

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 211 N Carroll St / 200-220 Wisconsin Ave
Title: MATC Downtown Campus

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested September 5, 2018
 New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage
 Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other
 Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Larry Westrich Company Drury Southwest, Inc.
Street address 101 South Farrar Drive City/State/Zip Cape Girardeau, MO 63701
Telephone 573-335-3134 Email larry.westrich@drurysouthwest.com

Project contact person Larry Westrich Company Drury Southwest, Inc.
Street address 101 South Farrar Drive City/State/Zip Cape Girardeau, MO 63701
Telephone 573-335-3134 Email larry.westrich@drurysouthwest.com

Property owner (if not applicant) Madison Area Technical College
Street address 1701 Wright Street City/State/Zip Madison, WI 53704
Telephone 608-246-6737 Email mmstark@madisoncollege.edu

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist provided below for plan details)
- Filing fee**
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on May 9, 2018.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Larry Westrich Relationship to property Lessee
 Authorized signature of **Property Owner**  Date 7-16-2018
 Michael M. Stark

7. Application Filing Fees

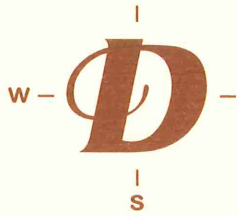
Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



DRURY SOUTHWEST, INC.

101 S. FARRAR DRIVE
CAPE GIRARDEAU, MO 63701-4905
(573) 335-3134
FAX (573) 335-5125

July 16, 2018

City of Madison
Planning Division
126 South Hamilton
Madison, WI 53701

RE: MATC Downtown Site Redevelopment – Letter of Intent

Dear City of Madison Planning Division:

Please accept this Letter of Intent, applications and supporting documents as our formal request for an Initial and Final review by the Urban Design Commission and review of the Land Use application by the Plan Commission. Review is being requested for the Madison Area Technical College Downtown Site redevelopment project located at 211 N. Carroll Street.

The project fronts four streets including Wisconsin Avenue to the north, North Carroll Street to the south, West Johnson Street to the west, and West Dayton Street to the east. Drury Southwest, Inc. will develop the site taking the existing, historic MATC building and rehabilitating into a 195-room, upper midscale Drury Plaza Hotel. Also included will be the construction of a new addition which will house an additional 115 guest rooms with retail and restaurant space on the street level.

Expected Construction Schedule:

- Construction Start: Spring 2019
- Construction Completion: First Quarter 2021

Owner:

- MATC
1701 Wright Street
Madison, WI 53704
608-246-6737
Attn: Mike Stark

Developer:

- Drury Southwest, Inc. ("DSW")
101 South Farrar Drive
Cape Girardeau, MO 63701
573-335-3134
Attn: Larry Westrich

Hotel Operator:

- Drury Hotels Company, LLC
721 Emerson Road, Suite 400
St. Louis, MO 63141
314-429-2255
Attn: Larry Westrich

General Contractor:

- Drury South, Inc.
11331 Coker Loop East
San Antonio, TX 78216
573-335-3134

Project Architect:

- David Alberson, AIA
Drury Southwest, Inc.
101 South Farrar Drive
Cape Girardeau, MO 63701
573-335-3134

Civil Engineer and Landscaping Architect:

- Smithgroup JJR
44 East Mifflin Street
Suite 500
Madison, WI 53703
202-842-2100
Attn: Bill Patek

Project Description:

The plan consists of renovating the historic 178,000 square foot MATC building into 195 hotel rooms and then constructing a 190,000 square foot addition on the northern half of the property that is currently a parking structure. The new construction component will include a total of 8 levels above street grade with one level underground and will consist of an additional 115 hotel rooms, 12,000 square feet of retail space and 113,892 square feet of parking, including one level underground and floors 2, 3 and 4 for a total of approximately 256 parking spaces.

DSW is working with MATC to finalize all aspects of the lease agreement for the premise. DSW has met with local and city officials, as well as citizens to listen and address as many concerns as possible in the redesign of the site.

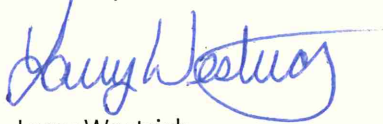
The project strives to achieve the desired design qualities as illustrated in the Downtown Urban Design Guidelines in the following ways:

- The building massing was designed to address all streets bordering the project in a contextually appropriate manner. The current UMX zoning regulations for this site permits an eight story building. By stepping the building back from the lower massing at Johnson, Wisconsin and Dayton, the building mass has been designed to respond to the changing scale of the adjacent

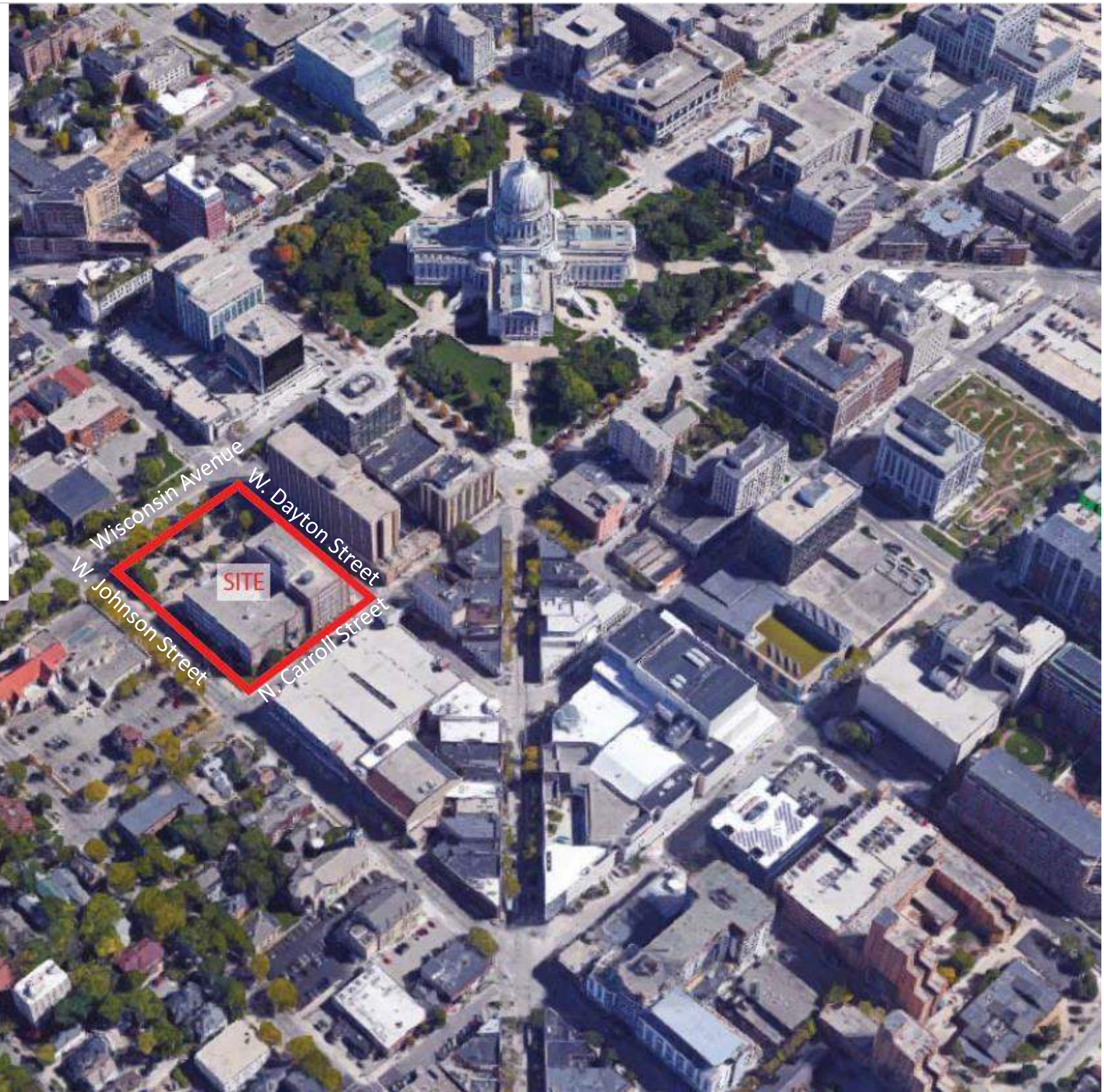
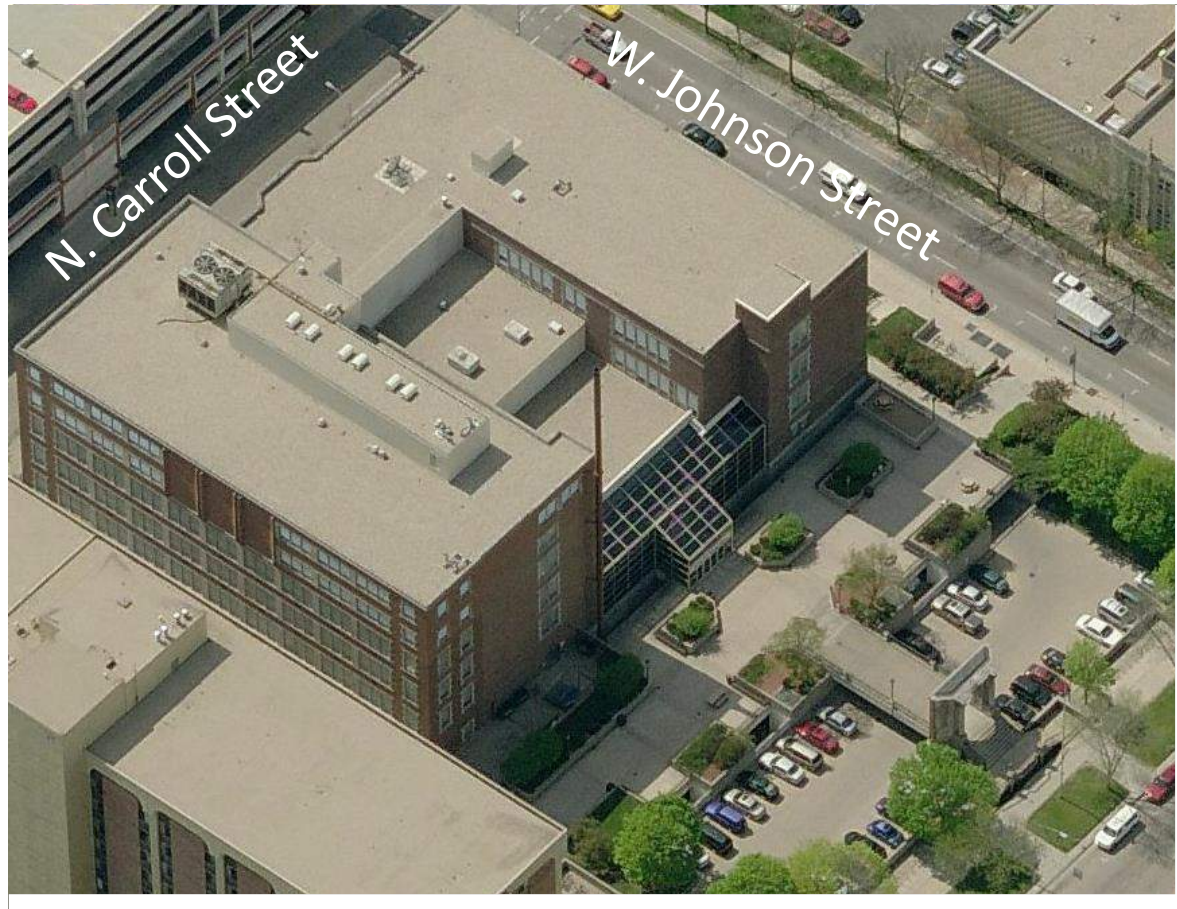
developments. The West Johnson Street and West Dayton Street elevations utilize masonry and punched window openings in response to the architectural character of the existing MATC buildings. A pedestrian friendly scale has been maintained along Wisconsin Avenue by articulating the retail level as a single story expression.

