

Property Condition Report

Master Hall Apartments

415 W. Gilman St.

Madison, WI 53703



PREPARED FOR:

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PROPERTY LOCATION – 415 West Gilman St., Madison WI. 53703

PREPARED BY – Construction Management Solutions LLC & One Design & Engineering LLC

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PURPOSE AND SCOPE

Master Hall Apartment

415 W. Gilman St.

Madison WI. 53703

Purpose

The purpose of the review is to perform a general review and inspection of the subject property with respect to the current condition of the structure, viability of maintaining and updating the structure from the standpoint of building code compliance; Energy code compliance; ADA compliance.

Scope of Work

Our review specifically included the following.

- Inspection of the building was performed by a construction professional and structural engineer to observe the current condition of the building and evaluate the opportunity and viability for long term maintenance and preservation, including appropriate life safety and accessibility updates/upgrades given its use as residential housing.
- General Review of recent reports, outlining the historical timeline as to the building's evolution of its uses and how it has changed over the decades. Documents provided by the client and / or the developer.
- Interview with the Mullins Group representative, reviewing the various challenges with the property as it pertains to maintenance/ repair / lease-up difficulties with outdated product
- Preparation of a report with our findings.

Limitations

Our review of the included visual inspection of the outside of the building from ground level; guided tour of the interior of the building with the management company representative which provided access to all mechanical areas in the basement, common areas, various samples of living units, penthouse mechanical room, and a visual inspection of the roof itself.

PROPERTY DESCRIPTION

The property is a seven-story building located at 415 W. Gilman Street, known as Master Hall, was constructed in 1965 as dormitory style housing “For Single Men” with “Every Personal Convenience” including maid service (REF. Capital Times, Oct. 10, 1965; from Newspapers.com, reprinted at: <https://www.madisonpreservation.org/blog/2021/3/31/master-hall-and-private-dorms>). In 1973, the dormitory switched to mixed-gender occupancy, and the upper-level sleeping rooms were converted into studio apartments for individual students. Currently there are 110 units in the building.

The building is 37,490 square feet, seven stories in height, of which the top six stories are residential units, the 1st story (ground floor) has two residential units, entrance lobby, elevator/ stair lobby, meeting room; basement level with mechanical rooms, electrical service, elevator equipment room and various spaces being used for storage. The building is situated on .3-acre lot with surface parking.

The basement foundation walls are reinforced concrete with CIP columns and beams. The floor and roof platforms are constructed of uninsulated reinforced concrete slabs. The exterior walls are constructed of uninsulated reinforced concrete. There is not a significant insulation on the exterior of the structure.

Entry to the building is provided at the north and south ends of the building. Entry to the building occurs at a split elevation first floor level without an accessible means of egress to the other floor levels of the building.

CONCLUSIONS

This structure contains numerous building code and ADA non-conforming elements requiring significant structural modifications to achieve compliance. The construction methods, structural design, and spatial limitations within the building's footprint make the necessary renovations infeasible, particularly given that many appliances and fixtures were integrated directly into the concrete structure. While the building shell could remain standing for years, the improvements needed to maintain a habitable condition for tenants are prohibitively expensive and, in many cases, structurally or spatially impossible. Based on our research and conclusions, the building is considered functionally obsolete and cannot feasibly be brought into full code compliance. Under the ICC Existing Building Code, this would fall under Level 3 Renovations, requiring more than 50% of the building to be altered or changed.

BUILDING OBSERVATIONS

Structural Condition

Hairline cracking was observed in the reinforced concrete exterior walls and floors. These cracks have been filled with joint sealant and painted.



The penthouse floor has experienced water damage in the form of spalled concrete and exposed reinforced steel. Calcification at hairline cracks in the penthouse roof are visible and indicative of previous water leaking. The main roof of the building is located beneath an adhered EPDM roof membrane placed over rigid insulation. Roof leaking was present during the inspection. It is uncertain if same spalling and deterioration of reinforcing steel, indicative of the Penthouse roof condition, is present at the top surface of the roof level but it is highly probable based on adjacent areas.



Calcification at underside of penthouse roof / Spalling of penthouse floor deck - Roof deck.

