



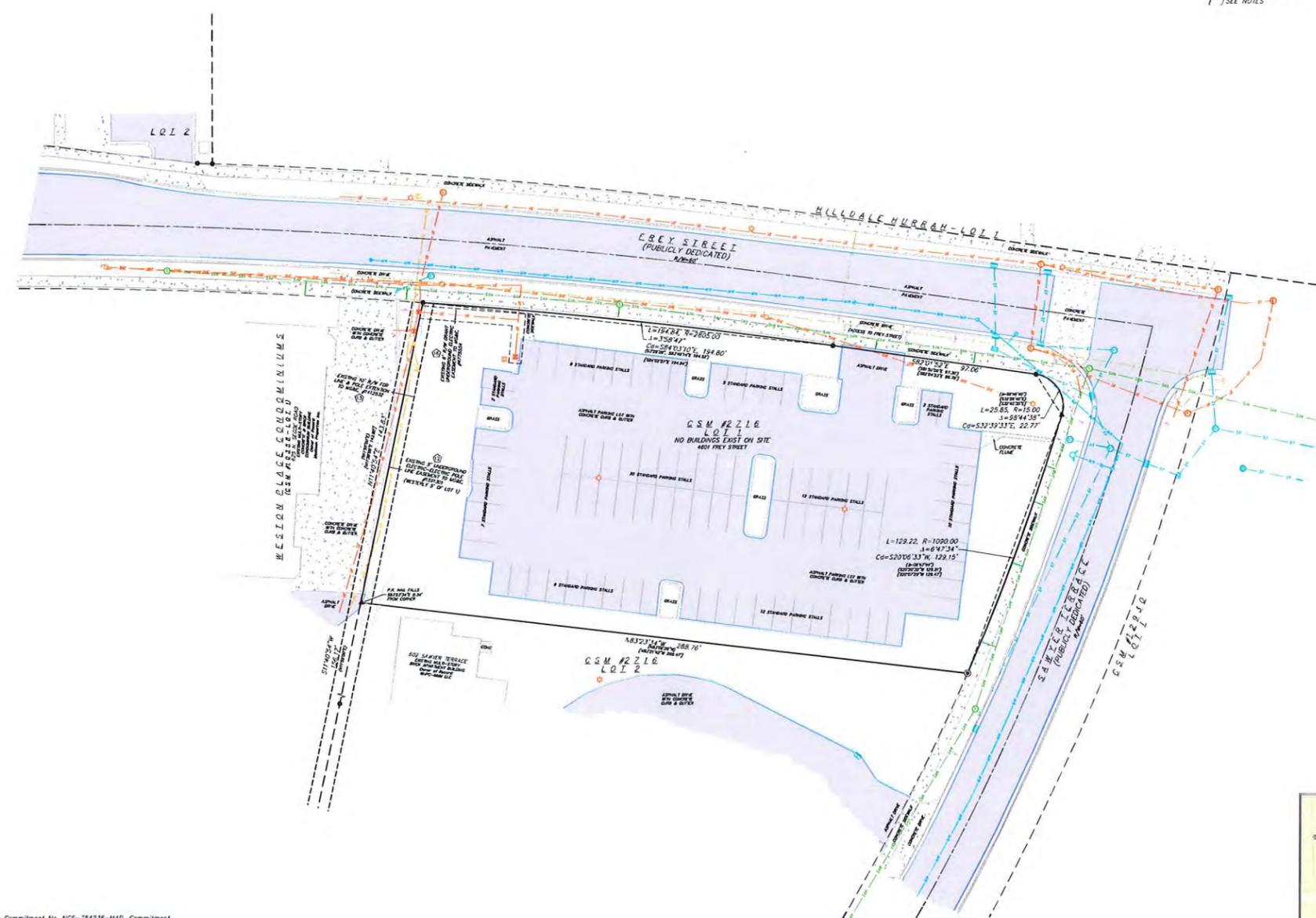
**SURVEY LEGEND**  
 ● FOUND 3/4" RGN ROD  
 ● FOUND 1/4" RGN ROD  
 ▲ FOUND P.K. NAIL  
 ( ) INDICATES RECORDED AS  
 / SEE NOTES

**SURVEYED BY:**  
 The Recording Group  
 c/o Gary Park  
 6333 Greenway Blvd.  
 Suite 200  
 Middleton, WI 53562

**SURVEYED BY:**  
 Vierbicher Associates, Inc.  
 By: Victor S. Morly  
 599 Tanager Drive  
 Suite 201  
 Madison, WI 53717  
 (608) 421-3555  
 mmor@vierbicher.com

**ALTA/ACM CERTIFICATION**  
 To The Recording Group: WISCONSIN PUBLIC RECORDS ACT, NATIONAL ASSOCIATION, is accurate and correct, and First American Title Insurance Company National Commercial Services.  
 This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and Public Acts 2, 3, 4, 663, 6, 9, 1033, 13, 14, 15, 16, 18, 19, and 21 of 2011. The field work was completed on November 18, 2015.  
 Vierbicher Associates, Inc.  
 By: Victor S. Morly  
 Dated this 17th day of December, 2015.

Michael S. Morly, P.L.S. No. 2192



Description as provided in Title Commitment No. ACS-754236-MAD, Commitment Date December 07, 2015, at 7:30a.m. from First American Title Insurance Company National Commercial Services, 10 W. Miller Street, Suite 200, Madison, WI 53703.

Let One (1) Certified Survey Map No. 2716, recorded in Volume 10, of Certified Survey Maps, Pages 265, 266 and 267 as Document No. 1555494, located in the NE 1/4 of Section 20, T7N, R9E, City of Madison, Dane County, Wisconsin, TOGETHER WITH easements established in Declaration of Reciprocal Easement Agreement recorded June 24, 2010 as Document No. 4667176.

**NOTES:**  
 This survey was prepared based upon information provided in Title Commitment No. ACS-754236-MAD, Commitment Date December 07, 2015 at 7:30a.m. from First American Title Insurance Company National Commercial Services, 10 W. Miller Street, Suite 200, Madison, WI 53703. Subsequent to the survey, the following information is provided:  
 EXCEPION 12: Grant of Easement to Vaction Gas and Electric recorded September 12, 1978 in Volume 992 of Records, Page 332, as Document No. 1591301. (Easement shown)  
 EXCEPION 13: Easement for public utilities and incidental purposes as disclosed by Certified Survey Map No. 2716. (Easement shown. Easement recorded in Vol. 338 of Records, Page 254, as Doc. #141233)  
 EXCEPION 14: Notation set forth on Certified Survey Map No. 2716 stating: The park fee has not been paid for Lots 1 and 3 and shall be paid prior to approving any plans for residential use for Lots 1 and 3.  
 EXCEPION 15: Declaration of Reciprocal Easement Agreement recorded June 24, 2010 as Document No. 4667176. (Easements shown in notes and not platable. Refer to document.)  
 EXCEPION 16: Right of Way Grant Underground Electric to Madison Gas and Electric Company recorded July 1, 2011 as Document No. 4773554. (Easement dependent upon certain of its-constructed facilities. Easement shown based upon location of utility markings)  
 EXCEPION 17: Affidavit or Notice of Agreement and Default, recorded November 18, 2011 as Document No. 4814662. (Not a survey item. Refer to document.)

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING SIGN
  - EXISTING CURB INLET
  - EXISTING FIELD INLET
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING WELL
  - EXISTING WATER MANHOLE
  - EXISTING GAS VALVE
  - EXISTING ELECTRIC MANHOLE
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING TRANSFORMER
  - EXISTING LIGHT POLE
  - EXISTING UTILITY POLE
  - EXISTING TV PEDESTAL
  - EXISTING TELEPHONE PEDESTAL

- TOPOGRAPHIC LINWORK LEGEND**
- EXISTING FIBER OPTIC LINE
  - EXISTING RETAINING WALL
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING OVERHEAD ELECTRIC LINE
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING STORM SEWER LINE (SIZE NOTED)
  - EXISTING WATER MAIN (SIZE NOTED)

- NOTES CONTINUED:**
1. [ ] Indicates information as depicted on ALTA Survey by Francis R. Rowland, dated January 20, 2010, Project Number 000056 and on file at the Dane County Surveyor's Office, Map No. 2010-01422.
  2. This survey was prepared based upon information provided in the Title Commitment No. ACS-754236-MAD, dated September 18, 2015 at 7:30a.m. from First American Title Insurance Company National Commercial Services.
  3. Parcel number and address per the commitment is: 201-0703-202-0201-Q, 4621 Frey Street, Madison, WI 53703.
  4. Area of parcel surveyed is 43382 square feet more or less.
  5. This survey is based upon an ALTA/ACM Land Title Survey by Vierbicher Associates, Inc., dated June 8, 2015, Map No. S-583 and on file at the Dane County Surveyor's Office, Map #2015-00679 and upon field survey work performed on November 18, 2015. Any changes in the conditions after November 18, 2015 are not reflected by this survey.
  6. Utility locations were field located based upon observation, with above ground structures, upon maps provided to the surveyor, or upon markings on the ground obtained by utility companies under their agents. The surveyor is not responsible for utility markings by others or that of underground utilities affecting this property were missed and subsequently located for this survey. A locate request was filed in Digging Hole in Digging Hole (DH) on May 14, 2015. Location of buried utilities are not within the scope of this survey.
  7. No attempt has been made as part of this survey to obtain or show meter connecting condition, or capacity of any utility or municipal service facility. For information regarding these utilities contact the appropriate agencies.
  8. Surveyor has made no investigation or inspection search for encroachments, restrictive covenants, or easements like interests.
  9. By graphic pointing only the parcel surveyed has been shown. Areas determined to be outside the 0.2% chance floodplain of the Flood Insurance Rate Map Community Panel Number 404 of 400, Map Number 800000000, Map Revised January 2, 2009.
  10. During the course of field survey work there was no observed evidence of which the surveyor is aware, of the site used as a solid waste dump, jump, or spillway hazard.
  11. There are no required changes in street right-of-way lines of which the surveyor is aware. During the course of field survey work, there was no observed evidence of recent street or sidewalk construction or repairs.
  12. "Date of Record" information depicted herein is per information obtained from the City of Madison Assessor's website on November 18, 2015.
  13. No utilities were depicted at the time the field survey work was completed.
  14. Current zoning classification per information obtained from the City of Madison Assessor's website on May 21, 2015 is FD-Planned Development District.
  15. There are a total of 48 standard parking stalls on the parcel surveyed.

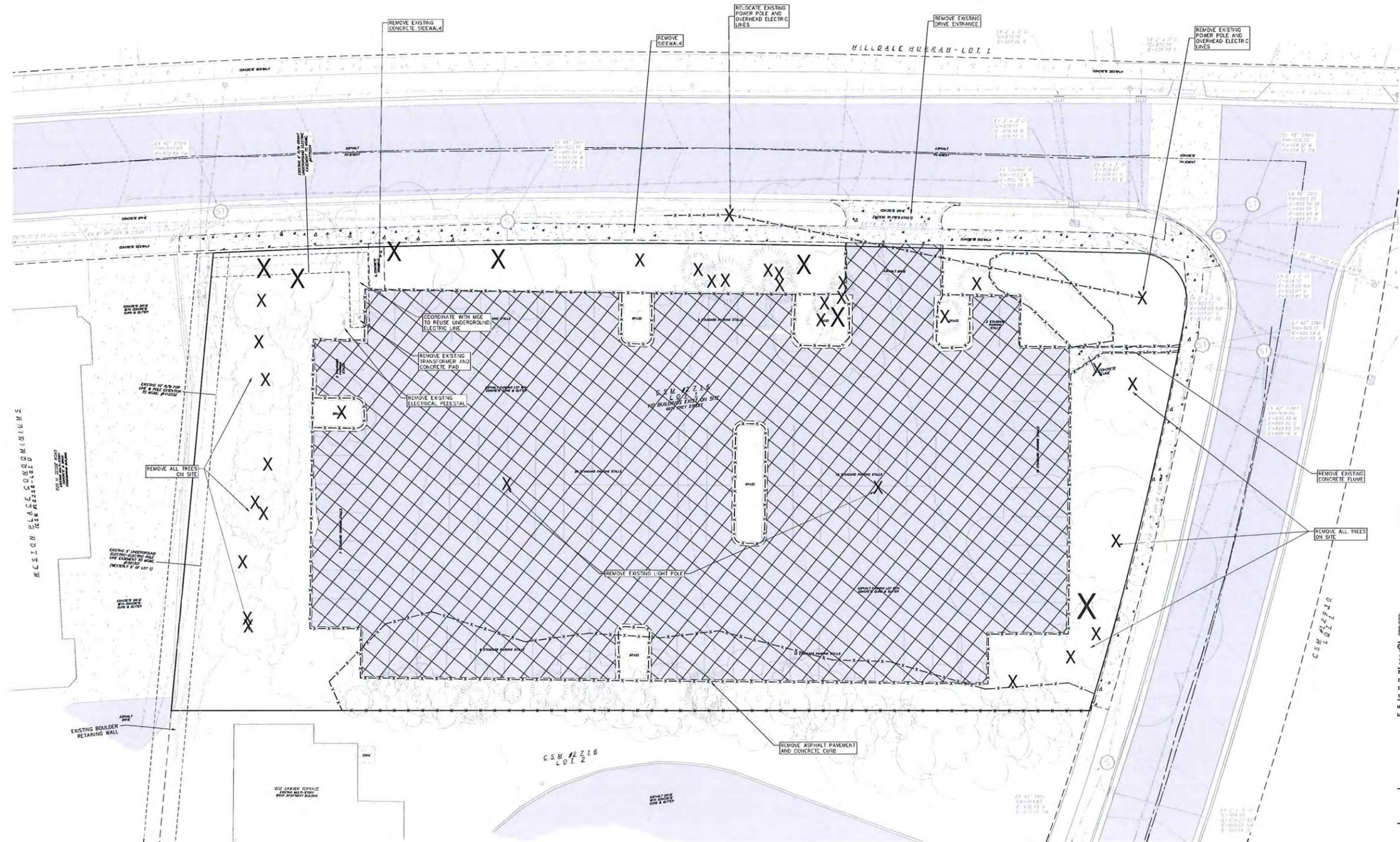
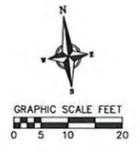
**PROJECT:** FREY STREET - MIXED USE DEVELOPMENT  
**CLIENT:** MODERN INVESTMENTS GROUP  
**CLIENT:** FREY STREET LODGING ASSOCIATES, LLC  
**CLIENT:** C/O RAYMOND MANAGEMENT COMPANY  
 1000 EAST WISCONSIN AVENUE, SUITE 200  
 MADISON, WISCONSIN 53703

**PROJECT:** 201515  
**DRAWN BY:** DMH  
**DATE:** 2-26-2017  
**SCALE:** 1"=20'  
**LWD USE:** 02-08-2017

**DEMOLITION PLAN LEGEND**

---X---X---	CURB AND CUTTER REMOVAL
[Cross-hatched box]	ASPHALT REMOVAL
[Grid-hatched box]	CONCRETE REMOVAL
[Diagonal-hatched box]	BUILDING REMOVAL
X	TREE REMOVAL
- - -	SAWCUT
X	UTILITY STRUCTURE REMOVAL
- - - X - - -	UTILITY LINE REMOVAL

- DEMOLITION KEY:**
1. CLEAR AND GRUB EXISTING TREE/BUSH.
  2. COORDINATE THE REMOVAL/BURY OF THE EXISTING OVERHEAD POWER LINE/POLE WITH MGE.
  3. REMOVE EXISTING CURB & CUTTER (SEE DEMOLITION LEGEND).
  4. REMOVE EXISTING CONCRETE SIDEWALK (SEE DEMOLITION LEGEND).
  5. REMOVE EXISTING DRIVEWAY APRONS.
  6. REMOVE EXISTING PAVEMENT (SEE DEMOLITION LEGEND).



**PROJECT:** FREY STREET - MIXED USE DEVELOPMENT  
**ADDRESS:** 1000 W. WASHINGTON ST.  
**CLIENT:** FREY STREET LODGING ASSOCIATES, LLC  
**MANAGER:** C/O RAYMOND MANAGEMENT COMPANY  
 1000 W. WASHINGTON ST.  
 MADISON, WI 53703

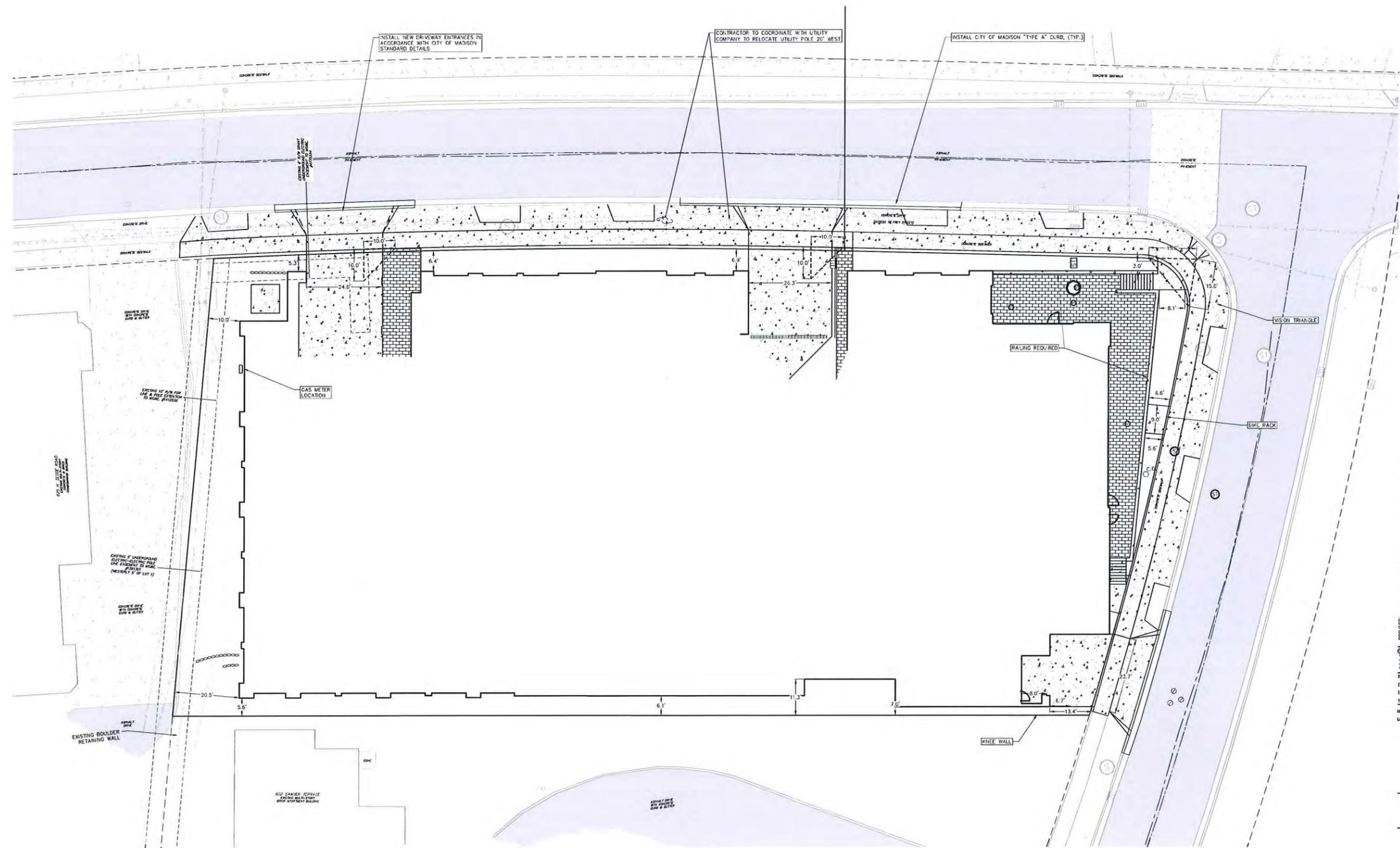
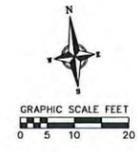
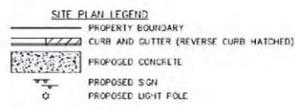
**DATE:** 2-8-2017  
**SCALE:** 1"=10'  
**DATE:** 11-16-2016  
**DATE:** 02-08-2017

**SITE CONSTRUCTION NOTES:**

1. CONCRETE SIDEWALK TO BE 4" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CURB FACE HEIGHT IN DRIVEWAYS SHALL BE 6 INCHES. CURB FACE IN PARKING LOTS SHALL BE 4 INCHES.
4. CONTRACTOR SHALL DEEP ALL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

**DEMOLITION/EROSION CONTROL NOTES:**

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL AFFURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
11. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PAVING CRITERIA.

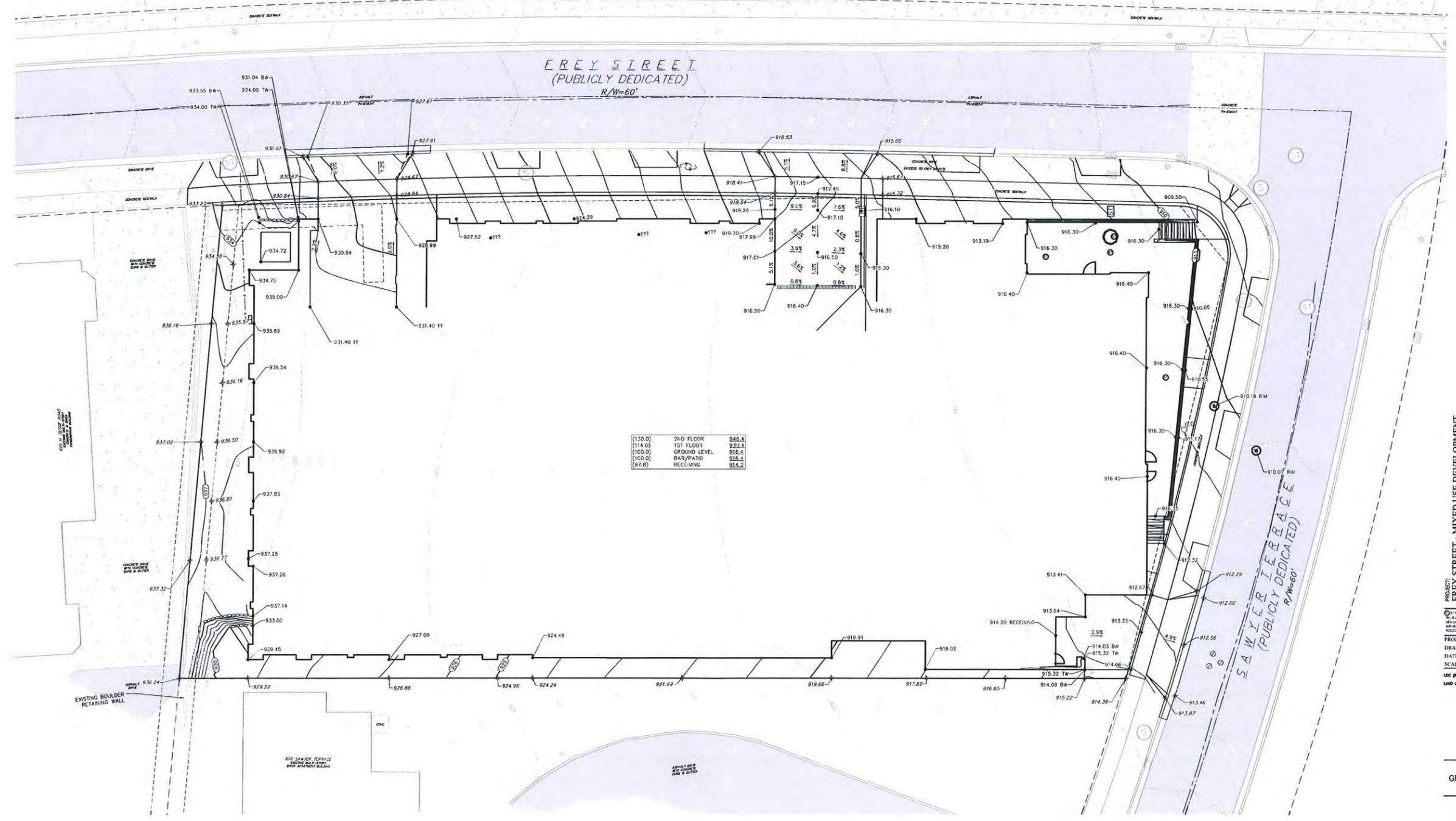
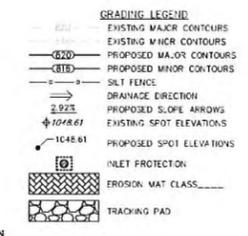


PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 ADDRESS: 1000 W. MONROE ST., MADISON, WI 53704  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 1000 W. MONROE ST., MADISON, WI 53704

DESIGNED BY: 201525  
 DRAWN BY: DPER  
 DATE: 2-8-2017  
 SCALE: 1"=10'  
 IUC #: 11-16-2016  
 LMO USE: 02-08-2017

**GRADING NOTES**

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- INSTALL A 50' X 20' X 1.50' TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- INSTALL M DOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND M DOT TYPE A IN FIELD INLETS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED BY THE FIELD OR SHOWN ON THE PLANS.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH BFI UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.



PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 400 FREY STREET, MADISON, WI 53703  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 1325 S. HANCOCK ST., SUITE 200  
 MADISON, WI 53704

DATE: 2-8-2017  
 SCALE: 1"=10'  
 SHEET: 11-18-101  
 LWD USE: 02-08-2017

UTILITY NOTES:

- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE WATER HYDRANTS SHALL BE YELLOW IN COLOR.
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLY(VINYL CHLORIDE) (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).

- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(x) AND SPS 392.40(x).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 392.40(x).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITH THESE PLANS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.

EX. SANITARY SEWER CHART

P1	- 8" @ 4.57%	- CAPACITY=1,150 GPM
P2	- 8" @ 7.10%	- CAPACITY=1,440 GPM
P3	- 8" @ 4.97%	- CAPACITY=2,159 GPM

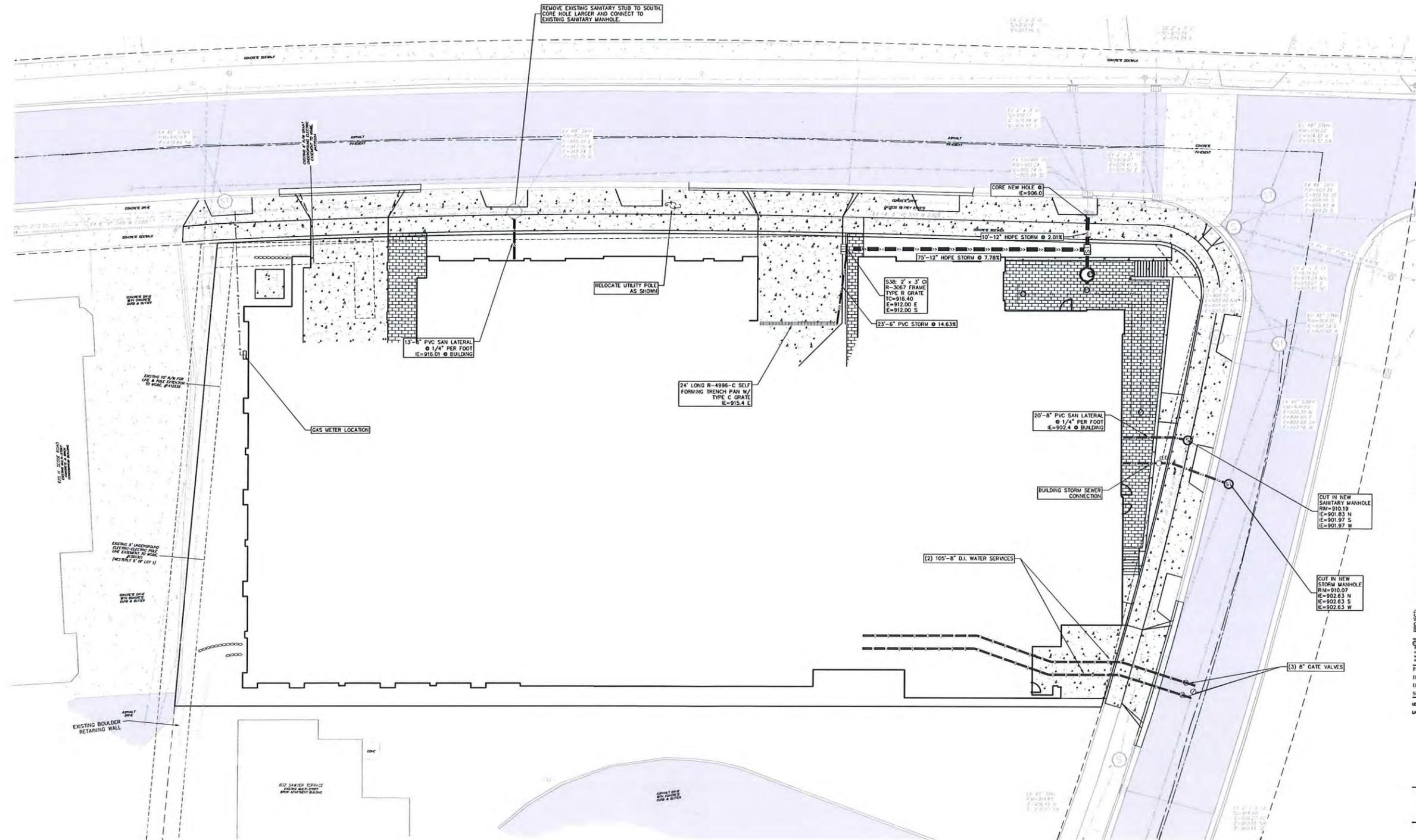
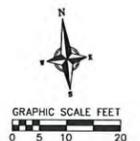
PROP. BUILDING 1200 DFU (PRELIMINARY ESTIMATE)= 240 GPM

**PROPOSED UTILITY LEGEND**

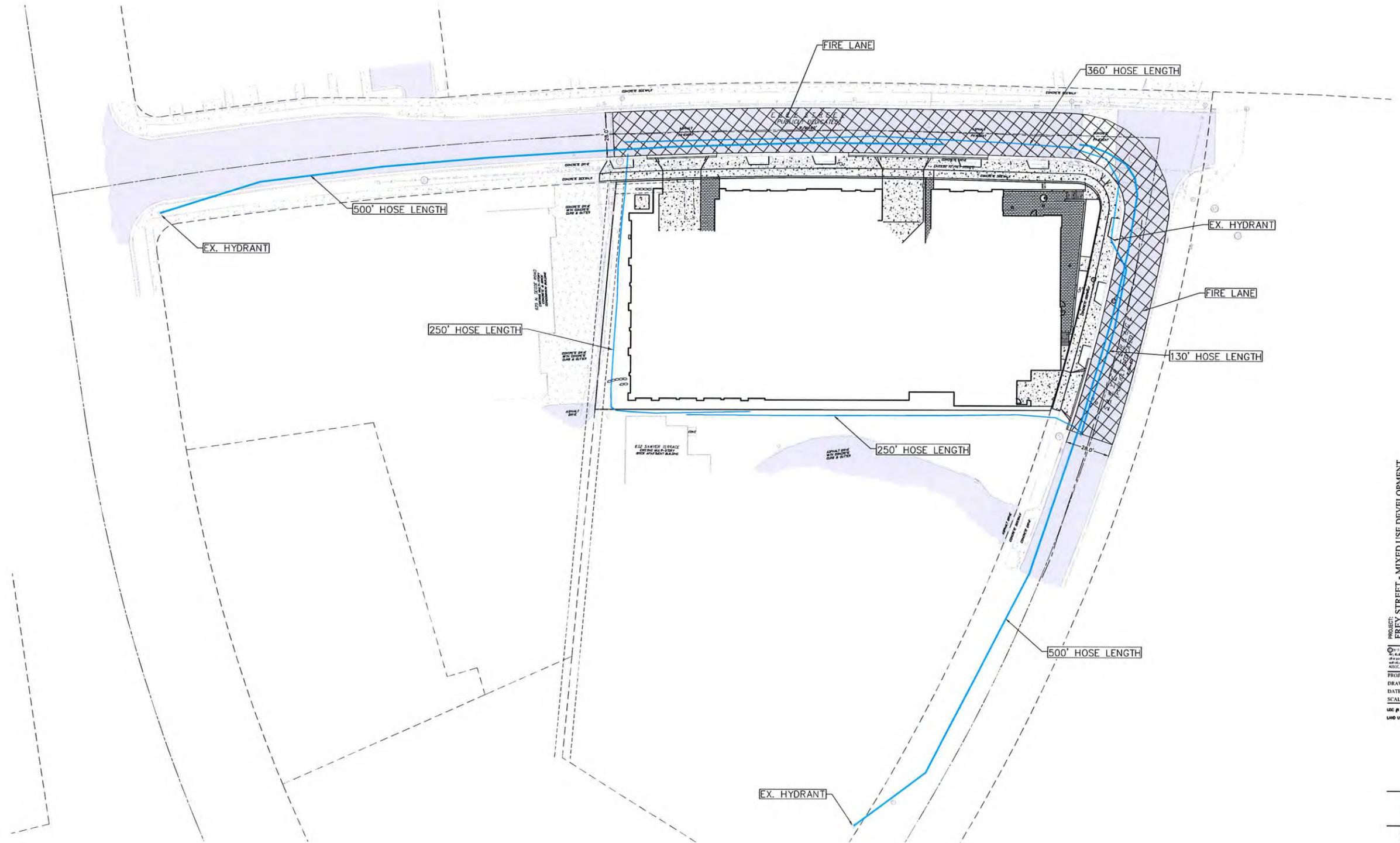
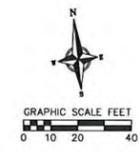
- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEAROUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

**ABBREVIATIONS**

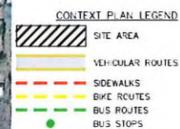
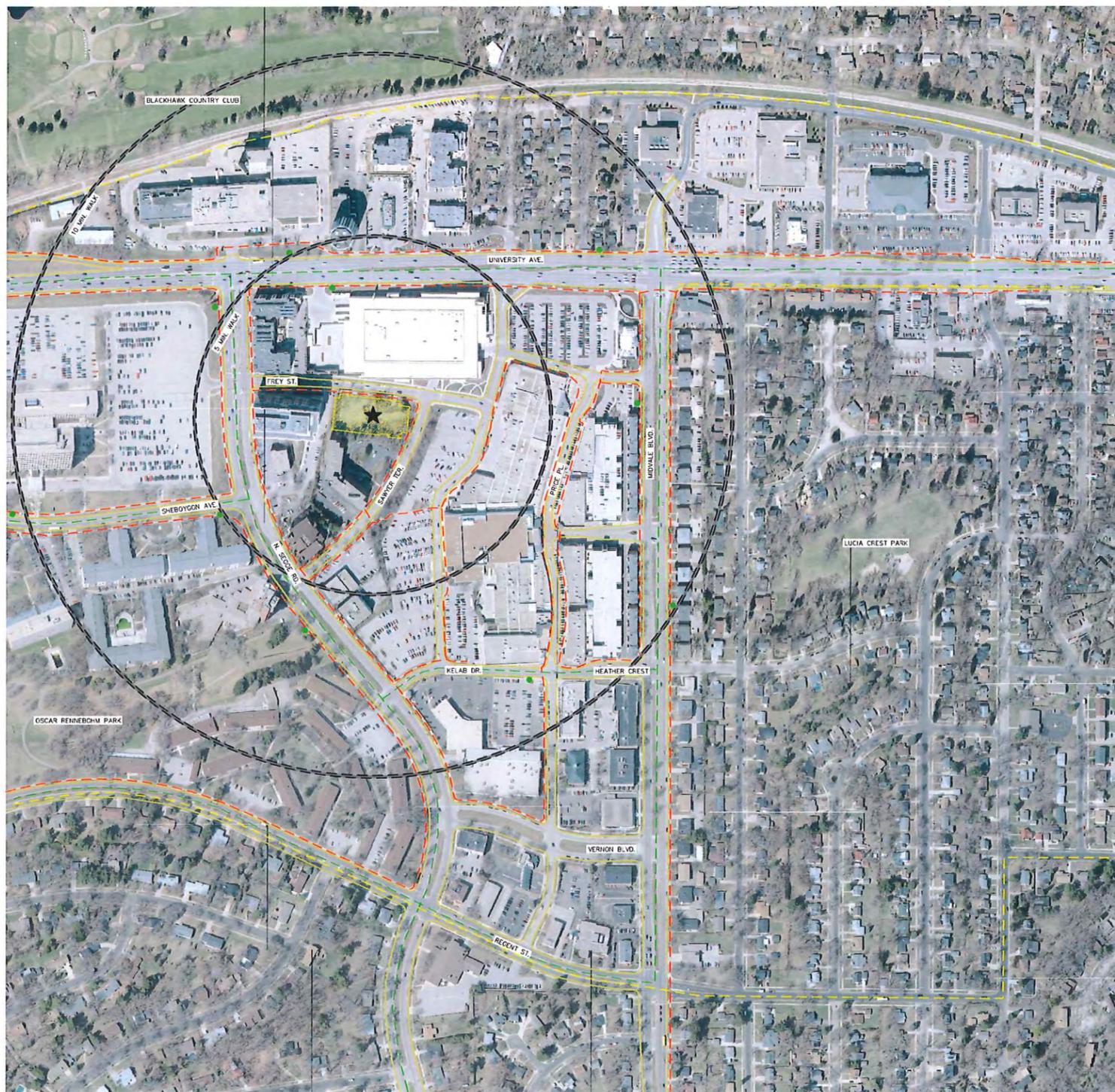
- SMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CURB BASIN
- EW - ENDWALL
- SW - SANITARY MANHOLE



PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 DESIGNER: C/O RAYMOND MANAGEMENT COMPANY  
 PROJECT NO: 201525  
 DRAWN BY: DPBR  
 DATE: 2-8-2017  
 SCALE: 1"=10'  
 USG # 11-18-2018  
 LWD USE 02-08-2017



PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
LOCATION: MIDDLETON, VERMONT 05758  
CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
C/O RAYMOND MANAGEMENT COMPANY  
MIDDLETON, VERMONT 05758  
PROJECT: 201525  
DRAWN BY: DPB  
DATE: 2-8-2017  
SCALE: 1"=20'  
LSD #: 11-18-2016  
LWD USE: 02-08-2017



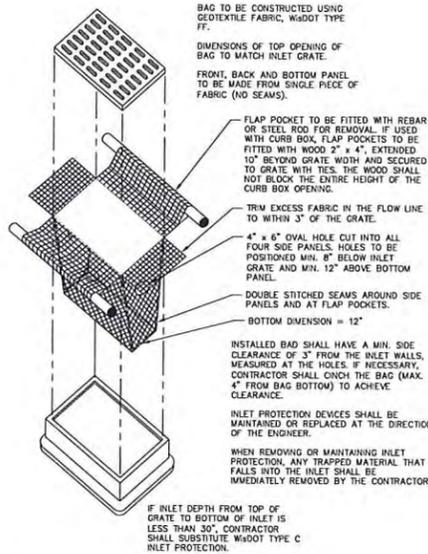
PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 400 W. UNIVERSITY AVENUE, SUITE 201  
 MADISON, WI 53702  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 1000 W. MONROE AVENUE  
 MADISON, WI 53706

DATE: 2-28-2017  
 SCALE: 1"=60'  
 LSC # 11-16-2016  
 LMO USE 02-26-2017



**EROSION CONTROL MEASURES**

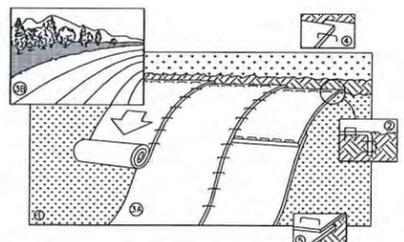
- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wis.gov/runoff/stormwater/techstd.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, INLET PROTECTION, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY OF MADISON. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3' CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOO) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/VALES AS SHOWN ON THIS PLAN, 1 ROLL WITHIN 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. PRODUCT ACCEPTABILITY LIST, APPLIED AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- INSTALL MINIMUM 6"-7" WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND CUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



**1 INLET PROTECTION TYPE D**  
NOT TO SCALE

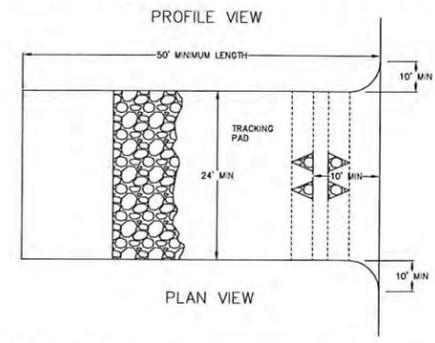
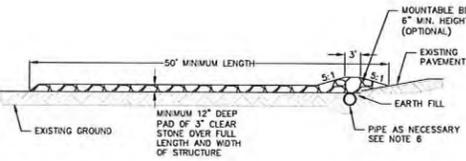
- SEEDING RATES:**
- TEMPORARY:**
- USE ANNUAL DATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
  - USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.
- FERTILIZING RATES:**
- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.
- MULCHING RATES:**
- TEMPORARY AND PERMANENT:**
- USE 3" TO 1-3/4" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

- CONSTRUCTION SEQUENCE:**
- INSTALL PERIMETER EROSION CONTROL & TRACKING PAD
  - STRIP & STOCKPILE TOPSOIL
  - ROUGH GRADE
  - CONSTRUCT UNDERGROUND UTILITIES
  - INSTALL INLET PROTECTION
  - CONSTRUCT ACCESS DRIVE & PARKING LOTS (STONE BASE, CURB & CUTTER, AND SIDEWALK).
  - CONSTRUCT BUILDING
  - RESTORE TERRACES
  - REMOVE TRACKING PAD & SILT FENCE AFTER DISTURBED AREAS ARE RESTORED



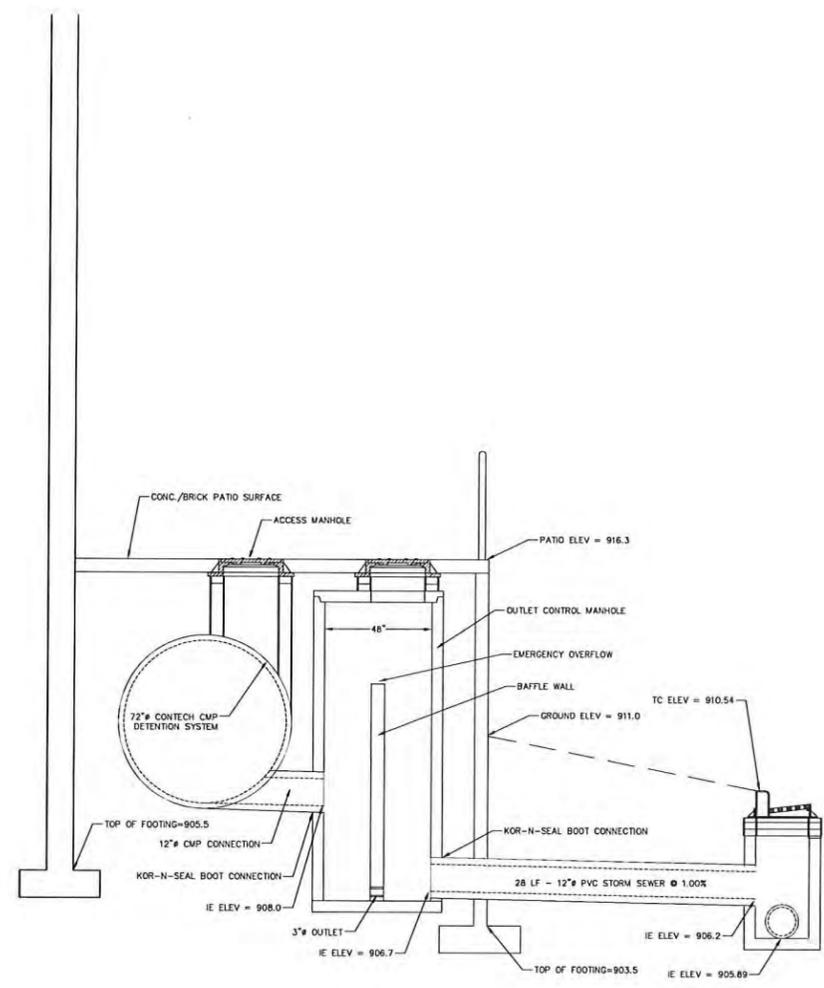
- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.  
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGON AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH, BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  - ROLL THE BLANKETS (<A> DOWN, OR <B> HORIZONTALLY ACROSS THE SLOPE.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
  - WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STILES) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
  - ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

**3 EROSION MAT**  
NOT TO SCALE

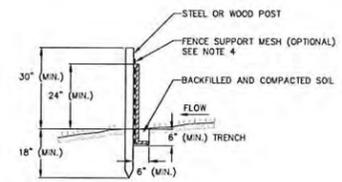


- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WARE/SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

**4 TRACKING PAD**  
NOT TO SCALE

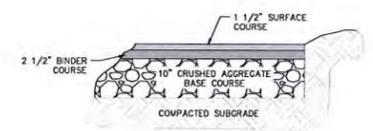


**2 STORM WATER VAULT SECTION**  
NOT TO SCALE



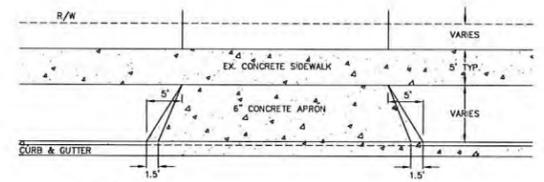
- NOTES:**
- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
  - CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
  - POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
  - SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

**5 SILT FENCE**  
NOT TO SCALE

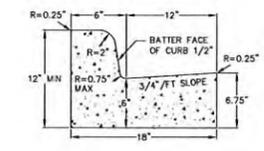


BITUMINOUS PAVEMENT DRIVES

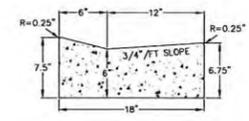
1 SITE PAVEMENT  
 C2.1 NOT TO SCALE



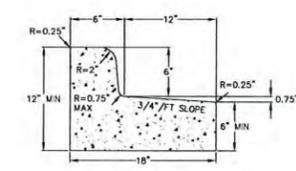
2 DRIVEWAY DETAIL  
 C2.1 NOT TO SCALE



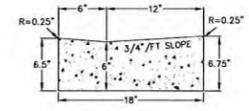
CURB AND GUTTER CROSS SECTION



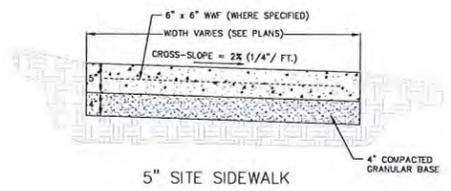
DRIVEWAY GUTTER CROSS SECTION



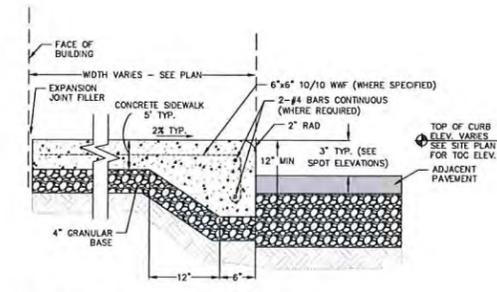
CURB AND GUTTER REJECT SECTION



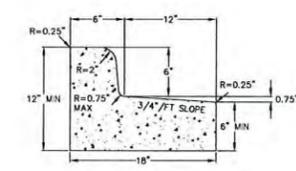
HANDICAP RAMP GUTTER CROSS SECTION



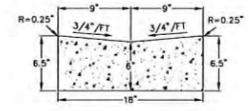
5" SITE SIDEWALK



5 CURBED SIDEWALK DETAIL  
 C2.1 NOT TO SCALE

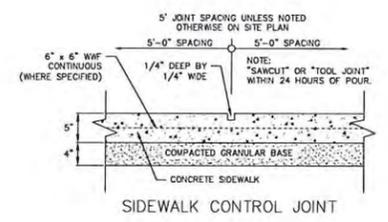


CURB AND GUTTER REJECT SECTION

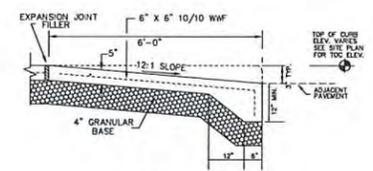


VALLEY CURB AND GUTTER CROSS SECTION

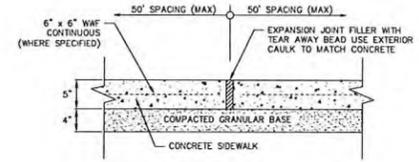
3 18" CONCRETE CURB AND GUTTER  
 C2.1 NOT TO SCALE



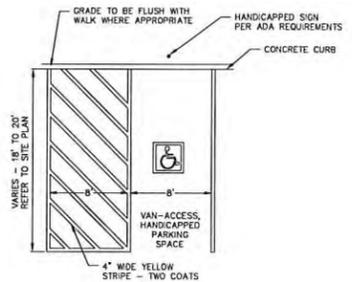
SIDEWALK CONTROL JOINT



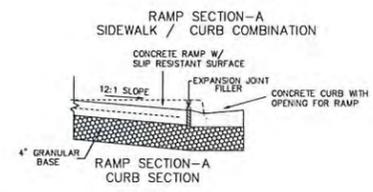
RAMP SECTION-A SIDEWALK / CURB COMBINATION



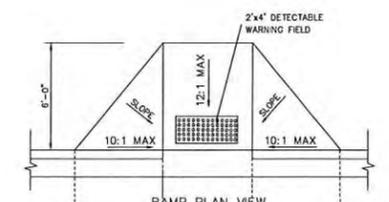
SIDEWALK EXPANSION JOINT



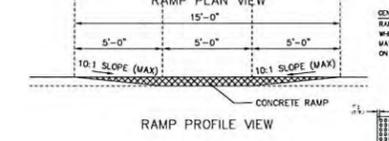
6 HANDICAP STRIPING  
 C2.1 NOT TO SCALE



RAMP SECTION-A CURB SECTION



RAMP PLAN VIEW



RAMP PROFILE VIEW



TRUNCATED DOMES DETECTABLE WARNING PATTERN

7 CURB RAMP DETAIL  
 C2.1 NOT TO SCALE

GENERAL NOTES  
 RAMP SHALL BE BUILT AT 12:1 OR FLATTER WHEN NECESSARY. THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.