- Off street loading of deliveries and pedestrians will be provided through entrances and exits that are recessed from the main street façades and will be concealed in the center of the block.
- The proposed retail, together with the wide public right of way along Wisconsin Avenue, affords a prime opportunity to support entertainment uses such as restaurants and sidewalk cafes that will add to the vibrancy of downtown.
- The landscape design will incorporate additional planting beds, potential café seating, benches, and bicycle racks.
- The existing historic arch along Wisconsin Avenue will be renovated. This important piece of Madison's architectural history will be preserved in the public realm as an art piece that also serves as the main architectural accent and focal piece of the design as well as a functional entrance into the development from Wisconsin Avenue.
- All signage depicted in this presentation is for illustrative purposes only. The project team will follow the UDC signage review process at a later date as the design develops.
- The existing mature canopy trees on the public right of way will not be adversely affected by the development.

Sincerely,



Larry Westrich
Project Developer/Lessee



Madison Area Technical College

DRURY PLAZA HOTEL

SMITHGROUP JJR



W. DAYTON STREET AT CARROLL AVENUE



E. JOHNSON LOOKING SOUTHWEST



E. DAYTON STREET LOOKING SOUTHWEST



W. JOHNSON LOOKING NORTHEAST

Madison Area Technical College

DRURY PLAZA HOTEL

SMITHGROUP JJR



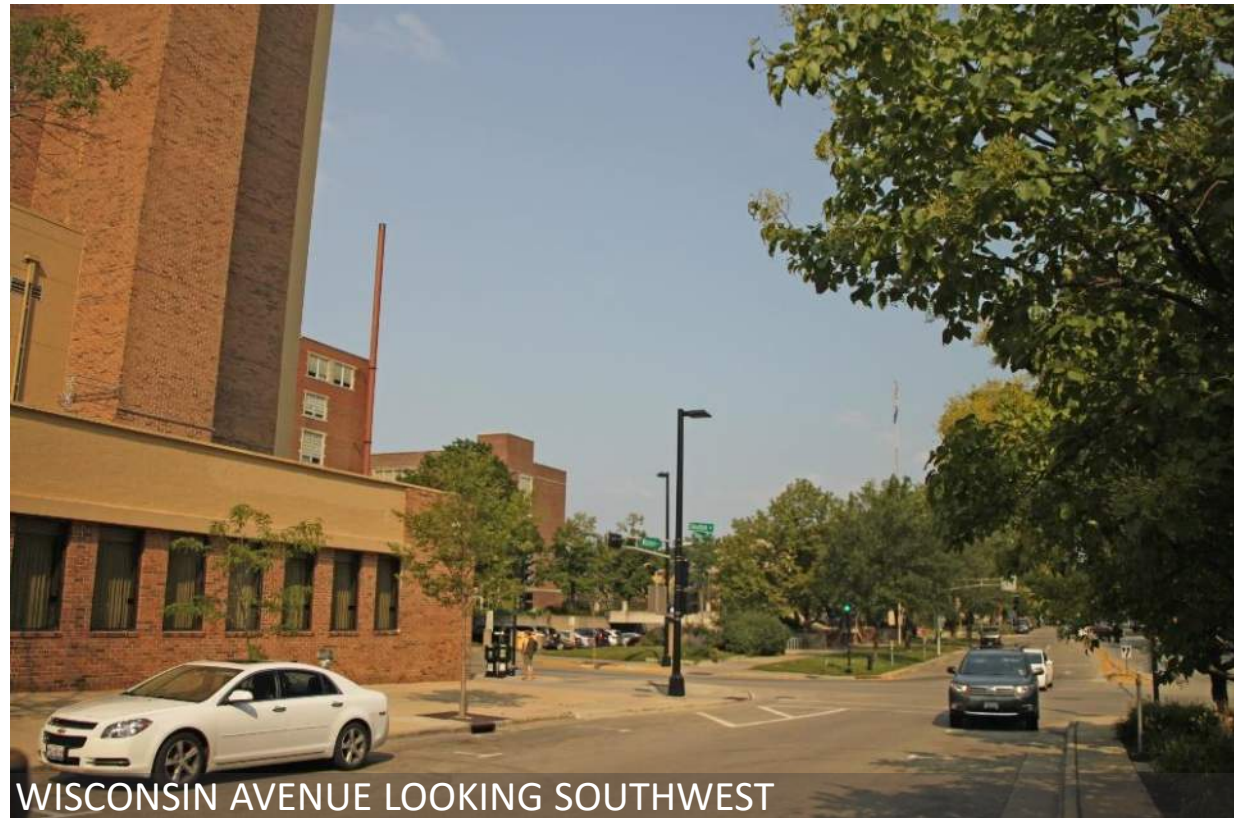
WISCONSIN AVENUE AT GILMAN



WISCONSIN & JOHNSON INTERSECTION



WISCONSIN & GORHAM INTERSECTION



WISCONSIN AVENUE LOOKING SOUTHWEST

Madison Area Technical College

DRURY PLAZA HOTEL

SMITHGROUP JJR



CONCOURSE HOTEL



100 WISCONSIN AVE



203 WISCONSIN AVE



MANCHESTER PLACE WI AVE



W. JOHNSON AT CARROLL



PARKING RAMP CARROLL ST



116 W JOHNSON ST

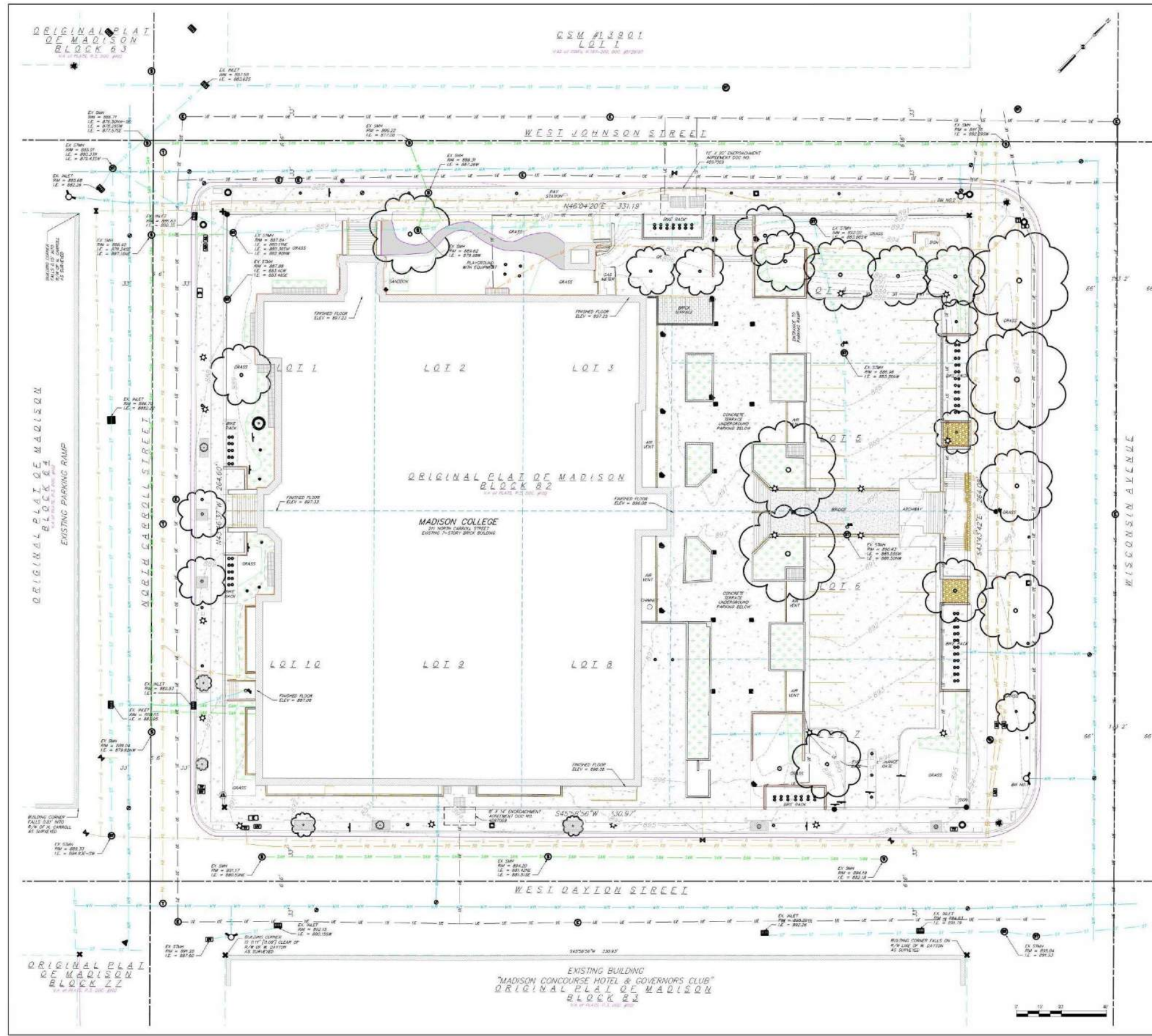


TENNEY PLAZA

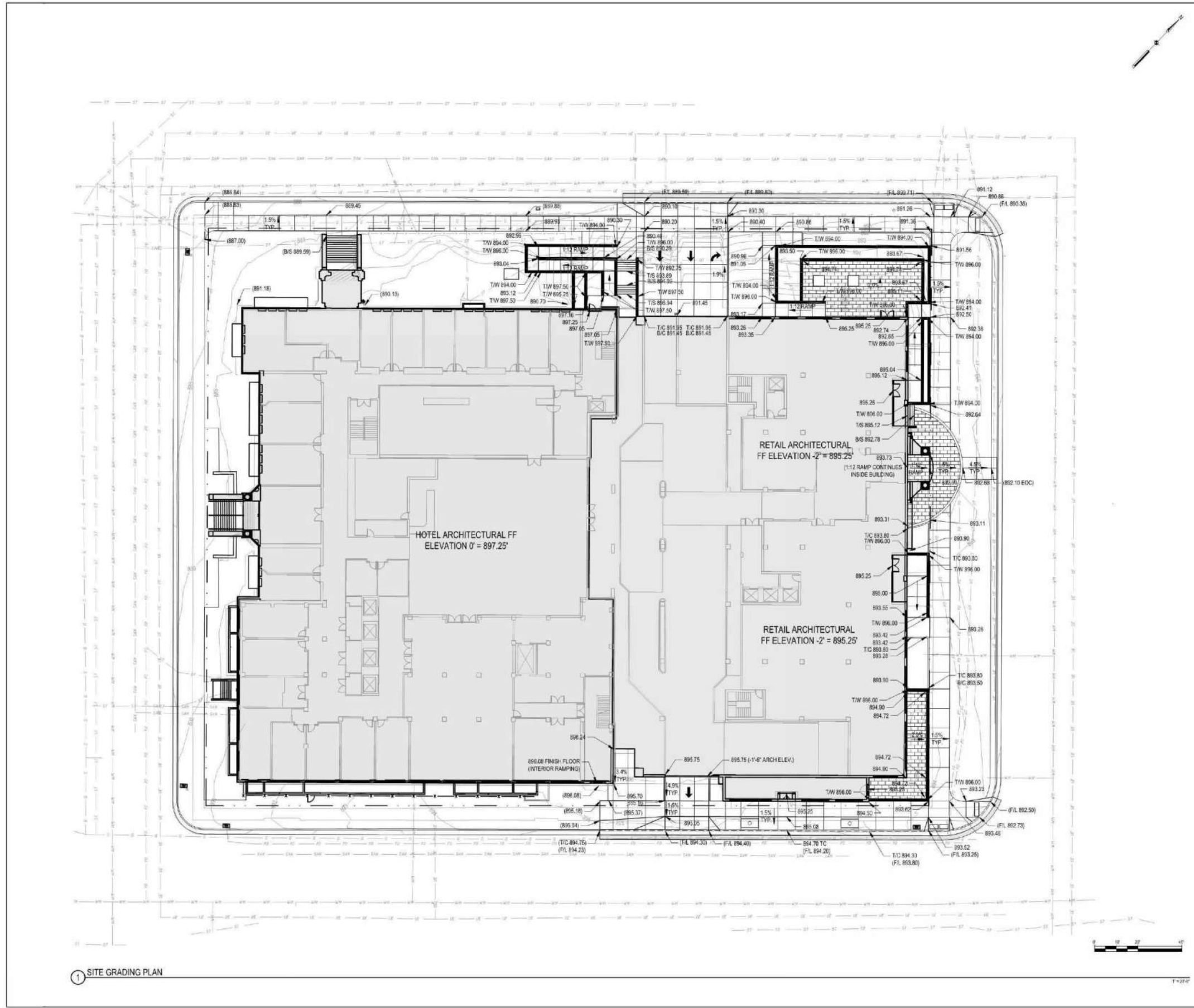
Madison Area Technical College

DRURY PLAZA HOTEL

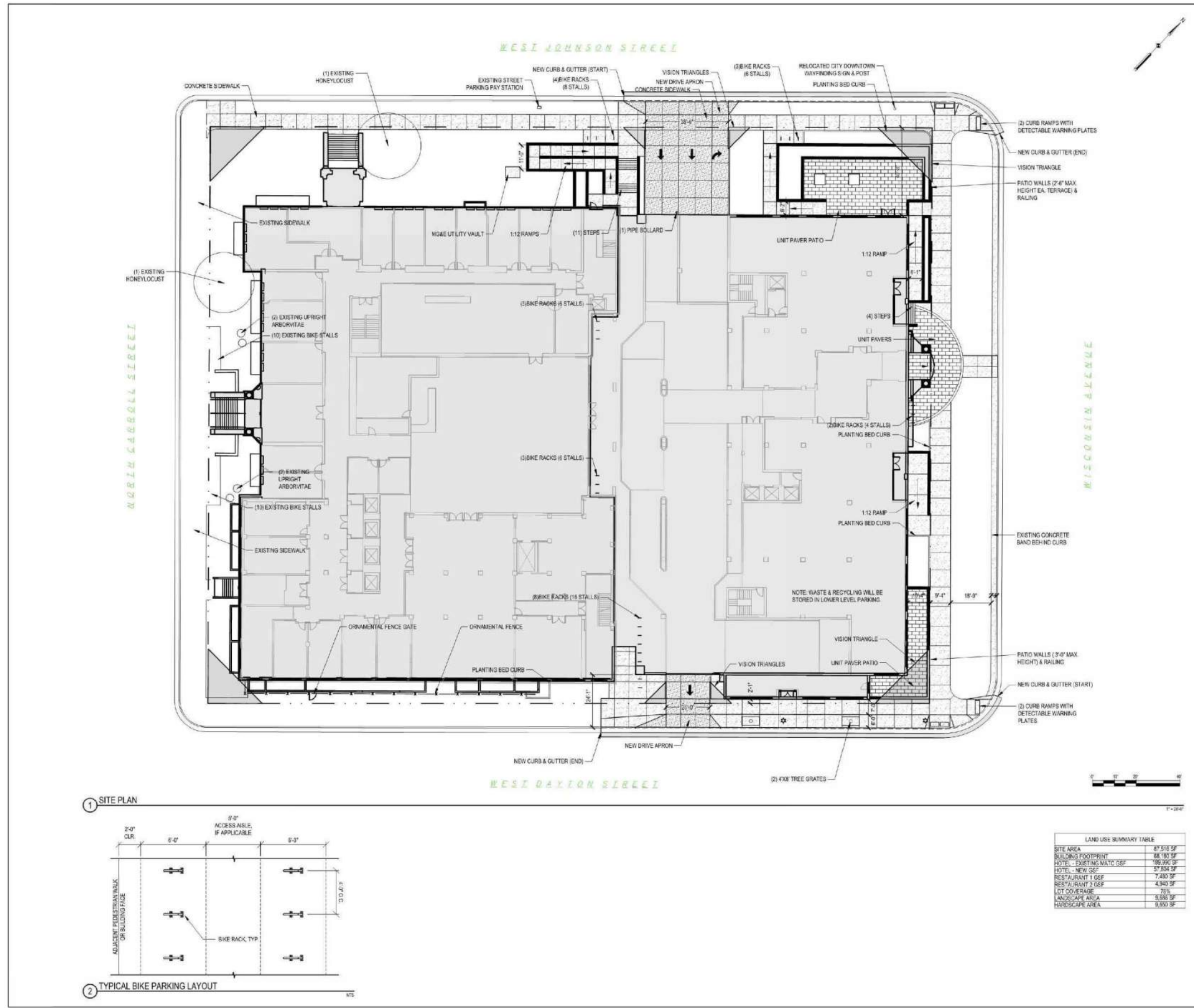
SMITHGROUP JJR



SHEET NOTES	
<p>SURVEYED BY: VERBICHER ASSOCIATES, INC. BY: DAVID H. GULLICKSON 999 FOURIER DRIVE, SUITE 201 MADISON, WI 53717 (608)-821-3855 mmor@verbicher.com</p> <p>PROJECT BENCHMARKS:</p> <p>BENCHMARK 1 - ELEV.=892.61' TOP NUT OF FIRE HYDRANT LOCATED AT WEST QUADRANT OF WEST DAYTON STREET AND WISCONSIN AVENUE.</p> <p>BENCHMARK 2 - ELEV.=894.24' TOP NUT OF FIRE HYDRANT LOCATED AT SOUTH QUADRANT OF WEST JOHNSON STREET AND WISCONSIN AVENUE.</p>	
SURVEY LEGEND	
