

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received 4/19/24 11:26 a.m. Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 648 S. Whitney Way, Madison, WI 53711

Title: Take 5 Oil Change

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested ASAP May 29 2024

- New development
- Alteration to an existing or previously-approved development
- Informational
- Initial Approval
- Final Approval

3. Project Type

- Project in an Urban Design District 3
- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
- Modifications of Height, Area, and Setback
- Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

- Please specify
comprehensive review of all signage proposed - road and wall

4. Applicant, Agent, and Property Owner Information

Applicant name Justin Woodward **Company** Complete Signs
Street address 227 Hostdale Drive **City/State/Zip** Dothan, AL 36303
Telephone 334-805-1024 **Email** justinw@completesigns.net

Project contact person Justin Woodward **Company** Complete Signs
Street address 227 Hostdale Drive **City/State/Zip** Dothan, AL 36303
Telephone 334-805-1024 **Email** justinw@completesigns.net

Property owner (if not applicant) Take 5 Oil Change
Street address 648 S. Whitney Way **City/State/Zip** Madison, WI 53711

URBAN DESIGN COMMISSION APPROVAL PROCESS

UDC

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- **Informational Presentation.** A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- **Initial Approval.** Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- **Final Approval.** Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)


Urban Design Commission Application (continued)

5. Required Submittal Materials

- Application Form
 - A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.
- Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
 - For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.
- Development Plans (Refer to checklist on Page 4 for plan details)
- Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)
- Electronic Submittal
 - Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
 - Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.
- Notification to the District Alder
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn, Chrissy Thiele on 4/8/24.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Justin Woodward Relationship to property Sign Company
 Authorizing signature of property owner  Date April 18, 2024

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

- Please consult the schedule below for the appropriate fee for your request:
- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Urban Design Districts: \$350 (per §33.24(6) MGC). <input type="checkbox"/> Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(5)(b) MGC) <input type="checkbox"/> Comprehensive Design Review: \$500 (per §31.04(1)(b)(v) MGC) <input type="checkbox"/> Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.04(1)(b)(vi) MGC) <input type="checkbox"/> All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per §31.04(1)(b)(vii) MGC) | <p>A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:</p> <ul style="list-style-type: none"> — Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC) — Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC) — Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP) — Planned Multi-Use Site or Residential Building Complex |
|--|---|

Complete Signs (Representing Take 5)
227 Hostdale Drive
Dothan, AL 36303
justinw@completesigns.net
334-805-1024

4/29/24
Urban Design Committee
City of Madison, WI
PO BOX 2985
Madison, WI 53701

Dear Members of the UDC,

We are reaching out on behalf of Take 5 Oil Change located at 648 S. Whitney Way, Madison, WI. The property is zoned RMX and in sign group 3. Take 5 is proposing to install:

- (1) Ground Sign. One monument-style ground sign that is 18 square feet in area, and 4' 7 ½" in height (from grade) utilizing a pre-existing sign base and facing east on South Whitney Way - which is the primary entrance to the site and zoning lot. Since this sign base was previously permitted along with the adjacent property owners, we feel this setback request is not unreasonable. The proximity to S. Whitney way is important for visibility as the sign is fairly receded behind shrubbery and trees - since it is also an aesthetically pleasing design to be proud of, we want it to be seen. The location of the sign on the existing base would not impede on any surrounding businesses or traffic. The previous tenant had this sign permitted and we are proposing to utilize the existing base (tenant unaware of sign bank allotment in section 31.112 (4)(a)) and have worked closely with the City of Madison to design a cabinet for the base that would incorporate modern elements, such as blackout vinyl which only allows light to pass through the lettering and logo at night, and beveled edges for a sleeker look. We are requesting an exemption from the UDD 3 setback requirements (section 33.24(4)(a)(vi) as the code calls for a 20' setback for all signs over 20 square feet in area - our sign is setback 8' from the property line, 12' from the front edge of the sidewalk, and 19' from the back of curb.

We are also requesting an exemption from the sign code in section 31.14 (Table 1) as the max allowable area for ground signs on a single lot is 64 square feet. Given the number of ground signs existing, the sign square footage allotment is already used. In section 31.08 (2) (ab) (3) it states "one (1) additional ground sign may be placed at each vehicle entrance on the zoning lot." We have also complied with section 31.08(2)(ab)(4) which states "any such additional ground sign must be a monument sign with a maximum height of (8) feet and a maximum net area of 64 square feet in combined area for all faces of the sign." Our signage complies with this standard and due to the sheer

number of businesses encompassed in this lot, we feel this exception is fair as it allows our client the same visibility as any other business on the zoning lot.

Additionally, the area of the sign and height of the monument sign both comply with the table in section 31.15 (1) Table 1 Ground, projecting, wall, roof, and above-roof signs in groups 2 and 3, which allows for a sign 10' in height and 32 square feet (per side) in area. Our sign is 4'-7 1/2" in height, and 18 square feet per side.

Furthermore, under the UDD 3 Guidelines section 33.24 (4)(a)(vii) "The height of a ground sign shall not exceed (10) feet unless a higher sign is specifically approved by the Urban Design Commission." - Our sign is under 10' in height at 4' 7 1/2 "

Section 33.24(4)(a)(viii) states "The net area of a ground or wall sign shall not exceed 40 square feet unless a larger sign is specifically approved by the urban design commission." Our net area proposed is 36 square feet (or 18 square feet per side).

(2) Wall Signage. We are also proposing (7) wall signs.

Six wall signs are proposed on the primary road-facing elevation, S. Whitney Way:

- The first is a 17.87 square foot (11'-11" x 1'-6") illuminated channel letter set "OIL CHANGE" at a height of 16'-4" to the bottom of the sign (17'8" to the top of the sign). This sign is for informational purposes as it immediately points potential customers to the right place.

We are also requesting an exemption from section 33.24(4)(a)(vii) which states "The height of a wall sign shall not exceed 10' unless a higher sign is specifically approved by the UDC." This building is set back 160' feet from the road. Having the "Oil Change" at the highest possible point on the building will be instrumental in directing potential customers to the right business. The bay doors also make it impossible to put the signs any lower without encroaching on the doorways below. Because of this - we are asking that this height requirement may be waived.

- The second wall sign on the east elevation is a 13.84 square foot (50" by 39") illuminated "bucket" logo sign at a height of 13'1" to the bottom of the sign. 14'7" to the top of the sign.

We are also requesting an exemption from section 33.24(4)(a)(vii) which states "The height of a wall sign shall not exceed 10' unless a higher sign is specifically approved by the UDC" - this building is set back 160' feet from the road. This bucket logo design is implemented in all of Take 5's Branding. Due to the building design - this location for the bucket is the only real option as placing it any higher or lower would cross over the building's existing architecture, we have also reduced this sign in size to fit comfortably within the wall architecture.

- We are also proposing (4) 16"x32" (3.5 SF) checkered black-and-white designs on the east elevation for decoration purposes only. The checkered flags used in all Take 5 locations are a staple for their branding (and to act as a visual separator between bay doors). These additional signs will not cause visibility restrictions, but are only used as a further brand identifier and to help create visual harmony. These signs are not illuminated or distracting, cannot be seen at night, are strictly ornamental for visibility and brand awareness. We ask for the CDR to consider allowing these signs above the max number typically permitted for these reasons.