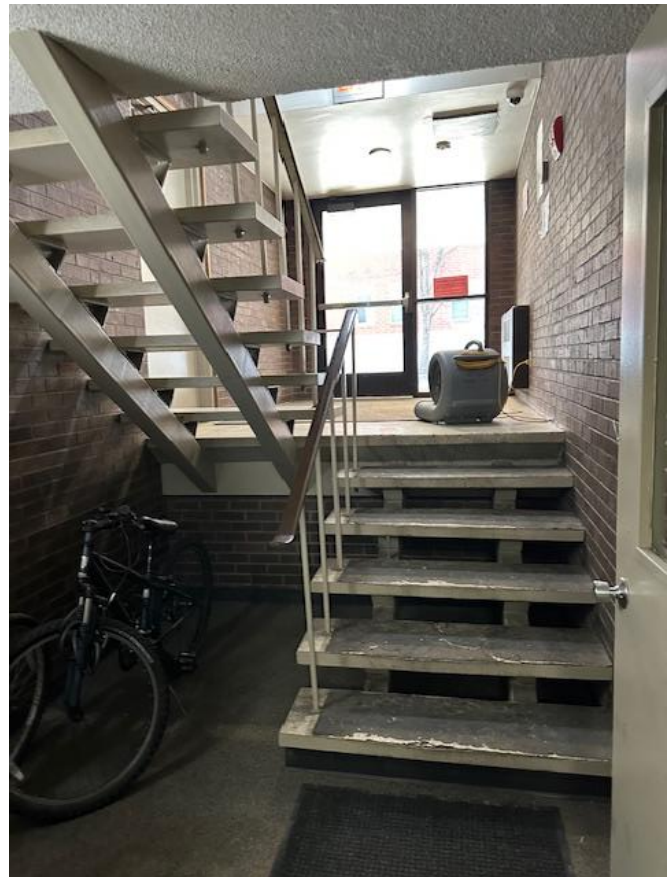
Accessibility

The building has numerous accessibility and other issues which restrict or prevent access for persons with disabilities that will be extremely difficult, if not impossible, to correct or even mitigate. While the existing concrete paving leading to the building entries appears to be ADA compliant, beginning at the entry vestibules, nothing within the building itself is ADA compliant. For example, the entries do not meet the required ADA turnaround clearance. Within the building, residents and guests do not have an accessible means of travel within any floor, or floor to the floor.

The main entry lobby is located at a split-level, requiring guests and patrons to descend a flight of stairs to access the first-floor apartments and elevators. While installation of a limited-use/limited-access (LULA) elevator could theoretically provide an accessible entrance point to the first floor, space limitations do not allow for a LULA without interfering with the door swing of the stair towers. Furthermore, the solid concrete construction of the building would not accommodate the structural modifications necessary to install a LULA, making this solution infeasible on both spatial and structural grounds.



Insufficient available space for LULA elevator between vestibule lobby and first floor.



Egress stairs from vestibule lobby to first floor.

Residential Units

None of the interior apartments meet accessibility standards, and would not be physically accessible or useable for many persons with disabilities. For example, The existing bathrooms all contain stand-up showers that do not meet the required footprint dimensions or approach clearance requirements. Space limitations within the units do make it impossible to expand the restrooms or Kitchens to meet required ADA or other Wisconsin building code clearances.



Elevators

The existing pair of elevators are not ADA compliant and are obsolete. The interior dimensions do not meet the minimum requirements prescribed in ANSI 117.1 for accessible use. The elevators are located within a concrete shaft extending from the bottom level to the top floor of the building. Removing the existing elevator system to install an ADA compliant pair of elevators will require removing the existing concrete elevator shaft walls, enlarging the current floor openings for the elevator shaft and rebuilding the elevator shaft walls. The existing shaft walls are load bearing. Reconstruction of the elevator shaft walls (enlargement) is not structurally possible due to the existing loadbearing shaft construction and space limitations.

