILDING A - SOUTH ELEVATION (HALLEY WAY)
SCALE - 1/8" = 1'-0"



BUILDING A - SOUTHEAST ELEVATION (HALLEY WAY)
SCALE - 1/8" = 1'-0"



BUILDING A - WEST ELEVATION
SCALE - 1/8" = 1'-0"

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Drawing Name
Bldg A - Elevation

Project Number
1206

Sheet No.
4



○ BUILDING A - INSIDE SOUTHWEST ELEVATION
SCALE - 1/8" = 1'-0"

○ BUILDING A - INSIDE SOUTHWEST ELEVATION
SCALE - 1/8" = 1'-0"



○ BUILDING A - INSIDE NORTH ELEVATION
SCALE - 1/8" = 1'-0"

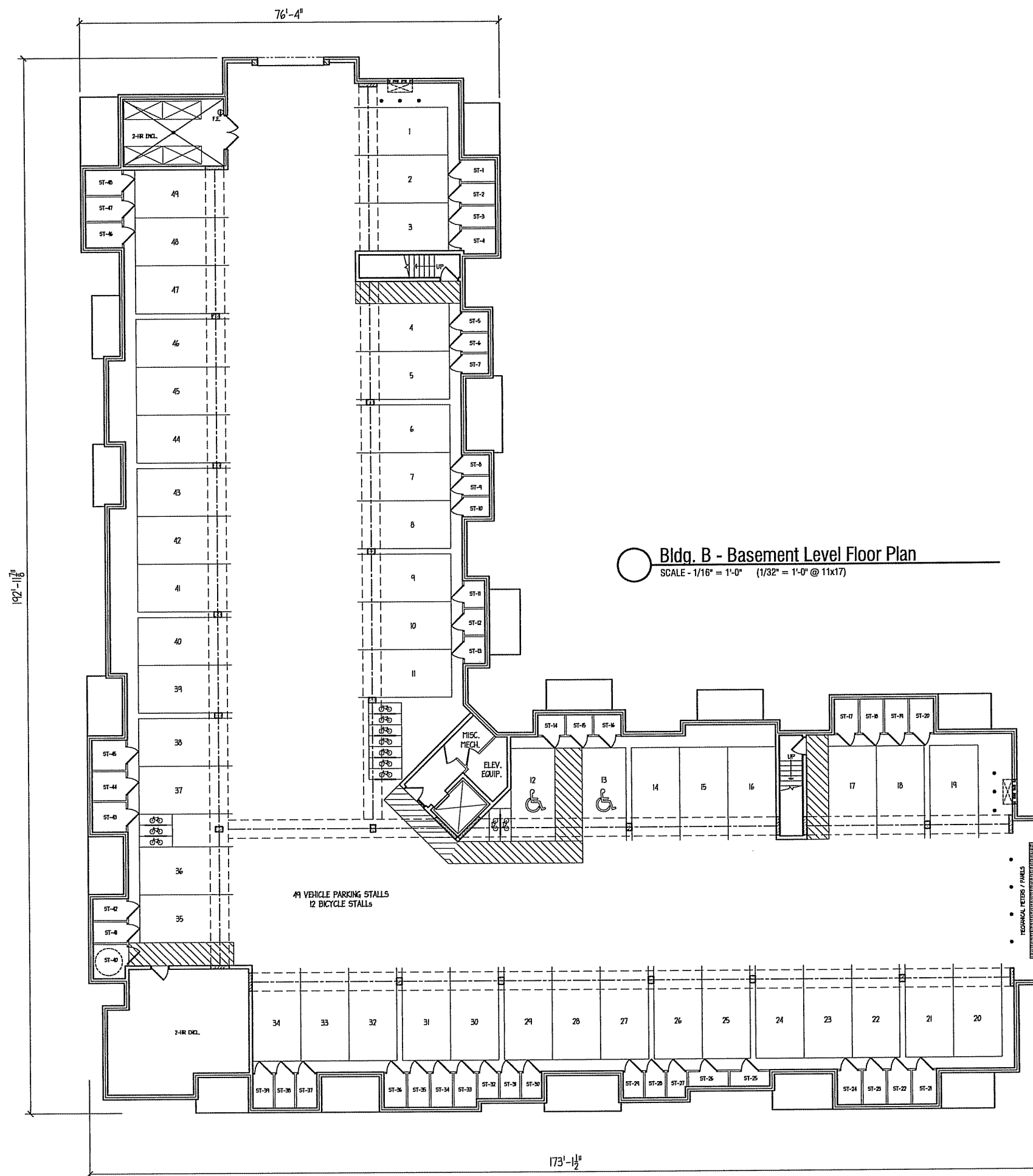
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Lots 451-454
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Drawing Name
Bldg A - Elevation

Project Number	Sheet No.
1206	5



Bldg. B - Basement Level Floor Plan
 SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)



Bldg. B - Basement Level Floor Plan

1st, 2nd, & 3rd Floor = 19,215 s.f. (ea.)

SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)

192'-11 1/4"

75'-6"

172'-3 1/2"



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Drawing Name
**Bldg. B
 Floor Plans**

Project Number 1206	Sheet No. 7
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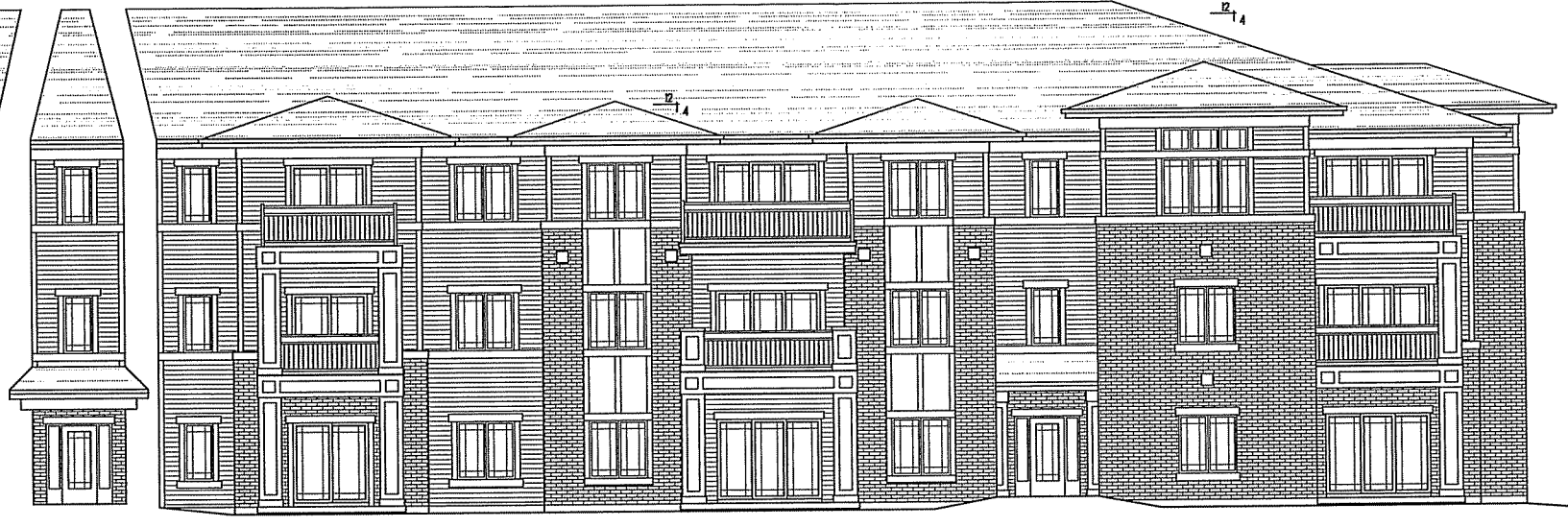
BUILDING B - SOUTH ELEVATION (HALLEY WAY)
SCALE - 1/8" = 1'-0"



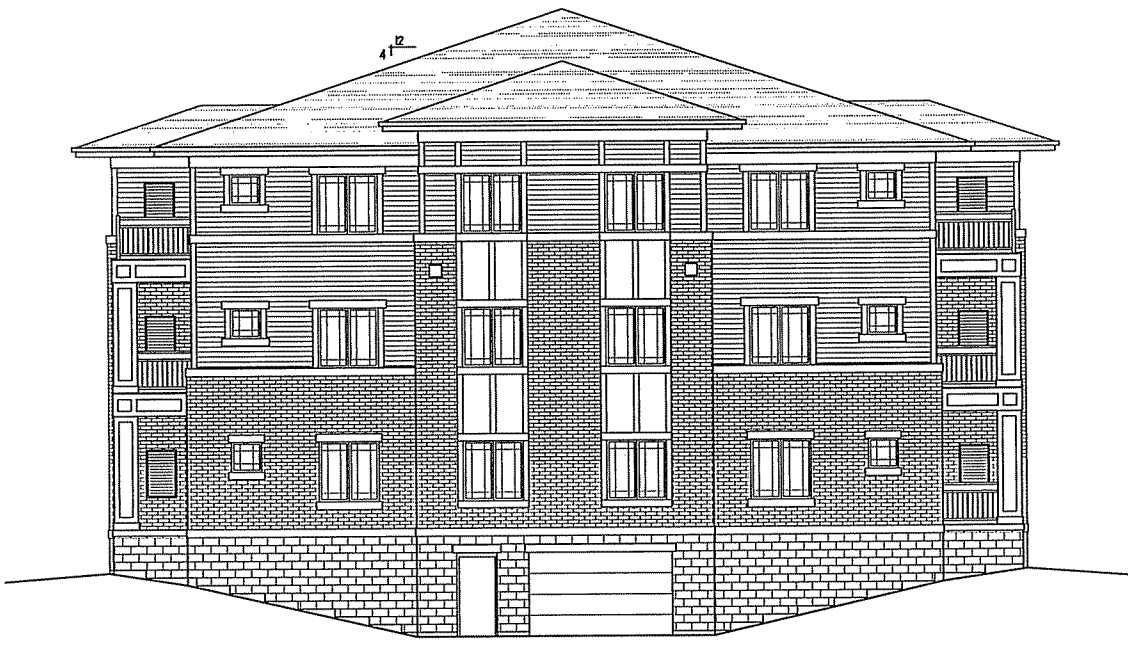
BUILDING B - WEST ELEVATION (JUPITER DRIVE)
SCALE - 1/8" = 1'-0"



BUILDING B - INSIDE NORTH ELEVATION
SCALE - 1/8" = 1'-0"



BUILDING B - INSIDE EAST ELEVATION
SCALE - 1/8" = 1'-0"



BUILDING B- END ELEVATION
SCALE - 1/8" = 1'-0"