<ul style="list-style-type: none"> ✱ FOUND CHISELED "X" ● FOUND 3/4" # IRON ROD () RECORDED AS () SEE NOTES 	<p>TOPOGRAPHIC SYMBOL LEGEND</p> <ul style="list-style-type: none"> ● EXISTING BOLLARD ✱ EXISTING FLAG POLE □ EXISTING POST ⊞ EXISTING SIGN (TYPE NOTED) ⊞ EXISTING PARKING METER ⊞ EXISTING CURB INLET ⊞ EXISTING FIELD INLET RECTANGULAR ⊞ EXISTING FIELD INLET ⊞ EXISTING ROOF DRAIN CLEANOUT ⊞ EXISTING ROOF DRAIN ⊞ EXISTING STORM MANHOLE ⊞ EXISTING STORM MANHOLE RECTANGULAR ⊞ EXISTING SANITARY CLEANOUT ⊞ EXISTING SANITARY MANHOLE ⊞ EXISTING FIRE HYDRANT ⊞ EXISTING WATER MAIN VALVE ⊞ EXISTING GAS VALVE ⊞ EXISTING GAS METER ⊞ EXISTING ELECTRIC MANHOLE ⊞ EXISTING ELECTRIC RECTANGULAR MANHOLE ⊞ EXISTING LIGHT POLE ⊞ EXISTING GENERIC LIGHT ⊞ EXISTING TV RECTANGULAR MANHOLE ⊞ EXISTING TELEPHONE MANHOLE ⊞ EXISTING TELEPHONE PEDESTAL ⊞ EXISTING UNIDENTIFIED MANHOLE ⊞ EXISTING UNIDENTIFIED UTILITY VAULT ⊞ EXISTING TRAFFIC SIGNAL ⊞ EXISTING SHRUB ⊞ EXISTING CONIFEROUS TREE ⊞ EXISTING DECIDUOUS TREE <p>TOPOGRAPHIC LINework LEGEND</p> <ul style="list-style-type: none"> — — — — — EXISTING UNDERGROUND CABLE TV — — — — — EXISTING FIBER OPTIC LINE — — — — — EXISTING UNDERGROUND TELEPHONE ⊞ — — — — — EXISTING RETAINING WALL — — — — — EXISTING HAND RAILING — — — — — EXISTING GENERAL FENCE — — — — — EXISTING GAS LINE — — — — — EXISTING UNDERGROUND ELECTRIC LINE — — — — — EXISTING SANITARY SEWER (SIZE NOTED) — — — — — EXISTING STORM SEWER (SIZE NOTED) — — — — — EXISTING WATER MAIN (SIZE NOTED) — — — — — EXISTING MAJOR CONTOUR — — — — — EXISTING MINOR CONTOUR ⊞ — — — — — EXISTING ASPHALT ⊞ — — — — — EXISTING CONCRETE ⊞ — — — — — EXISTING GRAVEL ⊞ — — — — — EXISTING GRATE ⊞ — — — — — EXISTING LANDSCAPING ⊞ — — — — — EXISTING TREE GRATE



SHEET NOTES	
DESCRIPTIVE KEYED NOTES	
GRADING SYMBOLS	
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	GRADING LIMITS
	GRADE BREAK LINE
	PROFILE - EXISTING GRADE
	PROFILE - FINISH GRADE
	LIMITS OF CONSTRUCTION
	DRAINAGE SLOPE
	DRAINAGE SWALE
	FLOW DIRECTION
	COASTAL STRUCTURE SIDE SLOPE
	PROPOSED SPOT ELEVATION
	APPROX. SPOT ELEVATION MATCH EXISTING GRADE
	APPROX. SPOT ELEVATION MATCH EXISTING GRADE & CROSS SLOPE OF ROADWAY
	STRUCTURE RIM ELEVATION
	TOP OF CURB ELEVATION
	GUTTER OF CURB ELEVATION
	EDGE OF METAL ELEVATION
	TOP OF FOOTING ELEVATION
	BOTTOM OF FOOTING ELEVATION
	TOP OF SWALE ELEVATION
	BOTTOM OF SWALE ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	HIGH POINT ELEVATION
	LOW POINT ELEVATION



SHEET NOTES

- A. ALL PLANTING BEDS TO RECEIVE 3" SHREDED HARDWOOD BARK MULCH. SEE SPECIFICATIONS.
- B. SEE SOIL PREPARATION SPECIFICATION FOR PREPARING THE SITE PRIOR TO PLANTING.
- C. PRIOR TO INSTALLATION, CONTACT CITY OF MADISON FORESTRY TO COORDINATE CONSTRUCTION OBSERVATION.
- D. PRIOR TO BUILDING CONSTRUCTION, CONTACT CITY OF MADISON FORESTRY TO COORDINATE EXISTING STREET TREE PRUNING.

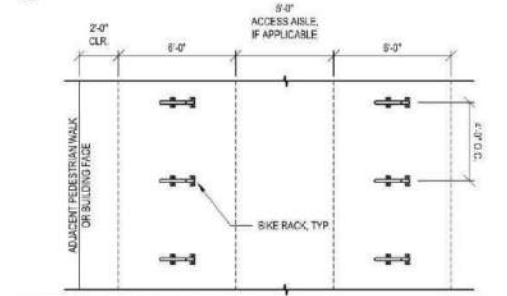
DESCRIPTIVE KEYED NOTES

- ① USE DESCRIPTIVE KEYED NOTES SECTION TO PROVIDE SHEET SPECIFIC NOTES ABOUT A PARTICULAR CALLOUT. (I.E. BID ALTERNATE NOTES, SPECIFIC INSTALLATION NOTES, ETC.)
- ② DELETE SECTION IF NO DESCRIPTIVE KEYED NOTES ARE PROVIDED.