- We are also proposing (1) wall sign on the rear elevation (west elevation - where cars actually enter into the facility) which is a 27.75 square foot (18'6" x 1'6") non-illuminated channel letter sign "STAY IN YOUR CAR" for informational purposes only - mounted at a height of 13'1" to the bottom of the sign and 14' 2" to the top of the sign. This sign is compliant with code in size.

We are asking for an exemption from section 33.24(4)(a)(vii) which states "The height of a wall sign shall not exceed 10' unless a higher sign is specifically approved by the UDC" - The sign is best positioned above the bay doors which make it impossible to put the signs any lower. As people approach the building to enter the facility it is important for their safety to remain in their car as an employee will approach on foot to avoid traffic confusion entering the oil change bay. We feel this location on the building is the only place that makes sense - as putting the sign in the space to the left would be confusing as most people will be looking to the bay doors for direction. There also isn't enough space on the left wall of the building to fit the "stay in your car" sign because of various architectural elements. Because of this - we are asking that this height requirement may be waived.

- (3) Parking Lot Directional Signs. We are also proposing (2) directional signs (both internal to the property - one on the north entrance, and one on the west entrance into the business. These signs are each three square feet (21"x 21") non-illuminated post and panel style signs for entrance and exit informational purposes only. These signs will be helpful to not confuse traffic coming in and out of the business. These signs are compliant with code.

Summary of UDD 3 Exceptions (MGO 33.24(10))

Ground sign area - 40 SF net permitted, 64 SF net proposed

Ground sign setback 20' required, 8' proposed

East elevation Wall sign height 10' permitted, (Oil Change) 16'-4" proposed, (Bucket) 10'4" proposed

West elevation wall sign height 10' permitted, "Stay in your car" requested at 13'1" to the bottom of the sign

Summary of Sign code exceptions (MGO 31)

East elevation # of wall signs permitted (1) per elevation, requested (6) on this elevation
Max area of ground sign area per lot 64 SF(net), proposed 64 SF net, however net already exceeded on the zoning lot

Signs Proposed as marked on the attached drawings:

- AA - Illuminated Letters "Oil Change" 1'6" x 11'11" at a height of 17' 8" (17.87 SF)
- BB - Take 5 Bucket logo 50" x 32" at a height of 14' 10" (13.84)
- CC - Monument cabinet on existing base 3' x 6' at a height of 4' and 7 1/2" (18 SF)
- DD - Non-illuminated letters "Stay In Your Car" 1'6" x 18' 6" at a height of 14' 2" (27.75 SF)
- EE - Non-illuminated post and panel directional 21" x 21" at a height of 48" (3 SF)
- FF - Non-illuminated post and panel directional 21" x 21" at a height of 48" (3 SF)
- XX - (4) 16"x32" checkered black and white aluminum pans for decor (3.5 SF)

UDC 3 Requirements and Guidelines with responses:

Requirements.

- i. Signs (including, but not limited to, awnings, or canopies with signs), if located on or adjacent to buildings, shall be integrated with the architectural design of the buildings. **We have done our best to make our signs match the building style as well as the monument sign style. The logos and coloring complement each other and are easily recognizable.**
- ii. Signs shall be located and designed only to inform the intended clientele. **Our signs have no excess information or fluff, we have signs instructing potential customers only on what the business is, and where to go once on the lot for service**
- iii. Signs shall be used only as identification of the establishment, and shall have no more than a total of eight (8) symbols and/or words. **Total words and symbols across all three wall signs as well as the monument include only 3 total elements - the phrase "Oil Change" and "Stay in Your Car" as well as the "logo bucket"**
- iv. No portion of an illuminated sign shall have luminance greater than two hundred (200) foot-lamberts for any portion of the sign within a circle of two (2) feet in diameter. No sign or part of any sign shall change its level of illumination more than once every one (1) hour. **Our signs do not change and uses opaque vinyl on the monument to minimize light spilling**
- v. Electronic changeable copy signs, if permitted in the District, shall comply with [31.046](#)(1) which requires that electronic changeable copy signs in Urban Design Districts shall not alternate, change, fade in, fade out, or otherwise change more frequently than once every one (1) hour. **N/A**

vi. A minimum setback of five (5) feet from the public right-of-way is required of all ground signs. A minimum setback of ten (10) feet from the public right-of-way is required for signs exceeding ten (10) square feet in net area. A minimum setback of twenty (20) feet is required for all signs exceeding twenty (20) square feet in net area. **As this is an existing previously approved sign base, we were hoping to repurpose it where it sits. The sign is in line with adjoining businesses and the sign is covered in trees and shrubbery. Its location as it sits is pivotal for visibility along S. Whitney Way.**

vii. The height of a ground or wall sign shall not exceed ten (10) feet unless a higher sign is specifically approved by the Urban Design Commission based on the following criteria:

- A. An exception from the height limitation is necessary for a sign located on the site of an establishment to be identifiable and legible from the nearest roadway at prevailing speeds; and
- B. An exception from the height limitation will result in a sign more in scale with the building and site and will result in a superior overall design **None of our wall signs exceed 18'**

viii. The net area of a ground or wall sign shall not exceed forty (40) square feet unless a larger sign is specifically approved by the Urban Design Commission based upon the following criteria:

- A. An exception from the size limitation is necessary for a sign located on the site of an establishment to be identifiable and legible from the nearest roadway at prevailing speeds; and
- B. An exception from the size limitation will result in a sign more in scale with the building and site and will result in a superior overall design. **None of our wall signs come near even 40SF, even if combined on the wall facing S. Whitney Way it would total less than 40SF**

ix. . All signs and their words shall be mounted parallel to the building surface to which they are attached. No sign words shall project more than eighteen inches from the surface to which they are attached. Attached signs shall not be mounted on roofs and shall not project above roofs. **All of our signs are compliant with these guidelines. None of our signs project more than 18" and none of our signs go above the roofline in any way.**

Guidelines.

i. A sign should identify the activity without imposing upon the view of residents, businesses or activities of the district. **We feel our package more than shows this is the case here - it is simple and straightforward**

ii. A sign should be appropriate to the type and activity and clientele at which its message is aimed. **Our signage proposed will help identify the business which is set off from the road a good bit more than any other surrounding business**

iii. Signs should be designed so as to be legible to the intended viewer in relation to the surrounding circumstances. **We have made it our intent to make the signs simple and legible,**

whether it be day or night and we have included nighttime renderings to show how light will show then as well

iv. Signs should avoid covering or impinging upon landscape features or significant structures. The landscape in this area is actually hindering the ability to see the sign or the business. We feel the sign wouldn't impact anything in this area visually, only direct customers to the appropriate business

v. Illuminated signs should be lit internally or from the ground, not with fixtures projecting from the sign. Our sign is internally lit with opaque black vinyl to let light only show through the letters. On the wall signs - they are also internally lit.

vi. Internally illuminated signs displaying illuminated copy shall be designed in such a way so that when illuminated, the sign appears to have light-colored copy on a dark or non-illuminated background. we have achieved this look by using black vinyl on the ground sign face to only allow light through the actual design.

Comprehensive Design Review Criteria

The UDC shall apply the following criteria upon review of an application for a Comprehensive Design Review of signage:

1. The proposal shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures and uses. Our simple straightforward sign package more than accomplishes this goal by using similar design elements on both the road sign and the wall signs.