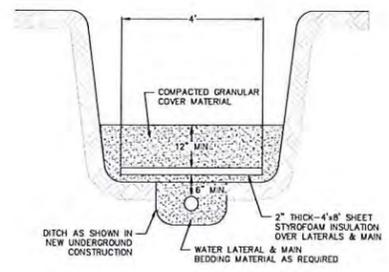
DETECTABLE WARNING FIELD (TYPICAL)

4 5" SIDEWALK  
 C2.1 NOT TO SCALE

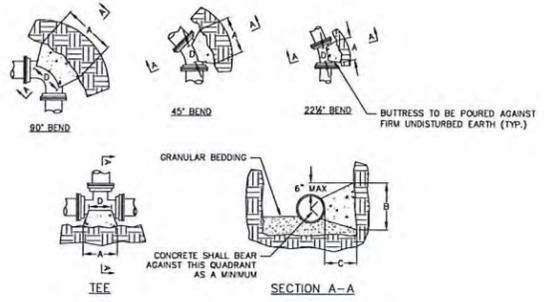
PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 ARCHITECT: COO RAYMOND MANAGEMENT COMPANY  
 CONSULTING ENGINEER: GBA

PROJECT: 201525  
 DRAWN BY: DFR  
 DATE: 3-8-2017  
 SCALE: AS SHOWN  
 IEC: F  
 DATE: 11-16-2016  
 IAW: 107 02-08-2017

CONSTRUCTION DETAILS



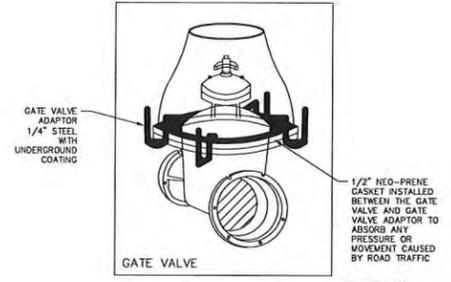
**1 INSULATION DETAIL**  
 c2.2 NOT TO SCALE



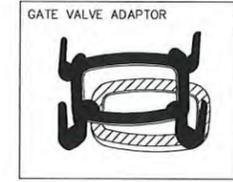
DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.  
 DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

PIPE SIZE	BUTTRESS DIMENSIONS					
	TEES		11.25° BEND		22.5° BEND	
	A	B	A	B	A	B
4"	10"	6"	10"	6"	10"	6"
6"	12"	8"	12"	8"	12"	8"
8"	14"	10"	14"	10"	14"	10"
10"	16"	12"	16"	12"	16"	12"
12"	18"	14"	18"	14"	18"	14"
16"	22"	18"	22"	18"	22"	18"
20"	26"	22"	26"	22"	26"	22"
24"	30"	26"	30"	26"	30"	26"

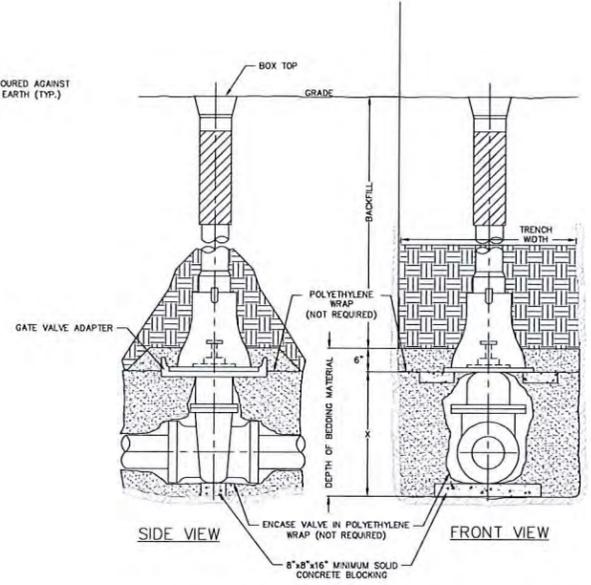
DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ. FT.  
 \* = FOR TEE THIS WILL BE THE BRANCH PIPE  
 CONCRETE SHALL BE CLASS "F"



NOTE: GATE VALVE ADAPTORS ARE MANDATORY IN THE VILLAGE OF DEFOREST  
 MANUFACTURED BY ADAPTOR, INC. 3642 E. AMERICAN AVE. MILWAUKEE, WI 53154

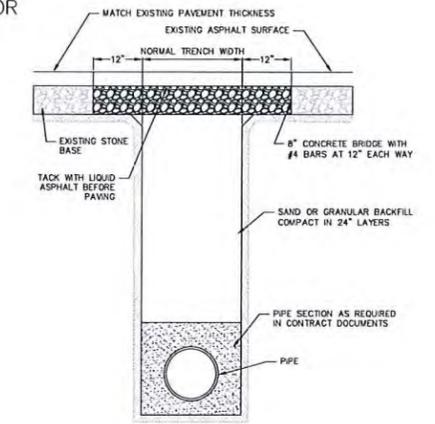


**2 GATE VALVE AND GATE VALVE ADAPTOR**  
 c2.2 NOT TO SCALE



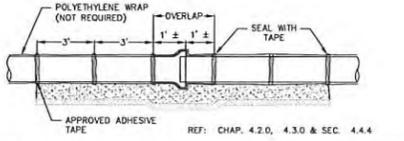
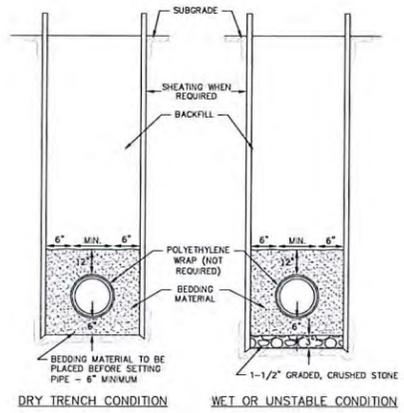
PIPE DIA. INCHES	X-SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30

**4 STANDARD GATE VALVE BOX SETTING**  
 c2.2 NOT TO SCALE

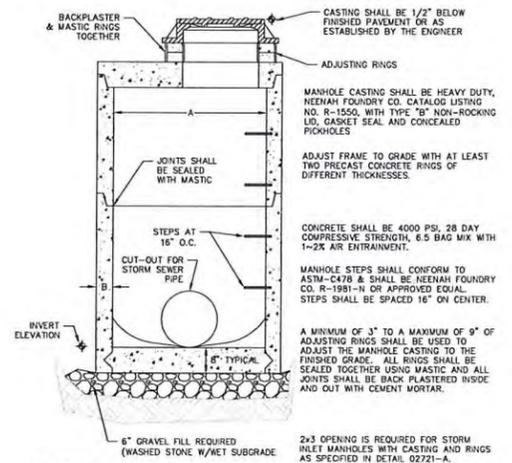


**5 CUT PAVEMENT TRENCH SECTION**  
 c2.2 NOT TO SCALE

**3 BUTTRESS FOR BENDS**  
 c2.2 NOT TO SCALE

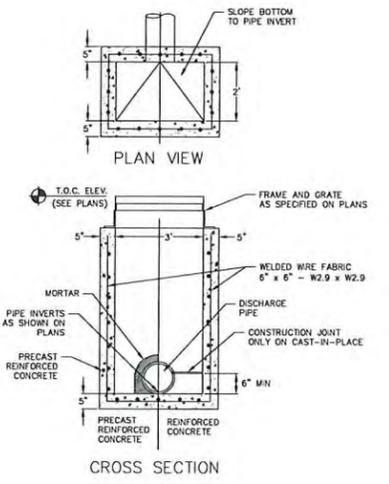


**6 STANDARD WATERMAIN TRENCH SECTION**  
 c2.2 NOT TO SCALE

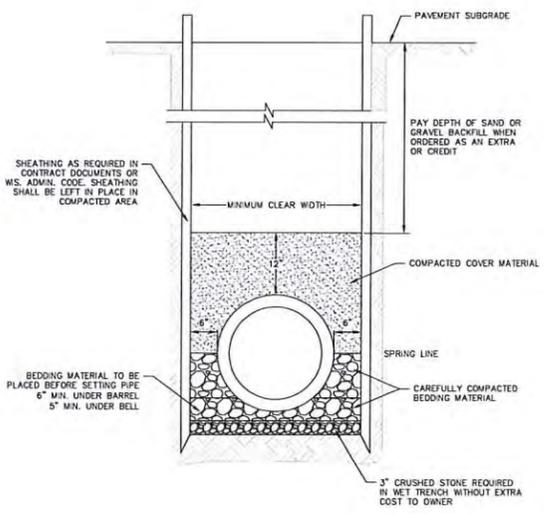


MANHOLE SIZE	DIMENSION	
	A	B (MIN)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

**7 STORM SEWER MANHOLE**  
 c2.2 NOT TO SCALE



**8 CURB INLET - TYPE 3, 2' x 3' BASIN**  
 c2.2 NOT TO SCALE

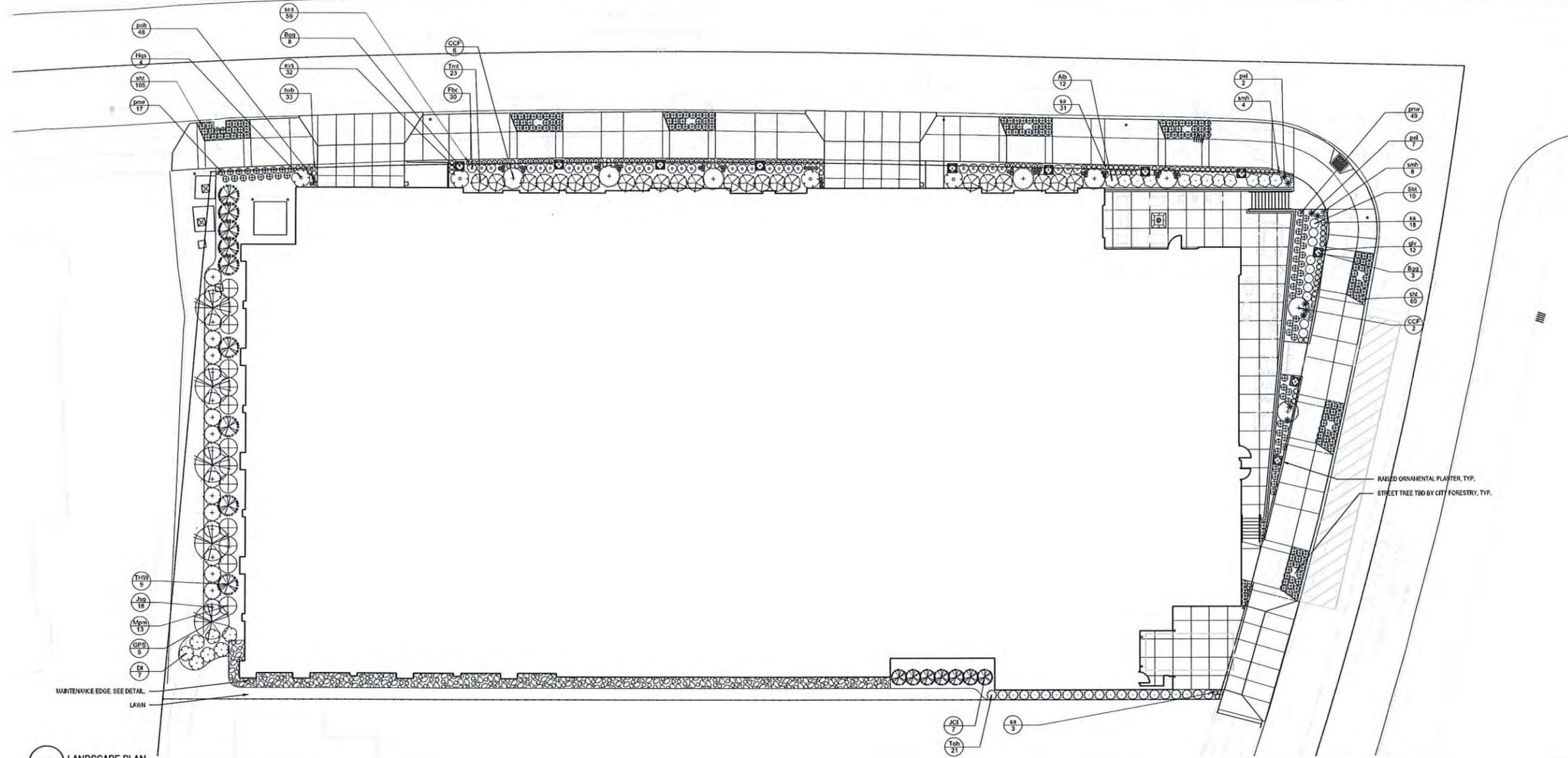


**3 CLASS B BEDDING COMPACTED SECTION**  
 c2.2 NOT TO SCALE

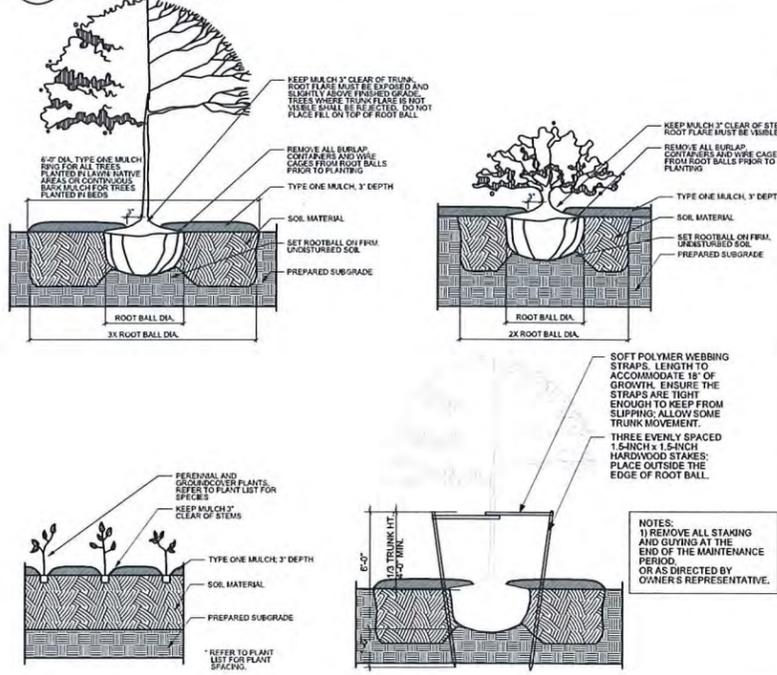
PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 LOCATION: MADISON, WISCONSIN  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 CO-ORDINATOR: MANAGEMENT COMPANY  
 ARCHITECT: GBA

PROJECT: 201525  
 DRAWN BY: DFR  
 DATE: 2-8-2017  
 SCALE: AS SHOWN  
 IEC: F  
 IAD USE: 02-08-2017

CONSTRUCTION DETAILS



**2 LANDSCAPE PLAN**  
 1"=10'-0" on 36"x48" sheet



**2 TYPICAL PLANTING DETAILS**  
 NTS

**Frey Street Redevelopment**  
 8 Feb 17

Developed Lots	sq ft	Area	Landscape Points Subtotal
Total Developed Area (Lot + Building Area)	8,218		
Landscape Points @ 18 pts/100 sq ft for 8 acres, 1 pt/100 sq ft for additional			145
			<b>Landscape Points Required 145</b>

Development Frontage (Landscape Points)	LF	Overstory Trees Required*	Shrubs Required
Total LF of Street Frontage (between Parking/Building & Street)	410	14	63

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0	0	0
Tall Evergreen Tree	35	0	0	0
Overstory Tree	15	8	0	120
Upright Evergreen Shrub	10	0	0	0
Shrub, Deciduous	3	56	0	168
Shrub, Evergreen	4	34	0	136
Ornamental Grass Perennial	2	146	0	292
<b>Development Frontage Points Total</b>				<b>716</b>

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	5	0	175
Tall Evergreen Tree	35	18	0	630
Overstory Tree	15	0	0	0
Upright Evergreen Shrub	10	21	0	210
Shrub, Deciduous	3	2	0	6
Shrub, Evergreen	4	18	0	72
Ornamental Grass Perennial	2	0	0	0
Ornamental Deciduous Perennial or Wall (4 pts/10 LF)	4	0	0	0
<b>Foundation Planting Total</b>				<b>1017</b>

**General Site, Foundation, Screening**  
 6'-8" H screening shall be provided along side and rear property boundaries adjacent to residential districts (on front) and set back screening shall not exceed 4' H.

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	5	0	175
Tall Evergreen Tree	35	18	0	630
Overstory Tree	15	0	0	0
Upright Evergreen Shrub	10	21	0	210
Shrub, Deciduous	3	2	0	6
Shrub, Evergreen	4	18	0	72
Ornamental Grass Perennial	2	0	0	0
Ornamental Deciduous Perennial or Wall (4 pts/10 LF)	4	0	0	0
<b>Foundation Planting Total</b>				<b>1017</b>

\* In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

**PLANT SCHEDULE**

EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
JCI	Juglans nigra (Walnut) / Black Walnut	B & B		6' HT (MNL)	7
THH	Thuja occidentalis (Taxus) / Eastern White Pine	B & B		6' HT (MNL)	9

ORNAMENTAL TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
CCP	Carpinus caroliniana (L.) upright / Fringed Maidenhair	B & B	UPRIGHT MULTI-STEM	6' HT (MNL)	8

SHADE TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
GPS	Gleditsia triacanthos (Sourwood) / Fraxino-Serpy Gledits	B & B	FCM	6' HT (MNL)	5

DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD	FIELD	QTY
AB	Arbutus menziesii (Strawberry Tree) / Dwarf Bush Honeycreeper	3 pt	18" HT (MNL)	12	12
DI	Diervilla bicolor (Dwarf Bush Honeycreeper)	3 pt	18" HT (MNL)	7	7
FO	Fothergilla gardenii (Beane Creeper) / Dwarf Blackhaw	3 pt	18" HT (MNL)	30	30
HO	Hydrangea quercifolia (Stone Mountain) / Stone Mountain Oakleaf Hydrangea	3 pt	18" HT (MNL)	4	4
MO	Myrica pensylvanica (Moor) / Silver Spine Bayberry	3 pt	18" HT (MNL)	13	13
SI	Spiraea betulifolia (Tor) / Blackthorn Spirea	3 pt	18" HT (MNL)	10	10

EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD	FIELD	QTY
BGP	Buxus 'Green Gem' / Green Gem Boxwood	3 pt	18" HT (MNL)	11	11
JG	Juglans nigra (Walnut) / Black Walnut	3 pt	18" HT (MNL)	18	18
TA	Taxus media (Taunton) / Taunton Tree	3 pt	18" HT (MNL)	23	23
TH	Thuja occidentalis (Taxus) / Eastern White Pine	B & B	6' HT (MNL)	21	21

HERBACEOUS PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD	FIELD	QTY
EV	Eupatorium verticillatum (Black Boneset)	1 pt		32	32
GL	Geranium macranthum (Impatiens) / Impatiens Variety Bigroot Geranium	1 pt		12	12
HO	Heuchera villosa (Bronze) / Coral Bells	1 pt		33	33
PA	Panicum virgatum (Switchgrass) / Russian Sage	1 pt		9	9
PO	Polypodium (Moss) / Solomon's Seal	1 pt		48	48
SH	Shrubus (Moss) / Common Battery	1 pt		12	12

ORNAMENTAL GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	FIELD	FIELD	QTY
PR	Panicum virgatum (Switchgrass) / Horned Soft Grass	1 pt		14	14
SA	Solidago nemoralis / Autumn Moor Grass	1 pt		52	52
SS	Solidago canadensis / Green Moor Grass	1 pt		59	59
SH	Sporobolus heterophyllus (Tall) / Prairie Dropseed	5 pt		155	155

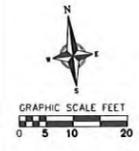
- NOTES:**
- Contractor shall contact City Forestry at least 48 hours prior to any work on street trees.
  - The planned removal of trees includes all brush and stump removal.
  - Approval and permitting of street tree removals and street tree planting shall be obtained from the City Forester and/or the Board of Public Works prior to the approval of the site plan. Any tree removals that are required for construction after the development plan is approved will require at least a 72-hour wait period before a tree removal permit can be issued by Forestry, to notify the Alder of the change in the tree plan.
  - Street trees shall be planted per planting specifications found in section 209 of City of Madison Standard Specifications for Public Works Construction.
  - All at-grade planting areas shall receive 18" topsoil minimum. 2" of compost meeting WI-DNR specification S100 shall be tilled into the top 6" of topsoil. Topsoil shall meet City of Madison Standard Specifications for Public Works Construction.
  - All raised planters shall receive 18" planter soil minimum. Basis of design is PM35 Planter Mix by Midwest Trading (<http://www.midwest-trading.com/product/PM-35-Planter-Mix>) or approved equal.
  - All plant beds shall be treated with pre-emergent herbicide after planting and prior to mulching. Apply per manufacturer's specifications.
  - All plant beds shall have 3" shredded hardwood bark mulch unless otherwise noted.
  - All plant beds not adjacent to hardscape shall have a shovel-cut edge unless otherwise noted.
  - All plant material shall be warranted for 12 months following substantial completion. All plants shall be in healthy, flourishing condition at installation and through warranty period as determined by landscape architect. Contractor will be required to replace unacceptable plants.

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF EXISTING UTILITY INSTALLATIONS, CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE.