MATERIALS SYMBOLS

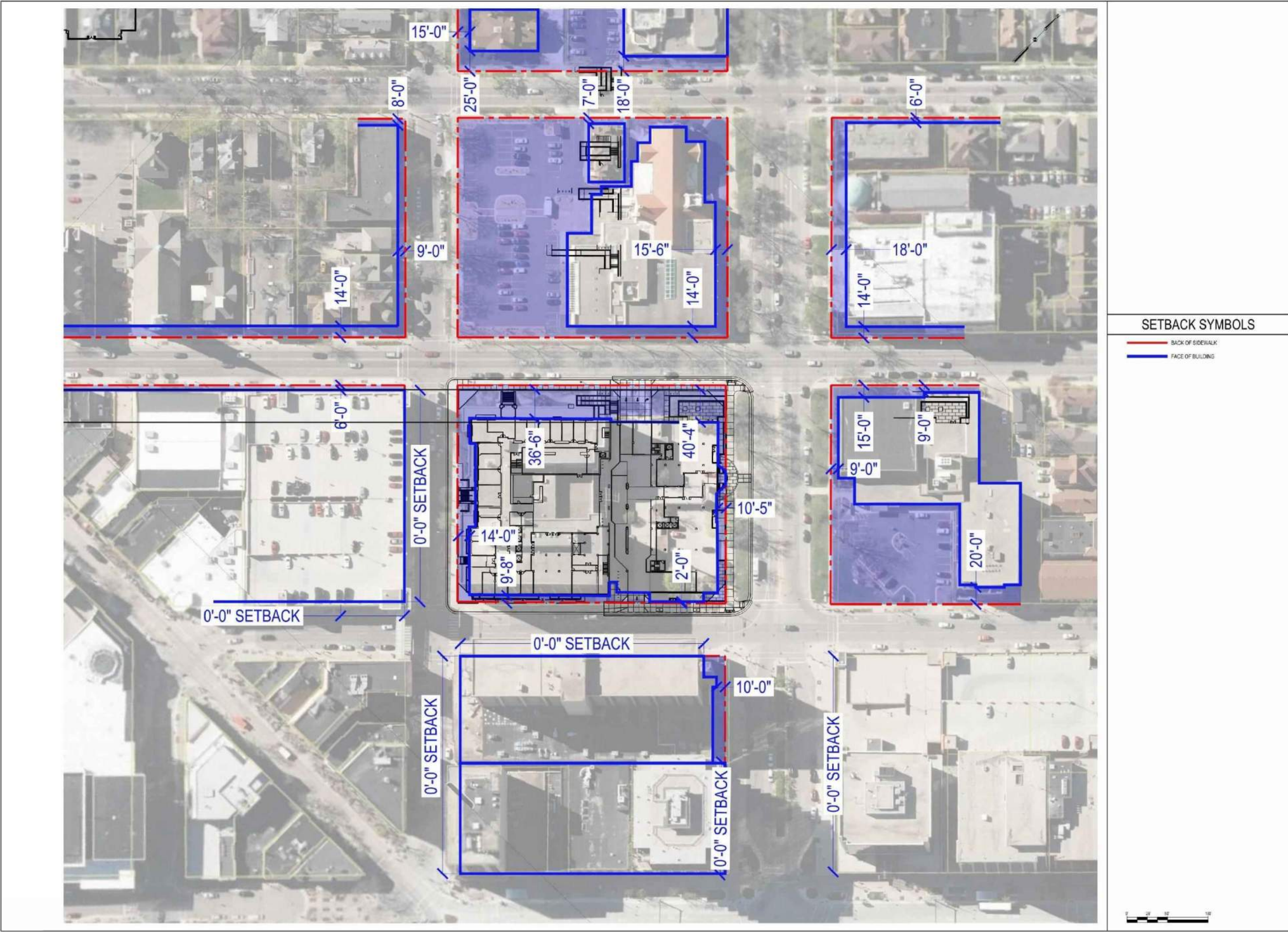
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE PAVEMENT
- SPECIAL PAVING 1
- SPECIAL PAVING 2
- SPECIAL PAVING 3
- POROUS PAVEMENT
- FROST SLAB
- AGGREGATE PATH
- RIPPRAP
- WET/DRY POND
- STANDARD CURB AND GUTTER
- SPILLOUT CURB AND GUTTER
- CURB TRANSITION
- FLUSH CURB AND GUTTER
- CURB RAMP
- SPILLWAY - INTERMEDIATE
- SPILLWAY - TERMINAL
- CONTROL JOINT
- ISOLATION (EXPANSION) JOINT
- ARMOR STONE
- TRANSITION PLATE
- RETAINING WALL 1
- RETAINING WALL 2
- SITE WALL 1
- SITE WALL 2
- LIGHT POLE
- VEHICULAR LIGHT POLE
- WHEEL STOP
- BOLLARD
- TRASH RECEPTACLE
- RECYCLING CONTAINERS
- DUMPSTER
- FENCE
- SWING GATE
- ROLLING/CANTILEVER GATE
- BENCH
- DETECTABLE WARNING STRIP
- TREE GRATE/Well
- GENERATOR
- CONCRETE CRYPT
- NAVIGATION AID
- VERTICAL WALL FENDER
- SAFETY LADDER
- DOCK CLEAT

① SITE PLAN



② TYPICAL BIKE PARKING LAYOUT

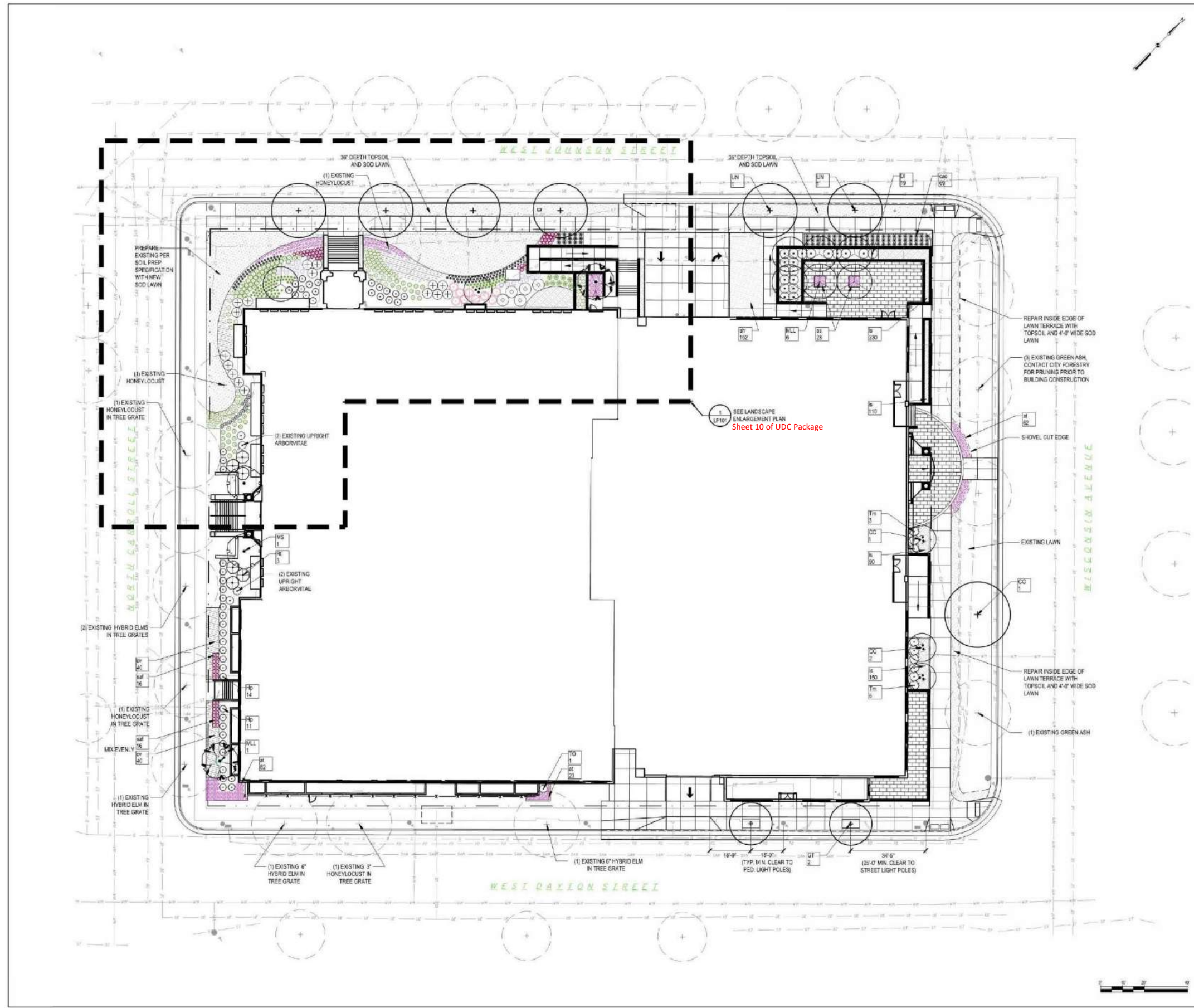
LAND USE SUMMARY TABLE	
SITE AREA	87,518 SF
BUILDING FOOTPRINT	58,790 SF
HOTEL - EXISTING MATC GSF	189,290 SF
HOTEL - NEW GSF	57,804 SF
RESTAURANT 1 GSF	7,480 SF
RESTAURANT 2 GSF	4,940 SF
LOT COVERAGE	75%
LANDSCAPE AREA	8,686 SF
HARDSCAPE AREA	9,850 SF



