

NOTES:
 THE EXISTING UTILITIES WERE LOCATED BY DIGGER'S HOULING. THE SURVEYOR MAKES NO GUARANTEE THAT ALL UTILITIES ARE DOCUMENTED AND ACCOUNTED FOR. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

LEGEND	
	● GUARD POST/BOLLARD
	⊕ ELECTRIC POWER POLE
	⌄ GUY ANCHOR
	□ STREET LIGHT
	⊙ POWER POLE W/TRANSFORMER
	⊙ UTILITY POLE W/LIGHT
	⊠ ELECTRIC BOX
	⊠ ELECTRIC TRANSFORMER
	⊠ FIRE HYDRANT
	⊠ FIRE MAIN HOOKUP
	⊠ WATER CURB STOP
	⊠ STORM SPERM MANHOLE
	⊠ CIRCULAR INTAKE/INLET
	⊠ SQUARE INTAKE/INLET
	⊠ H-INLET
	⊠ TELEPHONE POLE
	⊠ GAS VALVE
	⊠ GAS METER
	⊠ CABLE TV MANHOLE/VAULT
	⊠ CABLE TV BOX
	— BURIED GAS LINE
	— BURIED TELEPHONE LINE
	— BURIED ELECTRIC LINE
	— BURIED CABLE TV LINE
	— BURIED FIBER OPTIC LINE
	⊕ DECIDUOUS TREE (SIZE VARIES)
	⊕ DECIDUOUS SHRUB
	⊕ STUMP
	⊕ CONIFEROUS TREE (SIZE VARIES)

811

Know what's below.
 Call before you dig.

MS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

PLOTTING NOTE: PLANS PLOTTED TO 11X17
 SHEET SIZE ARE 1/2 SCALE - 1"=40"

SCALE: 1" = 20'

NORTH

NO.	DATE	DESCRIPTION

DRAWN BY: S. ANDERSON
 SCALE: NOTED
 PROJ. NO.: 115.0422.30
 DATE: 2-3-16
 SHEET: Sp1.0

EXISTING SITE PLAN

CONVENIENCE STORE 155

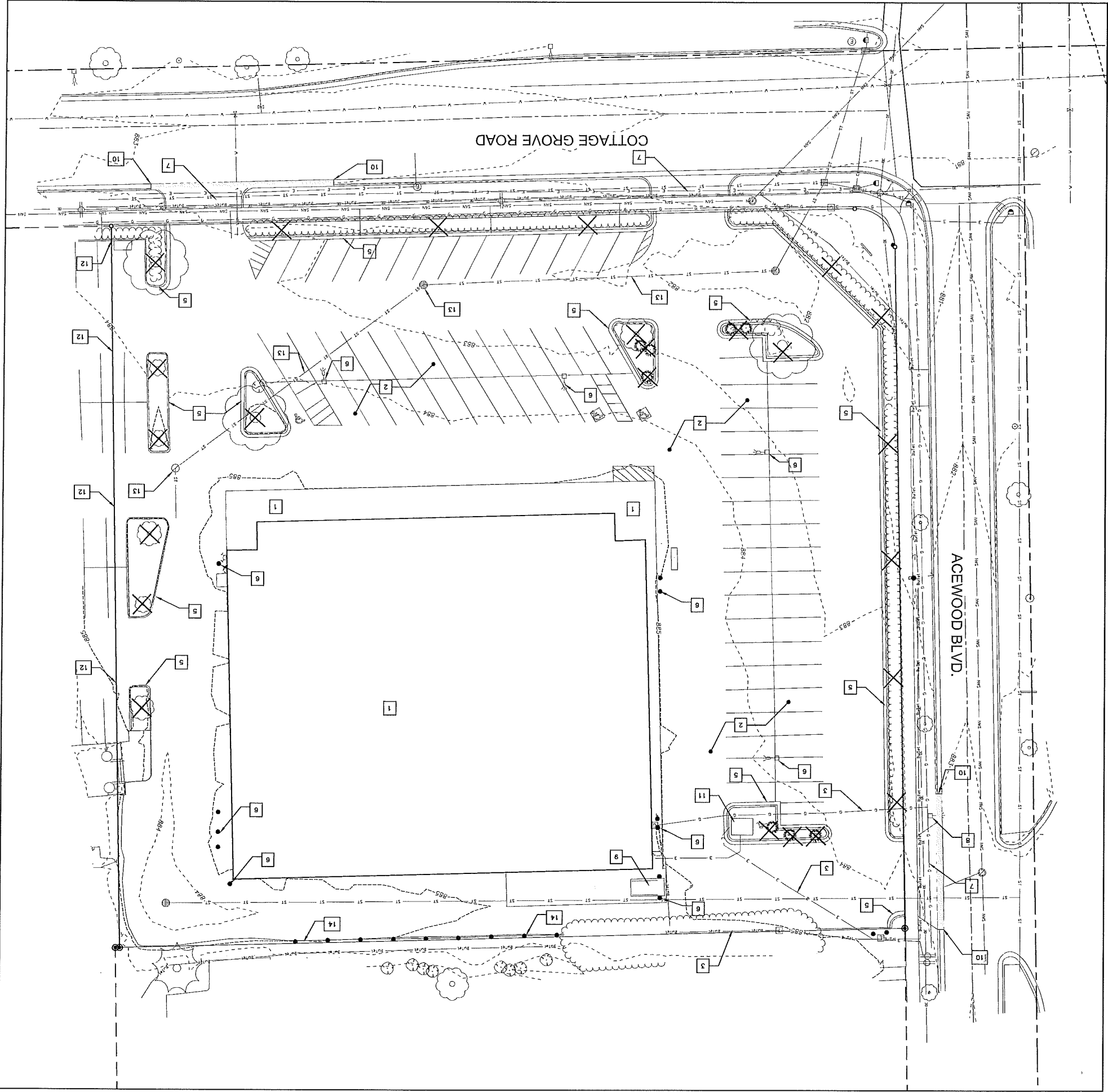
4602 COTTAGE GROVE ROAD
 MADISON, WISCONSIN 53718

KWIK TRIP, Inc.
 P.O. BOX 2107
 1626 OAK STREET
 LA CROSSE, WI 54602-2107
 PH. (608) 781-8988
 FAX (608) 781-8980

SNYDER & ASSOCIATES
 5010 VOEGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 KTS01
 www.snyder-associates.com

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- DEMOLITION PLAN NOTES:**
- EXISTING BUILDING TO BE REMOVED. REMOVE STRUCTURE, FOOTINGS AND ASSOCIATED WALKS AND PAVEMENT. DISCONNECT EXISTING UTILITY SERVICES LINES PER CITY AND STATE SPECIFICATIONS.
 - EXISTING GRAVEL, CONCRETE AND BRIMMINGS TO BE REMOVED.
 - EXISTING UTILITY SERVICE LINES TO BE REMOVED. ELECTRIC, GAS, SANITARY, WATER, STUB TO PROPERTY LINE OR MAIN SERVICE LINE AS SPECIFIED BY CITY AND UTILITY SERVICE PROVIDER.
 - EXISTING CURB AND GUTTER TO BE REMOVED.
 - EXISTING SITE AMENITIES TO BE REMOVED. BOLLARDS, LIGHTING, ETC.
 - EXISTING DRIVEWAY APRON TO BE REMOVED.
 - EXISTING LIGHT POLE IN CITY RIGHT OF WAY TO BE MOVED FOR NEW DRIVEWAY LOCATION. COORDINATE WITH CITY ON REMOVAL AND NEW LIGHT POLE LOCATION.
 - EXISTING EXTERIOR DOCK LIFT TO BE REMOVED.
 - CURB & GUTTER SAW CUT LINE FOR INSTALLATION OF NEW DRIVEWAY.
 - EXISTING ELECTRICAL TRANSFORMER TO BE REMOVED.
 - SAWCUT ASPHALT ON SITE UP TO PROPERTY LINE.
 - REMOVE EXISTING STORM SEWER AND MANHOLES. SEE PROPOSED PLANS FOR THE IN POINT.
 - EXISTING GUARDRAIL TO BE REMOVED.

- DEMOLITION PLAN NOTES:**
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WORK ON SITE.
 - CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING WORK ON SITE.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER CITY OF MADISON AND WISCONSIN SPECIFICATIONS. ALL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCING WORK ON SITE. ALL MEASURES SHALL BE MAINTAINED UNTIL SITE SOILS ARE STABILIZED. SEE EROSION CONTROL PLAN FOR MORE INFORMATION.
 - CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON SITE.
 - NOT TREE SHALL BE PRUNED OR CUT WITHIN THE RIGHT OF WAY.
 - × = TREE OR VEGETATION TO BE REMOVED

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 SCALE: 1" = 20'
 NORTH

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DRAWN BY S. ANDERSON
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 PROJ. NO. 115.0422.30
 DATE 2-3-16
 SHEET SP1.1

NO. DATE DESCRIPTION
 DEMOLITION SITE PLAN
 CONVENIENCE STORE 155
 4602 COTTAGE GROVE ROAD
 MADISON, WISCONSIN 53718

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TRIP

KWIK

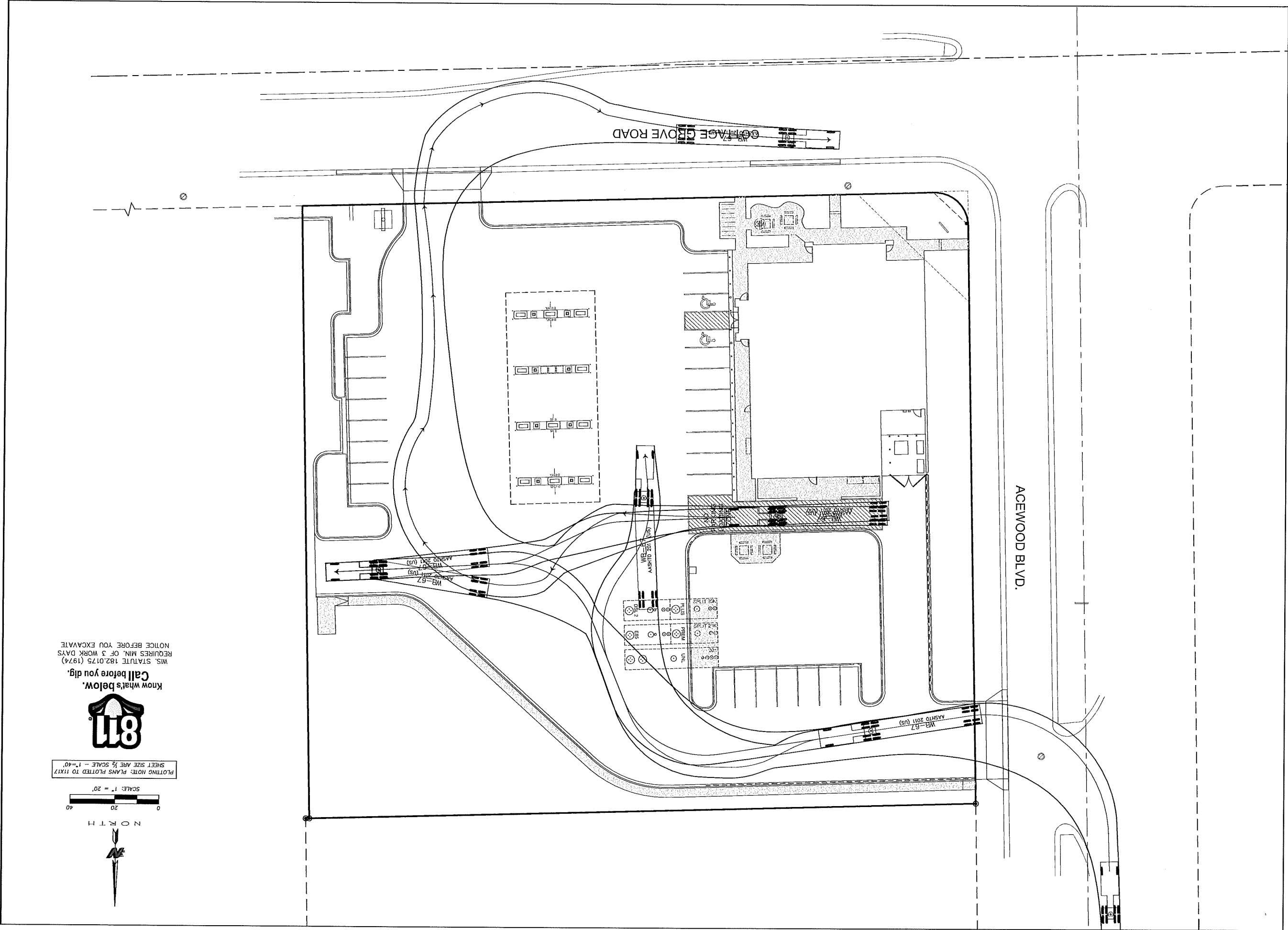
SP1.2
 SHEET
 DATE 2-3-16
 PROJ. NO. 115.0422.30
 SCALE NOTED
 DRAWN BY S. ANDERSON


NO. DATE DESCRIPTION
 SITE PLAN - TURNING MOVEMENTS
 CONVENIENCE STORE 155
 4602 COTTAGE GROVE ROAD
 MADISON, WISCONSIN 53718

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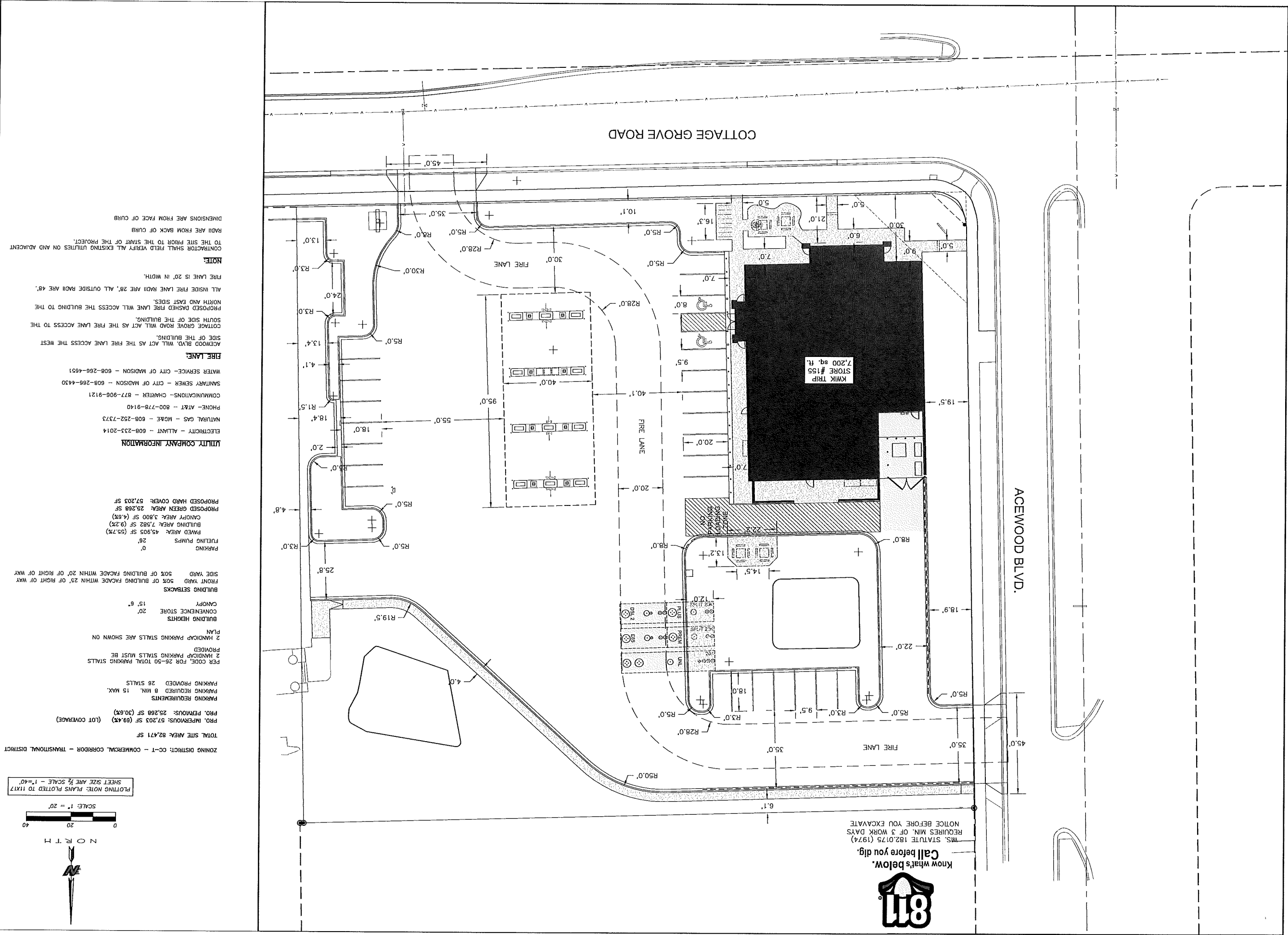
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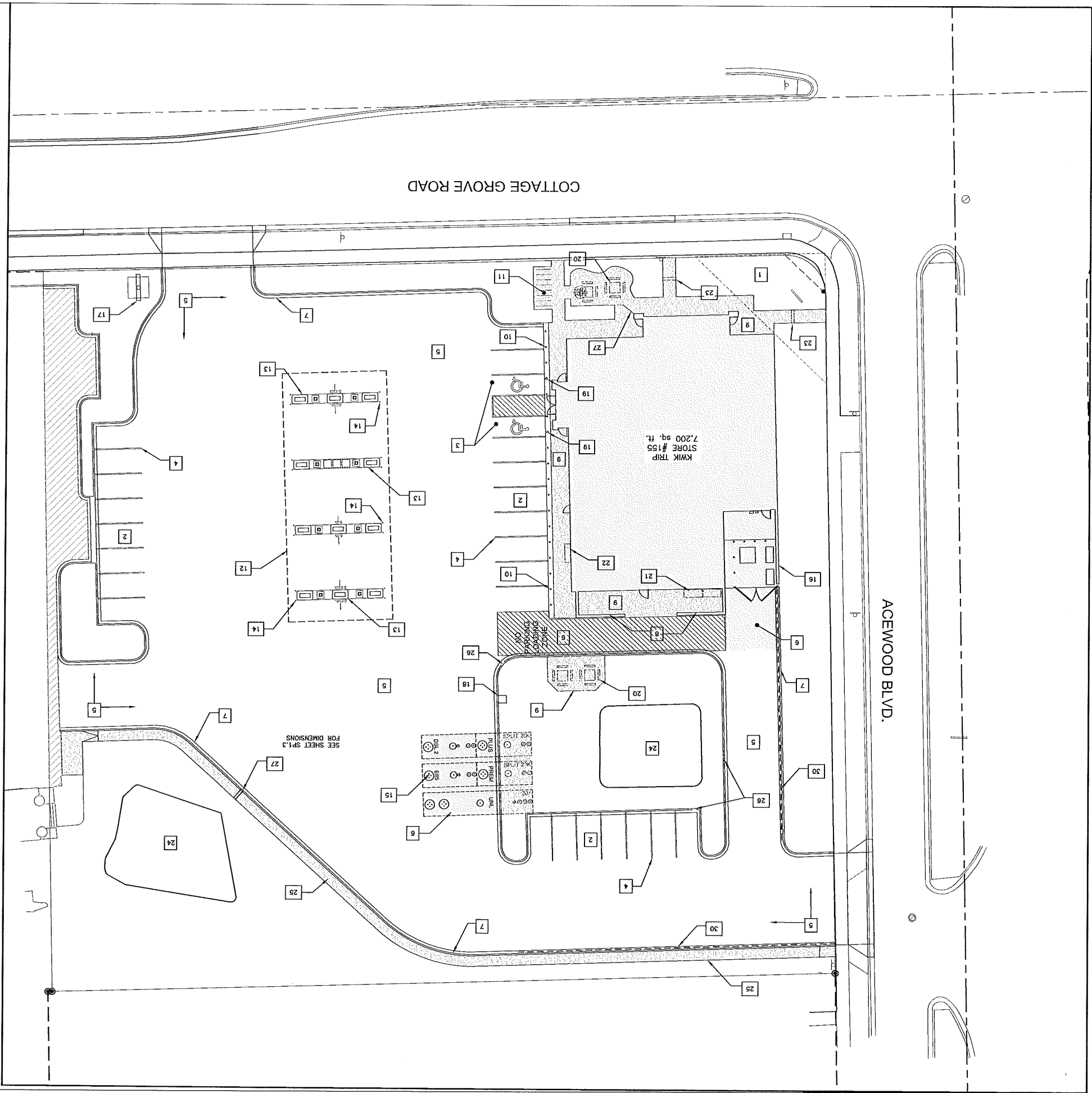
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 SHEET
 DRAWN BY S. ANDERSON
 SCALE NOTED
 PROJ. NO. 115.0422.30
 DATE 2-3-16