FAX & LOCATE 1-800-338-3860  
 TDD (FOR HEARING IMPAIRED) 1-800-542-2289

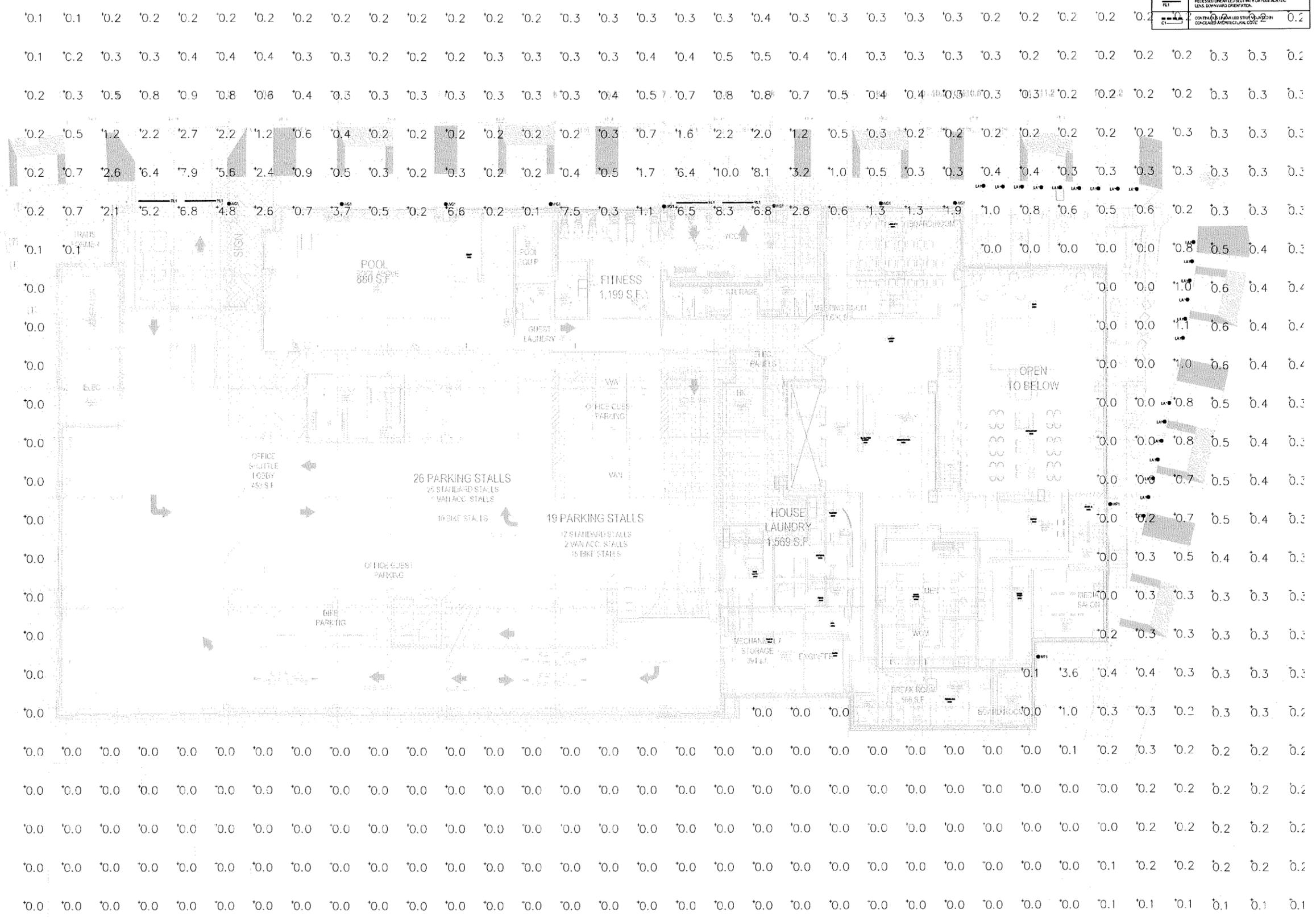
WE WANT YOUR FEEDBACK! PLEASE REPLY TO US BY FAX, EMAIL OR NOTICE BEFORE YOU DEPART.



PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 CLIENT: GEN SAIKI DESIGN, LLC  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 CLIENT: STREET MANAGEMENT COMPANY  
 LOCATION: MADISON, WI 53703

DATE: 02/04/2017  
 SCALE: AS INDICATED  
 TDC: 11/30/2016  
 LAND USE: 02/04/2017

LIGHT FEATURE LEGEND	
DESCRIPTION	DESCRIPTION
● WS1	WALL MOUNTED LED ACCENT GRAZER WITH 5° SPOT OPTICS, 5° BELED SOURCE, DOWNWARD ORIENTATION.
● LA1	GROUND MOUNTED LED LANDSCAPE ACCENT FLOOD LIGHT WITH 15° FLOOD OPTICS, 5° BELED SOURCE AND LED VECOR UPWARD ORIENTATION.
● WS2	WALL MOUNTED LED SURFACE LIGHT WITH 5° BELED SOURCE, DOWNWARD ORIENTATION.
—	RECESSED LINEAR LED SLOT WITH OPAL ACRYLIC LENS, DOWNWARD ORIENTATION.
—	CONTRAST MOUNTED LED STRIP LIGHT WITH CONCEALED MOUNTING CLIP AND COVER.



PROJECT: PREY STREET - MIXED USE DEVELOPMENT  
 ADDRESS: 1000 N. WISCONSIN ST. MADISON, WI 53705  
 CLIENT: PREY STREET LODGING ASSOCIATES, LLC  
 ARCHITECT: CHORLEY AND MANAGEMENT COMPANY, MADISON, WI 53705

DATE: 03-01-2011  
 SCALE: 1/8" = 1'-0"  
 CITY: MADISON, WI

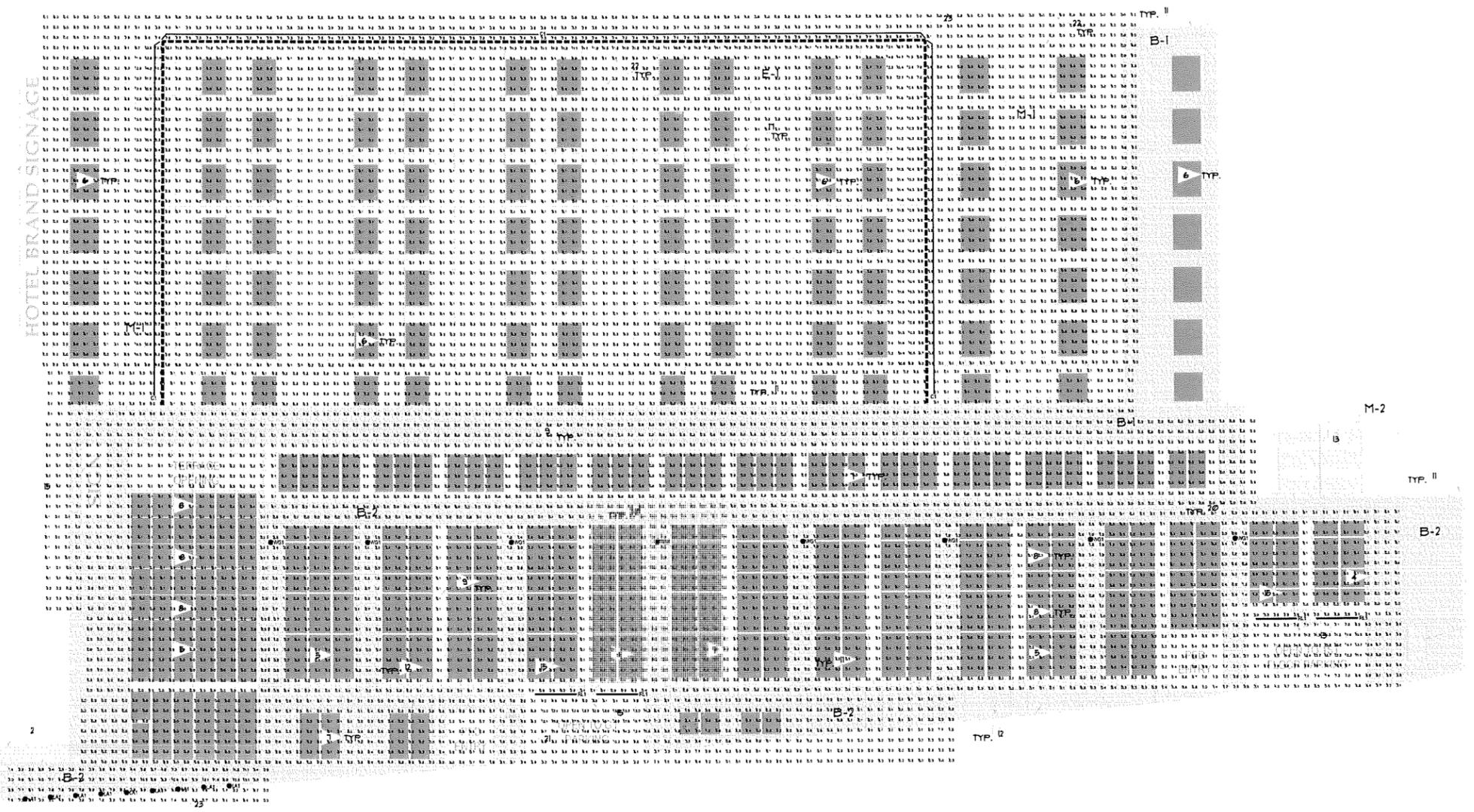


EXTERIOR SITE PHOTOMETRICS  
 E0

LIGHT FIXTURE LEGEND	
DESIGNATION	DESCRIPTION
● NS1	WALL MOUNTED LED ACENT GRAZER WITH 8" SPOT OPTICS, 5-DEGREE SOURCE DOWNWARD ORIENTATION
● LA1	GROUND MOUNTED LED ACENT GRAZER FLOOR LIGHT WITH 8" FLOOR OPTICS, 5-DEGREE SOURCE AND EYELED VIEW, UPWARD ORIENTATION
● NP1	WALL MOUNTED LED SURFACE LIGHT WITH 5-DEGREE SOURCE, DOWNWARD ORIENTATION
FL1	RECESSED LINEAR LED SLIT WITH OPTIC ACrylic LENS, DOWNWARD ORIENTATION
CL1	CONTIGUOUS LINEAR LED STRIP MOUNTED ON CHANGING ARCHITECTURAL CORNICE



- ROOF PARAPET 248'-4" (1064.5')
- ROOF PARAPET 245'-4" (1061.5')
- ROOF BEARING 241'-4" (1051.5')
- 11th FLOOR 230'-0" (1041.2')
- 10th FLOOR 219'-8" (1036.9')
- 9th FLOOR 209'-4" (1026.6')
- 8th FLOOR 199'-0" (1016.3')
- 7th FLOOR 188'-8" (1006.0')
- 6th FLOOR 178'-4" (995.7')
- 5th FLOOR 168'-0" (985.4')
- 4th FLOOR 158'-0" (975.1')
- 3rd FLOOR 148'-0" (964.8')
- 2nd FLOOR 138'-0" (954.5')
- 1st FLOOR 114'-0" (931.4')
- GROUND LEVEL 100'-0" (911.4')



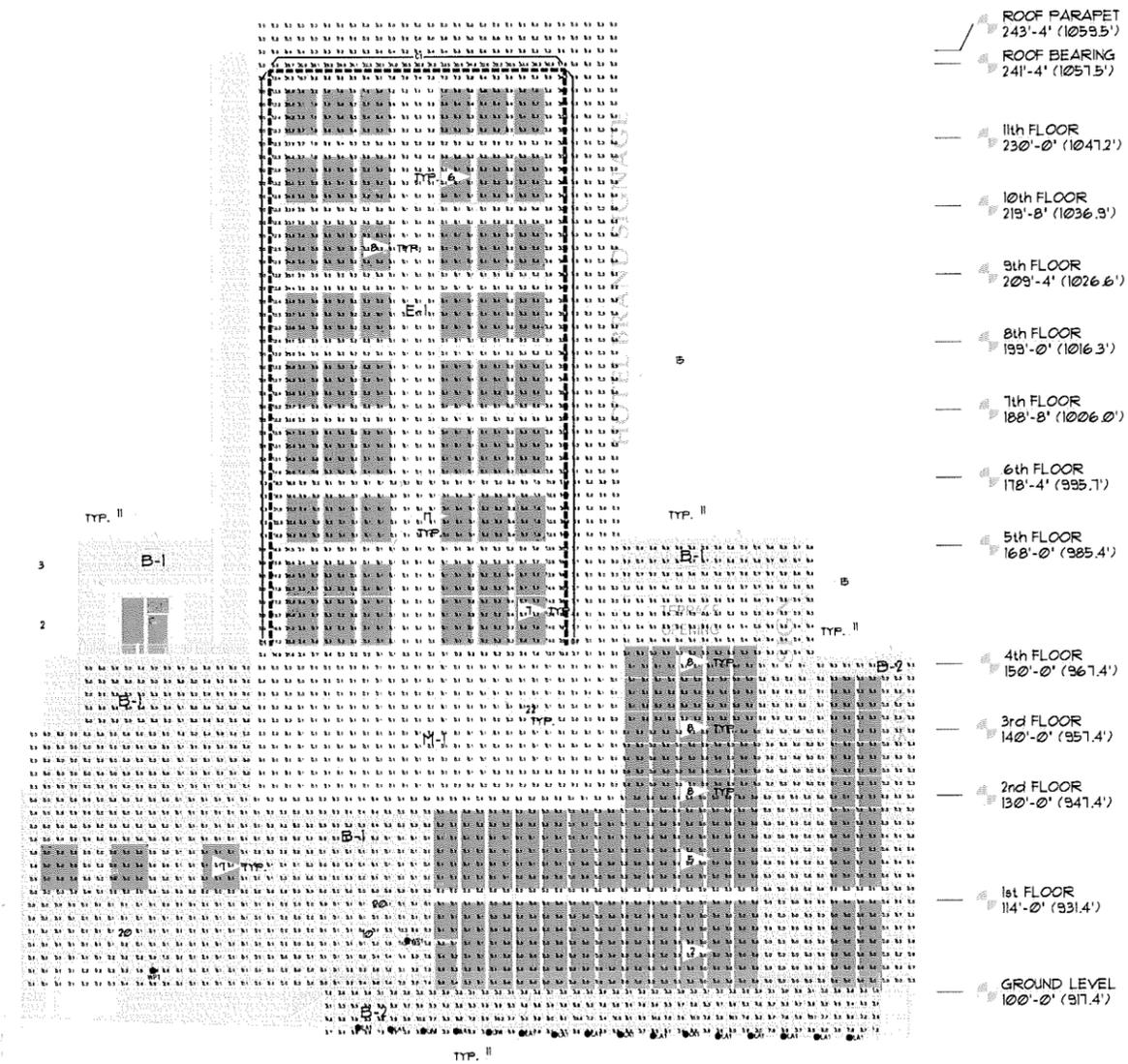
PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 ARCHITECT: WILSON JENSEN  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 GENERAL CONTRACTOR: FREY STREET MANAGEMENT COMPANY  
 MADISON, WI 53702

PROJECT: 201513  
 DRAWN BY: HEI  
 DATE: 02-01-2011  
 SCALE: 1/8" = 1'-0"  
 CITY: MADISON, WI 53702

1 ELEVATION - FREY STREET  
 SCALE: 1/8" = 1'-0"

LIGHT FIXTURE LEGEND	
DESCRIPTION	DESCRIPTION
● WS1	WALL MOUNTED LED ACCENT GRABER WITH 9-SPOT OPTICS 9-BELED SOURCE DOWNWARD ORIENTATION
● LA1	GROUND MOUNTED LED LANDSCAPE ACCENT FLOOD LIGHT WITH 18° FLOOD OPTICS 9-BELED SOURCE AND 9-BELED VISOR UPWARD ORIENTATION
● WP1	WALL MOUNTED LED SURFACE LIGHT WITH 9-BELED SOURCE DOWNWARD ORIENTATION
— RL1	RECESSED LINEAR LED SLOT WITH OPTIC ACRYLIC LENS DOWNWARD ORIENTATION
— CT1	CONTINUOUS LINEAR LED STRIP MOUNTED IN CONCEALED ARCHITECTURAL CASE

**GBA**  
 7711 ELLEN AVENUE, STE. 204  
 SEQUEMONT, PA 15822  
 814-231-3750  
 800-426-5316 (TOLL FREE)



1 ELEVATION - SAWYER TERRACE  
 SCALE 1/8" = 1'-0"  
 1 2 3 4 5 6 7 8 9 10

PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 ARCHITECT: WILSON JONES ARCHITECTS  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 PHOTOGRAPHY: WILSON JONES ARCHITECTS  
 LOCATION: 1100 ELLIOTT AVENUE, SEQUEMONT, PA 15822

PROJECT: 21555  
 DRAWN BY: HEI  
 DATE: 03-01-2011  
 SCALE: 1/8" = 1'-0"  
 CITY: SEQUEMONT, PA 15822



**RFX WET**  
OUTDOORS LED RIBBON FLEX

The RFX WET series is an economical, versatile solution for your LED ribbon lighting needs. Whether you're looking for a solution for your outdoor space or your indoor space, the RFX WET series has you covered. The RFX WET series is made of high-quality materials and is designed to last. It is also easy to install and maintain.

**FEATURES**

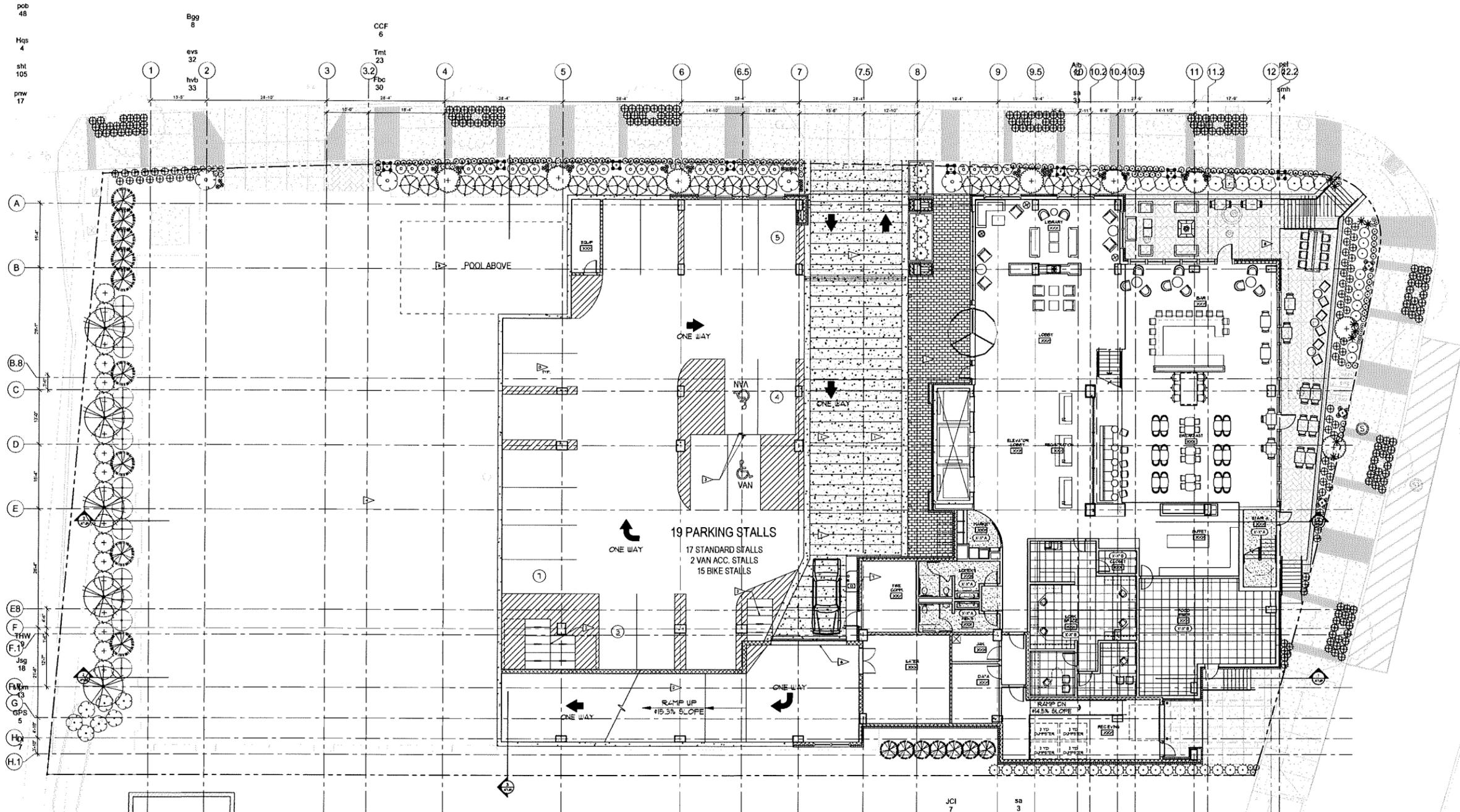
- Available in several color temperatures with a wide range of beam angles.
- Energy efficient and long-lasting.
- Dimmable.
- Available in several lengths.
- Available in several voltages.
- Available in several power ratings.
- Available in several beam angles.
- Available in several color temperatures.
- Available in several lengths.
- Available in several voltages.
- Available in several power ratings.
- Available in several beam angles.
- Available in several color temperatures.

