

929 E Washington - Archipelago

929 E Washington Ave
Madison, Wisconsin
2016.36.02

02/28/2022 LAND USE & UDC SUBMITTAL

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C = Issued for Construction B = Issued for Bidding R = Issued for Reference Only

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PROJECT INFORMATION

PROPOSED USES:	COMMERCIAL / OFFICE	138,390SF
FIRST FLR	PARKING / OFFICE	84,800SF
SECOND FLR	PARKING	12,000SF
THIRD - FIFTH FLRS	RESIDENTIAL	153,125SF
SIXTH - EIGHT FLRS	OFFICE	22,515SF
NINTH - FOURTEENTH FLRS	RESIDENTIAL	
CURRENT ZONING:	TE - TRADITIONAL EMPLOYMENT	
URBAN DESIGN DISTRICT:	UDD-8	
SETBACKS PROVIDED:	FRONTYARD:	15' - EAST WASHINGTON AVENUE
	STEPRACK PROVIDED:	15' - EAST WASHINGTON AVENUE ABOVE THE FIFTH FLOOR
BUILDING HEIGHT:	14 STORIES	
LOT COVERAGE:	SEE SITE LAYOUT PLAN C102	
TOTAL SITE AREA:	SEE SITE LAYOUT PLAN C102	
USABLE AREA:	205F / BEDROOM (20'x186' = 3,720SF)	
	5TH FLR GREEN ROOF	5,874SF
	UNIT BALCONIES, PATIOS	7,800SF
	PROVIDED TOTAL	13,474SF

BUILDING AREAS

PARKING	138,390SF
OFFICE	84,800SF
RETAL	12,000SF
RESIDENTIAL	153,125SF
COMMON & SUPPORT	22,515SF
TOTAL BLDG	410,830SF

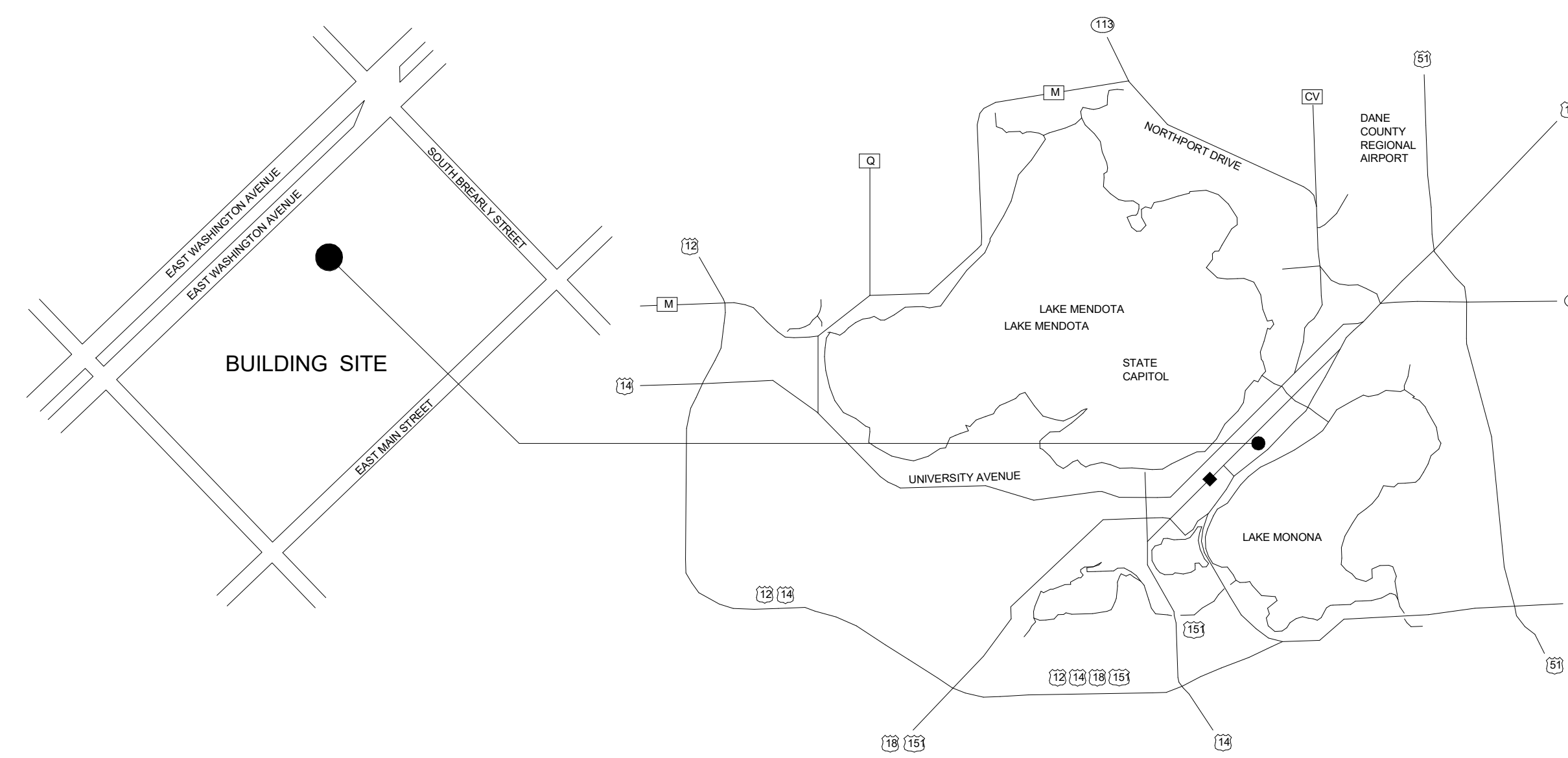
UNIT COUNT	1 BR	2BD	3BD	FLR
9TH FLOOR	5	9	2	15
10TH FLOOR	9	9	2	20
11TH FLOOR	9	9	2	20
12TH FLOOR	9	9	2	20
13TH FLOOR	9	9	2	20
14TH FLOOR	0	2	7	9
UNIT TOTALS	41	47	17	105
BED TOTALS	41	94	51	186

929 ADDITION & EXISTING RAMP PARKING COUNT

OFFICE & RETAIL (FIRST TO FOURTH FLOORS):	
STANDARD	423
STANDARD EV INSTALLED	9 (2.0%)
STANDARD EV READY	56 (10.2%)
COMPACT	98
CAR ACCESSIBLE	8
VAN ACCESSIBLE	3
TOTAL	549 (230 NEW, 319 EXISTING)

RESIDENTIAL (FIFTH FLOOR):	
STANDARD	125
STANDARD EV INSTALLED	4 (2.2%)
STANDARD EV READY	18 (10.3%)
COMPACT	20
CAR ACCESSIBLE	6
VAN ACCESSIBLE	1 (1ST FLR)
TOTAL	174 (103 NEW, 71 EXISTING)
PROJECT TOTAL	723 (333 NEW, 390 EXISTING)

BIKE STALLS:	REQUIRED	PROVIDED
RESIDENTIAL LONG TERM	114	116
RESIDENTIAL VISITOR	11	12
OFFICE	48	48
RETAL	6	10
TOTAL	179	186



Architect:
749 University Row Suite 300
Madison, WI 53705
608-274-2741

PRELIMINARY
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929 E Washington - Archipelago

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Madison, Wisconsin

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Date: 02/28/2022 Issuance/Revisions: LAND USE SUBMITTAL Symbol:

COVER DRAWING

CD01



Project site along E. Washington Ave. (Phase 1 Parking Ramp is visible in background)



Project site viewed from Phase 1 Parking Ramp looking toward Hotel Indigo



Hotel Indigo at E. Washington Ave. and S. Paterson St.

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**SITE CONTEXT
IMAGES**



Project site between Madison Credit Union, Phase 1 Parking Ramp, and Hotel Indigo



Project site from S. Brearly St.



Hotel Indigo viewed from Phase 1 Parking Ramp

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**SITE CONTEXT
IMAGES**



WHEDA Building at E. Main St. and S. Paterson St.



WHEDA Building and Phase 1 Parking Ramp along E. Main St.



Madison Credit Union at E. Washington Ave. and S. Brearly St.



Wisconsin Telephone Company Building at E. Main St. and S. Brearly St.

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**SITE CONTEXT
IMAGES**



Lyric Apartments and rear of Madison Credit Union



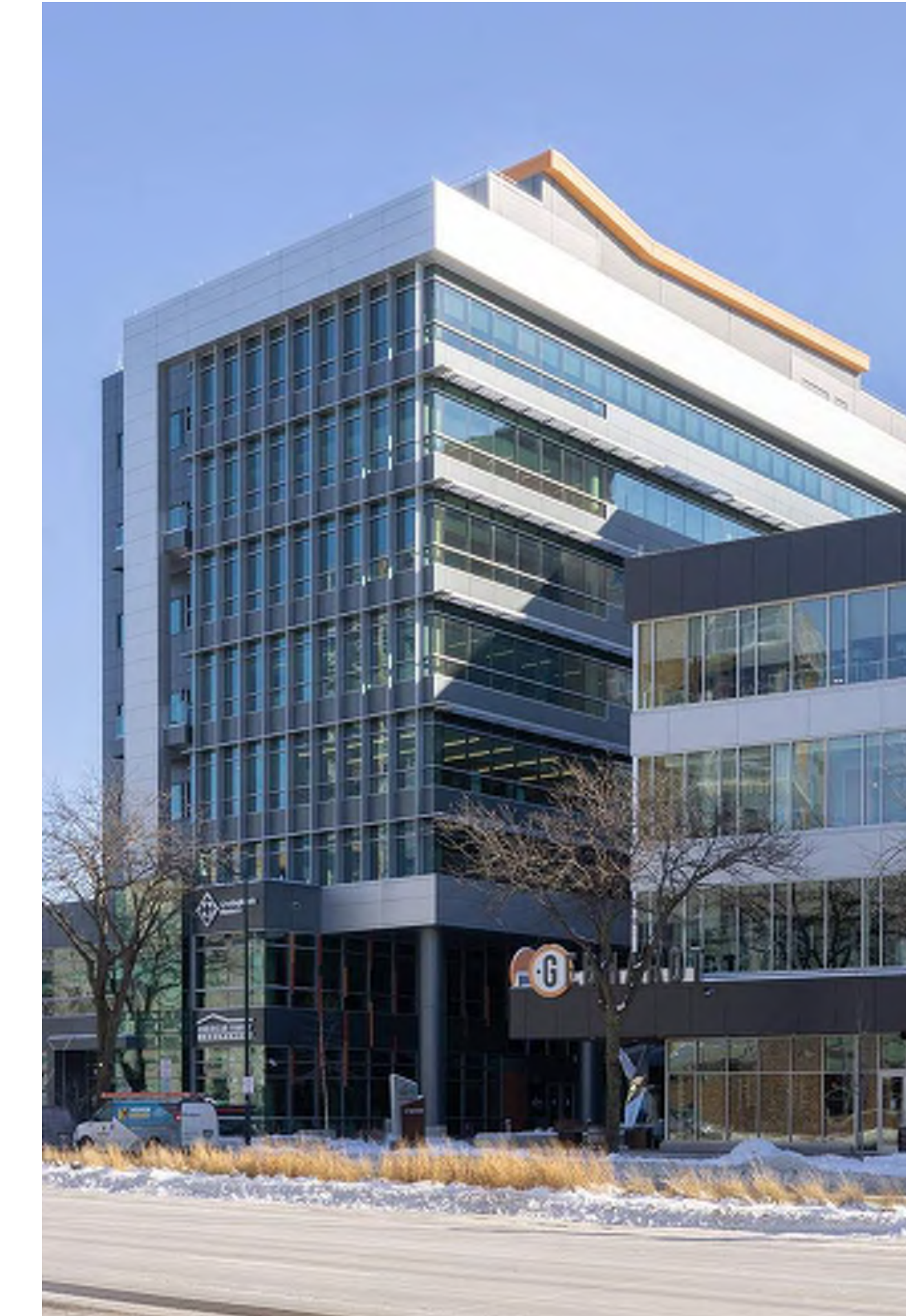
E. Washington Ave. toward Galaxie Apartments



The Sylvee from the South Livingston Street Garage



The Constellation on E. Washington Ave.



The Spark on E. Washington Ave.

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**SITE CONTEXT
IMAGES**

Notes:

Archipelago - 929 Phase 2

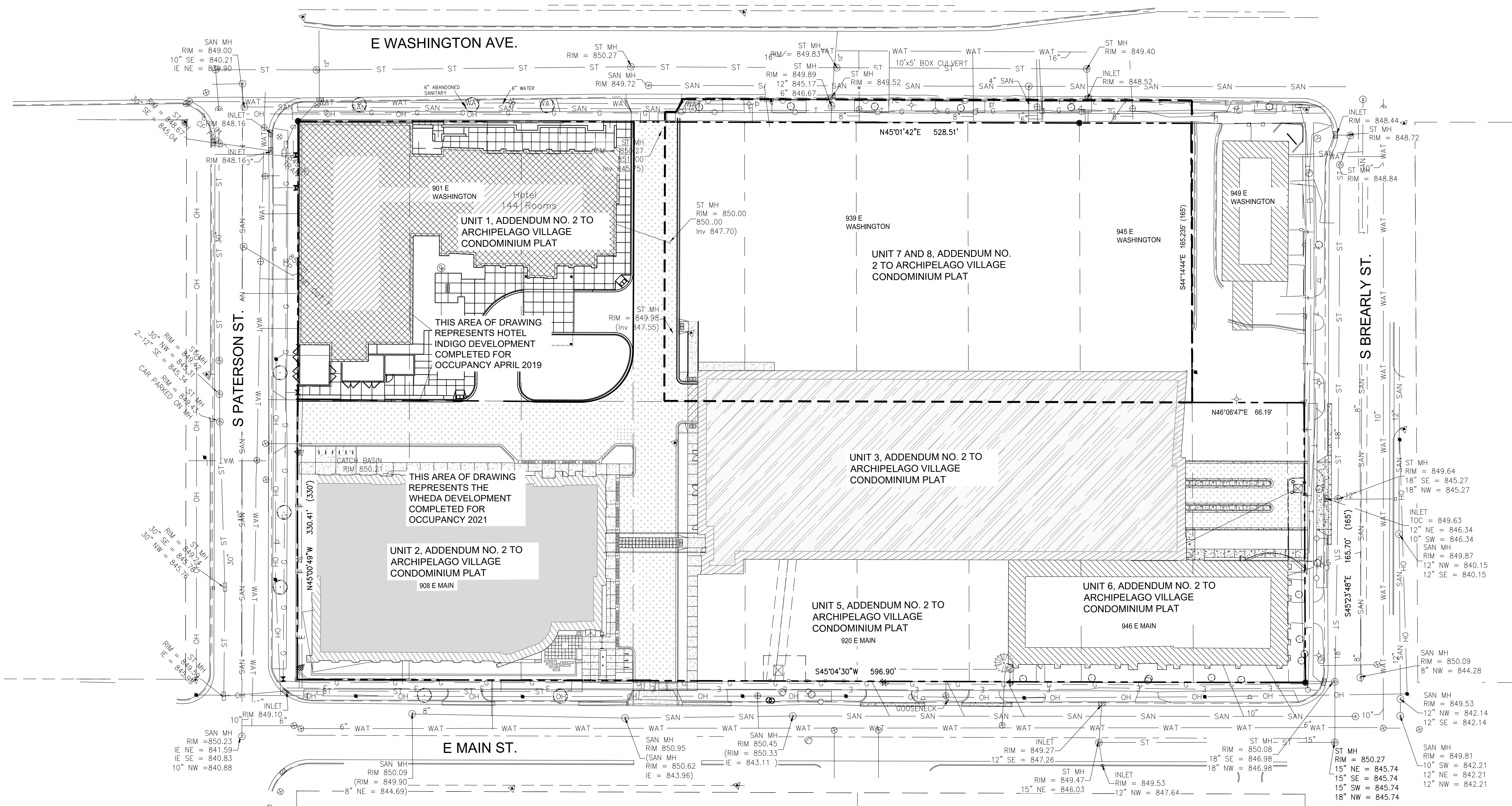
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EXISTING SITE PLAN

SV100



LEGEND

	SANITARY MANHOLE		CATCH CURB
	YARD CLEANOUT		REJECT CURB
	STORM MANHOLE		WAT - BURIED WATER MAIN
	STORM INLET		SAN - SANITARY SEWER
	STORM CATCH BASIN		ST - STORM SEWER
	APRON ENDWALL		SF - SIL-T FENCE
	WATER MANHOLE		RD - ROOF DRAIN
	HYDRANT		OH - OVERHEAD WIRES
	WATER VALVE		CATV - BURIED CABLE TV LINES
	GAS METER		E - BURIED ELECTRIC
	GAS VALVE		T - BURIED TELEPHONE
	LIGHT POLE		FO - FIBER OPTIC
	TRAFFIC SIGNAL		G - BURIED GAS MAIN
	MONITORING WELL		CAUTION
	ELECTRICAL OUTLET		PROPERTY LINE
	UTILITY POLE		UTILITY EASEMENT
	GUY WIRE / DEAD MAN		SETBACK LINE
	ELECTRIC PEDESTAL		BUILDING TO BE DEMOLISHED
	ELECTRIC MANHOLE		BUILDING TO REMAIN
	CABLE PEDESTAL		FUTURE CONDOMINIUM BOUNDARY LINE
	BOLLARD		
	SIGN		
	HANDICAP RAMP		
	HANDICAP STALL		
	STONE WALL		

DESCRIPTION:
PARCEL A LOT 13, BLOCK 158, ORIGINAL PLAT OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR RAILROAD SPUR TRACK AS SET FORTH IN VOLUME 295 OF DEEDS, PAGE 287, AS DOCUMENT NO. 42868, AND EXCEPT GRANT TO MAUIZ PAINT AND GLASS COMPANY AS SET FORTH IN VOLUME 83 OF MISC. PAGE 331, AS DOCUMENT NO. 49073.
PARCEL B LOTS 1 THROUGH 8 INCLUSIVE, LOTS 10 THROUGH 12 INCLUSIVE, AND LOTS 14 THROUGH 19 INCLUSIVE, BLOCK 158, ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C. AREAS OF MINIMAL FLOODING AS INDICATED ON FLOOD INSURANCE RATE MAP - CITY OF MADISON, DANE COUNTY, WISCONSIN, PANEL 10 OF 30, COMMUNITY-PANEL NO. 550083 0010 D- MAP REVISED SEPTEMBER 18, 1986.

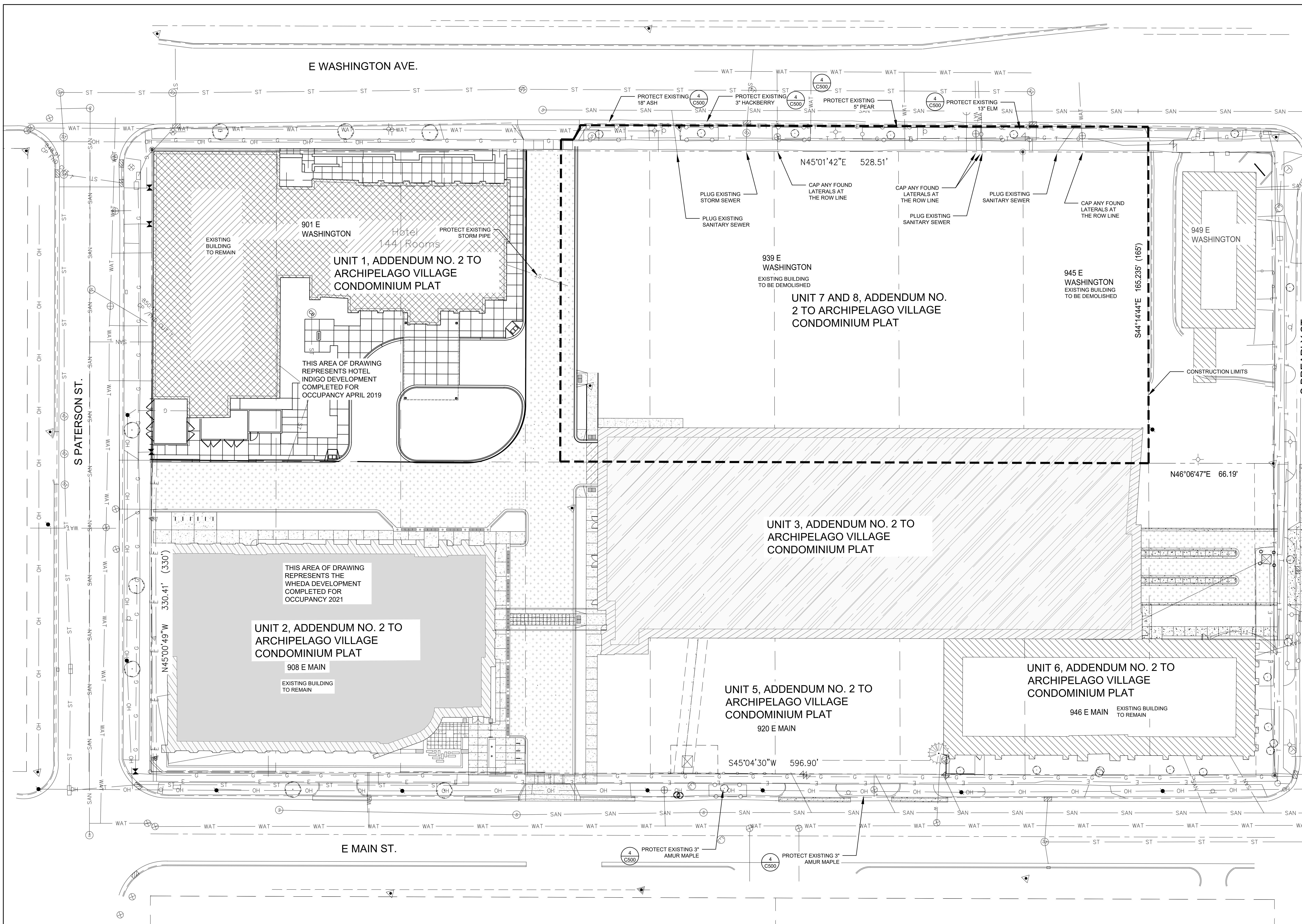
NOTES:
ALL BEARINGS ARE REFERENCED TO THE NORTHWESTERLY LINE OF BLOCK 158, N45°01'42"E ASSUMED.
GAS AND ELECTRIC INFORMATION IS FROM MADISON GAS AND ELECTRIC COMPANY.
SANITARY SEWER, WATER AND STORM SEWER INFORMATION IS FROM CITY OF MADISON ENGINEERING DIVISION.
ZONING DISTRICT IS TRADITIONAL EMPLOYMENT

ALL BENCH MARKS ARE TOP OF HYDRANT AND ARE CITY OF MADISON DATUM

BENCH MARKS
B.M. 1 = HYDRANT AT THE SOUTHERLY CORNER OF EAST WASHINGTON AVE. AND PATERSON STREET
B.M. 2 = 853.89 = HYDRANT MID-BLOCK ON EAST WASHINGTON AVE.
B.M. 4 = 852.52 = HYDRANT AT THE WESTERLY CORNER OF BREARLY STREET AND MAIN STREET
B.M. 5 = 854.12 = MID-BLOCK ON EAST MAIN STREET
B.M. 6 = 852.74 = EASTERLY CORNER OF MAIN STREET AND PATERSON STREET
B.M. 7 = 852.21 = MID-BLOCK ON SOUTH PATERSON STREET

The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.

Notes: _____



Archipelago - 929 Phase 2

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SITE DEMOLITION PLAN

C100

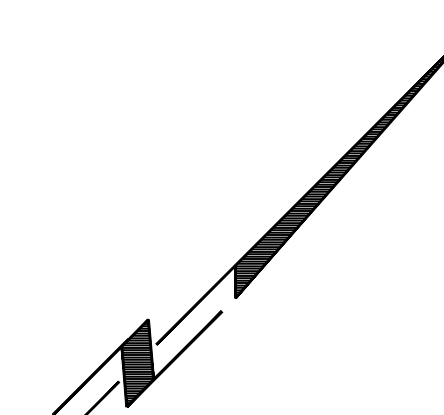
LEGEND

	STORM SEWER TO BE DEMOLISHED
	CONSTRUCTION LIMIT LINE
	EXISTING BUILDING
	ASPHALT PAVEMENT TO BE REMOVED
	CONCRETE PAVEMENT TO BE REMOVED
	FUTURE CONDOMINIUM BOUNDARY LINE
	BIORETENTION BASIN TO BE REMOVED

NOTES:

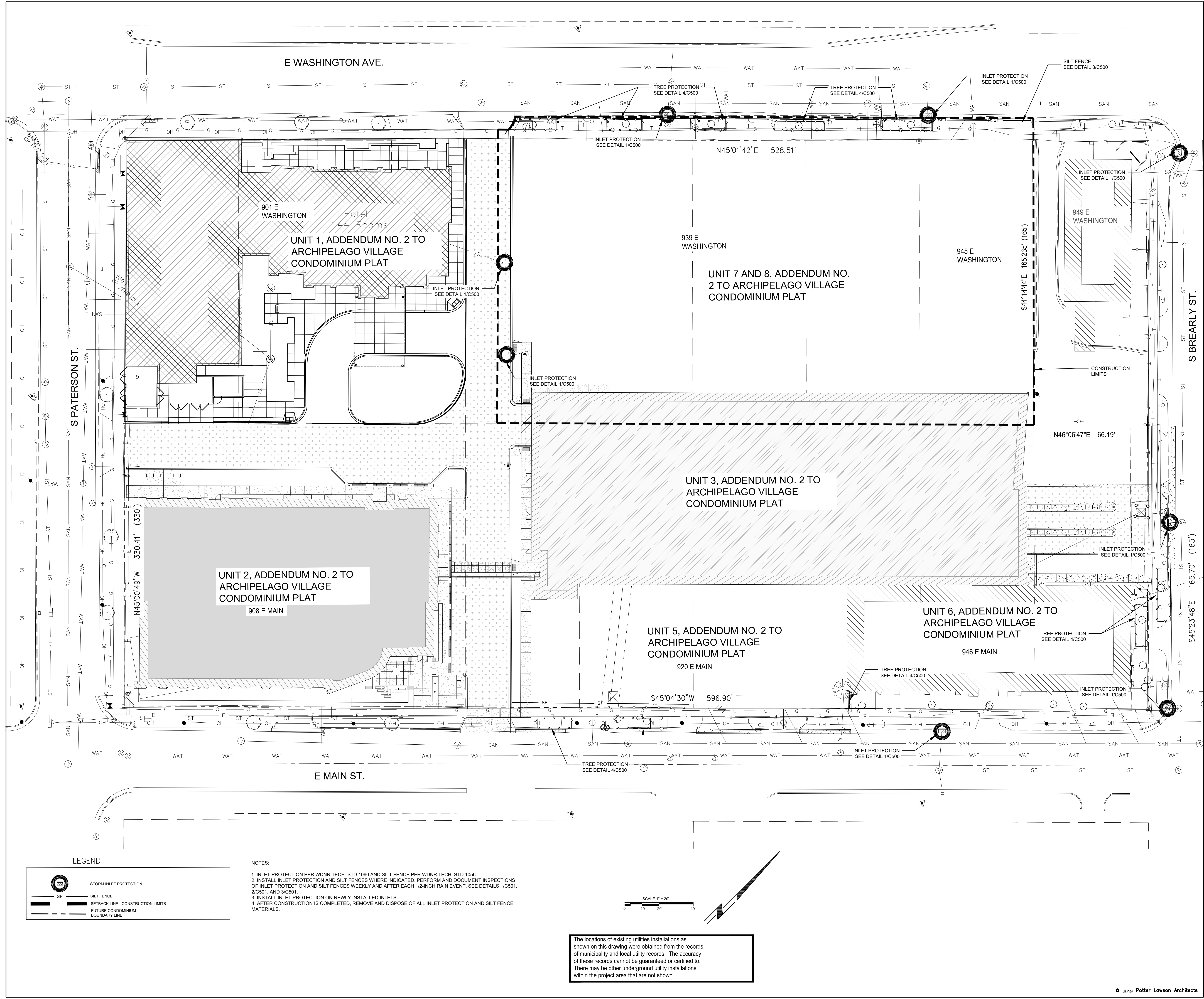
- CONSTRUCTION FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION LINE.
- ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY AND IS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY NOT DAMAGED BY THE CONTRACTOR BUT THAT NEEDS TO BE REPLACED AS DETERMINED BY THE CITY ENGINEER SHALL BE REPLACED AT THE OWNER'S EXPENSE.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON EAST WASHINGTON AVENUE, SOUTH PATERSON STREET, AND EAST MAIN STREET ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS IMPACT TO THE TREE AND ROOT SYSTEM.
- TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
- ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAS A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN
- FORESTRY WILL ISSUE A REMOVAL PERMIT FOR TWO TREES: 19" ASH AND 22" ASH ON S. PATERSON ST. DUE TO CITY FORESTRY AND CONSTRUCTION IMPACT REQUEST. PLEASE CONTACT BRAD HOFMANN: bhofmann@cityofmadison.com OR 608-266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.
- CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR (1) 2" CALIPER LINDEN TREE DUE TO DRIVEWAY INSTALLATION. CONTACT CITY OF MADISON FORESTRY REPRESENTATIVE (608-266-4816) TO OBTAIN THE STREET TREE REMOVAL PERMIT. ANY ADDITIONAL STREET TREE REMOVAL(S) PRIOR TO AN ADDITIONAL TREE REMOVAL PERMIT BEING ISSUED.

SCALE 1" = 20'



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**Archipelago - 929
Phase 2**
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**EROSION
CONTROL PLAN**

C101

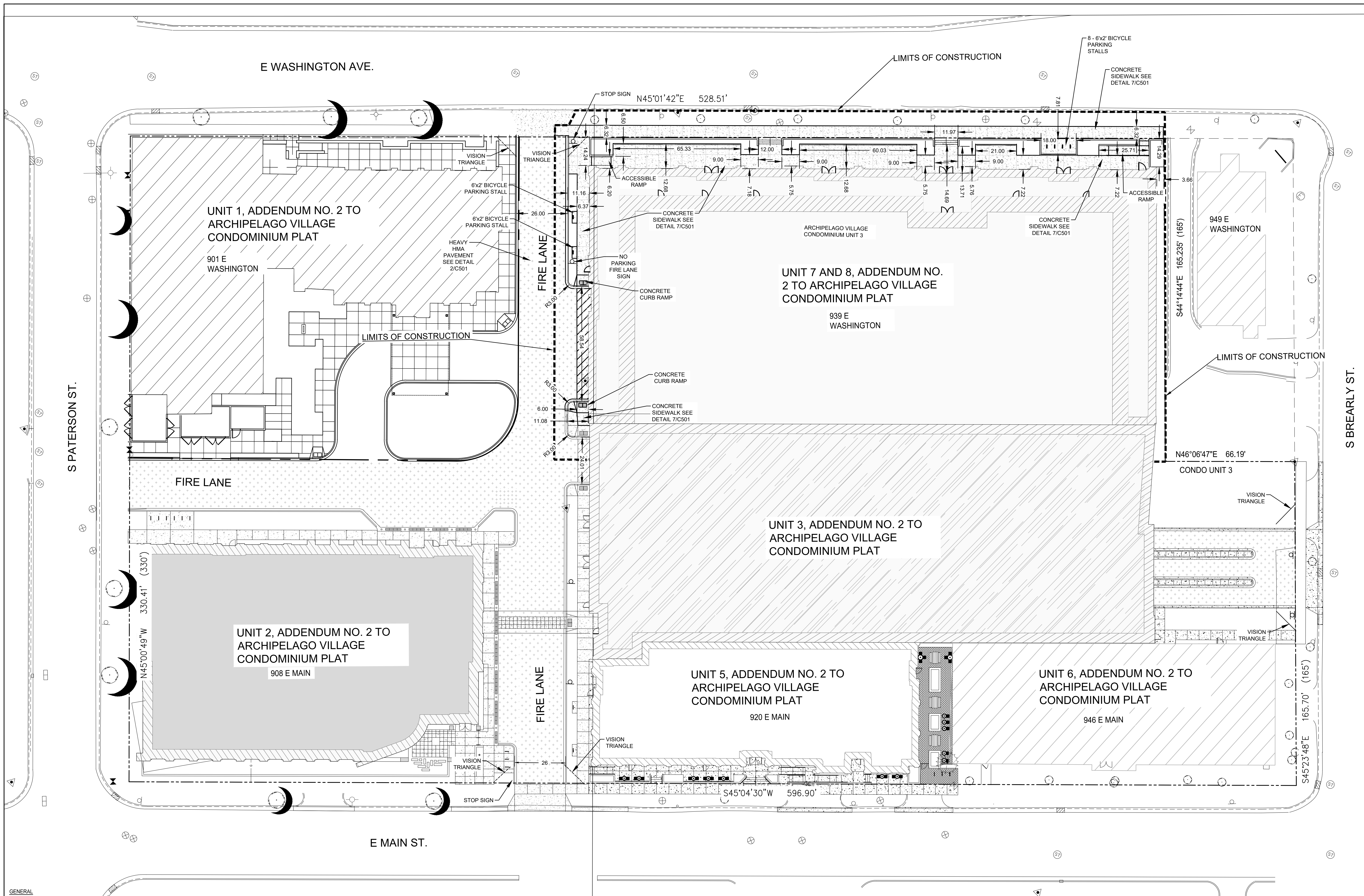
LEGEND

- STORM INLET PROTECTION
- SILT FENCE
- SETBACK LINE - CONSTRUCTION LIMITS
- FUTURE CONDOMINIUM BOUNDARY LINE

- NOTES:**
1. INLET PROTECTION PER WDNR TECH. STD 1060 AND SILT FENCE PER WDNR TECH. STD 1056
 2. INSTALL INLET PROTECTION AND SILT FENCES WHERE INDICATED. PERFORM AND DOCUMENT INSPECTIONS OF INLET PROTECTION AND SILT FENCES WEEKLY AND AFTER EACH 1/2-INCH RAIN EVENT. SEE DETAILS 1/C501, 2/C501, AND 3/C501.
 3. INSTALL INLET PROTECTION ON NEWLY INSTALLED INLETS
 4. AFTER CONSTRUCTION IS COMPLETED, REMOVE AND DISPOSE OF ALL INLET PROTECTION AND SILT FENCE MATERIALS.

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Notes: _____



- GENERAL**
- THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.
 - ALL ELEVATIONS ARE REFERENCED TO THE LOCAL DATUM AND BASED ON A SURVEY PERFORMED BY VIERBICHER AND ASSOCIATES ON NOVEMBER 9, 2007.
 - ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.
 - ALL STAKES NECESSARY FOR THE CONTRACTOR TO DETERMINE LOCATION AND/OR GRADES FOR ANY SECTION OF THE WORK HEREIN DESCRIBED SHALL BE SET BY THE OWNER, OR THE OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.
 - MATERIAL TESTS CONDUCTED BY ANY INDEPENDENT TESTING LAB MAY BE ORDERED BY THE ENGINEER OR OWNER. IF SUCH TESTING IS ORDERED, THE CONTRACTOR SHALL FURNISH THE SAMPLES AND THE COST OF TESTING SHALL BE PAID BY THE OWNER. RETESTING OF ANY FAILING TESTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
 - ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.
 - A PRE CONFERENCE MAY BE HELD PRIOR TO CONSTRUCTION START UP.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS OF CONSTRUCTION AS MAY BE REQUIRED TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL DEVICES. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.

- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING.
- ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - EDITION OF 2009, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN.
- WHERE SPECIFIC PORTIONS OF THESE SPECIFICATIONS ARE IN CONFLICT WITH THE STANDARD SPECIFICATIONS, THESE SPECIFICATIONS SHALL GOVERN.
- THERE ARE NO FRONT OR SIDE YARD SETBACKS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.
- CONTRACTOR SHALL REPLACE ANY CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK, CURB, AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED DUE TO UNDESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- NO VISUAL OBSTRUCTIONS TO BE LOCATED WITHIN VISION TRIANGLES BETWEEN THE HEIGHTS OF 2.5'-10' - 25' BEHIND THE PROPERTY LINE AT STREETS AND 10' BEHIND THE PROPERTY LINE AT DRIVEWAYS.