NO. DATE DESCRIPTION
 SITE PLAN - LAYOUT
 CONVENIENCE STORE 155
 4602 COTTAGE GROVE ROAD
 MADISON, WISCONSIN 53718

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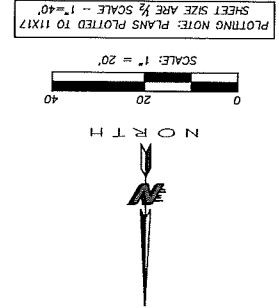


SITE PLAN AREAS

6" CONCRETE = 39,444 SQ. FT.
 6" CONCRETE SIDEWALK = 3,045 SQ. FT.
 8" CONCRETE = 3,302 SQ. FT.
 ASPHALT AREA = 1,900 SQ. FT.
 BIORETENTION AREA = 2,784 SQ. FT.
 SOD AREA = 18,544 SQ. FT.
 LANDSCAPE AREA = 3,940 SQ. FT.

NOTE: AREAS ARE FOR WITHIN PROPERTY LINES ONLY. NO RIGHT OF WAY IMPROVEMENTS ARE PART OF THE CALCULATED AREAS. LANDSCAPE AREA INCLUDES ALL MULCH AREAS AND RINGS AROUND TREES.

- SITE PLAN KEYNOTES**
- LANDSCAPE AREA, SEE SHEET L1. ALL GREEN SPACE SHALL HAVE SOD APPLIED.
 - OFF-STREET PARKING STALLS STRIPING - 4' WIDE STALL LINES, USE HIGH VISIBILITY YELLOW PAINT. SPACES PROVIDED (9) 9'-6" x 20'-0" GENERAL PARKING (15) 9'-6" x 18'-0" (2) 8'-0" x 20'-0" ACCESSIBLE PARKING WITH 10'-0" x 20'-0" LOADING ZONE (1) 14'-0" x 8'-0" LOADING ZONE
 - A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
 - 4' WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: YELLOW. PAINT SHALL BE SHERWIN WILLIAMS TEFAST PREMIUM ALKID ZONE MARKING PAINT.
 - 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR. CONCRETE SEALER: TK-26UV
 - 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR. CONCRETE SEALER: TK-26UV
 - CONCRETE CURB AND GUTTER PER DETAILS.
 - BRICK SCREENING WALLS, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 6" INTEGRAL CONCRETE CURB/ WALK. SEE DETAILS. CONCRETE SEALER: TK-26UV
 - 30" HT. CONCRETE FILLED PIPE BOLLARD SEE DETAIL 7/SP5.
 - 7 STALL BIKE RACK WITH 5' CLEARANCE. BIKE RACKS WILL BE SARIS CITY RACK SKU2436
 - 7-BIKE FREE STANDING/FALNGE MOUNT MODEL IN COLOR RED.
 - 40'-0" x 95'-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
 - 3'-6" x 6'-0" CONCRETE ISLANDS W/ 6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER OWNER.
 14. 36" HT BOLLARD, SEE DETAIL 8/SP5.
 - UNDERGROUND FUEL STORAGE TANKS PER OWNER. PROVIDE PIPING AND VENTING PER OWNER'S SPECIFICATIONS.
 - EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS.
 17. KWIK TRIP TRADEMARK SIGN (VERIFY LOCATION WITH SIGN PERMIT)
 - FREE AIR COMPRESSOR. PROVIDE SIGNAGE PER OWNER.
 - HC PVC BOLLARD SLEEVE PER OWNER. VAN ACCESS SIGNAGE AT 48" HT. STALL PARKING AT 80" HT.
 20. PICNIC TABLE PER OWNER. PROVIDE 1 HC. ACCESS TABLE SPACE. PROVIDE TRASH CONTAINER PER OWNER.
 - 36" x 48" ICE OUTDOOR STORAGE (ITEMS SOLD EXCLUSIVELY IN THE STORE)
 - 26" x 48" LP OUTDOOR STORAGE (ITEMS SOLD EXCLUSIVELY IN THE STORE)
 23. TWO 12" TREAD BY 6" RISE CONCRETE STEPS IN SIDEWALK
 24. STORMWATER TREATMENT FACILITY
 25. CONCRETE SIDEWALK 4' WIDE
 26. 24" WIDE FLUME CURB CUT
 27. 12" WIDE FLUME CURB CUT. SEE DETAIL 3/WSP4
 - 6" HIGH WRAP AROUND STEP
 29. 24" WIDE CONJOINED CONCRETE CURB HEAD
 30. REFLECT CURB & GUTTER
 - **NO OUTDOOR DISPLAY ITEMS ON SITE



811

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MS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

NO.	DATE	DESCRIPTION

SITE PLAN - KEYNOTE

CONVENIENCE STORE 155

4602 COTTAGE GROVE ROAD
 MADISON, WISCONSIN 53718

KWIK TRIP, Inc.
 P.O. BOX 2107
 1826 OAK STREET
 LA CROSSE, WI 54602-2107
 PH. (608) 781-8988
 FAX (608) 781-8960

SNYDER & ASSOCIATES
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STORES

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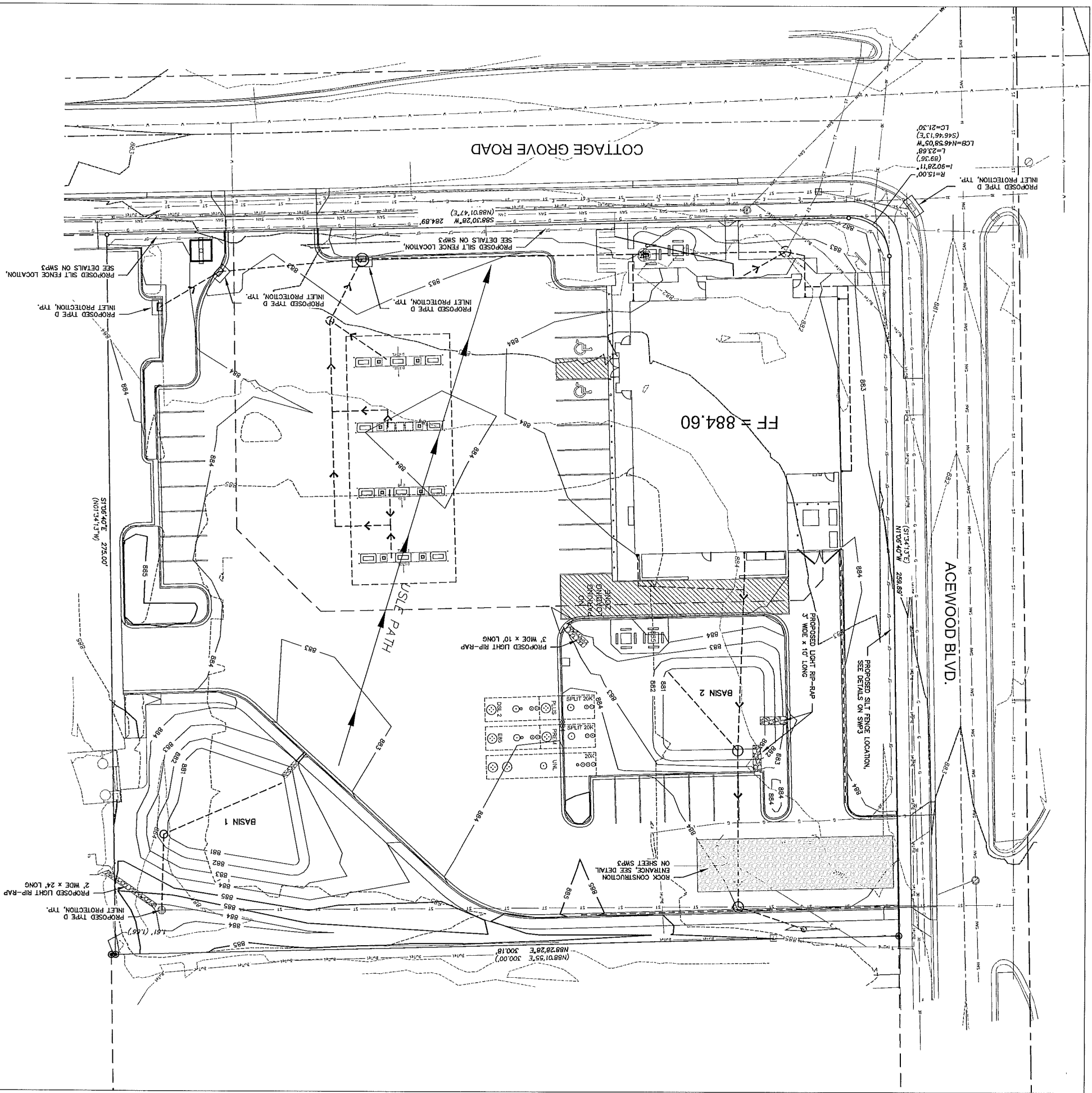
SHEET **SP14**

DATE 2-3-16

PROJ. NO. 115.0422.30

SCALE NOTED

DRAWN BY S. ANDERSON



ITEM	QUANTITY	ESTIMATED PRELIMINARY EROSION CONTROL QUANTITIES (ACTUAL QUANTITIES SUBJECT TO CHANGE)
ROCK CONSTRUCTION ENTRANCE	1	
EROSION MAT	AS NEEDED	
SILT FENCE	500 L.F.	
INLET PROTECTION, TYPE D	4	

PROJECT DATA

SITE AREA DATA
 82,471 SQ. FT.
 PRE-CONSTRUCTION IMPERVIOUS AREA
 77,219 SQ. FT.
 POST-CONSTRUCTION IMPERVIOUS AREA
 57,203 SQ. FT.

SOIL DATA
 SURFACE SOIL
 CONCRETE W/ GRAVEL BASE OVER FILL

CONSTRUCTION SEQUENCE

- *INSTALL EROSION/SEDIMENT CONTROL MEASURES
- *INSTALL STORMWATER MANAGEMENT SEDIMENT BASINS
- *INSTALL STORM SEWER
- *INSTALL STRUCTURES
- *INSTALL PAVEMENTS
- *INSTALL LAMP/LANDSCAPE
- *FLUSH STORM SEWER

REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

NOTES:

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD AREAS HAVE BEEN MULCHED AND SODDED. SEEDING AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE EROSION CONTROL PLAN NOTES AND DETAIL SHEETS FOR MORE INFORMATION.

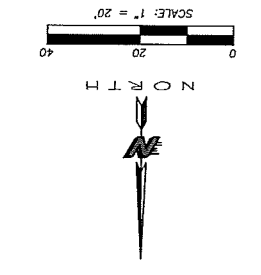
-BIORETENTION BASINS SHALL BE OVER EXCAVATED AND USED FOR SEDIMENTATION BASINS DURING CONSTRUCTION. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED PRIOR TO SAND, ROCK, AND ENGINEERED SOIL INSTALLATION. THE CONTRIBUTING WATERSHED TO THE BIORETENTION BASIN SHALL BE STABILIZED PRIOR TO BRINGING THE BASIN ONLINE.

CONTACT JEFF OSBORN
 KMK TRIP, INC.
 PO BOX 2107
 LACROSSE, WI 54602
 608-783-8020

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 Call before you dig.

MS. STATUTE 182.075 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



NOTE: FOR MAINTENANCE PURPOSES CONTRACTOR SHALL ALL SUFFICIENT QUANTITIES FOR REPAIR AND REPLACEMENT OF EROSION CONTROL DEVICES THROUGHOUT ALL PHASES OF THE PROJECTS CONSTRUCTION.

SP2.0	SHEET
DATE	2-3-16
PROJ. NO.	119.0422.30
SCALE	NOTED
DRAWN BY	S. ANDERSON

GRADING & EROSION CONTROL PLAN

CONVENIENCE STORE 155

COTTAGE GROVE ROAD AND ACEWOOD BLD.
 MADISON, WISCONSIN 53718

SNYDER & ASSOCIATES
 5010 VOEGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 KTS01
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
KWIK TRIP, Inc.
 P.O. BOX 2107
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STORES


STORES

SP2.1
 SHEET
 DATE 2-3-16
 PROJ. NO. 115.0422.30
 SCALE NOTED
 DRAWN BY S. ANDERSON


NO. DATE DESCRIPTION
 GRADING PLAN - SPOT DETAIL
 CONVENIENCE STORE 155
 COTTAGE GROVE ROAD AND ACEWOOD BLD.
 MADISON, WISCONSIN 53718

