



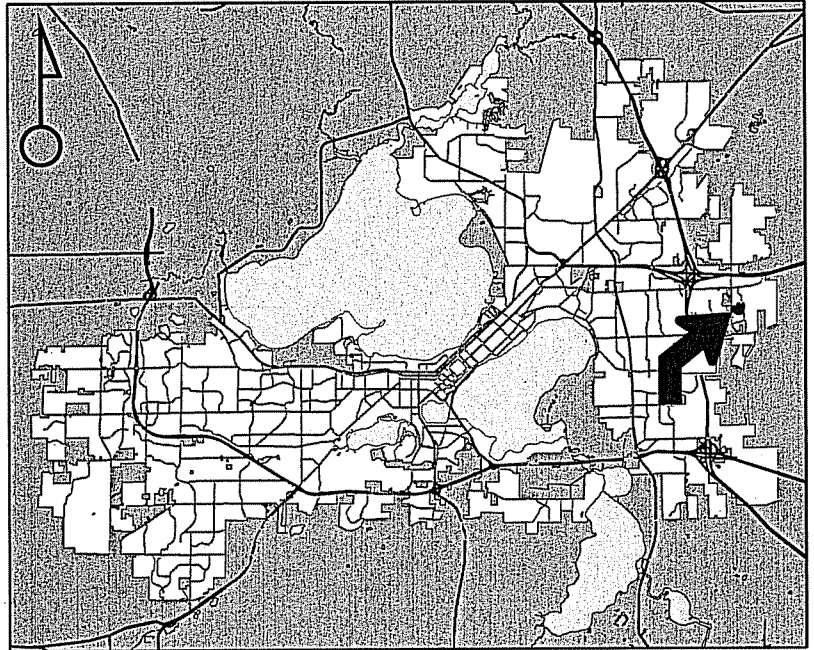
Location
6602 Dominion Drive

Applicant
Door Creek Church/Noa Prieve -
Williamson Surveying & Associates

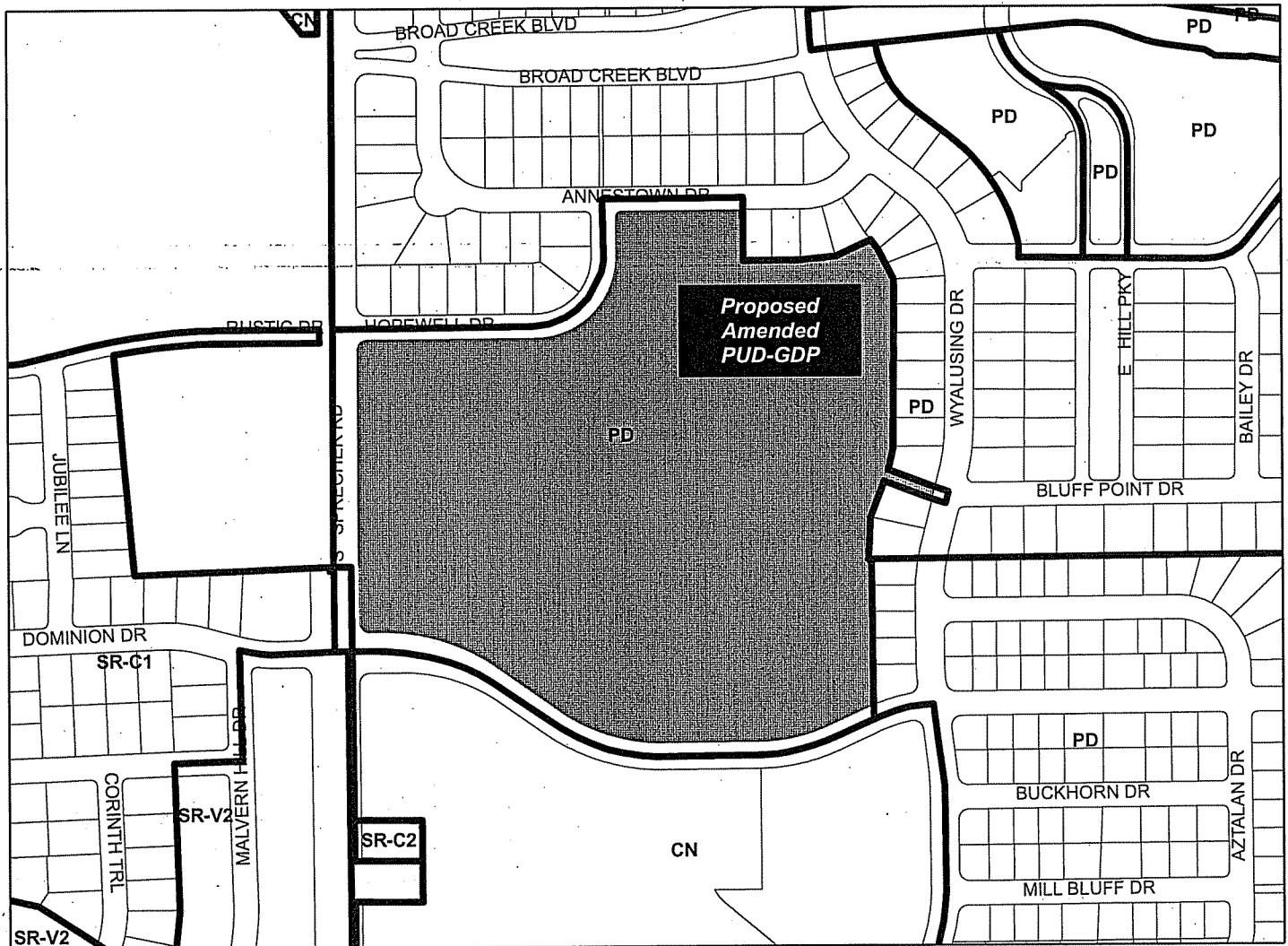
From: PD-GDP To: Amended
PUD-GDP

Proposed Use
Amend general development plan for
Door Creek Church and approved four-lot
CSM to create a two-family twin lot, 2 single-
family lots and 1 lot for the church campus