In the case of the monument sign, we have redesigned the cabinet to be a sleeker, "rounded edge" design, as well as opaque black vinyl, which only allows light to shine through the logo and lettering at nighttime. This also decreases glare on oncoming traffic.

On the wall signs - we have decreased the number of overall wall signs to 3 in total (one on the rear of the building, and two on the front facing Whitney Way - the bucket was originally on the side facing Walgreens but was moved to the front per suggestions from Jessica Vaughn in our latest correspondence. We have also changed the overall height so that none of our wall signs exceed 17' 8" and most are closer to the 14' or 15' range in height.

We would like to keep the checkered designs as we feel it does help to identify the business as most people find this type of branding synonymous with auto shops. Additionally, as stated in the Urban Design District 3 Guidelines b.ii We feel the checkered design is "a sign appropriate

to the type of activity and clientele at which its message is aimed” - that is if those simple small designs should be considered signage at all.

2. Each element shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment; except that when a request for an Additional Sign Code Approval under Sec. 31.043(3) is included in the Comprehensive Design Review, the sign(s) eligible for approval under Sec. 31.043(3) shall meet the applicable criteria of Sec. 31.043(3), except that sign approvals that come to Comprehensive Design Review from MXC and EC districts pursuant to 31.13(3) and (7) need not meet the criteria of this paragraph.

One of the primary reasons for the need of road signage is the location of our business relative to the main road of S. Whitney Way (the business sits over 150' back) We feel the sign is modest, is in line with the other signs in the area when it comes to setback from the road, and compliments the area without disrupting the aesthetic. The base which is already there is perfectly usable, and we figured it would be an easy changeover to make the sign similar to that of the nearby Walgreens or Autozone. Given the building is set back so far, and there is minimal space to place a sign (given the existing parking lot structure and sidewalk pushing the property line back a good ways) we hope we are granted this exception to utilize the existing base with our new cabinet.

3. The proposal shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2). **Our proposal does not violate stated purposes –**

4. All signs must meet minimum construction requirements under Sec.31.04(5). **Our proposal utilizes construction standards that are industry standard and will not use cheap materials and only securely-fastened metal**

5. The proposal shall not approve Advertising beyond the restrictions in Sec. 31.11 or Off-Premise Directional Signs beyond the restrictions in Sec.31.115. **N/A**

6. The proposal shall not be approved if any element of the plan:

- presents a hazard to vehicular or pedestrian traffic on public or private property,
- obstructs views at points of ingress and egress of adjoining properties,
- obstructs or impedes the visibility of existing lawful signs on adjacent property, or
- negatively impacts the visual quality of public or private open space.

7. The proposal may only encompass signs on private property of the zoning lot or building site in question, and shall

not approve any signs in the right of way or on public property. **We do not feel this proposal will have any negative impact on any surrounding businesses or motorists. These signs will only help people to recognize the business.**

We are committed to working closely with the UDC to ensure that our proposed signage plan meets all regulatory requirements and aligns with the city's urban design objectives. We welcome the opportunity to collaborate with you to refine and finalize our proposal, with the ultimate goal of enhancing the visual identity of *Take 5 Oil Change* while contributing positively to the overall aesthetic of the City of Madison.

Our proposed signage plan aims to achieve several key objectives that we believe align with the vision and values of the City of Madison, as well as the purpose of any design review processes in the first place: to keep the city beautiful.

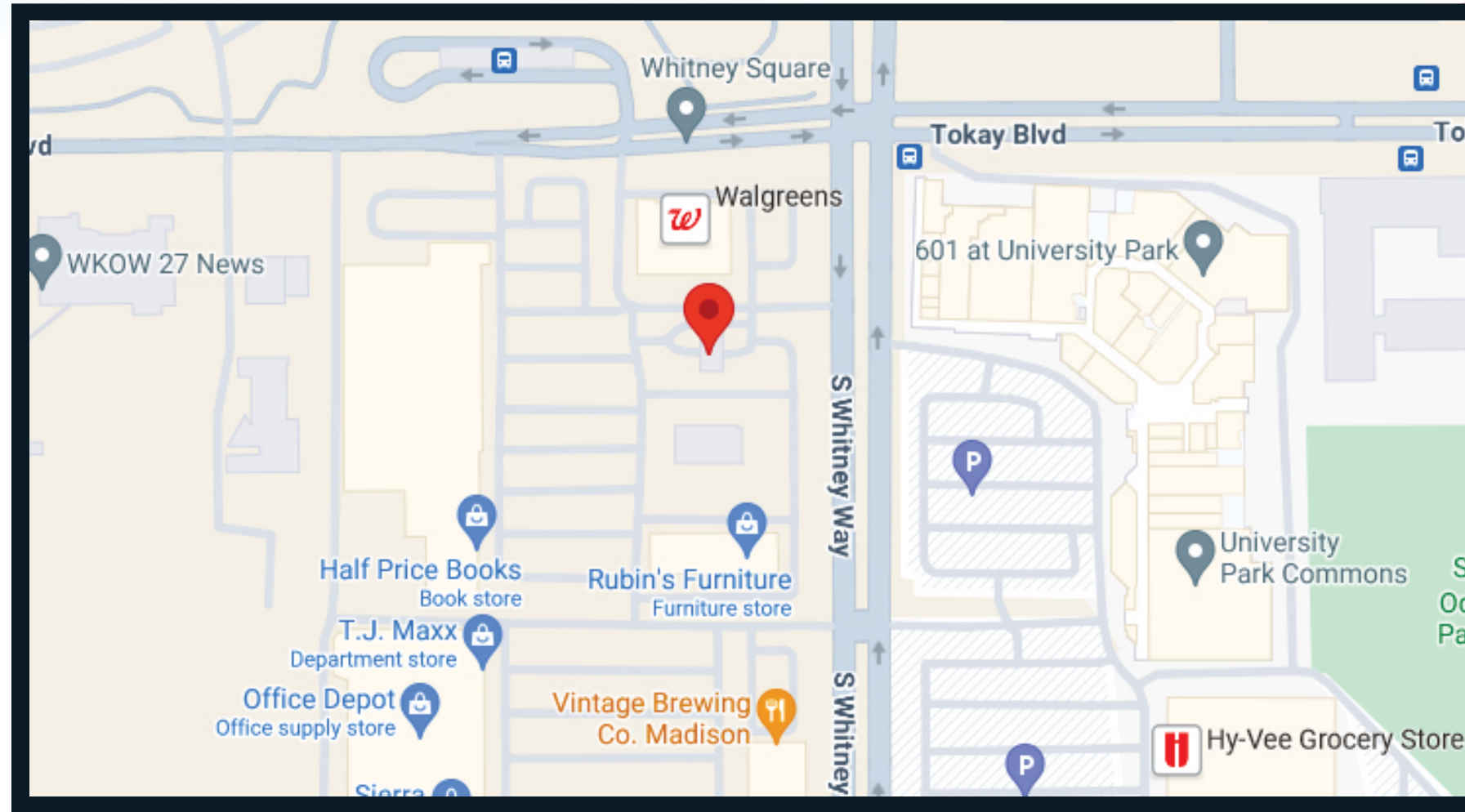
Thank you for considering our letter of intent. We look forward to the opportunity to present our proposed signage plan in further detail and to address any questions or concerns you may have.