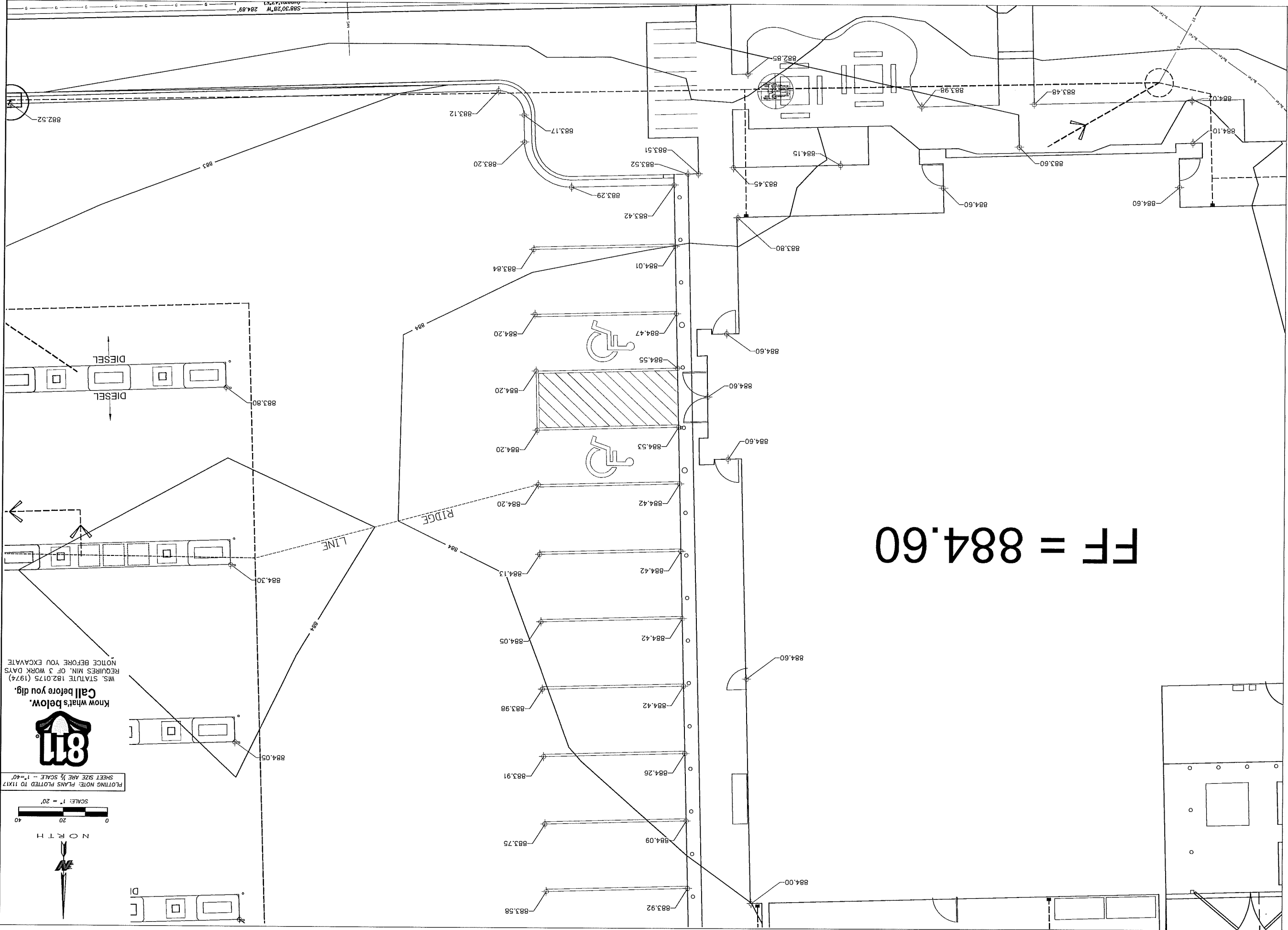
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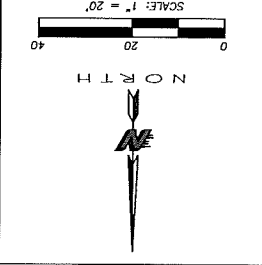
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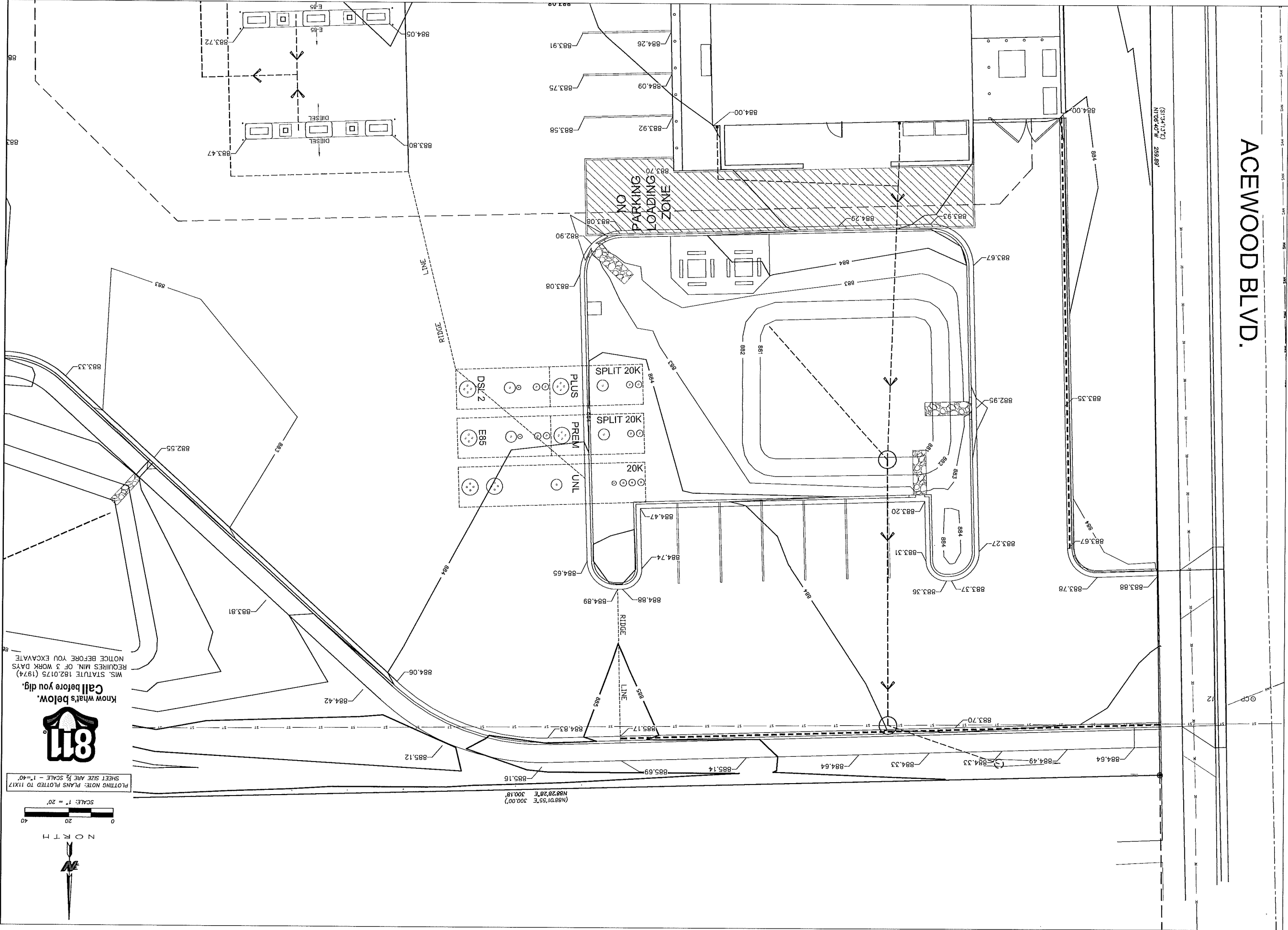


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ACEWOOD BLVD.




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DATE 2-3-16	SHEET SP2.2
NO. DATE DESCRIPTION	
GRADING PLAN - SPOT DETAIL	
CONVENIENCE STORE 155	
COTTAGE GROVE ROAD AND ACEWOOD BLD. MADISON, WISCONSIN 53718	



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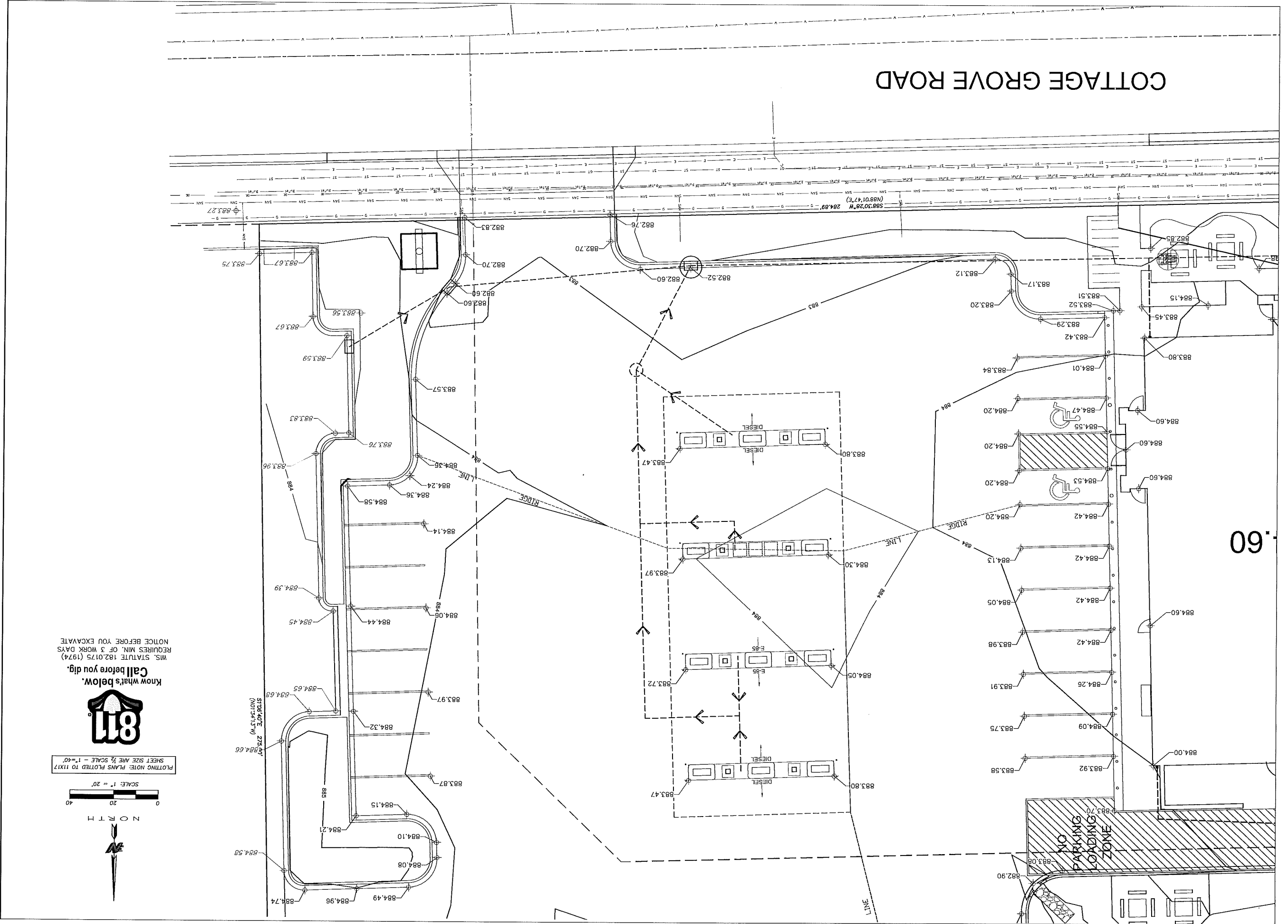
STORES


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SP2.3
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 SCALE NOTED
 DRAWN BY S. ANDERSON

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 GRADING PLAN - SPOT DETAIL
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 COTTAGE GROVE ROAD AND ACEWOOD BLD.
 MADISON, WISCONSIN 53718

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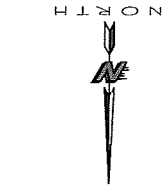
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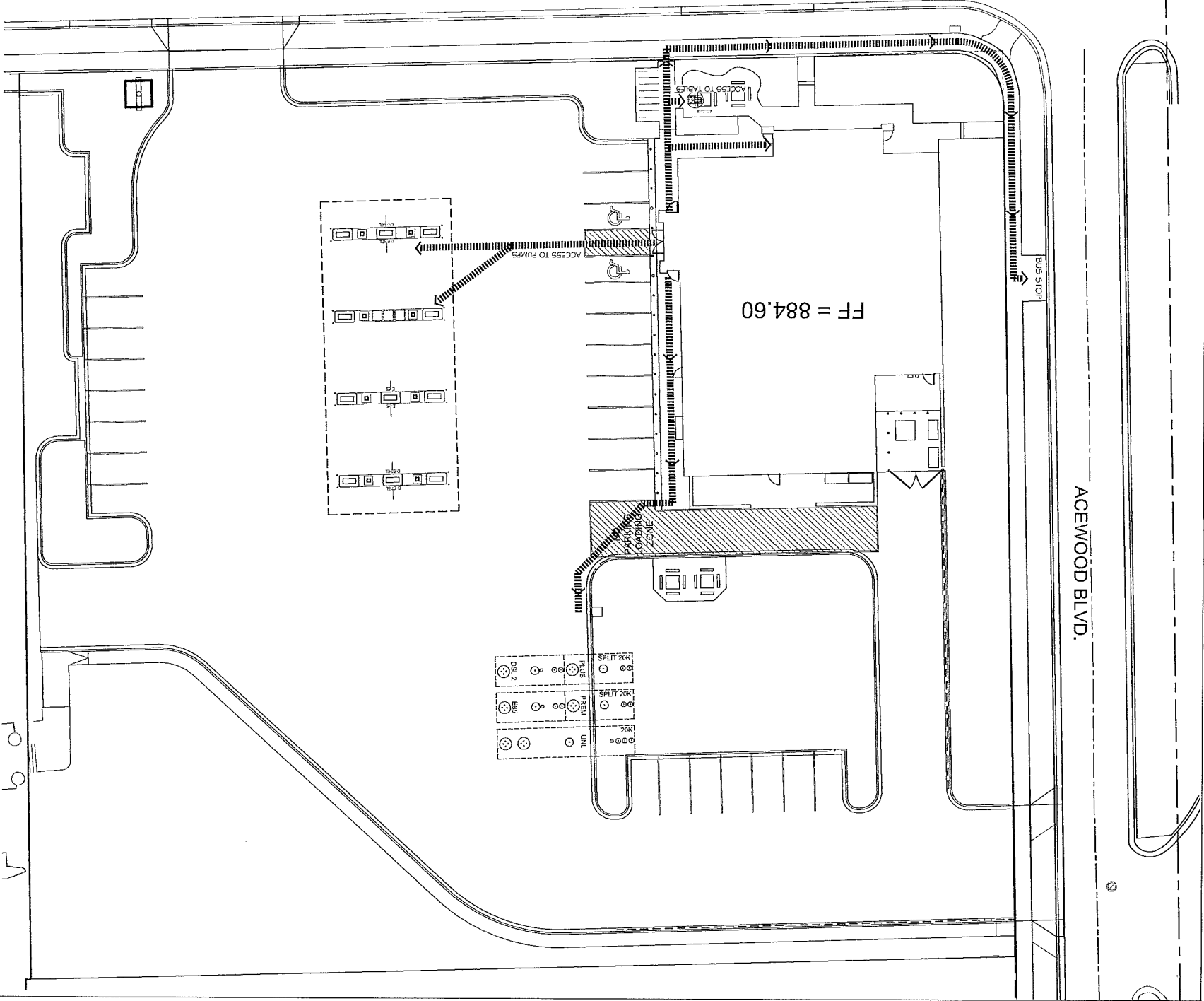
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NOTES:

- REFER TO THE DOCUMENT FROM THE DEPARTMENT OF JUSTICE ON "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN", CONTRACTOR SHALL REFERENCE CURRENT A.D.A. GUIDELINES AND LOCAL REGULATIONS FOR SITE ACCESSIBILITY, IN ALL CASES THE MINIMUM REQUIREMENTS SHALL BE PROVIDED ON SITE TO ENSURE COMPLIANCE TO ALL REGULATIONS.
- KIKI TRIP STANDARD ENTRANCE DOOR IS AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS. ENTRANCE DOORS FOR ACCESSIBLE ROUTES WILL HAVE A MINIMUM CLEAR OPENING OF 32"
- STORE FRONTS WILL PROVIDE FLUSH PAVEMENTS ALONG ACCESSIBLE ROUTES AND BUILDING WALK PER PLAN.
- SECURITY BOLLARDS INDICATED AND SPACED BETWEEN PARKING SURFACES AND BUILDING WALK PER PLAN.
- NO OBJECTS OR DISPLAYS SHOULD PROTRUDE INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WILL INCLUDE SEASONAL DISPLAY VENDING AREAS AS WELL AS OTHER OUTDOOR STORAGE UNITS FOR PROPANE AND ICE, ETC.
- PER ADA GUIDELINES - CLEAR WIDTH OF ACCESSIBLE ROUTES SHALL BE 36" AND PERMITTED TO BE REDUCED TO 32" FOR A LENGTH OF 24".
- ACCESS ISLES SERVING WHEEL CHAIR LIFTS OR CHAIR ACCESS FROM VEHICLES ARE REQUIRED TO BE NEARLY LEVEL IN ALL DIRECTIONS TO PROVIDE SAFE TRANSFER OF WHEELCHAIRS TO AND FROM VEHICLES. THE EXCEPTION WOULD BE FOR DRAINAGE. MAXIMUM SLOPE FOR THE ACCESS ISLE IS 1:48. NO CURB RAMP SHALL BE A PART OF THE ACCESS ISLE.
- IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH THE DESIGNATION OF 1 VAN ACCESSIBLE IN EVERY 8 ACCESSIBLE SPACES ON SITE.

COTTAGE GROVE ROAD

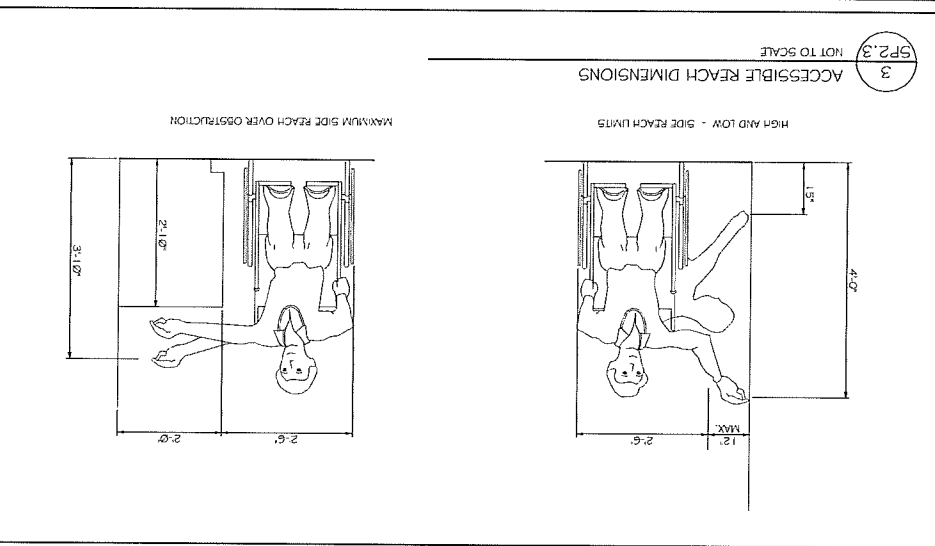
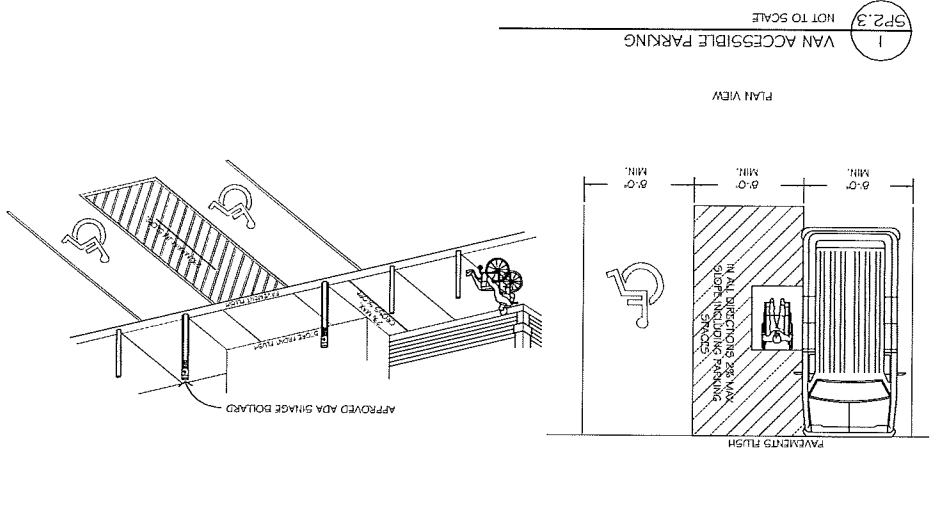
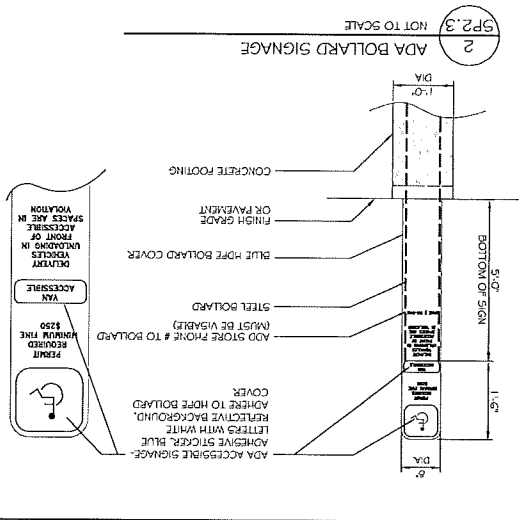


PLAN KEYNOTES

1. ACCESSIBLE STALLS
A. STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY BLUE PAINT.
SPACES PROVIDED:
(2) 9'-0" x 20'-0" ACCESSIBLE PARKING WITH (1) 8'-0" x 20'-0" LOADING ZONE (MIN.)
2. PAVEMENTS FLUSH FOR ACCESSIBILITY INTO BUILDING.
DETAIL
3. PICNIC TABLE W/ ACCESSIBLE PLACEMENT
4. ACCESSIBLE ROUTE TO STORE
5. ACCESSIBLE ROUTE TO VACUUM AND AIR.