Public Hearing Date
Plan Commission
11 August 2014
Common Council
02 September 2014

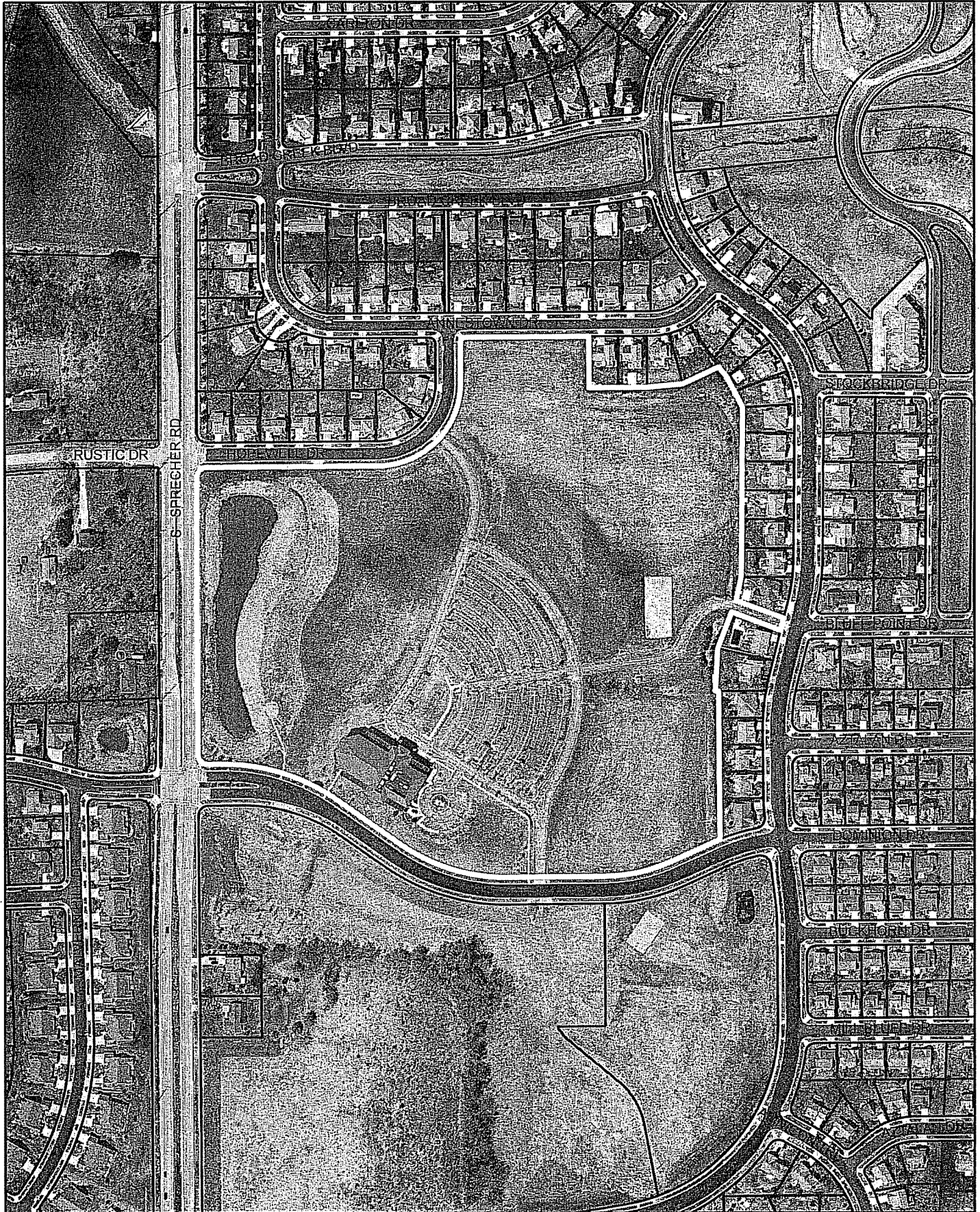


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 01 August 2014





LAND USE APPLICATION

CITY OF MADISON

Planning & Community
Development
& Economic Development

215 North Luther King Jr. Blvd; Room LL-100
Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid	<u>1500-</u> Receipt No. <u>155004</u>
Date Received	<u>6/11/14</u>
Received By	<u>KF/gjp</u>
Parcel No.	<u>0710-013-1818-0</u>
Aldermanic District	<u>3- CNARE</u>
Zoning District	<u>PD</u>
Special Requirements	<u>PD; ENG MD</u>
Review Required By:	
<input checked="" type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input checked="" type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 6602 Dominion Dr
Project Title (if any): DOOR CREEK CHURCH CSM

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: RANDY OLSON **Company:** DOOR CREEK CHURCH
Street Address: 6602 Dominion Dr **City/State:** MADISON, WI **Zip:** 53718
Telephone: (608) 222-8586 **Fax:** () **Email:** Randy@DOORCREEKCHURCH.ORG

Project Contact Person: NOA PRIEVE **Company:** WILLIAMSON SURVEYING & ASSOC. LLC
Street Address: 104A W. Main St **City/State:** WAUNAKEE, WI **Zip:** 53597
Telephone: (608) 255-5705 **Fax:** (608) 849-9760 **Email:** NOA@WILLIAMSONSURVEYING.COM

Property Owner (if not applicant): DOOR CREEK CHURCH
Street Address: 6602 Dominion Dr **City/State:** MADISON, WI **Zip:** 53718

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Modify the existing PD use in order to create one (1) new duplex lot and two (2) new single family home lots to sell.