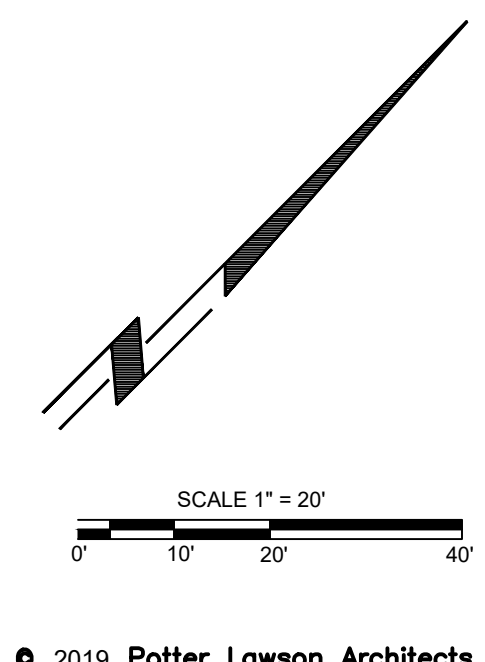
- CURB, GRADE BEAM CURB, SIDEWALK AND MISCELLANEOUS**
- WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS.
 - CONCRETE CURB SHALL BE INSTALLED WHERE INDICATED ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 601 OF THE STANDARD SPECIFICATIONS. DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL SHEET.
 - ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.
 - ALL ENTRANCES SHALL HAVE THE EXISTING 6" VERTICAL FACE SAWED AND REMOVED OR THE ENTIRE CURB AND GUTTER LENGTH REMOVED AND REPLACED WITH CONCRETE GUTTER SECTION.
 - CONCRETE JOINTING FOR THE SIDEWALK AROUND THE BUILDING WILL BE TOOLED JOINTS. THE UPPER TERRACE ALONG EAST WASHINGTON AVE. AND THE CROSS WALK THAT CUTS THROUGH THE NORTH-SOUTH FIRE LANE WILL BE SAW CUT JOINTS.

Site Area	Lot 4.27 Ac / Disturbed 3.25Ac
Total Building Sq.Ft.	257,188 G.S.F. (929)
Building Footprint Sq.Ft.	69,551 Sq. Ft. (929)
Building Type	Commercial (929)
Lot Coverage (Block)	66%

Lot Area	Lot 186,001 SF / 4.27 Ac
Building Footprint Sq.Ft. (901)	17,000 SF
Building Footprint Sq.Ft. (929 Green)	34,028 SF
Building Footprint Sq.Ft. (929 Impervious)	10,295 SF
Site Paving	61,473 SF
Landscape Area	29,764 SF
Total Green (Incl. Green Roof)	63,792 SF
Total Impervious	122,209 SF

LEGEND

- SANITARY MANHOLE
- YARD CLEANOUT
- STORM MANHOLE
- STORM INLET
- STORM CATCH BASIN
- APRON ENDWALL
- WATER MANHOLE
- HYDRANT
- WATER VALVE
- GAS METER
- GAS VALVE
- LIGHT POLE
- TRAFFIC SIGNAL
- MONITORING WELL
- ELECTRICAL OUTLET
- UTILITY POLE
- GLY WIRE / DEAD MAN
- ELECTRIC PEDESTAL
- ELECTRIC MANHOLE
- CABLE PEDESTAL
- BOLLARD
- SIEN
- HANDICAP RAMP
- HANDICAP STALL
- STONE WALL
- CATCH CURB
- REJECT CURB
- WAT - BURIED WATER MAIN
- SAN - SANITARY SEWER
- ST - STORM SEWER
- SF - SILT FENCE
- RD - ROOF DRAIN
- OH - OVERHEAD WIRES
- CATV - BURIED CABLE TV LINES
- E - BURIED ELECTRIC
- FO - BURIED FIBER OPTIC
- G - BURIED GAS MAIN
- CAUTION
- PROPERTY LINE
- UTILITY EASEMENT
- SETBACK LINE
- BUILDING TO BE DEMOLISHED
- BUILDING TO REMAIN
- FUTURE CONDOMINIUM BOUNDARY LINE



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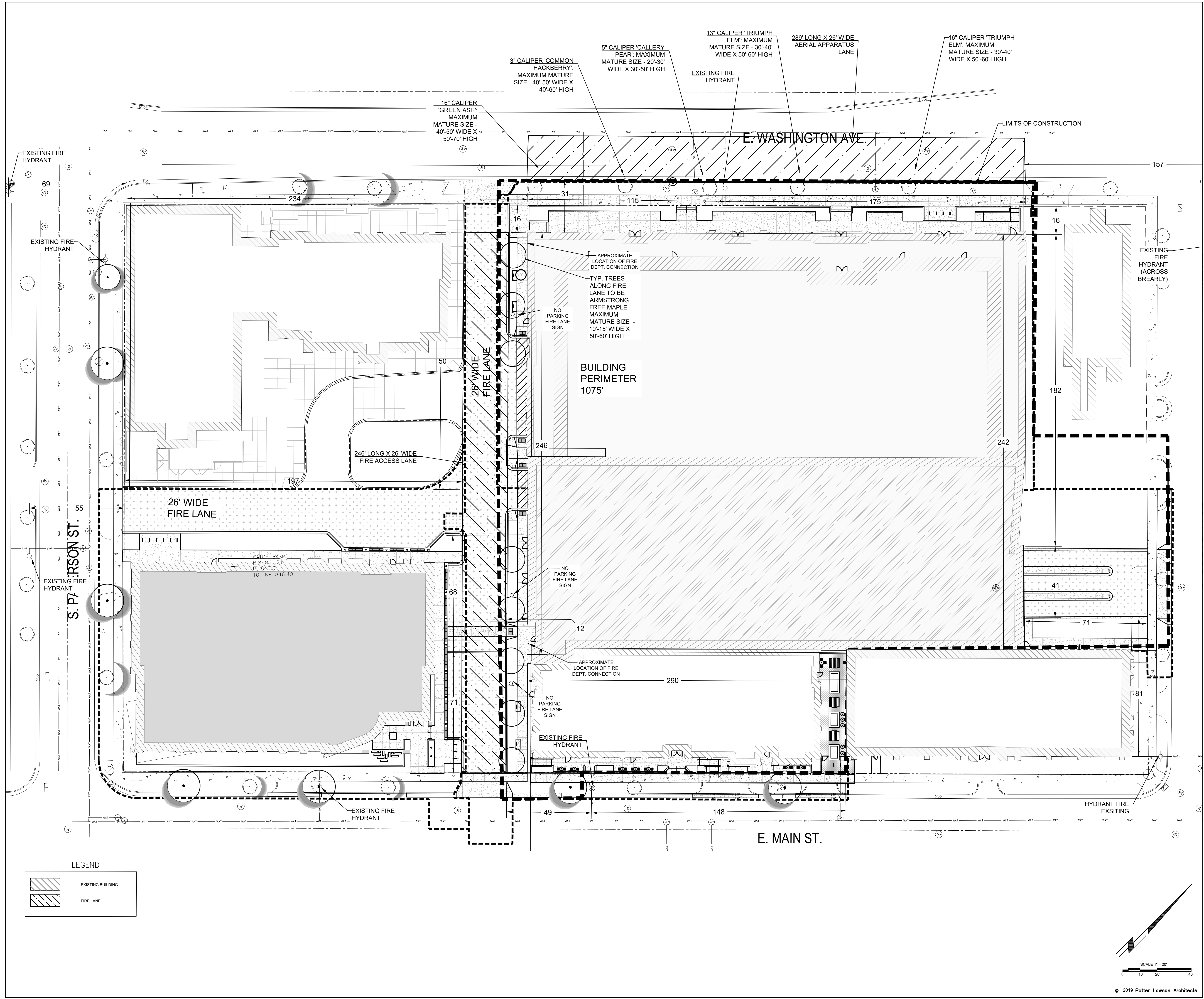
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SITE LAYOUT PLAN

C102

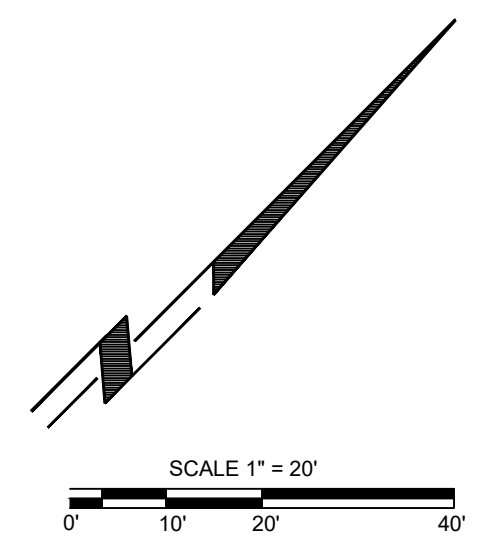
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Notes: _____



LEGEND

	EXISTING BUILDING
	FIRE LANE



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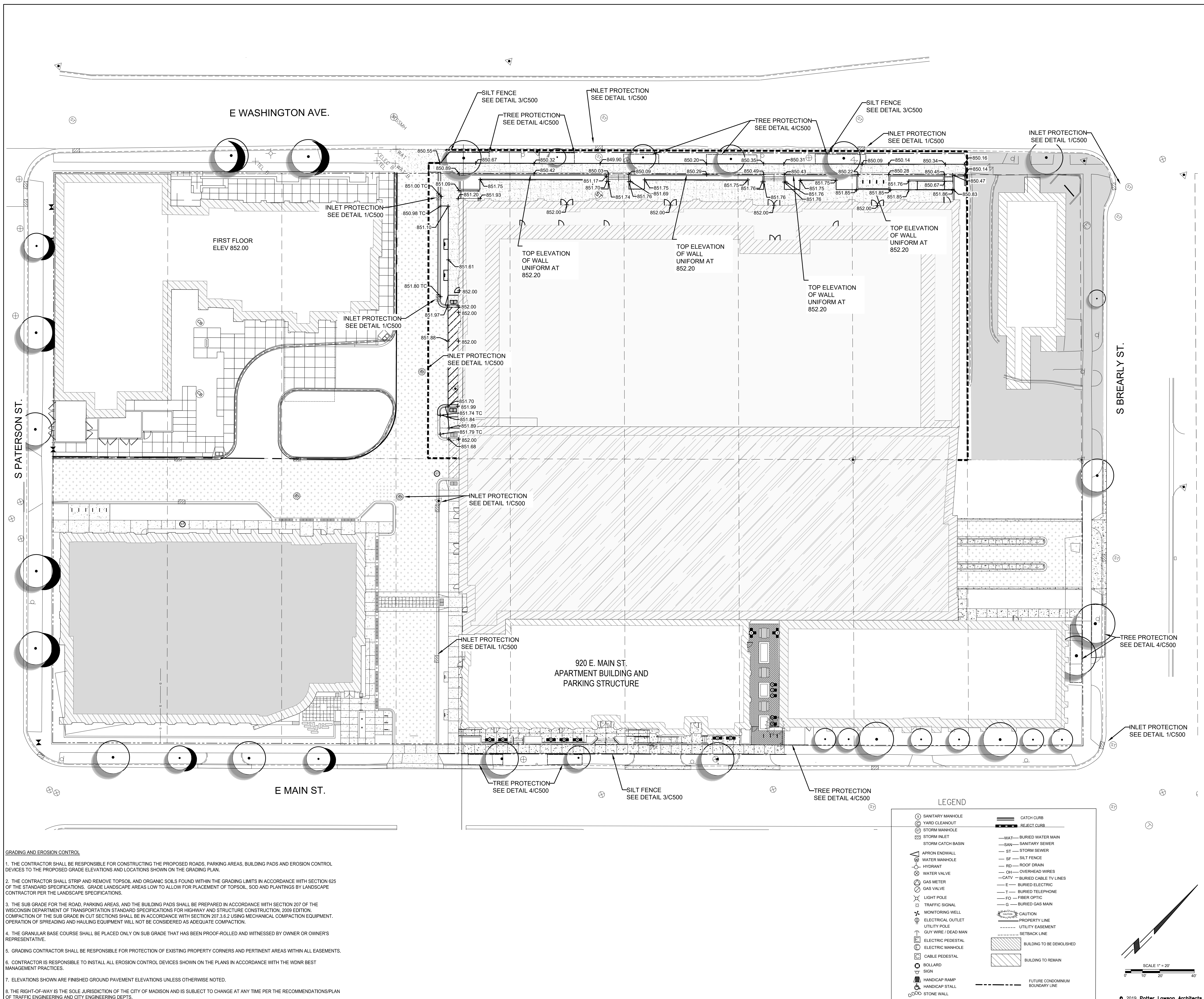
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**SITE FIRE
PROTECTION PLAN**

C103

Notes: _____



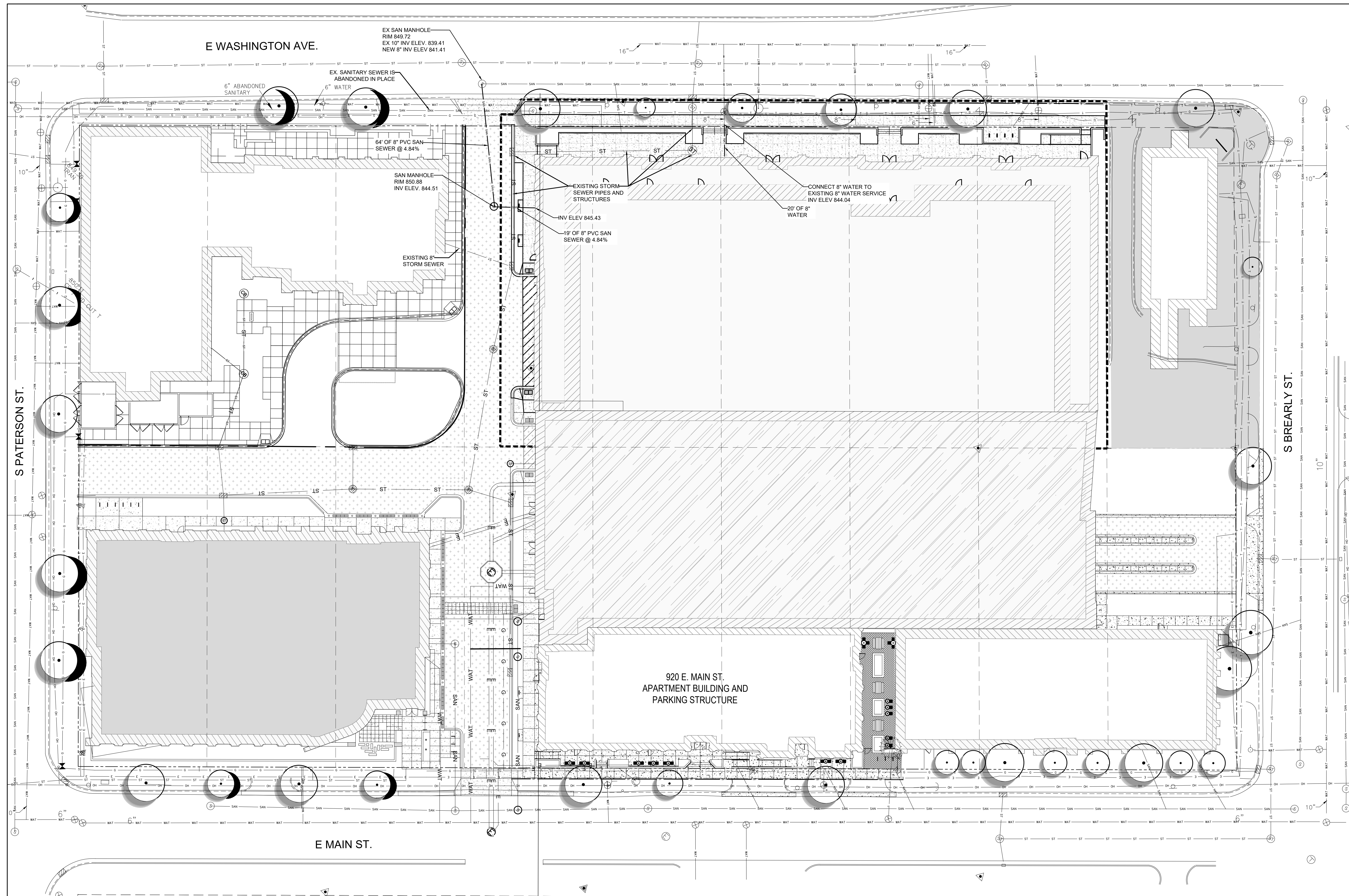
GRADING AND EROSION CONTROL

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, PARKING AREAS, BUILDING PADS AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.
2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC SOILS FOUND WITHIN THE GRADING LIMITS IN ACCORDANCE WITH SECTION 625 OF THE STANDARD SPECIFICATIONS. GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SOD AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS.
3. THE SUB GRADE FOR THE ROAD, PARKING AREAS, AND THE BUILDING PADS SHALL BE PREPARED IN ACCORDANCE WITH SECTION 207 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2009 EDITION. COMPACTION OF THE SUB GRADE IN CUT SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 207.3.6.2 USING MECHANICAL COMPACTION EQUIPMENT. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.
4. THE GRANULAR BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED AND WITNESSED BY OWNER OR OWNER'S REPRESENTATIVE.
5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
6. CONTRACTOR IS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDNR BEST MANAGEMENT PRACTICES.
7. ELEVATIONS SHOWN ARE FINISHED GROUND PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

**Archipelago - 929
Phase 2**
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2016.36.02

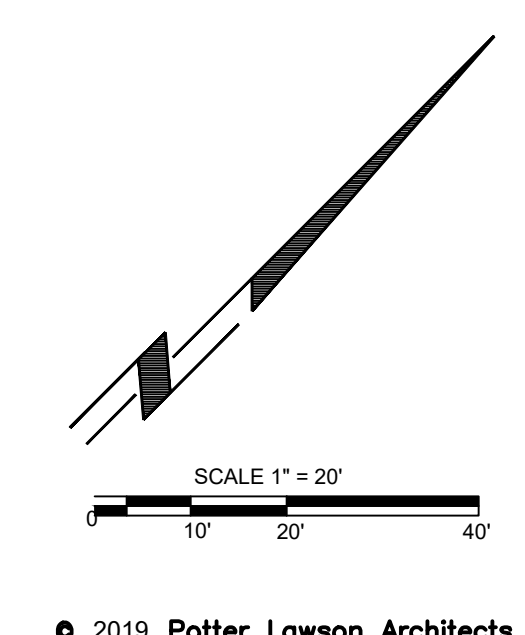
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- STORM CONSTRUCTION**
1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON SPECIFICATIONS, STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, AND STANDARDS OF THE WISCONSIN DEPARTMENT OF COMMERCE FOR PRIVATE STORM SEWER.
 2. ALL STORM SEWER 12" IN DIAMETER, OR GREATER, SHALL BE CLASS III REINFORCED CONCRETE PIPE (ASTM C78) OR CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR (ASTM D3350). JOINTS FOR ALL CONCRETE PIPE SHALL BE RUBBER GASKET. ALL STORM SEWERS 10" IN DIAMETER OR LESS SHALL BE PVC SCHEDULE 40 PIPE WITH SOLVENT WELD JOINTS.
 3. CLASS C BEDDING SHALL BE USED FOR ALL STORM SEWERS. TRENCHES SHALL BE BACK FILLED WITH COMPACTED CRUSHED STONE IN PAVED AREAS AND SPOIL IN LANDSCAPE AREAS.
 4. STORM SEWER MANHOLES AND CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
 5. THE STORM SEWER CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL LINES CLEAR UNTIL ACCEPTANCE BY THE OWNER.
 6. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.
 7. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

LEGEND

<ul style="list-style-type: none"> Sanitary Manhole Yard Cleanout Storm Manhole Storm Inlet Storm Catch Basin Apron Endwall Water Manhole Hydrant Water Valve Gas Meter Gas Valve Light Pole Traffic Signal Monitoring Well Electrical Outlet Utility Pole Guy Wire / Dead Man Electric Pedestal Electric Manhole Cable Pedestal Bollard Sign Handicap Ramp Handicap Stall Stone Wall 	<ul style="list-style-type: none"> Catch Curb Reject Curb Buried Water Main Sanitary Sewer Storm Sewer Salt Fence Roof Drain Overhead Wires Buried Cable TV Lines Buried Electric Buried Telephone Fiber Optic Buried Gas Main Caution Property Line Utility Easement Setback Line Spot Elevation Spot Elevation, Top Wall Spot Elevation, Bottom Wall Spot Elevation, Top Curb Building ADA Truncated Domes Area Not Included in the Media Development 	<ul style="list-style-type: none"> Utility Easement
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Notes: _____

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**SITE
UTILITY PLAN**

C105

Notes: _____

GENERAL NOTES:
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

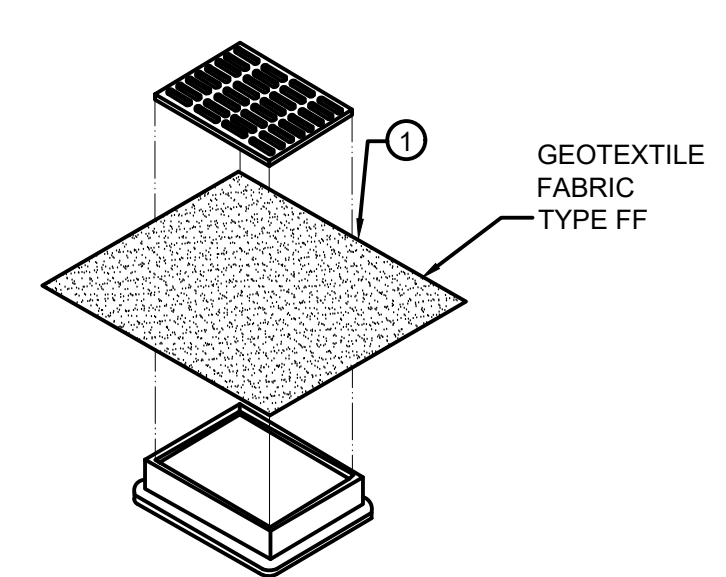
① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

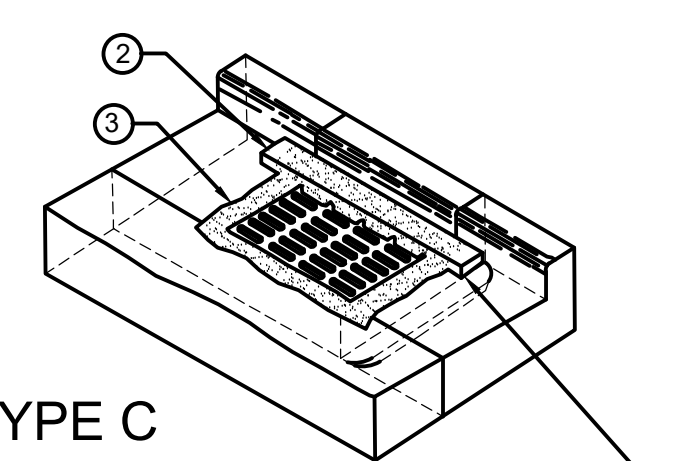
③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2 X 4.

INSTALLATION NOTES:
TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.



TYPE B (WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

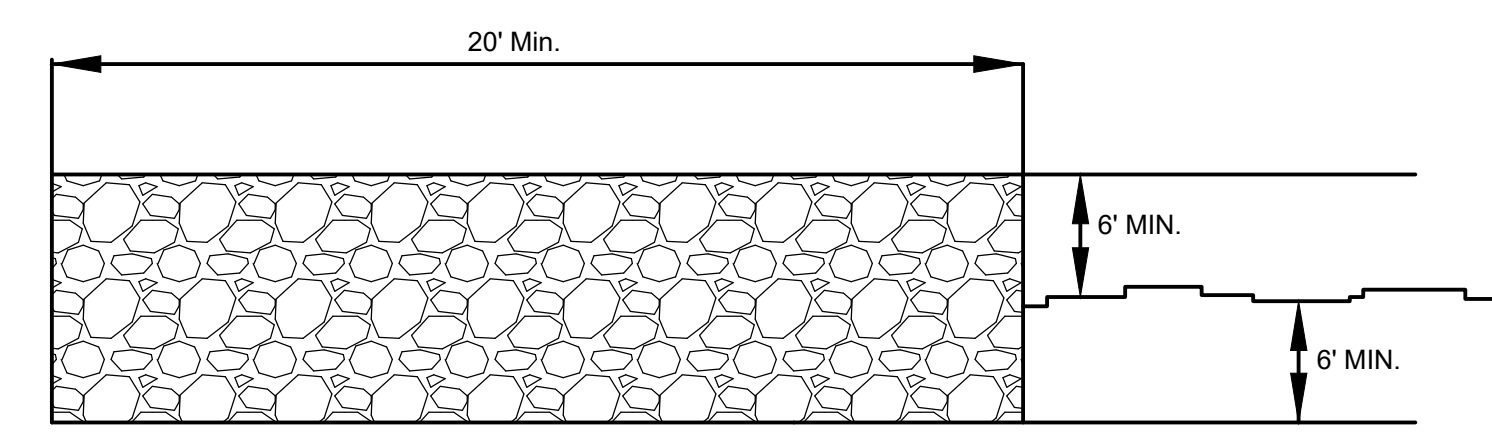


TYPE C (WITH CURB BOX)

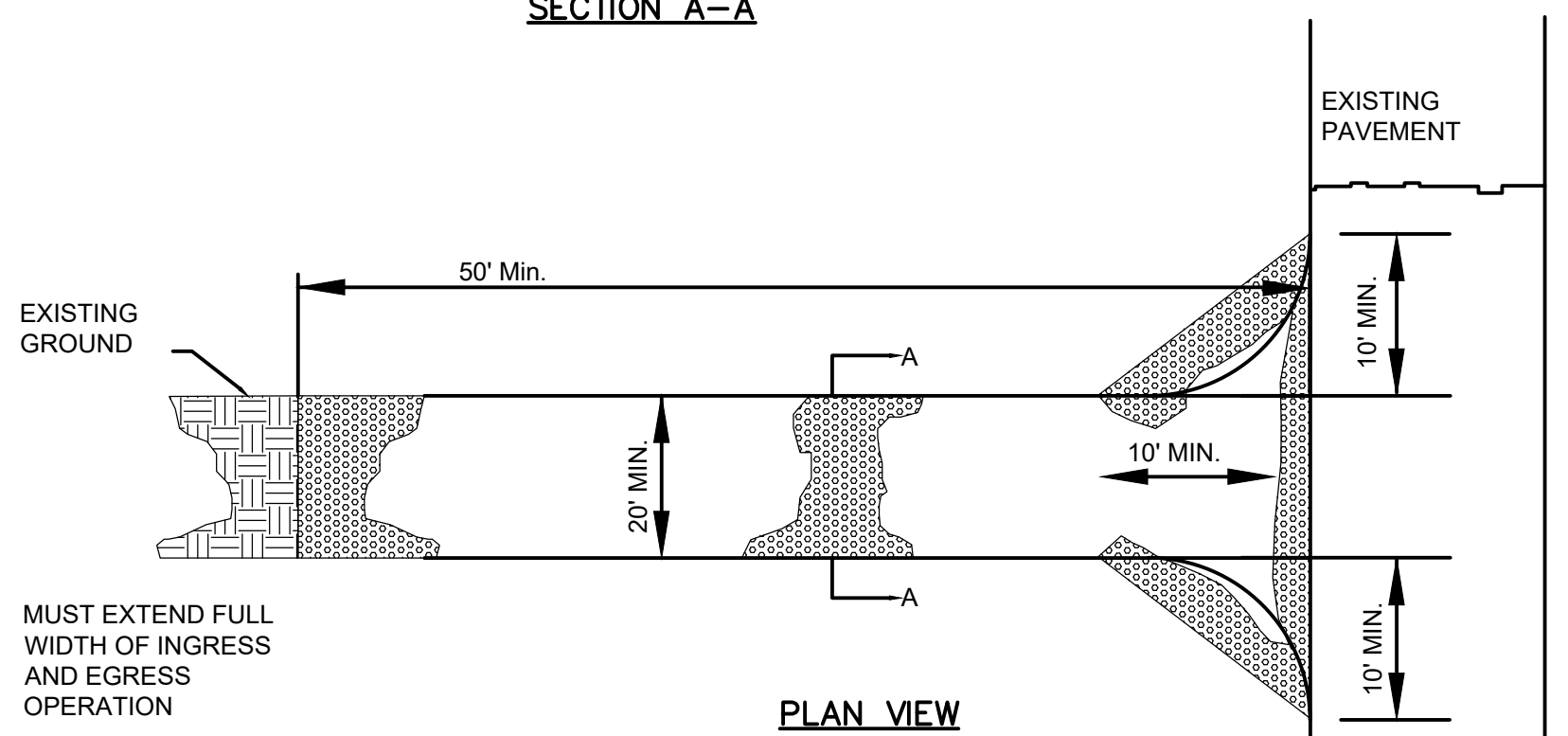
WOOD 2" X 4" EXTENDS 8" BEYOND GRATE WIDTH ON BOTH SIDES, LENGTH VARIES, SECURE TO GRATE WITH WIRE OR PLASTIC TIES.

1 INLET PROTECTION

NTS



SECTION A-A



PLAN VIEW

TRACKING MAT FOR CONSTRUCTION EGRESS POINTS

NOTES:

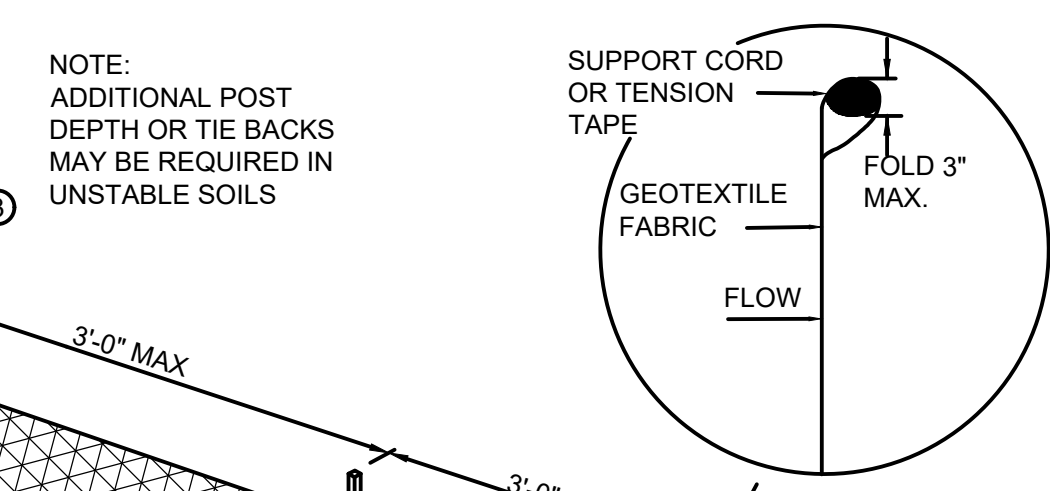
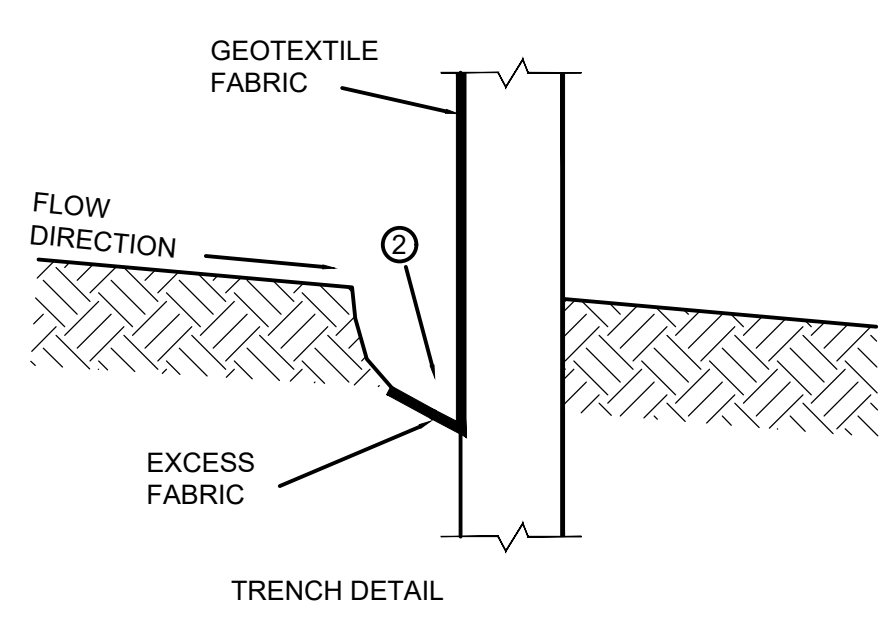
- 1) TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- 2) LENGTH - MINIMUM OF 50'
- 3) WIDTH - 20' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDED A TURNING RADIUS.
- 4) STONE - CLEAR OR WASHED (3"-6") SHALL BE PLACED AT LEAST 12" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE.
- 5) SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
- 6) LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

2 STABILIZED CONST. ENTRANCE

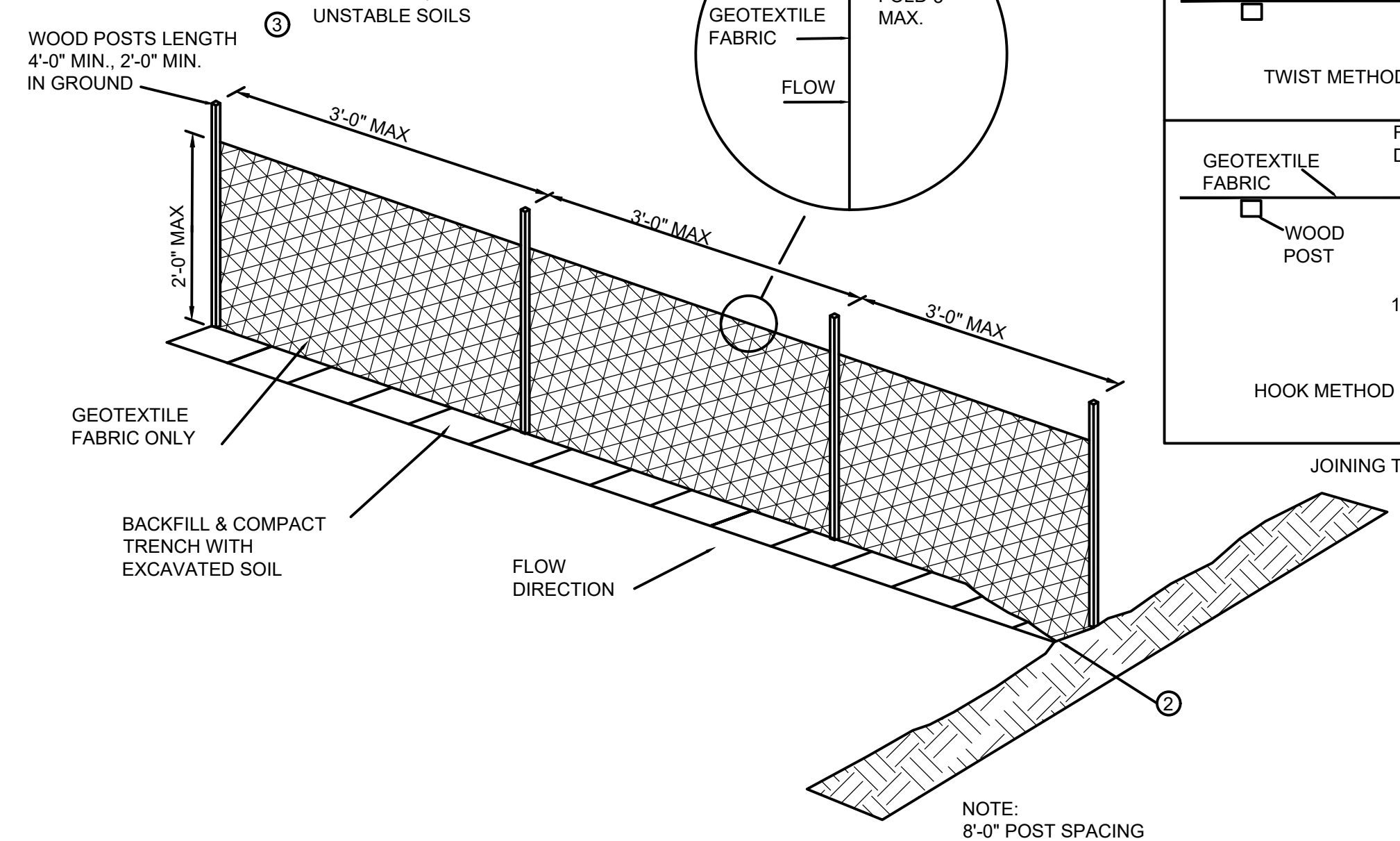
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GENERAL NOTES:
DETAILS OF CONSTRUCTION NOT SHOWN SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
2. FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180°.
B) HOOK THE END OF EACH SILT FENCE LENGTH.