NOTES FOR CONVENIENCE STORE ACCESSIBILITY

AT LEAST 1 MPD(MULTI PRODUCT DISPENSER) COVERING ALL GRADES OF FUEL MUST BE ACCESSIBLE IN A 30'x48' CLEAR LEVEL FLOOR AREA(CLF).
ALL PUMP CONTROLS SHALL BE < 48"(2010 STANDARD).
FIRE EXTINGUISHER, PAPER TOWEL DISPENSER, LITERATURE, WINDOW WASHER, EMERGENCY FUEL STORES, ETC. BE SIDE APPROACH REACH RANGE.
PROVIDE IS(A)NDUSTRY STANDARD ARCHITECTURE) AT EACH ACCESSIBLE FUEL POSITION ON FACE OF PUMP.
PROVIDE ISA AT EACH ACCESSIBLE FUELING POSITION VISIBLE TO APPROACHING VEHICLES.
PROVIDE A SIGN AT EACH ACCESSIBLE FUELING POSITION WITH STORE TELEPHONE NUMBER, ADVISING AVAILABLE FUELING ASSISTANCE.
ANY PAY FUNCTION- i.e. AIR/VACUUM etc. ARE REQUIRED TO HAVE AN ACCESSIBLE ROUTE TO STORE ENTRANCE AND CONTROLS SHALL BE ACCESSIBLE 30"x48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.



SHEET SP2.5
DATE 2-3-16
PROJ. NO. 115.0422.30
SCALE NOTED
DRAWN BY S. ANDERSON

NO. DATE DESCRIPTION
ACCESSIBLE PLAN
CONVENIENCE STORE 155
COTTAGE GROVE ROAD AND ACEWOOD BLD.
MADISON, WISCONSIN 53718

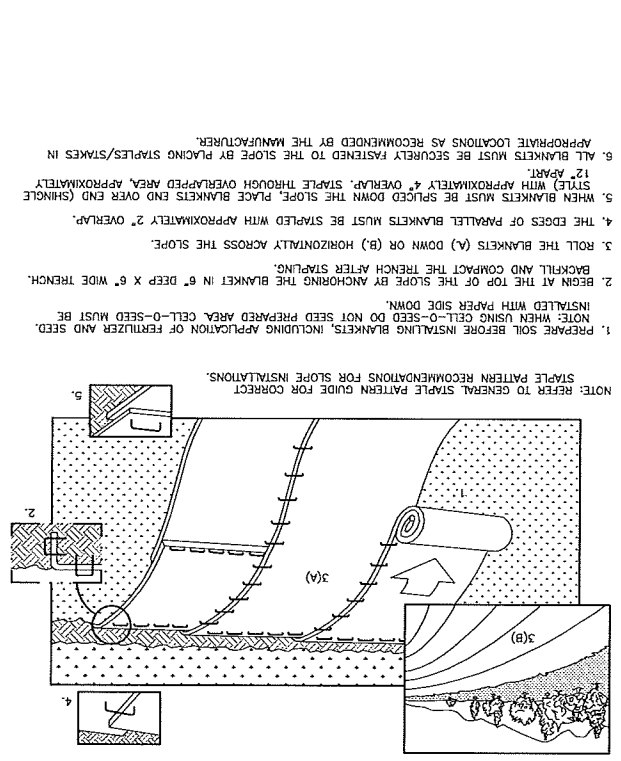
SNYDER & ASSOCIATES
5010 VOEGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 KTS01
www.snyder-associates.com

KWIK TRIP, Inc.
P.O. BOX 2107
1828 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

STORES

STORES

1 EROSION CONTROL MAP - SLOPE INSTALLATION

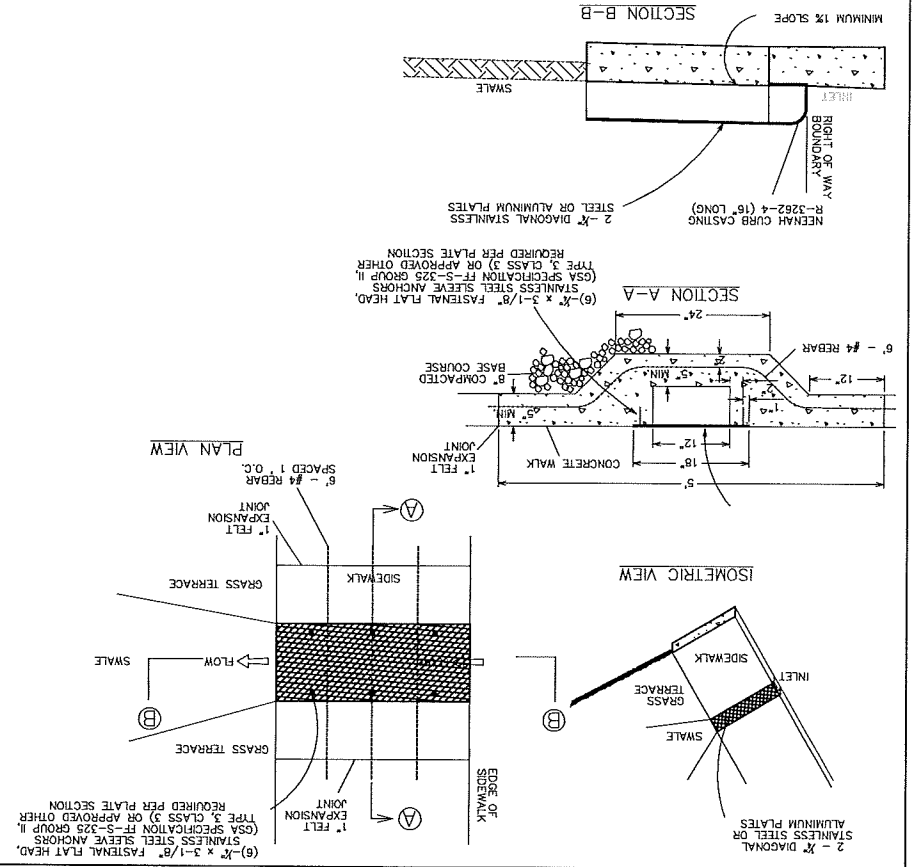


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 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
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 6. APPROPRIATE LOCATIONS MUST BE SECURED FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

BIO-RETENTION AREA PLANTING NOTES

1. UPON COMPLETION OF EXCAVATING & GRADING OPERATIONS, A LOOSE, FRIABLE SEEDBED SHALL BE PREPARED FOR INSTALLATION OF NATIVE SEED.
2. CARE SHALL BE TAKEN TO MINIMIZE SOIL COMPACTION DURING CONSTRUCTION ACTIVITY. BY EXAMPLE OF A STANDARD SOIL PENETROMETER (COMPACTION TESTER), THE TOPSOIL COMPACTION READINGS SHALL BE LESS THAN 200 PSI AT THE 0-6 INCH DEPTH AND LESS THAN 250 PSI AT THE 6-18 INCH DEPTHS IN ALL AREAS TO BE SEEDBED.
3. UNDULATIONS OR IRREGULARITIES IN THE SEEDBED WHICH WOULD INTERFERE WITH A CONSISTENT SEEDING OPERATION SHALL BE LEVELED PRIOR TO FINAL SEEDING.
4. FINAL SEEDBED SHOULD BE GRADED SUCH THAT THE AREAS TO BE SEEDBED CONSIST OF A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE SEEDBED TEXTURE.
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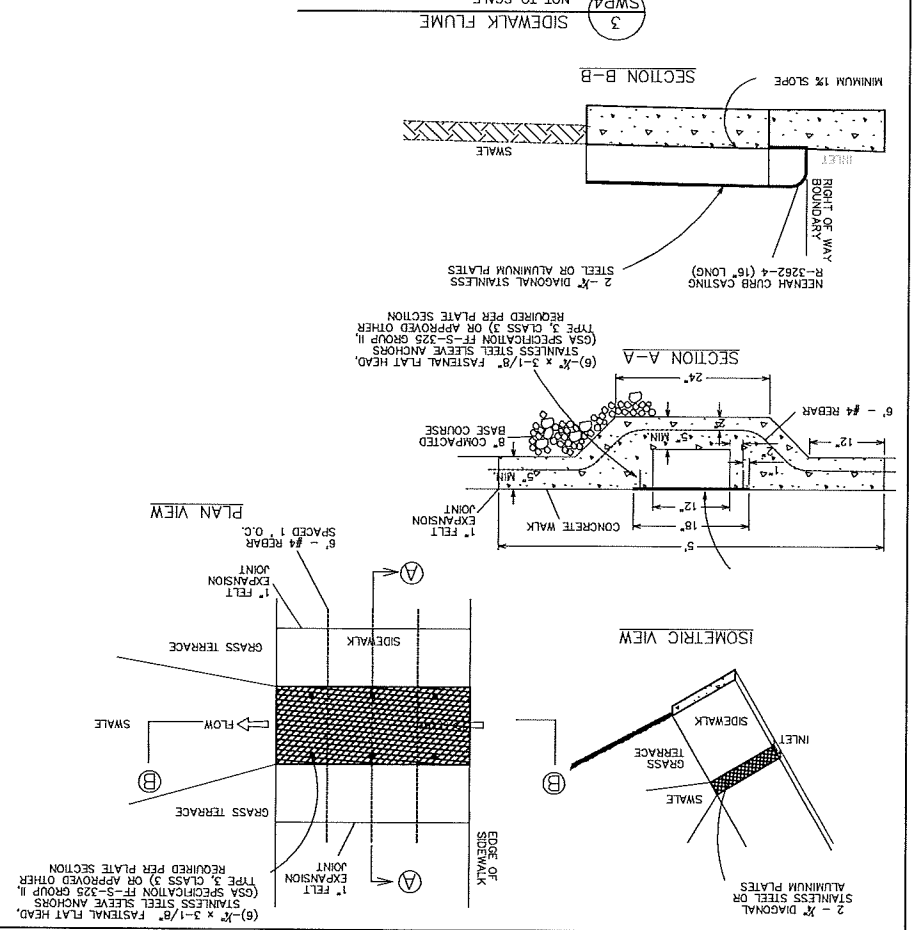
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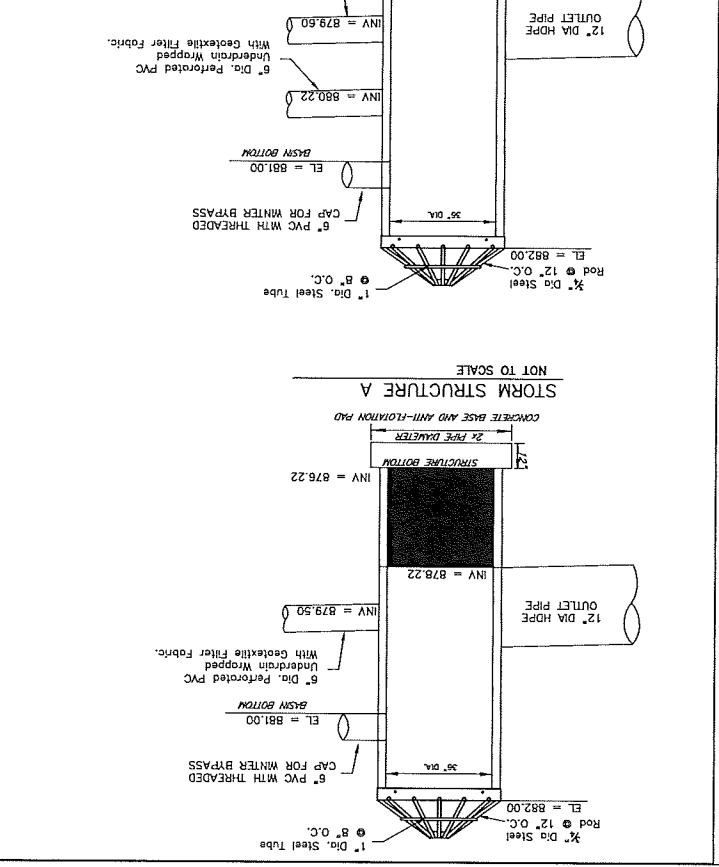
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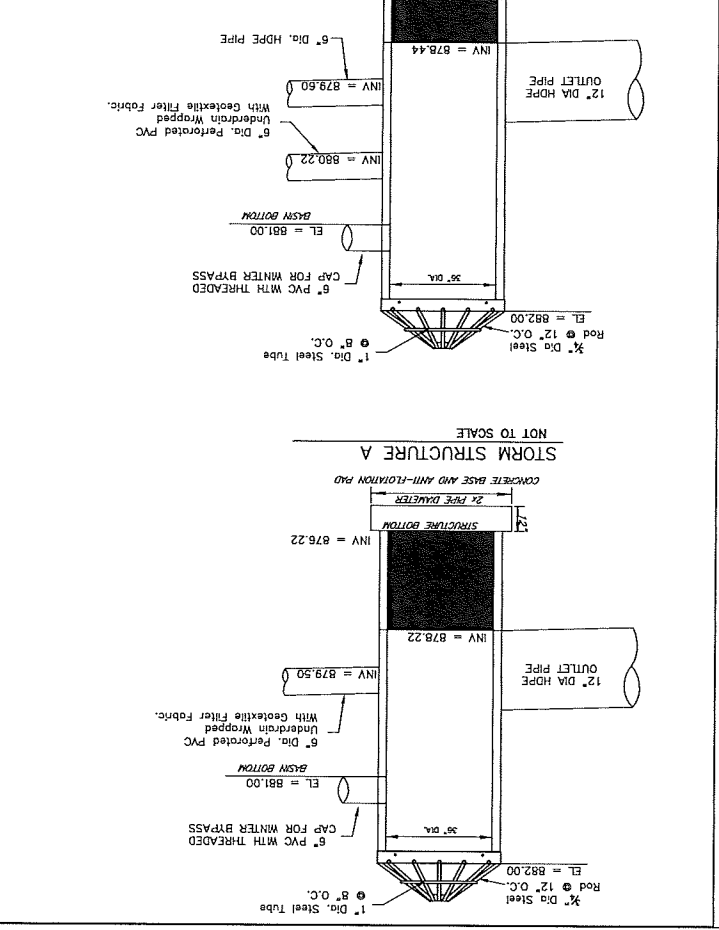
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5 STORM STRUCTURE A AND B



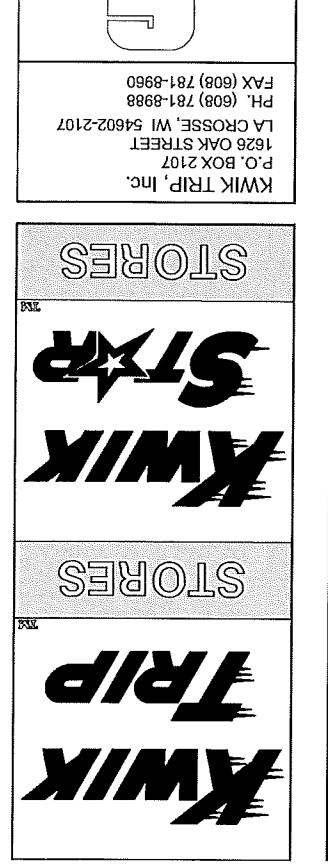
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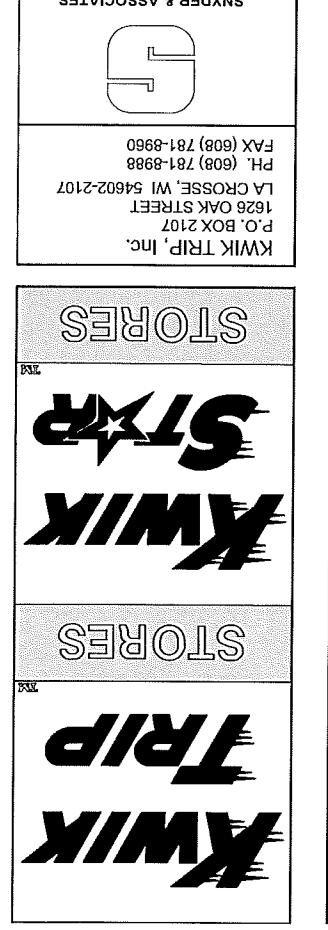
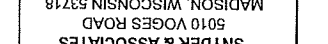
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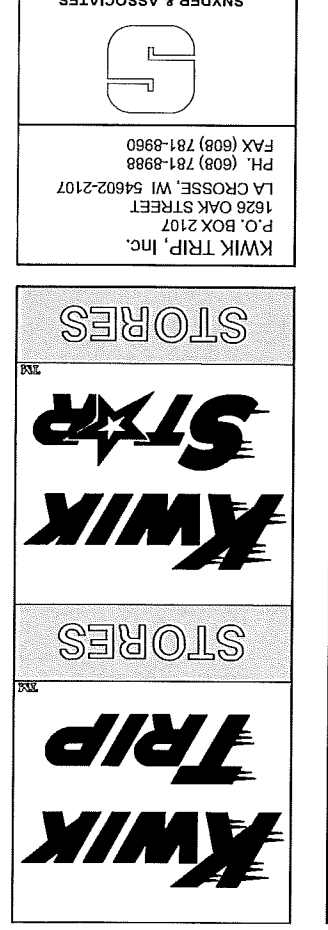
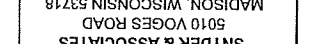
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5. GALVANIZED AND EPOXY COATED GRATES ALSO AVAILABLE AS SPECIFIED

6 OIL SKIMMER STORM MANHOLE



1. EACH COAT IS AN OVERALL COAT IS ALLOWED TO DRY FOR 24 HOURS MIN.
2. FIRST COAT: RUST-OLEUM X-60 RED BARE METAL PRIMER OR EQUAL
3. SECOND COAT: RUST-OLEUM 980 ZINC CHROMATE PRIMER OR EQUAL
4. THIRD COAT: RUST-OLEUM 1282 HIGH GLOSS AND METALLIC FINISH OR EQUAL
5. GALVANIZED AND EPOXY COATED GRATES ALSO AVAILABLE AS SPECIFIED

EROSION CONTROL DETAILS

CONVENIENCE STORE 155

4602 COTTAGE GROVE ROAD

MADISON, WISCONSIN 53714

Kwik Trip, Inc.