Madison Area Technical College

DRURY PLAZA HOTEL

SMITHGROUPJJR



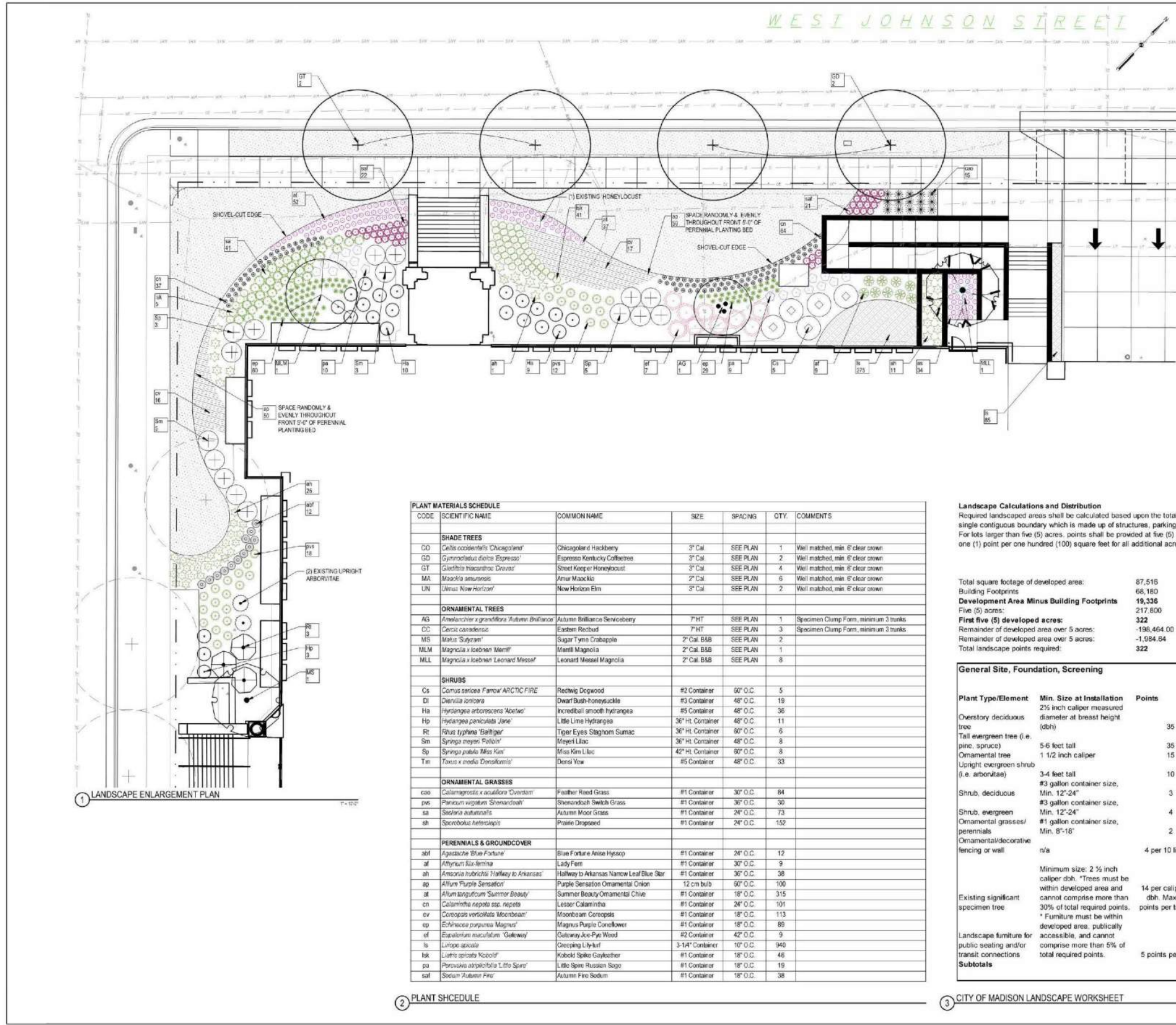
SHEET NOTES

- ALL PLANTING BEDS TO RECEIVE 3" SHREDDED HARDWOOD BARK MULCH. SEE SPECIFICATIONS.
- SEE SOIL PREPARATION SPECIFICATION FOR PREPARING THE SITE PRIOR TO PLANTING.
- PRIOR TO INSTALLATION, CONTACT CITY OF MADISON FORESTRY TO COORDINATE CONSTRUCTION OBSERVATION.
- PRIOR TO BUILDING CONSTRUCTION, CONTACT CITY OF MADISON FORESTRY TO COORDINATE EXISTING STREET TREE PRUNING.
- NO NEW ON-SITE LIGHTING IS PROPOSED.

DESCRIPTIVE KEYED NOTES

PLANTING SYMBOLS

- EXISTING TREES
- EXISTING TREE LINE / WOODLAND EDGE
- DECIDUOUS SHADE TREE
- CONIFEROUS EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- INDIVIDUAL ORNAMENTAL GRASS / PERENNIAL
- SHRUB MASSING
- PALM TREE
- LAWN SEED MIX
- DETENTION POND SEED MIX
- NATIVE UPLAND SEED MIX
- PERENNIAL / GROUNDCOVER PLANT BED
- METAL LANDSCAPE EDGE
- STONE MAINTENANCE EDGE



SHEET NOTES	
A.	ALL PLANTING BEDS TO RECEIVE 3" SHREDDED HARDWOOD BARK MULCH. SEE SPECIFICATIONS.
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DESCRIPTIVE KEYED NOTES	

KEYED NOTES	

CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	QTY.	COMMENTS
SHADE TREES						
CO	<i>Celtis occidentalis</i> 'Chicago Land'	Chicagoland Hackberry	3" Cal.	SEE PLAN	1	Well matched, min. 6' clear crown
GD	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree	3" Cal.	SEE PLAN	2	Well matched, min. 6' clear crown
GT	<i>Gleditsia triacanthos</i> 'Draves'	Street Keeper Honeylocust	3" Cal.	SEE PLAN	4	Well matched, min. 6' clear crown
MA	<i>Maackia amurensis</i>	Amur Maackia	2" Cal.	SEE PLAN	6	Well matched, min. 6' clear crown
UN	<i>Ulmus 'New Horizon'</i>	New Horizon Elm	3" Cal.	SEE PLAN	2	Well matched, min. 6' clear crown
ORNAMENTAL TREES						
AG	<i>Amaranthichier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Senecioeberry	7" HT	SEE PLAN	1	Specimen Clump Form, minimum 3 trunks
CC	<i>Cercis canadensis</i>	Eastern Redbud	7" HT	SEE PLAN	3	Specimen Clump Form, minimum 3 trunks
MS	<i>Malus 'Sulzhan'</i>	Sugar Tyne Crabapple	2" Cal. B&B	SEE PLAN	2	
MLM	<i>Magnolia x loebneri</i> 'Mantill'	Mantill Magnolia	2" Cal. B&B	SEE PLAN	1	
MLL	<i>Magnolia x loebneri</i> 'Leonard Messel'	Leonard Messel Magnolia	2" Cal. B&B	SEE PLAN	8	
SHRUBS						
Cs	<i>Cornus sericea</i> 'Famosa' ARCTIC FIRE	Redtwig Dogwood	#2 Container	60" O.C.	5	
DI	<i>Diervilla lonicera</i>	Dwarf Bush-honeysuckle	#3 Container	48" O.C.	19	
Ha	<i>Hydrangea arborescens</i> 'Abetia'	Incredible! smooth hydrangea	#5 Container	48" O.C.	36	
Hp	<i>Hydrangea paniculata</i> 'Jane'	Little Lime Hydrangea	36" Ht. Container	48" O.C.	11	
Rt	<i>Rhus typhina</i> 'Baltiger'	Tiger Eyes Staghorn Sumac	36" Ht. Container	60" O.C.	6	
Sm	<i>Syringa meyeri</i> 'Palibin'	Meyer Lilac	36" Ht. Container	48" O.C.	8	
Sp	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	42" Ht. Container	60" O.C.	8	
Tm	<i>Taxus x media</i> 'Densataensis'	Densi Yew	#5 Container	48" O.C.	33	
ORNAMENTAL GRASSES						
cao	<i>Calamagrostis x acutiflora</i> 'Overdam'	Feather Reed Grass	#1 Container	30" O.C.	84	
ps	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	#1 Container	30" O.C.	30	
sa	<i>Setaria autumnalis</i>	Autumn Moor Grass	#1 Container	24" O.C.	73	
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#1 Container	24" O.C.	152	
PERENNIALS & GROUND COVER						
abl	<i>Agastache</i> 'Blue Fortune'	Blue Fortune Anise Hyssop	#1 Container	24" O.C.	12	
af	<i>Athyrium filix-femina</i>	Lady Fern	#1 Container	30" O.C.	9	
ah	<i>Amorpha hirsuta</i> 'Halfway to Arkansas'	Halfway to Arkansas Narrow Leaf Blue Star	#1 Container	30" O.C.	38	
ap	<i>Allium Purple Sensation</i>	Purple Sensation Ornamental Onion	12 cm bulb	60" O.C.	100	
at	<i>Allium tanguticum</i> 'Summer Beauty'	Summer Beauty Ornamental Chive	#1 Container	18" O.C.	315	
cn	<i>Calamintha nepota</i> ssp. <i>republica</i>	Lesser Calamintha	#1 Container	24" O.C.	101	
cv	<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam Coreopsis	#1 Container	18" O.C.	113	
ep	<i>Echinacea purpurea</i> 'Magnus'	Magnus Purple Coneflower	#1 Container	18" O.C.	89	
gf	<i>Espalatum maculatum</i> 'Gateway'	Gateway Joe-Pye Weed	#2 Container	42" O.C.	9	
ls	<i>Liriope spicata</i>	Creeeping Lily-turf	3-14" Container	10" O.C.	940	
lsk	<i>Liatris spicata</i> 'Kobold'	Kobold Spike Gayleather	#1 Container	18" O.C.	46	
pa	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	#1 Container	18" O.C.	19	
saf	<i>Sedum 'Autumn Fire'</i>	Autumn Fire Sedum	#1 Container	18" O.C.	38	

Landscape Calculations and Distribution
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area with single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any bulk. For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area:	87,516	SF
Building Footprints	68,180	SF
Development Area Minus Building Footprints	19,336	SF
Five (5) acres:	217,800	SF
First five (5) developed acres:	322	points
Remainder of developed area over 5 acres:	-198,464.00	SF
Remainder of developed area over 5 acres:	-1,984.84	points
Total landscape points required:	322	points

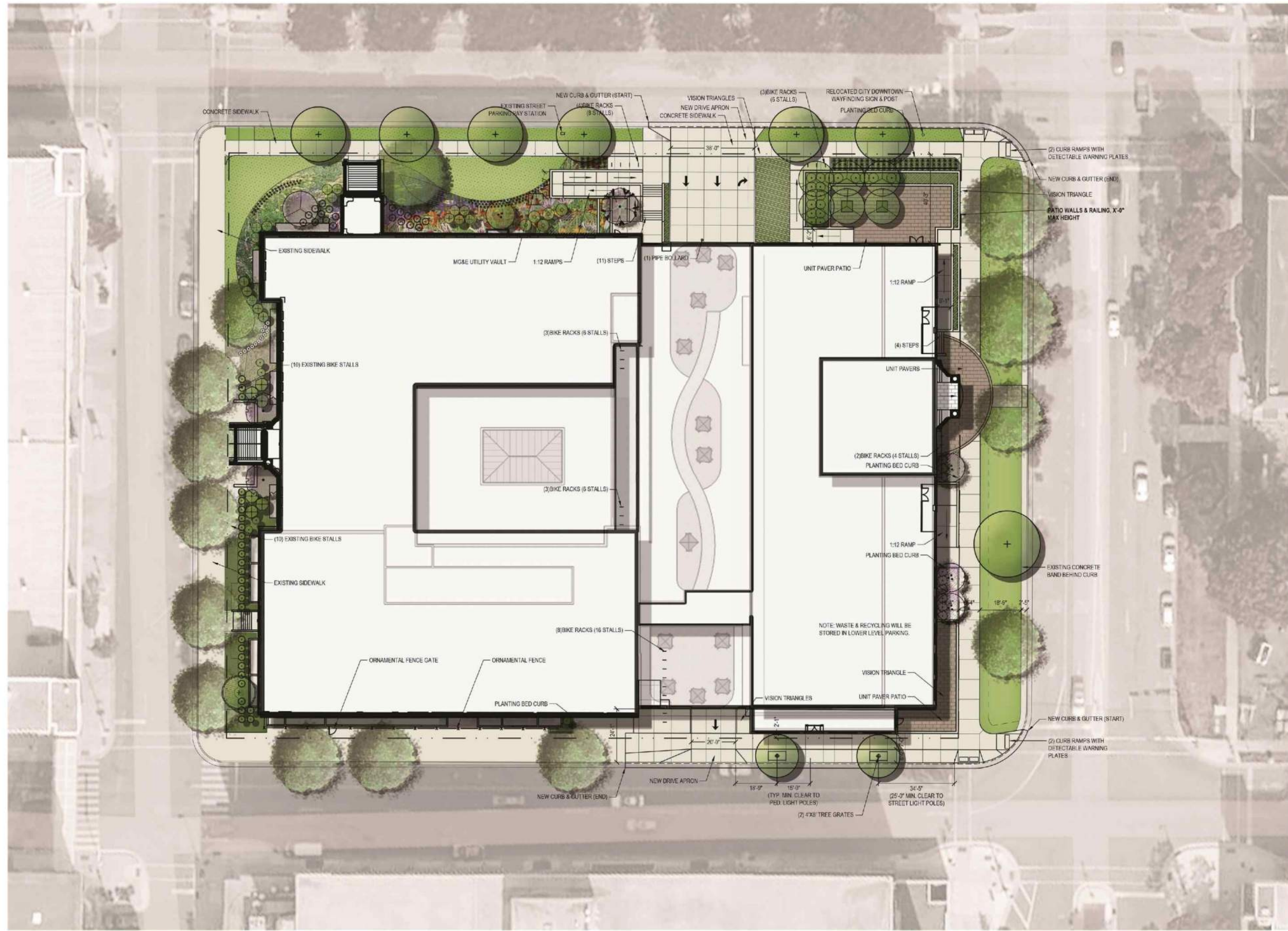
Note: If negative, no additional points required.