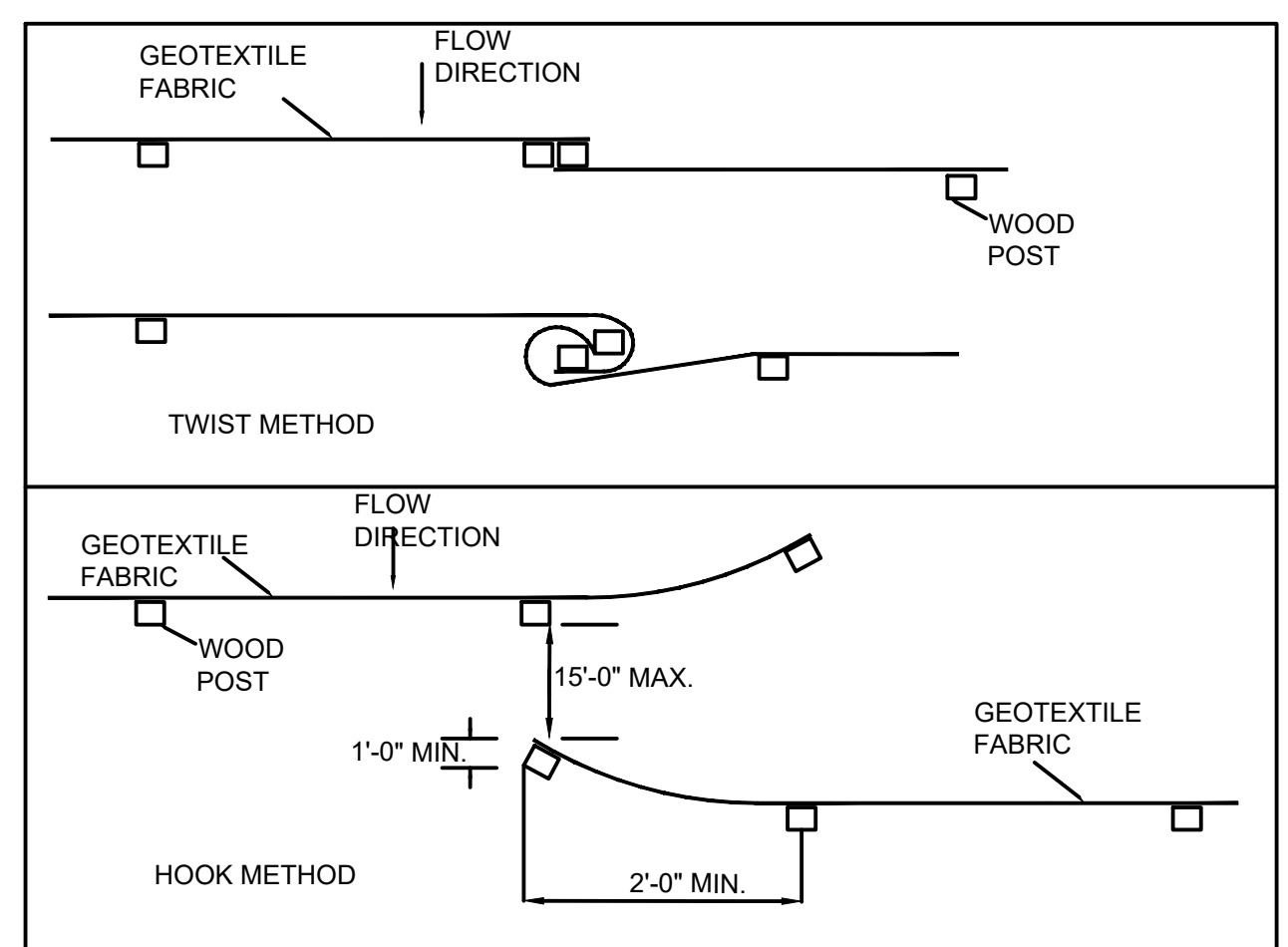


NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.



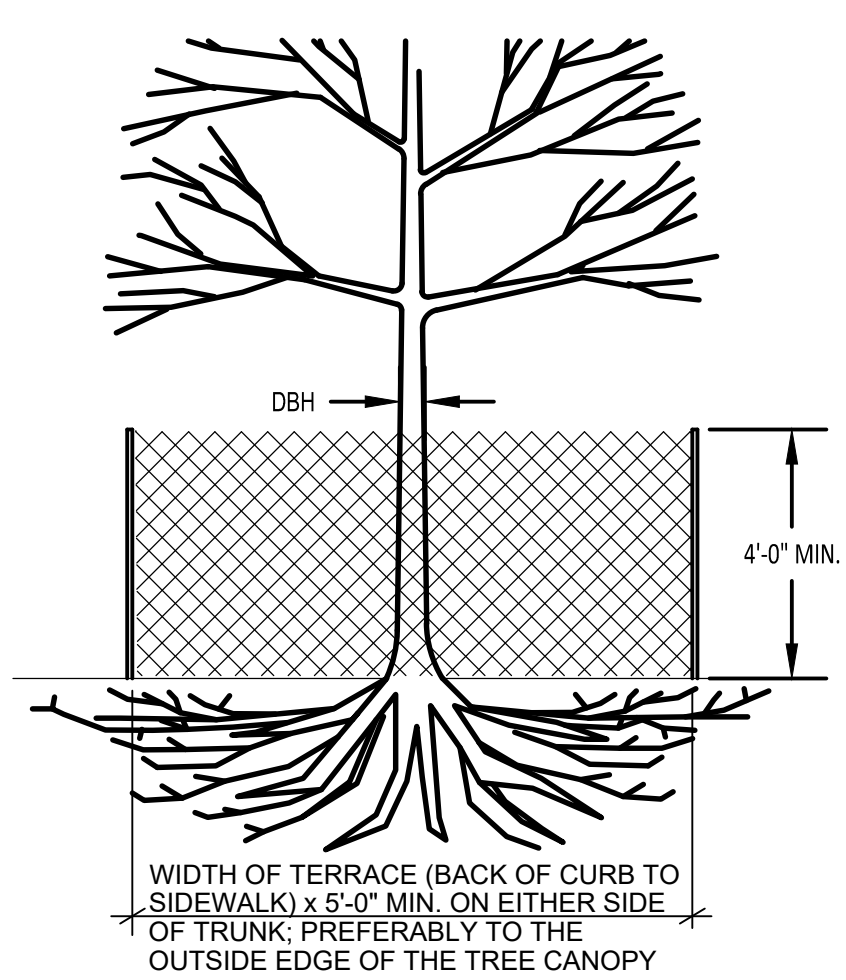
3 SILT FENCE

NTS



JOINING TWO LENGTHS OF SILT FENCE

NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.



NOTES:

1. ALL TREES SHOWN TO BE RETAINED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED DURING CONSTRUCTION WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31 13 16 "SELECTIVE TREE PROTECTION AND REMOVAL" AND PERFORM ALL WORK IN THE RIGHT-OF-WAY IN ACCORDANCE WITH CITY OF MADISON STANDARD 107.13 "TREE PROTECTION SPECIFICATION".
2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT. NO CONSTRUCTION MATERIALS, EQUIPMENT, OR SUPPLIES MAY BE STORED IN THE TREE PROTECTION AREA.
3. INSTALL TREE PROTECTION FENCE STAKES AT 6'-0" O.C., MAX.
4. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5-FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE, PREFERABLY TO THE OUTSIDE EDGE OF THE TREE CANOPY (OVERHEAD). NO EXCAVATION IS PERMITTED WITHIN 5-FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5-FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL COORDINATED WITH CITY FORESTRY. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

4 TREE PROTECTION

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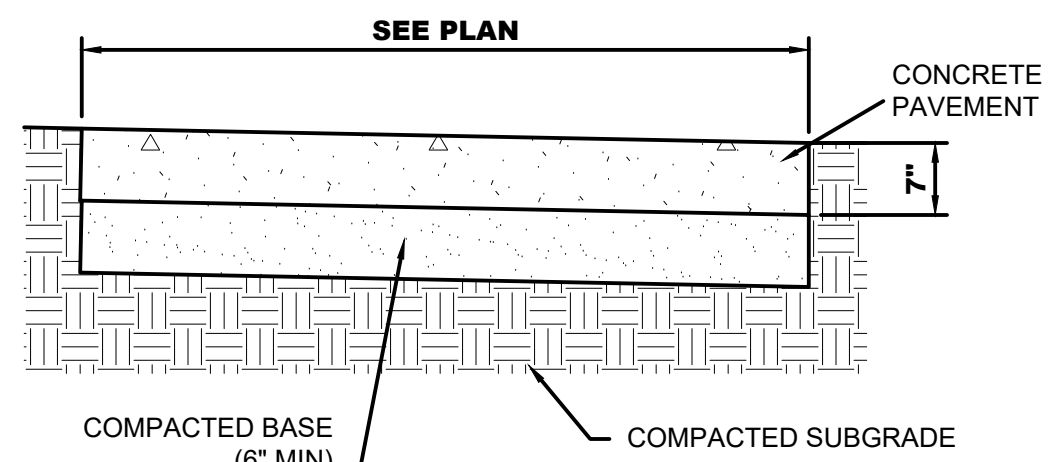
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EROSION CONTROL DETAILS

C500

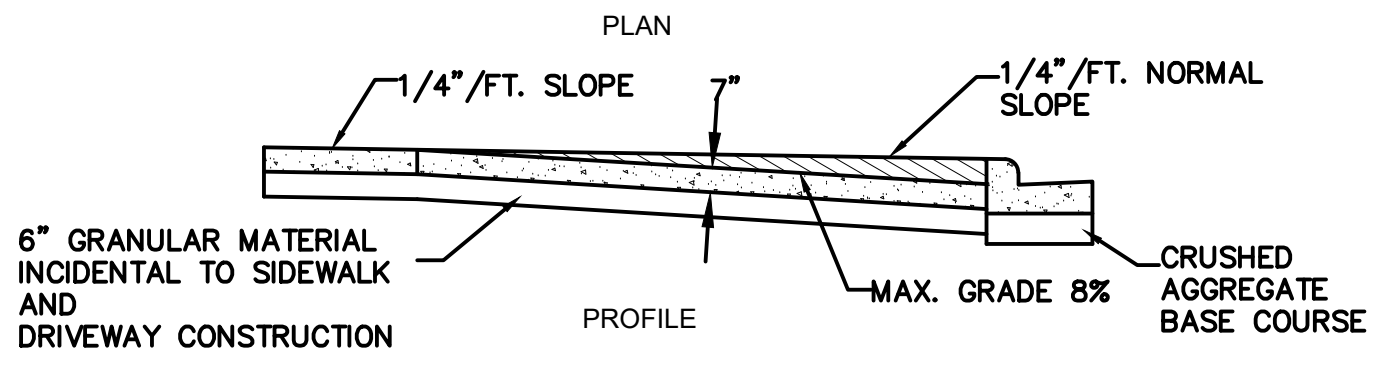
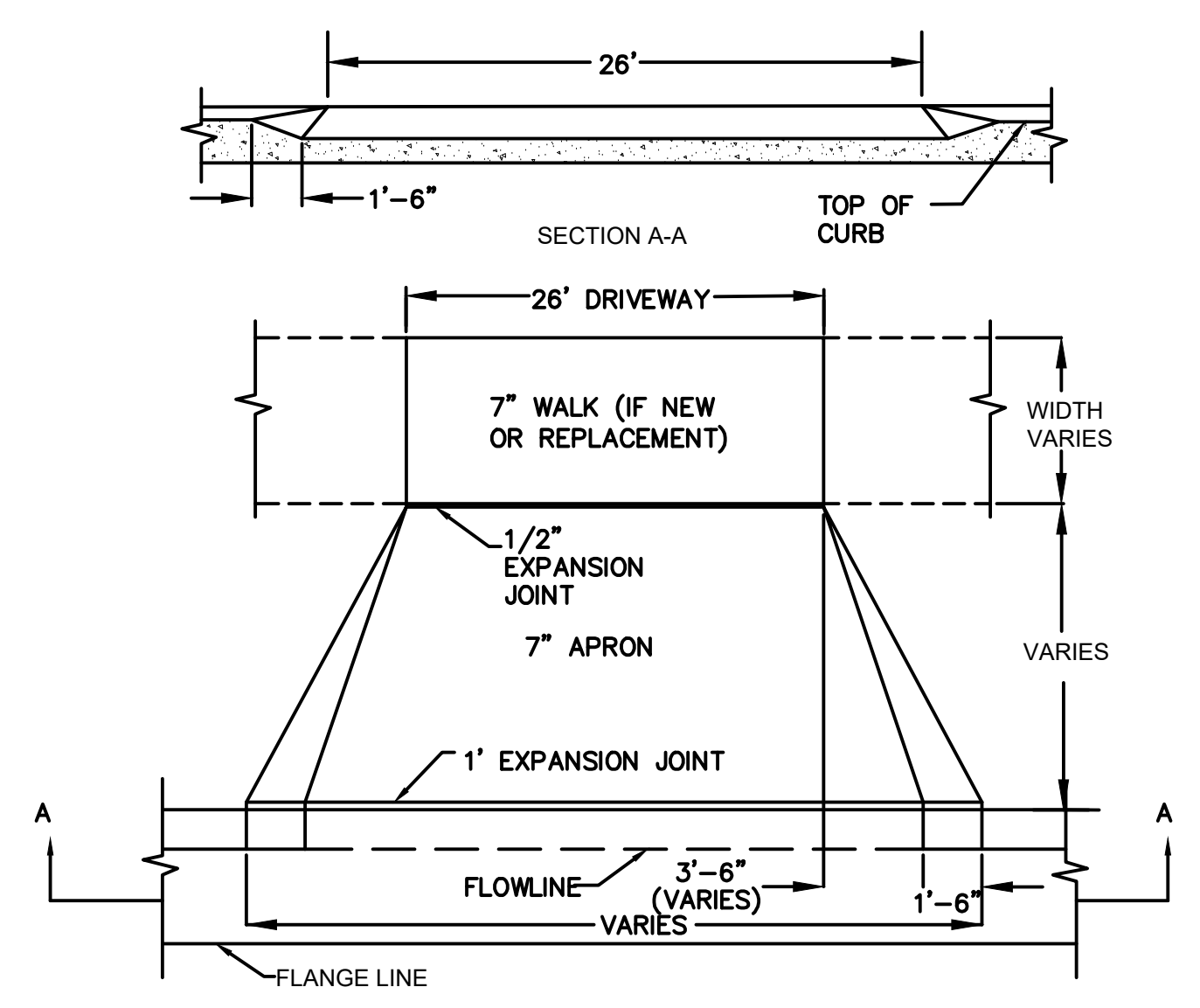
Notes: _____



1. DENSE GRADED BASE COURSE SHALL CONFORM TO WisDOT 305.2.2.1.1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
2. BASE COURSE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).
3. SEE DETAIL 9/C501 FOR CONTROL JOINTS
4. SEE DETAIL 11/C501 FOR EXPANSION JOINTS
5. SEE SCORING PATTERN IN PLANS FOR CROSSWALK.

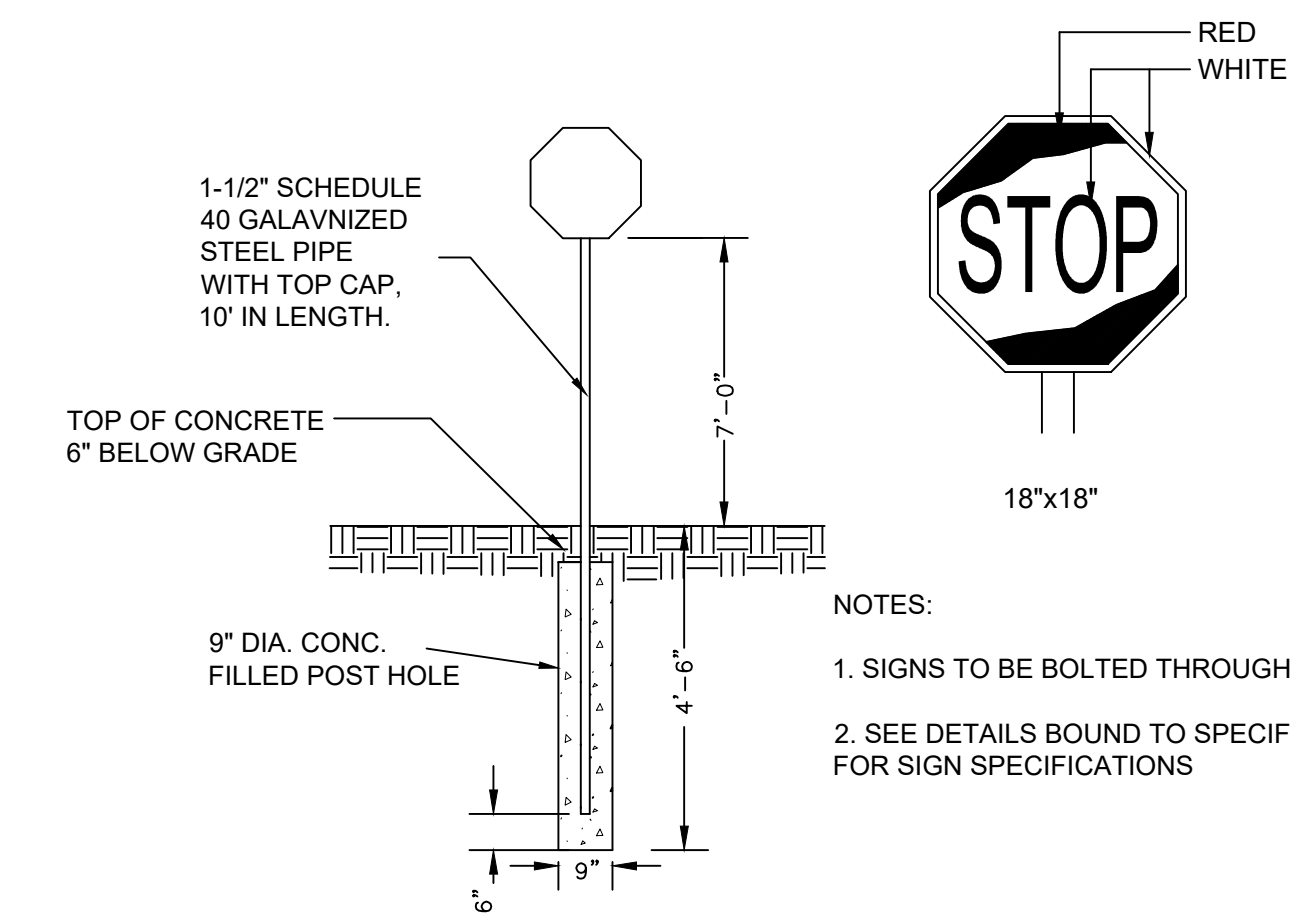
1 HD CONCRETE CROSSWALK

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3 COMMERCIAL DRIVEWAY

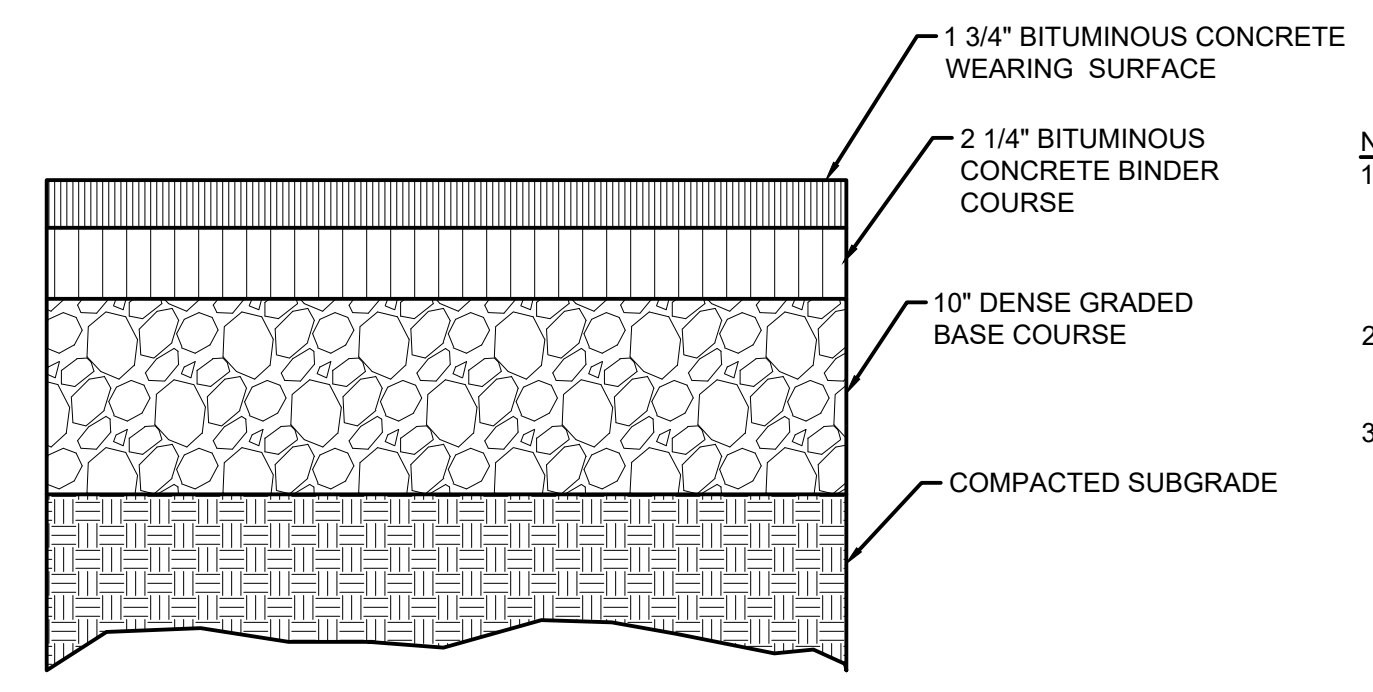
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- NOTES:
1. SIGNS TO BE BOLTED THROUGH PIPE
 2. SEE DETAILS BOUND TO SPECIFICATIONS FOR SIGN SPECIFICATIONS

5 STOP SIGN

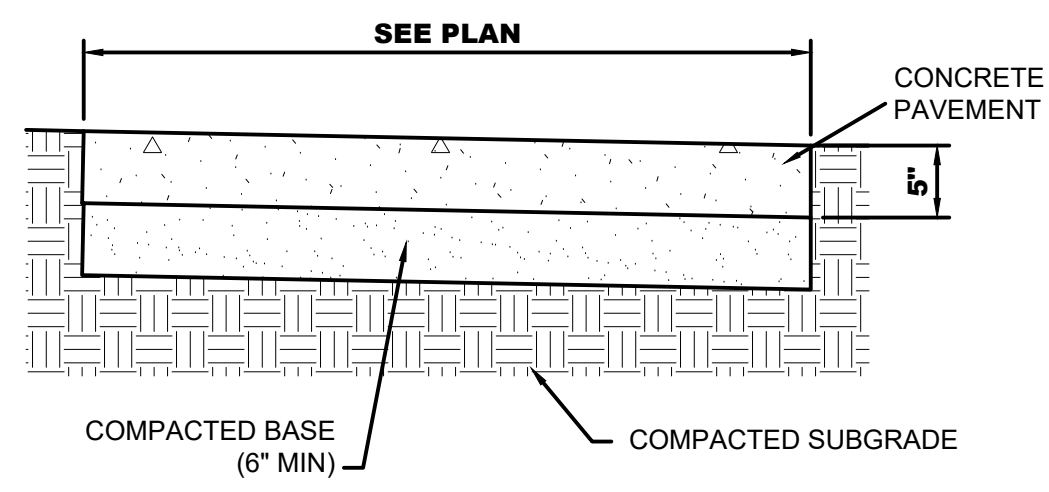
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- NOTES:
1. HMA PAVEMENT W/ DOT SUPERPAVE TYPE E-1 MIX DESIGN, WITH A MAXIMUM NOMINAL AGGREGATE SIZE OF 12.5MM COMPACTED TO 92% OF THE MAXIMUM SPECIFIC GRAVITY AS DETERMINED BY ASTM D2041.
 2. DENSE GRADED BASE COURSE SHALL CONFORM TO WisDOT STANDARD SPECIFICATIONS 305.2.2.1.1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
 3. BASE COURSE MATERIAL SHALL BE PLACED IN INDIVIDUAL 5\"/>

2 HMA PAVEMENT - HEAVY DUTY DRIVE AREAS

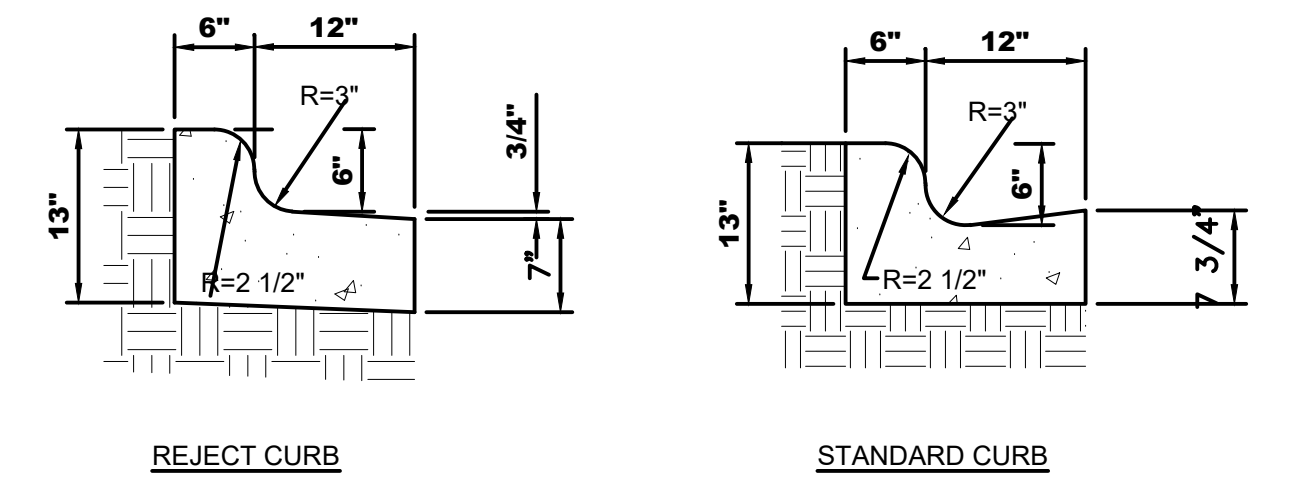
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1. DENSE GRADED BASE COURSE SHALL CONFORM TO WisDOT 305.2.2.1.1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
2. BASE COURSE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).
3. SEE DETAIL 9/C501 FOR CONTROL JOINTS
4. SEE DETAIL 11/C501 FOR EXPANSION JOINTS

7 CONCRETE SIDEWALK

NTS

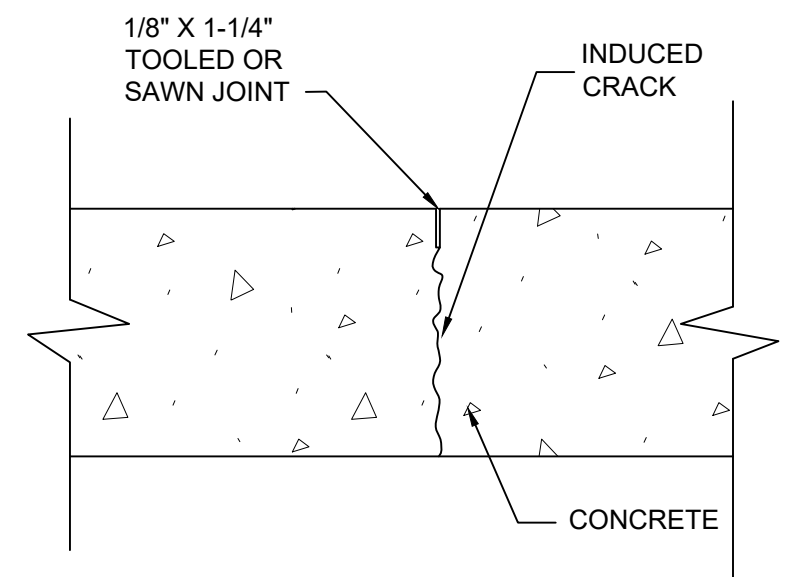


- GENERAL NOTES:
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3\"/>
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2\"/>

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

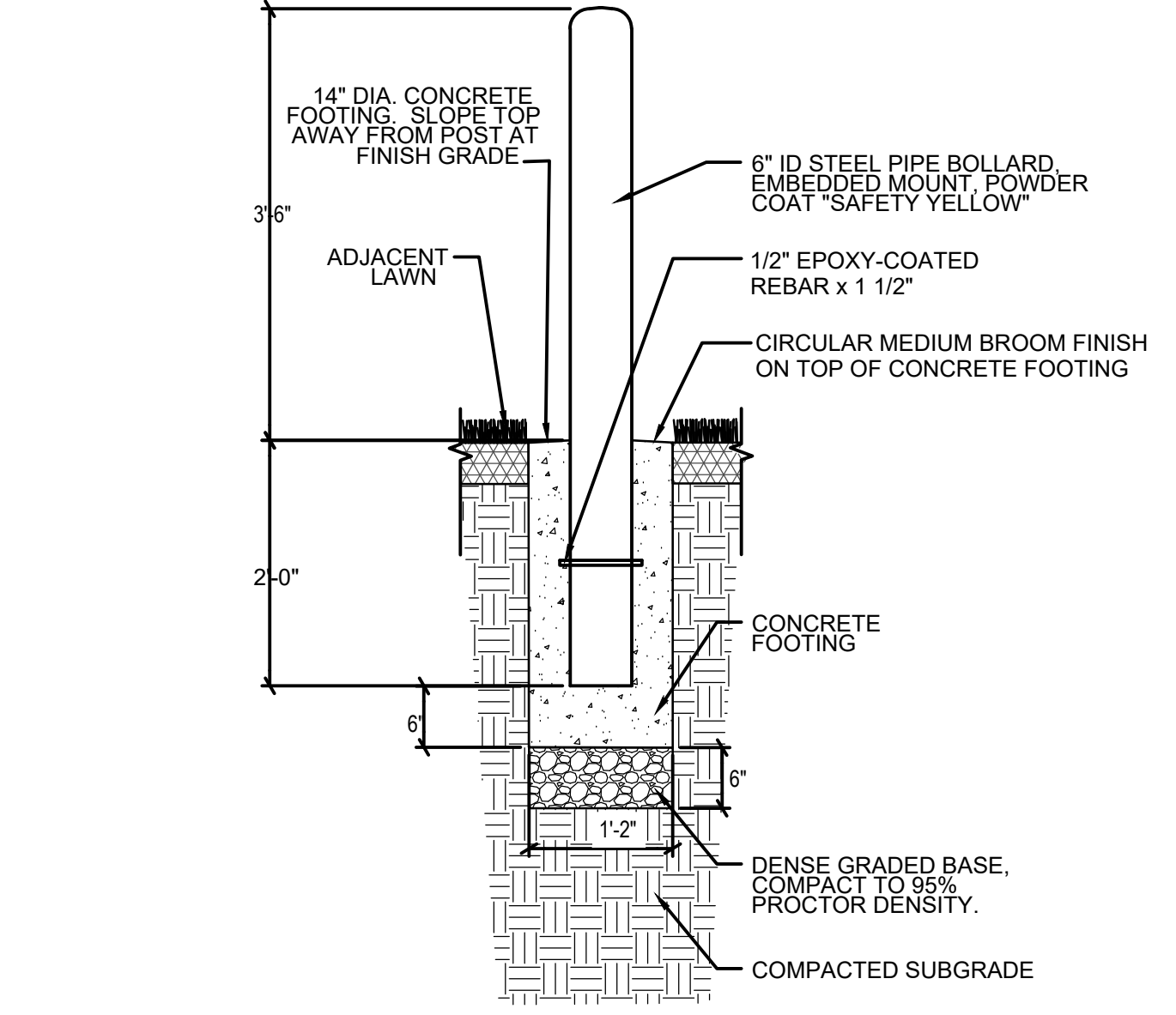
8 18\"/>

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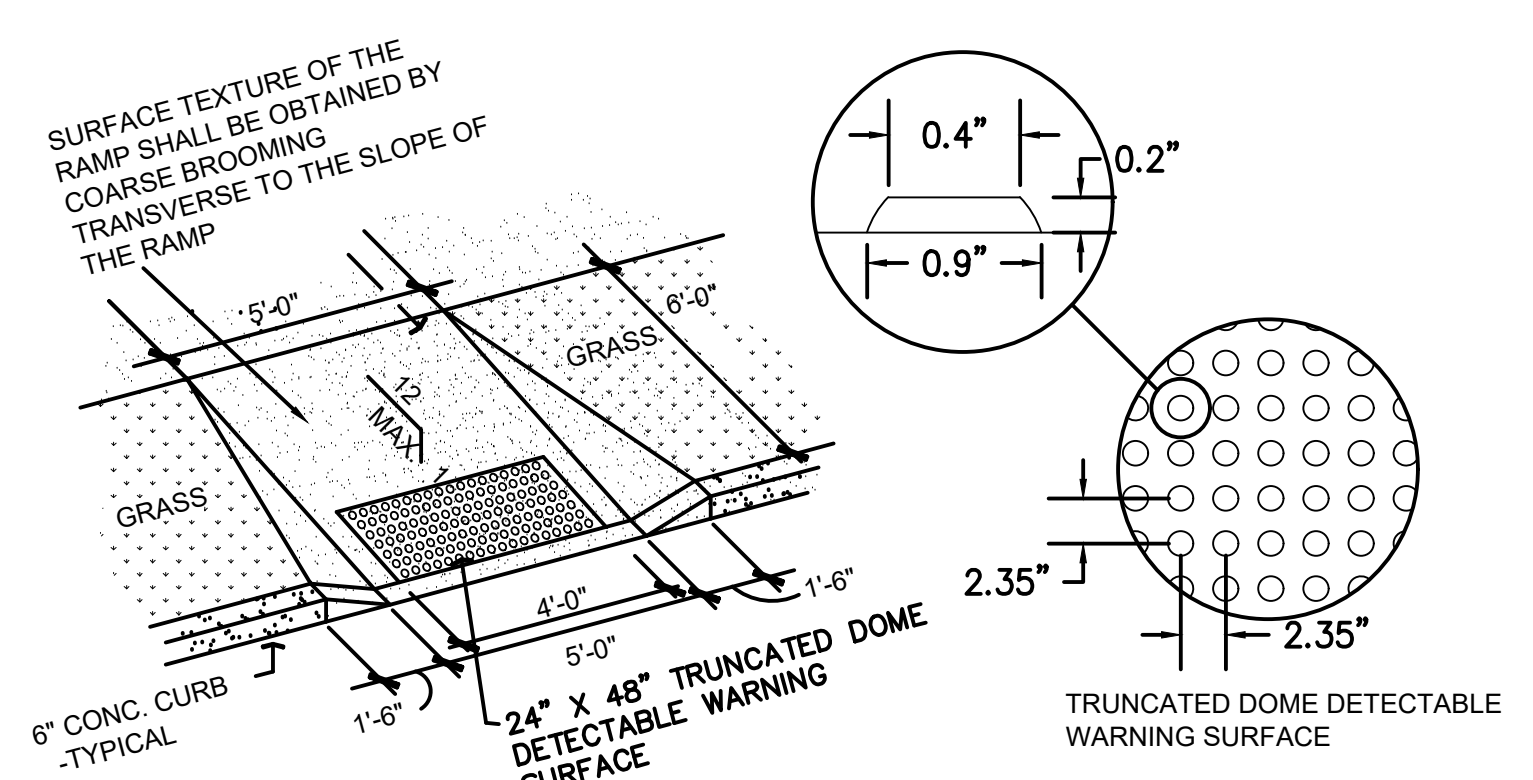
9 CONTROL JOINT