Development Schedule: Commencement after lots are created Completion n/a

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alder Cnare waived the 30 day notice via email. Meeting with neighborhood result email. (copies included in packet)

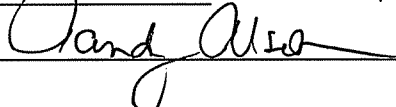
→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Kevin Firchow Date: 5-14-2014 Zoning Staff: Pat Anderson Date: 5-14-2014

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Randy Olson Relationship to Property: Director of Building Services

Authorizing Signature of Property Owner  Date June 11, 2014



WILLIAMSON SURVEYING & ASSOCIATES, LLC

104A WEST MAIN STREET, WAUNAKEE, WI 53597

NOA T. PRIEVE and CHRIS W. ADAMS

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

June 3, 2014

**Door Creek Church
6602 Dominion Drive
Madison, WI 53718**

LETTER OF INTENT

This site is currently zoned PD and has an existing Church and parking areas along with storm water detention areas all approved in the latest amendment to this PD. No conditions for the Church part of this PD are proposed to change and all information previously approved for business hours and use will remain accurate.

The church is looking to generate some additional money with the sale of a few building sites in the northerly most part of this site. We are requesting approval of a four (4) lot Certified Survey Map that would create three (3) new parcels as follows:

- Lot 1 - church lot - 1,308,237 sq.ft.
remaining land where the church is currently located.
- Lot 2 - one duplex lot - 13,280 sq.ft.
located on the corner of Annestown Drive and Hopewell Drive
- Lot 3 & 4 - two single family lots - 8,740 sq.ft. each
located between the proposed duplex lot and the existing Lot 113 of Reston Heights

The proposed new lots are shown on the Site Plan dated 6-2-2014 and included along with this packet. The proposed new Certified Survey Map is also included along with this packet. The single family lots are designed to match the size, shape and building area as all the surrounding lots located in the immediate vicinity. The duplex lot would be significantly larger in order to accommodate a duplex building site with the potential of having two driveways located either on Annestown Drive or Hopewell Drive depending on the future design. The remaining lot would continue to be used as the Church site along with substantial areas of green space.

This development should not greatly affect the current lot coverage and usable open space calculations. The value of the Church site should not be affected, but there would be the added value of the newly created building sites which would need to be appraised at time of creation. This project will not generate jobs at this time but the development of the new lots will in the future. No public subsidy is being requested for this project.

Project Team:

Randy Olson, Door Creek Church

Chris Adams or Noa Prieve, Williamson Surveying and Associates LLC

Letter of Intent

City of Madison,

This application for a proposed 4 Lot Certified Survey Map is being requested by Door Creek Church in order to generate some revenue on behalf of the church. Currently, Door Creek Church owns a large parcel located in a mostly developed part of a residential subdivision setting. The church would like to create 3 new lots zoned SR-V1 along the northerly part of this parcel, along Annestown Drive, which would act as infill on a street that currently has lots of this size developed. The potential developer is interested in building duplex buildings on these three lots. The remainder of the church parcel will be included in the Certified Survey Map as the 4th lot and will remain under ownership of the church. Development of the three lots is not set at this time, but the potential buyer will proceed with building permits and plans as soon as the lots can be transferred.

**ZONING TEXT PUD(SIP)
DOOR CREEK CHURCH
6602 DOMINION DRIVE
MADISON, WI 53718**

June 10, 2014

LEGAL DESCRIPTION: Lot 112, Reston Heights

- A. STATEMENT OF PURPOSE:** This zoning district is established to allow for the development of three new residential lots for future development or sale. The intent of this amendment is to be consistent with the approved GDP for this site by modifying area 3 as previously mapped to include a duplex lot and two single family lots which will assist in blending the church grounds with the neighborhood. This amendment includes development in the following areas as shown on the "Amended General Development Plan", attached hereto:

Area 3 (modified): This area will be modified to +/-4.0 acres but the use will remain as previously described in the GDP.

Area 8: Residential lots consisting of one (1) duplex lot and two (2) single family lots.

B. Permitted Uses:

1. Those that are stated as permitted uses in the GDP.
2. Residential lots consisting of one (1) duplex lot and two (2) single family lots.
3. Uses accessory to permitted uses listed above.
4. Uses consistent with the neighboring zoned residential lots.

- C. Lot Area:** As stated on the Site Plan and proposed Certified Survey Map, attached hereto.

- D. Floor Area Ratio:** To be determined when plans are submitted for the proposed residential sites.