General Site, Foundation, Screening					
Plant Type/Element	Min. Size at Installation	Points	Exist. Credits QTY.	New/Proposed Landscape QTY.	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35		2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35		0	0
Ornamental tree	1 1/2 inch caliper	15		9	135
Upright evergreen shrub (i.e. arbutifolia)	3-4 feet tall	10	3		30
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3		93	279
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4		9	36
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-16"	2		826	1652
Ornamental/decorative fencing or wall	n/a	4 per 10 lineal ft			
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points. * Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	2		96
Landscape furniture for public seating and/or transit connections		5 points per "seat"		0	
Subtotals				0	
				General Site/Foundation Total	2298

(2) existing honeylocust point attained capped at 9 of 322 total points

2 PLANT SCHEDULE

3 CITY OF MADISON LANDSCAPE WORKSHEET



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SMITHGROUP JJR

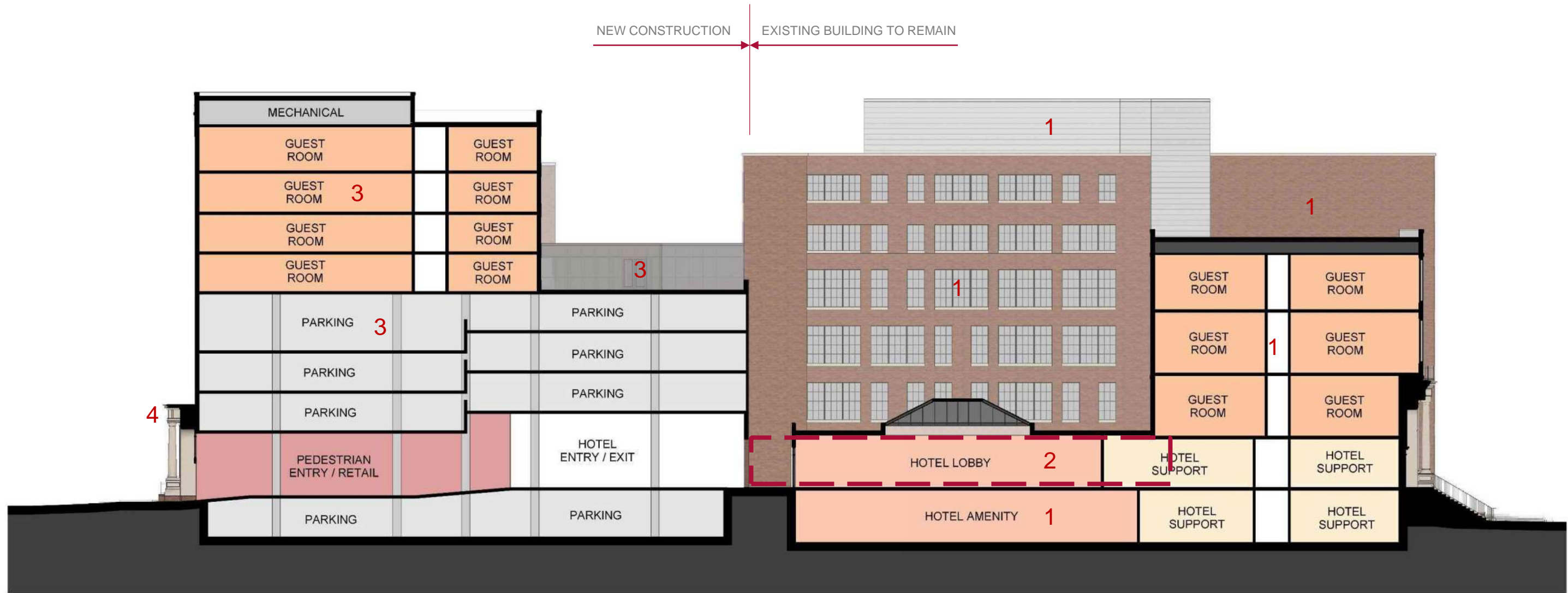
GENERAL

- 1 – EXISTING MATC BUILDING TO REMAIN
- 2 – PREVIOUS ADDITION TO BE REMOVED AND REPLACED WITH NEW CONSTRUCTION
- 3 – NEW CONSTRUCTION
- 4 – HISTORIC ARCH TO BE INCORPORATED AS NEW ENTRY POINT

AREA LEGEND

- RETAIL
- PARKING
- BUILDING SUPPORT
- VERTICAL CIRCULATION
- CIRCULATION
- HOTEL
- HOTEL AMENITY
- HOTEL SUPPORT

NEW CONSTRUCTION EXISTING BUILDING TO REMAIN











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AREA LEGEND

RETAIL	
PARKING	
BUILDING SUPPORT	
VERTICAL CIRCULATION	
CIRCULATION	
HOTEL	
HOTEL AMENITY	
HOTEL SUPPORT	

DOWNTOWN URBAN DESIGN GUIDELINES

A - DRIVE AISLE IS ORIENTED AT 90 DEGREES TO THE PUBLIC STREET (ACCESS + CIRCULATION 2C)

B - QUEUING SPACE FOR MOTOR VEHICLES TO BE ON SITE AND SUFFICIENT TO NOT IMPEDE PEDESTRIAN MOVEMENT (ACCESS + SITE CIRCULATION 2C)

GENERAL

1 - PARKING TO BE UTILIZED FOR RESTAURANT / RETAIL USE DURING BUSINESS HOURS



0 9 18 36
SCALE: 1" = 36'



AREA LEGEND

- RETAIL
- PARKING
- BUILDING SUPPORT
- VERTICAL CIRCULATION
- CIRCULATION
- HOTEL
- HOTEL AMENITY
- HOTEL SUPPORT

DOWNTOWN URBAN DESIGN GUIDELINES

- A** - DRIVE AISLE IS ORIENTED AT 90 DEGREES TO THE PUBLIC STREET (ACCESS + CIRCULATION 2C)
- B** - QUEUING SPACE FOR MOTOR VEHICLES TO BE ON SITE AND SUFFICIENT TO NOT IMPEDE PEDESTRIAN MOVEMENT (ACCESS + SITE CIRCULATION 2C)
- C** - BUILDING SERVICES ARE CONCEALED FROM PUBLIC VIEW (ORIENTATION 1B)
- D** - OUTDOOR PATIOS DESIGNED TO CREATE ACTIVE USERS THAT ENGAGE THE STREET AND OR SIDEWALK (ORIENTATION 1C & LANDSCAPING 4C)
- E** - NEW BUILDING IS SITED PRIMARILY WITHIN THE EXISTING FOOTPRINT (PARKING STRUCTURE) TO PRESERVE VIEWS OF THE STATE CAPITOL (ORIENTATION 1D)

GENERAL

- 1 - DISTANCE FROM BUILDING TO CURB = +/- 53'-0"
- 2 - DISTANCE FROM BUILDING TO CURB = +/- 42'-0"
- 3 - DISTANCE FROM BUILDING TO CURB = 13'-2"
- 4 - EXISTING STAIRS TO REMAIN UNCHANGED
- 5 - TREES IN RIGHT-OF-WAY TO BE MAINTAINED
- 6 - NEW ACCESSIBLE PEDESTRIAN ENTRY / EXIT PATH

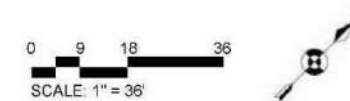


AREA LEGEND

- RETAIL
- PARKING
- BUILDING SUPPORT
- VERTICAL CIRCULATION
- CIRCULATION
- HOTEL
- HOTEL AMENITY
- HOTEL SUPPORT

GENERAL

- 1 – EXISTING MATC HOTEL RENOVATION
- 2 – PREVIOUS ADDITION TO BE REMOVED REPLACED WITH NEW CONSTRUCTION
- 3 – NEW CONSTRUCTION OF PARKING / HOTEL BUILDING



AREA LEGEND

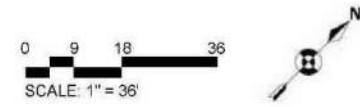
- RETAIL
- PARKING
- BUILDING SUPPORT
- VERTICAL CIRCULATION
- CIRCULATION
- HOTEL
- HOTEL AMENITY
- HOTEL SUPPORT

DOWNTOWN URBAN DESIGN GUIDELINES









- A** – PROJECT ALLOWS FOR ATTRACTIVE, SAFE & CREATIVELY DESIGNED USABLE OPEN SPACE (USABLE OPEN SPACE 3A & B)
- B** – UPPER FLOORS HAVE BEEN STEPPED BACK TO MINIMIZE THE OVERALL SCALE OF THE BUILDING (MASSING 1B)

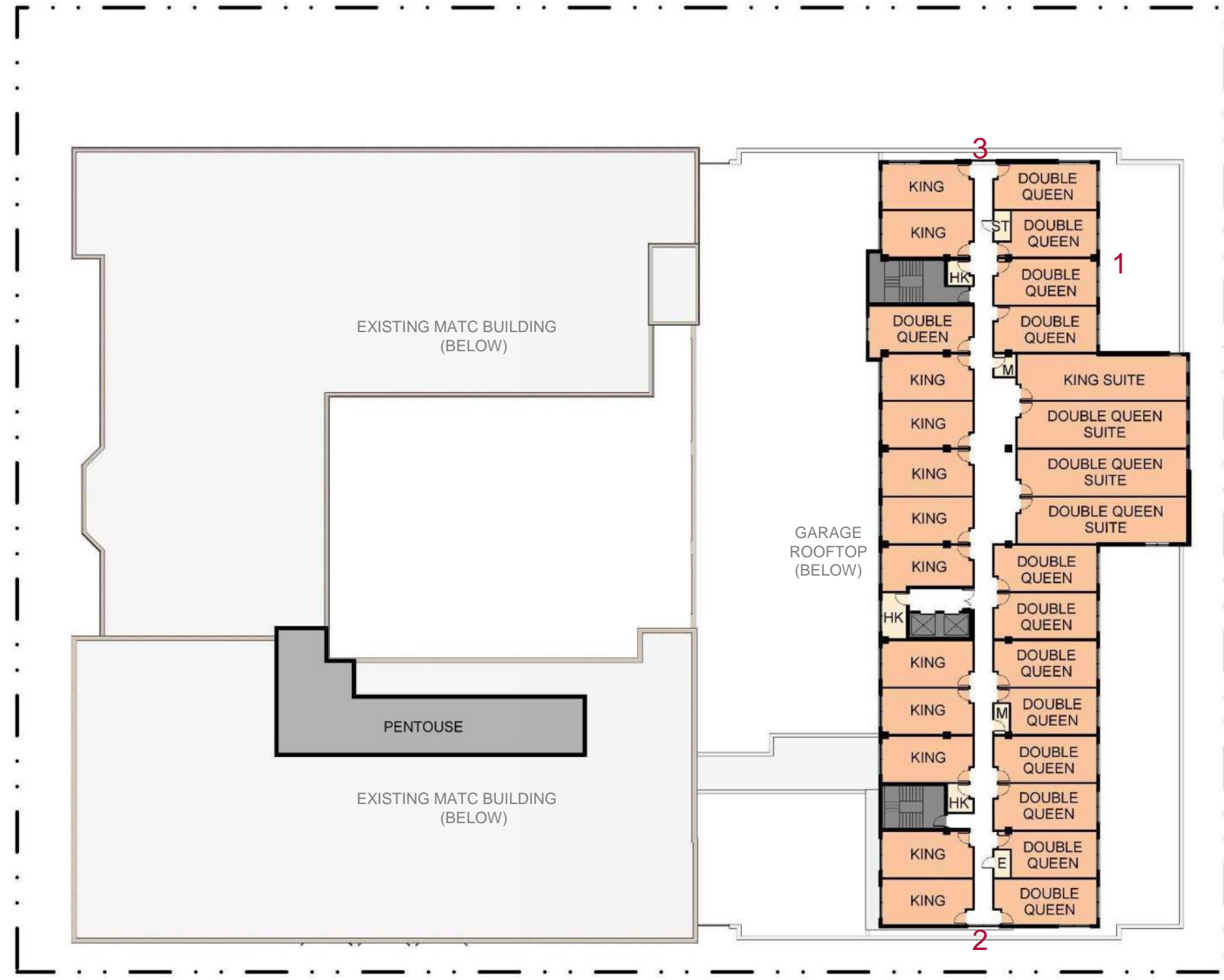
GENERAL

- 1** – UPPER BUILDING SETBACK DISTANCE = +/- 23'-0"
- 2** – UPPER BUILDING SETBACK DISTANCE = +/- 10'-6"
- 3** – UPPER BUILDING SETBACK DISTANCE = +/- 4'-0"
- 4** – DISTANCE BETWEEN MATC BUILDING AND UPPER HOTEL = +/- 50'-0"