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10 BOLLARD

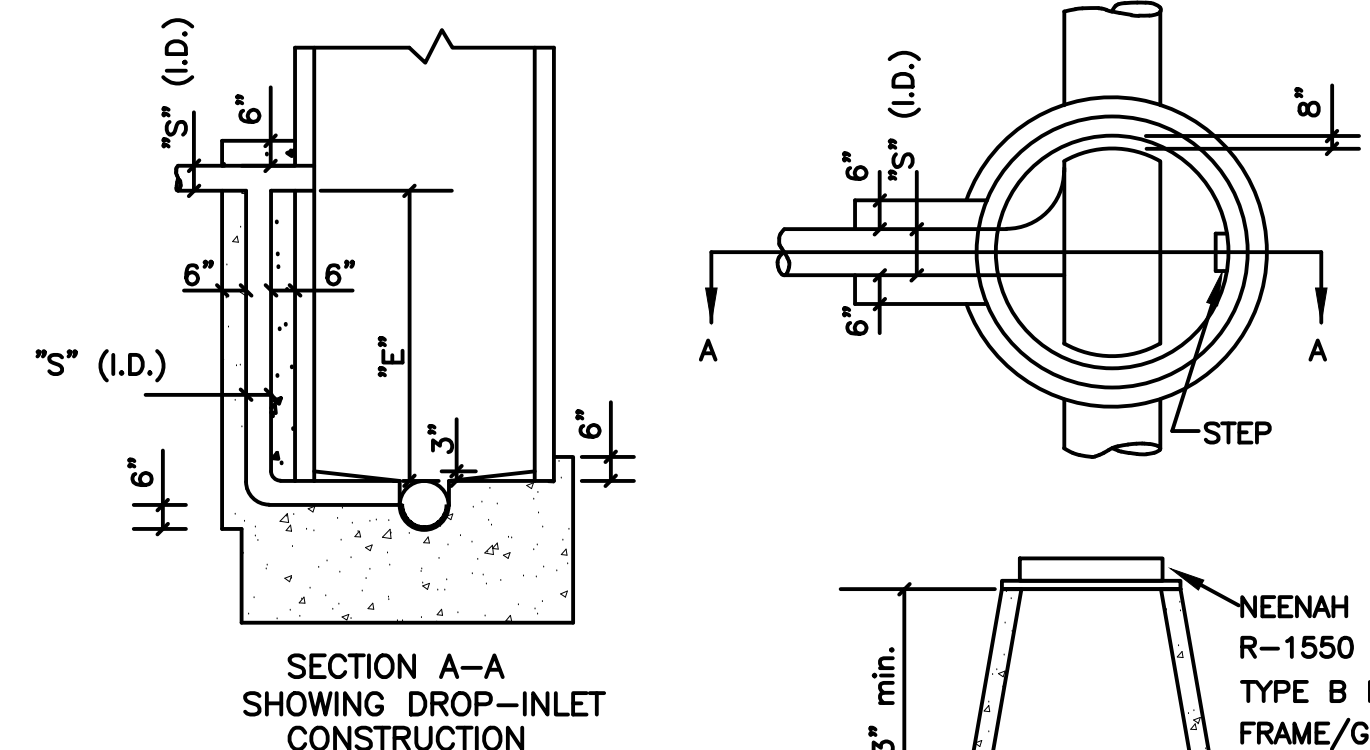
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- NOTES:
1. DETECTABLE WARNING SURFACE SHALL BE STAMPED INTO THE CONCRETE OR ARMOR-TILE MODEL ADA-C2448YW MAY BE CAST IN PLACE RAMP AT THE TIME OF CONSTRUCTION. ARMOR-TILE MODEL ADA-S2448YW MAY BE USED AFTER THE RAMP IS POURED.
 2. DETECTABLE WARNING SURFACE SHALL BE PAINTED YELLOW.
 3. ALTERNATE METHODS OF CREATING THE DETECTABLE WARNING SURFACE MUST BE APPROVED BY THE ENGINEER.
 4. SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

12 CURB RAMP

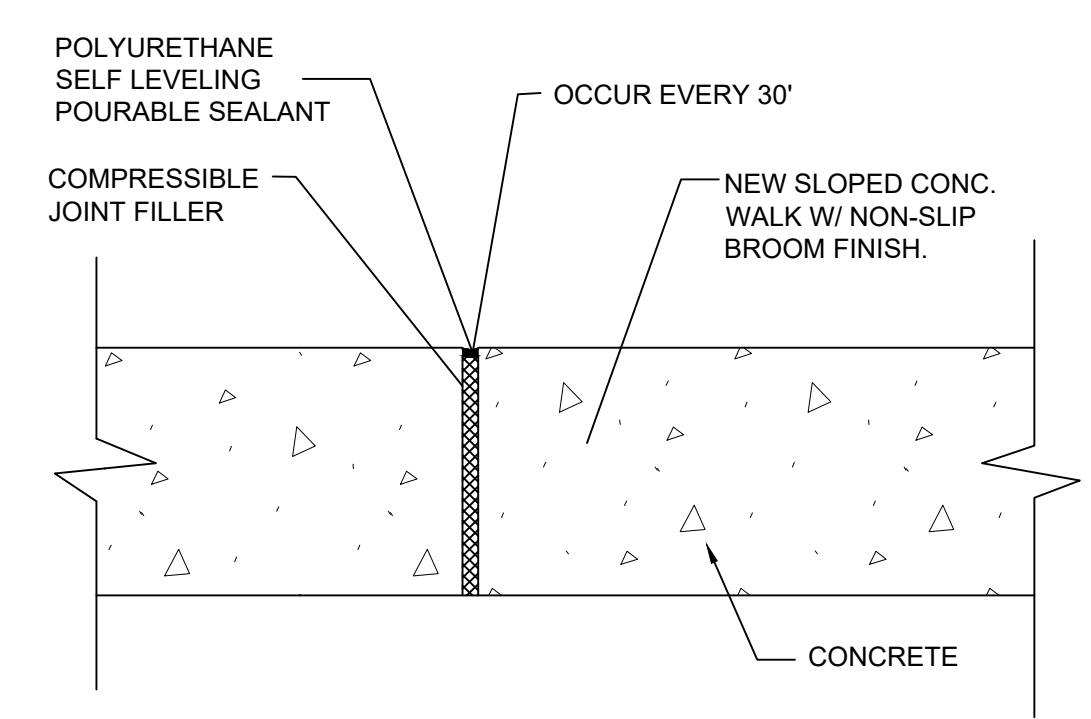
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- NOTES:
1. PRECAST MANHOLE SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C-476.
 2. A CONTINUOUS SOWER SHALL BE LAID THROUGH THE MANHOLE EXCEPT AT JUNCTIONS AND ANGLES.
 3. THE SOWER SHALL BE SUPPORTED AT THE MIDPOINT OF THE MANHOLE WITH A SOLID CONCRETE UNIT PRIOR TO POURING THE BASE.
 4. STEPS SHALL BE INSTALLED IN ALL MANHOLES ON 10\"/>

13 SANITARY MANHOLE

NTS



11 EXPANSION JOINT






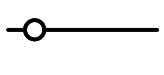




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LEGEND

-  SEEDED BLUEGRASS LAWN
-  GREEN ROOF
-  HARDWOOD BARK MULCH PLANTING BED WITH SHOVEL CUT EDGE
-  STONE MULCH WITH METAL EDGE
-  EXISTING TREE
-  TREE PROTECTION FENCE
-  LANDSCAPE EDGE
-  (1) METAL EDGE
-  (2) SHOVEL CUT EDGE
-  PROJECT BOUNDARY

NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL PROTECT BENCHMARKS.
3. ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
4. ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
5. ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDING AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
6. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL AND LAWNS - SEE SPECIFICATIONS FOR MORE INFORMATION.
7. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT

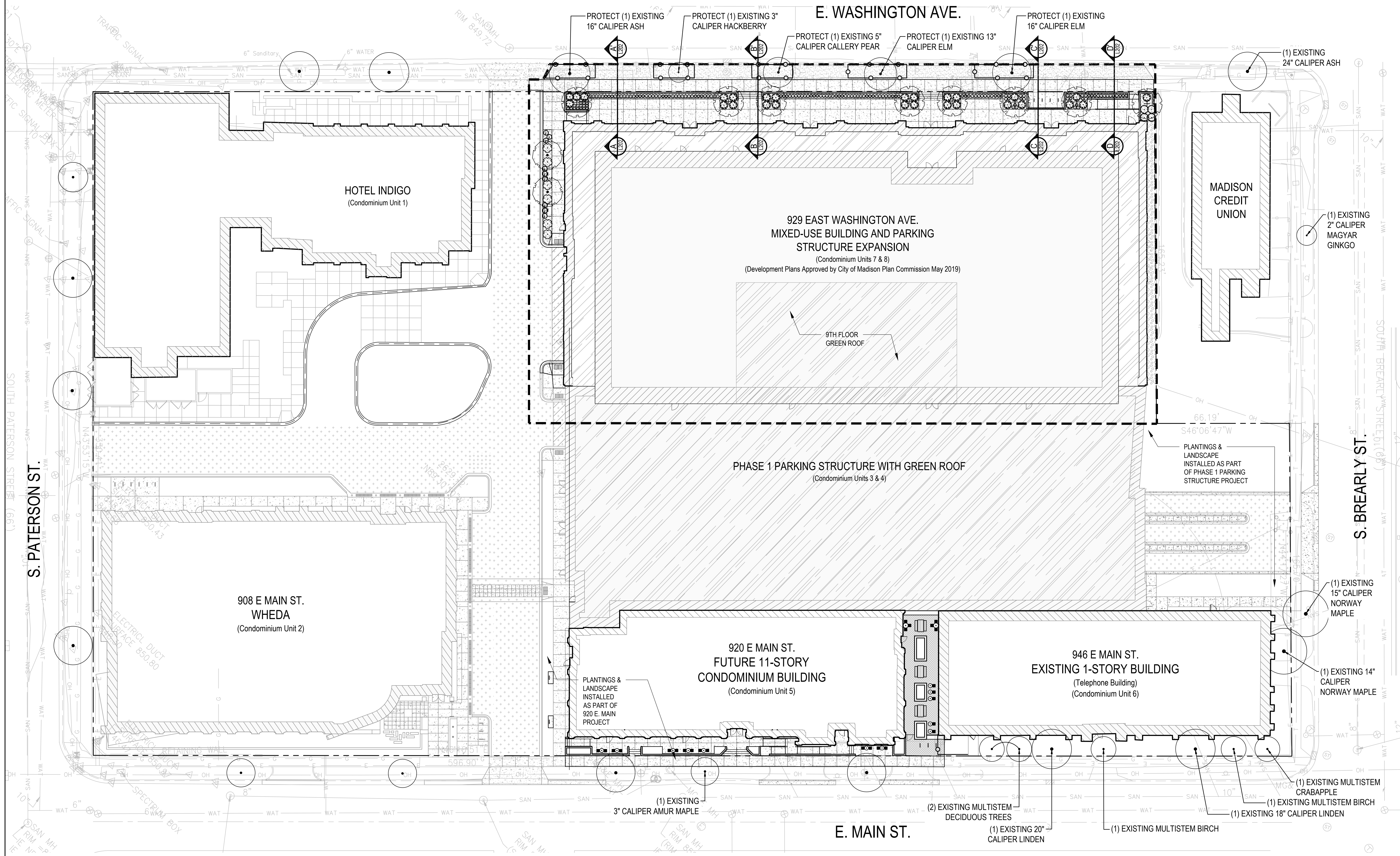
PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM

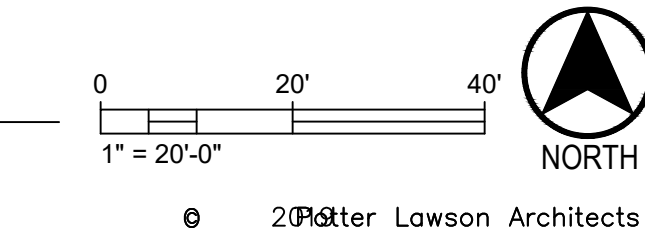
CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED

8. IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
9. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
10. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
11. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300- PART 1 STANDARDS FOR PRUNING.
12. NO STREET TREE REMOVALS OR PLANTING ARE ANTICIPATED AS PART OF THE 929 E. WASH PROJECT PHASE OF THE OVERALL ARCHIPELAGO DEVELOPMENT.

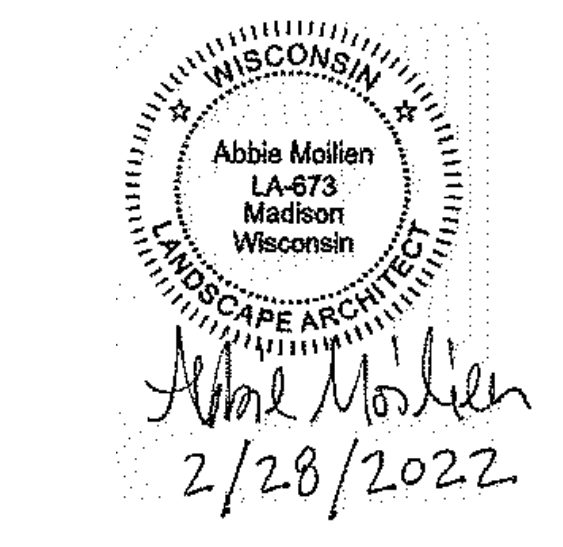
13. IF PLANTING IS REQUIRED, AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
14. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO SOIL PREPARATION, TURF AND GRASSES, AND PLANTS (SECTIONS 32 91 13, 32 92 00 & 32 93 00). THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.



1 OVERALL SITE RESTORATION PLAN
SCALE: 1" = 20'-0" (AT 30"x42" FULL SIZE SHEET)



Notes:



PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
02/28/2022	LAND USE SUBMITTAL	

OVERALL SITE RESTORATION PLAN

L100

City of Madison Landscape Worksheet
929 East Washington Avenue
February 28, 2022
Traditional Employment Urban Design District 8

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal
Total Developed Area	23,405	n/a	78	390
Landscape Points Required				390

Development Frontage	LF	Overstory Tree Req. (or x2 for Orn./Evgrn. Tree Sub.)	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & Streets	290	10	48

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	8	0	280
Ornamental Tree	15	0	0	0
Evergreen Tree	15	0	0	0
Shrub, deciduous	2	31	0	62
Shrub, evergreen	3	0	0	0
Perennial/Ornamental Grass	2	146	0	292
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	184	0	74
Development Frontage Points Total				634

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	2	0	70
Ornamental Tree	15	0	0	0
Evergreen Tree	15	0	0	0
Shrub, deciduous	2	6	0	12
Shrub, evergreen	3	0	0	0
Perennial/Ornamental Grass	2	9	0	18
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0	0
General Site Plantings Total				100

Interior Parking Lots	N/A
Total Parking Lot Area	n/a

General Site, Foundation, Screening	Quantity Proposed	Quantity Existing	Points Achieved
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	16
TOTAL LANDSCAPE POINTS			734

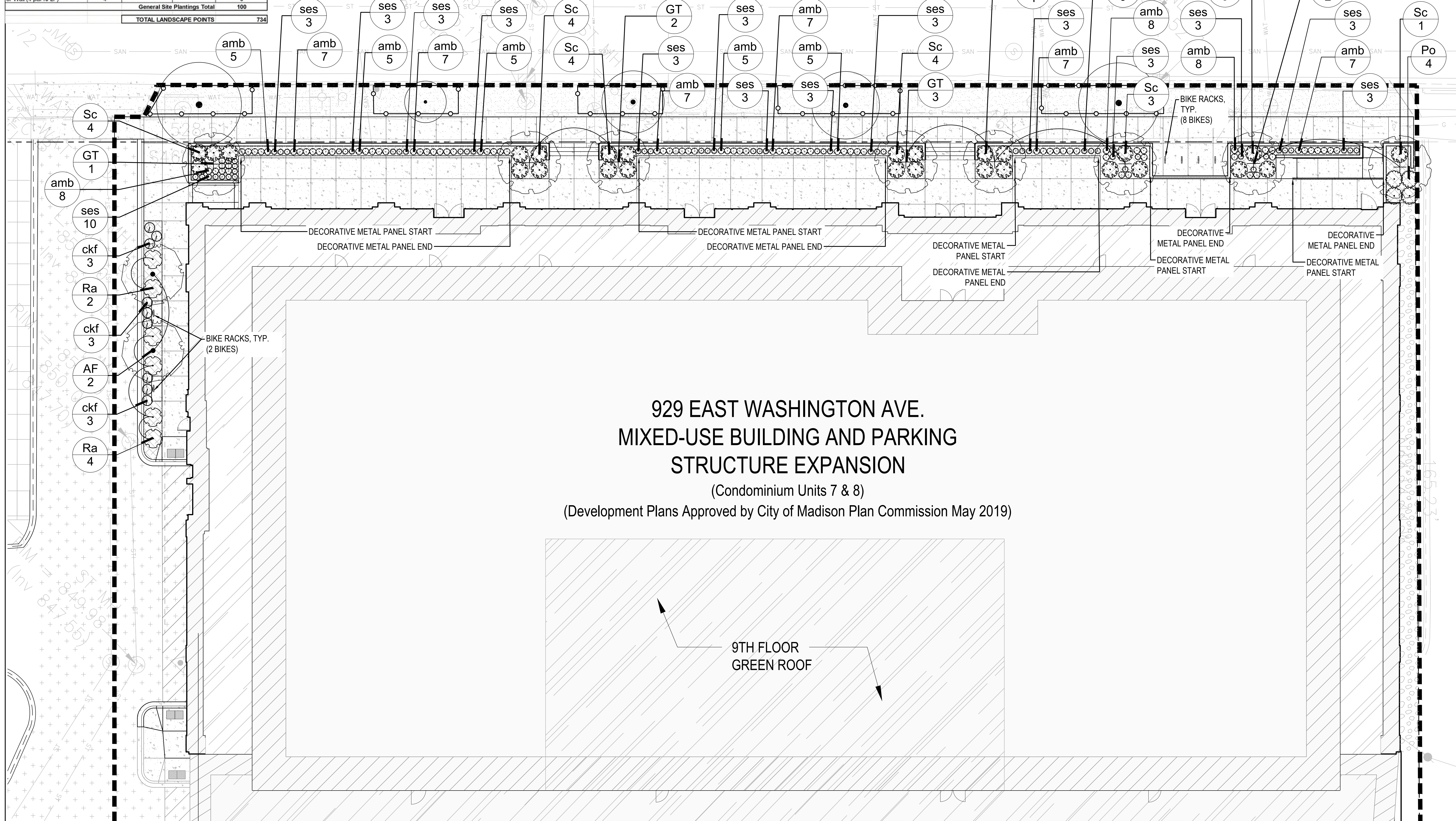
PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5' Cal	2
	GT	Gleditsia triacanthos 'Draves' PP 21688 / Street Keeper Honey Locust	B & B	2' Cal	8
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal	24" HT (MIN.)	4
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SPR. (MIN.)	6
	Sc	Stephanandra incisa 'Crispa' / Cutleaf Stephanandra	2 gal	18" SPR. (MIN.)	27
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	ckf	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.	9
	ses	Sesleria autumnalis / Autumn Moor Grass	1 qt	CONT.	55
PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	amb	Amsonia tabernaemontana 'Blue Ice' / Blue Ice Star Flower	1 qt	CONT.	91

- LEGEND**
- SEEDED BLUEGRASS LAWN
 - GREEN ROOF
 - HARDWOOD BARK MULCH PLANTING BED WITH SHOVEL CUT EDGE
 - STONE MULCH WITH METAL EDGE
 - EXISTING TREE
 - TREE PROTECTION FENCE
 - LANDSCAPE EDGE
 - METAL EDGE
 - SHOVEL CUT EDGE
 - PROJECT BOUNDARY

- NOTES**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL PROTECT BENCHMARKS. PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES AND OTHER IMPROVEMENTS FROM CONSTRUCTION RELATED ACTIVITIES.
 - TOPSOIL AND PLANTING SOILS USED FOR THIS PROJECT MUST BE HIGH-QUALITY. REFER TO SECTION 32 91 13 FOR TOPSOIL QUALITY AND TESTING REQUIREMENTS.
 - COMPACTED CONSTRUCTION AREAS MUST BE EXCAVATED AND DECOMPACTED PRIOR TO TOPSOIL OR PLANTING SOIL PLACEMENT. VERIFY THAT THESE REQUIREMENTS HAVE BEEN MET AND THAT THE SPECIFIED DEPTH OF TOPSOIL OR PLANTING SOIL HAS BEEN PROVIDED PRIOR SEEDING OR PLANTING; REFER TO SECTION 32 91 13.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLETELY AND THOROUGHLY REVIEWING ALL INFORMATION IN DIVISION 31 AND 32 AND CONFORMING THE WORK TO THOSE ADDITIONAL PROJECT REQUIREMENTS.
 - ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
 - ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDED AT NO COST TO OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
 - REFER TO L100 FOR NOTES ON TREE PROTECTION AND RIGHT-OF-WAY TREES.

E. WASHINGTON AVE.



**929 EAST WASHINGTON AVE.
MIXED-USE BUILDING AND PARKING
STRUCTURE EXPANSION**
(Condominium Units 7 & 8)
(Development Plans Approved by City of Madison Plan Commission May 2019)

9TH FLOOR
GREEN ROOF



Notes:

Abbie Mollen
LA-673
Madison
Wisconsin
Landscape Architect
2/28/2022

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

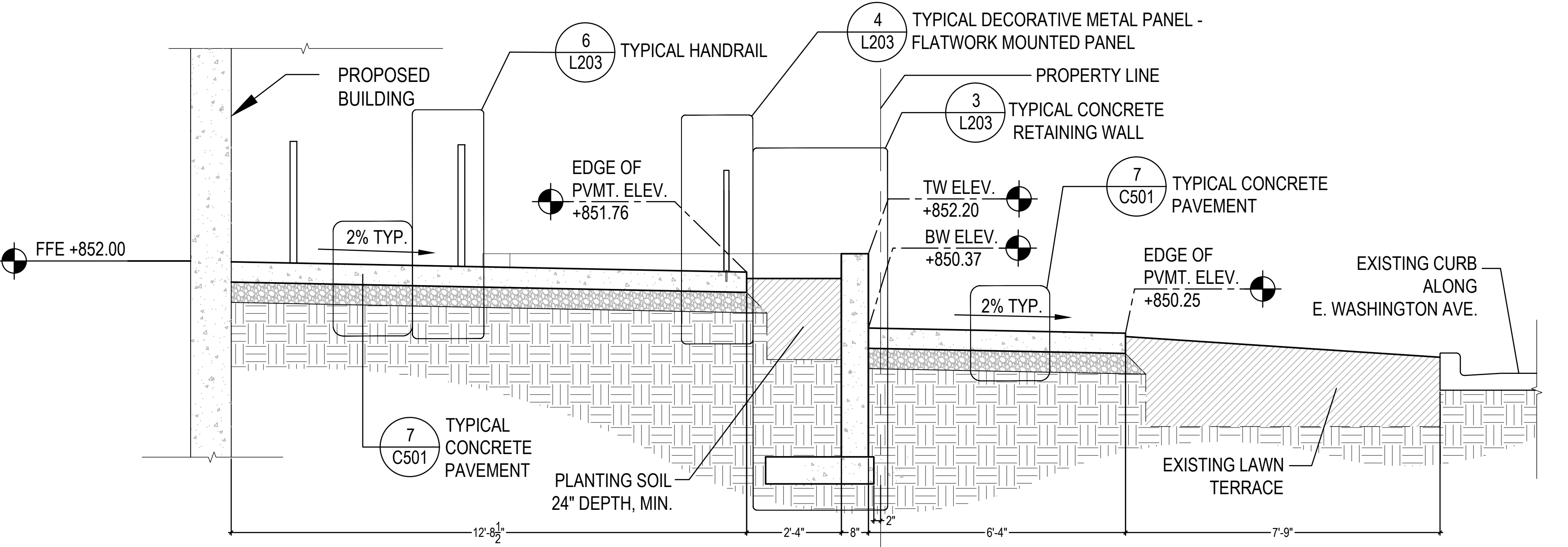
929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

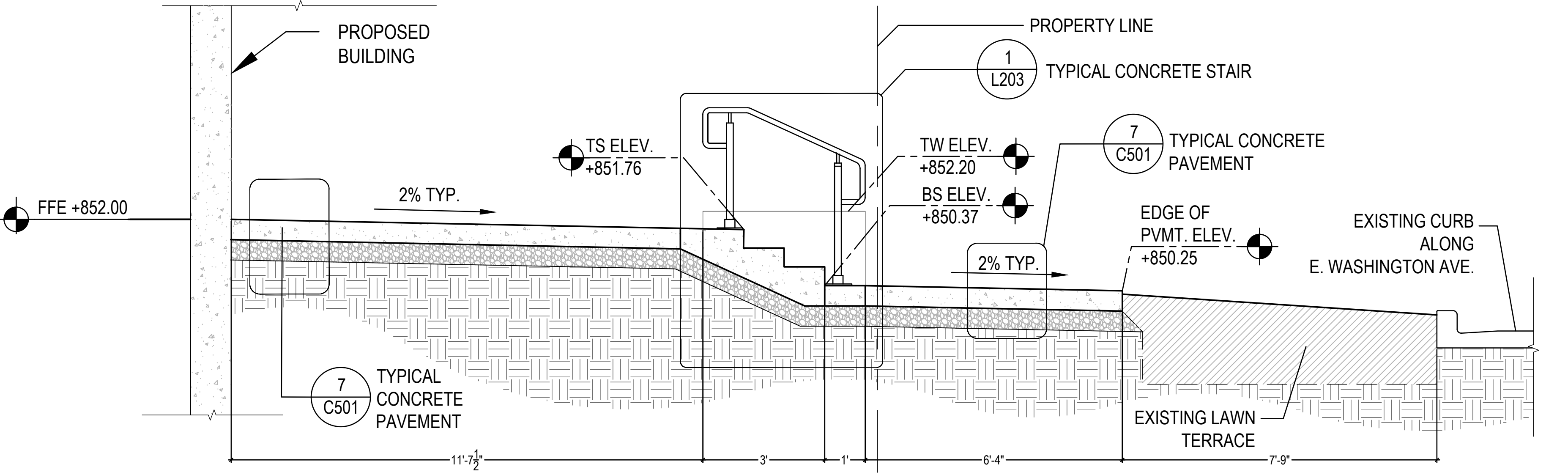
Date	Issuance/Revisions	Symbol
02/28/2022	LAND USE SUBMITTAL	

PLANTING & LANDSCAPE
RESTORATION PLAN

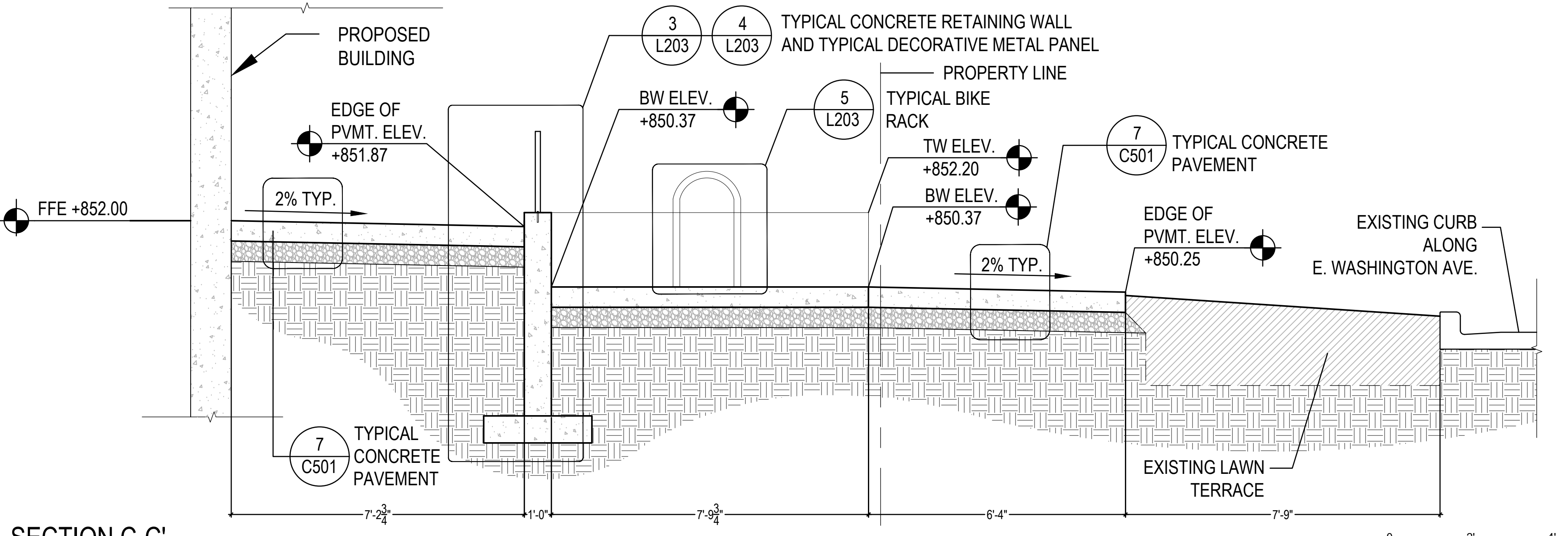
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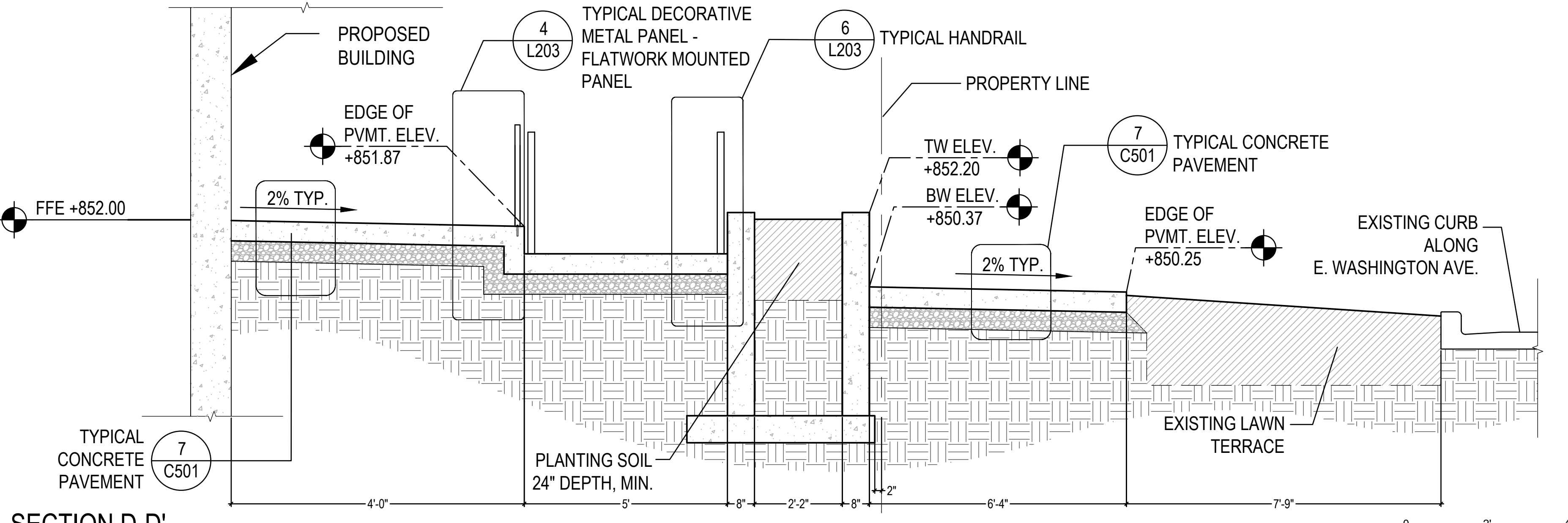
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SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