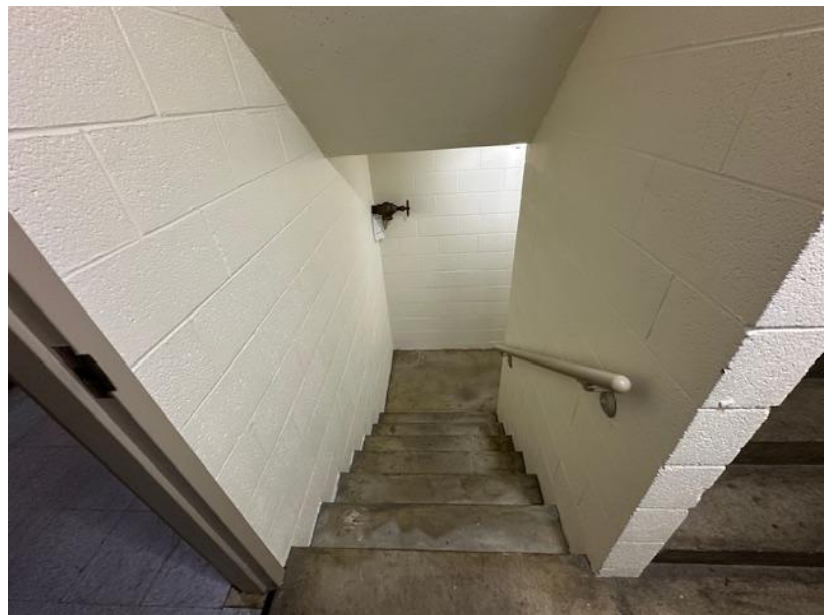
The original elevators are over 60 years old and parts are either no longer available, or in scarce supply. The elevators are not connected to an emergency back-up power generator and cannot be used for emergency ingress and egress, which means the two stair towers are the only means of emergency access to and exit from the building.



Stair Shafts

The existing stairs are constructed of reinforced concrete and are located within reinforced concrete shaft walls. The stairs extend from the bottom level to the top level of the building. The existing landings do not provide the required area of refuge for disabled building occupants to find safe harbor during emergencies. Additionally, the existing stairs discharge to the recessed first floor level and not to the exterior of the building or to a rated corridor leading to the exterior of the building.

The existing stair tread depth, riser height, and landing depths are not code compliant. Handrails within the stairs are not code compliant. Modification of the handrails is not feasible, as the required extensions would project into the existing door swings within the stair shaft. Reconstruction of the stairs is likewise not feasible due to the load-bearing shaft construction and spatial limitations.



Energy & Environmental Efficiency

The existing building envelope consists of uninsulated reinforced concrete walls and floors and single-pane glazed window assemblies that do not meet current SPS 363 Wisconsin Energy Conservation Code requirements. The building currently experiences routine freezing of water piping in the end apartments at the north and south ends of the building, as well as in several second-floor units due to the cantilevered floor design. The property owner has been required to cut into the concrete structure to access the constantly freezing piping, with access panels added to the underside of the deck as a recurring measure.

Bringing the building envelope into compliance would require furring the inside of the exterior walls with 3-5/8" steel studs, insulating with 3-1/2" fiberglass batt insulation, installing a vapor barrier and drywall, and replacing all windows with new double-pane units. However, given that the exterior walls are solid reinforced concrete, it is questionable whether such furring and insulation work is even feasible without compromising the structural integrity of the building. Additionally, any such renovation work would likely disturb asbestos-containing materials present throughout the building, introducing further complexity, cost, and regulatory requirements to an already infeasible scope of work.

Beyond the building envelope, the overall energy inefficiency of the building extends to its mechanical systems and appliances. Most kitchen appliances are original to the building and are integrated directly into the concrete structure, making replacement with Energy Star or more efficient models not feasible. Similarly, the HVAC and water heating systems are aging and inefficient, contributing to the building's overall poor energy performance. Collectively, these deficiencies make it effectively impossible to bring the building into compliance with modern energy efficiency standards without a comprehensive reconstruction effort.



Fire Protection

Current building code requires new R-2 residential apartment-use buildings to be fully sprinklered. The building is currently un-sprinklered. Any Level-2 or level-3 alterations made to the building to address life-safety or accessibility issues, or to reconfigure the property into a different use or to change apartment configurations will trigger fire protection requirements in the building code.