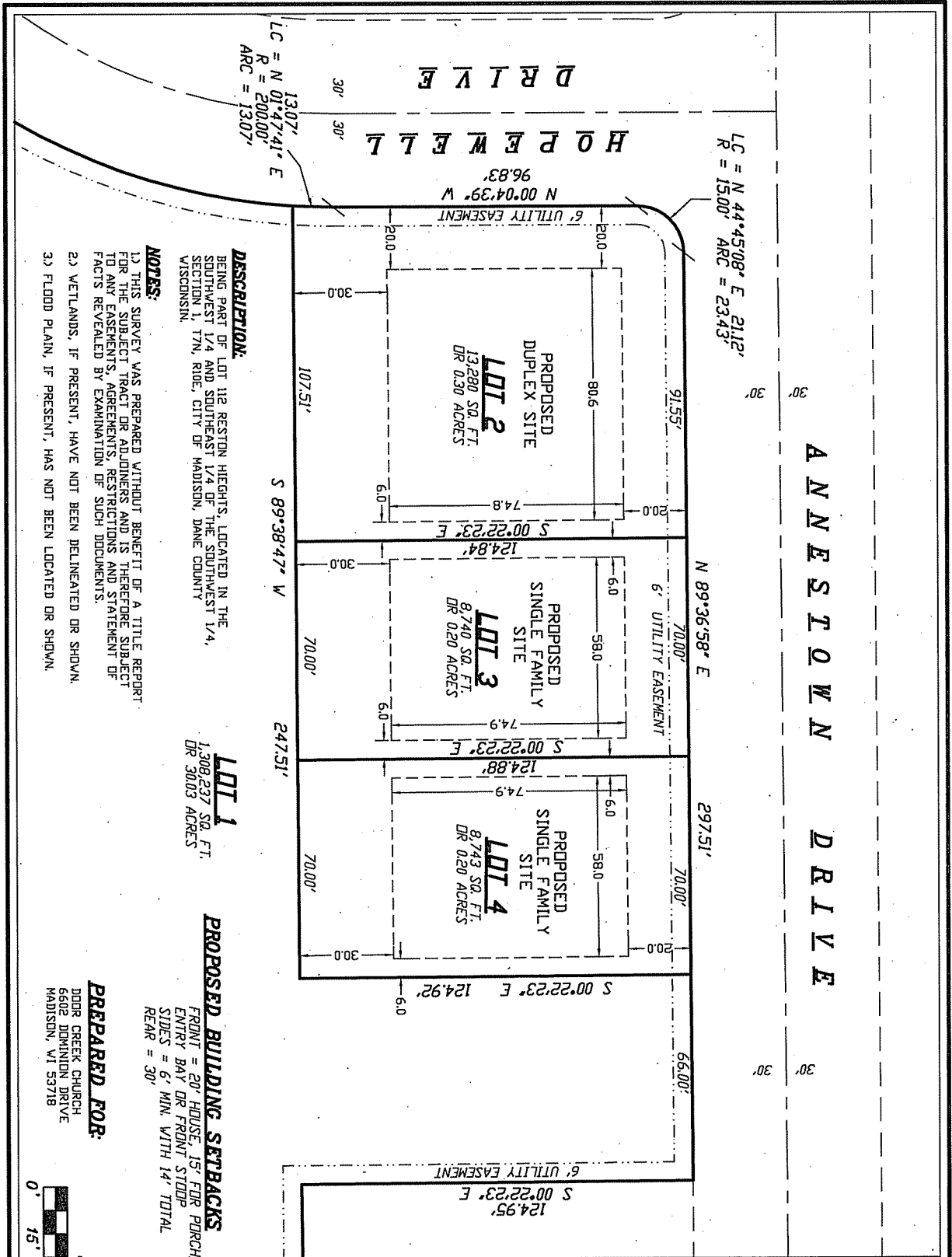
- E. Yard Requirements:** Yard areas and setbacks as shown on the Site Plan, attached hereto and as follows: Front(Street) = 25', Rear = 30', Side = 6'

- F. Landscaping:** Site landscaping plans will be provided when plans are submitted for the proposed residential sites.

- G. Subdivision of Property:** Further subdivision of the property consistent with the phased development as outlined in the GDP will be permitted.

- H. Alterations and Revisions:** No alteration or revisions of this Planned Unit Development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Developments and the District Alderperson and are compatible with the concept stated in the underlying General Development Plan approved by the City Plan Commission.

SEE
REVISED



LC = N 01°47'41" E
 R = 200.00'
 ARC = 130.7'

LC = N 44°45'08" E 211.2'
 R = 15.00' ARC = 234.3'

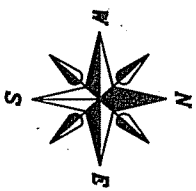
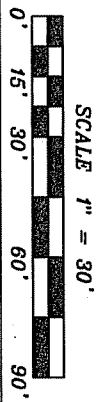
DESCRIPTION:
 BEING PART OF LOT 112 RESTON HEIGHTS, LOCATED IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

- NOTES:**
- 1) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
 - 2) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
 - 3) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

LOT 1
 1,308.237 SQ. FT.
 DR 30.03 ACRES

PROPOSED BUILDING SETBACKS
 FRONT = 20' HOUSE, 15' FOR PORCH,
 ENTRY BAY OR FRONT STOOP
 SIDES = 6' MIN. WITH 14' TOTAL
 REAR = 30'