LA CROSSE, WI 54602-2107

P.O. BOX 2107

1626 OAK STREET

PH. (608) 781-8988

FAX (608) 781-8960

SNYDER & ASSOCIATES

5010 VOEGES ROAD

MADISON, WISCONSIN 53718

608-838-0444 KTS01

www.snyder-associates.com

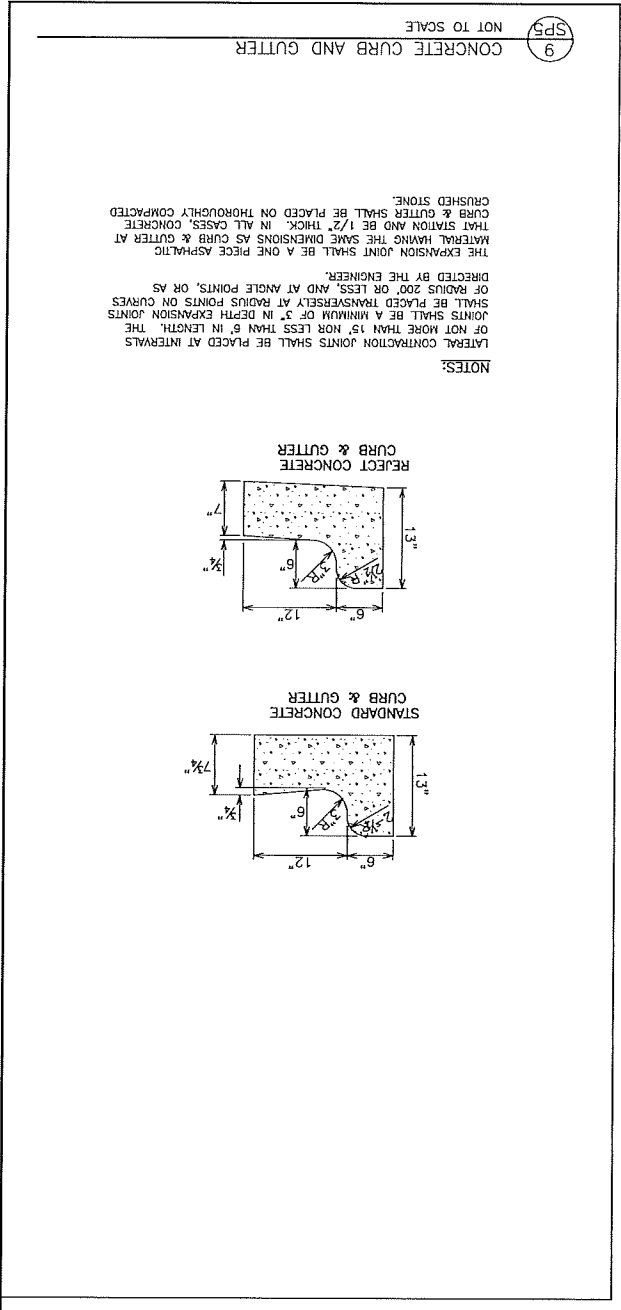
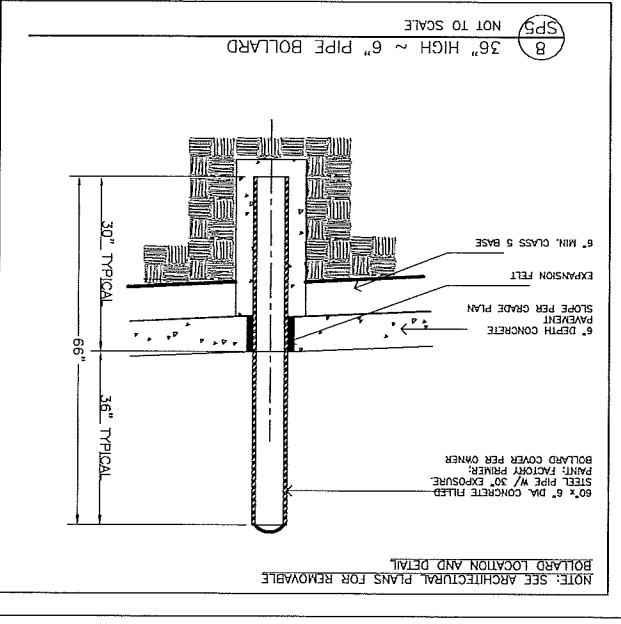
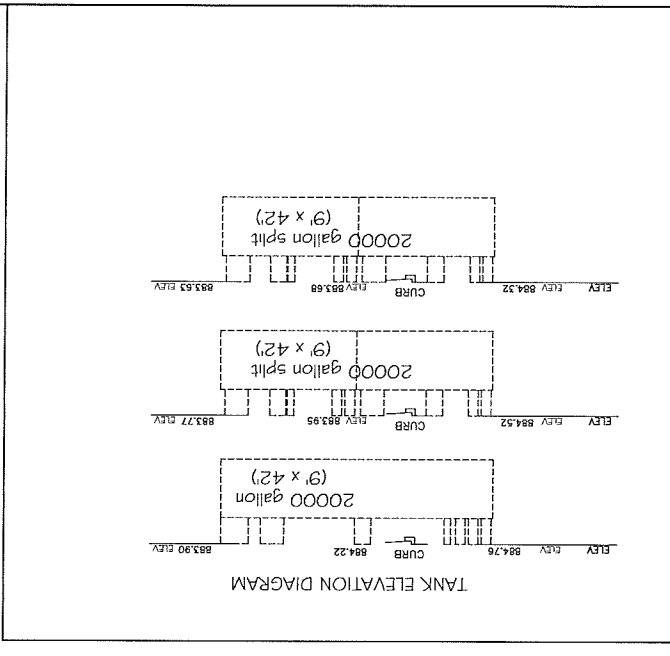
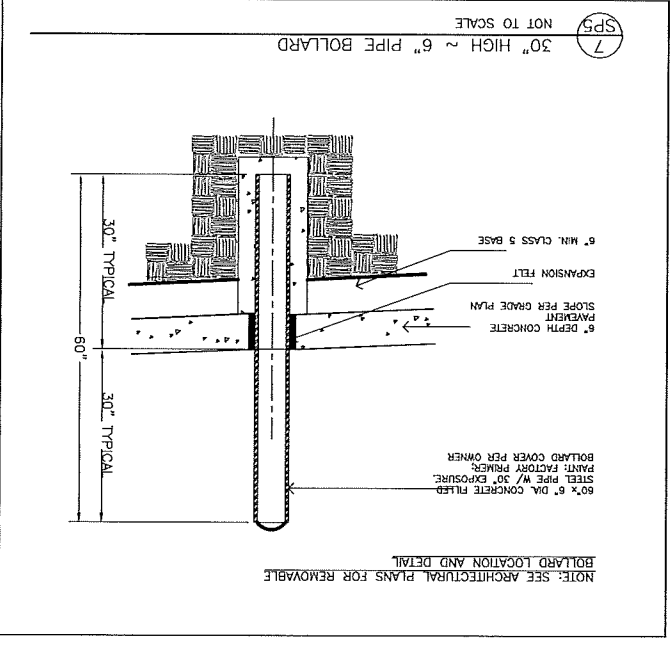
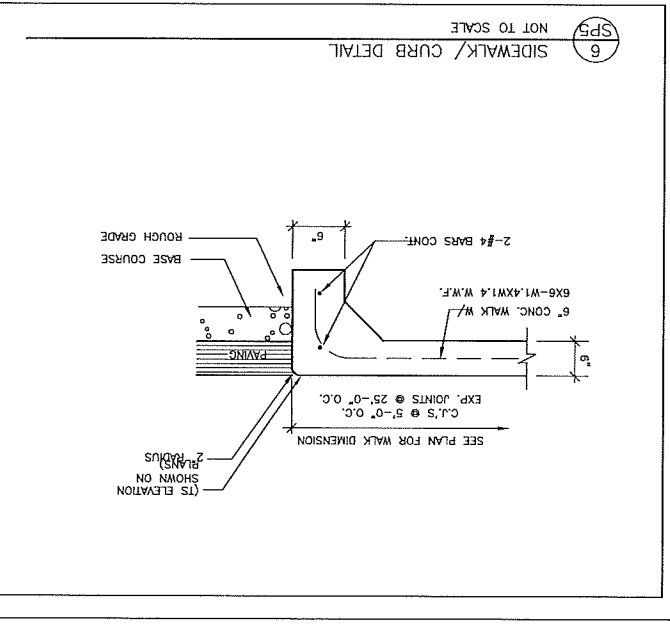
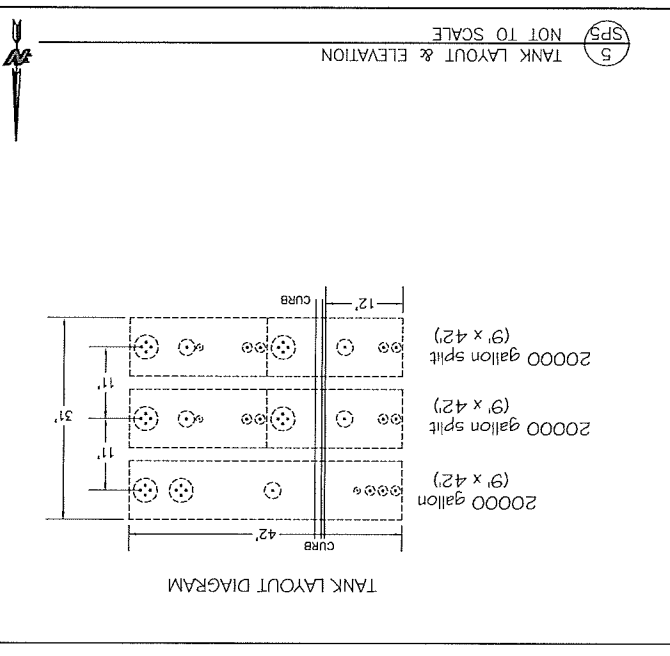
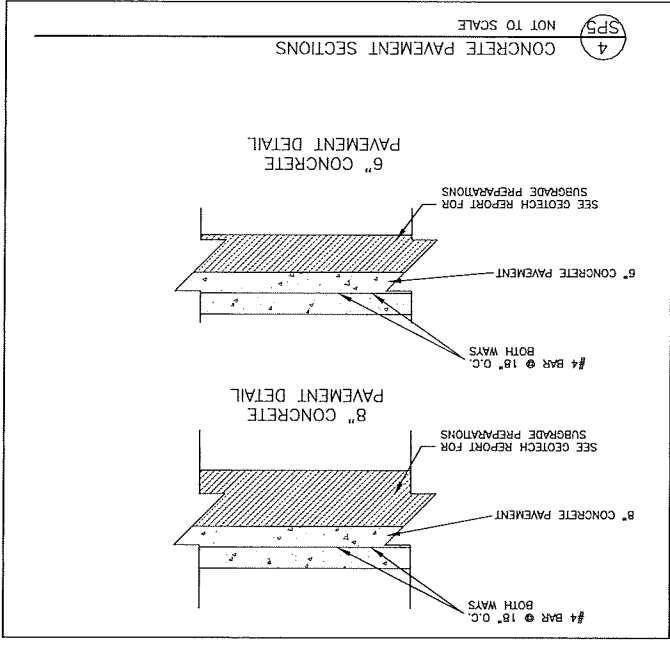
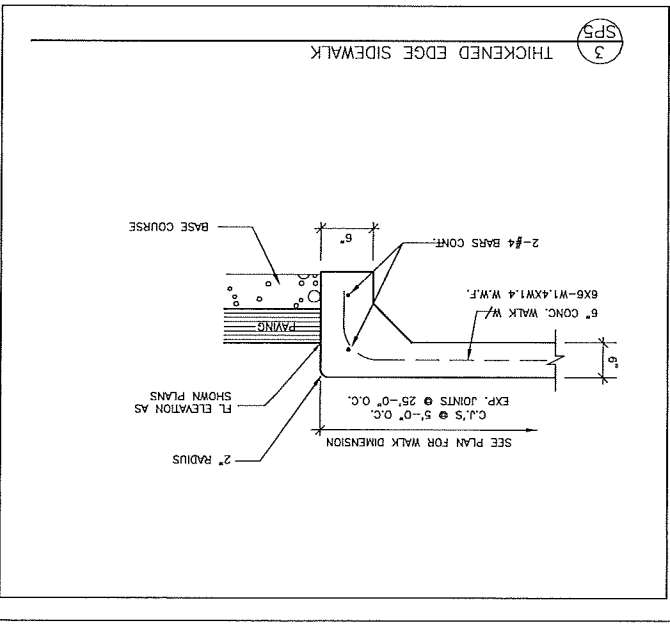
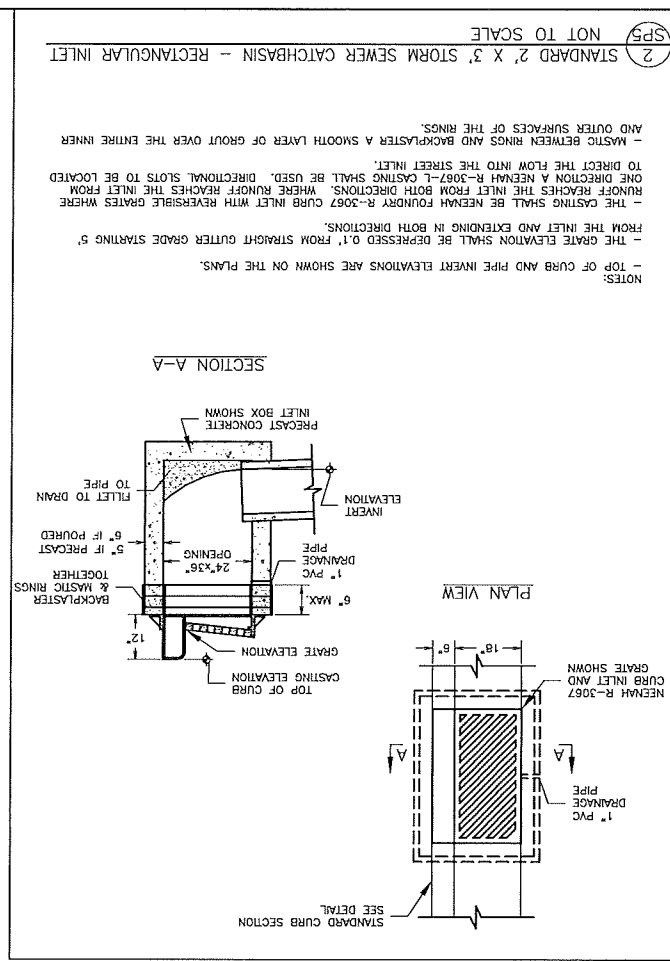
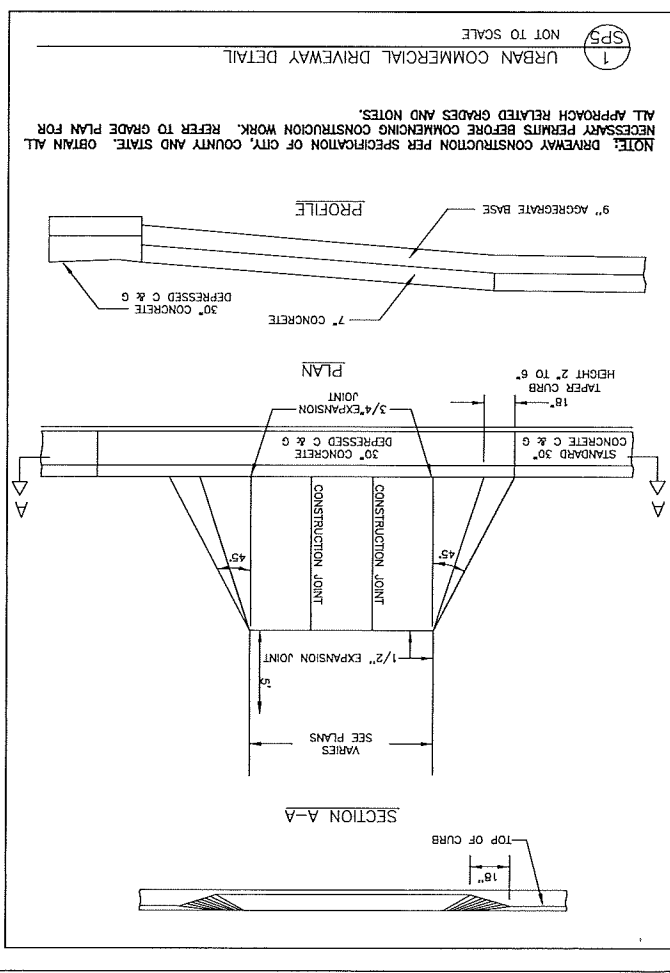
DATE 9-5-15

SHEET SWP4

DRAWN BY M. WAHL

SCALE NONE

PROJ. NO. 115.0422.30



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KWIK

STORES

TRIP

KWIK

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

SNYDER & ASSOCIATES
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 KTS01
www.snyder-associates.com