The existing building code requires any Level 2 or Level 3 alterations to existing R-2 buildings to be fitted with an automatic sprinkler system. Such an upgrade would require coring through existing floors and routing fire protection piping either exposed to view or within concealed spaces. Given the concrete construction and structure of the building, the necessary coring to accommodate a sprinkler system would compromise the structural integrity of the entire building, making this requirement infeasible to achieve.

GENERAL COST REVIEW

	COMPLIANCE / REPAIR ISSUES	FEASIBILITY	ESTIMATED COST
STRUCTURAL CONDITION / FAÇADE REPAIR AND MAINTENANCE	Required exterior concrete repairs and finish removal, concrete primer/sealing, concrete protective elastomeric final coating, and specialty durability coating		\$1,725,000 - \$1,975,000
ACCESSIBILITY	Create an accessible route from the entrance to the elevators	Although the entrance vestibules could be renovated for ADA compliance, the unique design of the lobby being split level would require a platform lift to gain access to the elevator lobby. Due to the stair shaft configuration for both the front and rear entrances, there is not enough space for the lift and the required clearances associated with access onto/ off of the lift.	Not Structurally Possible
RESIDENTIAL UNITS	Expansion of unit size would require reducing (3) units into (2) by splitting the middle unit in half, building a new demising wall in the middle unit and removing the existing demising walls to create the required space within (cont.) each unit that meets building and ADA codes. Lastly, the NOI for the building would be decreased by 1/3 due to the reduction of units.	This is not feasible. The many of the interior demising walls of this type of construction / architecture are load bearing and therefore (cont.) cannot be removed.	Not Structurally Possible
ELEVATORS	The elevators as they currently stand are obsolete and need to be replaced. This is not optional. We would install larger elevator cabs that are sized for ADA compliant	The existing shaft walls are load - bearing. Reconstruction of the elevator shaft walls	The cost of elevator replacement, enlarged elevator floor openings, and

	<p>turning radiuses and appropriate person capacity for this size of apartment building</p>	<p>(enlargement) is not feasible due to the existing loadbearing shaft construction and space limitations i.e. major structural work is needed and adjacent units would need to be modified.</p> <p>It is also worth noting that parts for these older elevators are generally no longer available, necessitating their replacement.</p>	<p>unit modifications alone is estimated at \$2,435,000, exceeding the allowable repair threshold and rendering the building functionally obsolete.</p>
STAIR SHAFTS	<p>Stair shaft areas of rescue, landings treads, risers, handrails, egress at the ground floor, do not comply with the building code.</p>	<p>Reconstruction of the stairs is not feasible due to the existing loadbearing shaft construction and space limitations.</p>	<p>Not Structurally Possible</p>
ENERGY CODE COMPLIANCE	<p>The building envelope (walls and roof) does not meet current SPS 363 Wisconsin Energy Conservation Code requirements.</p>	<p>Renovation to the exterior walls of the building by completing the following: furring the inside of the exterior walls with 3-5/8 steel studs, insulating with 3-1/2" fiberglass batt insulation, installing a vapor barrier and drywall. Removing all windows (original single pane units as well as the low quality units installed in the 70's. Install new double-pane window units for the entire building. Because many of kitchens and bathrooms are located against the outside wall the renovations will</p>	<p>\$11,970,000</p>

		include bathrooms/ kitchens / MEP's	
FIRE PROTECTION	The building does not have a fire protection/ sprinkler system, nor does it have a monitored fire alarm system that is tied into the sprinkler system.	Install a new NFPA-13 light hazard wet pipe sprinkler system with fire pump and fire alarm system.	\$500,000

END OF REPORT

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Professional Licensure:

S.E., State of Illinois

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P.E., State of Wisconsin

Code experience Training:

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ICC – International Existing Building Code

ICC – International Energy Efficiency Code

ICC – International Residential code

BOCA – National Building Code

SBC – Standard Building Code

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30+ years of extensive experience in commercial construction projects ranging from Office / Industrial & Warehouse facilities / Large Retail / Hospitality / Multi-family / Health Care / Education / Tenant Improvement..