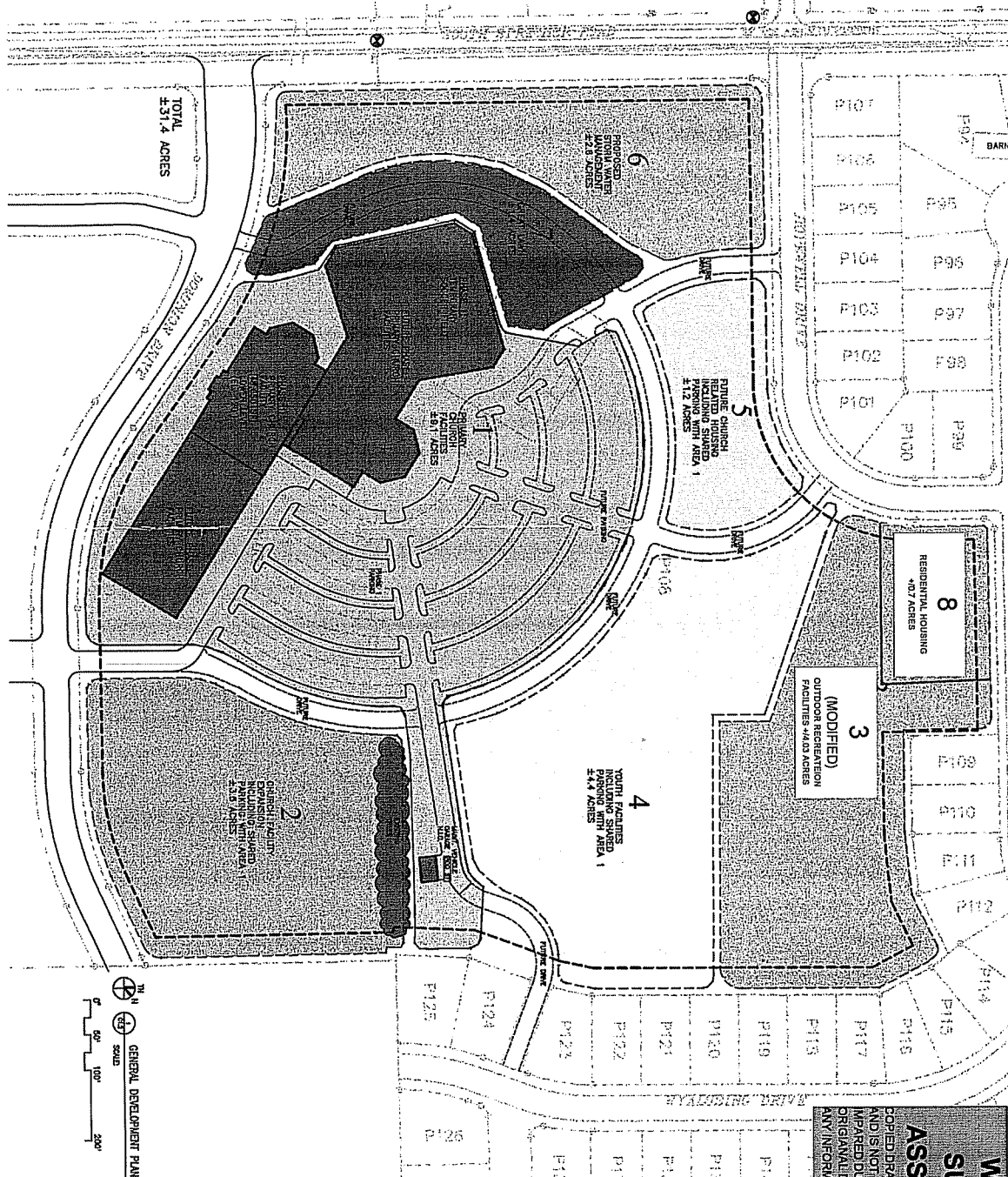
PREPARED FOR:
 DOOR CREEK CHURCH
 6502 DOMINION DRIVE
 MADISON, WI 53718



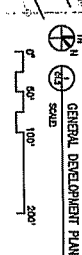
SITE PLAN			
BEING PART OF LOT 112 RESTON HEIGHTS, LOCATED IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY WISCONSIN.			
DATE	MARCH 17, 2014	REVISION DATE: 6-2-2014	CHECK BY N.T.P.
SCALE:	1" = 30'	REVISION DATE: 7-15-2014	DRAWING NO. 14V-51
DRAWN BY	NEIL BORTZ		SHEET 1 OF 1



WILLIAMSON SURVEYING & ASSOCIATES, LLC
 104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.
 NOA T. PRIEVE & CHRIS W. ADAMS
 REGISTERED LAND SURVEYORS
 PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM



TOTAL
ACRES
231.4



DATE OF PREPARATION: _____
 DRAWN BY: _____
 CHECKED BY: _____
 TITLE: _____
 PROJECT NO.: _____
 SHEET NO.: _____
 TOTAL SHEETS: _____

**WILLIAMSON
SURVEYING &
ASSOCIATES, LLC**

THIS DRAWING IS FOR VISUAL AID ONLY
 AND IS NOT TO SCALE. LEGIBILITY MAY BE
 IMPAIRED DUE TO REPRODUCTION. SEE
 ORIGINAL DRAWING IN THE GDD PLAN FOR
 ANY INFORMATION ON AREAS T2, 4, 5, 6, & 7

**ZONING TEXT PUD(SIP)
DOOR CREEK CHURCH
6602 DOMINION DRIVE
MADISON, WI 53718
July 15, 2014**

LEGAL DESCRIPTION: Lot 112, Reston Heights

- A. STATEMENT OF PURPOSE:** This zoning district is established to allow for the development of three new residential lots for future development or sale. The intent of this amendment is to be consistent with the approved GDP for this site by modifying area 3 as previously mapped to include a duplex lot and two single family lots which will assist in blending the church grounds with the neighborhood. This amendment includes development in the following areas as shown on the "Amended General Development Plan", attached hereto:

Area 3 (modified): This area will be modified to +/-4.0 acres but the use will remain as previously described in the GDP.

Area 8: Residential lots consisting of one (1) duplex lot and two (2) single family lots.

B. Permitted Uses:

1. Those that are stated as permitted uses in the GDP.
2. Residential lots consisting of one (1) duplex lot and two (2) single family lots.
3. Uses accessory to permitted uses listed above.
4. Uses consistent with the neighboring zoned residential lots.

- C. Subdivision of Property:** Further subdivision of the property consistent with the phased development as outlined in the GDP will be permitted.

- D. Alterations and Revisions:** No alteration or revisions of this Planned Unit Development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Developments and the District Alderperson and are compatible with the concept stated in the underlying General Development Plan approved by the City Plan Commission.