Sincerely,
Justin Woodward
Permit Manager
Complete Signs
334-805-1024



OIL CHANGE

Take 5 Oil Change
648 South Whitney Way
Madison, WI



Color renderings are for presentation only and should not be considered as manufacturing drawings. Actual Finished Product May Vary Due To Manufacturing Equipment or Material Constraints.

This is an original unpublished drawing created by Complete Signs. It is submitted for your personal use, in connection with a project being planned for you. It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion without written consent of Complete Signs. This proposal remains the exclusive property of Complete Signs until approved and accepted thru purchase by the client named.

Customer: Take 5 Oil Change
Created: 8-24-2023
Revised: 9-20-2023 4/30/24

Dwg: Permit 101
Scale: AS NOTED
Illustrated by: Smith

Take 5 Oil Change
648 South Whitney Way
Madison, WI

Date:

Approval:

Complete Signs

P. O. Box 8861 Dothan, AL 36304 P 888.823.9005
signs@completesigns.net www.completesigns.net
F 334.556.0218



PREVIOUS CONDITIONS NOT TO SCALE



PROPOSED CONDITIONS NOT TO SCALE



Color renderings are for presentation only and should not be considered as manufacturing drawings. Actual Finished Product May Vary Due To Manufacturing Equipment or Material Constraints.

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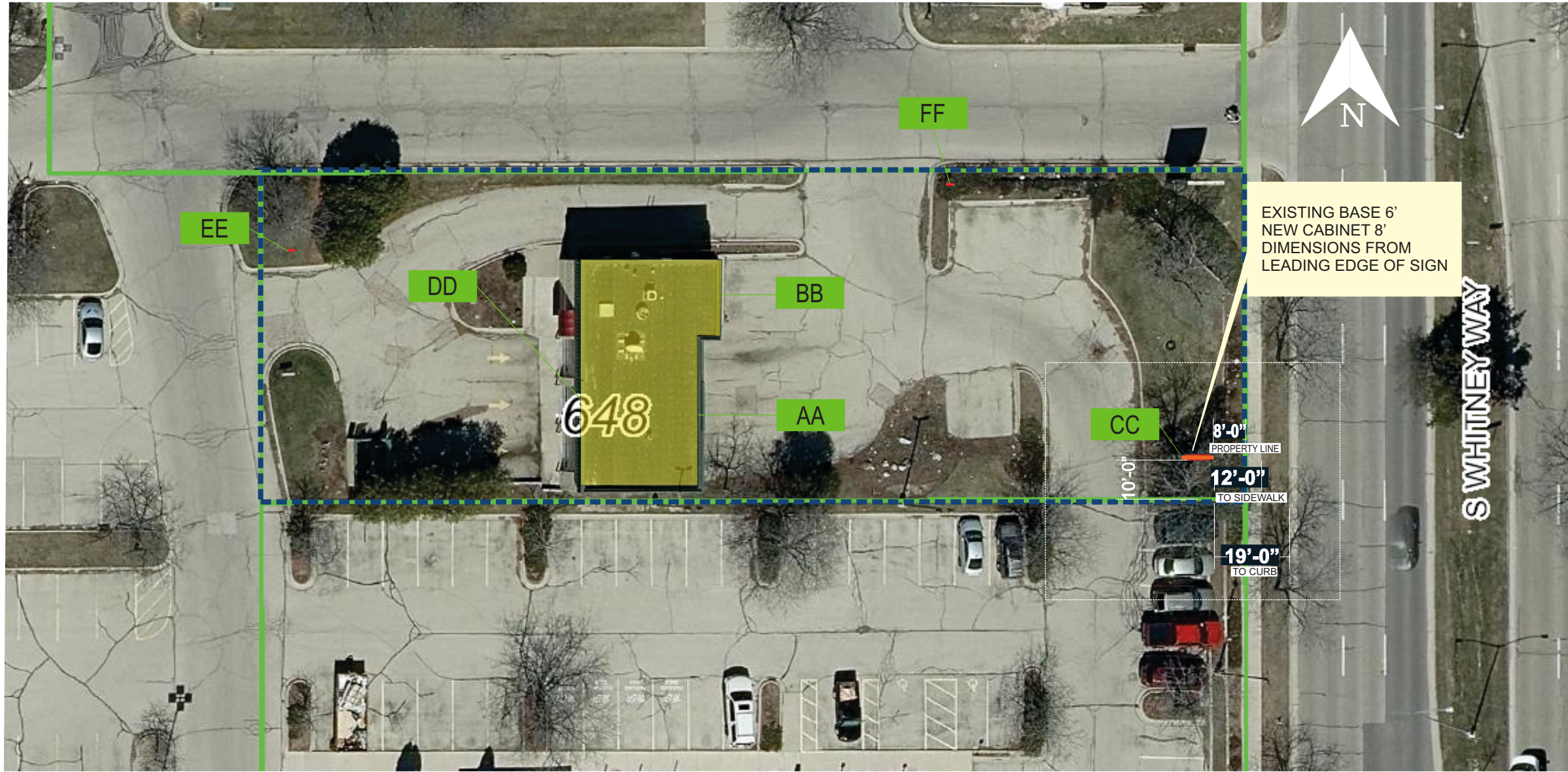
Customer: Take 5 Oil Change
 Created: 8-24-2023
 Revised: 9-20-2023 4/30/24
 Dwg: Permit 104
 Scale: AS NOTED
 Illustrated by: Smith

Take 5 Oil Change
 648 South Whitney Way
 Madison, WI

Approval: _____
 Date: _____

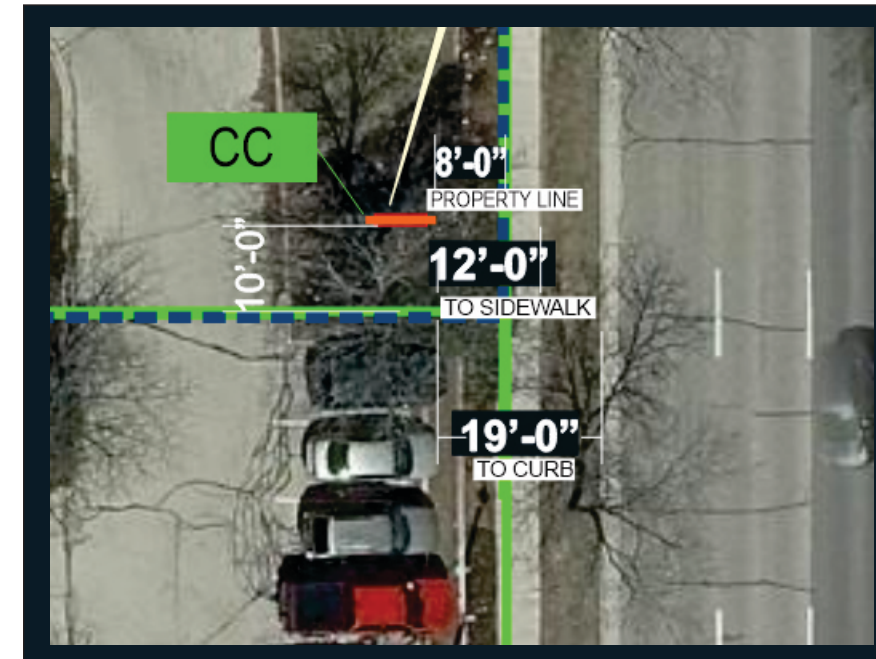
Complete Signs
 P.O. Box 8861 Dothan, AL 36304 P 888.823.9005
 signs@completesigns.net www.completesigns.net
 F 334.556.0218