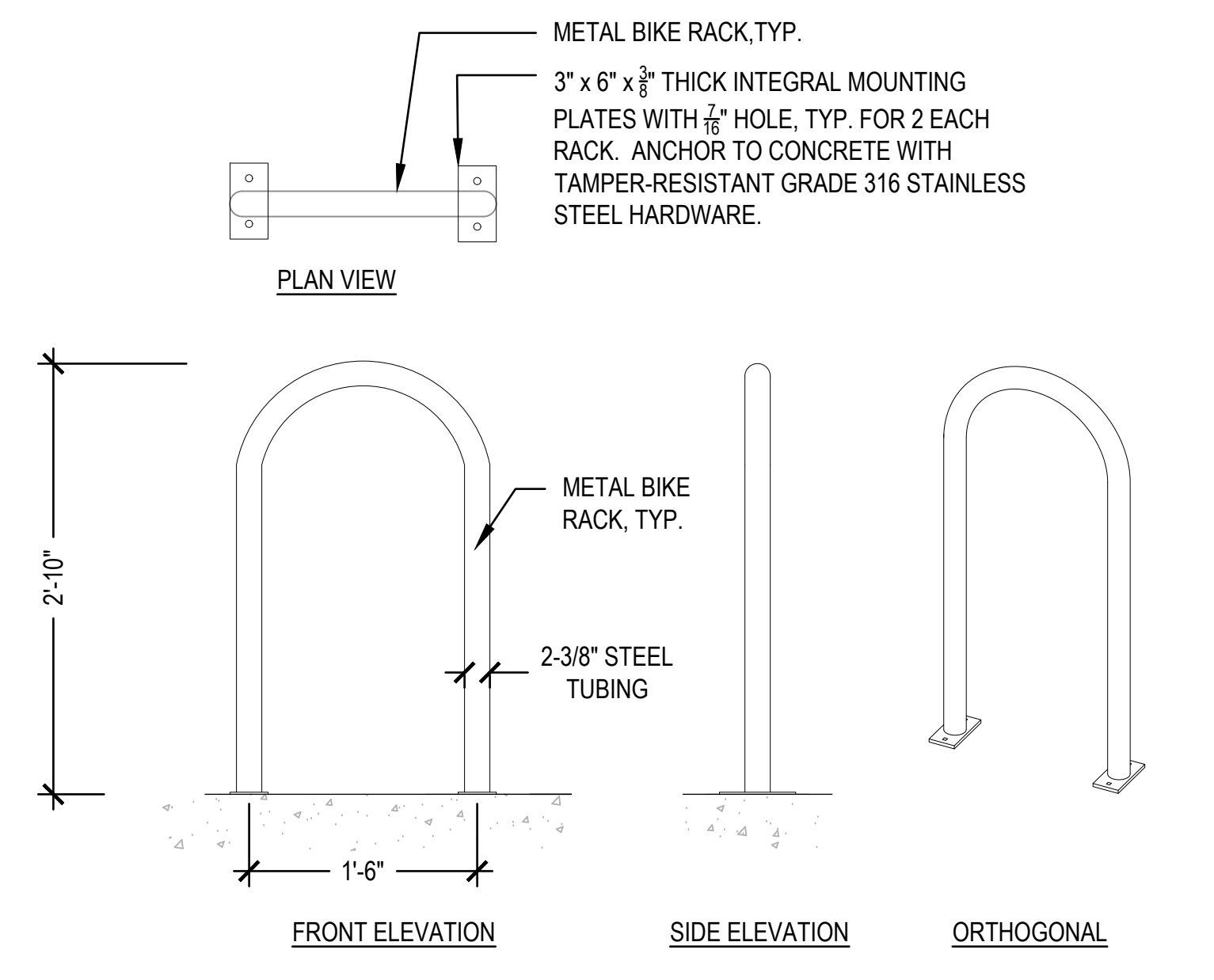
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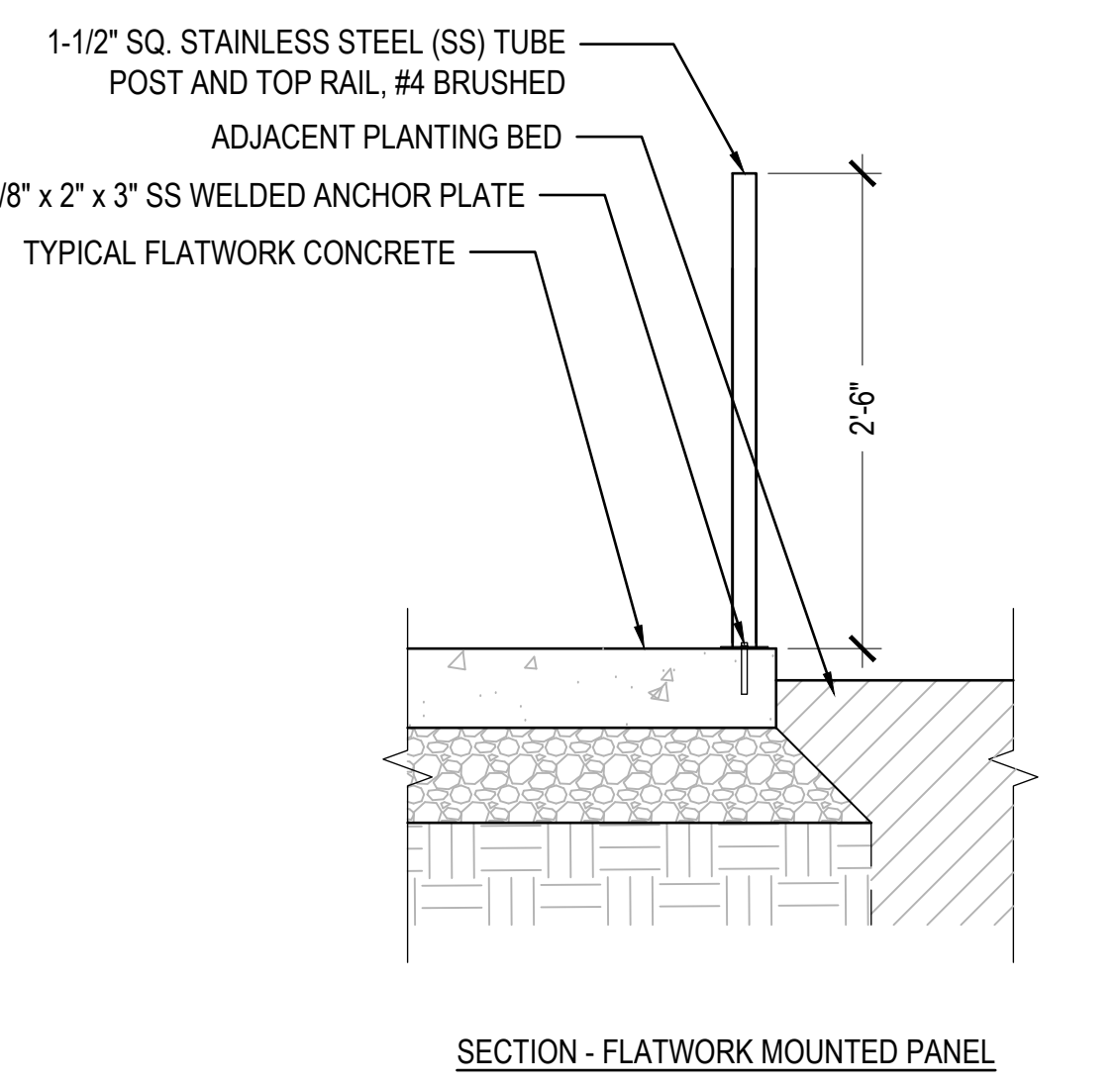
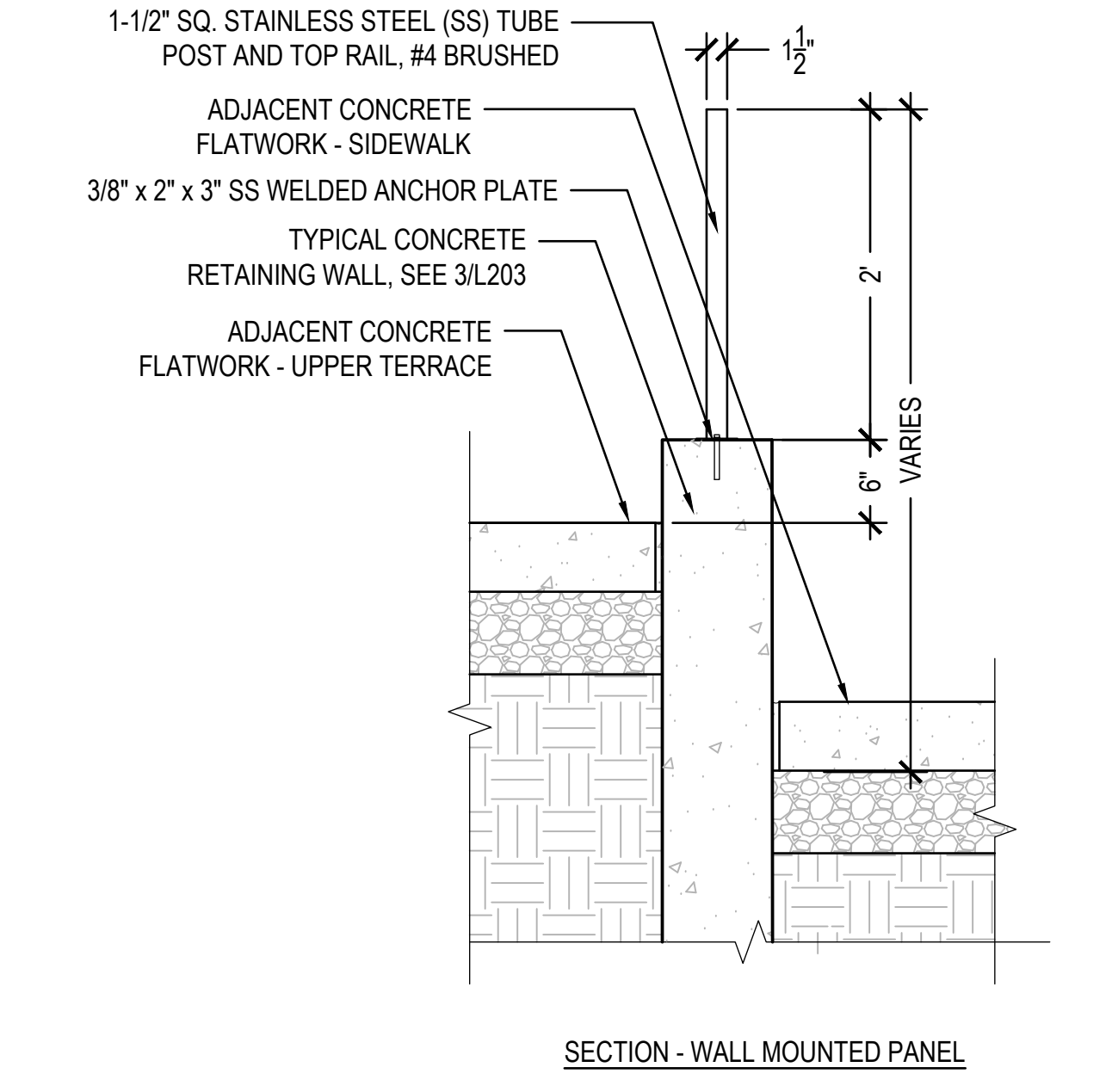
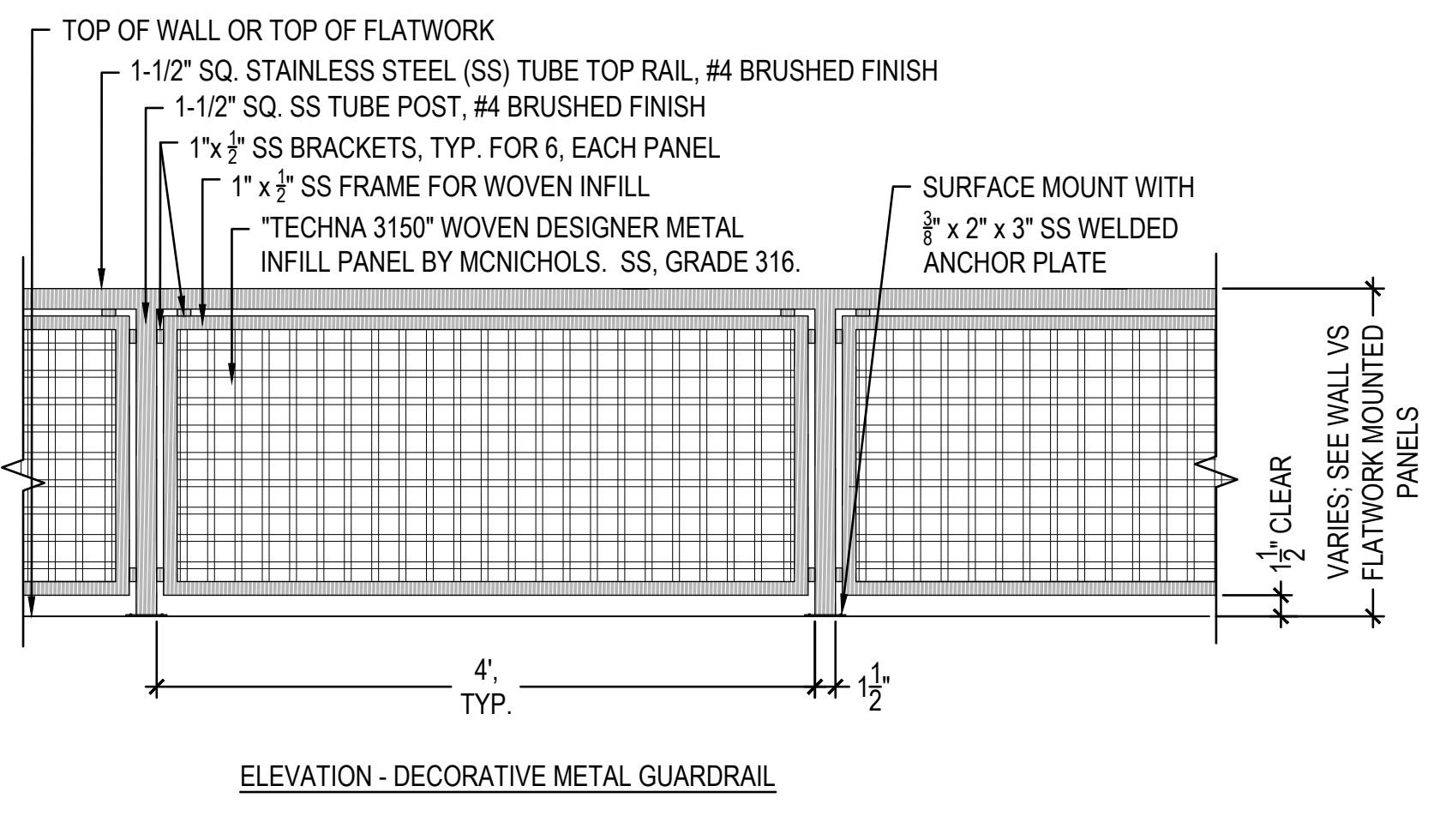
4 SECTION C-C'
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



6 SECTION D-D'
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



2 TYPICAL BIKE RACK
SCALE: 1" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



5 TYPICAL DECORATIVE METAL PANEL GUARDRAIL
SCALE: 1" = 1'-0" (AT 30"x42" FULL SIZE SHEET)

GENERAL NOTES

1. ALL EXPOSED SITE WALLS ALONG EAST WASHINGTON ELEVATED PATIO SHALL HAVE A BOARD FORMED FINISH ON ALL EXPOSED FACES, INCLUDING INSIDE FACING RAMPS, PATIOS AND STAIRS.
2. THESE SECTIONS ARE GRAPHIC IN NATURE TO CONVEY DESIGN INTENT AND RELATIONSHIPS FOR SITE CONSTRUCTION. WALL FOOTINGS, REINFORCING AND CONNECTIONS TO ADJACENT WORK WILL BE REQUIRED. STRUCTURAL ENGINEER WILL DESIGN FOOTING SIZE, REINFORCING SIZE AND SPACING, AND CONNECTION SIZE AND SPACING.
3. ALL CONCRETE FLATWORK SHALL HAVE A MEDIUM BROOM FINISH
4. REFER TO CIVIL NOTES AND DETAILS FOR ADDITIONAL INFORMATION ON CONCRETE FLATWORK.

Notes:

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929 E Washington Ave
Madison, Wisconsin

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EAST WASHINGTON TERRACE
SECTIONS & SELECT DETAILS

L202

Notes:

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6TH FLOOR GREEN ROOF PLAN
L300

LEGEND

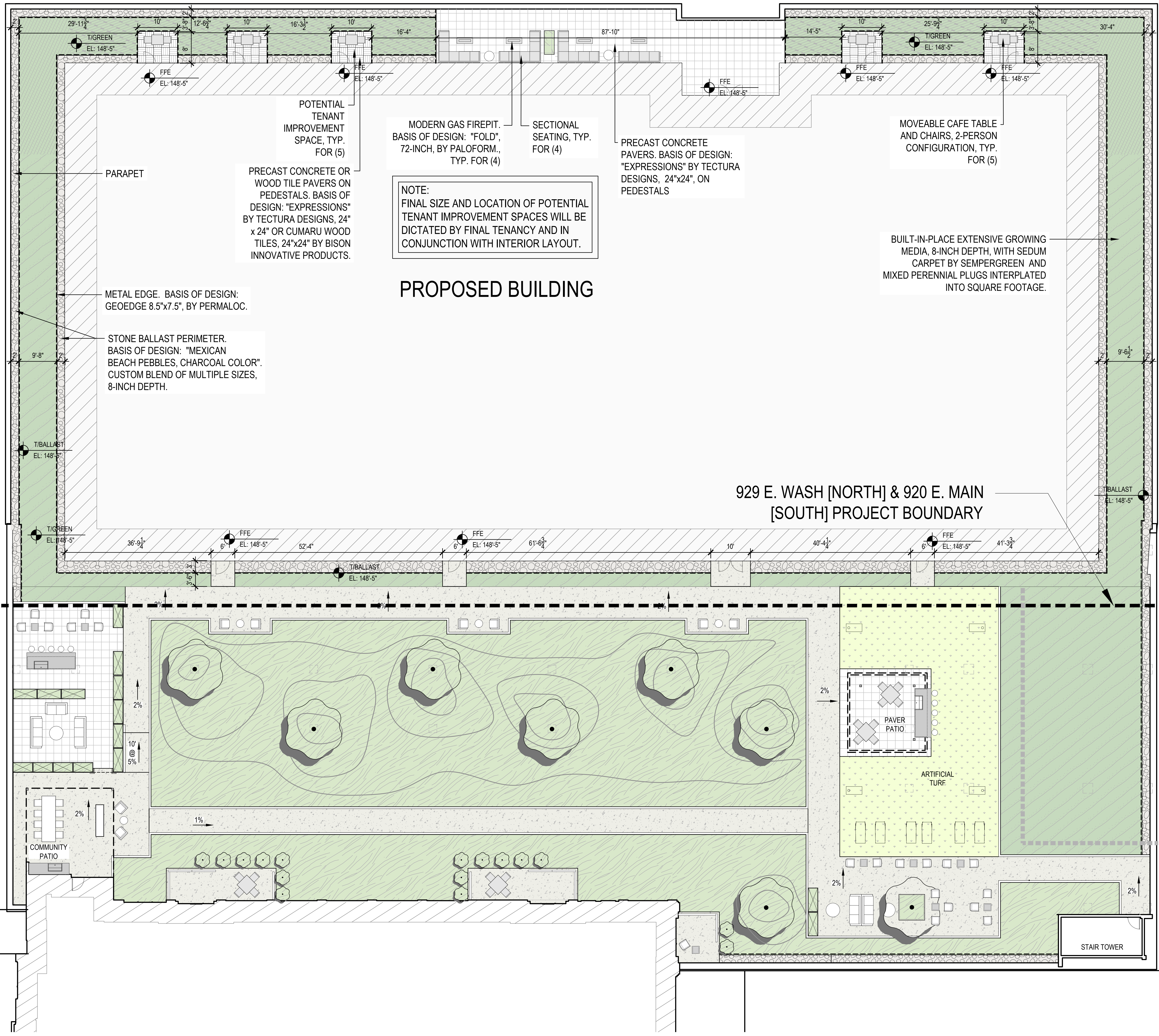
- SUN SEDUM CARPET OVER 8" OF EXTENSIVE GROWING MEDIA
- SUN SEDUM CARPET WITH SHADE ZONE PLUGS, WITH 8" EXTENSIVE GROWING MEDIA
- SHADE ZONE PLANTING AREA W/ 8" OF EXTENSIVE GROWING MEDIA
- ARTIFICIAL TURF ON PEDESTALS
- CONCRETE PAVEMENT
- 24"x24" PRECAST UNIT PAVERS ON PEDESTALS
- 24"x24" WOOD UNIT PAVERS ON PEDESTALS
- STONE MULCH BALLAST
- MODULAR / MOVEABLE PLANTER
- FIRE TABLE W/ PLUMBED GAS LINE AND SAFETY GRATE
- L-SHAPE ALUMINUM EDGE
- FUTURE BUILDING EXPANSION LIMITS
- STRUCTURAL BUILDING COLUMN

SUN [FULL TO PART SUN] SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:

- Sedum spurium 'Fuldaglut'
- Sedum spurium 'John Creech'
- Sedum spurium 'Red Carpet'
- Sedum kamtschaticum
- Sedum kamtschaticum 'Variegatum'
- Sedum kamtschaticum var. floriferum
- Sedum takesimensis 'Golden Carpet'
- Sedum x Immergrunchen
- Sedum subsp. rupestre 'Angelina'
- Sedum subsp. rupestre 'Blue Spruce'
- Sedum acre 'Aureum'
- Sedum acre 'Goldmoss'
- Sedum album 'Coral Carpet'
- Sedum album 'Murale'
- Sedum hispanicum
- Sedum sexangulare
- Sedum stefco

SHADE ZONE PLANTING AREA [FULL SHADE] SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SHADE ZONE PLANTING AREA WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND PLANTED AS PLUGS OR 4-INCH POTS:

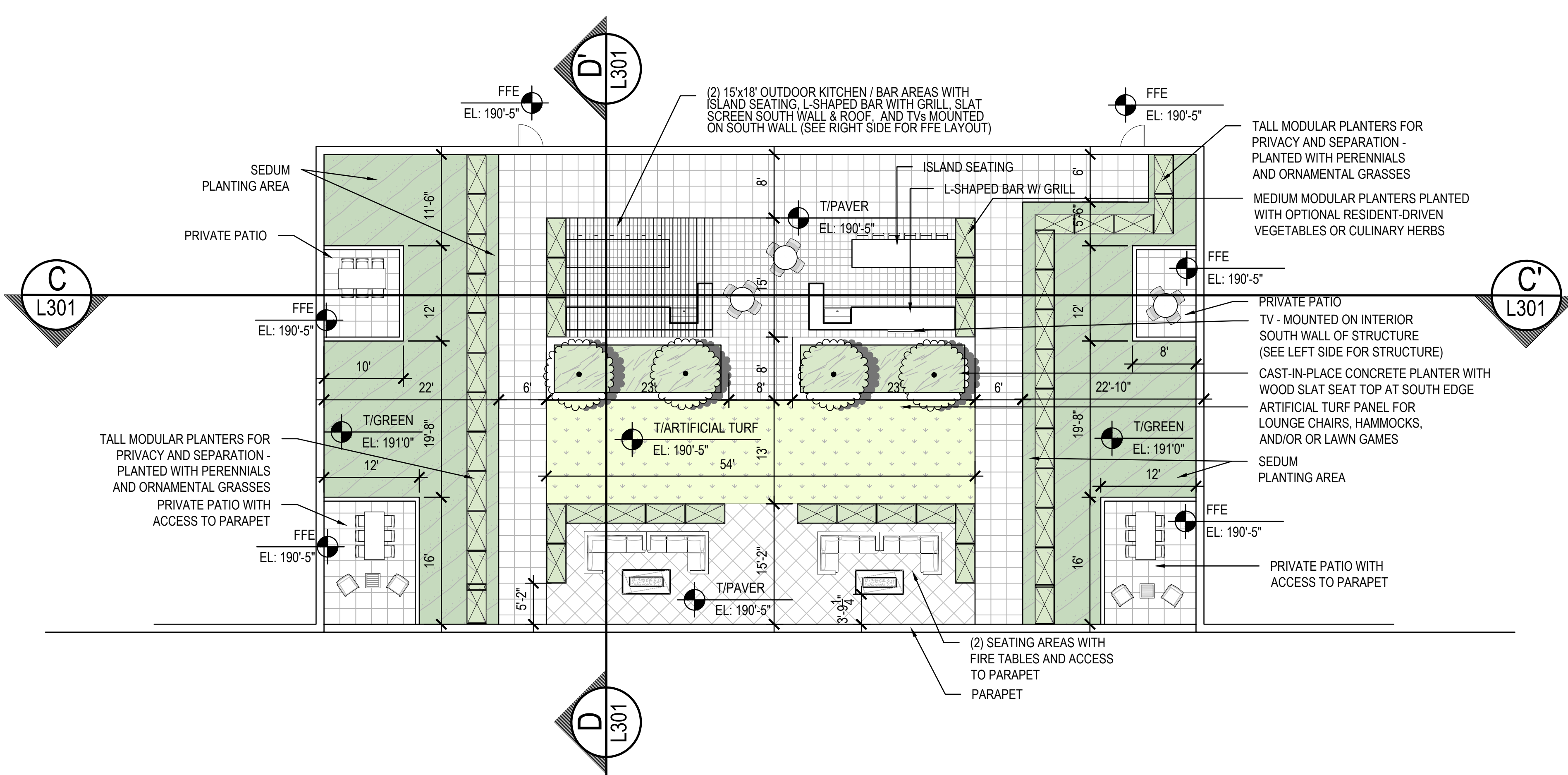
- Aquilegia canadensis
- Carex appalachica
- Carex divulsa
- Carex pennsylvanica
- Deschampsia flexuosa
- Erigeron pulchellus
- Fragaria virginiana
- Meehaniana cordata
- Phlox divaricata
- Sedum ternatum
- Sessleria autumnalis
- Stachys byzantina 'Big Ears'
- Tiarella cordifolia 'Pink Skyrocket'
- Tiarella cordifolia 'Elizabeth Oliver'
- Tiarella cordifolia



NOTE:
FINAL SIZE AND LOCATION OF POTENTIAL TENANT IMPROVEMENT SPACES WILL BE DICTATED BY FINAL TENANCY AND IN CONJUNCTION WITH INTERIOR LAYOUT.

PROPOSED BUILDING

929 E. WASH [NORTH] & 920 E. MAIN [SOUTH] PROJECT BOUNDARY



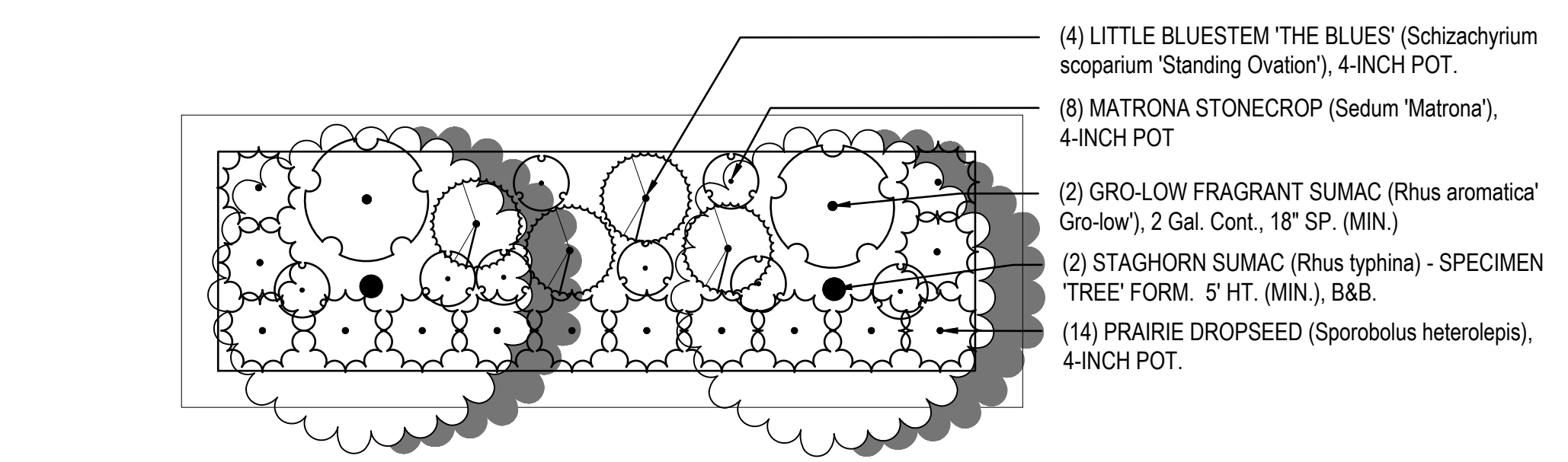
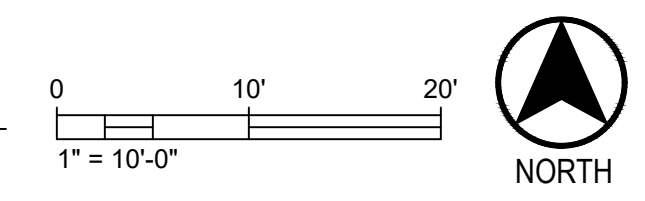
LEGEND

- SUN SEDUM CARPET OVER 8" OF EXTENSIVE GROWING MEDIA
- ARTIFICIAL TURF ON PEDESTALS
- 24"x24" PRECAST UNIT PAVERS ON PEDESTALS
- STONE MULCH BALLAST
- MODULAR / MOVEABLE PLANTER
- FIRE TABLE W/ PLUMBED GAS LINE AND SAFETY GRATE

- Sedum spurium 'Fuldaglut'
- Sedum spurium 'John Creech'
- Sedum spurium 'Red Carpet'
- Sedum kamtschaticum
- Sedum kamtschaticum 'Variegatum'
- Sedum kamtschaticum var. floriferum
- Sedum takesimensis 'Golden Carpet'
- Sedum x Immergrunchen
- Sedum subsp. rupestre 'Angelina'
- Sedum subsp. rupestre 'Blue Spruce'
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- Sedum acre 'Goldmoss'
- Sedum album 'Coral Carpet'
- Sedum album 'Murale'
- Sedum hispanicum
- Sedum sexangulare
- Sedum stefco

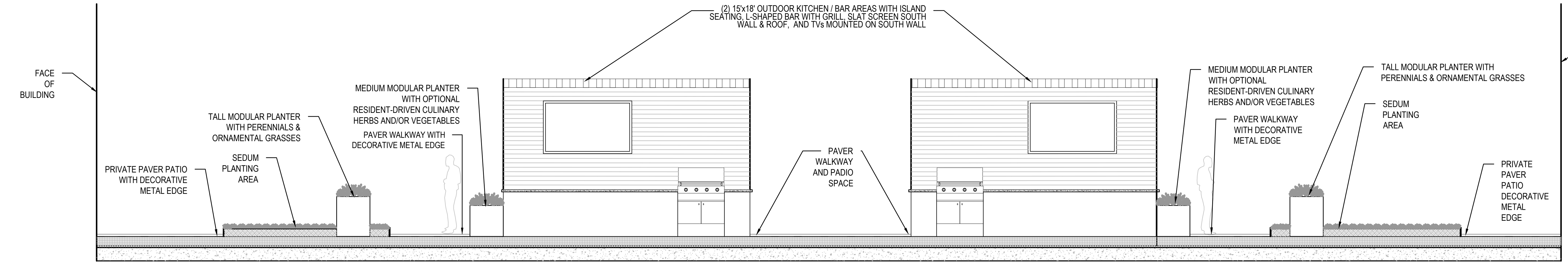
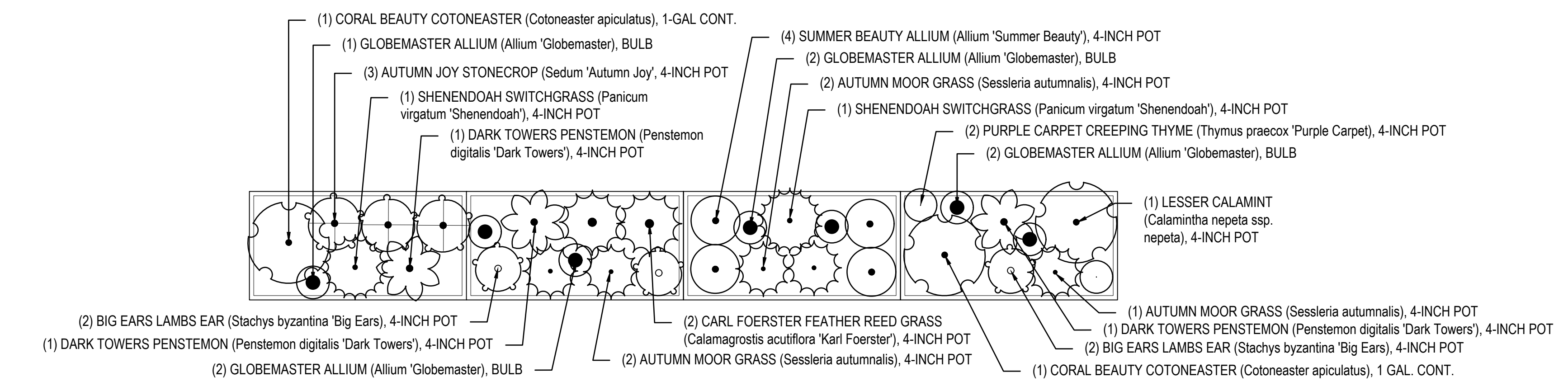
SUN [FULL TO PART SUN] SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:

1 9TH FLOOR GREEN ROOF PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)

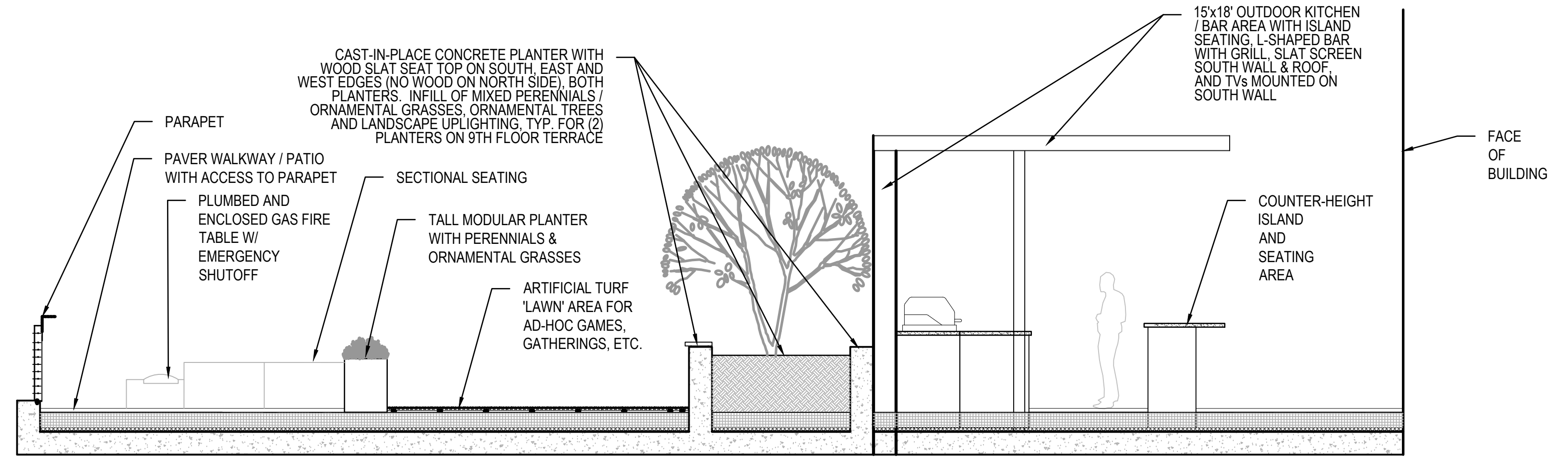


2 TYPICAL C.I.P. PLANTER PLANTING DESIGN
SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)

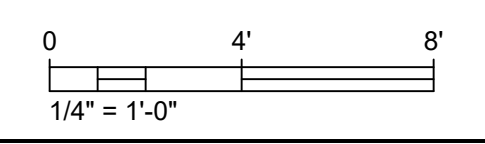
3 TYPICAL 4-UNIT TALL PLANTER PLANTING DESIGN [REPEATING MODULE]
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



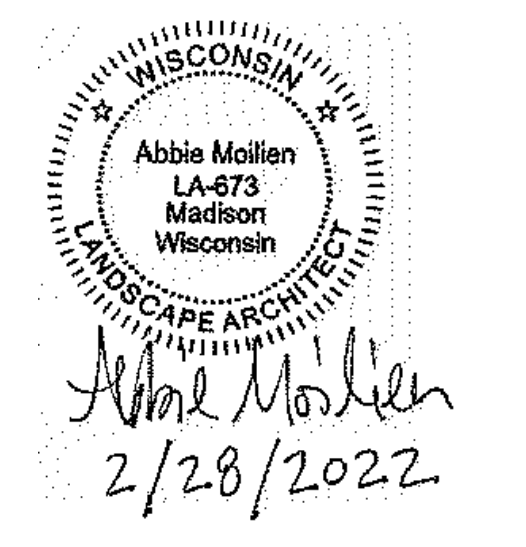
4 SECTION C-C
SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



5 SECTION D-D
SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



Notes:



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9TH FLOOR GREEN
ROOF PLAN

L301

Notes:

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2/28/2022

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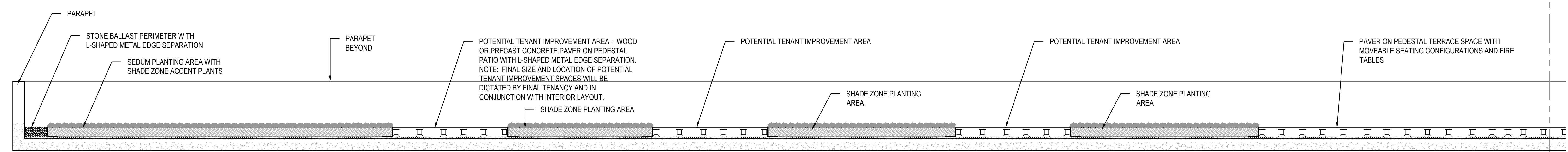
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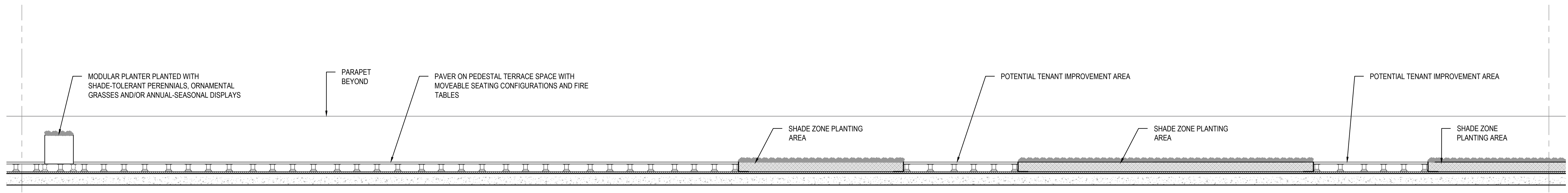
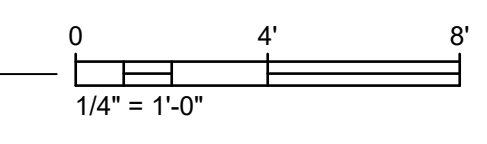
Date	Issuance/Revisions	Symbol
02/28/2022	LAND USE SUBMITTAL	

**6TH FLOOR GREEN
ROOF SECTIONS**

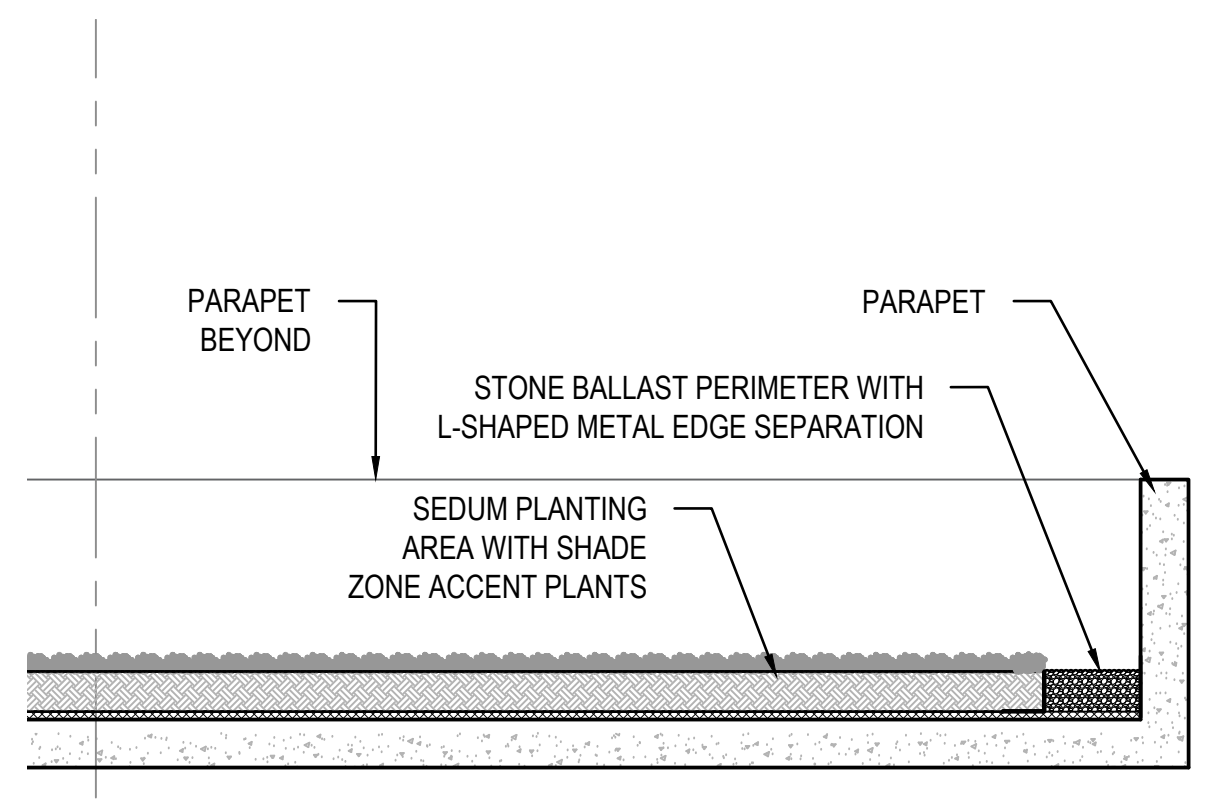
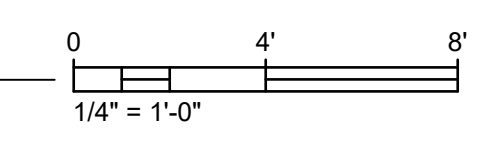
L302