Specific Zoning Text

Single Family Lot Standards

1. **Lot Area:** *Minimum Lot Area:* 7,200 Square Feet
2. **Lot Width:** *Minimum Lot width:* 60' Wide.
3. **Height Regulation:** *Maximum Height:* In the Single Family Residence District, no building or structure shall exceed two and one-half (2 1/2) stories and thirty-five (35) feet in height.
4. **Yard Requirements:**
 - a. **Front Yard - *Minimum Setback:*** Twenty (20) feet from the public right of way line. a front porch, entry bay, or front stoop may encroach into the front yard area up to five (5) feet. In no case shall any structural elements of the house be any closer than fifteen (15) feet to the public right of way.
 - b. **Side Yard - *Minimum Setback:*** A minimum of six (6) feet will be allowed and the combined total of both side yards may not be less than fourteen (14) feet.
 - c. **Rear Yard - *Minimum Setback:*** Thirty (30) feet from the rear lot line.
5. **Usable Open Space:** *Minimum amount per lot:* A minimum of one thousand three hundred (1300) square feet of usable open space shall be provided per dwelling.
6. **Accessory Building Regulations:**
 - a. ***Time of construction.*** No assessor building or structure shall be constructed on any lot prior to the time of construction of the principal building to which it is accessory.
 - b. ***Percentage of Required Rear Yard Occupied.*** No detached accessory building or buildings shall occupy more than fifty (50) percent of the area of the required rear yard. Any accessory building which exceeds four (4) automobile stalls or eight hundred (800) square feet of floor area shall first obtain a minor alteration or major alteration of the PUD at the discretion of the Alderman and Planning Director.
 - c. ***Height of Accessory Buildings in Required Rear Yards.*** No detached accessory building located in a required rear yard shall exceed 15 feet in height.
 - d. ***Location.*** No accessory building shall be erected in any yard except the rear yard, and all accessory buildings shall be located not less than three (3) feet from all lot lines and from any other building or structure on the same lot.

Architecture and Landscape Standards & Guidelines

House

1. The house facade is the most important aesthetic feature of the street corridor. The architecture of the façade should be brought forward to address the public street. To accomplish this the following standard have been written:
At least fifty (50) percent of the front house façade must fall within the twenty (20) to twenty-five (25) foot front yard minimum/maximum setback area. The garage door facade is not included in this calculation. Refer to the illustration below.
2. One ground floor entry shall be oriented to the front of the lot on a public or private street.
3. Balconies, entry bays and front porches are recommended to help enhance the human scale of the public street façade.

Garage

1. It is important the garage door does not dominate the architectural presence of the public street facade. To ensure the garage door is set back from the facade of the house the following standards have been written. The garage may be located in the rear yard, either attached to the rear of the house or detached from the house, or it can be attached to the side of the house with the following exceptions:
Under no condition shall the garage extend closer to the street than the front structural wall of the house facade. In this case the house facade excludes porches, entry bays, stoops, decks and any other similar elements. The garage door must be set back a minimum of three (3) feet from front corner of the structural wall it is attached to.

Landscape

1. Plans shall show the location, size and species of all existing trees on the site. Wherever, possible, healthy trees need to be saved.
2. Plans should use a good mix of plant species.
3. All proposed plans shall show the location and species of plants being used.
4. A minimum of thirty (30) percent of the front yard shall consist of planting beds with ground covers, shrubs or trees.

Duplex (Two-Family) Lot Standards

1. **Lot Area:** *Minimum Lot Area:* 11,000 Square Feet
2. **Lot Width:** *Minimum Lot width:* 90' Wide
3. **Height Regulation:** *Maximum Height:* In the Two-Family Residence District, no building or structure shall exceed two and one-half (2 1/2) stories and thirty-five (35) feet in height.
4. **Yard Requirements:**
 - a. **Front Yard - *Minimum Setback:*** Twenty (20) feet from the public right of way line. A front porch, entry bay, or front stoop may encroach into the front yard area up to five (5) feet. In no case shall any structural elements of the house be any closer than fifteen (15) feet to the public right of way.
Maximum Setback: Twenty-five (25) feet from the public right of way line.
 - b. **Side Yard - *Minimum Setback:*** A minimum of six (6) feet will be allowed and the combined total of both side yards may not be less than fourteen (14) feet.
Reverse corner lot minimum setback: A minimum fifteen (15) foot setback shall be provided for a side yard directly adjacent to a public street right of way.
 - c. **Rear Yard - *Minimum Setback:*** Thirty (30) feet from the rear lot line.
5. **Usable Open Space:** *Minimum amount per lot:* A minimum of seven hundred fifty (750) square feet of usable open space shall be provided per dwelling unit.
6. **Accessory Building Regulations:**
 - a. *Time of construction.* No accessory building or structure shall be constructed on any lot prior to the time of construction of the principal building to which it is accessory.

- b. *Percentage of Required Rear Yard Occupied.* No detached accessory building or buildings shall occupy more than fifty (50) percent of the area of the required rear yard. Any accessory building which exceeds four (4) automobile stalls or eight hundred (800) square feet of floor area shall first obtain a minor alteration or major alteration of the PUD at the discretion of the Alderman and Planning Director.
- c. *Height of Accessory Buildings in Required Rear Yards.* No detached accessory building located in a required rear yard shall exceed 15 feet in height.
- d. *Location.* No accessory building shall be erected in any yard except the rear yard, and all accessory buildings shall be located not less than three (3) feet from all lot lines and from any other building or structure on the same lot.

Architecture and Landscape Standards & Guidelines

House

1. At least fifty (50) percent of the front house façade must fall within the twenty (20) to twenty-five (25) foot front yard minimum/maximum setback area. The garage door facade is not included in this calculation. Refer to the illustration below.
2. Two ground floor entries shall be oriented to the front of the lot on a public or private street.
3. Balconies, entry bays and front porches are recommended to help enhance the human scale of the public street façade.