— — — — — PROPERTY LINE SCALE 1/32"=1'-0"

EXTERIOR SIGN SCOPE OF WORK				
SIGN ID	ELEVATION	SIGN TYPE	DESCRIPTION	SQFT
AA	EAST (FRONT)	18" LETTERS	ILLUMINATED RACEWAY MOUNTED	17.87
BB	EAST (FRONT)	60" LOGO	ILLUMINATED FLUCH MOUNTED	18.16
CC	MONUMENT EXISTING BASE	ILLUMINATED PUSH THRU	32.00
DD	WEST (REAR)	18" LETTERS	NON-ILLUMINATED PIN MOUNT	27.75
EE	ENTER DIR	NON-ILLUMINATED DIRECTIONAL	3.00
FF	EXIT DIR	NON-ILLUMINATED DIRECTIONAL	3.00
TOTAL				101.78 SQFT



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Customer: Take 5 Oil Change
 Created: 8-24-2023
 Revised: 9-20-2023 4/30/24
 Dwg: Permit 102
 Scale: AS NOTED
 Illustrated by: Smith

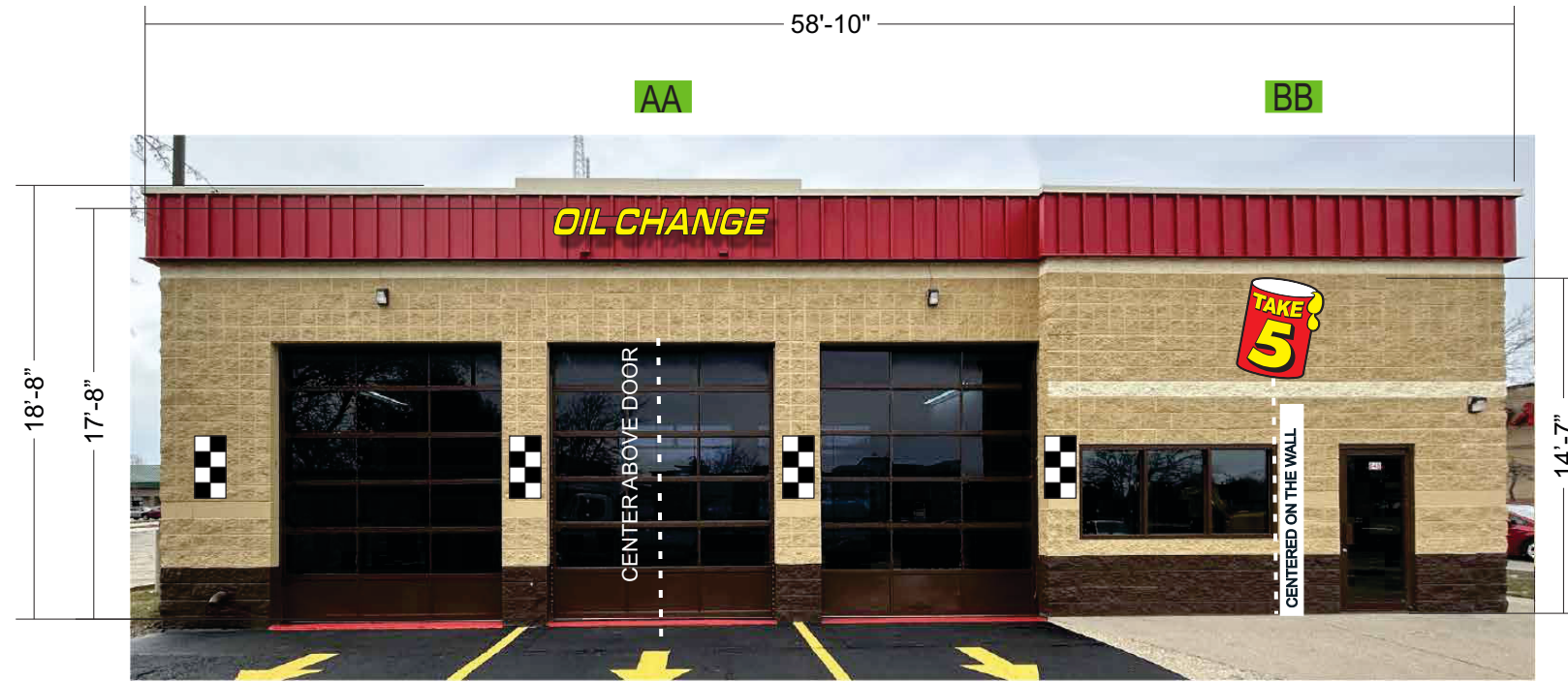
Take 5 Oil Change
 648 South Whitney Way
 Madison, WI

Approval:

P.O. Box 8861 Dothan, AL 36304 P 888.823.9005
 signs@completesigns.net www.completesigns.net
 F 334.556.0218



Date:



SCALE 1/8"=1'-0"

EAST ELEVATION (FRONT ELEVATION)

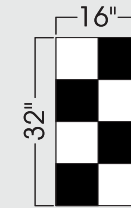


NIGHT VIEW

DECORATIVE ELEMENT

ADDITIONAL ELEMENT

ALUMINUM PANS



Quantity: 4
 Size: As in drawing
 Color: Black and White
 Returns: 1"

Mounting: Angle into facade

NOTE: PLACED 6" BELOW LIGHTS, VERTICALLY CENTERED ON SCONCE.

NOTE: PLACED 6" BELOW LIGHTS, VERTICALLY CENTERED ON SCONCE. SCONCE BY OTHERS

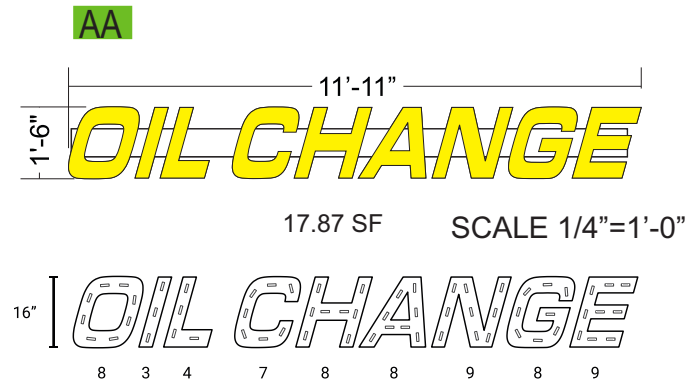
Color renderings are for presentation only and should not be considered as manufacturing drawings. Actual Finished Product May Vary Due To Manufacturing Equipment or Material Constraints.

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Customer: Take 5 Oil Change
 Created: 8-24-2023
 Revised: 9-20-2023 4/30/24
 Dwg: Permit 105
 Scale: AS NOTED
 Illustrated by: Smith

Approval:
 Take 5 Oil Change
 648 South Whitney Way
 Madison, WI
 Date:

Complete Signs
 P.O. Box 8861 Dothan, AL 36304 P 888.823.9005
 F 334.556.0218 signs@completesigns.net www.completesigns.net



PROPOSED 1 QTY
ILLUMINATED CHANNEL LETTERS
RACEWAY MOUNTED
RACEWAY TO MATCH FASCIA
ACRYLIC FACES WITH VINYL OVERLAY
RETURNS & TRIM BLACK

64 pcs Z-ECO4-W L.E.D
1 pc 60W Power Supply

ELECTRICAL NOTES

All signage to be installed in compliance with National and Local Electrical Code.