**TECHNICAL SPECIFICATIONS**

- Voltage: 12VDC and 24VDC
- Power: 1W, 2W, 3W, 4W, 5W, 6W, 7W, 8W, 9W, 10W, 12W, 15W, 20W, 24W, 30W, 36W, 48W, 60W, 72W, 90W, 108W, 120W, 144W, 180W, 216W, 240W, 270W, 300W, 360W, 420W, 480W, 540W, 600W, 720W, 840W, 900W, 1080W, 1200W, 1440W, 1620W, 1800W, 2160W, 2400W, 2700W, 3000W, 3600W, 4200W, 4800W, 5400W, 6000W, 7200W, 8400W, 9000W, 10800W, 12000W, 14400W, 16200W, 18000W, 21600W, 24000W, 27000W, 30000W, 36000W, 42000W, 48000W, 54000W, 60000W, 72000W, 84000W, 90000W, 108000W, 120000W, 144000W, 162000W, 180000W, 216000W, 240000W, 270000W, 300000W, 360000W, 420000W, 480000W, 540000W, 600000W, 720000W, 840000W, 900000W, 1080000W, 1200000W, 1440000W, 1620000W, 1800000W, 2160000W, 2400000W, 2700000W, 3000000W, 3600000W, 4200000W, 4800000W, 5400000W, 6000000W, 7200000W, 8400000W, 9000000W, 10800000W, 12000000W, 14400000W, 16200000W, 18000000W, 21600000W, 24000000W, 27000000W, 30000000W, 36000000W, 42000000W, 48000000W, 54000000W, 60000000W, 72000000W, 84000000W, 90000000W, 108000000W, 120000000W, 144000000W, 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pod 46  
 Hqs 4  
 shi 105  
 prw 17

Bgg 8  
 eys 32  
 hvb 33

CCF 6  
 Tmt 23  
 Fbc 30

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 B  
 B.8  
 C  
 D  
 E  
 E.8  
 F  
 F.1  
 F.1.1  
 G  
 G.5  
 H  
 H.1

JCI 7  
 SB 3

**FLOOR PLAN**  
**GROUND LEVEL**  
 1/8" = 1'-0"

GENERAL PLAN NOTES		KEY NOTES	
1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.	2. EXISTING CONDITIONS ARE TO FACE OF EXISTING MEMBER OR DIMENSION THEREON UNLESS NOTED OTHERWISE. VERIFY EXISTING CONDITIONS IN THE FIELD AND ADJUST AS NECESSARY TO ACHIEVE UNIFORM FINISH LINE.	1. EXISTING CONCRETE FINISH AND AC AT NOT.	1. BIKER PARKING DOCK. SEE AIA FOR DETAILS.
3. SEE SHEET FOR WALL TYPE CONSTRUCTION.	4. SEE SHEET FOR WALL TYPE CONSTRUCTION.	2. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	2. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
5. SEE SHEET FOR WALL TYPE CONSTRUCTION.	6. SEE SHEET FOR WALL TYPE CONSTRUCTION.	3. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	3. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
7. SEE SHEET FOR WALL TYPE CONSTRUCTION.	8. SEE SHEET FOR WALL TYPE CONSTRUCTION.	4. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	4. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
9. SEE SHEET FOR WALL TYPE CONSTRUCTION.	10. SEE SHEET FOR WALL TYPE CONSTRUCTION.	5. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	5. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
11. SEE SHEET FOR WALL TYPE CONSTRUCTION.	12. SEE SHEET FOR WALL TYPE CONSTRUCTION.	6. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	6. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
13. SEE SHEET FOR WALL TYPE CONSTRUCTION.	14. SEE SHEET FOR WALL TYPE CONSTRUCTION.	7. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	7. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
15. SEE SHEET FOR WALL TYPE CONSTRUCTION.	16. SEE SHEET FOR WALL TYPE CONSTRUCTION.	8. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	8. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
17. SEE SHEET FOR WALL TYPE CONSTRUCTION.	18. SEE SHEET FOR WALL TYPE CONSTRUCTION.	9. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	9. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
19. SEE SHEET FOR WALL TYPE CONSTRUCTION.	20. SEE SHEET FOR WALL TYPE CONSTRUCTION.	10. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	10. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
21. SEE SHEET FOR WALL TYPE CONSTRUCTION.	22. SEE SHEET FOR WALL TYPE CONSTRUCTION.	11. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	11. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
23. SEE SHEET FOR WALL TYPE CONSTRUCTION.	24. SEE SHEET FOR WALL TYPE CONSTRUCTION.	12. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	12. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
25. SEE SHEET FOR WALL TYPE CONSTRUCTION.	26. SEE SHEET FOR WALL TYPE CONSTRUCTION.	13. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	13. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
27. SEE SHEET FOR WALL TYPE CONSTRUCTION.	28. SEE SHEET FOR WALL TYPE CONSTRUCTION.	14. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	14. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
29. SEE SHEET FOR WALL TYPE CONSTRUCTION.	30. SEE SHEET FOR WALL TYPE CONSTRUCTION.	15. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	15. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
31. SEE SHEET FOR WALL TYPE CONSTRUCTION.	32. SEE SHEET FOR WALL TYPE CONSTRUCTION.	16. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	16. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
33. SEE SHEET FOR WALL TYPE CONSTRUCTION.	34. SEE SHEET FOR WALL TYPE CONSTRUCTION.	17. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	17. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
35. SEE SHEET FOR WALL TYPE CONSTRUCTION.	36. SEE SHEET FOR WALL TYPE CONSTRUCTION.	18. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	18. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
37. SEE SHEET FOR WALL TYPE CONSTRUCTION.	38. SEE SHEET FOR WALL TYPE CONSTRUCTION.	19. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	19. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
39. SEE SHEET FOR WALL TYPE CONSTRUCTION.	40. SEE SHEET FOR WALL TYPE CONSTRUCTION.	20. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	20. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
41. SEE SHEET FOR WALL TYPE CONSTRUCTION.	42. SEE SHEET FOR WALL TYPE CONSTRUCTION.	21. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	21. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
43. SEE SHEET FOR WALL TYPE CONSTRUCTION.	44. SEE SHEET FOR WALL TYPE CONSTRUCTION.	22. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	22. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
45. SEE SHEET FOR WALL TYPE CONSTRUCTION.	46. SEE SHEET FOR WALL TYPE CONSTRUCTION.	23. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	23. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
47. SEE SHEET FOR WALL TYPE CONSTRUCTION.	48. SEE SHEET FOR WALL TYPE CONSTRUCTION.	24. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	24. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
49. SEE SHEET FOR WALL TYPE CONSTRUCTION.	50. SEE SHEET FOR WALL TYPE CONSTRUCTION.	25. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	25. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
51. SEE SHEET FOR WALL TYPE CONSTRUCTION.	52. SEE SHEET FOR WALL TYPE CONSTRUCTION.	26. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	26. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
53. SEE SHEET FOR WALL TYPE CONSTRUCTION.	54. SEE SHEET FOR WALL TYPE CONSTRUCTION.	27. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	27. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
55. SEE SHEET FOR WALL TYPE CONSTRUCTION.	56. SEE SHEET FOR WALL TYPE CONSTRUCTION.	28. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	28. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
57. SEE SHEET FOR WALL TYPE CONSTRUCTION.	58. SEE SHEET FOR WALL TYPE CONSTRUCTION.	29. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	29. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
59. SEE SHEET FOR WALL TYPE CONSTRUCTION.	60. SEE SHEET FOR WALL TYPE CONSTRUCTION.	30. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	30. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
61. SEE SHEET FOR WALL TYPE CONSTRUCTION.	62. SEE SHEET FOR WALL TYPE CONSTRUCTION.	31. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	31. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
63. SEE SHEET FOR WALL TYPE CONSTRUCTION.	64. SEE SHEET FOR WALL TYPE CONSTRUCTION.	32. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	32. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
65. SEE SHEET FOR WALL TYPE CONSTRUCTION.	66. SEE SHEET FOR WALL TYPE CONSTRUCTION.	33. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	33. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
67. SEE SHEET FOR WALL TYPE CONSTRUCTION.	68. SEE SHEET FOR WALL TYPE CONSTRUCTION.	34. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	34. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
69. SEE SHEET FOR WALL TYPE CONSTRUCTION.	70. SEE SHEET FOR WALL TYPE CONSTRUCTION.	35. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	35. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
71. SEE SHEET FOR WALL TYPE CONSTRUCTION.	72. SEE SHEET FOR WALL TYPE CONSTRUCTION.	36. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	36. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
73. SEE SHEET FOR WALL TYPE CONSTRUCTION.	74. SEE SHEET FOR WALL TYPE CONSTRUCTION.	37. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	37. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
75. SEE SHEET FOR WALL TYPE CONSTRUCTION.	76. SEE SHEET FOR WALL TYPE CONSTRUCTION.	38. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	38. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
77. SEE SHEET FOR WALL TYPE CONSTRUCTION.	78. SEE SHEET FOR WALL TYPE CONSTRUCTION.	39. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	39. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
79. SEE SHEET FOR WALL TYPE CONSTRUCTION.	80. SEE SHEET FOR WALL TYPE CONSTRUCTION.	40. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	40. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
81. SEE SHEET FOR WALL TYPE CONSTRUCTION.	82. SEE SHEET FOR WALL TYPE CONSTRUCTION.	41. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	41. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
83. SEE SHEET FOR WALL TYPE CONSTRUCTION.	84. SEE SHEET FOR WALL TYPE CONSTRUCTION.	42. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	42. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
85. SEE SHEET FOR WALL TYPE CONSTRUCTION.	86. SEE SHEET FOR WALL TYPE CONSTRUCTION.	43. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	43. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
87. SEE SHEET FOR WALL TYPE CONSTRUCTION.	88. SEE SHEET FOR WALL TYPE CONSTRUCTION.	44. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	44. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
89. SEE SHEET FOR WALL TYPE CONSTRUCTION.	90. SEE SHEET FOR WALL TYPE CONSTRUCTION.	45. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	45. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
91. SEE SHEET FOR WALL TYPE CONSTRUCTION.	92. SEE SHEET FOR WALL TYPE CONSTRUCTION.	46. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	46. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
93. SEE SHEET FOR WALL TYPE CONSTRUCTION.	94. SEE SHEET FOR WALL TYPE CONSTRUCTION.	47. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	47. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
95. SEE SHEET FOR WALL TYPE CONSTRUCTION.	96. SEE SHEET FOR WALL TYPE CONSTRUCTION.	48. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	48. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
97. SEE SHEET FOR WALL TYPE CONSTRUCTION.	98. SEE SHEET FOR WALL TYPE CONSTRUCTION.	49. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	49. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.
99. SEE SHEET FOR WALL TYPE CONSTRUCTION.	100. SEE SHEET FOR WALL TYPE CONSTRUCTION.	50. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.	50. CONCRETE FLOOR FINISH. SEE AIA FOR DETAILS.

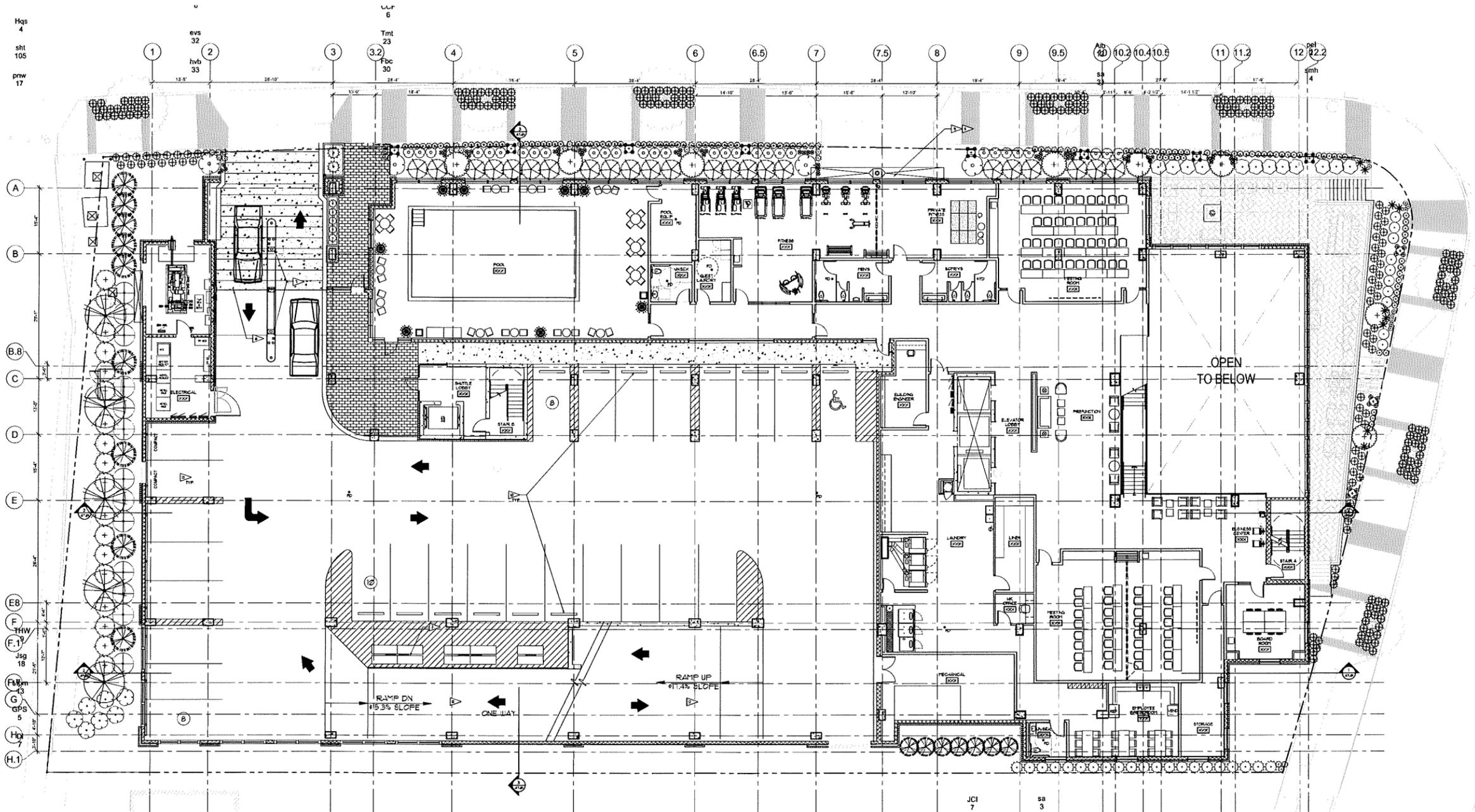
PROJECT: 19 STREET - MIXED USE DEVELOPMENT  
 19 STREET  
 MADISON, WISCONSIN 53705

DESIGNER: CITY STREET LODGING ASSOCIATES, LLC  
 CIVIL ENGINEER: C/O RAYMOND MANAGEMENT COMPANY  
 19 STREET  
 MADISON, WISCONSIN 53705

PROJECT: 201513  
 DRAWN BY: BLM  
 DATE: 02-12-2016  
 SCALE: AS NOTED

DATE: 12-16-2016  
 LINDA: 01-28-2017  
 CITY: 03-01-2017

GROUND FLOOR PLAN  
 A2.00



**FLOOR PLAN**  
**FIRST FLOOR**  
 12' x 17' 6"

GENERAL PLAN NOTES		KEY NOTES	
1. ALL OPENINGS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.	1. EXTERIOR OPENINGS ARE TO FACE OF EXTERIOR BUILDING FACE.	1. DESIGNATIVE CONCRETE FINISH BY AND 60' HEAT.	1. DESIGNATIVE CONCRETE FINISH BY AND 60' HEAT.
2. DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.	3. DIMENSIONS SHALL NOT TAKE INTO ACCOUNT THE VARYING LAYER/DEPTH OF CONCRETE. SQUARE UP TO ADJACENT WALL TYPES AS NOTED.	2. BAKE PARKING DOOR. SEE ALSO FOR DETAILS.	2. BAKE PARKING DOOR. SEE ALSO FOR DETAILS.
3. DIMENSIONS SHALL NOT TAKE INTO ACCOUNT THE VARYING LAYER/DEPTH OF CONCRETE. SQUARE UP TO ADJACENT WALL TYPES AS NOTED.	4. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	3. JACKLAMP SIGN. SEE ALSO FOR DETAILS.	3. JACKLAMP SIGN. SEE ALSO FOR DETAILS.
4. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	5. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	4. JACKLAMP AREA BELOW FIRST FLOOR.	4. JACKLAMP AREA BELOW FIRST FLOOR.
5. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	6. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	5. POOL ACCESS.	5. POOL ACCESS.
6. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	7. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	6. HIGH SPEED HEAD DOOR.	6. HIGH SPEED HEAD DOOR.
7. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	8. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	7. DOOR ACCESS CONTROL SYSTEM.	7. DOOR ACCESS CONTROL SYSTEM.
8. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	9. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	8. ELEVATED TERRACE BY STAIR W/ WATER RETENTION PER CIVIL DRAWING.	8. ELEVATED TERRACE BY STAIR W/ WATER RETENTION PER CIVIL DRAWING.
9. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	10. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	9. CANOPY SIGN.	9. CANOPY SIGN.
10. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	11. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	10. SHELTER SIGN FOR AIR.	10. SHELTER SIGN FOR AIR.
11. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	12. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	11. BALLASTED BLACK EPDM OVER 1/4" POLY BIT.	11. BALLASTED BLACK EPDM OVER 1/4" POLY BIT.
12. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	13. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	12. CONCRETE SPEED RAMP W/ TRAVEL ON AT TOP 1 SECTION.	12. CONCRETE SPEED RAMP W/ TRAVEL ON AT TOP 1 SECTION.
13. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	14. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	13. CONTACT PARKING STALL SIZE VARIES IN WIDTH. ALL ARE GREATER THAN 8'-0" IN BOTH 1 & 2' DEEP.	13. CONTACT PARKING STALL SIZE VARIES IN WIDTH. ALL ARE GREATER THAN 8'-0" IN BOTH 1 & 2' DEEP.
14. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	15. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	14. PAINTED ALUMINUM TRILLS.	14. PAINTED ALUMINUM TRILLS.
15. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	16. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	15. TECHNICAL UNIT W/ ALUMINUM BOREN.	15. TECHNICAL UNIT W/ ALUMINUM BOREN.
16. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	17. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	16. OUTLINE OF HOTEL SIGNATURE ABOVE.	16. OUTLINE OF HOTEL SIGNATURE ABOVE.
17. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	18. SEE SHEET FOR FINISH SCHEDULES OF SPECIFIC AREAS.	17. MINIMUM 1" TALL CONCRETE PLANTERS W/ 1" BURNISHED FIBER 4" x 4" 12" DEEP. LOCATION AND THIS SIGN IS TO BE COORDINATED W/ CORNER AND ARCHITECT.	17. MINIMUM 1" TALL CONCRETE PLANTERS W/ 1" BURNISHED FIBER 4" x 4" 12" DEEP. LOCATION AND THIS SIGN IS TO BE COORDINATED W/ CORNER AND ARCHITECT.

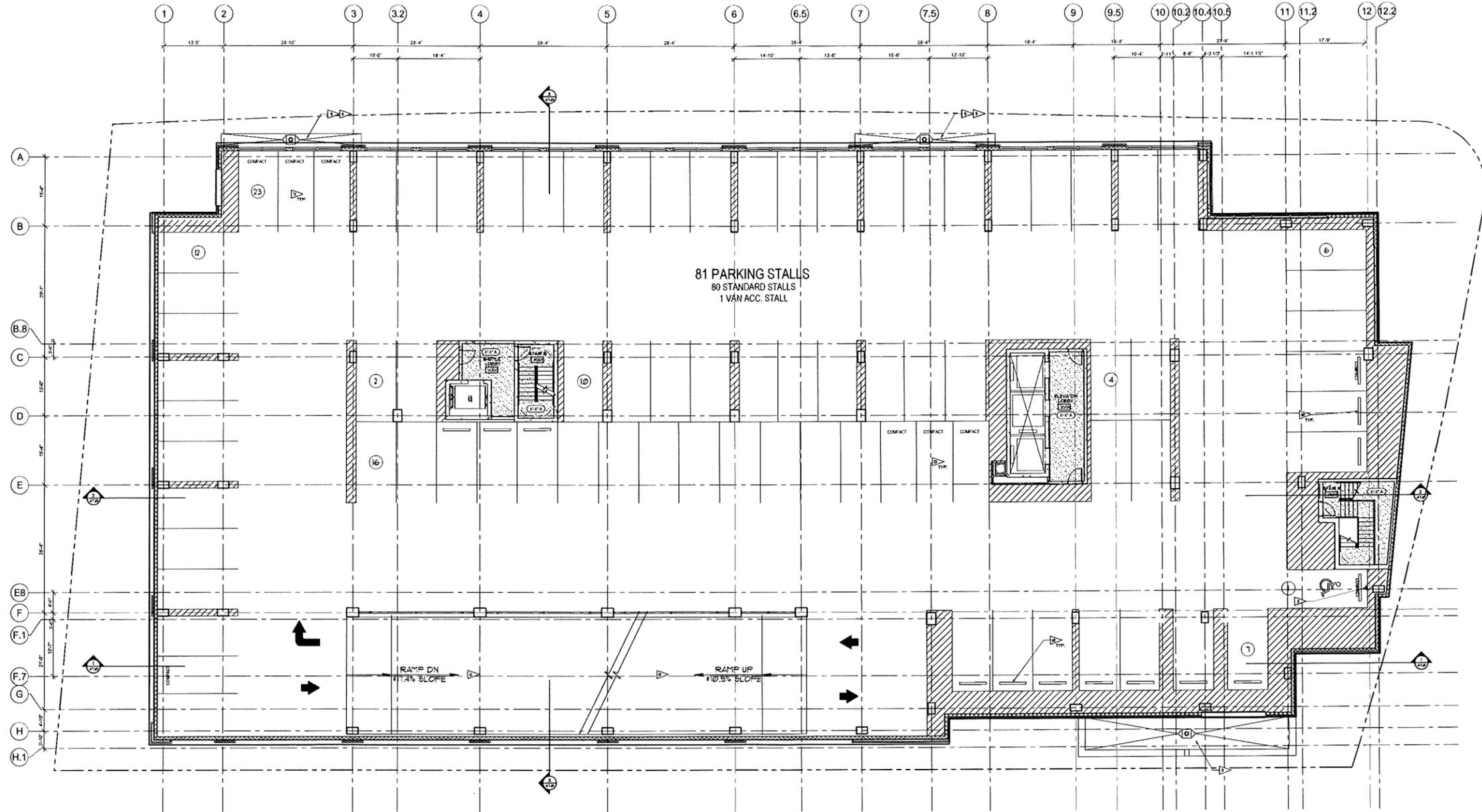
**PROJECT:** FREY STREET - MIXED USE DEVELOPMENT  
**401 FREY STREET**  
**MADISON, WISCONSIN 53706**

**DESIGNED BY:** FREY STREET LODGING ASSOCIATES, LLC  
**MANAGED BY:** C/O RAYMOND MANAGEMENT COMPANY

**PROJECT:** 201523  
**DATE:** 07-10-2016  
**SCALE:** 1/8" = 1'-0"  
**DATE:** 08-08-2017  
**CITY:** MADISON, WI

**FIRST FLOOR PLAN**

**A2.01**



**FLOOR PLAN  
 SECOND FLOOR**  
 1/8" = 1'-0"

GENERAL PLAN NOTES		KEY NOTES	
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.	2. EXTERIOR FINISHES ARE TO FACE OF EXTERIOR WALLING FOR CONCRETE AND TO FACE OF CURB FOR ASPHALT DRIVEWAYS.	1. DECORATIVE CONCRETE FINISH AND 4" AT LEAST.	2. BASE PARKING DOOR. SEE A-10 FOR DETAILS.
3. DIMENSIONS DO NOT TAKE INTO ACCOUNT THE VERTICAL SETBACK OF CURBSIDE WALLS TO ACHIEVE LEVEL WALL TYPES ADJACENT TO SIDE WALKS TO ACHIEVE CLEARANCE FROM CURB.	4. SEE 3RD FLOOR FOR DIMENSIONS OF SPECIFIC AREAS.	3. HANGUP SIGN. SEE A-10 FOR DETAILS.	4. INDICATED AREA IS BELOW FLOOR.
5. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	6. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	5. POOL ABOVE.	5. POOL ABOVE.
7. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	8. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	6. HIGH SPEED HEAD DOOR.	6. HIGH SPEED HEAD DOOR.
9. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	10. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	7. DOOR ACCESS CONTROL SYSTEM.	7. DOOR ACCESS CONTROL SYSTEM.
11. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	12. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	8. ELEVATED TERRACE BY STORM WATER RETENTION ON PER CIVIL DRAWING.	8. ELEVATED TERRACE BY STORM WATER RETENTION ON PER CIVIL DRAWING.
13. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	14. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	9. CANOPY BELO.	9. CANOPY BELO.
15. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	16. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	10. BASE, POOL PER A-10.	10. BASE, POOL PER A-10.
17. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	18. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	11. BALLASTED BLACK BISHOP DIES 4" DIA. OF POLY BLD.	11. BALLASTED BLACK BISHOP DIES 4" DIA. OF POLY BLD.
19. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	20. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	12. CONCRETE SPEED RAMP W/ TRANSITION AT TOP & BOTTOM.	12. CONCRETE SPEED RAMP W/ TRANSITION AT TOP & BOTTOM.
21. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	22. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	13. CONCRETE SPEED RAMP W/ TRANSITION AT TOP & BOTTOM. ALL ARE GREATER THAN 1/4" IN WIDTH & 1/4" IN DEPTH.	13. CONCRETE SPEED RAMP W/ TRANSITION AT TOP & BOTTOM. ALL ARE GREATER THAN 1/4" IN WIDTH & 1/4" IN DEPTH.
23. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	24. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	14. PAINTED ALUMINUM TRAILS.	14. PAINTED ALUMINUM TRAILS.
25. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	26. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	15. MECHANICAL INT. W/ ALUMINUM SCREEN.	15. MECHANICAL INT. W/ ALUMINUM SCREEN.
27. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	28. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	16. OUTLINE OF NOTE. TAKE ABOVE.	16. OUTLINE OF NOTE. TAKE ABOVE.
29. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	30. SEE SHEET A-20 FOR WALL TYPE CONSTRUCTION.	17. ALL PARKING STALLS EXCEPT 1 VAN ACC. STALL TO BE CONFORMED TO ADA AND ARCHITECT.	17. ALL PARKING STALLS EXCEPT 1 VAN ACC. STALL TO BE CONFORMED TO ADA AND ARCHITECT.