SITE PLAN DETAILS

CONVENIENCE STORE 155

4602 COTTAGE GROVE ROAD
MADISON, WISCONSIN 53714

NO. DATE DESCRIPTION

SCALE NONE

PROJ. NO. 115.0442.30

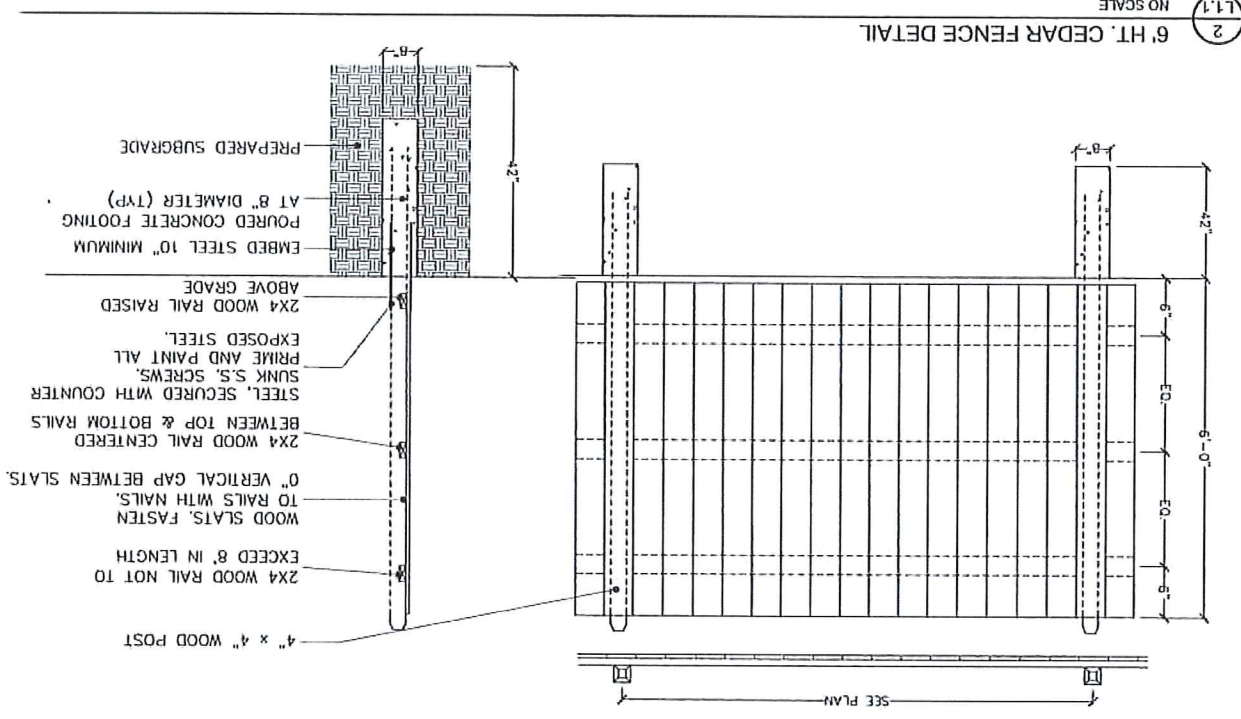
DATE 8-5-16

SHEET SP5

DRAWN BY M. WAHL

PLANT SCHEDULE

KEY QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
AS	3 Acer saccharum 'Autumn Fest'	AUTUMN FEST SUGAR MAPLE	2" CAL.	
AT	5 Acer laurinum 'Hot Wings'	HOT WINGS TATARIA MAPLE	1-1/2" CAL.	
BE	4 Betula nigra 'Heritage'	HERITAGE RIVER BIRCH	10 HI. CLUMP	
GB	3 Prunella 'McKenzie'	PRINCETON CENTURY GINKGO	1-1/2" CAL.	
OV	3 Ostrya virginiana	AMERICAN HOPHORNBEAM	1-1/2" CAL.	
OW	5 Quercus x wares 'Long'	REGAL PRINCE OAK	1-1/2" CAL.	
TA	3 Taxus americana 'Boulevard'	BULEVARD LINDEN	2" CAL.	
UC	6 Ulmus coriifolia x portifolia 'Frontier'	FRONTIER ELM	1-1/2" CAL.	
AG	3 Anemone x gonioloba 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	8 HI.	
UP	5 Malus 'Provision'	PROVISION CRABAPPLE	6 HI.	
PR	3 Prunus serotina	BLACK CHERRY	6 HI.	
SR	5 Syringa reticulata 'Ivory Silk'	IVORY SILK JAPANESE TREE LILAC	8 HI.	
AM	15 Aronia melanocarpa 'Marion'	ROUNDS BEAUTY BLACK CHOKERBERRY	18" HI.	
CH	7 Chamaecyparis pisifera 'Baby Blue'	BABY BLUE FALSE CYPRESS	24" HI.	
CL	6 Celystro ovalifolius 'Ruby Spice'	RUBY SPICE SUMMERSWEET	24" HI.	
HY	18 Hydrocotyle paniculata 'Jade'	LITTLE LIME HYDRANGEA	18" HI.	
HR	19 Hypericum korshianum 'Ames'	AMES ST. JOHN'S WORT	18" HI.	
JC	7 Juniperus chinensis 'Sea Green'	SEA GREEN JUNIPER	24" HI.	
PH	12 Physocarpus opulifolius 'Little Devil'	DIABOLO NINEBARK	18" HI.	
PM	15 Ficus nuno 'Paul's Bear'	PAUL'S DWARF FIGO PINE	18" HI.	
RR	9 Rosa rugosa 'Frou Dougnor Hostrup'	FRAU DACHMAR HASTRUP ROSE	18" HI.	
SB	7 Spirea deltoidea 'Tor'	TOR BRCHLEAF SPIREA	18" HI.	
SP	7 Syringa x 'Pendul'	BLOOMERANG LILAC	24" HI.	
VT	15 Viburnum trilobum 'Hats'	HATS VIBURNUM	36" HI.	
CA	14 Calamagrostis occuliflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	1 GALLON	
HC	20 Hemerocallis 'Chicago Apache'	CHICAGO APACHE DAYLILY	1 GALLON	
PE	22 Pennsylvanum obovatum 'Homehr'	HAMELIN FOUNTAIN GRASS	1 GALLON	
SN	24 Salvia nemorosa 'Caradonna'	CARADONNA SALVIA	1 GALLON	



LANDSCAPE CALCULATIONS

F. CONTRACTOR TO SOD ALL AREAS DISTURBED BY CONSTRUCTION, ON PLAN.

E. PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS INDICATED ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.

D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 9.1 PVS X 1 OVERSTORY TREE = 9 REQUIRED (10 PROVIDED)

9.1 PVS X 5 SHRUBS = 46 SHRUBS REQUIRED (46 PROVIDED)

9.9 PVS X 1 OVERSTORY TREE = 10 REQUIRED (10 PROVIDED)

9.9 PVS X 5 SHRUBS = 50 SHRUBS REQUIRED (50 PROVIDED)

INTERIOR PARKING LOT: REQUIREMENT: 8% OF PAVEMENT AREA TO BE USED AS LANDSCAPED AREAS

46,361 SF X 8% = 3,709 SF REQUIRED (3,940 PROVIDED)

REQUIREMENT: 1 SHADE TREE PER 160 SF OF REQUIRED LANDSCAPED AREA

3,709 SF / 160 SF = 23 SHADE TREES REQUIRED (23 PROVIDED)

2 ORNAMENTAL TREES MAY BE SUBSTITUTED FOR 1 SHADE TREE, 5 PROPOSED = 2,5 OVERSTORY TREES PROVIDED

PLANTING PLAN GENERAL NOTES

A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

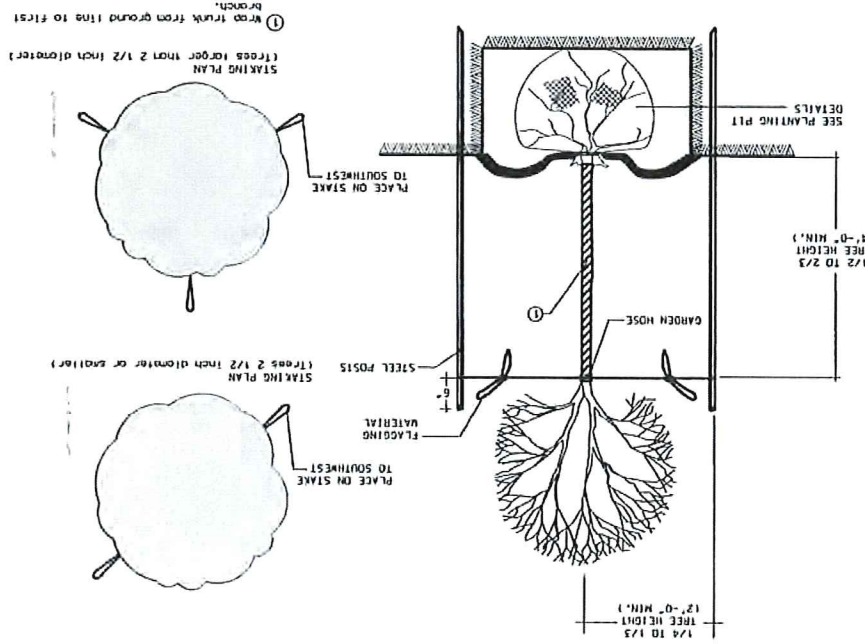
B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).

D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.

E. PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS INDICATED ON PLAN.

F. CONTRACTOR TO SOD ALL AREAS DISTURBED BY CONSTRUCTION.



1 DECIDUOUS TREE STAKING DETAIL

1/2 TO 2/3 TREE HEIGHT (1'-0" MIN.)

SEE PLANTING PIT DETAILS

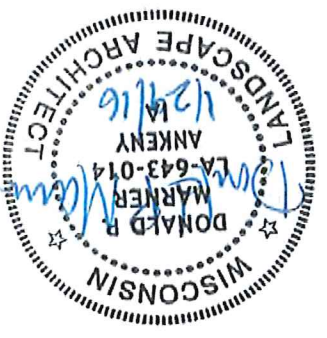
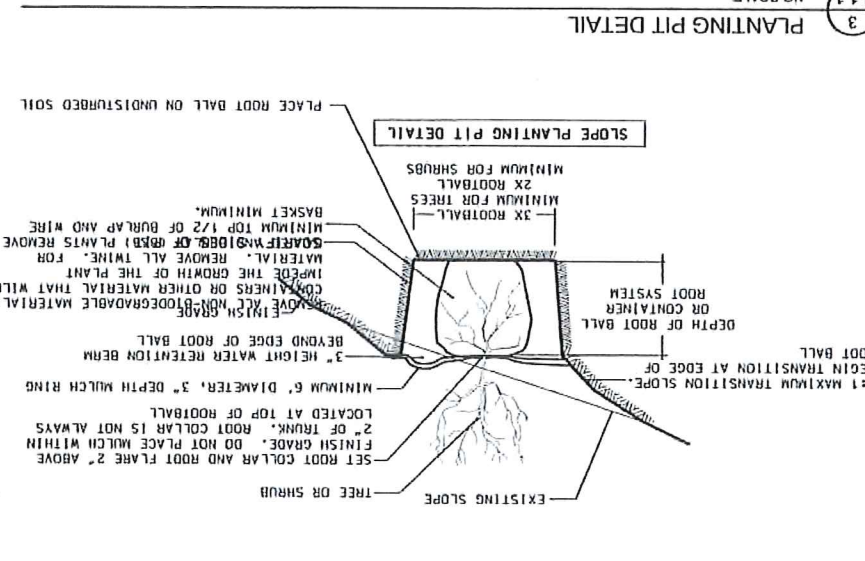
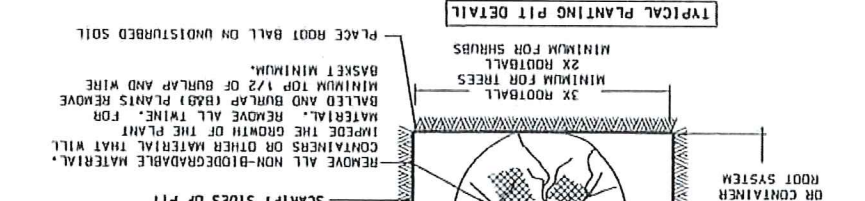
GARDEN HOSE

STAKING PLAN (TRAJES LONGER THAN 1/2 INCH DIAMETER)

PLACE ON STAKE TO SOUTHWEST

STAKING PLAN (TRAJES 2 1/2 INCH DIAMETER OR SMALLER)

FLAGGING MATERIAL



LANDSCAPE DETAILS

CONVENIENCE STORE 155

111

NO. DATE REVISION

DESIGNER: S. ANDERSON

SCALE: 1/8" = 1'-0"

PROJECT NO. 155-01

DATE: 12/16/16

PROJECT: CONVENIENCE STORE 155

155 ADI (SPRNG. 2024) AND ADI WOODHILL BLDG. MADISON, WISCONSIN 53718

SNYDER & ASSOCIATES

5010 VOGES ROAD

MADISON, WISCONSIN 53718

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KWIK TRIP, Inc.

P.O. BOX 2107

1626 OAK STREET

LA CROSSE, WI 54602-2107

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REVISIONS

NO.	DATE	BY

TYPE: Permit
DRAWN BY: ams
DATE: 4/15/15
JOB #: 1081.91

EXTERIOR ELEVATION NOTES

EXTERIOR COLOR SCHEDULE

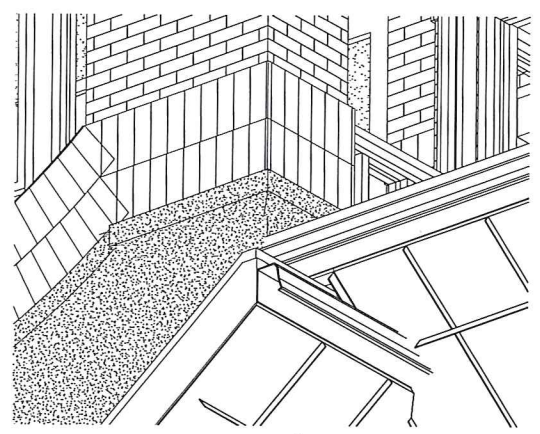
TRASH ENCLOSURE	UNA-CLAD	GREEN
TOTE WALL	UNA-CLAD	HEMLOCK
TOTAL WALL	EIFS	MORNING MIST SWIRL TEXTURE
TAN BRICK	SIoux CITY	CLEAR BUFF
ROOF CAP CAR	UNA-CLAD	HEMLOCK GREEN
WASH	UNA-CLAD	HEMLOCK GREEN
BURUNDY CABINET	SIoux CITY	
RED BRICK	SIoux CITY	
MORTAR		GREY
METAL ROOF	UNA-CLAD	HEMLOCK GREEN
SOFFIT	UNA-CLAD	WHITE
DOWNSPUTS		
GUTTERS & DOWNSPUTS		
ALMOND		
FASCIA	UNA-CLAD	REGAL RED
BOLLARDS	BLACK GLOSS	
MATERIAL MANUFACTURER		
COLOR		

A. SEE FLOOR PLAN FOR WINDOW TYPE KEYS.
B. CONTROL JOINT SEALANT TO MATCH VENER COLOR.

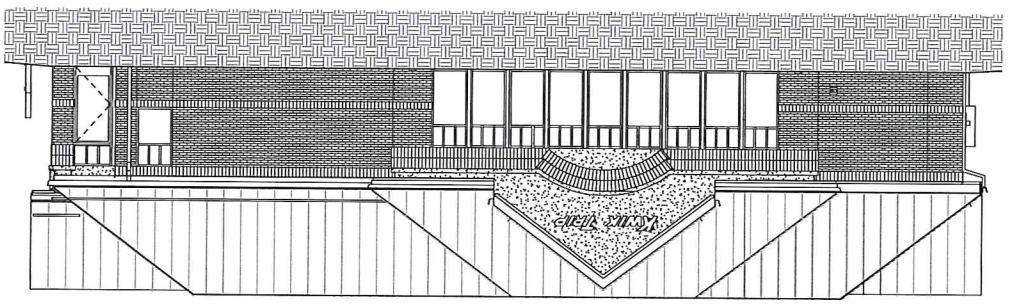
ELEVATION KEYNOTES

1	TRASH ENCLOSURE
2	HOLLAR BRICK VENEER (RED)
3	UTILITY BRICK SOLID COURSE (TAN)
4	BRICK CONTROL JOINT SEALANT COLOR TO MATCH BRICK COLOR
5	ALUMINUM DOWNSPUT
6	HOLLOW METAL DOOR & FRAME PAINT
7	ALUMINUM FASCIA - ALMOND
8	ALUMINUM FASCIA - RED
9	PREPARED STANDING SEAM METAL ROOFING
10	CT CABINET AND ELECTRICAL METAL RE. ELEC. PLANS
11	EIFS, COLOR TAN
12	CAPT ALUMINUM BRICK VENT - HOKMANN & BARWARD KCSB, 8" X 2 1/4"
13	DRENCHOFF FUEL SHUT OFF, RECESS FLUSH W/ WALL
14	6" BOLLARD W/ 40" PLASTIC SLEEVE SEE SHEET A124
15	ALUMINUM STOREFRONT ENTRANCE
16	ICE MERCHANTER
17	LP CASE
18	SNOW RETENTION BAR
19	PREPARED METAL GUTTER
20	BLUE HOCP, BOLLARD, REFER TO SITE PLANS
21	PREPARED METAL WALL CAP
22	ALUMINUM STOREFRONT FRAMING W/ INSULATED SPANDREL GLAZING
23	FLASH BLOCK
24	FLASH BLOCK
25	PROVIDE LOCK BOLT FOR EACH LEAF

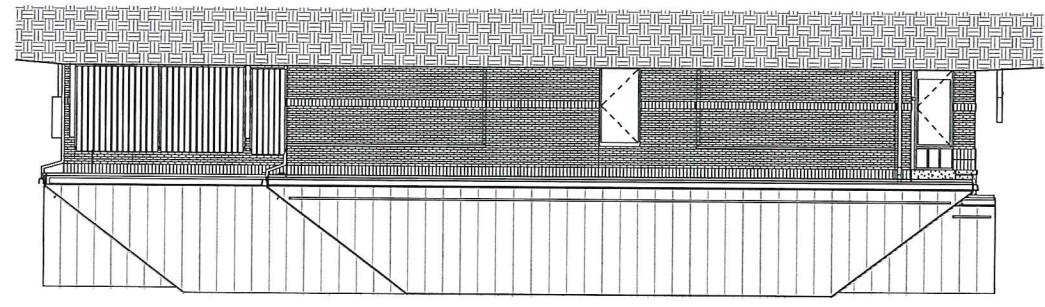
7 VESTIBULE EAVE TO ROOF FLASHING DETAIL