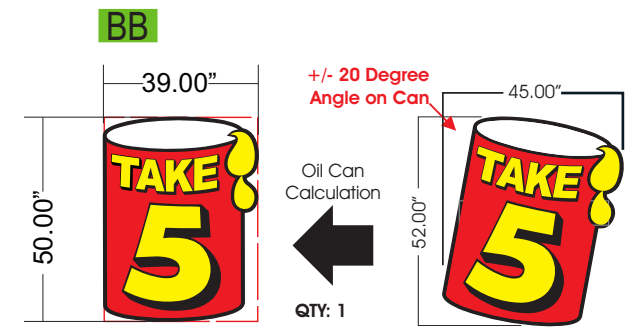
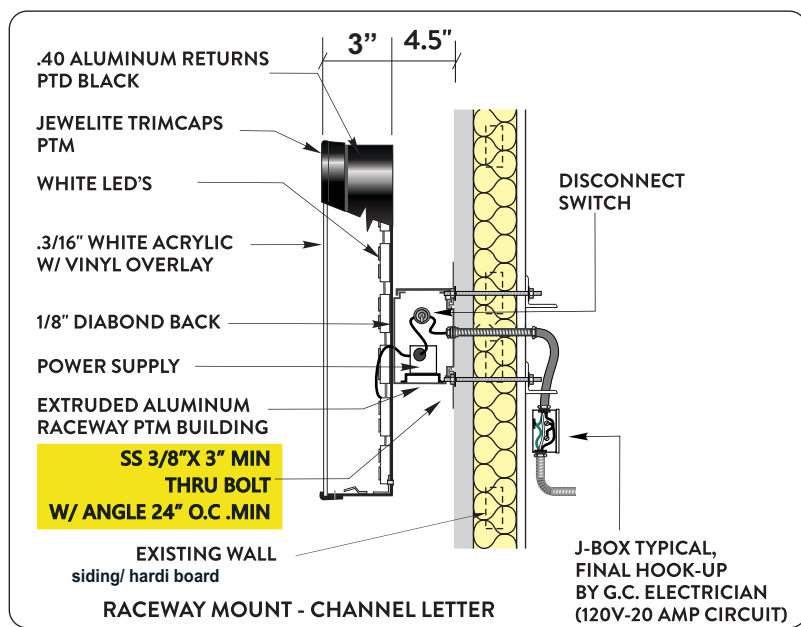
All signage to be constructed and installed in compliance with UL Standards.

ELECTRICAL NOTE-Actual # of circuits to be determined by a Licensed Electrical Contractor.
TOTAL AMPS-4 MAX
OF CKTS- 1 20 AMP(RECOMMENDED)
VOLTS- 120
ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L.) LABELS.

PRIMARY POWER BY OTHERS

U.L. Approved Sign w/ Labels. All Components U.L. Approved.
NEC 2017 Compliant, Grounding As Per IBC 2020, 7th Edition.
LED Power Supply 120 Volt input. 12 Volt DC Output. Each Power Supply 1.0 Amp

All electrical components are UL Listed.
Signage grounding and bonding as per NEC 250.
Primary wiring 12 AWG COPPER as per NEC 600.
Minimum 20 Amp. disconnect switch per NEC 600.6



13.54 SF

SCALE 1/4"=1'-0"

PROPOSED 1 QTY
ILLUMINATED LOGO
FLUSH MOUNTED
ACRYLIC FACES WITH VINYL OVERLAY
RETURNS & TRIM BLACK

72 pcs Z-ECO4-W L.E.D
1 pc 60W Power Supply

ELECTRICAL NOTES

All signage to be installed in compliance with National and Local Electrical Code.

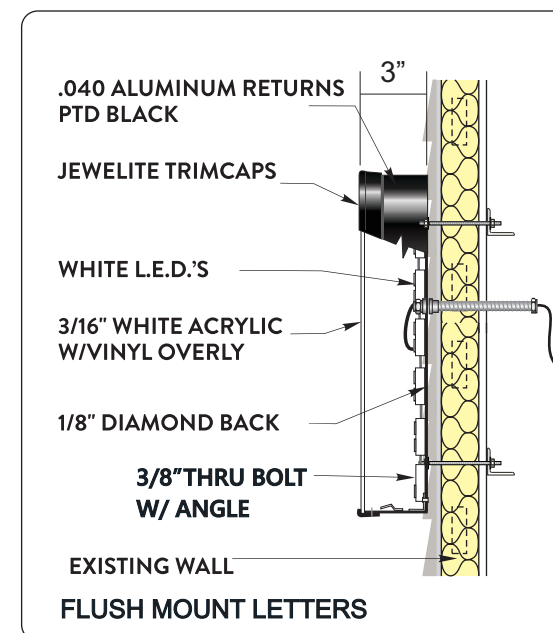
All signage to be constructed and installed in compliance with UL Standards.

ELECTRICAL NOTE-Actual # of circuits to be determined by a Licensed Electrical Contractor.
TOTAL AMPS-4 MAX
OF CKTS- 1 20 AMP(RECOMMENDED)
VOLTS- 120
ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L.) LABELS.

PRIMARY POWER BY OTHERS

U.L. Approved Sign w/ Labels. All Components U.L. Approved.
NEC 2017 Compliant, Grounding As Per IBC 2020, 7th Edition.
LED Power Supply 120 Volt input. 12 Volt DC Output. Each Power Supply 1.0 Amp

All electrical components are UL Listed.
Signage grounding and bonding as per NEC 250.
Primary wiring 12 AWG COPPER as per NEC 600.
Minimum 20 Amp. disconnect switch per NEC 600.6



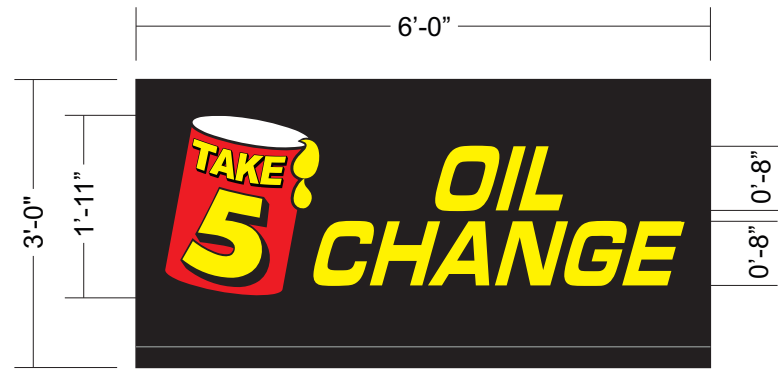
Color renderings are for presentation only and should not be considered as manufacturing drawings. Actual Finished Product May Vary Due To Manufacturing Equipment or Material Constraints.