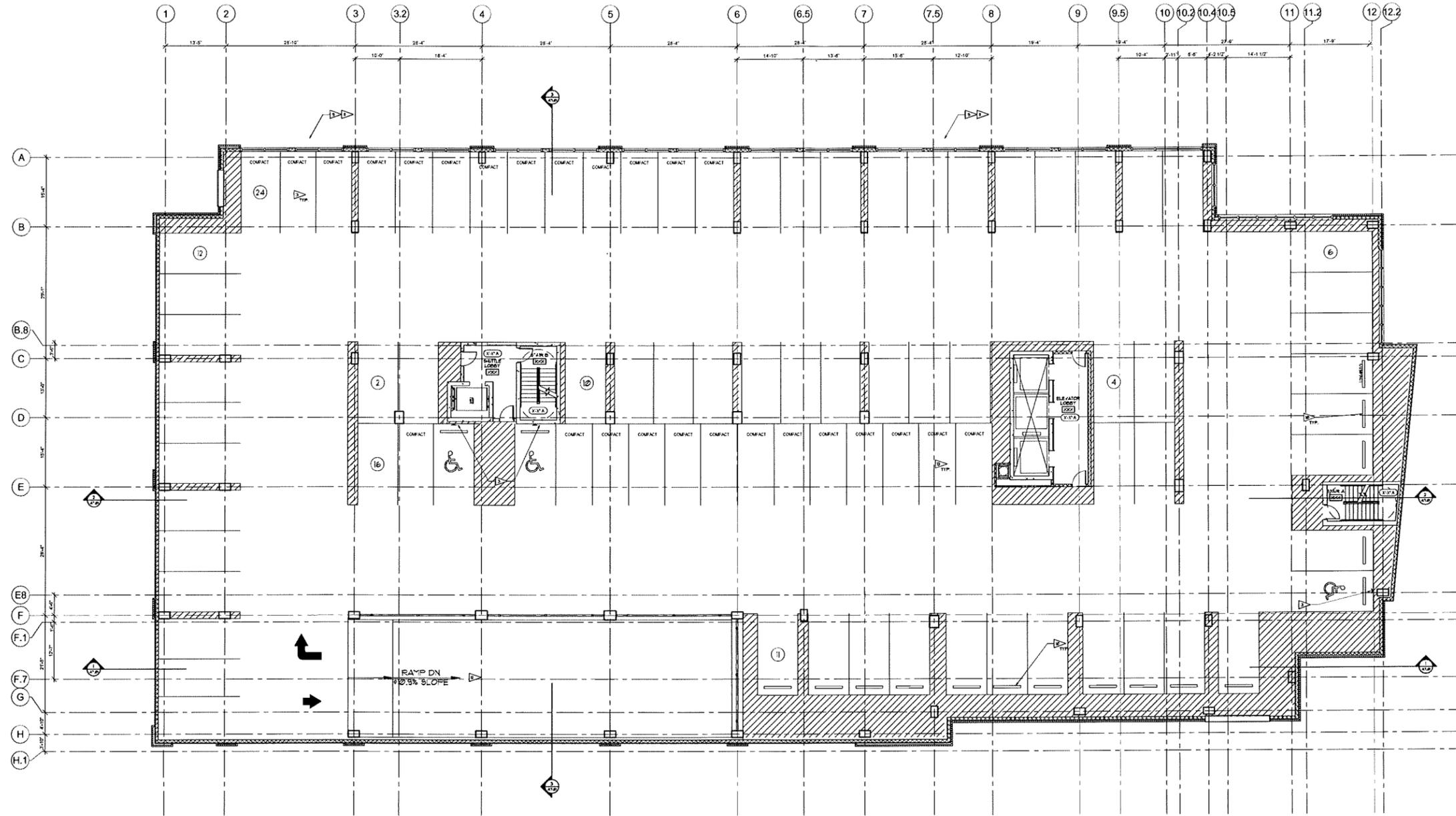
**PROJECT:** FREY STREET - MIXED USE DEVELOPMENT  
 4011 FREY STREET  
 MADISON, WISCONSIN 53705

**CLIENT:** FREY STREET LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 1001 GREENWAY BOULEVARD  
 MADISON, WISCONSIN 53705

**PROJECT:** 20155  
**DESIGNED BY:** GBL  
**DATE:** 12-10-2016  
**SCALE:** AS NOTED

**DATE:** 1-8-2016  
**LAW FIRM:** GBL  
**CITY OFFICIAL:** GBL

**SECOND FLOOR PLAN**  
**A2.02**



**FLOOR PLAN  
 THIRD FLOOR**  
 1/8" = 1'-0"

- GENERAL PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
  2. DIMENSION DIMENSIONS ARE TO FACE OF MEMBER BEARING FOR DIMENSIONAL BUCKLE DO NOT TAKE INTO ACCOUNT THE VARYING LAYOUT OF DIMENSIONAL BUCKLE TO ACHIEVE UNIFORM TYPES ADJUSTMENT.
  3. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  4. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  5. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  6. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  7. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  8. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  9. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
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  12. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  13. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  14. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  15. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  16. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  17. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  18. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  19. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  20. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  21. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  22. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  23. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
  24. SEE 9-BET RAMP FOR WALL TYPE CONSTRUCTION.
- PLAN SYMBOLS**
- D WALL-POURED FINE EXTERIOR FINISH 4.5 BARS, 8" IN NOMINAL CAPACITY WITH TYPICAL BRACKET BY LUMBER MANUFACTURING COMPANY, OR APPROVED EQUAL.
  - ALL INTERIOR FINE EXTERIOR FINISH CABINET FINISH, NO TAMPED AND FINE EXTERIOR FINISH 4.5 BARS, 8" IN NOMINAL CAPACITY BY LUMBER MANUFACTURING COMPANY, OR APPROVED EQUAL.
  - INDICATES WALL TYPE REFER TO DRAWING AT 1/8" FOR WALL TYPE CONSTRUCTION.
  - FLOOR DRAIN
  - STAIR LEADER REFER TO PLANNING DRAWING
  - DOOR TYPE REFER TO DRAWING AND/OR DOOR AND FRAME OPENING SCHEDULE
  - DOOR INTERIOR OPENING NUMBER REFER TO DRAWING AND/OR DOOR AND INTERIOR OPENING SCHEDULE

- KEY NOTES**
- DECLINING CONCRETE PLANS W/ BOLD AT HEAD.
  - BIKE PARKING DOOR. SEE 9-BET FOR DETAILS.
  - HATCHING FOR. SEE 9-BET FOR DETAILS.
  - INDICATED AREA BELOW FIRST FLOOR.
  - POOL ABOVE.
  - HIGH SPEED HEAD DOOR.
  - DOOR ACCESS CONTROL. 811/211.
  - ELEVATED TERRACE W/ FORMATION RETENT ON PER CIVIL DRAWING.
  - CANOPY BEACON.
  - WHEEL STOP PER AIA.
  - DALLIATED BLACK EPDM OVER 4" POLY ISO.
  - CONCRETE SPEED RAMP UP TRANSITION AT TOP OF RAMP.
  - CONCRETE SPEED RAMP DOWN TRANSITION AT TOP OF RAMP.
  - PAINTED ALUMINUM TRILLS.
  - MECHANICAL UNIT W/ ALUMINUM BORDER.
  - CUTLINE OF NOTES. NUMBER ABOVE.
  - ANY OTHER WALL CONSTRUCTION PLANNED BY US IS SHOWN WITH A "P" IN THE PLAN LOCATION AND THIS IS TO BE CONFORMED TO A SHOWN AND ARCHITECT.

PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**  
 401 ERY STREET  
 MADISON, WISCONSIN 53705

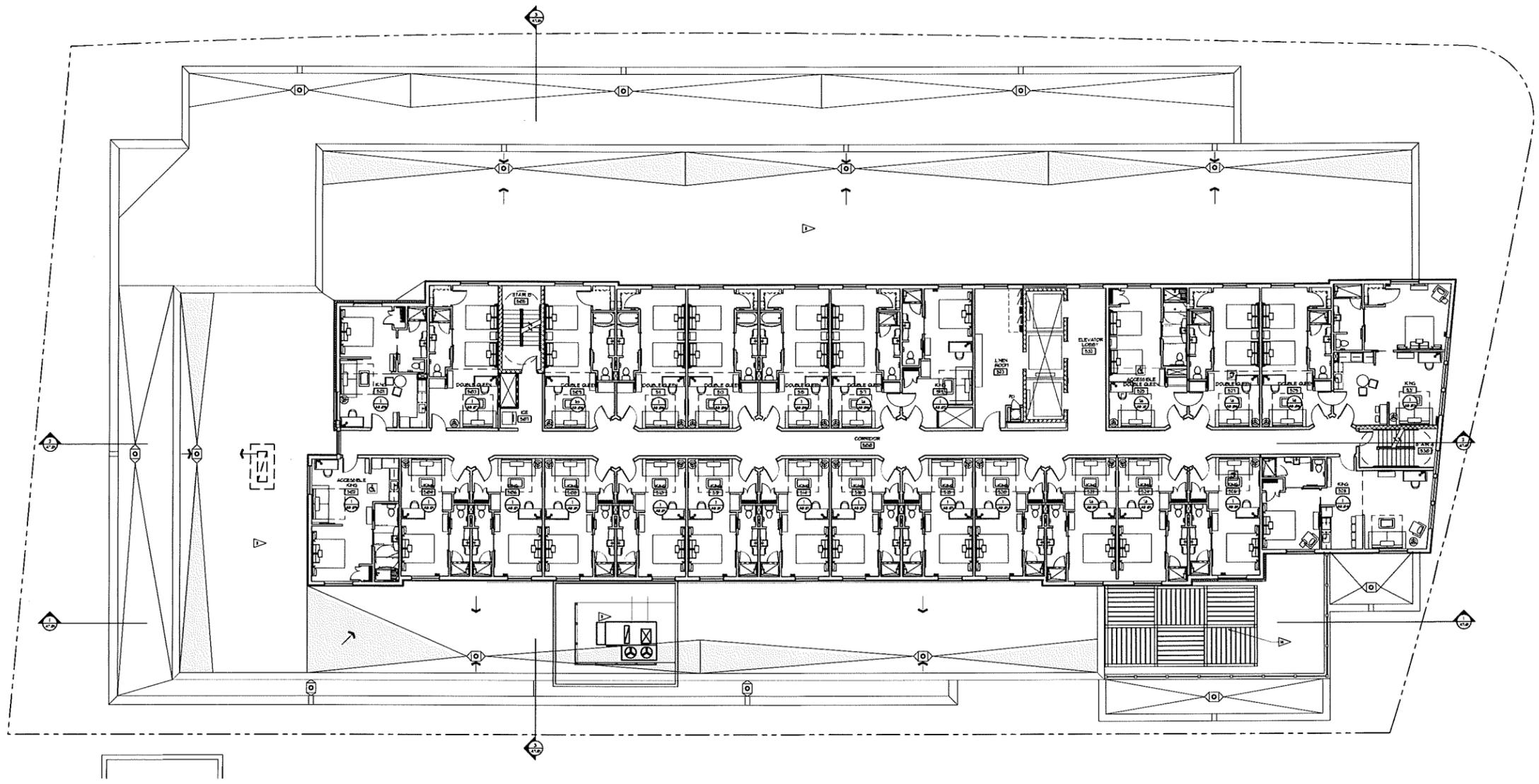
DESIGNED BY: **FREY STREET LODGING ASSOCIATES, LLC**  
 C/O RAYMOND MANAGEMENT COMPANY  
 1000 GREENWAY SQUARE  
 MADISON, WI 53704

PROJECT: 201325  
 DRAWN BY: BLM  
 DATE: 10-10-2016  
 SCALE: AS NOTED  
 SHEET: 138-204  
 LAYOUT: 138-204  
 CITY: MADISON, WI 53704

**THIRD FLOOR PLAN**

**A2.03**





**FIFTH FLOOR PLAN**  
 1/8" = 1'-0"

**GENERAL PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. EXTERIOR DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. DIMENSIONS SHALL NOT VARY FROM THE VARIOUS LAYOUTS OF THE DRAWINGS. TO AVOID CONFLICTS, THE LATEST DRAWING SHALL TAKE PRECEDENCE OVER PREVIOUS DRAWINGS.
4. SEE THE PLAN FOR DIMENSIONS OF SPECIFIC AREAS.
5. SEE SHEET 5.01 FOR WALL TYPE CONSTRUCTION.
6. SEE SHEET 5.02 FOR WALL TYPE CONSTRUCTION.
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100. SEE SHEET 5.96 FOR WALL TYPE CONSTRUCTION.

**KEY NOTES**

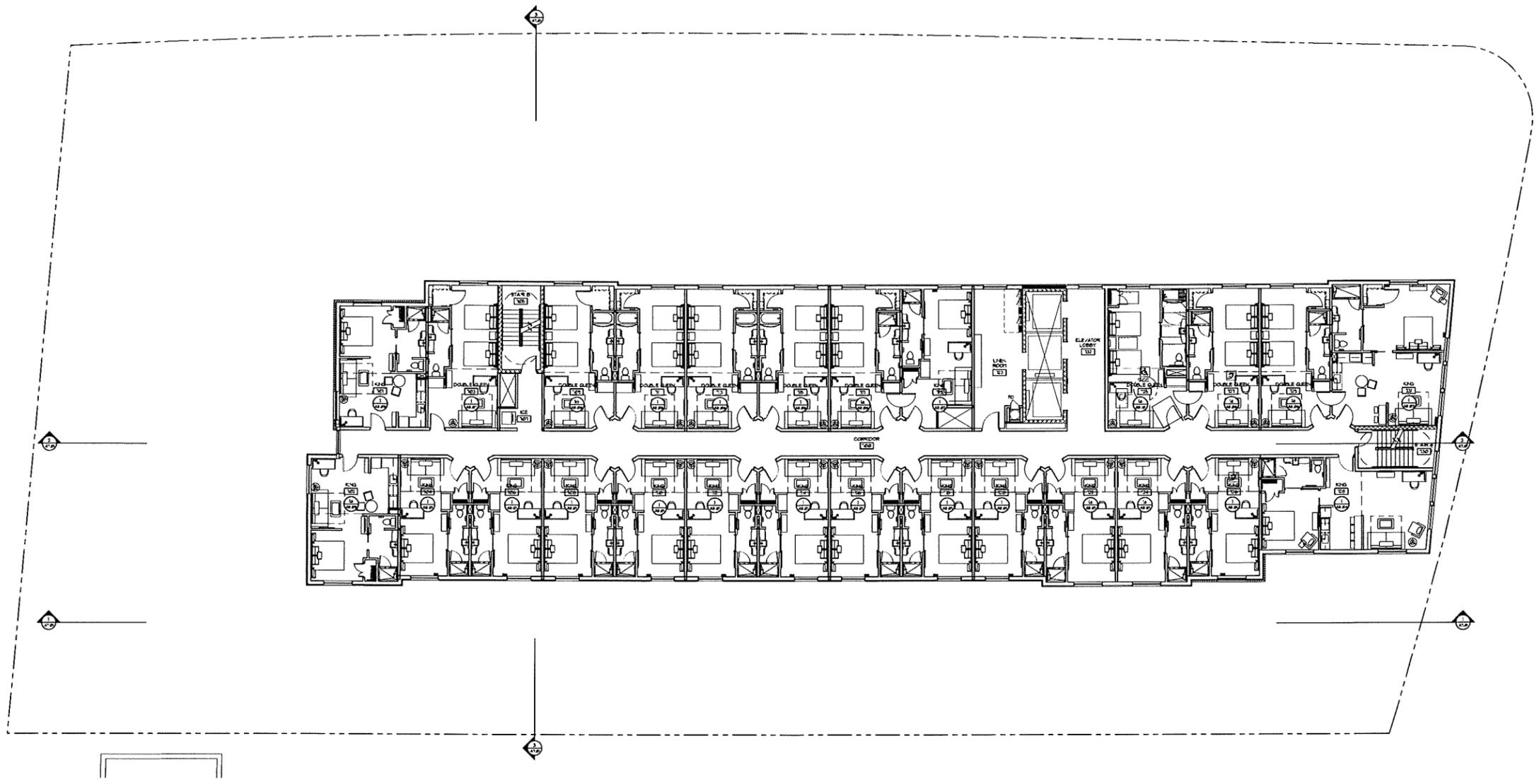
- DESIGNATIVE CONCRETE FINISH & AC AT HEAD
- SEE SHEET 5.01 FOR DETAILS
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**PROJECT:** GREY STREET - MIXED USE DEVELOPMENT  
 401 GREY STREET  
 MADISON, CONNECTICUT 06448

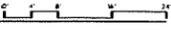
**CLIENT:** GREY STREET LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 100 STATE STREET, SUITE 200  
 MADISON, CT 06448

**PROJECT:** 211513  
**DRAWN BY:**  
**DATE:** AS NOTED  
**SCALE:** 1/8" = 1'-0"  
**DATE:** 05-28-2014  
**DATE:** 05-28-2014  
**CITY:** MADISON, CT





**7TH FLOOR PLAN**  
 1/8" = 1'-0"



- GENERAL PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE OF 3/4" UNLESS NOTED OTHERWISE.
  2. EXTERIOR OPERATIONS ARE TO FACE OF EXTERIOR BRICKING OR DAMPPROOFING. DO NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF EXTERIOR WALL. SQUARE TO FINISH UNLESS NOTED OTHERWISE. STAY FACE AS NECESSARY TO ACHIEVE SMOOTH FINISH LINE.
  3. SEE THE PLANS FOR DIMENSIONS OF SPECIFIC AREA.
  4. SEE SHEET 2030 FOR WALL TYPE CONSTRUCTION.
  5. SEE THE FINISH SCHEDULE. ALL SHALL BE COATED OVER BY ADDITIONAL 1/2" GYP. ALL SHALL BE PAINTED. SUBSTITUTE 1/2" TYPE OF CERAMIC TILE SETTING IN FINE SETTING. IF NECESSARY, WHERE GULL TRAYS WILL CONTRIBUTE TO BUILDING BEING IN THE DRY.
  6. SEE SHEET 2030 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
  7. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM FINISHES INCLUDING OCCUPANCY RATES IN ALL REQUIRED ASSEMBLY ROOMS.
  8. UNLESS NOTED ON 3-DRAW OTHERWISE, ALL DOORS ARE TO BE LOCATED AT FRONT ADJACENT WALL.
- PLAN SYMBOLS**
- WALL-MOUNTED FIRE EXTINGUISHER 4.4 B.C.D. 10-1/2" HEIGHT. CAPACITY 10 POUNDS. BRACKET BY LARGEST MANUFACTURING COMPANY, OR APPROVED EQUAL.
  - FULLY-ANCHORED FINE EXTINGUISHER CARRIER. FLOOR 100 LBS. NET WEIGHT. 10-1/2" HEIGHT. 4.4 B.C.D. 10-1/2" HEIGHT. CAPACITY 10 POUNDS. BRACKET BY LARGEST MANUFACTURING COMPANY, OR APPROVED EQUAL.
  - INDICATES WALL TYPE REFER TO DRAWING AS TO FOR WALL TYPE CONSTRUCTION.
  - FLOOR DRAIN
  - ROOM LEADER REFER TO PLUMBING SCHEDULE
  - DOOR TYPE REFER TO DRAWING AS FOR ROOM DOOR AND INTERIOR OPENING SCHEDULE
  - DOOR INTERIOR OPENING REFER TO DRAWING AS FOR DOOR AND INTERIOR OPENING SCHEDULE

- KEY NOTES**
- DECORATIVE CONCRETE FINISH W/ AND AT HEAT.
  - SEE FINISH SCHEDULE. SEE ALSO FOR DETAILS.
  - INDICATED AREA BELOW FIRST FLOOR.
  - POOL ABOVE.
  - HIGH SPEED HEAD DOOR.
  - DOOR ACCESS CONTROL SYSTEM.
  - ELEVATED ENTRANCE W/ SPORT WATER RETENTION ON PER CIVIL DRAWING.
  - CANOPY RE-GL.
  - WALL STOP PER PLAN.
  - BALLASTED BLACK EPDM OVER 4" POLY OF POLY ISO.
  - CONCRETE SPEED RAMP W/ TRANSIT ON AT TOP 1 BOTTOM.
  - COMPACT BARRIERS SHALL BE 4" HIGH. ALL ARE GREATER THAN 4" IN WIDTH & 18" AT TOP.
  - PAINTED ALUMINUM WALLS.
  - MECHANICAL SHUTTER ALUMINUM SCREEN.
  - OUTLINE OF HOTEL TOUR ABOVE.
  - REPAIR ON 100% OPPOSITE PLASTER IS TO BE COMPLETED AS A PART OF THIS LOCATION AND THIS IS TO BE COMPLETED BY OWNER AND ARCHITECT.

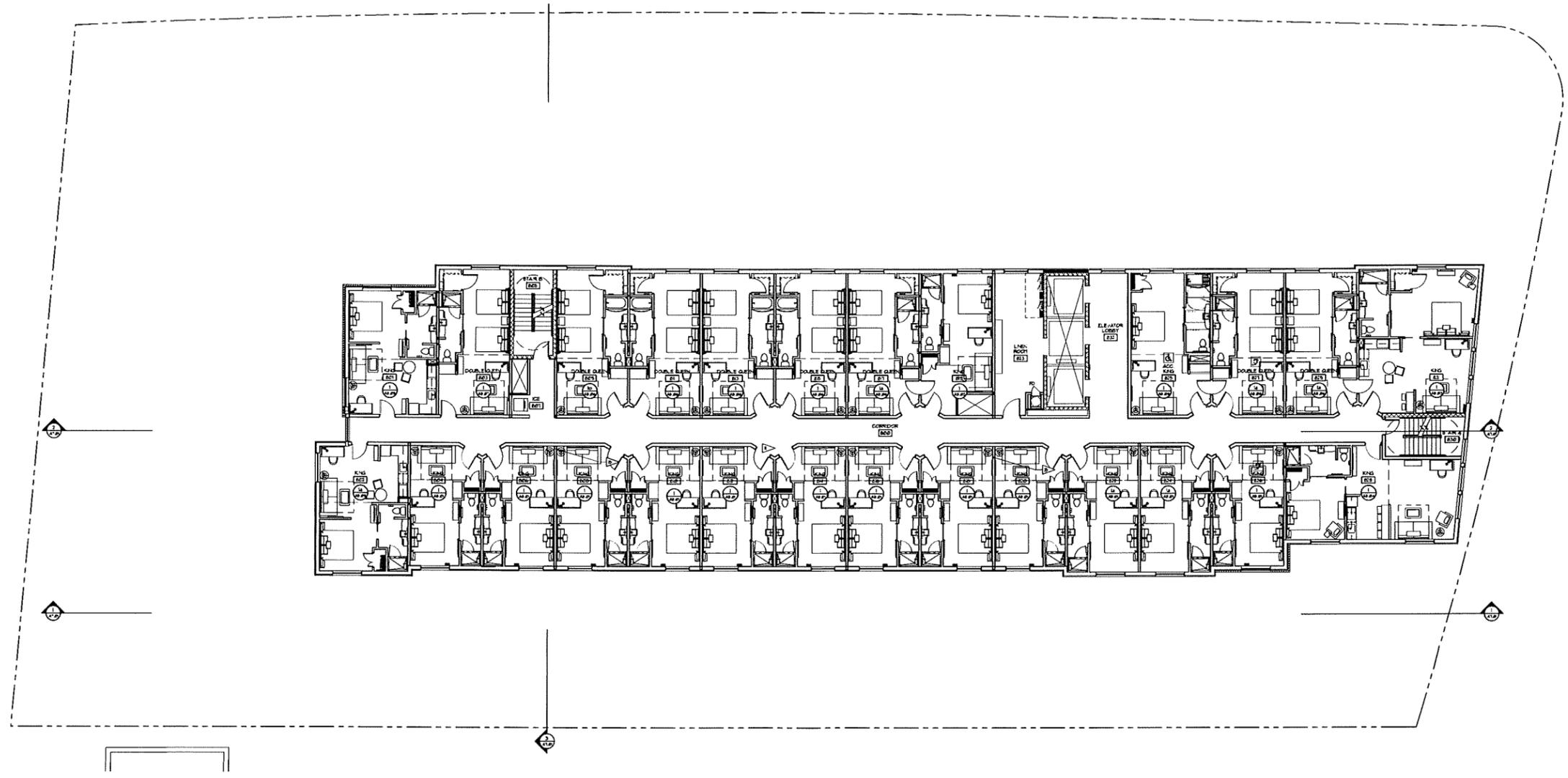
PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**  
 400 FREY STREET  
 MADISON, WISCONSIN 53703

CLIENT: **FREY STREET LODGING ASSOCIATES, LLC**  
 C/O RAYMOND MANAGEMENT COMPANY  
 1000 MONROE AVENUE  
 MADISON, WI 53703