Garage

1. It is important the garage door does not dominate the architectural presence of the public street facade. To ensure the garage door is set back from the facade of the house the following standards have been written. The garage may be located in the rear yard, either attached to the rear of the house or detached from the house, or it can be attached to the side of the house with the following exceptions:
2. Under no condition shall the garage extend closer to the street than the front structural wall of the house facade. In this case the house facade excludes porches, entry bays, stoops, decks and any other similar elements. The garage door must be set back a minimum of three (3) feet from front corner of the structural wall it is attached to.

Landscape

1. Plans shall show the location, size and species of all existing trees on the site. Wherever, possible, healthy trees need to be saved.
2. Plans should use a good mix of plant species.
3. All proposed plans shall show the location and species of plants being used.
4. A minimum of thirty (30) percent of the front yard shall consist of planting beds with ground covers, shrubs or trees.

A N N E S T O W N D R I V E

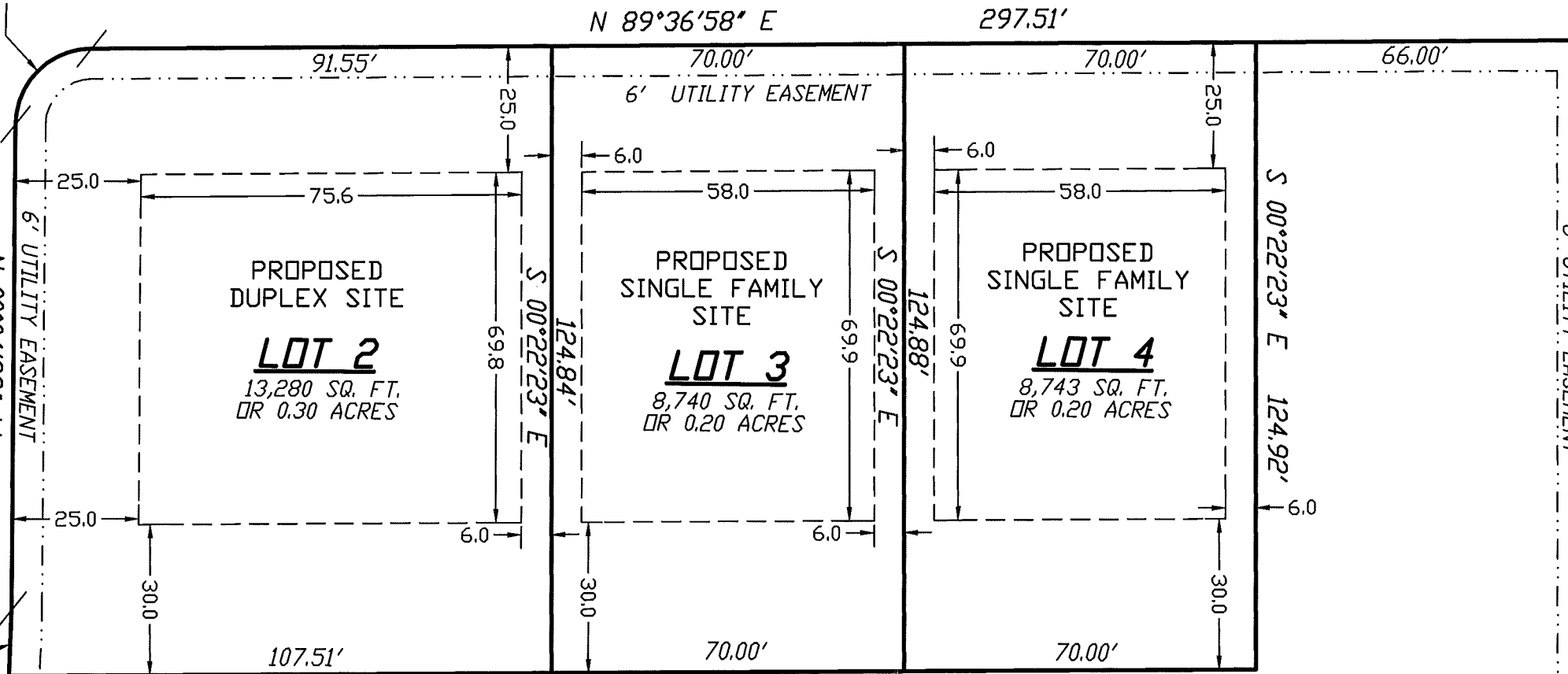
LC = N 44°45'08" E 21.12'
R = 15.00' ARC = 23.43'

D R I V E

H O P E W E L L

N 00°04'39" W
96.83'

13.07'
LC = N 01°47'41" E
R = 200.00'
ARC = 13.07'



DESCRIPTION:

BEING PART OF LOT 112 RESTON HIEGHTS, LOCATED IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY WISCONSIN.

NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

LOT 1

1,308,237 SQ. FT.
OR 30.03 ACRES

PROPOSED BUILDING SETBACKS

FRONT = 25'
SIDES = 6'
REAR = 30'

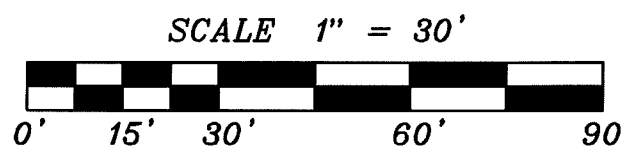
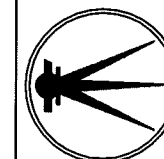
PREPARED FOR:

DOOR CREEK CHURCH
6602 DOMINION DRIVE
MADISON, WI 53718

SITE PLAN

BEING PART OF LOT 112 RESTON HIEGHTS, LOCATED IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY WISCONSIN.