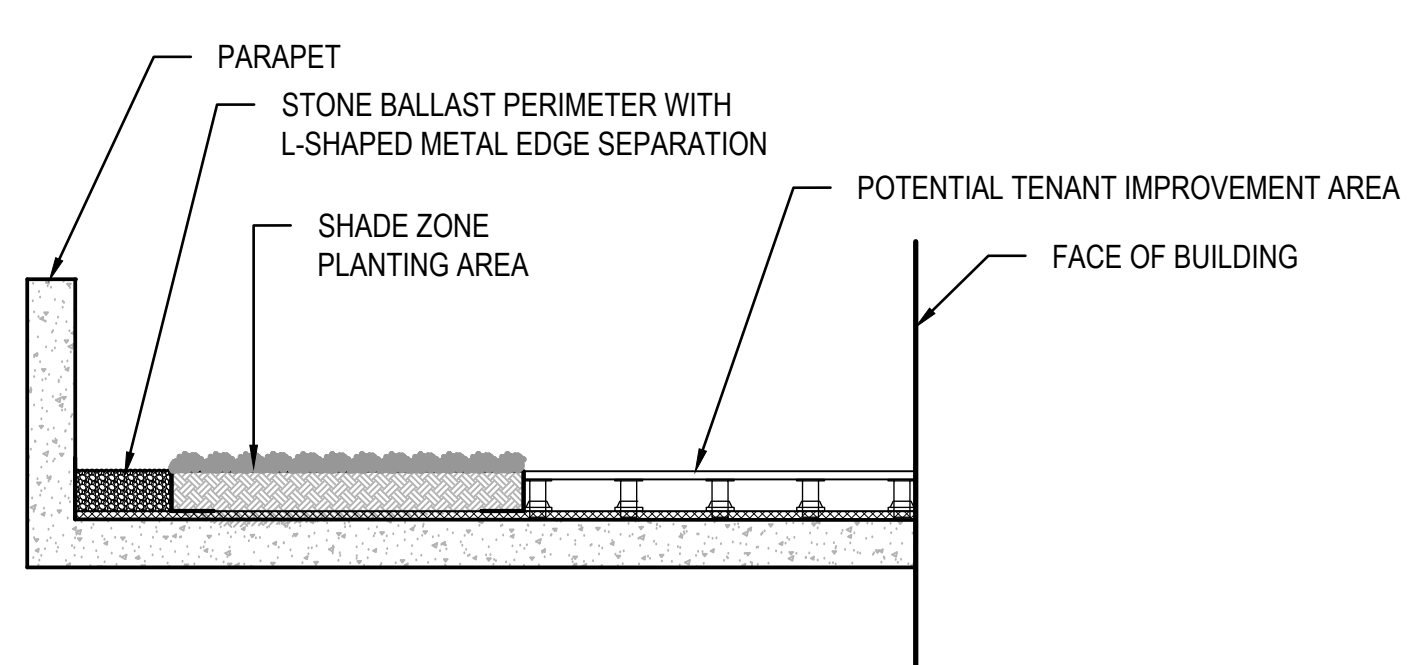
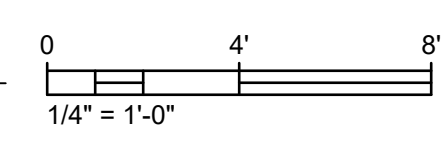
1 SECTION A-A'
SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



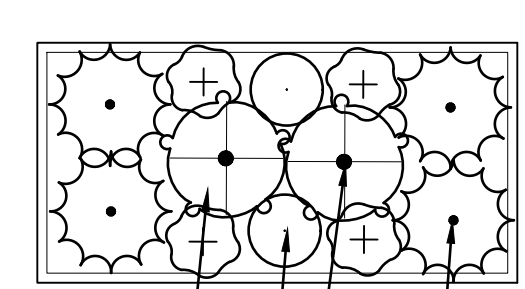
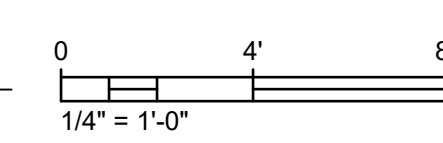
1 SECTION A-A' CONTINUED
SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



1 SECTION A-A' CONTINUED
SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)

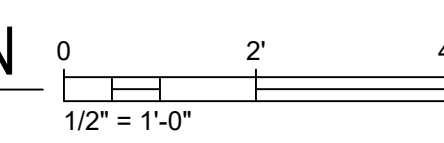


2 SECTION B-B'
SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



- (4) WOODLAND STONECROP (*Sedum ternatum*), 4-INCH POT
- (2) PINK SKYROCKET FOAMFLOWER (*Tiarella cordifolia* "Pink Skyrrocket"), 4-INCH POT
- (2) PRAIRIE ALUMROOT (*Heuchera richardsonii*), 4-INCH POT
- (4) AUTUMN MOOR GRASS (*Sessleria autumnalis*), 4-INCH POT

3 FULL SHADE MODULAR PLANTER PLANTING DESIGN
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



- 1. ALL PARKING STALLS ARE 9'-0" X 18'-0" U.O.N.
 - 2. ALL BIKE STALLS ARE 2'-0" X 6'-0" U.O.N.
- KEYNOTES:
- 1 GROUND OR FLOOR MOUNTED BIKE RACKS
 - 2 NOT USED
 - 3 SEE DRAWING D101 FOR DEMOLITION AND PREPARATION NOTES RELATED TO THE EXISTING PARKING RAMP.
 - 4 ADA PARKING SIGNAGE
 - 5 SMALL VEHICLE PARKING SIGNAGE
 - 6 NEW EV CHARGING STATION & SIGNAGE
 - 7 EXISTING EV CHARGING STATION & SIGNAGE TO REMAIN

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929 E Washington - Archipelago

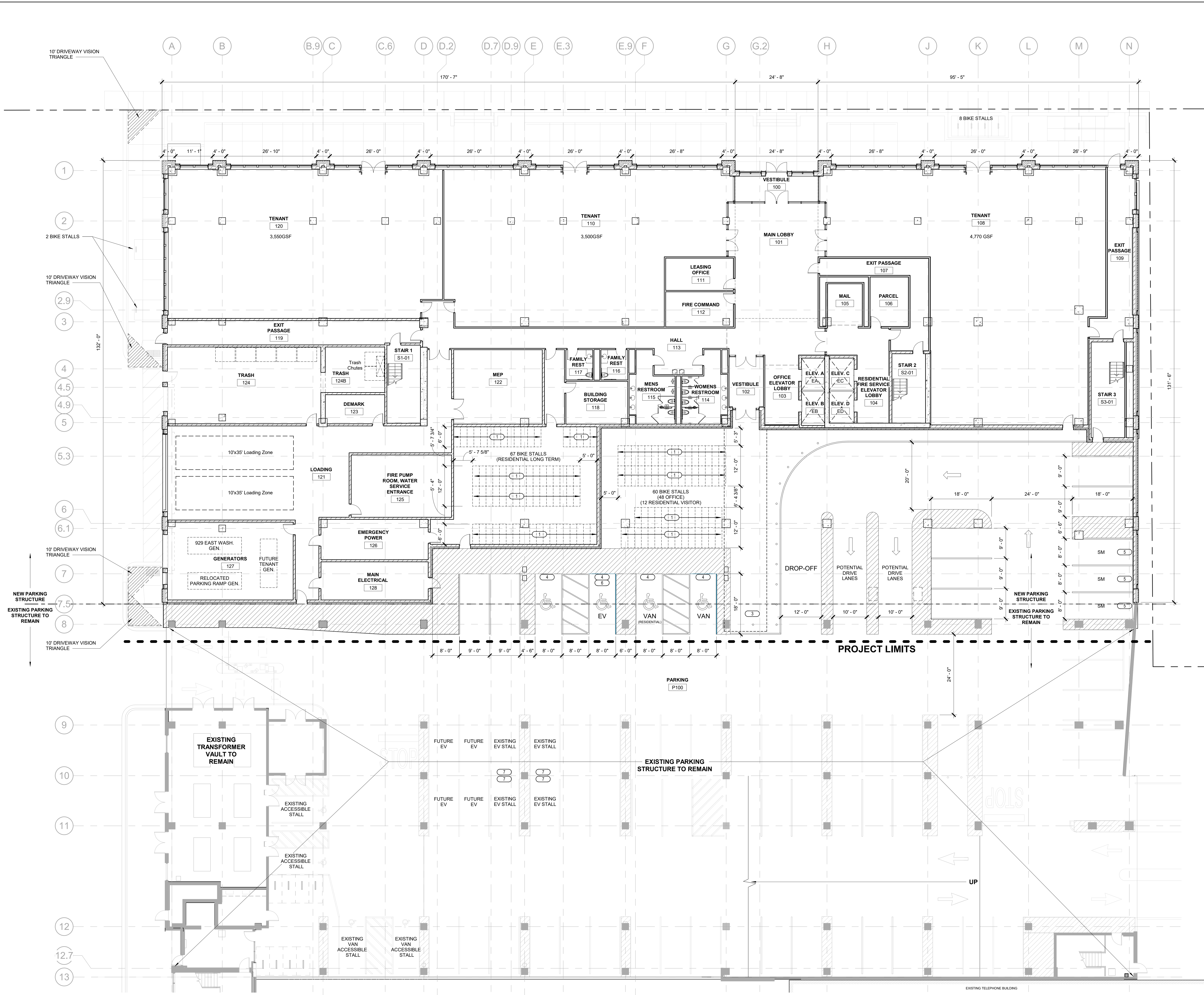
929 E Washington Ave
Madison, Wisconsin

2016.36.02

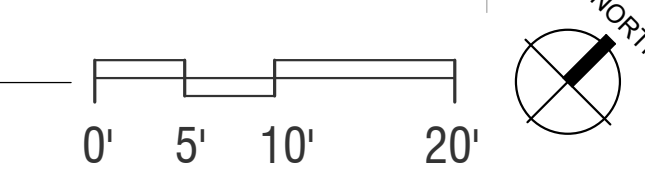
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02/28/2022	LAND USE SUBMITTAL	

**FIRST FLOOR
PLAN**

A101



1 FIRST FLOOR / P1
3/32" = 1'-0"



1. ALL PARKING STALLS ARE 9'-0" X 18'-0" U.O.N.
2. ALL BIKE STALLS ARE 2'-0" X 6'-0" U.O.N.

- KEYNOTES:
- 1 GROUND OR FLOOR MOUNTED BIKE RACKS
 - 2 NOT USED
 - 3 SEE DRAWING D101 FOR DEMOLITION AND PREPARATION NOTES RELATED TO THE EXISTING PARKING RAMP.
 - 4 ADA PARKING SIGNAGE
 - 5 SMALL VEHICLE PARKING SIGNAGE
 - 6 NEW EV CHARGING STATION & SIGNAGE
 - 7 EXISTING EV CHARGING STATION & SIGNAGE TO REMAIN

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929 E Washington - Archipelago

929 E Washington Ave
Madison, Wisconsin

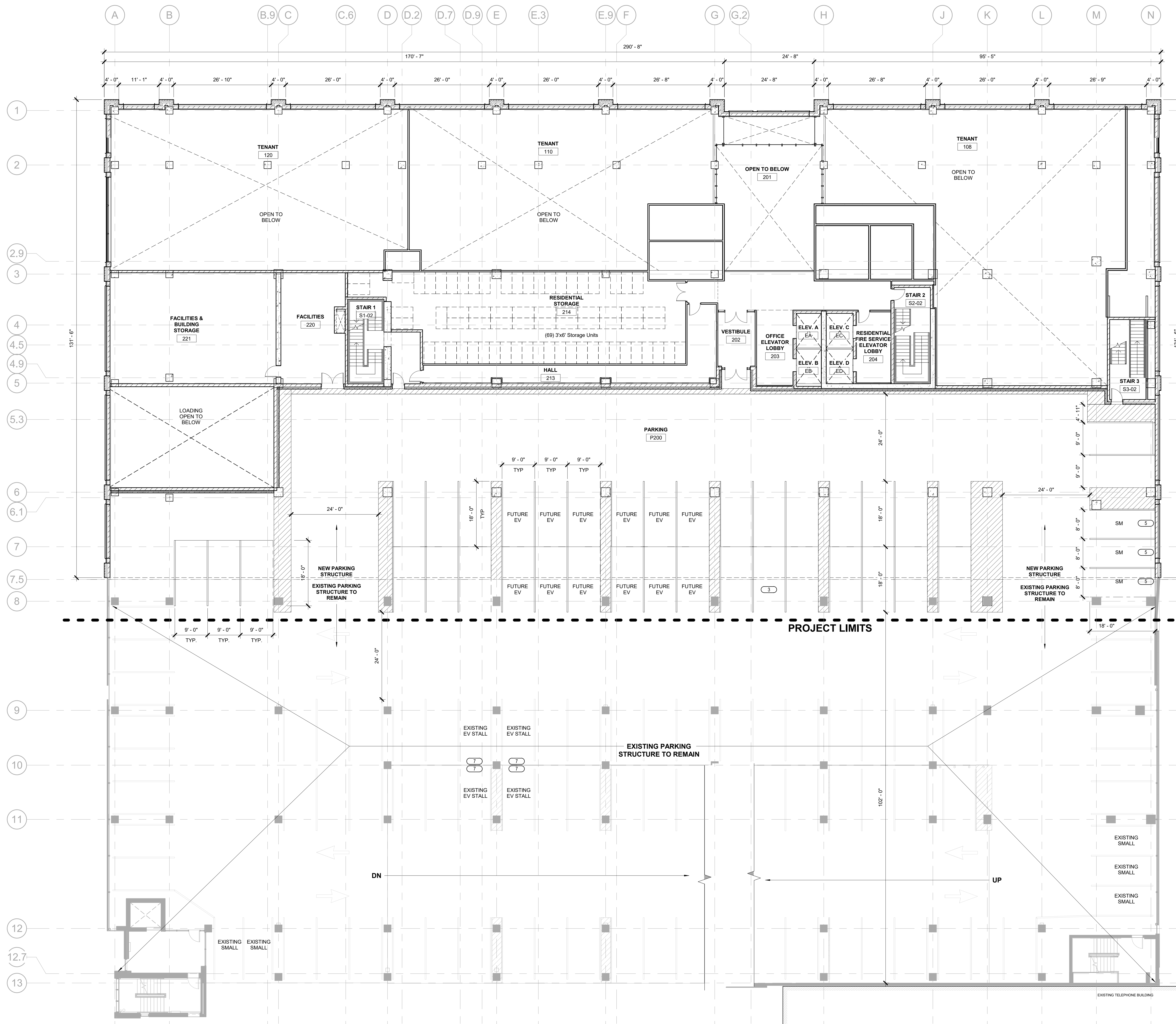
2016.36.02

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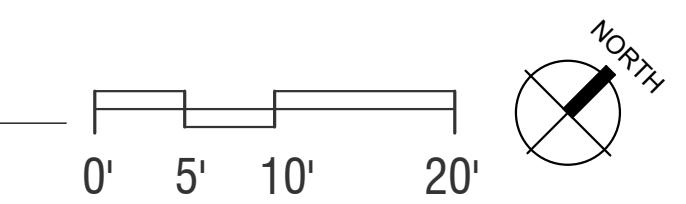
SECOND FLOOR PLAN

A102

2/25/2022 3:47:00 PM



1 SECOND FLOOR
3/32" = 1'-0"



1. ALL PARKING STALLS ARE 9'-0" X 18'-0" U.O.N.
2. ALL BIKE STALLS ARE 2'-0" X 6'-0" U.O.N.

- KEYNOTES:**
- 1. GROUND OR FLOOR MOUNTED BIKE RACKS
 - 2. NOT USED
 - 3. SEE DRAWING D101 FOR DEMOLITION AND PREPARATION NOTES RELATED TO THE EXISTING PARKING RAMP.
 - 4. ADA PARKING SIGNAGE
 - 5. SMALL VEHICLE PARKING SIGNAGE
 - 6. NEW EV CHARGING STATION & SIGNAGE
 - 7. EXISTING EV CHARGING STATION & SIGNAGE TO REMAIN

PRELIMINARY
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929 E Washington - Archipelago

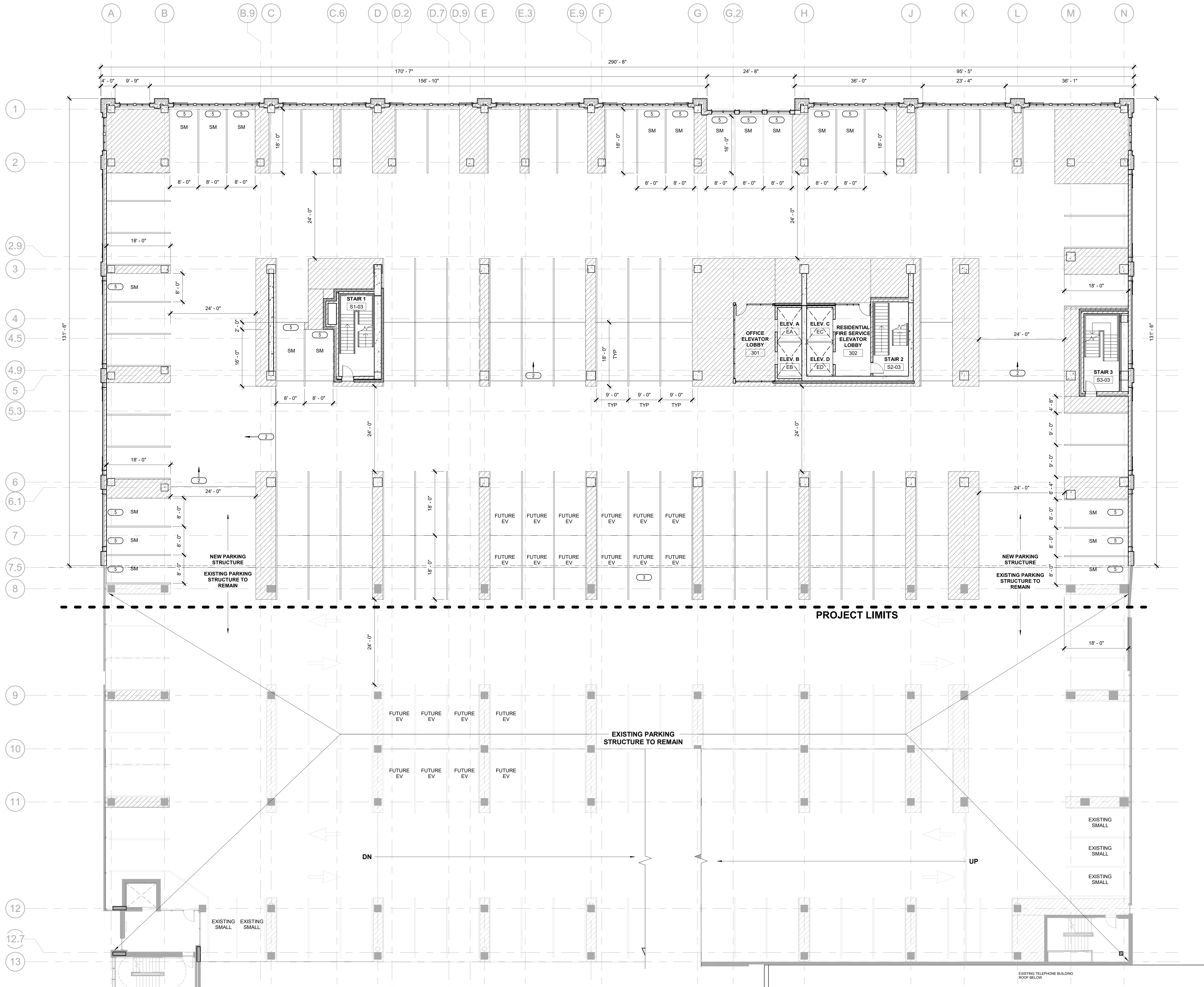
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**THIRD FLOOR
PLAN**

A103



1 THIRD FLOOR/ P3
A103 3/32" = 1'-0"
0' 5' 10' 20' NORTH

2/25/2022 3:47:15 PM

1. ALL PARKING STALLS ARE 9'-0" X 18'-0" U.O.N.
2. ALL BIKE STALLS ARE 2'-0" X 6'-0" U.O.N.

- KEYNOTES:
- 1 GROUND OR FLOOR MOUNTED BIKE RACKS
 - 2 NOT USED
 - 3 SEE DRAWING D101 FOR DEMOLITION AND PREPARATION NOTES RELATED TO THE EXISTING PARKING RAMP.
 - 4 ADA PARKING SIGNAGE
 - 5 SMALL VEHICLE PARKING SIGNAGE
 - 6 NEW EV CHARGING STATION & SIGNAGE
 - 7 EXISTING EV CHARGING STATION & SIGNAGE TO REMAIN

PRELIMINARY
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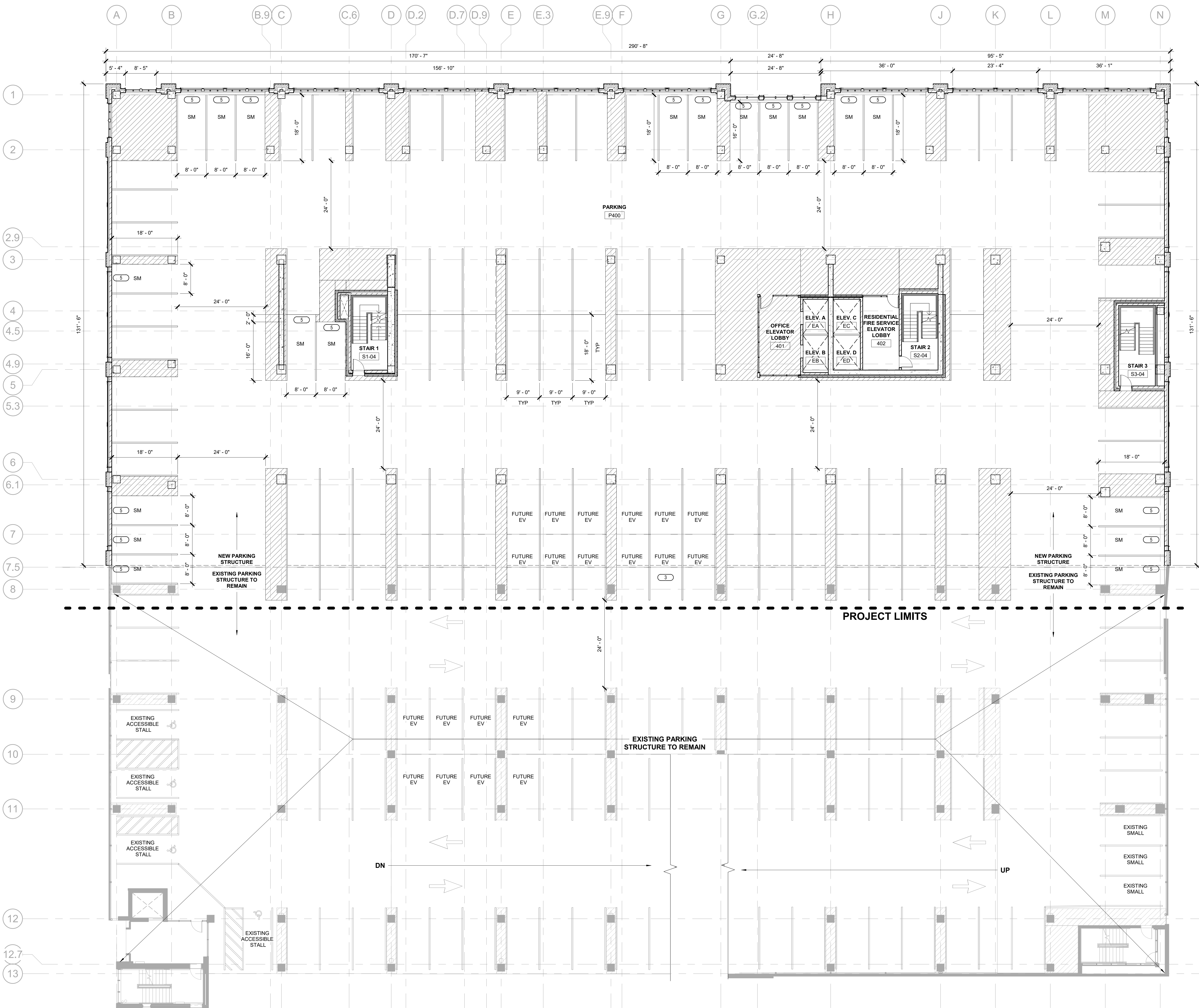
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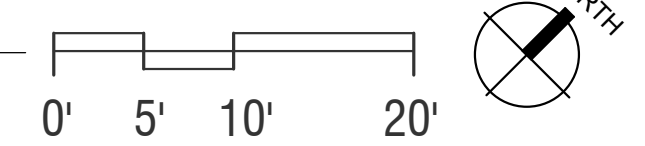
EXISTING SMALL
EXISTING SMALL
EXISTING SMALL

**FOURTH FLOOR
PLAN**

A104

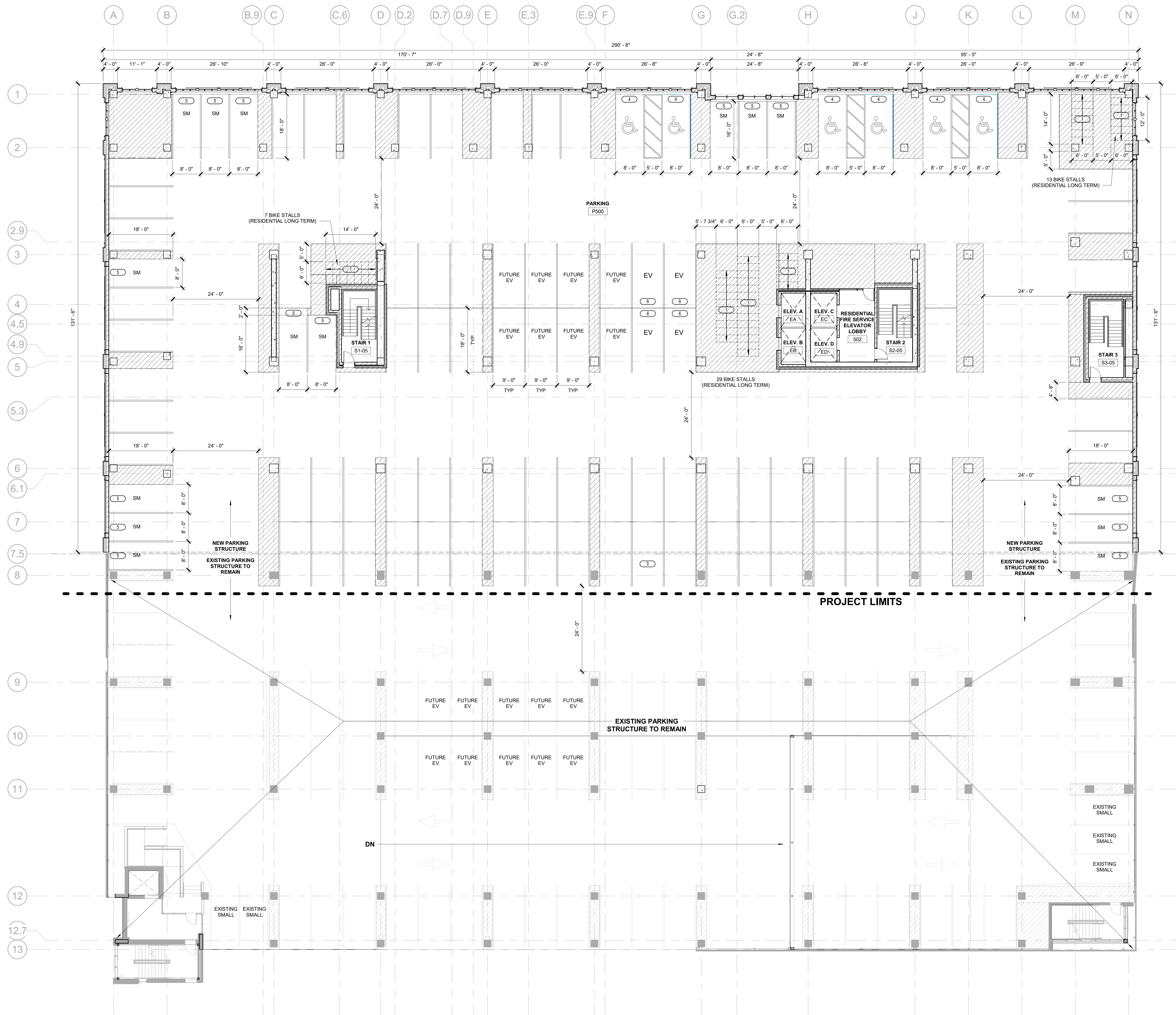


1 FOURTH FLOOR/ P4
3/32" = 1'-0"



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1. ALL PARKING STALLS ARE 9'-0" X 18'-0" U.O.N.
2. ALL BIKE STALLS ARE 2'-0" X 6'-0" U.O.N.
- KEYNOTES:**
- (1) GROUND OR FLOOR MOUNTED BIKE RACKS
 - (2) NOT USED
 - (3) SEE DRAWING D101 FOR DEMOLITION AND PREPARATION NOTES RELATED TO THE EXISTING PARKING RAMP.
 - (4) ADA PARKING SIGNAGE
 - (5) SMALL VEHICLE PARKING SIGNAGE
 - (6) NEW EV CHARGING STATION & SIGNAGE
 - (7) EXISTING EV CHARGING STATION & SIGNAGE TO REMAIN

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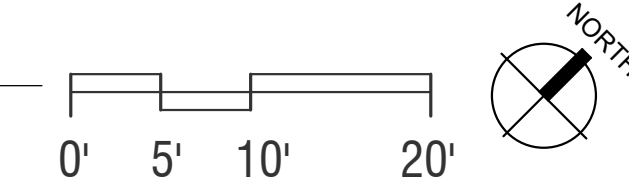
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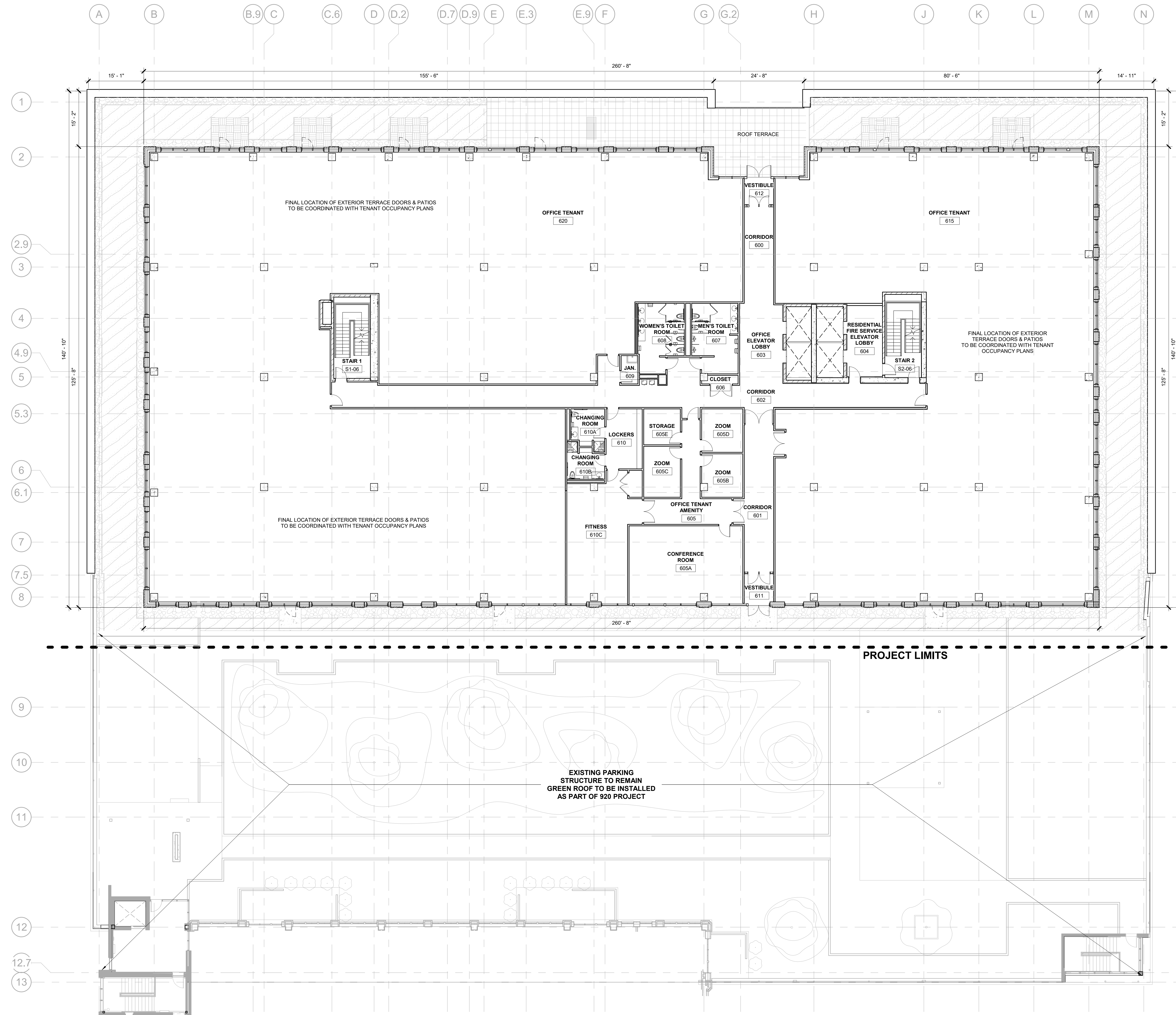
FIFTH FLOOR PLAN

A105

1 FIFTH FLOOR/ P5
A105 3/32" = 1'-0"



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KEYNOTES:
 1 HARDWOOD VENEER CASEWORK W/
 QUARTZ COUNTERTOP

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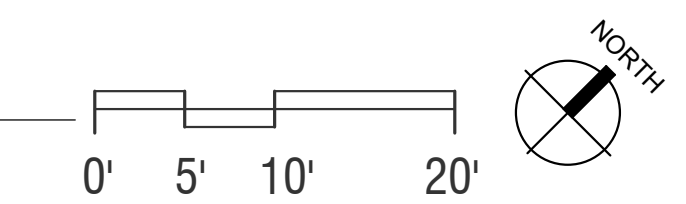
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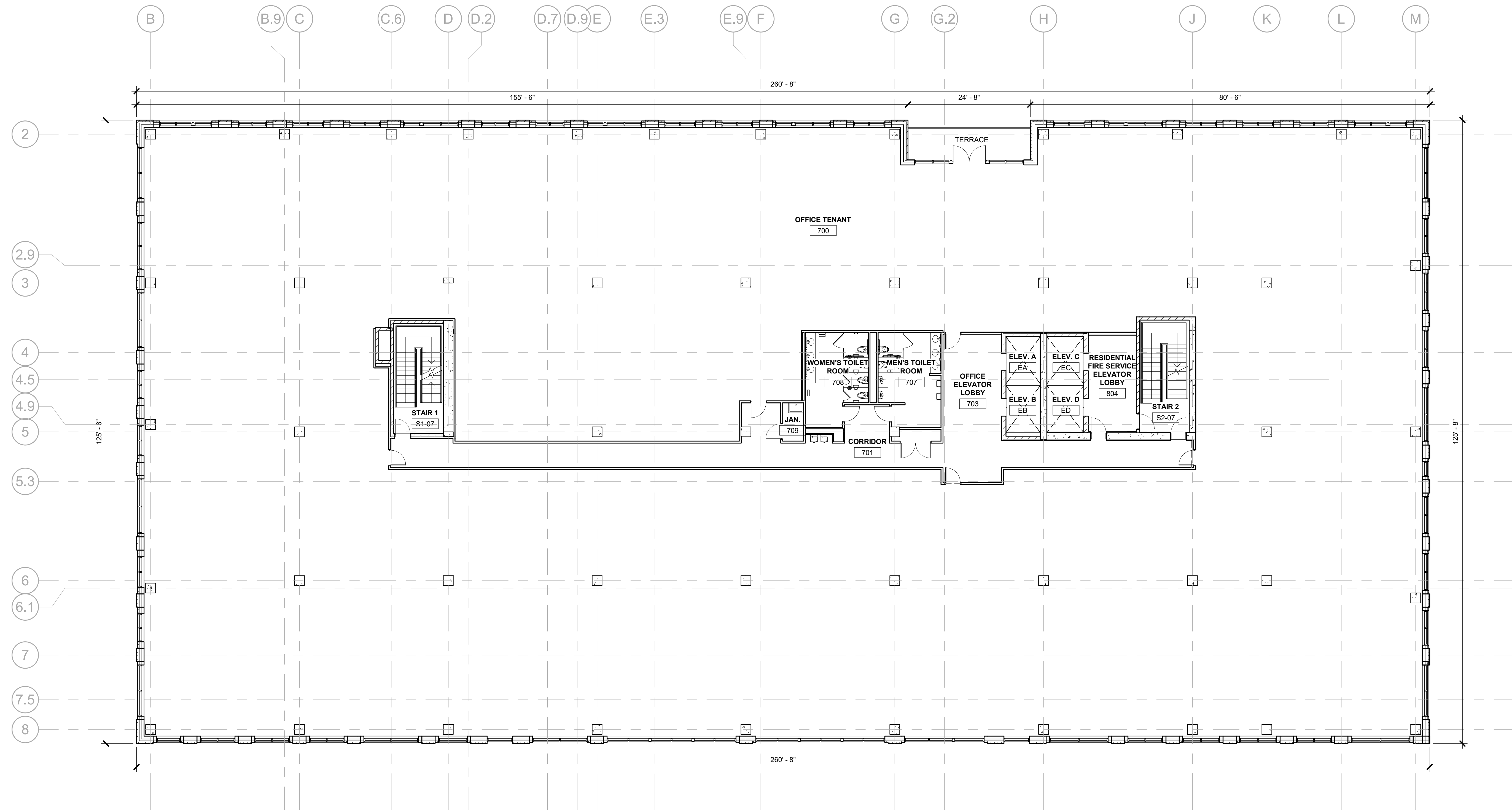
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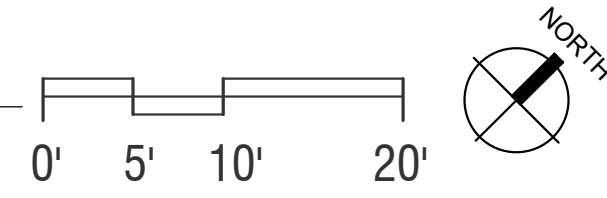
**SIXTH FLOOR
 PLAN**