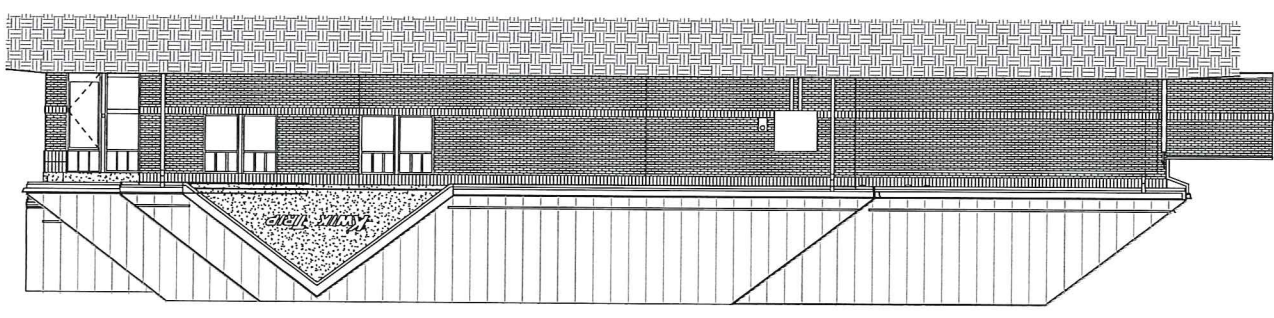
4 RIGHT ELEVATION
1/8" = 1'-0"



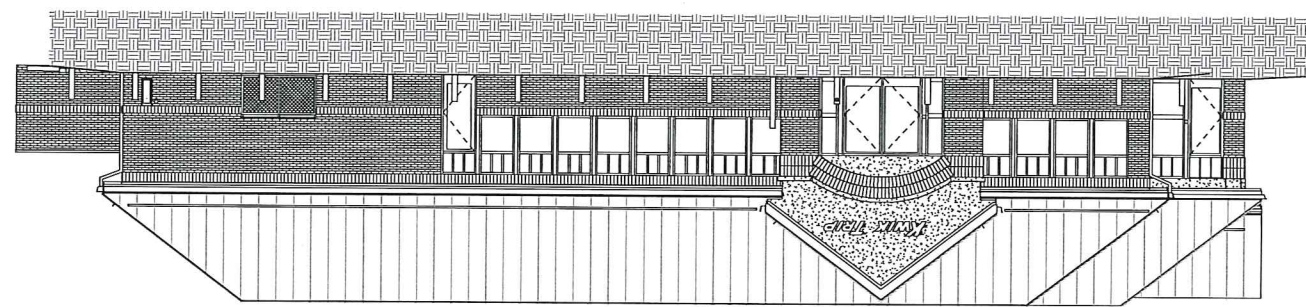
2 LEFT ELEVATION
1/8" = 1'-0"



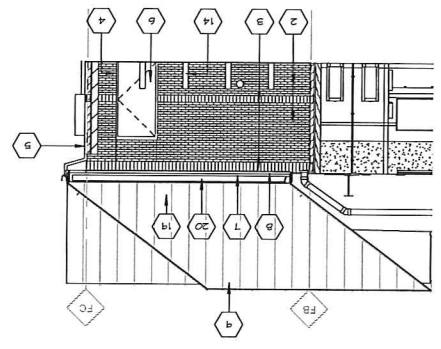
3 REAR ELEVATION
1/8" = 1'-0"



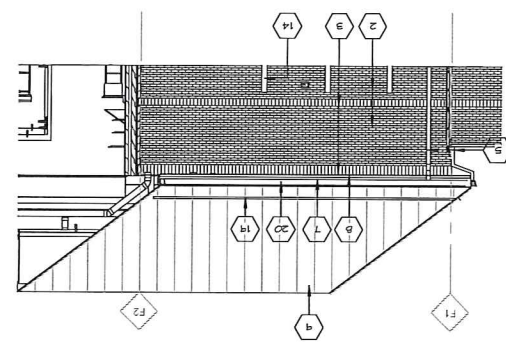
1 FRONT ELEVATION
1/8" = 1'-0"



6 LEFT INSIDE ENCLOSURE
1/8" = 1'-0"



5 REAR INSIDE ENCLOSURE
1/8" = 1'-0"



STORES

Kwik STAR

STORES

Kwik TRIP

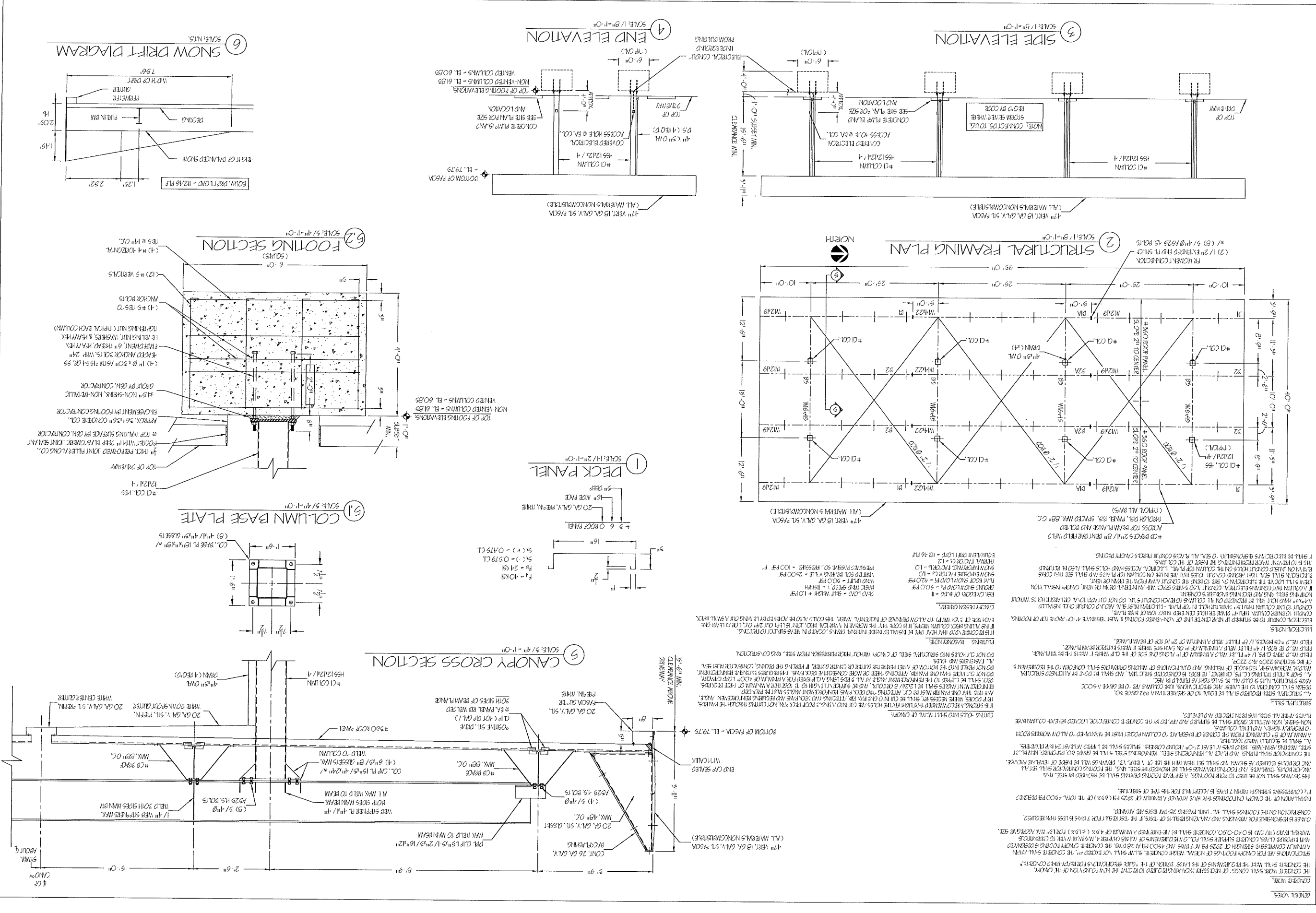
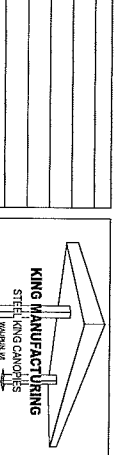
WANNACRE
ARCHITECTS • INC

750 N. Third Street • La Crosse, WI
Ph (608) 784-2729 54601 Fax (608) 784-2826

REVISION	DATE	DESCRIPTION

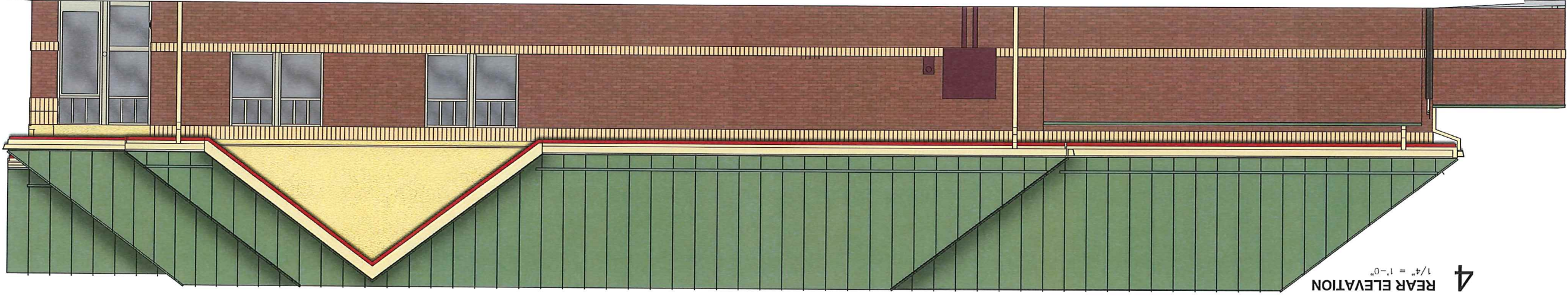
NOTE:
 ALL MATERIALS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
 ALL DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE IN FEET AND INCHES.
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

40' X 95' (3) POST CANOPY
 STRUCTURAL FRAMING ELEVATIONS, DETAILS

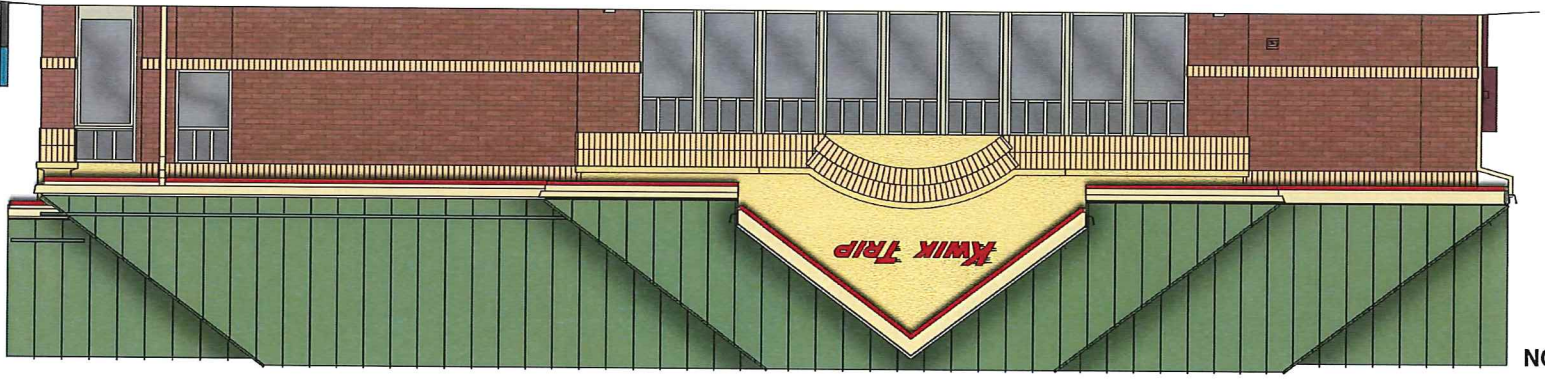


GENERAL NOTES:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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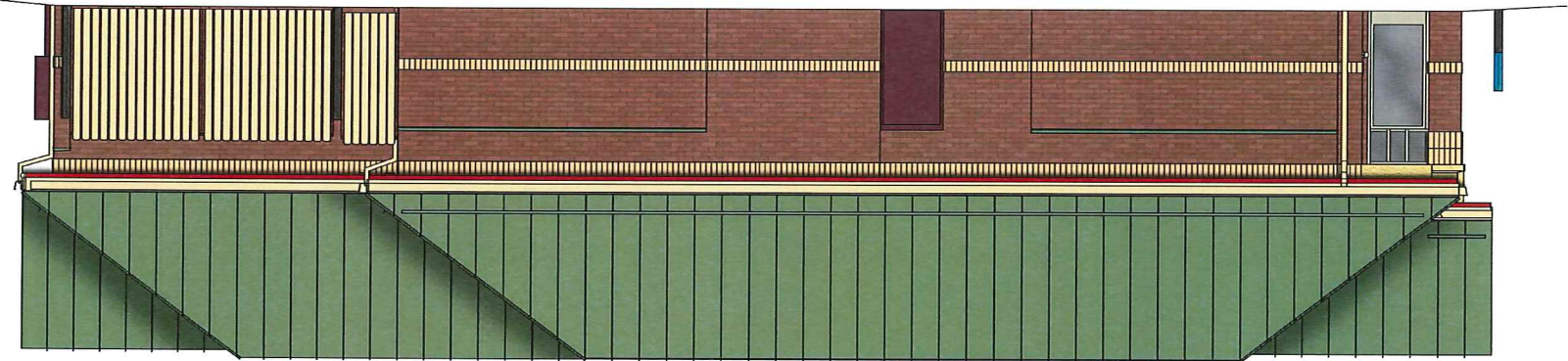
PERMIT DRAWINGS
 1-3-2016
 KING MANUFACTURING CORP.
 STEEL FRAMING CANOPY SYSTEM
 1000 W. 1000 S. ST. SUITE 100
 OMAHA, NE 68102
 402-466-1111
 WWW.KINGMANUFACTURING.COM



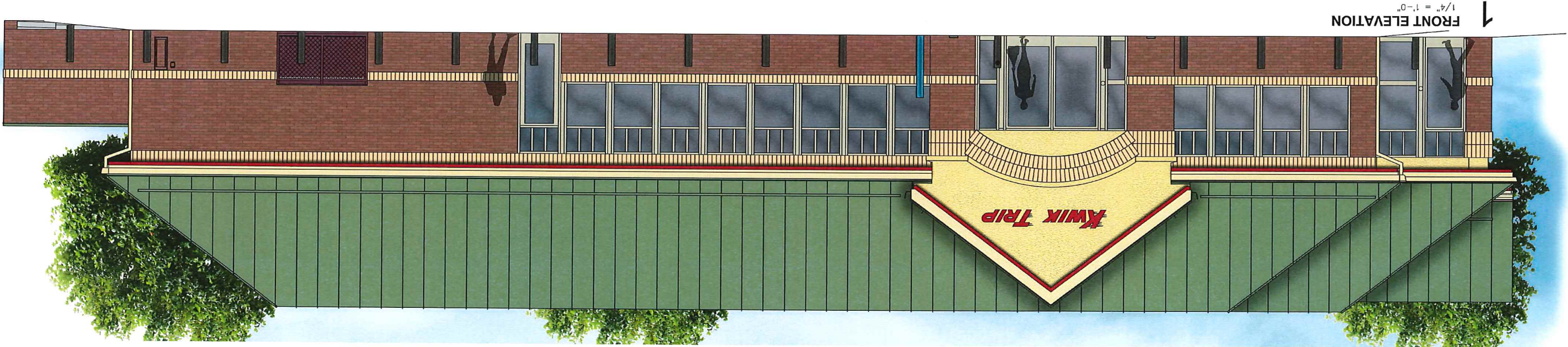
4 REAR ELEVATION
1/4" = 1'-0"



3 RIGHT ELEVATION
3/16" = 1'-0"

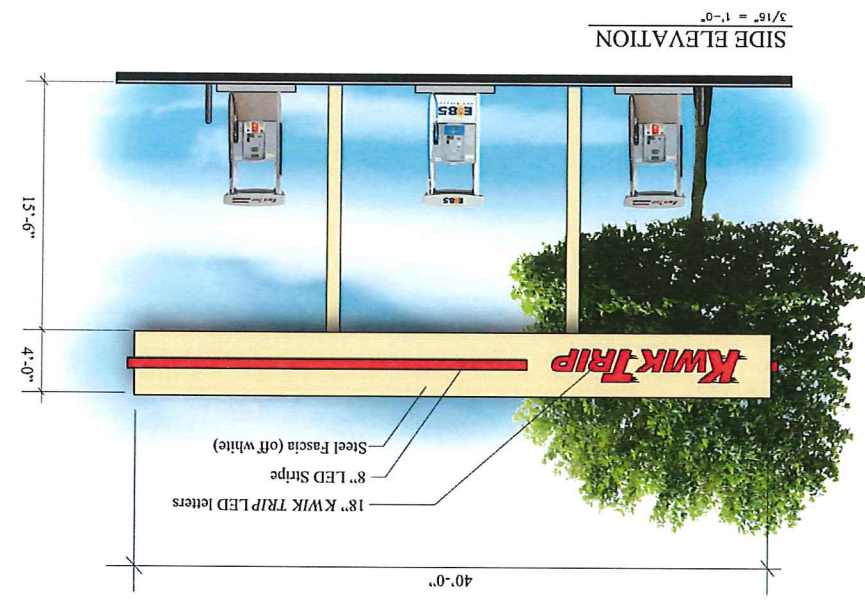
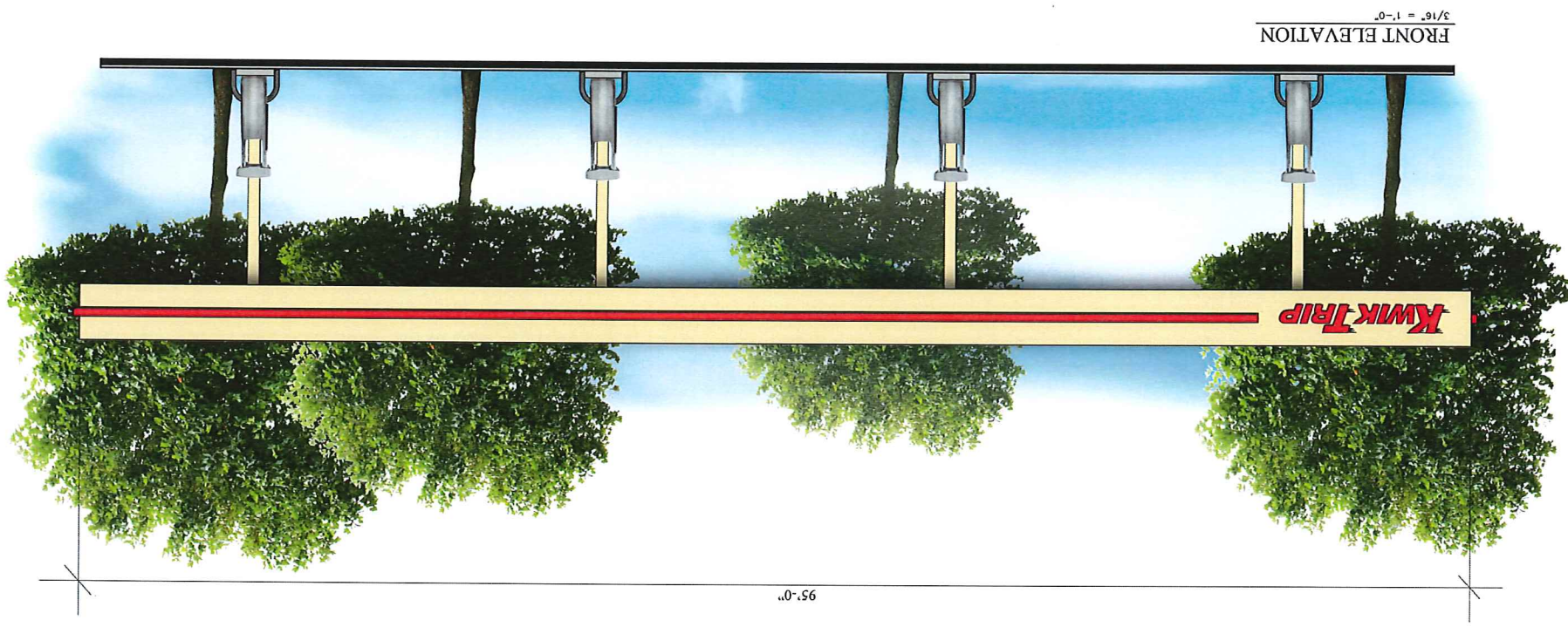