DATE	MARCH 17, 2014	REVISION DATE	6-2-2014	CHECK BY	N.T.P.
SCALE	1" = 30'	DRAWING NO.	14W-51	SHEET	1 OF 1
DRAWN BY	NEIL BORTZ				



WILLIAMSON SURVEYING & ASSOCIATES, LLC
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.
NOA T. PRIEVE & CHRIS W. ADAMS
REGISTERED LAND SURVEYORS

PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

SEE REVISED

REVISED

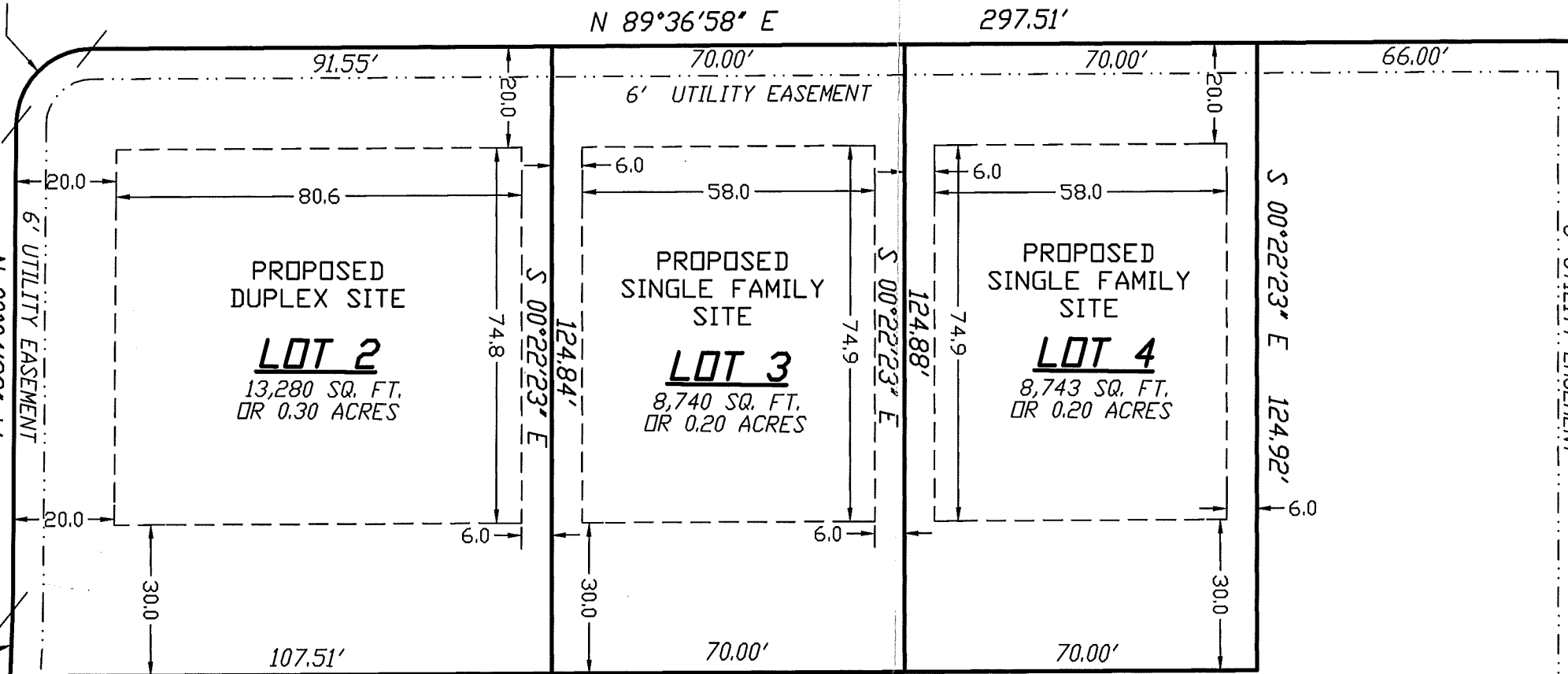
ANNETOWN DRIVE

HOPFWEILL DRIVE

LC = N 44°45'08" E 21.12'
R = 15.00' ARC = 23.43'

N 00°04'39" W
96.83'

LC = N 01°47'41" E
R = 200.00'
ARC = 13.07'



DESCRIPTION:

BEING PART OF LOT 112 RESTON HIEGHTS, LOCATED IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY WISCONSIN.

NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

LOT 1

1,308,237 SQ. FT.
OR 30.03 ACRES

PROPOSED BUILDING SETBACKS

FRONT = 20' HOUSE, 15' FOR PORCH, ENTRY BAY OR FRONT STOOP
SIDES = 6' MIN. WITH 14' TOTAL
REAR = 30'

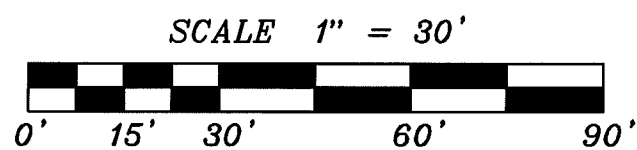
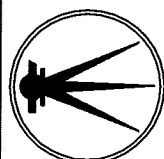
PREPARED FOR:

DOOR CREEK CHURCH
6602 DOMINION DRIVE
MADISON, WI 53718

SITE PLAN

BEING PART OF LOT 112 RESTON HIEGHTS, LOCATED IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY WISCONSIN.

DATE	MARCH 17, 2014	REVISION DATE	6-2-2014	CHECK BY	N.T.P.
SCALE	1" = 30'	REVISION DATE	7-15-2014	DRAWING NO.	14W-51
DRAWN BY	NEIL BORTZ			SHEET	1 OF 1



WILLIAMSON SURVEYING & ASSOCIATES, LLC
 104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.
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 REGISTERED LAND SURVEYORS
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