1 SIXTH FLOOR/ GREEN ROOF
 A106 3/32" = 1'-0"





1 SEVENTH FLOOR PLAN
A107 3/32" = 1'-0"



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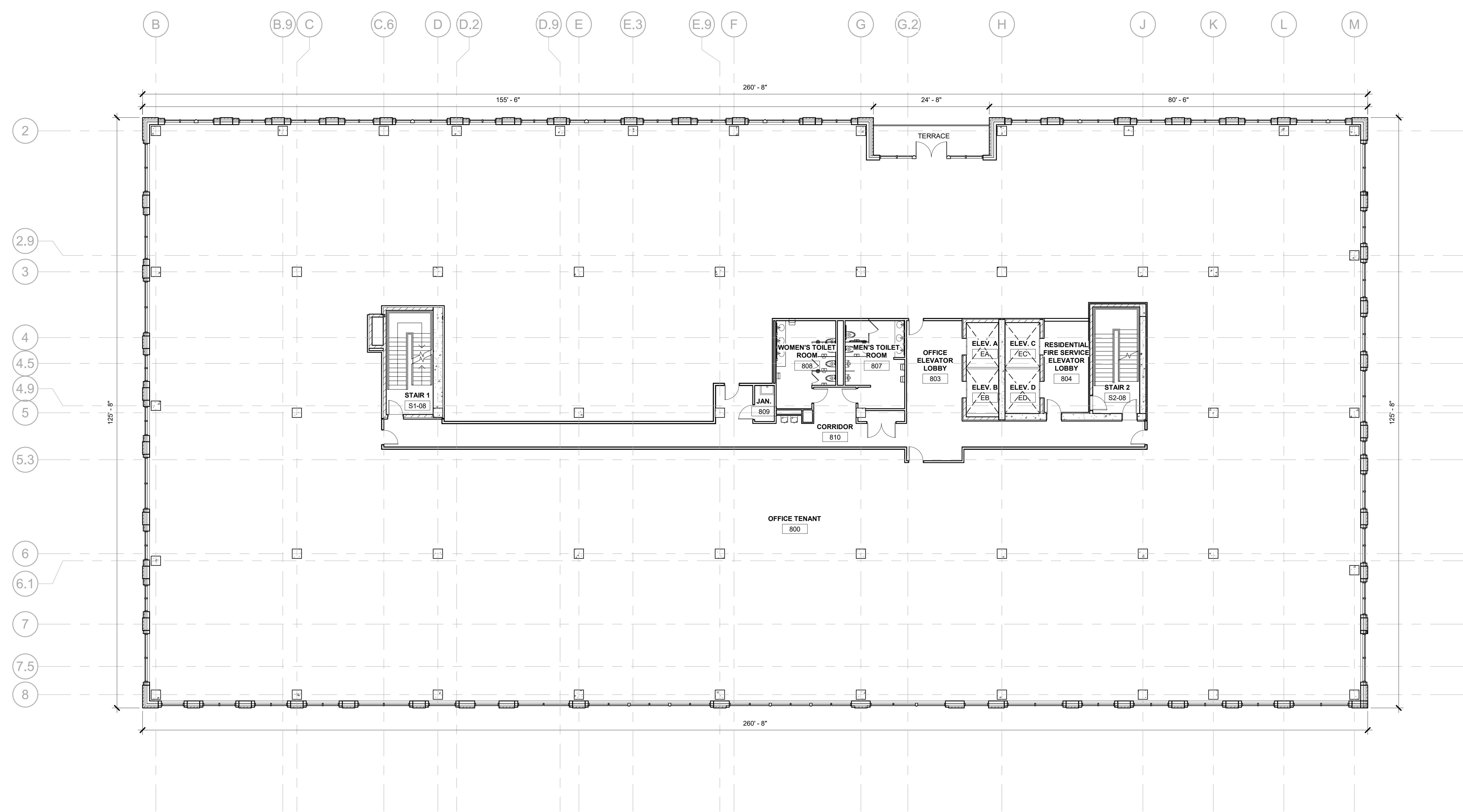
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Madison, Wisconsin

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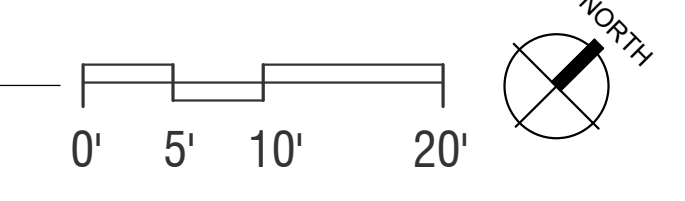
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**SEVENTH FLOOR
PLAN**

A107



1 EIGHTH FLOOR PLAN
A108 3/32" = 1'-0"



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**EIGHTH FLOOR
PLAN**

A108



UNIT COUNT	1 BD	2BD	3BD	FLR
9TH FLOOR	5	9	2	16
10TH FLOOR	9	9	2	20
11TH FLOOR	9	9	2	20
12TH FLOOR	9	9	2	20
13TH FLOOR	9	9	2	20
14TH FLOOR	0	2	7	9
UNIT TOTALS	41	47	17	105
BED TOTALS	41	94	51	186

PRELIMINARY
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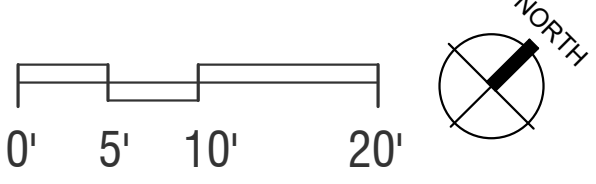
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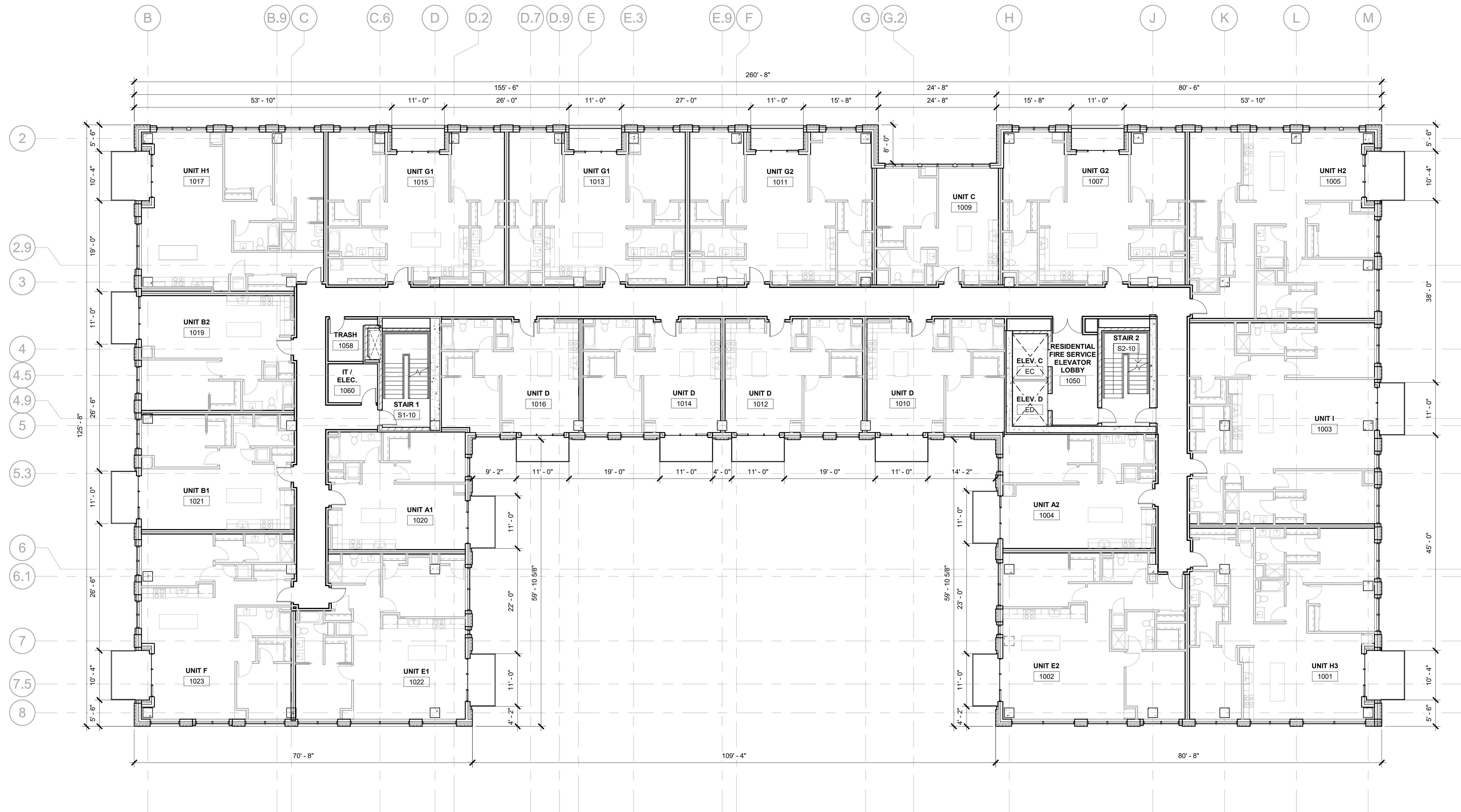
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1 NINTH FLOOR PLAN
A109 3/32" = 1'-0"



**NINTH FLOOR
PLAN**



UNIT COUNT	1 BD	2BD	3BD	FLR
9TH FLOOR	5	9	2	16
10TH FLOOR	9	9	2	20
11TH FLOOR	9	9	2	20
12TH FLOOR	9	9	2	20
13TH FLOOR	9	9	2	20
14TH FLOOR	0	2	7	9
UNIT TOTALS	41	47	17	105
BED TOTALS	41	94	51	186

PRELIMINARY
NOT FOR CONSTRUCTION

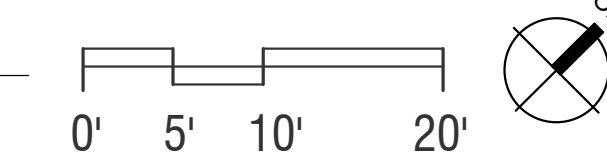
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1 TENTH FLOOR PLAN
A110 3/32" = 1'-0"



TENTH FLOOR
PLAN

A110



UNIT COUNT	1 BD	2BD	3BD	FLR
9TH FLOOR	5	9	2	16
10TH FLOOR	9	9	2	20
11TH FLOOR	9	9	2	20
12TH FLOOR	9	9	2	20
13TH FLOOR	9	9	2	20
14TH FLOOR	0	2	7	9
UNIT TOTALS	41	47	17	105
BED TOTALS	41	94	51	186

PRELIMINARY
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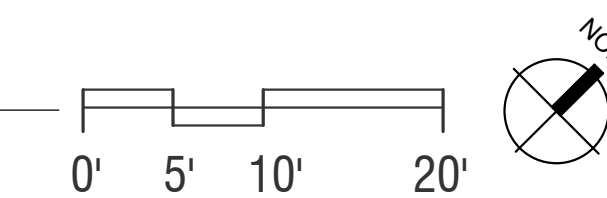
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1 ELEVENTH FLOOR PLAN
A111 3/32" = 1'-0"



**ELEVENTH FLOOR
PLAN**

A111



UNIT COUNT	1 BD	2BD	3BD	FLR
9TH FLOOR	5	9	2	16
10TH FLOOR	9	9	2	20
11TH FLOOR	9	9	2	20
12TH FLOOR	9	9	2	20
13TH FLOOR	9	9	2	20
14TH FLOOR	0	2	7	9
UNIT TOTALS	41	47	17	105
BED TOTALS	41	94	51	186

PRELIMINARY
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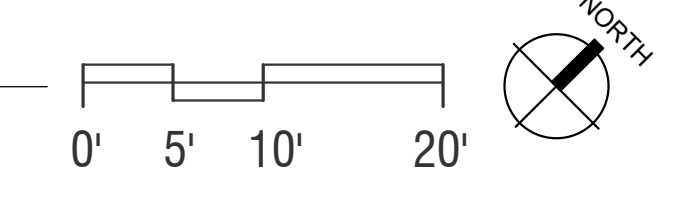
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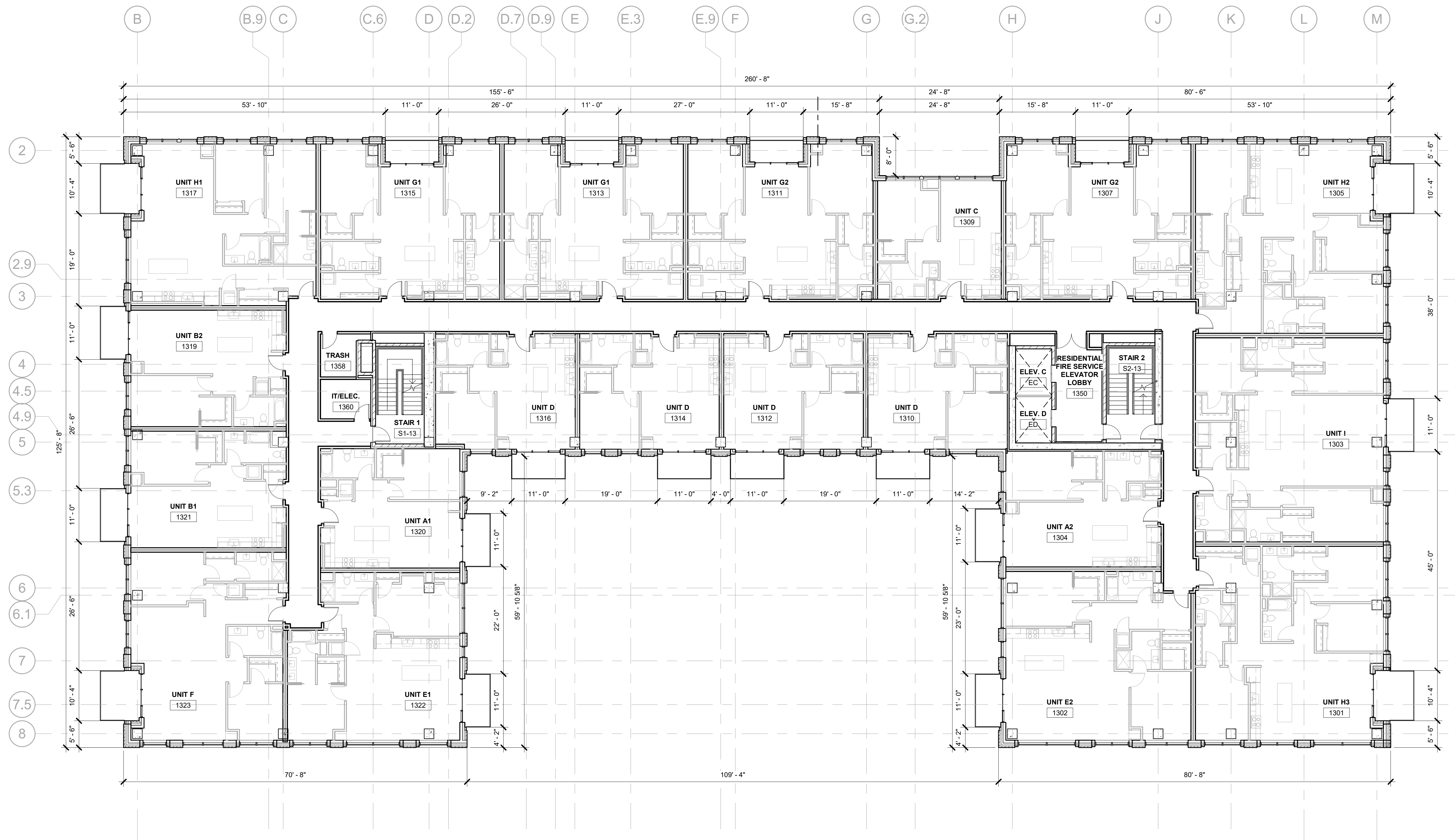
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1 TWELFTH FLOOR PLAN
A112 3/32" = 1'-0"



**TWELFTH FLOOR
PLAN**

A112



UNIT COUNT	1 BD	2BD	3BD	FLR
9TH FLOOR	5	9	2	16
10TH FLOOR	9	9	2	20
11TH FLOOR	9	9	2	20
12TH FLOOR	9	9	2	20
13TH FLOOR	9	9	2	20
14TH FLOOR	0	2	7	9
UNIT TOTALS	41	47	17	105
BED TOTALS	41	94	51	186

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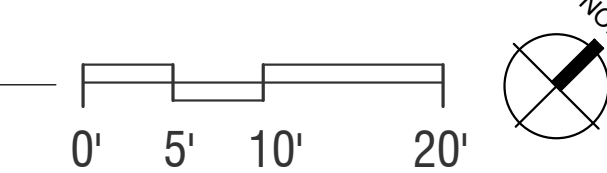
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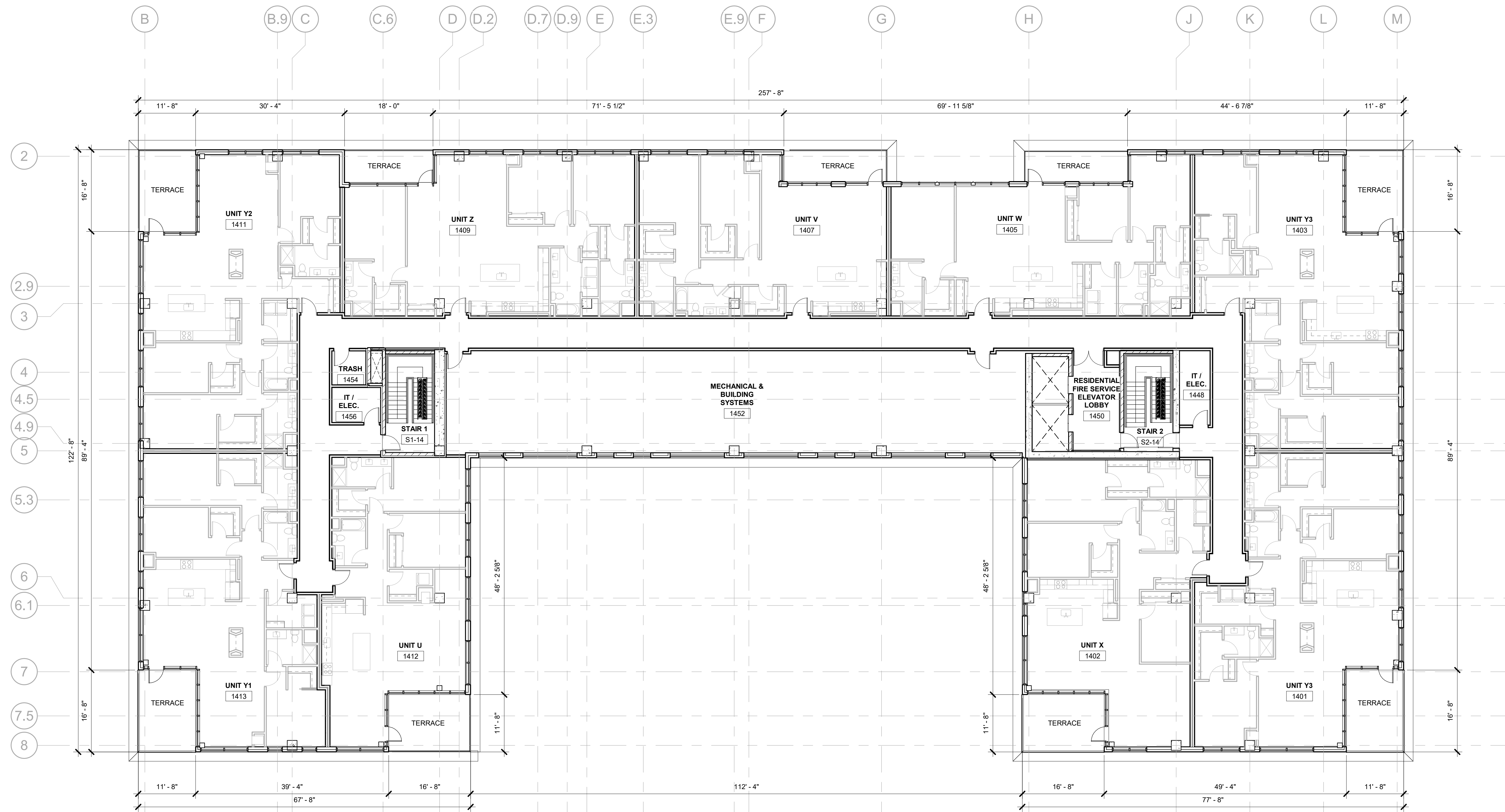
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1 THIRTEENTH FLOOR PLAN
A113 3/32" = 1'-0"



**THIRTEENTH
FLOOR PLAN**

A113



UNIT COUNT	1 BD	2BD	3BD	FLR
9TH FLOOR	5	9	2	16
10TH FLOOR	9	9	2	20
11TH FLOOR	9	9	2	20
12TH FLOOR	9	9	2	20
13TH FLOOR	9	9	2	20
14TH FLOOR	0	2	7	9
UNIT TOTALS	41	47	17	105
BED TOTALS	41	94	51	186

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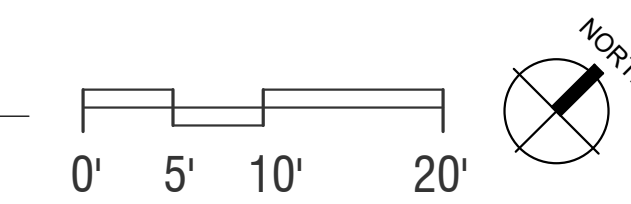
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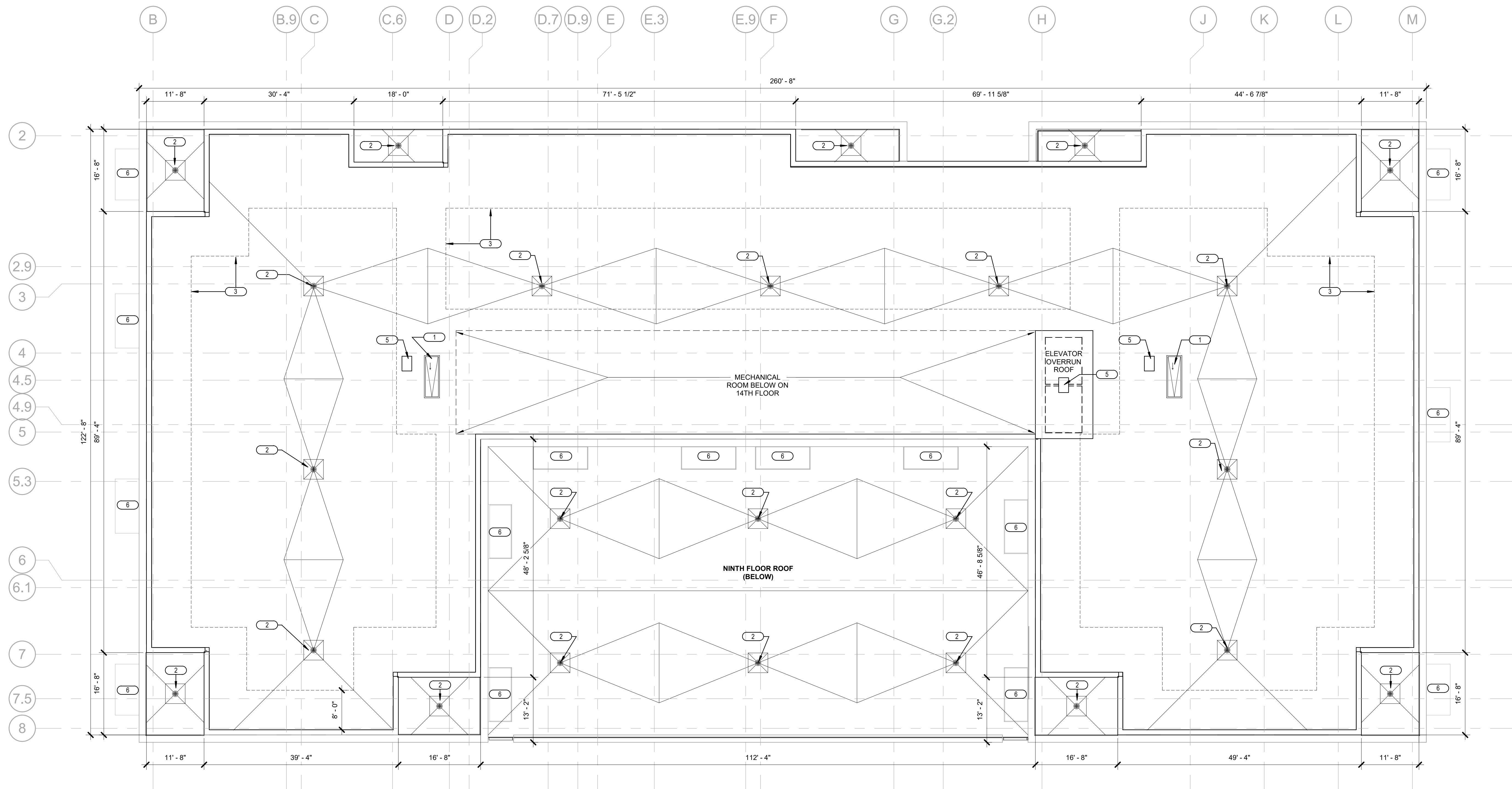
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1 FOURTEENTH FLOOR PLAN
A114 3/32" = 1'-0"



**FOURTEENTH
FLOOR PLAN**

A114



- KEYNOTES:**
- 1 ROOF ACCESS HATCH
 - 2 ROOF DRAIN
 - 3 AREA FOR POTENTIAL PHOTOVOLTAIC SYSTEM
 - 4 WINDOW WASHINGS SYSTEM
 - 5 STAIR OR ELEVATOR PRESSURIZATION AIR INTAKE HOOD
 - 6 UNIT BALCONY BELOW

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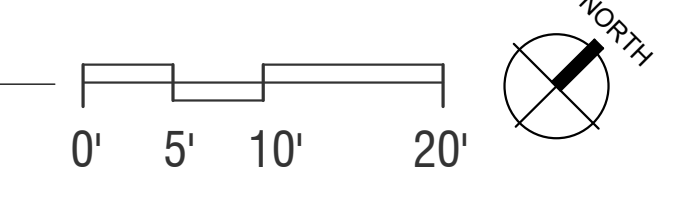
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1 ROOF PLAN
A115 3/32" = 1'-0"



ROOF PLAN

A115



1 NORTH BUILDING ELEVATION - EAST WASHINGTON AVENUE
A201 3/32" = 1'-0"

ELEVATION KEY NOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> 1.1 BRICK TYPE 1 - HORIZONTAL (STRETCHER) STACK BOND. 1.2 BRICK TYPE 1 - VERTICAL (STRETCHER) STACK BOND. 1.3 BRICK TYPE 1 - RUNNING BOND 2 BRICK TYPE 2 - HORIZONTAL (STRETCHER) STACK BOND. 3 BLACK ANODIZED ALUMINUM CURTAIN WALL SYSTEM. W/ SN 64 OR EQUIVALENT GLAZING 4 BLACK ANODIZED ALUMINUM STOREFRONT WALL SYSTEM. W/ CLEAR GLAZING AT FIRST FLOOR COMMERCIAL 5 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM. CLEAR GLAZING WITH 50% OPACITY PVB INTERLAYER AT PARKING LEVELS. 6 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM. W/ SN 64 OR EQUIVALENT GLAZING AT FLOORS 6 TO 14. 7 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 1 8 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 2 9 ANODIZED, METAL PANEL TYPE 3 CAPTURED WITHIN THE SHOWN WALL SYSTEM, CURTAIN WALL, STOREFRONT OR WINDOW WALL. 10 PAINTED STEEL CHANNEL 11 PAINTED STEEL TENSION ROD & TURN BUCKLE EXTERIOR ACCENT BRACING 12 GLASS GUARDRAIL W/ FRIT PATTERN 13 BOARD FORMED CONCRETE WALL / PLANTER WITH CAST STONE COPING 14 GRANITE WALL BASE STARTING COURSE AT GRADE CONTINUOUS AROUND ALL EXTERIOR WALL CONDITIONS 15 INSULATED OVERHEAD COILING DOOR 16 HOLLOW METAL DOOR 17 ANODIZED ALUMINUM ENTRY DOOR 18 PATIO DOOR UNIT WITH SIDELIGHT 19 TERRACE DOOR WITHIN WINDOW WALL SYSTEM 20 CORRUGATED, PERFORATED METAL PANEL TYPE 4. SALVAGED & REINSTALLED METAL PANEL FROM THE EXISTING PARKING RAMP. VERTICAL ORIENTED. | <ul style="list-style-type: none"> 21 PAINTED STEEL FRAMING TO CAPTURE REINSTALLED VERTICAL METAL PANELS 22 DECORATIVE METAL WOVEN WIRE FENCE 23 ALUMINUM WALL LOUVER - FINISH TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. 24 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS. PAINTED EXPOSED CONCRETE SLAB 25 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS. PAINTED STEEL PERIMETER CHANNEL 26 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS 27 CAST STONE WALL COPING 28 METAL WALL COPING, COLOR TO MATCH ADJACENT WALL MATERIAL. 29 ENTRY CANOPY WITH PAINTED STEEL SUPPORT FRAMING, CHANNELS OR HSS MEMBERS 30 BUILDING MOUNTED EXTERIOR LIGHT FIXTURE 31 CONCRETE SITE STAIRS WITH PAINTED GALVANIZED HANDRAILS 32 ALUMINUM GUARD RAIL WITH VERTICAL PICKETS 33 BIKE PARKING STALLS 34 EXISTING BUILDING 35 STANDING SEAM METAL SIDING |
|--|---|

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**BUILDING
ELEVATIONS**



1 EAST BUILDING ELEVATION
3/32" = 1'-0"

- ELEVATION KEY NOTES**
- 1.1 BRICK TYPE 1 - HORIZONTAL (STRETCHER) STACK BOND.
 - 1.2 BRICK TYPE 1 - VERTICAL (STRETCHER) STACK BOND.
 - 1.3 BRICK TYPE 1 - RUNNING BOND.
 - 2 BRICK TYPE 2 - HORIZONTAL (STRETCHER) STACK BOND.
 - 3 BLACK ANODIZED ALUMINUM CURTAIN WALL SYSTEM, W/ SN 64 OR EQUIVALENT GLAZING.
 - 4 BLACK ANODIZED ALUMINUM STOREFRONT WALL SYSTEM, W/ CLEAR GLAZING AT FIRST FLOOR COMMERCIAL.
 - 5 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM, CLEAR GLAZING WITH 50% OPACITY PVB INTERLAYER AT PARKING LEVELS.
 - 6 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM, W/ SN 64 OR EQUIVALENT GLAZING AT FLOORS 6 TO 14.
 - 7 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 1.
 - 8 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 2.
 - 9 ANODIZED, METAL PANEL TYPE 3 CAPTURED WITHIN THE SHOWN WALL SYSTEM, CURTAIN WALL, STOREFRONT OR WINDOW WALL.
 - 10 PAINTED STEEL CHANNEL.
 - 11 PAINTED STEEL TENSION ROD & TURN BUCKLE EXTERIOR ACCENT BRACING.
 - 12 GLASS GUARDRAIL W/ FRIT PATTERN.
 - 13 BOARD FORMED CONCRETE WALL / PLANTER WITH CAST STONE COPING.
 - 14 GRANITE WALL BASE STARTING COURSE AT GRADE CONTINUOUS AROUND ALL EXTERIOR WALL CONDITIONS.
 - 15 INSULATED OVERHEAD COILING DOOR.
 - 16 HOLLOW METAL DOOR.
 - 17 ANODIZED ALUMINUM ENTRY DOOR.
 - 18 PATIO DOOR UNIT WITH SIDELIGHT.
 - 19 TERRACE DOOR WITHIN WINDOW WALL SYSTEM.
 - 20 CORRUGATED, PERFORATED METAL PANEL TYPE 4, SALVAGED & REINSTALLED METAL PANEL FROM THE EXISTING PARKING RAMP, VERTICAL ORIENTED.
 - 21 PAINTED STEEL FRAMING TO CAPTURE REINSTALLED VERTICAL METAL PANELS.
 - 22 DECORATIVE METAL WOVEN WIRE FENCE.
 - 23 ALUMINUM WALL LOUVER - FINISH TO MATCH ADJACENT EXTERIOR MATERIAL FINISH.
 - 24 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS, PAINTED EXPOSED CONCRETE SLAB.
 - 25 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS, PAINTED STEEL PERIMETER CHANNEL.
 - 26 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS.
 - 27 CAST STONE WALL COPING.
 - 28 METAL WALL COPING, COLOR TO MATCH ADJACENT WALL MATERIAL.
 - 29 ENTRY CANOPY WITH PAINTED STEEL SUPPORT FRAMING, CHANNELS OR HSS MEMBERS.
 - 30 BUILDING MOUNTED EXTERIOR LIGHT FIXTURE.
 - 31 CONCRETE SITE STAIRS WITH PAINTED GALVANIZED HANDRAILS.
 - 32 ALUMINUM GUARD RAIL WITH VERTICAL PICKETS.
 - 33 BIKE PARKING STALLS.
 - 34 EXISTING BUILDING.
 - 35 STANDING SEAM METAL SIDING.