AREA LEGEND

RETAIL	
PARKING	
BUILDING SUPPORT	
VERTICAL CIRCULATION	
CIRCULATION	
HOTEL	
HOTEL AMENITY	
HOTEL SUPPORT	



GENERAL

- 1 – UPPER BUILDING SETBACK DISTANCE = +/- 23'-0"
- 2 – UPPER BUILDING SETBACK DISTANCE = +/- 10'-6"
- 3 – UPPER BUILDING SETBACK DISTANCE = +/- 4'-0"

DOWNTOWN URBAN DESIGN GUIDELINES

A – HISTORIC ARCH TO BE UTILIZED AS THE PRIMARY PROJECT ENTRY POINT

B – OUTDOOR PATIOS DESIGNED TO CREATE ACTIVE USERS THAT ENGAGE THE STREET AND OR SIDEWALK (ORIENTATION 1C & LANDSCAPING 4C)

C – CANOPIES ARE CONSISTENT WITH THE BUILDING DESIGN IN TERMS OF RHYTHM AND DESIGN OF THE WINDOW BAYS (AWNINGS & CANOPIES 7A-C)

D – LOWER LEVEL STREET FAÇADE INCORPORATES ACTIVE USE AREAS, SUCH AS RESTAURANTS AND OUTDOOR PATIOS (BUILDING COMPONENTS 2A)

MATERIALS LEGEND

- 1 BRICK
- 2 FIBER CEMENT
- 3 GLAZING W/ ALUM. FRAMES
- 4 METAL AWNINGS



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DRURY PLAZA HOTEL

SMITHGROUP JJR

DOWNTOWN URBAN DESIGN GUIDELINES

- A** – HISTORIC ARCH TO BE UTILIZED AS THE PRIMARY PROJECT ENTRY POINT
- B** – OUTDOOR PATIOS DESIGNED TO CREATE ACTIVE USERS THAT ENGAGE THE STREET AND OR SIDEWALK (ORIENTATION 1C & LANDSCAPING 4C)
- C** – CANOPIES ARE CONSISTENT WITH THE BUILDING DESIGN IN TERMS OF RHYTHM AND DESIGN OF THE WINDOW BAYS (AWNINGS & CANOPIES 7A-C)
- D** – UPER FLOORS HAVE BEEN STEPPED BACK TO MAINTAIN A LOWER MASSING AND TO MINIMIZE THE OVERALL SCALE (MASSING 1B)
- E** – WINDOW SIZE & RHYTHM IS RESPECTFUL OF THE MATC BUILDING WITHOUT BEING DUPLICATIONS (DOOR & WINDOW OPENINGS 4A & B)
- F** – MECHANICAL PENTHOUSE IS FULLY INTEGRATED INTO THE BUILDING ARCHITECTURE (BUILDING COMPONENTS 2C)

MATERIALS LEGEND

- 1** BRICK
- 2** FIBER CEMENT
- 3** GLAZING W/ ALUM. FRAMES
- 4** METAL AWNINGS

EXISTING BUILDING TO REMAIN NEW CONSTRUCTION



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DOWNTOWN URBAN DESIGN GUIDELINES

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MATERIALS LEGEND

- 1** BRICK
- 2** FIBER CEMENT
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MATERIALS LEGEND

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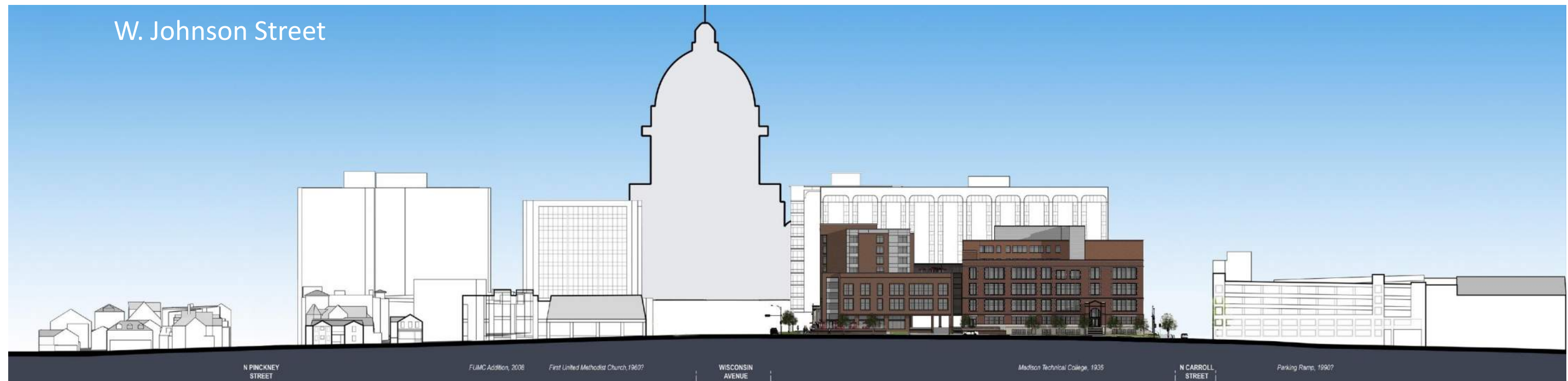
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MATERIALS LEGEND

- 1 BRICK
- 2 FIBER CEMENT
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- 4 METAL AWNINGS



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N. Carroll Street



MATERIALS LEGEND

- 1 BRICK
- 2 FIBER CEMENT
- 3 GLAZING W/ ALUM. FRAMES
- 4 METAL AWNINGS

W. Dayton Street



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W. Dayton Street



W. Johnson Street

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Wisconsin Avenue

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SEATING AREA LOOKING SOUTHWEST



SEATING AREA LOOKING SOUTH



WISCONSIN AVENUE



HOTEL ENTRY FROM SEATING



ENLARGED PLAN VIEW



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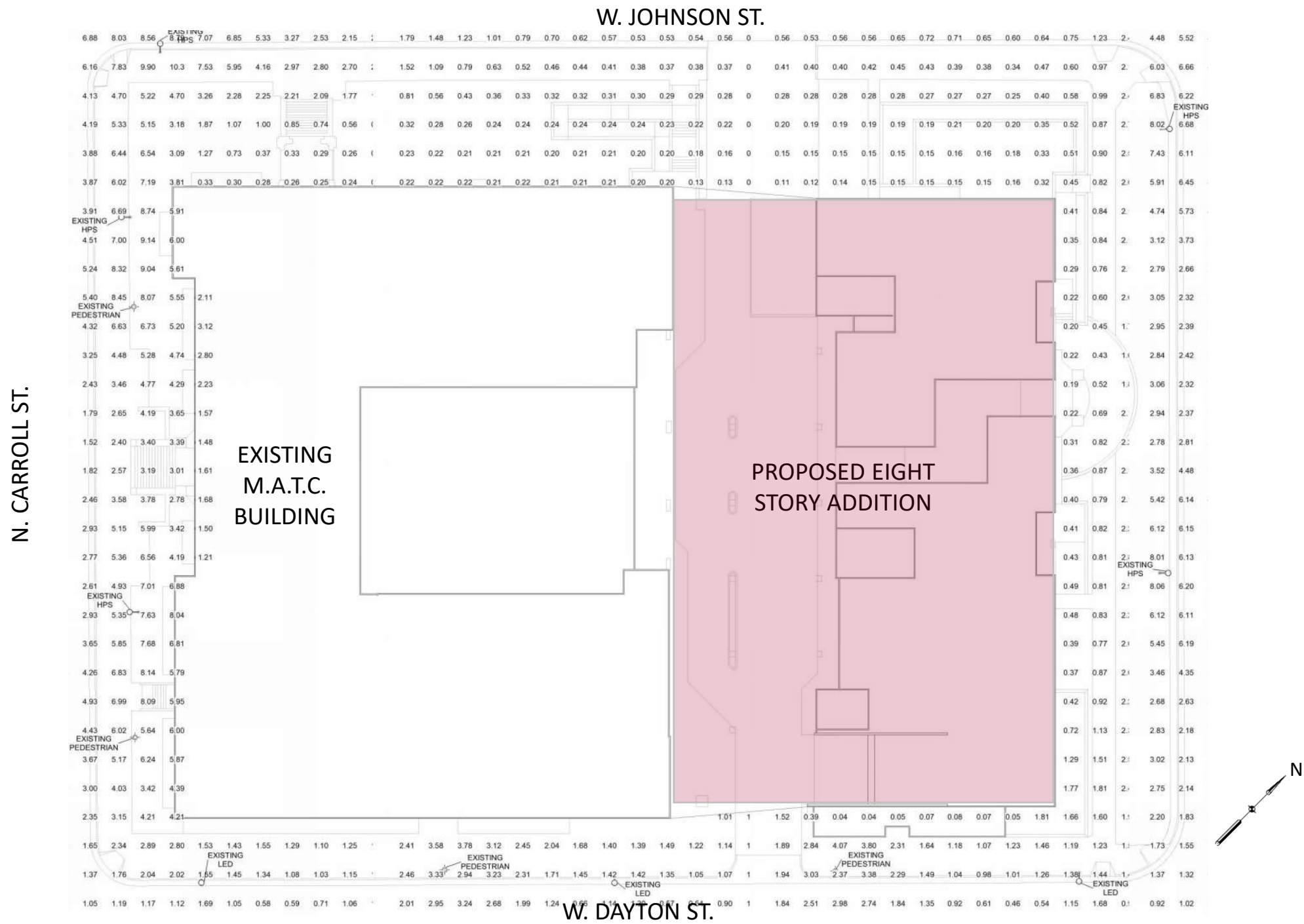
SMITHGROUP JJR