PROJECT: 201313  
 DRAWN BY: BLM  
 DATE: 01-30-2018  
 SCALE: AS NOTED

DATE: 01-30-2018  
 LINDA  
 CITY ARCHITECT 01-30-2018

**7TH FLOOR PLAN**  
**A2.07**



**8TH FLOOR PLAN**  
 1/8" = 1'-0"

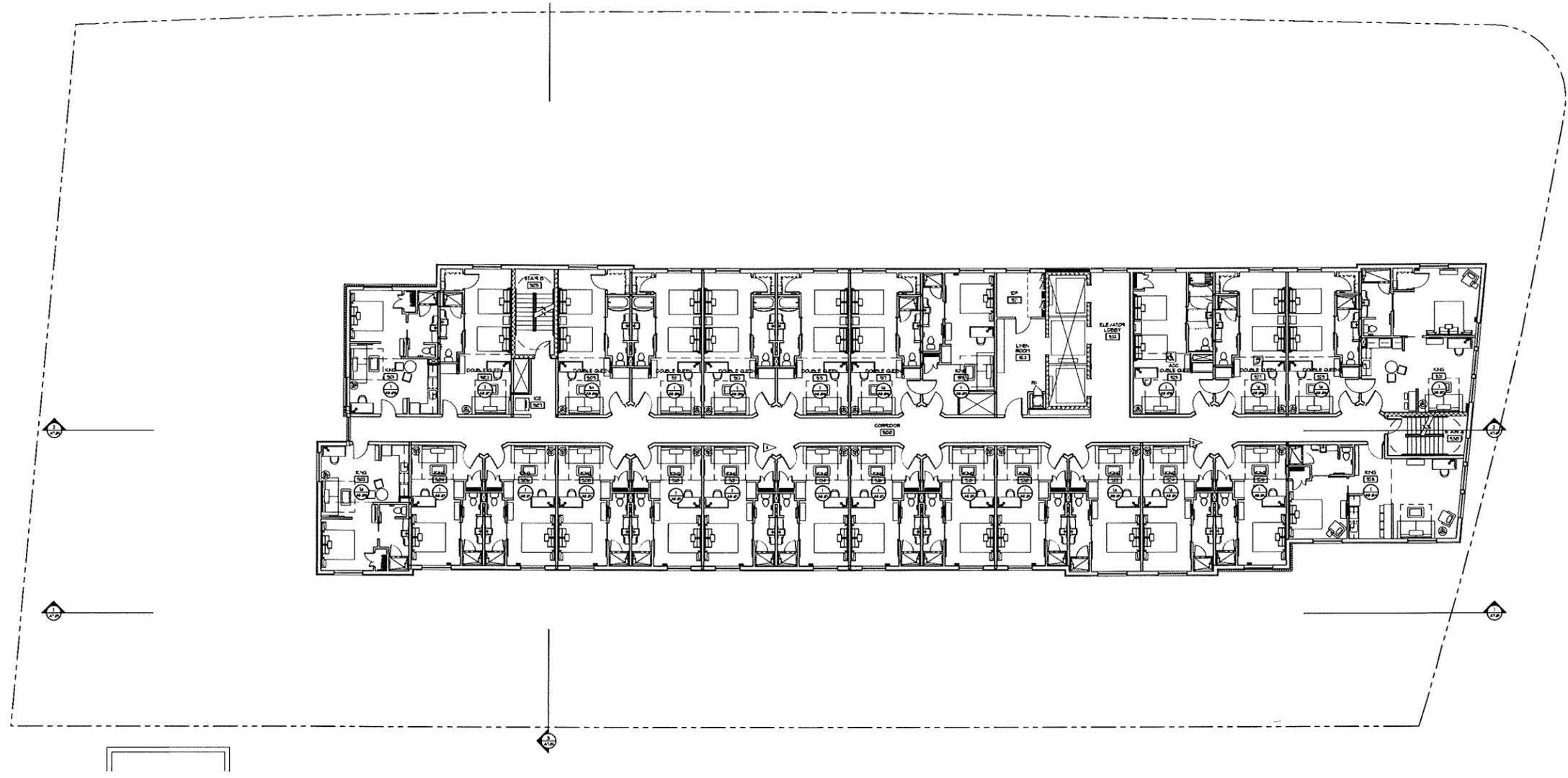
- GENERAL PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
  2. EXTERIOR CONDITIONS ARE TO FACE OF EXTERIOR FINISHING FOR DIMENSIONS UNLESS NOTED OTHERWISE.
  3. DIMENSIONS SHALL NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF CONCRETE(S) SLAB(S). TO AVOID LISTED WALL TYPES AND SETOFFS, FIELD SHALL BE NECESSARY TO ACHIEVE UNIFORM FINISH LINE.
  4. SEE ALL PLAN FOR DIMENSIONS OF SPECIFIC AREAS.
  5. SEE SHEET ALSO FOR WALL TYPE CONSTRUCTION.
  6. WALL, WINDOW, AND DOOR TYPES SHALL BE COVERED OVER BY ADDITIONAL 5/8" WALL, WINDOW, AND DOOR TYPES 5/8" TYPE 3 CONCRETE SHEATHING IN FINISHED WALL, WINDOW, AND DOOR TYPES. SEE ALL WALL TYPES ALL CONTACT PRIOR TO BUILDING BEING IN THE DIST.
  7. SEE SHEET FOR WALL FINISHES. FINISHES ARE NOT TO BE ON THESE PLANS FOR CLARITY.
  8. OPEN WALL FINISHES ALL OTHER REQUIRED FINISHES INCLUDING OCCUPANT FINISHES ARE ALL REQUIRED UNLESS NOTED OTHERWISE.
  9. UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4 FEET ADJACENT WALL.

- KEY NOTES**
- ▷ DECORATIVE CONCRETE FINISHES AND AC FINISH.
  - ▷ BMS PARKING DOCK. SEE ALSO FOR DETAILS.
  - ▷ HANDICAP SIGN. SEE ALSO FOR DETAILS.
  - ▷ INDICATED AREA BELOW FIRST FLOOR.
  - ▷ POOL ABOVE.
  - ▷ HIGH SPEED HEAD DOOR.
  - ▷ DOOR ASSEMBLY CONTROL SYSTEM.
  - ▷ ELEVATED TERRACE WITH WATER RETENTION PER CIVIL DRAWING.
  - ▷ CANOPY BELOW.
  - ▷ ASSESS STOP PER AREA.
  - ▷ BALLASTED BLACK TOP OVER 4" MIN OF POLY 50.
  - ▷ CONCRETE FINISHES OVER 4" MIN OF POLY 50.
  - ▷ COPPER FINISHES SHALL BE FINISHES IN LOTS. ALL ARE GREATER THAN 4" IN WIDTH X 8" DEEP.
  - ▷ FINISHED ALUMINUM FINISHES.
  - ▷ TECHNICAL DATA ALPHABET SCREEN.
  - ▷ COLOR OF NOTE YOUR ABOVE.
  - ▷ UNLESS NOTED OTHERWISE, ALL FINISHES SHALL BE FINISHED WITH A 1/2" OF POLY FILL LOCATION AND TYPED TO BE COORDINATED WITH OWNER AND ARCHITECT.

PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**  
 400 FREY STREET  
 MEMPHIS, TENNESSEE 38103  
 PROJECT MANAGER: **JOHN RAYMOND**  
 PROJECT ARCHITECT: **JOHN RAYMOND**

PROJECT: 201523  
 DRAWN BY: BLM  
 DATE: 11-20-2016  
 SCALE: AS NOTED

WORK SHEET: 11-20-2016  
 LINDA: 11-20-2016  
 CITY: MEMPHIS, TN 38103



**9TH FLOOR PLAN**  
 1/8" = 1'-0"

- GENERAL PLAN NOTES**
1. ALL OPENING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
  2. EXTENSION OPERATIONS ARE TO FACE OF EXISTING BUILDING FOR CONSTRUCTION IN PLAN DO NOT TAKE INTO ACCOUNT THE VARYING LATENESS OF EXISTING WALL, ROOF, TO ABOVE LEVEL TO TYPE ADJUST CORRECT STUD FACE AS NECESSARY TO ACHIEVE WORKMAN PROXIMITY
  3. SEE W/ PLAN FOR DIMENSIONS OF SPECIFIC AREAS
  4. SEE W/ PLAN FOR WALL TYPE CONSTRUCTION
  5. SEE W/ PLAN FOR WALL TYPE CONSTRUCTION
  6. UNLESS NOTED OTHERWISE, ALL SHALL BE COVERED OVER BY ADDITIONAL STUD WALL. FINISHING DISTANCE 3" BY TYPE OF DEMOLITION BEARING IN THE EXISTING WALL. ASSEMBLY, IF NECESSARY, SHALL BE PERFORMED ALL CONTINUE FROM TO BUILDING BEING IN THE DIST.
  7. SEE W/ PLAN TO DETERMINE BATHING AREAS NOT SHOWN ON THESE PLANS FOR CLARITY
  8. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SCHEDULE INCLUDING OCCUPANCY FROM IN ALL REQUIRED ASSEMBLY ROOMS
  9. WALLS NOTED OR BATHING OTHERWISE, ALL DOORS ARE TO BE LOCATED 4' FROM ADJACENT WALL

- KEY NOTES**
- 1. DECORATIVE CONCRETE FINISH 6" MIN. AT HEIGHT
  - 2. BIKE PARKING DOOR. SEE PLAN FOR DETAILS
  - 3. JACOBIAP ROOM. SEE PLAN FOR DETAILS
  - 4. MECHANICAL AREA BELOW FIRST FLOOR
  - 5. FLEX AREA
  - 6. HIGH SPEED HEAD DOOR
  - 7. DOOR ACCESS CONTROL SYSTEM
  - 8. ELEVATED TERRACE 6' FROM WATER ENTRY ON PER CIVIL DRAWING
  - 9. GARAGE BELOW
  - 10. WHEEL STOP PER PLAN
  - 11. BALLASTED BLACK EPDM OVER 1/2" MIN. OF POLY 80
  - 12. CONCRETE SPEED RAMP W/ TRANSITION AT TOP & BOTTOM
  - 13. CONTACT PARKING SHALL RISE VERTICAL 6" WITH. ALL ARE GREATER THAN 8" IN WIDTH & 18" DEEP
  - 14. PAINTED ASPHALT TELLER
  - 15. MECHANICAL W/ W/ SUPPLY ROOMS
  - 16. OUTLINE OF HOTEL TOWER ABOVE
  - 17. MECHANICAL TELLER CONCRETE FINISH W/ 1/2" MIN. OF POLY 80. SEE CIVIL LOCATION AND THIS SIZE TO BE LOCATED TO 6' CLEAR AND PROTECT

**PROJECT:** FREY STREET - MIXED USE DEVELOPMENT  
 1000 E. FREY STREET, MADISON, WISCONSIN 53705

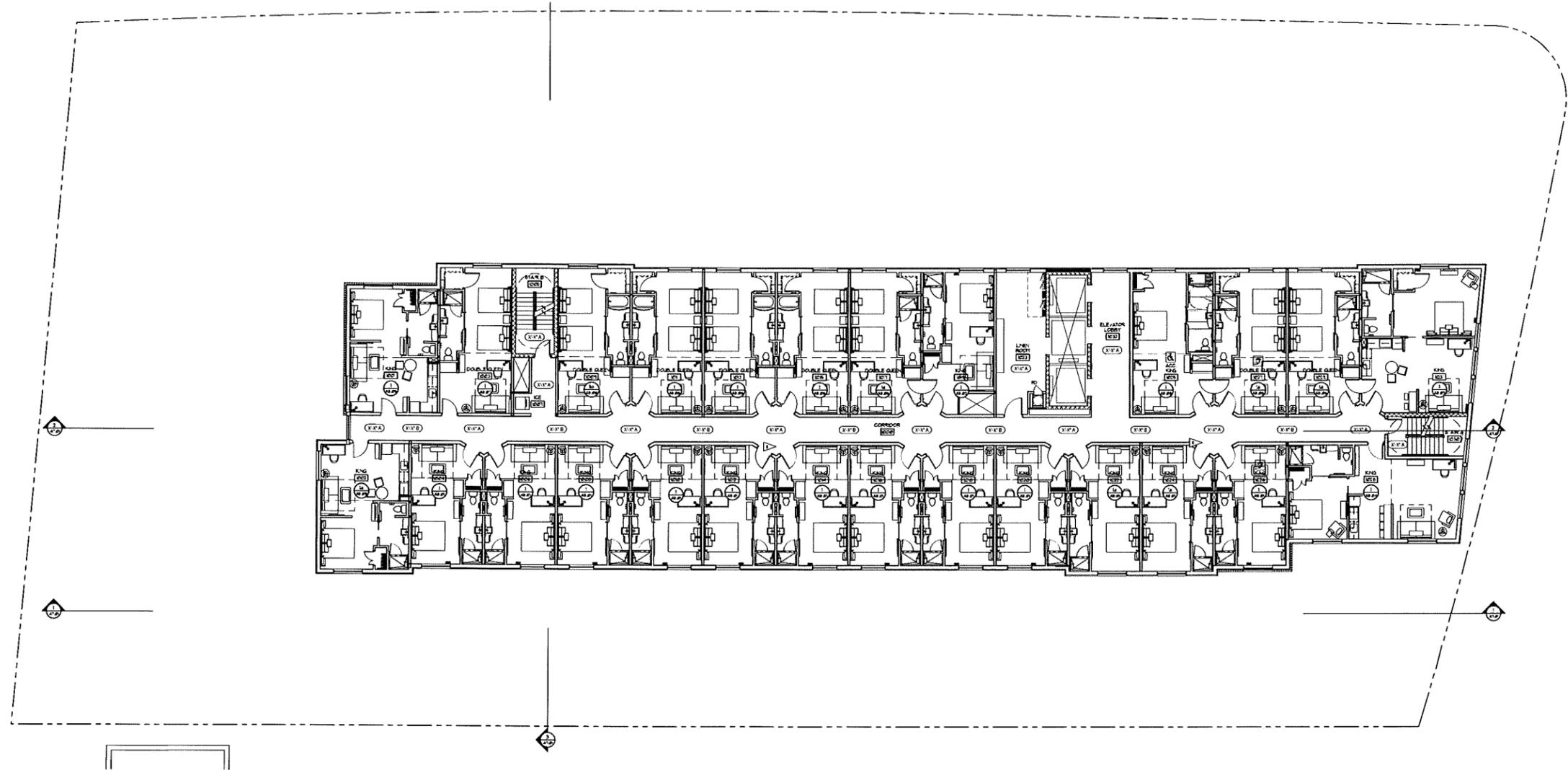
**CLIENT:** FREY STREET LODGING ASSOCIATES, LLC  
 CURTIS J. FREY  
 CURTIS J. FREY MANAGEMENT COMPANY  
 1000 E. FREY STREET, MADISON, WISCONSIN 53705

**PROJECT:** 211513  
**DRAWN BY:** BLM  
**DATE:** 11-30-2016  
**SCALE:** AS NOTED

**DATE:** 11-30-2016  
**LINE NO:** 01-00-001  
**CITY:** MADISON, WI 53705

**9TH FLOOR PLAN**

**A2.09**



**10TH FLOOR PLAN**  
 1/8" = 1'-0"

- GENERAL PLAN NOTES**
1. ALL OPENINGS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
  2. EXTERIOR OPENINGS ARE TO FACE OF EXTERIOR SHEATHING FOR CURTAIN WALL. ROOMS TO ADHERE TO LISTED WALL TYPES AND ADAPT TO THIS PAGE AS NECESSARY TO ACHIEVE CORRECT FINISH LINE.
  3. SEE SHEET FOR DIMENSIONS OF SPECIFIC AREA.
  4. SEE SHEET FOR BALL TYPE CONNECTION.
  5. WHEN BALTO-LIKE SHEETS ARE USED, BE SURE TO COVER OVER BY ADDITIONAL PLATING. SUBSTITUTE 3" BY 1/2" TYPE V CORUSLAR RELATING TO THE BALTO WALL. ADJUST IF NECESSARY. MAKE SURE WALL FINISHES ALL CORNERS PRIOR TO BUILDING BEING IN THE DRY.
  6. SEE SHEET FOR BALL FINISH. FINISH ARE NOT TO BE ON THIS PLAN FOR CLARITY.
  7. GYMNASIUM FINISHES ALL CORNER REQUIRED FROM FINISHES INCLUDING OCCUPANCY SIGN IN ALL REQUIRED ASSEMBLY ROOMS.
  8. WALLS NOTED ON SHEET OTHERWISE SHALL DOORS ARE TO BE LOCATED AT EACH ADJACENT WALL.

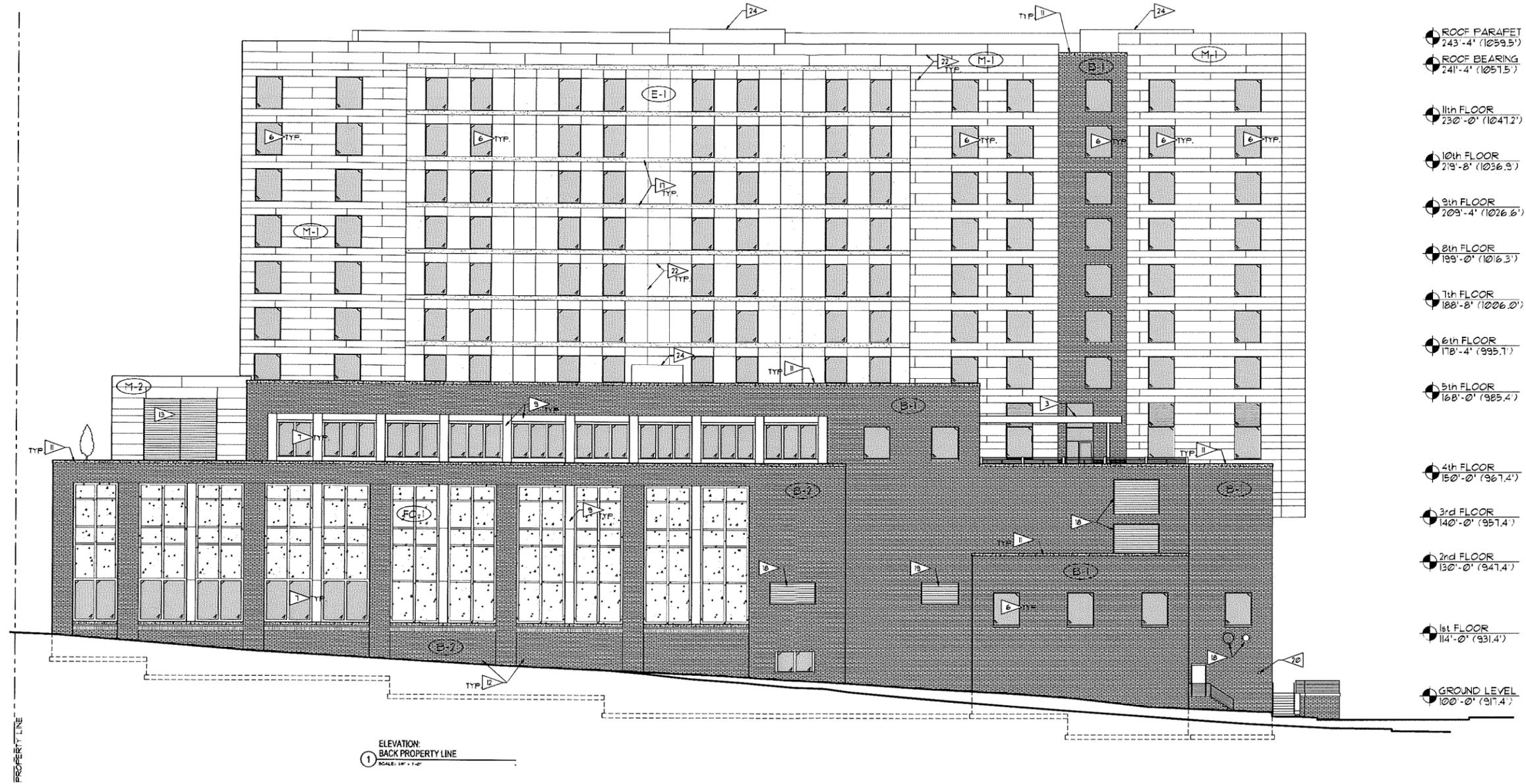
- KEY NOTES**
- ▷ DECORATIVE CONCRETE FINISH TO FACE OF WALL.
  - ▷ BASE FINISHING DOOR. SEE PLAN FOR DETAILS.
  - ▷ HANDICAP SIGN. SEE PLAN FOR DETAILS.
  - ▷ INDICATED AREA IS BELOW FIRST FLOOR.
  - ▷ POOL ABOVE.
  - ▷ HIGH SPEED HEAD DOOR.
  - ▷ DOOR ACCESS CONTROL SYSTEM.
  - ▷ ELEVATED TERRACE BY SPORTS CENTER REFER TO PER CIVIL DRAWING.
  - ▷ CANOPY SIGN.
  - ▷ ASCE STOP PER A/E.
  - ▷ BALLASTED BLACK EPDM OVER 1/2" POLY ISG.
  - ▷ CONCRETE SPEED RAMP UP TRANSITION AT TOP & BOTTOM.
  - ▷ CONTACT FINISH SHALL BE FINISH IN ALL AREAS GREATER THAN 6" IN WIDTH & 1/2" DEEP.
  - ▷ PAINTED ALUMINUM TRUS.
  - ▷ MECHANICAL SET V. AIRSPRAY SCREEN.
  - ▷ DUCT OF HOTEL TOWER ABOVE.
  - ▷ MECHANICAL TRUSS CORPUS PLAYS UP TO 8' HIGHER THAN 4" IF OCCUPANCY SIGN IS TO BE LOCATED IN CORNER AND PROJECT.

PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**  
 1000 BROWN ST. MADISON, WISCONSIN 53705  
 CLIENT: **FREY STREET LODGING ASSOCIATES, LLC**  
 1000 BROWN ST. MADISON, WISCONSIN 53705  
 PROJECT: 201523  
 DRAWN BY: BLM  
 DATE: 11-20-2016  
 SCALE: AS NOTED  
 JOB #: 1-18-2016  
 LONG JOB #: 01-09-2017  
 CITY: MADISON, WI 53705





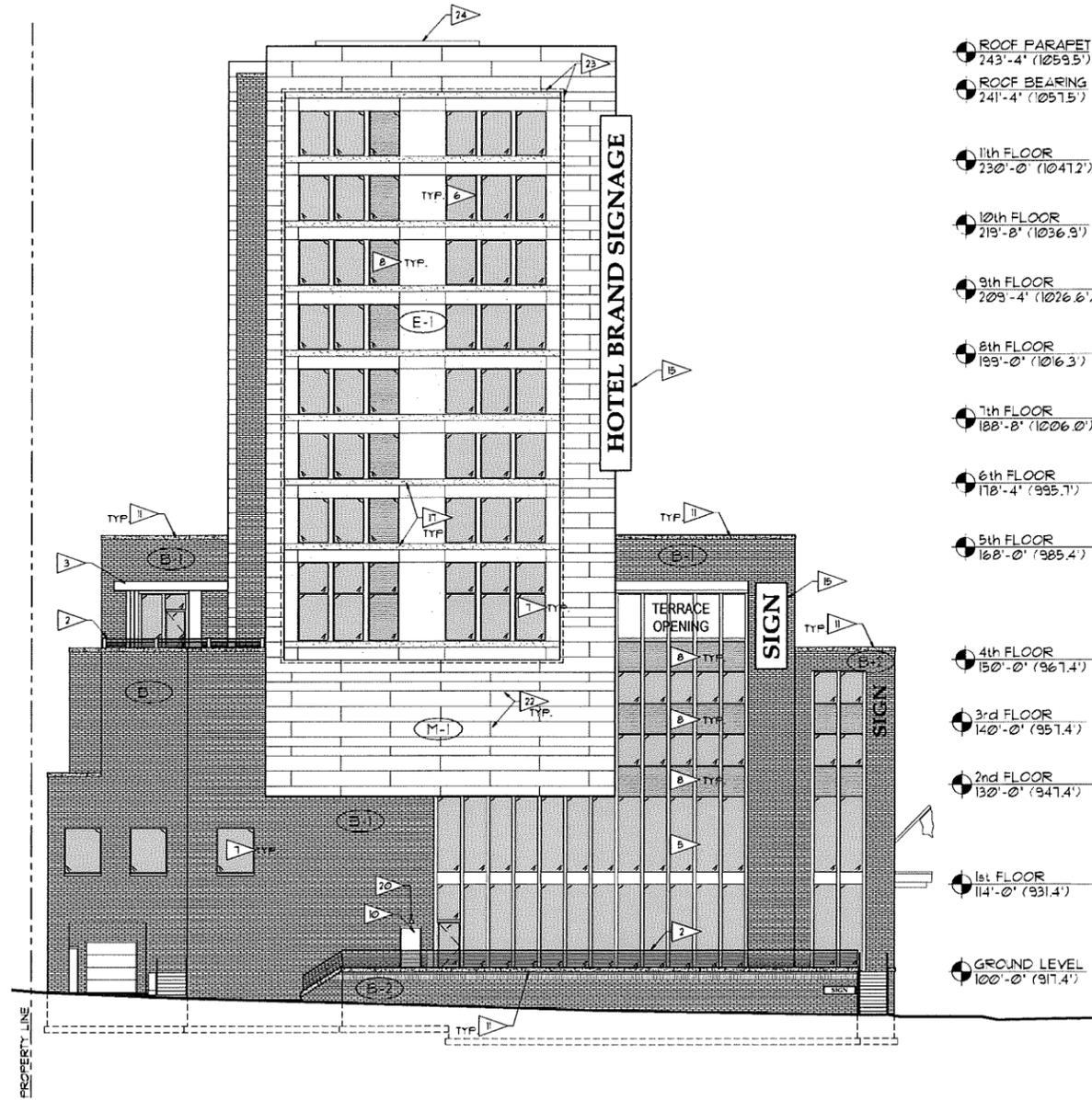




- ROOF PARAPET  
243'-4" (1059.5')
- ROOF BEARING  
241'-4" (1051.5')
- 11th FLOOR  
230'-0" (1041.2')
- 10th FLOOR  
219'-8" (1036.3)
- 9th FLOOR  
209'-4" (1026.6')
- 8th FLOOR  
199'-0" (1016.3')
- 7th FLOOR  
188'-8" (1006.0')
- 6th FLOOR  
178'-4" (995.7')
- 5th FLOOR  
168'-0" (985.4')
- 4th FLOOR  
158'-0" (975.1')
- 3rd FLOOR  
148'-0" (964.8')
- 2nd FLOOR  
138'-0" (954.5')
- 1st FLOOR  
114'-0" (931.4')
- GROUND LEVEL  
100'-0" (917.4')

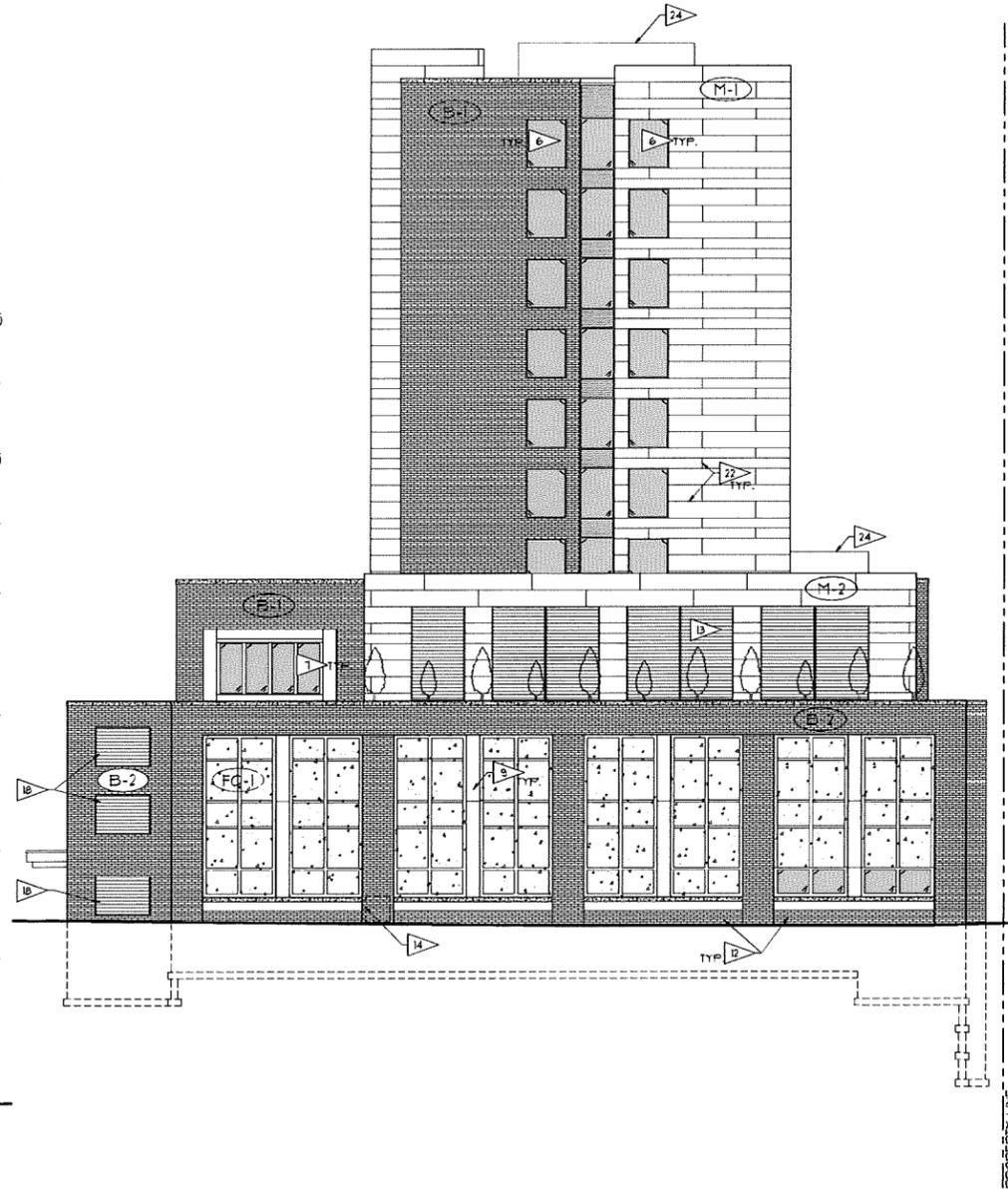
① ELEVATION:  
BACK PROPERTY LINE  
SCALE: 1/8" = 1'-0"

PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 170 BARNHART AVE., NORWICH, CT 06250  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 170 BARNHART AVE., NORWICH, CT 06250  
 PROJECT NO: 201303  
 DRAWN BY: BLM  
 DATE: 12-10-2016  
 SCALE: AS NOTED  
 LAYOUT: 12-29-2017  
 011 50117A 01-29-2017



② ELEVATION: SAWYER TERRACE  
 SCALE: 1/8" = 1'-0"

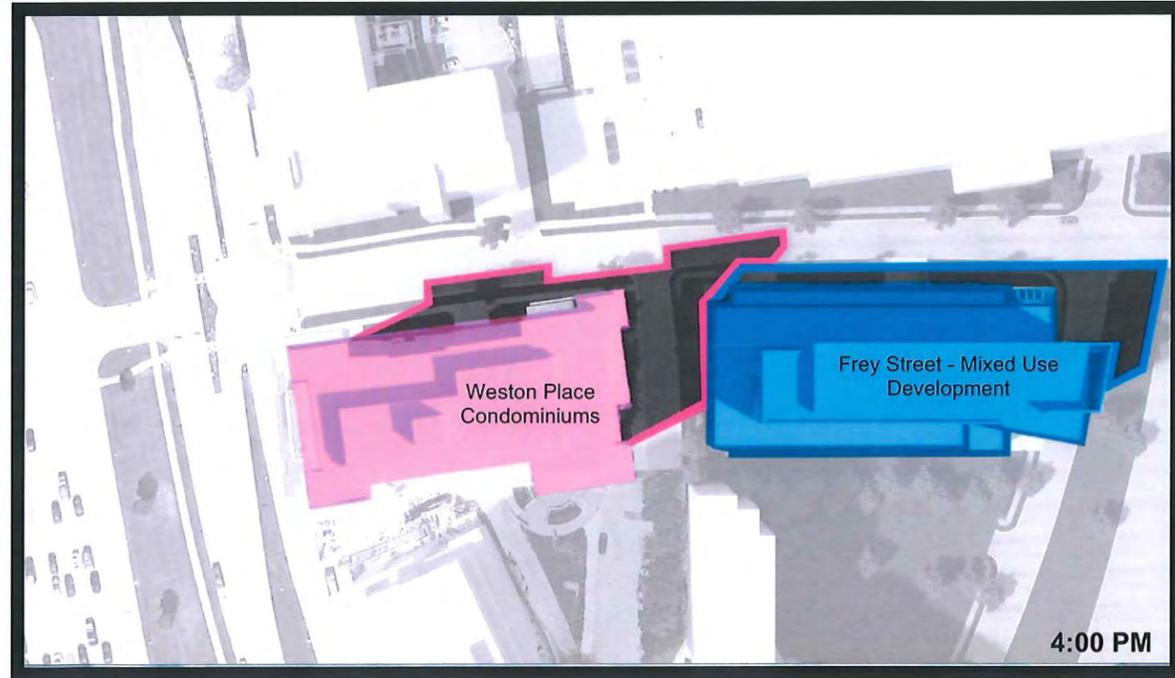
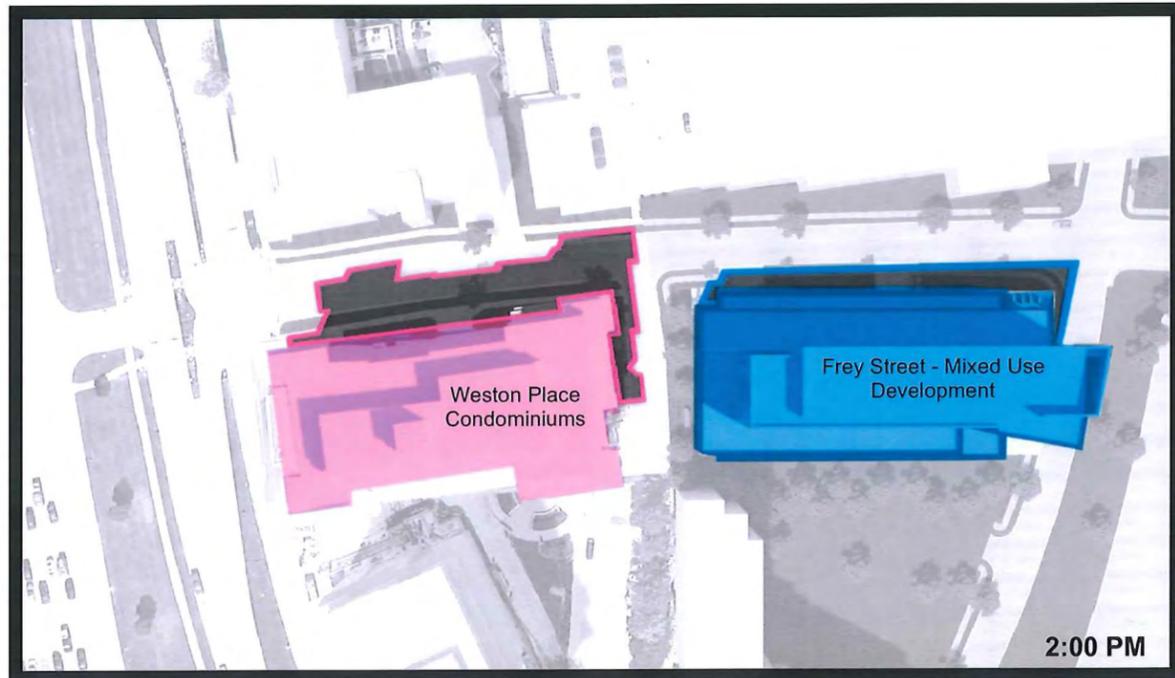
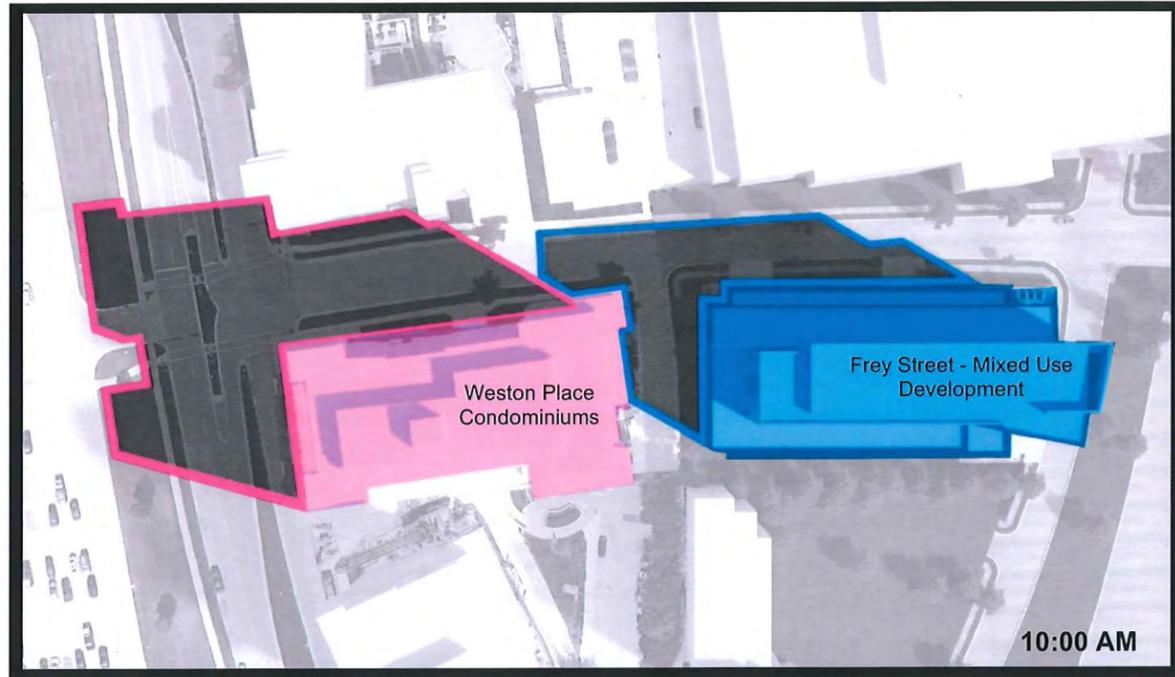
- ROOF PARAPET 243'-4" (1059.5')
- ROOF BEARING 241'-4" (1051.5')
- 11th FLOOR 230'-0" (1041.2')
- 10th FLOOR 219'-8" (1036.9')
- 9th FLOOR 209'-4" (1026.6')
- 8th FLOOR 199'-0" (1016.3')
- 7th FLOOR 188'-8" (1006.0')
- 6th FLOOR 178'-4" (995.7')
- 5th FLOOR 168'-0" (985.4')
- 4th FLOOR 150'-0" (961.4')
- 3rd FLOOR 140'-0" (951.4')
- 2nd FLOOR 130'-0" (941.4')
- 1st FLOOR 114'-0" (931.4')
- GROUND LEVEL 100'-0" (917.4')



① ELEVATION: WEST ELEVATION  
 SCALE: 1/8" = 1'-0"

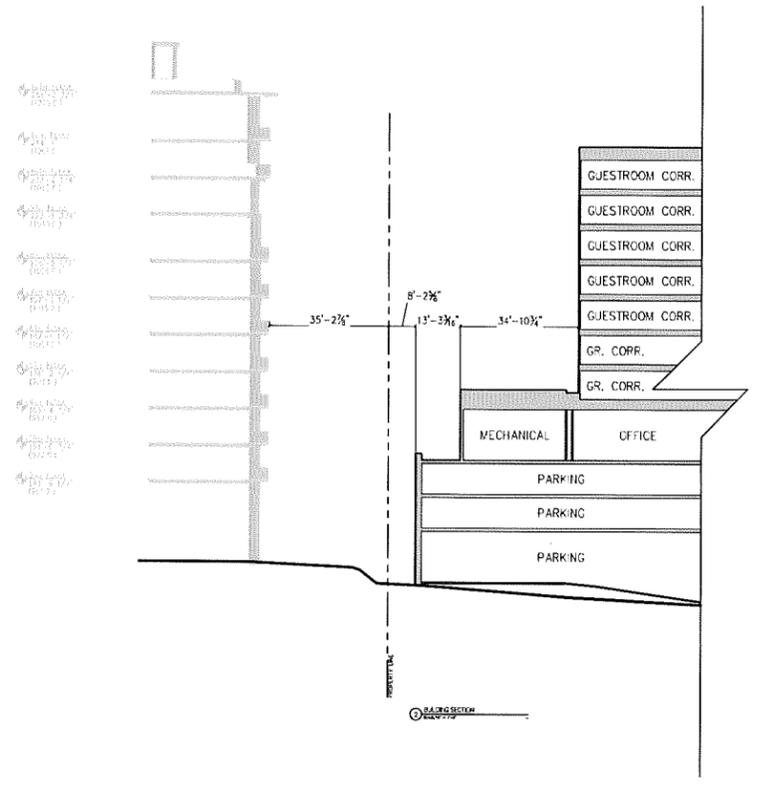
- ROOF PARAPET 243'-4" (1059.5')
- ROOF BEARING 241'-4" (1051.5')
- 11th FLOOR 230'-0" (1041.2')
- 10th FLOOR 219'-8" (1036.9')
- 9th FLOOR 209'-4" (1026.6')
- 8th FLOOR 199'-0" (1016.3')
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- 6th FLOOR 178'-4" (995.7')
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- 2nd FLOOR 130'-0" (941.4')
- 1st FLOOR 114'-0" (931.4')
- GROUND LEVEL 100'-0" (917.4')

PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 ARCHITECT: GBA  
 PROJECT NO: 201513  
 DATE: 07-01-2016  
 SCALE: AS NOTED  
 SHEET NO: 66-306  
 LINO NO: 67-69-301  
 CITY: BENTON, AR

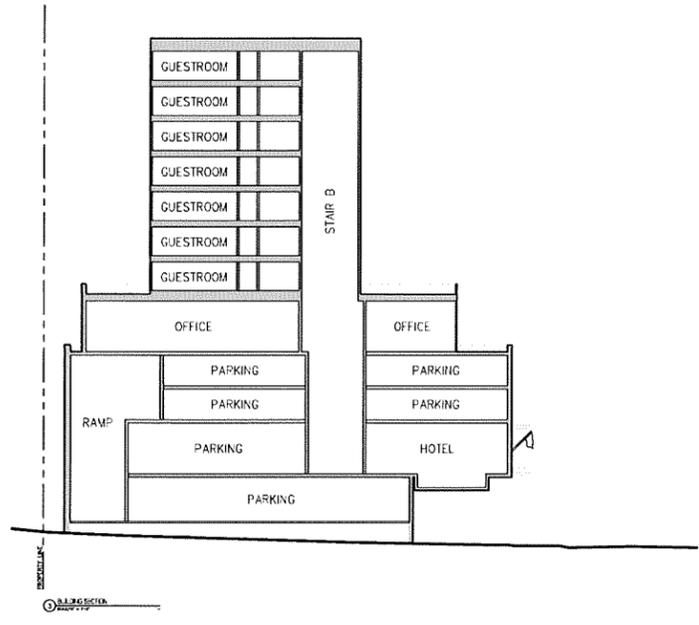


PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 400 FREY STREET  
 MADISON, WISCONSIN 53705  
 CLIENT: FREY STREET LOGGING ASSOCIATES, LLC  
 FRY STREET MANAGEMENT COMPANY  
 1100 GREENWAY SQUARE  
 MADISON, WI 53702

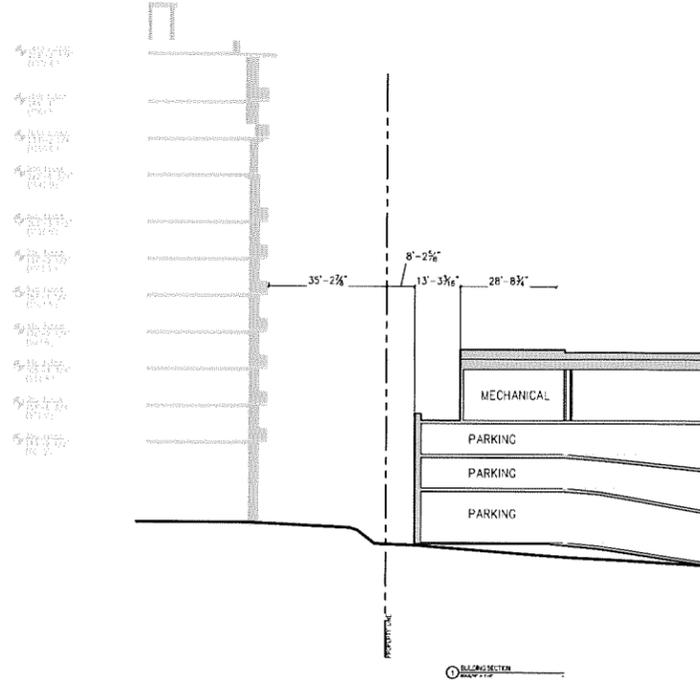
PROJECT: 201513  
 DRAWN BY: BLM  
 DATE: 12-12-2016  
 SCALE: 1"=30'  
 LUD: 02-09-2017



- ROOF PARAPET 242'-4" (7382.3)
- ROOF BEARING 240'-4" (7317.5)
- 11th FLOOR 230'-0" (7012.2)
- 10th FLOOR 219'-8" (6696.8)
- 9th FLOOR 209'-4" (6381.4)
- 8th FLOOR 199'-0" (6066.0)
- 7th FLOOR 188'-8" (5750.6)
- 6th FLOOR 178'-4" (5435.2)
- 5th FLOOR 168'-0" (5119.8)
- 4th FLOOR 150'-0" (4571.4)
- 3rd FLOOR 140'-0" (4256.0)
- 2nd FLOOR 130'-0" (3940.6)
- 1st FLOOR 114'-0" (3473.4)
- GROUND LEVEL 100'-0" (3047.7)



- ROOF PARAPET 242'-4" (7382.3)
- ROOF BEARING 240'-4" (7317.5)
- 11th FLOOR 230'-0" (7012.2)
- 10th FLOOR 219'-8" (6696.8)
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- 2nd FLOOR 130'-0" (3940.6)
- 1st FLOOR 114'-0" (3473.4)
- GROUND LEVEL 100'-0" (3047.7)



HOTEL BEYOND

- ROOF PARAPET 242'-4" (7382.3)
- ROOF BEARING 240'-4" (7317.5)
- 11th FLOOR 230'-0" (7012.2)
- 10th FLOOR 219'-8" (6696.8)
- 9th FLOOR 209'-4" (6381.4)
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- 2nd FLOOR 130'-0" (3940.6)
- 1st FLOOR 114'-0" (3473.4)
- GROUND LEVEL 100'-0" (3047.7)

PROJECT: PREY STREET - MIXED USE DEVELOPMENT  
 ARCHITECT: WOODRIDGE ARCHITECTS  
 CLIENT: PREY STREET LODGING ASSOCIATES, LLC  
 CONSULTANT: GBA  
 PROJECT LOCATION: 100 BELMONT AVE., MIDDLEBURY, VT 05752

DATE: 11-14-2015  
 SCALE: AS SHOWN  
 LDC # 11-14-2015  
 LANG USE 02-08-2017



PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 LOCATION: WISCONSIN 53005  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 ARCHITECT: GBA MANAGEMENT COMPANY  
 1000 GREENWAY, WISCONSIN  
 BRIDGEPORT, WI 53002

DATE: 07-20-2016  
 DRAWN BY: BLH  
 DATE: 07-20-2016  
 SCALE: 1/8" = 1'-0"

DATE: 07-20-2016



PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
LOCATION: WISCONSIN, WISCONSIN 53705  
CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
ARCHITECT: GBA GROUP, INC.  
MIDDLETON, WI 53522

DATE: 12-12-2024  
SCALE: 1/8" = 1'-0"

UPD: 12-12-2024



PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
 400 FREY STREET  
 MADISON, WISCONSIN 53705  
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 1000 CRENSHAW BOULEVARD  
 MADISON, WI 53704

DATE: 01-10-2013  
 DRAWN BY: BLM  
 DATE: 12-12-2012  
 SCALE:  
 LDC # 1-8-2008  
 UPDATE 01-30-2013

RENDERING



PROJECT: FREY STREET - MIXED USE DEVELOPMENT  
ARCHITECT: GBA  
CLIENT: FREY STREET LODGING ASSOCIATES, LLC  
GENERAL CONTRACTOR: CLAYTON MANAGEMENT COMPANY  
RENDERING: WESLEY  
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PROJECT: 201525  
DRAWN BY: BLM  
DATE: 02-02-2016  
SCALE:  
LIC #