2 LEFT ELEVATION
3/16" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

Flat Canopy
8 MPD



SHEET
 DATE 2016-02-03
 PROJ. NO.
 SCALE
 GRAPHIC
 DRAWN BY
 CZE

DATE DESCRIPTION
 PHOTOMETRIC SITE PLAN
 CONVENIENCE STORE #155
 4602 COTTAGE GROVE ROAD
 MADISON, WISCONSIN 53718

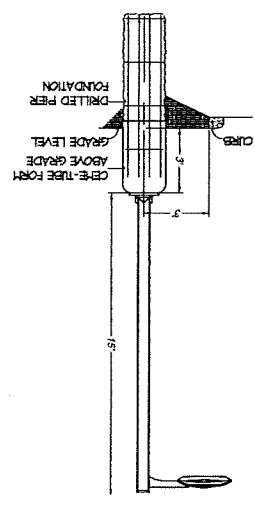
PHOTOMETRIC SITE PLAN
 CONVENIENCE STORE #155
 4602 COTTAGE GROVE ROAD
 MADISON, WISCONSIN 53718

KWIK TRIP, Inc.
 P.O. BOX 2107
 1208 OAK STREET
 LA CROSSE, WI 54602-2107
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LOT LIGHT ELEVATION DETAIL

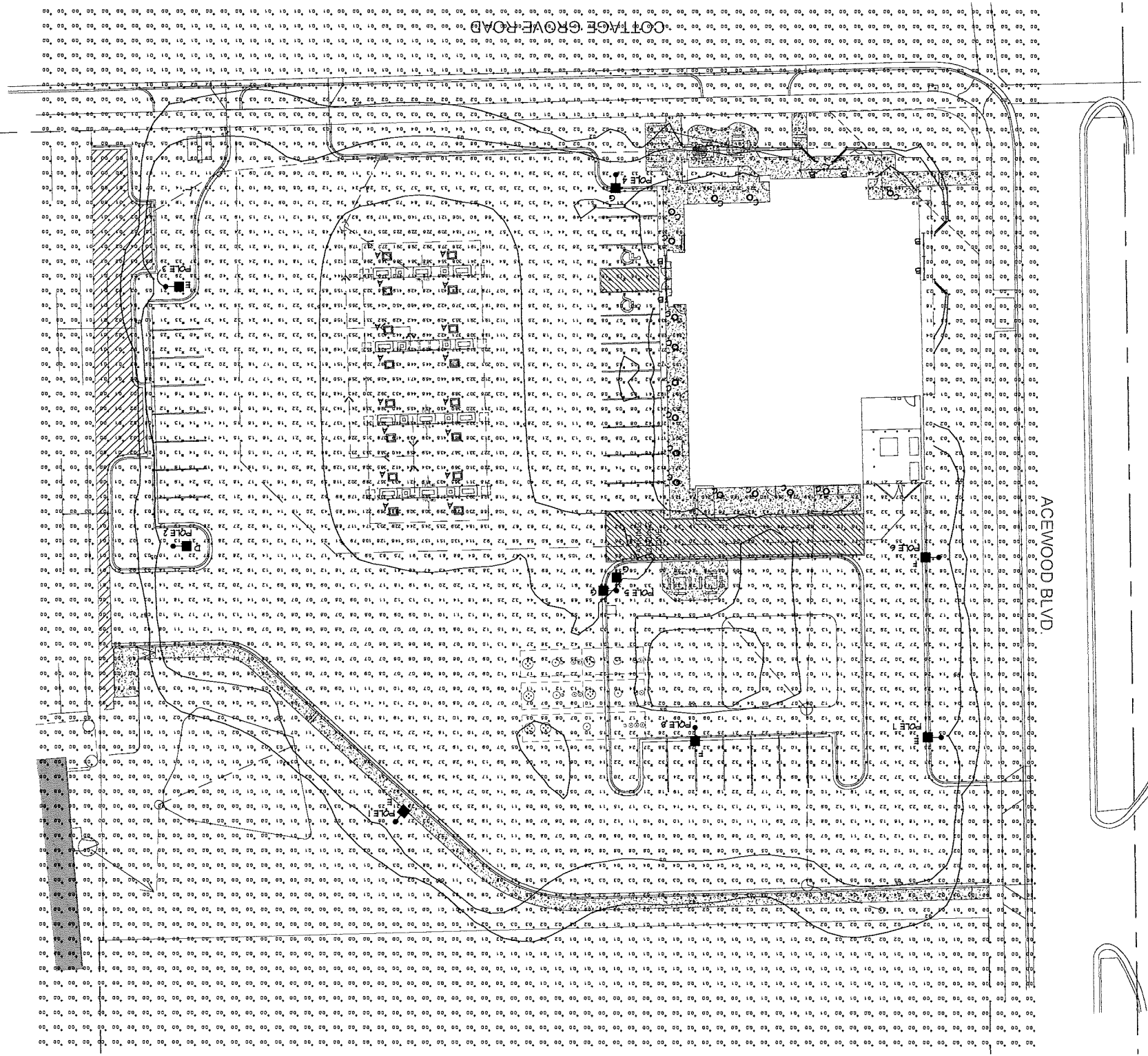


- A - CREE LIGHTING: ARE-EDG-3-4B-D-A-0-E-IL-4H-350
 B - LED STRIP LIGHT
 C - RECESSED LED DOWNLIGHT
 D - CREE LIGHTING: ARE-EDG-3-4B-D-A-0-E-IL-4H-350
 E - CREE LIGHTING: ARE-EDG-3-4B-D-A-0-E-IL-4H-350
 F - CREE LIGHTING: ARE-EDG-4-4B-D-A-0-E-IL-4H-350
 G - CREE LIGHTING: ARE-EDG-4-4B-D-A-0-E-IL-4H-350

- FIXTURE SYMBOLS:**
 A RECESSED LED LIGHT MOUNTED UNDER CANOPY
 B LED STRIP LIGHT
 C RECESSED LED DOWNLIGHT
 D E F I G POLE MOUNTED LED FIXTURE
- FIXTURE QUANTITIES:**
 A 6
 B 1
 C 1
 D 2
 E 2
 F 2
 G 2
- PROVIDE A TOTAL OF (8) "D" POLES.
 FOOTCANDLE LEVELS MEASURED AT GROUND LEVEL.
 NOTE:

STATISTICS	
Description	Quantity
Paving	401
Gravel	206
Asphalt	586
Man	056
Max	1161
Avg	101

PHOTOMETRIC SITE PLAN SCALE: 1" = 20'-0"



ACEWOOD BLVD

SHEET E1A
 DATE 2016-02-03
 PROJ. NO. —
 SCALE GRAPHIC
 DRAWN BY CZZ

DATE	DESCRIPTION

PHOTOMETRIC SITE PLAN
 CONVENIENCE STORE #155
 4802 COTTAGE GROVE ROAD
 MADISON, WISCONSIN 53718

KWK TRIP, Inc.
 P.O. BOX 2107
 1626 OAK STREET
 LA CROSSE, WI 54602-2107
 PH. (608) 781-8988
 FAX (608) 781-8960

STARS
KWIK

STARS
KWIK

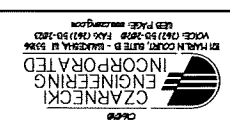
STARS
KWIK

STARS
KWIK

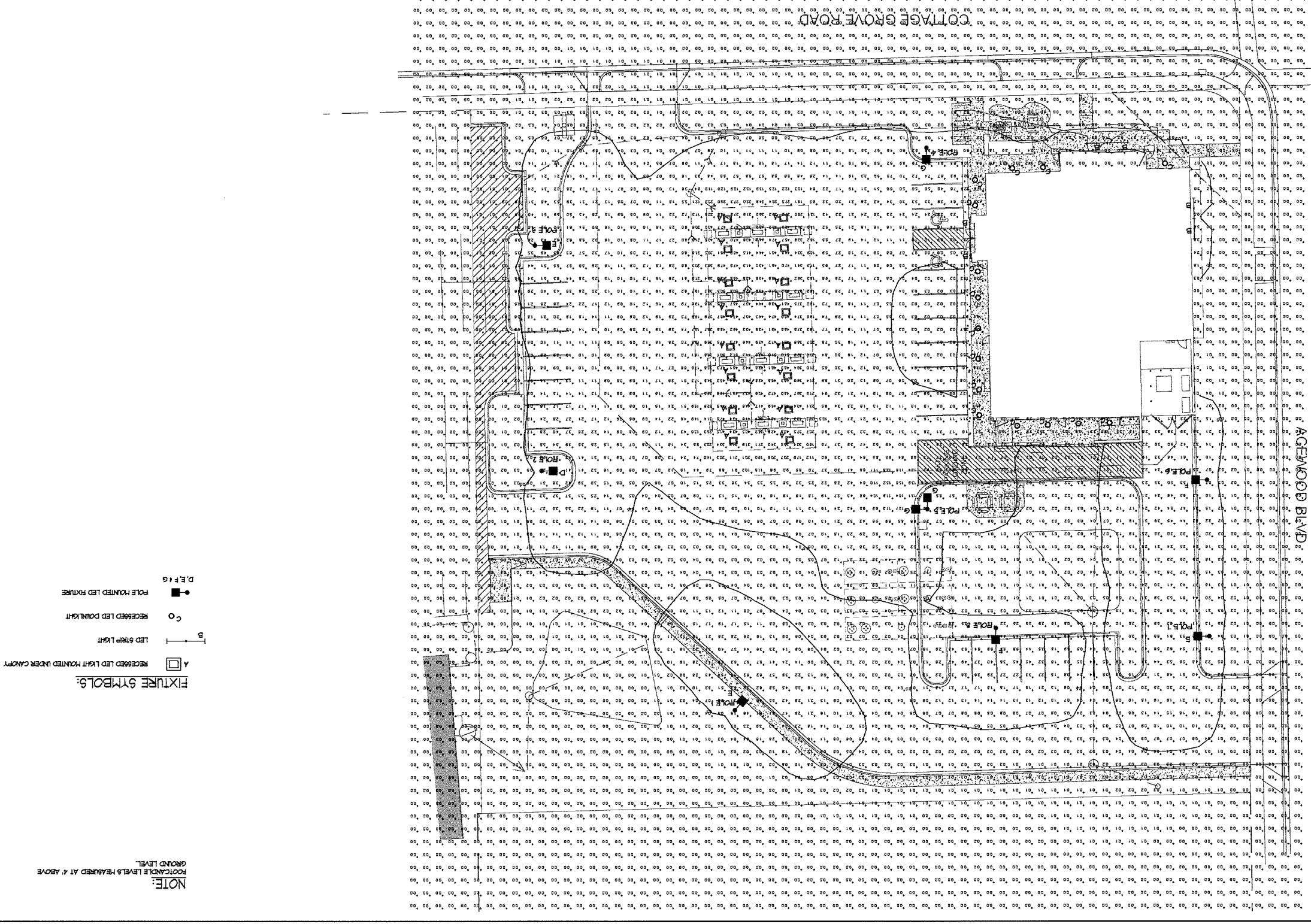
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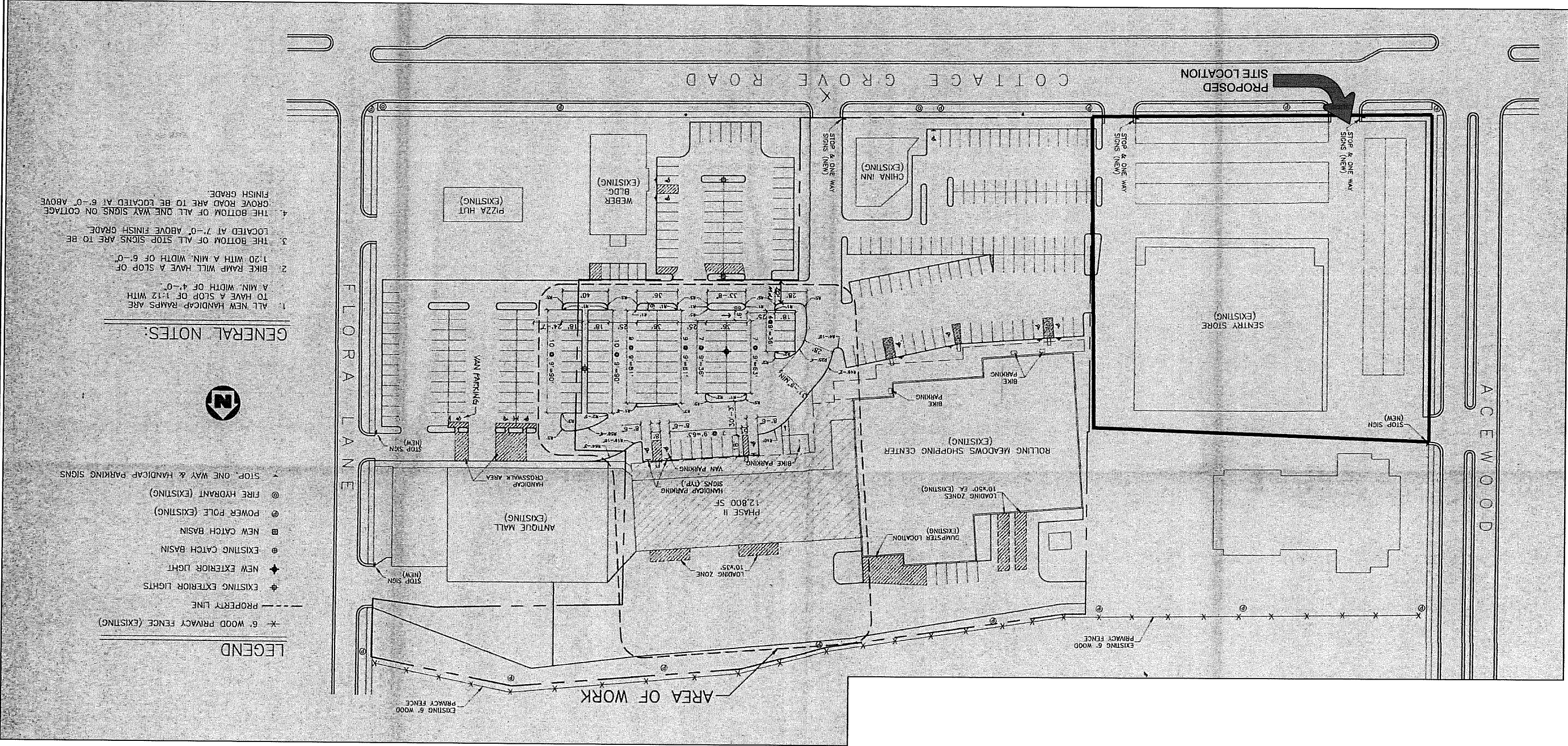


SCALE: 1" = 20'-0"
 PHOTOMETRIC SITE PLAN - LIGHT LEVELS AT 4' ABOVE GROUND



AGEMOOD BLVD

CITY OF MADISON
FACILITY APPROVAL PLAN
MAY 9, 1996



Call before you dig.
Know what's below.
811

MS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

1. ALL NEW HANDICAP RAMPS ARE TO HAVE A SLOPE OF 1:12 WITH A MIN. WIDTH OF 4'-0"
2. BIKE RAMP WILL HAVE A SLOPE OF 1:20 WITH A MIN. WIDTH OF 6'-0"
3. THE BOTTOM OF ALL STOP SIGNS ARE TO BE LOCATED AT 7'-0" ABOVE FINISH GRADE
4. THE BOTTOM OF ALL ONE WAY SIGNS ON COTTAGE GROVE ROAD ARE TO BE LOCATED AT 6'-0" ABOVE FINISH GRADE

GENERAL NOTES:

- ⊗ 6" WOOD PRIVACY FENCE (EXISTING)
- - - PROPERTY LINE
- ⊕ EXISTING EXTERIOR LIGHTS
- ⊕ NEW EXTERIOR LIGHT
- ⊕ EXISTING CATCH BASIN
- ⊕ NEW CATCH BASIN
- ⊕ POWER POLE (EXISTING)
- ⊕ FIRE HYDRANT (EXISTING)
- ⊗ STOP, ONE WAY & HANDICAP PARKING SIGNS

LEGEND



NO.	DATE	DESCRIPTION

ENTIRE SITE LAYOUT
CONVENIENCE STORE 155
4602 COTTAGE GROVE ROAD
MADISON, WISCONSIN 53718

SNYDER & ASSOCIATES
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 KT501
www.snyder-associates.com

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8980

STORES

STAR

KWIK

STORES

TRIP

KWIK

SHEET SP0.1
DATE 2-3-16
PROJ. NO. 115.0422.30
SCALE NOTED
DRAWN BY S. ANDERSON