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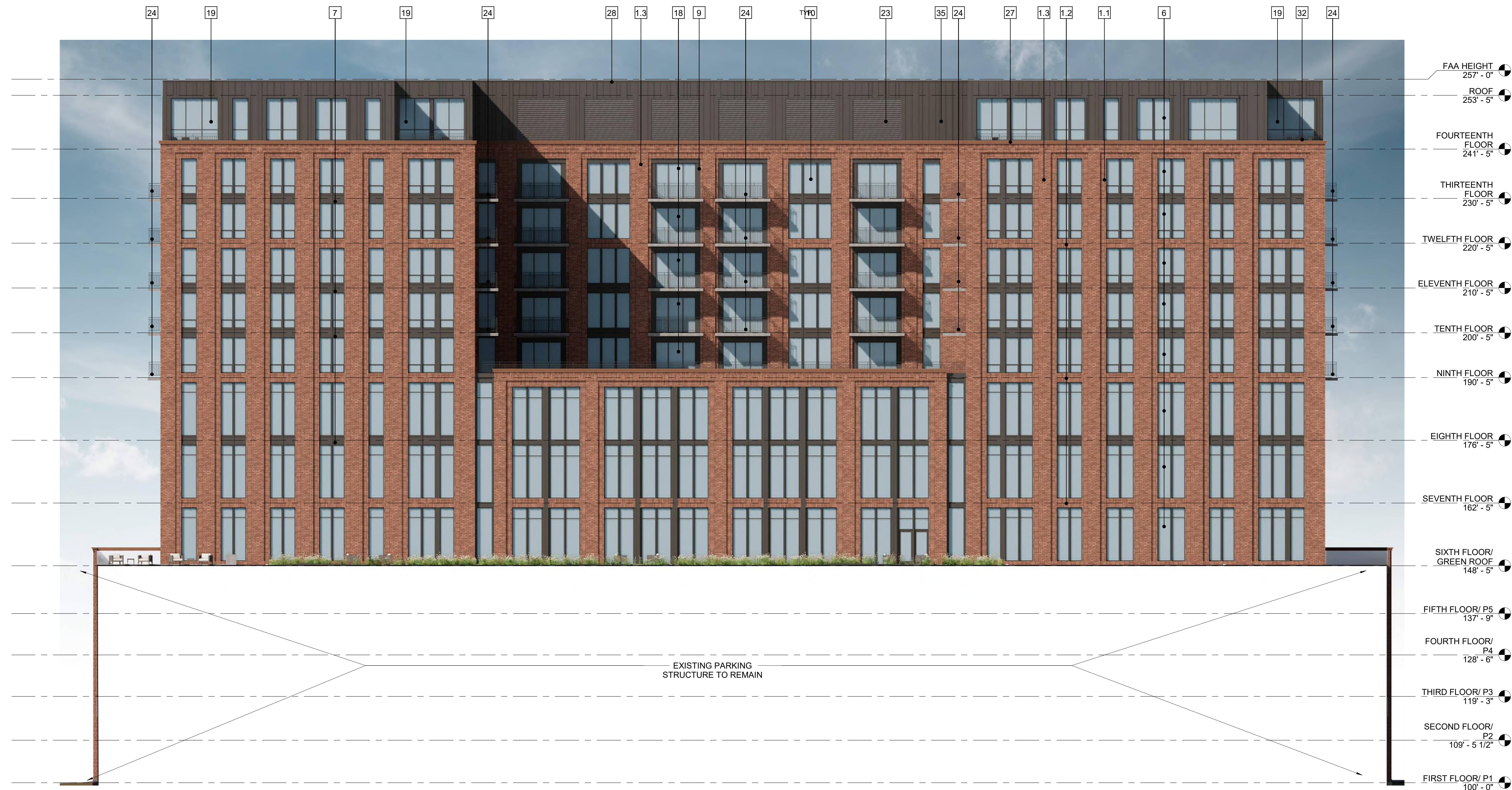
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BUILDING ELEVATIONS



1 SOUTH BUILDING ELEVATION
A203 3/32" = 1'-0"

ELEVATION KEY NOTES

- 1.1 BRICK TYPE 1 - HORIZONTAL (STRETCHER) STACK BOND.
- 1.2 BRICK TYPE 1 - VERTICAL (STRETCHER) STACK BOND.
- 1.3 BRICK TYPE 1 - RUNNING BOND
- 2 BRICK TYPE 2 - HORIZONTAL (STRETCHER) STACK BOND.
- 3 BLACK ANODIZED ALUMINUM CURTAIN WALL SYSTEM. W/ SN 64 OR EQUIVALENT GLAZING
- 4 BLACK ANODIZED ALUMINUM STOREFRONT WALL SYSTEM. W/ CLEAR GLAZING AT FIRST FLOOR COMMERCIAL.
- 5 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM. CLEAR GLAZING WITH 50% OPACITY PVB INTERLAYER AT PARKING LEVELS.
- 6 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM. W/ SN 64 OR EQUIVALENT GLAZING AT FLOORS 8 TO 14.
- 7 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 1
- 8 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 2
- 9 ANODIZED, METAL PANEL TYPE 3 CAPTURED WITHIN THE SHOWN WALL SYSTEM, CURTAIN WALL, STOREFRONT OR WINDOW WALL.
- 10 PAINTED STEEL CHANNEL
- 11 PAINTED STEEL TENSION ROD & TURN BUCKLE EXTERIOR ACCENT BRACING
- 12 GLASS GUARDRAIL W/ FRIT PATTERN
- 13 BOARD FORMED CONCRETE WALL / PLANTER WITH CAST STONE COPING
- 14 GRANITE WALL BASE STARTING COURSE AT GRADE CONTINUOUS AROUND ALL EXTERIOR WALL CONDITIONS
- 15 INSULATED OVERHEAD COILING DOOR
- 16 HOLLOW METAL DOOR
- 17 ANODIZED ALUMINUM ENTRY DOOR
- 18 PATIO DOOR UNIT WITH SIDELIGHT
- 19 TERRACE DOOR WITHIN WINDOW WALL SYSTEM
- 20 CORRUGATED, PERFORATED METAL PANEL TYPE 4. SALVAGED & REINSTALLED METAL PANEL FROM THE EXISTING PARKING RAMP. VERTICAL ORIENTATED.
- 21 PAINTED STEEL FRAMING TO CAPTURE REINSTALLED VERTICAL METAL PANELS
- 22 DECORATIVE METAL WOVEN WIRE FENCE
- 23 ALUMINUM WALL LOUVER - FINISH TO MATCH ADJACENT EXTERIOR MATERIAL FINISH.
- 24 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS. PAINTED EXPOSED CONCRETE SLAB
- 25 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS. PAINTED STEEL PERIMETER CHANNEL
- 26 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS
- 27 CAST STONE WALL COPING
- 28 METAL WALL COPING, COLOR TO MATCH ADJACENT WALL MATERIAL.
- 29 ENTRY CANOPY WITH PAINTED STEEL SUPPORT FRAMING, CHANNELS OR HSS MEMBERS.
- 30 BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
- 31 CONCRETE SITE STAIRS WITH PAINTED GALVANIZED HANDRAILS
- 32 ALUMINUM GUARD RAIL WITH VERTICAL PICKETS
- 33 BIKE PARKING STALLS
- 34 EXISTING BUILDING
- 35 STANDING SEAM METAL SIDING

PRELIMINARY
NOT FOR CONSTRUCTION

929 E Washington - Archipelago

929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
02/28/2022	LAND USE SUBMITTAL	

**BUILDING
ELEVATIONS**

A203



1 WEST BUILDING ELEVATION
A204 3/32" = 1'-0"

ELEVATION KEY NOTES

- | | |
|---|---|
| <ul style="list-style-type: none"> 1.1 BRICK TYPE 1 - HORIZONTAL (STRETCHER) STACK BOND. 1.2 BRICK TYPE 1 - VERTICAL (STRETCHER) STACK BOND. 1.3 BRICK TYPE 1 - RUNNING BOND 2 BRICK TYPE 2 - HORIZONTAL (STRETCHER) STACK BOND. 3 BLACK ANODIZED ALUMINUM CURTAIN WALL SYSTEM, W/ SN 64 OR EQUIVALENT GLAZING 4 BLACK ANODIZED ALUMINUM STOREFRONT WALL SYSTEM, W/ CLEAR GLAZING AT FIRST FLOOR COMMERCIAL. 5 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM, CLEAR GLAZING WITH 50% OPACITY PVB INTERLAYER AT PARKING LEVELS. 6 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM, W/ SN 64 OR EQUIVALENT GLAZING AT FLOORS 6 TO 14. 7 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 1 8 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 2 9 ANODIZED, METAL PANEL TYPE 3 CAPTURED WITHIN THE SHOWN WALL SYSTEM, CURTAIN WALL, STOREFRONT OR WINDOW WALL. 10 PAINTED STEEL CHANNEL 11 PAINTED STEEL TENSION ROD & TURN BUCKLE EXTERIOR ACCENT BRACING 12 GLASS GUARDRAIL W/ FRIT PATTERN 13 BOARD FORMED CONCRETE WALL / PLANTER WITH CAST STONE COPING 14 GRANITE WALL BASE STARTING COURSE AT GRADE CONTINUOUS AROUND ALL EXTERIOR WALL CONDITIONS 15 INSULATED OVERHEAD COILING DOOR 16 HOLLOW METAL DOOR 17 ANODIZED ALUMINUM ENTRY DOOR 18 PATIO DOOR UNIT WITH SIDELIGHT 19 TERRACE DOOR WITHIN WINDOW WALL SYSTEM 20 CORRUGATED, PERFORATED METAL PANEL TYPE 4, SALVAGED & REINSTALLED METAL PANEL FROM THE EXISTING PARKING RAMP, VERTICAL ORIENTATED. | <ul style="list-style-type: none"> 21 PAINTED STEEL FRAMING TO CAPTURE REINSTALLED VERTICAL METAL PANELS 22 DECORATIVE METAL WOVEN WIRE FENCE 23 ALUMINUM WALL LOUVER - FINISH TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. 24 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS, PAINTED EXPOSED CONCRETE SLAB 25 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS, PAINTED STEEL PERIMETER CHANNEL 26 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS 27 CAST STONE WALL COPING 28 METAL WALL COPING, COLOR TO MATCH ADJACENT WALL MATERIAL. 29 ENTRY CANOPY WITH PAINTED STEEL SUPPORT FRAMING, CHANNELS OR HSS MEMBERS 30 BUILDING MOUNTED EXTERIOR LIGHT FIXTURE 31 CONCRETE SITE STAIRS WITH PAINTED GALVANIZED HANDRAILS 32 ALUMINUM GUARD RAIL WITH VERTICAL PICKETS 33 BIKE PARKING STALLS 34 EXISTING BUILDING 35 STANDING SEAM METAL SIDING |
|---|---|

PRELIMINARY
NOT FOR CONSTRUCTION

929 E Washington - Archipelago

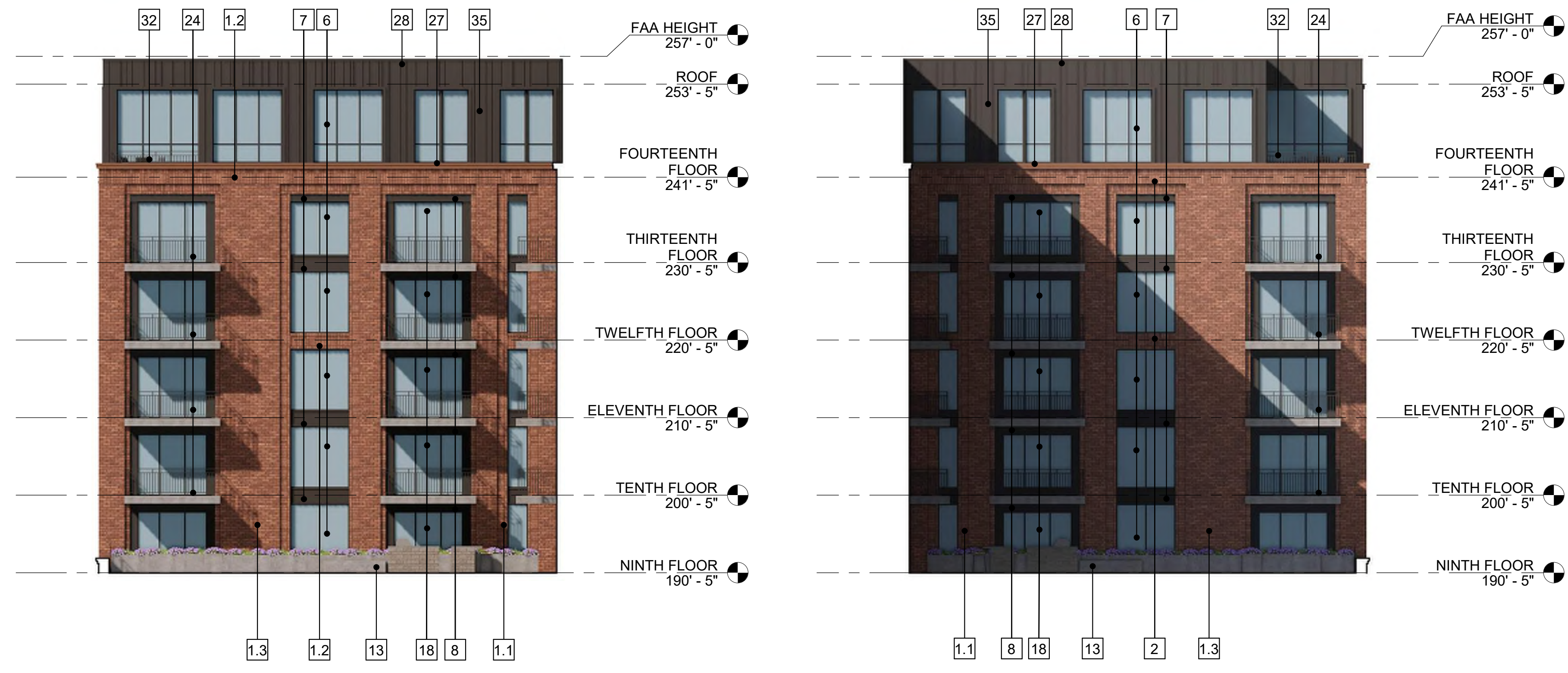
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**BUILDING
ELEVATIONS**

A204



2 COURTYARD - EAST ELEVATION
A205 3/32" = 1'-0"

1 COURTYARD - WEST ELEVATION
A205 3/32" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

929 E Washington - Archipelago

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|--|--|

**BUILDING
ELEVATIONS**

A205



AERIAL PERSPECTIVE OF 900 BLOCK FROM THE NORTH



AERIAL PERSPECTIVE OF 900 BLOCK FROM THE WEST



AERIAL PERSPECTIVE OF 900 BLOCK FROM THE SOUTH



AERIAL PERSPECTIVE OF 900 BLOCK FROM THE EAST

PRELIMINARY
NOT FOR CONSTRUCTION

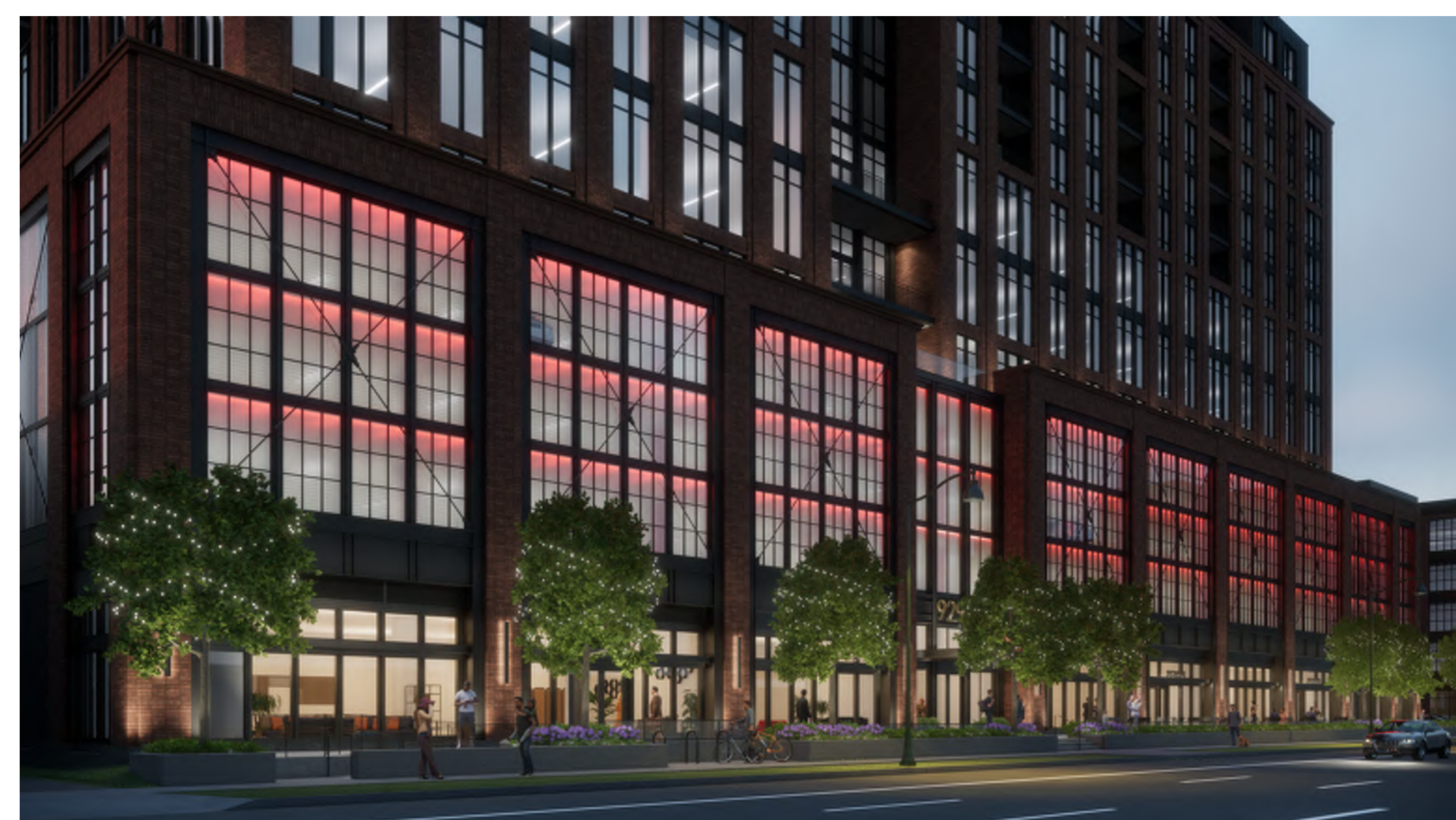
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**EXTERIOR
RENDERINGS**



EAST WASHINGTON AVENUE PERSPECTIVE



EAST WASHINGTON AVENUE ENTRY PERSPECTIVE

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**EXTERIOR
RENDERINGS**



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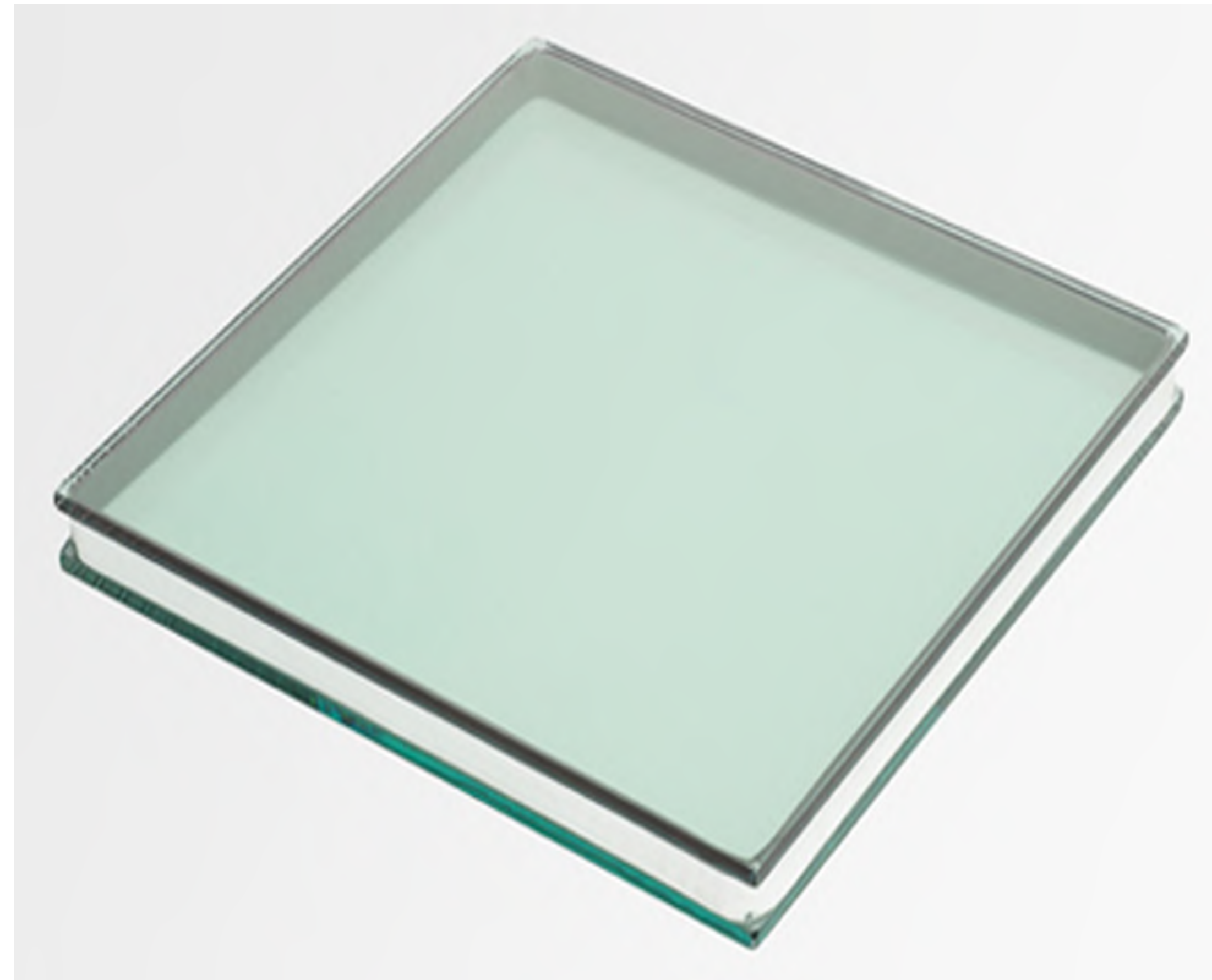
EXTERIOR
RENDERINGS

A208

SIXTH FLOOR GREEN ROOF PERSPECTIVE



VERTICAL STANDING STEAM SIDING - COLOR: BLACK



VISION GLAZING: IGU, CLEAR - LOW-E: SOLARBAN 70 OR EQUIVALENT



ANODIZED ALUMINUM WINDOW, STOREFRONT & CURTAINWALL FRAMING - COLOR: BLACK



IGU - CLEAR - LOW-E: SOLARBAN 70 OR EQUIVALENT

IGU - CLEAR - LOW-E: SOLARBAN 70 OR EQUIVALENT

COMPOSITE METAL PANELS, WINDOW & WALL FLASHING - COLOR: BLACK

ANODIZED ALUMINUM WINDOW, STOREFRONT & CURTAINWALL FRAMING - COLOR: BLACK

EXTERIOR BRICK:
SIOUX CITY BRICK. COLOR: RED DESERT
KANSAS BRICK & TILE. COLOR 530 FLASH MODULAR
OR EQUIVALENT

EXISTING METAL PANELS, RELOCATED FROM
EXISTING PARKING STRUCTURE:
CORRUGATED, PERFORATED - CENTRIA ECOSCREEN.
BR5-36, MR3-36, STYLE-RIB. 40% OPEN AREA.
COLORS: 50% XL PEWTER, 50% XL SILVER GRAY.

ALUMINUM METAL RAILINGS FOR EXTERIOR
PATIOS & BALCONIES - COLOR: BLACK

PRELIMINARY
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**BUILDING
MATERIAL
PALETTE**

A210



1
A221
NORTH BUILDING ELEVATION - EAST WASHINGTON AVENUE
3/32" = 1'-0"

ELEVATION KEY NOTES

- 1.1 BRICK TYPE 1 - HORIZONTAL (STRETCHER) STACK BOND.
- 1.2 BRICK TYPE 1 - VERTICAL (STRETCHER) STACK BOND.
- 1.3 BRICK TYPE 1 - RUNNING BOND
- 2 BRICK TYPE 2 - HORIZONTAL (STRETCHER) STACK BOND.
- 3 BLACK ANODIZED ALUMINUM CURTAIN WALL SYSTEM. W/ SN 64 OR EQUIVALENT GLAZING
- 4 BLACK ANODIZED ALUMINUM STOREFRONT WALL SYSTEM. W/ CLEAR GLAZING AT FIRST FLOOR COMMERCIAL.
- 5 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM. CLEAR GLAZING WITH 50% OPACITY PVB INTERLAYER AT PARKING LEVELS.
- 6 BLACK ANODIZED ALUMINUM WINDOW WALL SYSTEM. W/ SN 64 OR EQUIVALENT GLAZING AT FLOORS 6 TO 14.
- 7 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 1
- 8 ANODIZED, CONCEALED FASTENER COMPOSITE / ACM METAL PANEL TYPE 2
- 9 ANODIZED, METAL PANEL TYPE 3 CAPTURED WITHIN THE SHOWN WALL SYSTEM, CURTAIN WALL, STOREFRONT OR WINDOW WALL.
- 10 PAINTED STEEL CHANNEL
- 11 PAINTED STEEL TENSION ROD & TURN BUCKLE EXTERIOR ACCENT BRACING
- 12 GLASS GUARDRAIL W/ FRIT PATTERN
- 13 BOARD FORMED CONCRETE WALL / PLANTER WITH CAST STONE COPING
- 14 GRANITE WALL BASE STARTING COURSE AT GRADE CONTINUOUS AROUND ALL EXTERIOR WALL CONDITIONS
- 15 INSULATED OVERHEAD COILING DOOR
- 16 HOLLOW METAL DOOR
- 17 ANODIZED ALUMINUM ENTRY DOOR
- 18 PATIO DOOR UNIT WITH SIDELIGHT
- 19 TERRACE DOOR WITHIN WINDOW WALL SYSTEM
- 20 CORRUGATED, PERFORATED METAL PANEL TYPE 4. SALVAGED & REINSTALLED METAL PANEL FROM THE EXISTING PARKING RAMP. VERTICAL ORIENTED.
- 21 PAINTED STEEL FRAMING TO CAPTURE REINSTALLED VERTICAL METAL PANELS
- 22 DECORATIVE METAL WOVEN WIRE FENCE
- 23 ALUMINUM WALL LOUVER - FINISH TO MATCH ADJACENT EXTERIOR MATERIAL FINISH.
- 24 BALCONY, PROVIDE ALUMINUM GUARDRAIL WITH VERTICAL PICKETS. PAINTED EXPOSED CONCRETE SLAB
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- 33 BIKE PARKING STALLS
- 34 EXISTING BUILDING
- 35 STANDING SEAM METAL SIDING

PRELIMINARY
NOT FOR CONSTRUCTION

929 E Washington - Archipelago

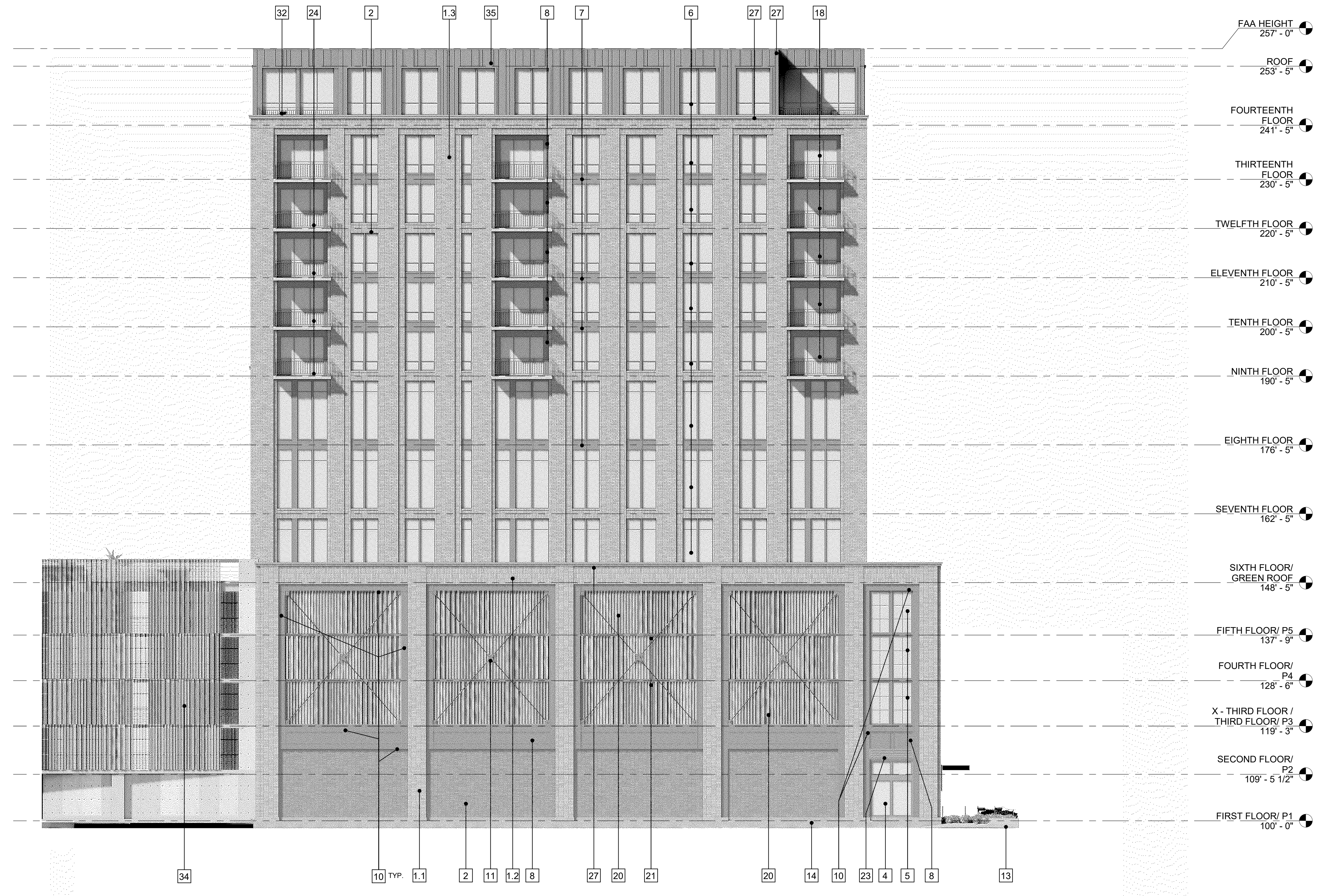
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**BUILDING
ELEVATIONS -
B&W**

A221



1 EAST BUILDING ELEVATION
3/32" = 1'-0"

ELEVATION KEY NOTES

- 1.1 BRICK TYPE 1 - HORIZONTAL (STRETCHER) STACK BOND.
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**BUILDING
ELEVATIONS -
B&W**

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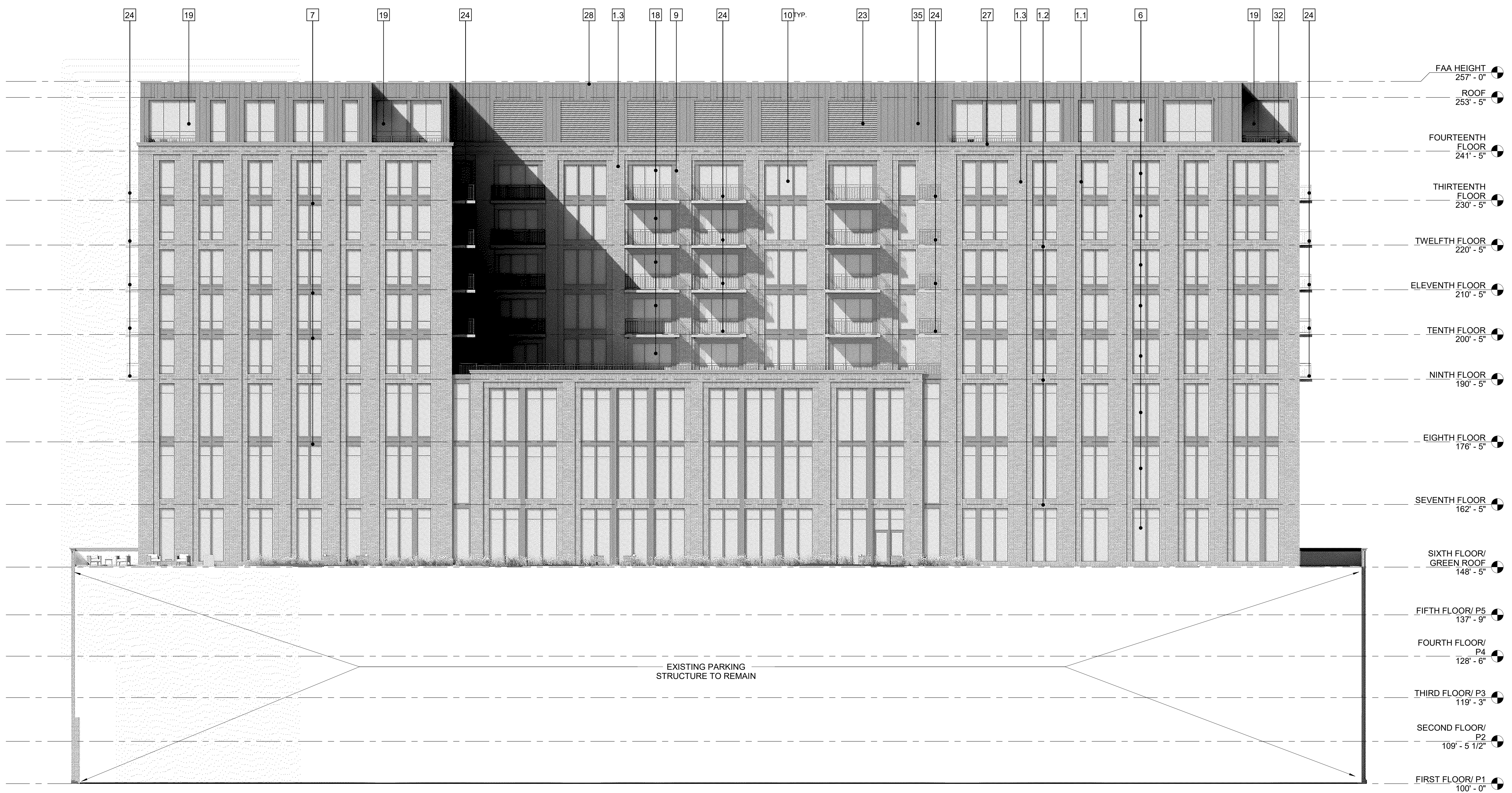
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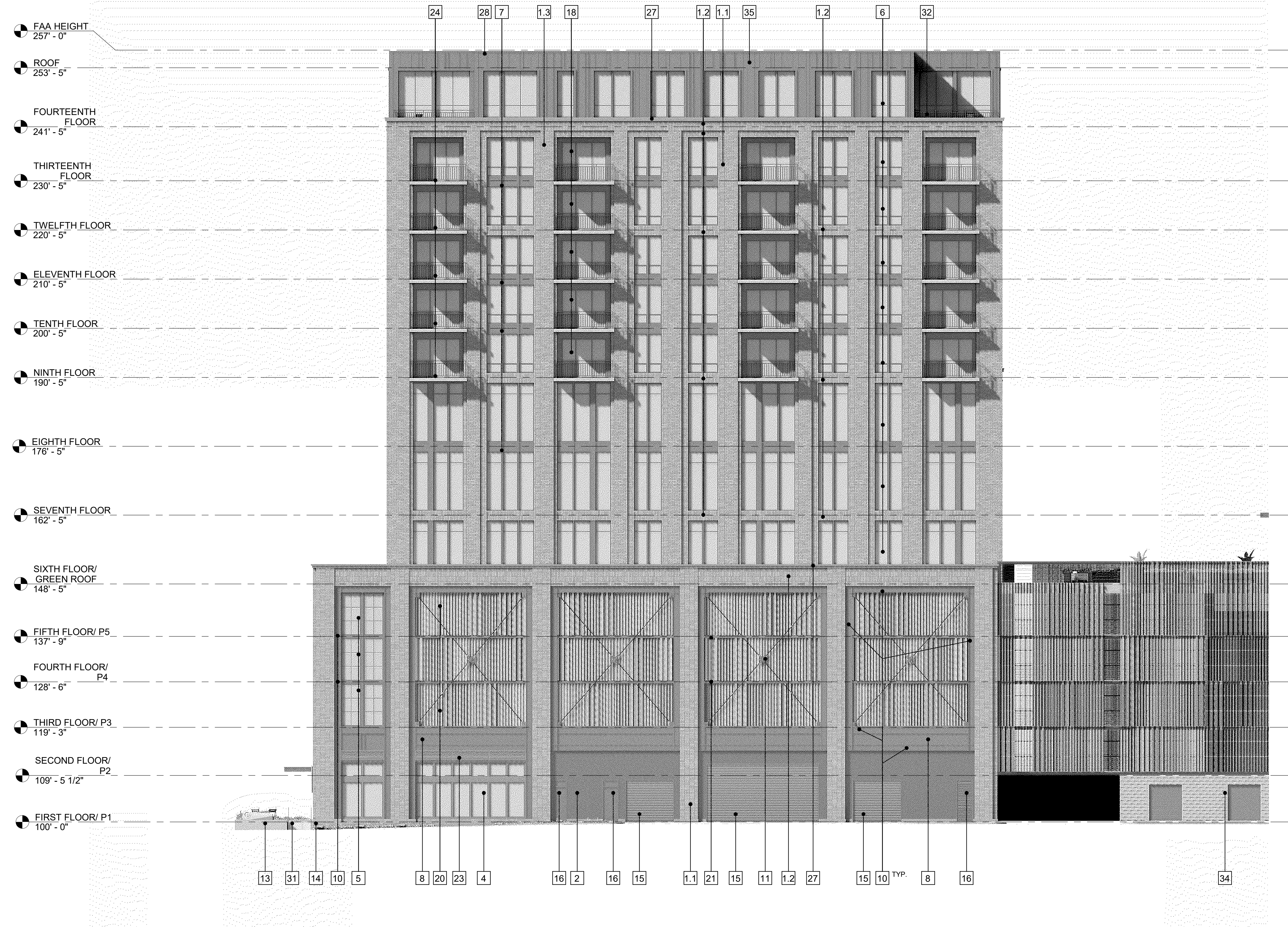
**BUILDING
ELEVATIONS -
B&W**



1 SOUTH BUILDING ELEVATION
A223 3/32" = 1'-0"

ELEVATION KEY NOTES

- | | |
|---|---|
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**BUILDING
ELEVATIONS -
B&W**

A224