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Customer: Take 5 Oil Change
Created: 8-24-2023
Revised: 9-20-2023
Dwg: Permit 106
Scale: AS NOTED
Illustrated by: Smith

Date:
Take 5 Oil Change
648 South Whitney Way
Madison, WI

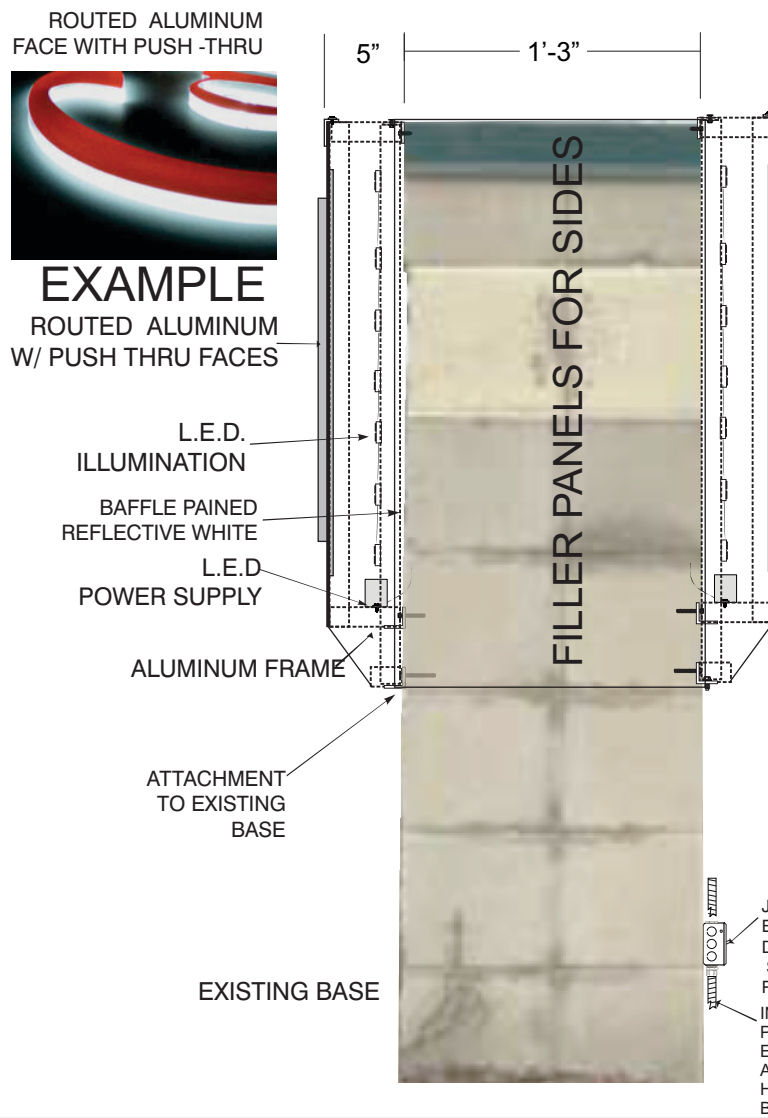
Approval:
Complete Signs
P.O. Box 8861 Dothan, AL 36304 P 888.823.9005
F 334.556.0218 signs@completesigns.net www.completesigns.net



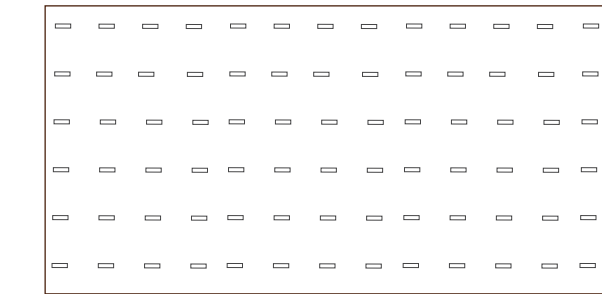
CC

SCALE 1/2"=1'-0"

Proposed: 18 SF
 2 S/F Internally Illuminated Cabinets
 w/Flat Aluminum Faces Routed and Push Thru
 Acrylic with vinyl overlay
 Bottom of cabinet Faces Only (sides flat) Cabinet
 Painted Black
 Mounted to Existing Structure Painted to match building
 Accents painted black



1/2" PUSH THRU FACE
 VINYL APPLIED TO TOP
 WHITE HALO ON SIDES



78 Z-ECO4-W L.E.D 2 QTY
 2 pc 60W Power Supply

ELECTRICAL NOTES

All signage to be installed in compliance with National and Local Electrical Code

All signage to be constructed and installed in compliance with UL Standards

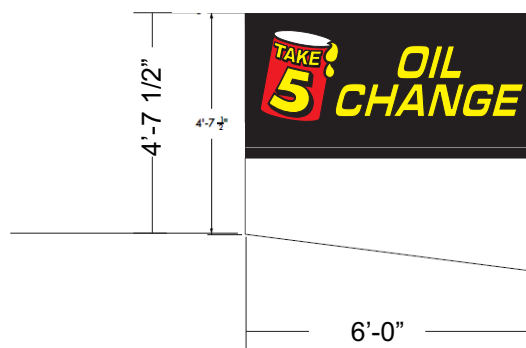
ELECTRICAL NOTE-Actual # of circuits to be determined by a Licensed Electrical Contractor.
 TOTAL AMPS-8
 # OF CKTS- 1 20 AMP(RECOMMENDED)
 VOLTS- 120
 ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L) LABELS.

PRIMARY POWER BY OTHERS

U.L. Approved Sign w/ Labels. All Components U.L. Approved.
 NEC 2017 Compliant, Grounding As Per IBC 2020, 7th Edition.
 LED Power Supply 120 Volt input 12 Volt DC Output. Each Power Supply 1.0 Amp

All electrical components are UL Listed.
 Signage grounding and bonding as per NEC 250.
 Primary wiring 12 AWG COPPER as per NEC 600.
 Minimum 20 Amp. disconnect switch per NEC 600.6

SW 7693 Stonebriar And



SCALE 1/4"=1'-0"



NIGHT VIEW

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Customer: Take 5 Oil Change
 Created: 8-24-2023
 Revised: 9-20-2023 4/30/24
 5/15/24

Dwg: Permit 107
 Scale: AS NOTED
 Illustrated by: Smith

Take 5 Oil Change
 648 South Whitney Way
 Madison, WI

Date:

Approval:

Complete Signs
 P. O. Box 8861 Dothan, AL 36304 P 888.823.9005
 signs@completesigns.net www.completesigns.net
 F 334.556.0218



SCALE 1/8"=1'-0"

WEST ELEVATION (REAR ELEVATION)



NIGHT VIEW LETTERS DO NOT ILLUMINATE

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 F 334.556.0218 signs@completesigns.net www.completesigns.net

Take 5 Oil Change
 648 South Whitney Way
 Madison, WI

Customer: Take 5 Oil Change
 Created: 8-24-2023
 Revised: 9-20-2023 4/30/24
 Dwg: Permit 108
 Scale: AS NOTED
 Illustrated by: Smith

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Date:

Approval:

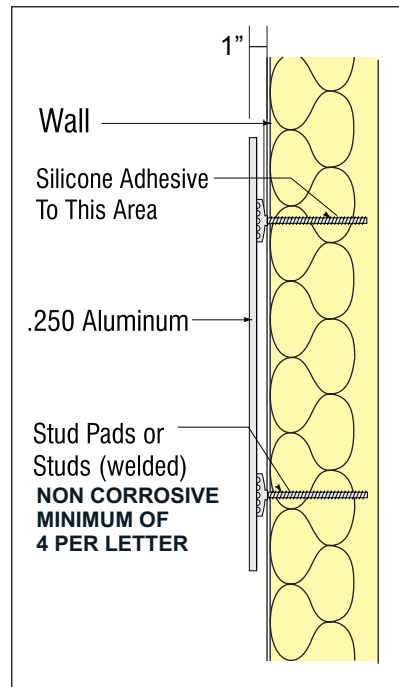
DD

18'-6"
-1'-6"
STAY IN YOUR CAR

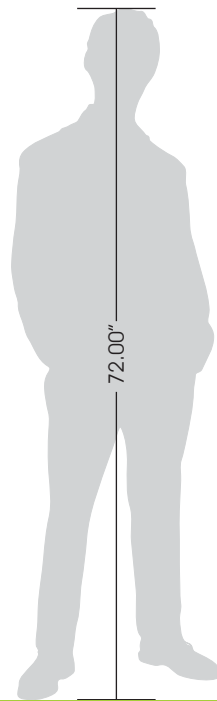
Non-Illuminated Plate Letters

SCALE 1/4"=1'-0"

27.75 SF



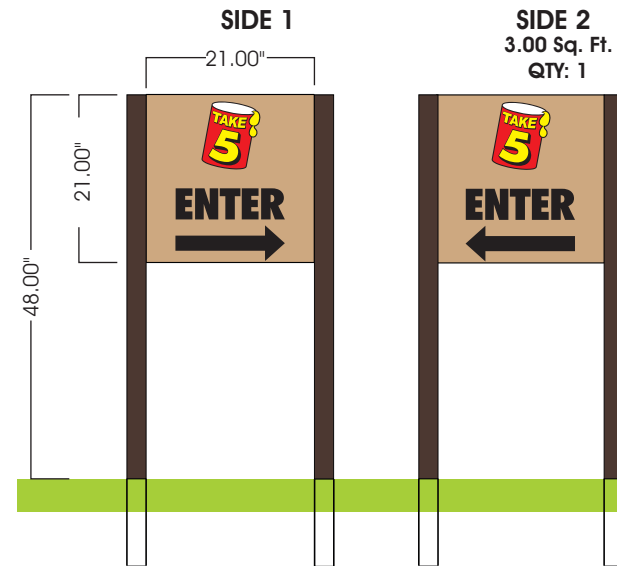
SCALE 1/8"=1'-0"



SCALE 1/8"=1'-0"

3.00 Sq. Ft.

EE



SPECIFICATIONS

NON ILLUMINATED DOUBLE-SIDED POST & PANEL

Size:

As In Drawing

Material:

Aluminum Square Tubing
& Panels

Face Color:

SW 7693 Stonebriar And
As Determined By Message

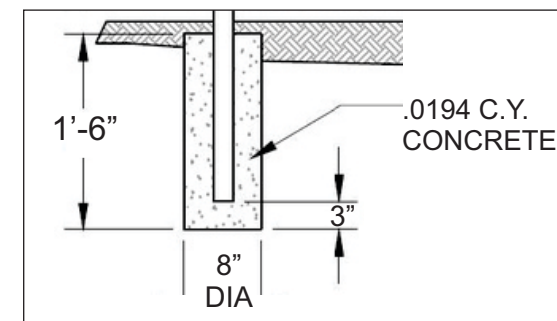
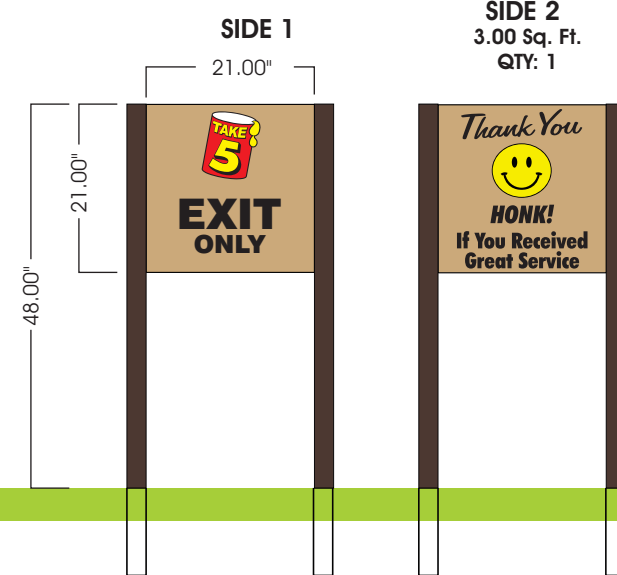
Leg Color:

SW 6076 Turkish Coffee

Mounting:

Into Earth

FF



NOTE:

• ALL WAYFINDING HOLES MUST BE HAND DUG TO AVOID DAMAGING UNMARKED UNDERGROUND LINES

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Customer: Take 5 Oil Change
Created: 8-24-2023
Revised: 9-20-2023 4/30/24
Dwg: Permit 109
Scale: AS NOTED
Illustrated by: Smith

Date:
Take 5 Oil Change
648 South Whitney Way
Madison, WI

Approval:

Complete Signs
P.O. Box 8861 Dothan, AL 36304 P 888.823.9005
signs@completesigns.net www.completesigns.net
F 334.556.0218

EXISTING CONDITIONS



FRONT ELEVATION EAST



REAR ELEVATION WEST



MONUMENT



NORTH ELEVATION NO SIGNS TO BE INSTALLED



SOUTH ELEVATION NO SIGNS TO BE INSTALLED



DIRECTIONAL



MONUMENT



FRONT ELEVATION EAST

NORTH ELEVATION

PREVIOUS SIGNAGE

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Customer: Take 5 Oil Change
 Created: 8-24-2023
 Revised: 9-20-2023 4/30/24
 Dwg: Permit 110
 Scale: AS NOTED
 Illustrated by: Smith

Take 5 Oil Change
 648 South Whitney Way
 Madison, WI

Date: _____
 Approval: _____

Complete Signs

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 F 334.556.0218 signs@completesigns.net www.completesigns.net

PHOTO 10



PHOTO 11

EXISTING CONDITIONS



PHOTO 12



PHOTO 13



PHOTO 14



PHOTO 15



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Customer: Take 5 Oil Change
Created: 8-24-2023
Revised: 9-20-2023 4/3024
Dwg: Permit 111
Scale: AS NOTED
Illustrated by: Smith

Date:
Take 5 Oil Change
648 South Whitney Way
Madison, WI
Approval:



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Customer: Take 5 Oil Change
 Created: 8-24-2023 4/30/24
 Revised: 9-20-2023
 Dwg: Permit 103
 Scale: AS NOTED
 Illustrated by: Smith

Take 5 Oil Change
 648 South Whitney Way
 Madison, WI
 Date: _____
 Approval: _____

Complete Signs
 P.O. Box 8861 Dothan, AL 36304 P 888.823.9005
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 F 334.556.0218

PHOTO 16



PHOTO 17



PHOTO 18



PHOTO 19



PHOTO 20



PHOTO 21



PHOTO 22



PHOTO 23



PHOTO 24



PHOTO 25



PHOTO 26



PHOTO 27



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Customer: Take 5 Oil Change
Created: 8-24-2023
Revised: 9-20-2023 4/17/24
Dwg: Permit 112
Scale: AS NOTED
Illustrated by: Smith

Date: _____
Take 5 Oil Change
648 South Whitney Way
Madison, WI

Approval: _____

Complete Signs
P.O. Box 8861 Dothan, AL 36304 P 888.823.9005
F 334.556.0218 signs@completesigns.net www.completesigns.net