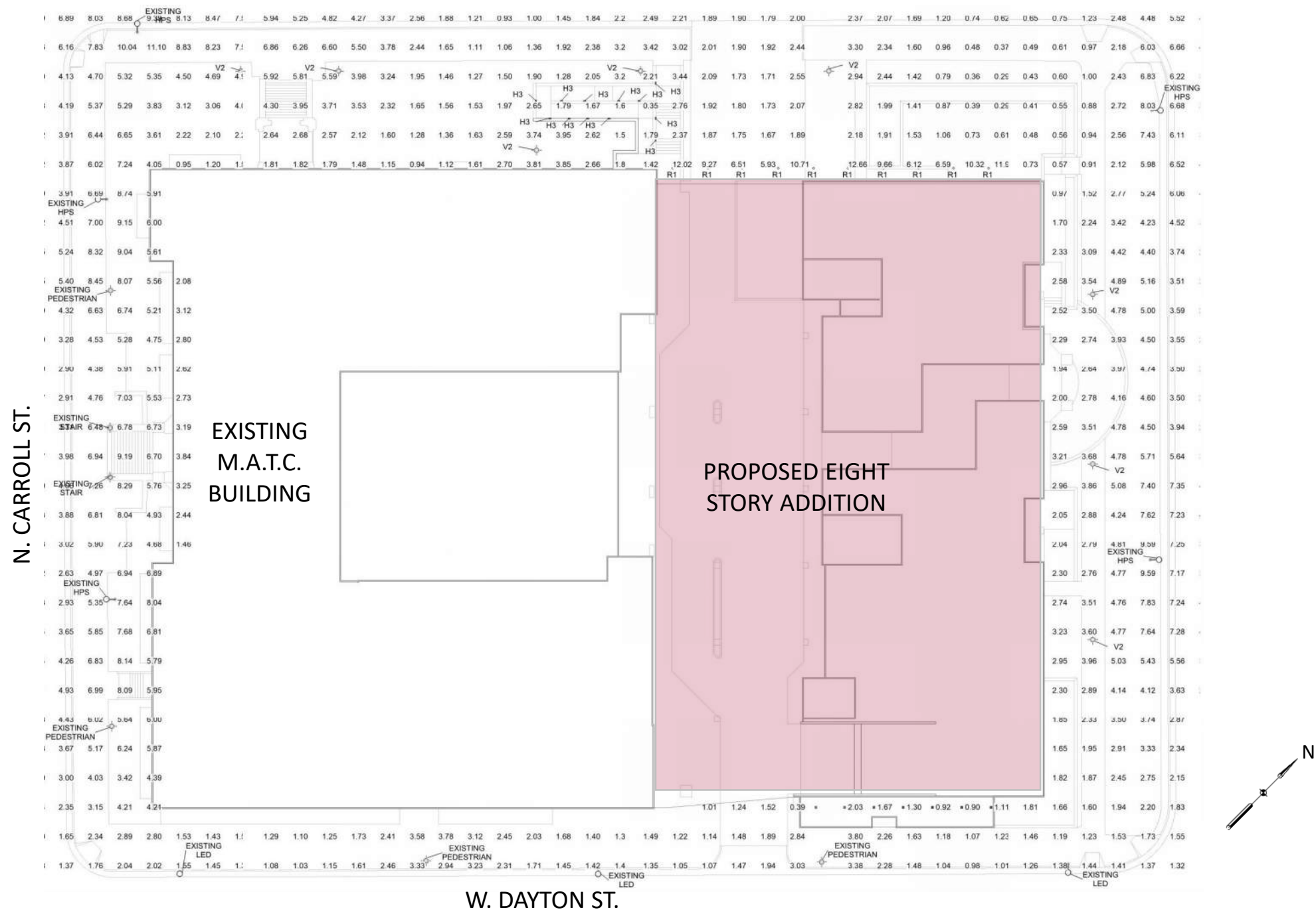


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PHOTOMETRIC SCHEDULE					
Calculation Points Name	Average	Maximum	Minimum	Average / Minimum	Maximum / Minimum
SITE NEW	3 fc	13 fc	0 fc	82.4	427.7

Lighting Fixture Schedule								
Type	Count	Apparent Load	Manufacturer	Model	Lamp	Lamp Description	Description	Comments
EXISTING HPS	9	395 VA	NA	Existing	N/A		Existing LED Shoe Box (City Owned)	
EXISTING LED	6	395 VA	NA	Existing	N/A		Existing LED Shoe Box (City Owned)	
EXISTING PEDESTRIAN	10	42 VA	NA	Existing	N/A		Existing LED Acorn(City owned)	
EXISTING STAIR	2	42 VA	NA	Existing	N/A		Existing @ Stair, New LED Bulb	
H3	12	120 VA	Columbia Lighting	SLLLED 1	N/A		LED Step Lights	
R1	10	16 VA	Prescolite	DBX/ Trim TBW60	Salco S9447	16 Watt PAR 38 LED	Rec Dwnlt 7 1/2"H x 6-1/4"Dia,Med Base; 7-1/4" OD Specular Clear Reflector	
V2	8	42 VA	PHILIPS HADCO	UX1 64 H 2.5 N A 5 N N S N/Pole P1526-14-H-B-G	N/A		Mount on 3" X 14" Round Post, 18" Ø 28 1/8" HEIGHT, BRONZE	



LED Step Lights

SLED1 SLED2 SLED3

Wet Location and IC Rated
120V - 277V

SLED2-35K-BZ-SLD12CMB

DATE: _____ TYPE: H3
FIRM NAME: _____
PROJECT: _____

LifeStep

APPLICATIONS:

The LED step light is ideal for a wide variety of interior and exterior applications including commercial, retail and residential applications. Fixture should be installed in applications where ambient temperatures do not exceed 50° C (122°F). Installations in applications that exceed this temperature will result in a reduction of lamp life.

FIXTURE:

SLED1 – With a modern low profile die cast aluminum face plate, this high output, LED step light is the ultimate in the LifeStep collection. The highly efficient SLED1 offers the smoothest and broadest light distribution pattern. **SLED2** – SLED2 is LifeStep's premium level and provides a smooth, broad light distribution. Made of modern die cast aluminum, the recessed LED step light offers energy efficient benefits. Additionally SLED2 is IP45 rated. **SLED3** – Offering adequate levels of light distribution, wattage consumption, and efficiency, SLED3 is the primary level of the LifeStep step lights. SLED3 is the most economically priced LED step light. IP56 rated.

HOUSING:

Die cast aluminum housing with either a durable black baked powder coat or clear anodized finish. 1/2" NPT conduit port located on either side of the housing. Silicone gasket ensures a good seal.

FACE PLATE:

SLED1 and 2 have a die cast aluminum trim and SLED3 has a stamped aluminum trim with a solite lens and a silicone gasket. Available in Black (BL), White (WH), Zet (Z) or Bronze (BZ).

LED LIGHT ENGINE:

Each array consists of LED modules mounted on a fixed aluminum heat sink to ensure optimal optical performance and 50,000 hour life at 70% lumen maintenance.

LED DRIVER:

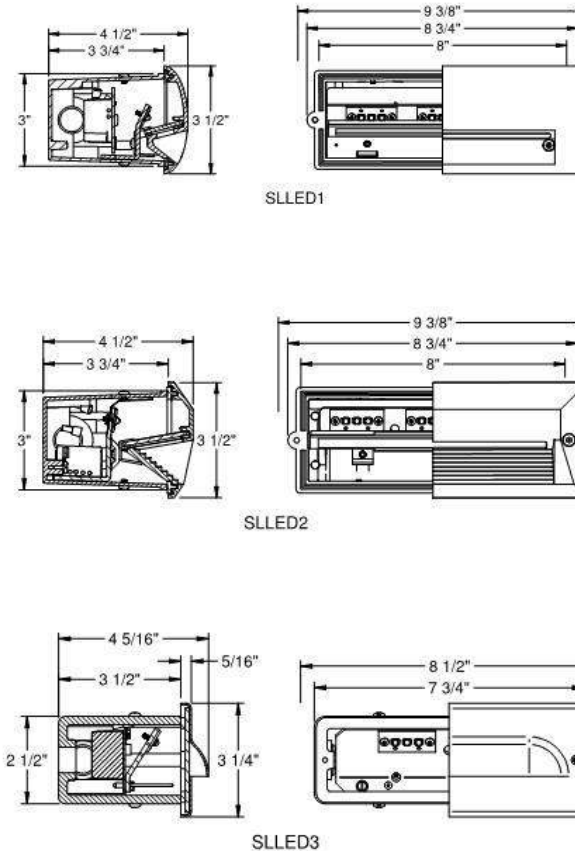
120V - 277V Solid state electronic 350mA constant current FCC class B driver. 50,000 hour minimum anticipated life. Rated for -30°C starting temperature. Driver is accessible through the housing for servicing.

LABELS:

CSA C/US listed. Suitable for wet location and concrete pour. Approved for exterior and interior installations. IC rated. SLED2 is IP45 and SLED3 is IP56 rated.

WARRANTY:

5 year warranty available
Go to www.prescolite.com for full details.



CATALOG NUMBER: SLED2-35K-BZ-SLD12CMB

EXAMPLE: SLED135KBL

HOUSING	LED COLOR TEMP	FACE PLATE	HOUSING OPTION	HOUSING ACCESSORIES
<input type="checkbox"/> SLED1 High output LED step light	<input type="checkbox"/> 30K 3000 Kelvin	<input type="checkbox"/> WH White	<input type="checkbox"/> Blank 120V/277V	<input type="checkbox"/> SLMB Dry wall bar hanger installation kit.
<input type="checkbox"/> SLED2 Recessed LED step light	<input type="checkbox"/> 35K 3500 Kelvin	<input type="checkbox"/> BL Black		<input type="checkbox"/> SLD12CMB Concrete mounting box SLED1 and SLED2
<input type="checkbox"/> SLED3 Residential LED step light	<input type="checkbox"/> 40K 4000 Kelvin	<input type="checkbox"/> Z Zet		<input type="checkbox"/> SLD3CMB Concrete mounting box SLED3
	<input type="checkbox"/> 50K 5000 Kelvin	<input type="checkbox"/> BZ Bronze		<input type="checkbox"/> LiteGear ¹ Inverter, single phase central lighting, 125VA-250VA
				<input type="checkbox"/> LPS Series ¹ LitePower micro-inverter, 20VA-55VA

¹See Central Inverter compatibility note and web links on page 3.



In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
Web: www.prescolite.com • Tech Support: (888) 777-4832

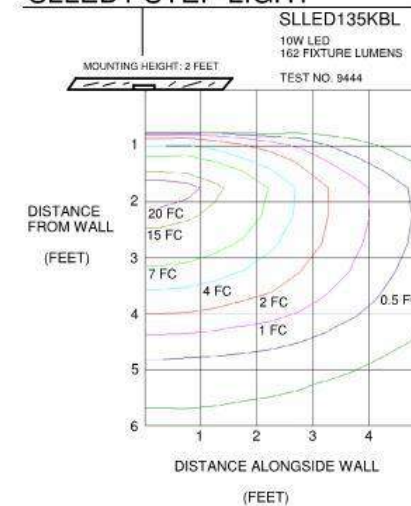
LS-LED-003

PHOTOMETRIC DATA

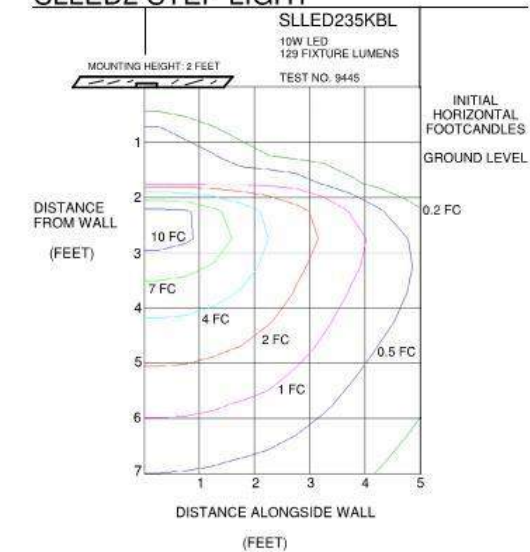
LifeStep - LED Step Lights

DRIVER DATA Input Parameter	SLED1 & SLED2			SLED3		
	10W			9W		
	Value	Units		Value	Units	
Input Voltage	120	277	VAC	120	277	VAC
System Wattage	12.6	12.6	W	8.7	8	W
Input Current	0.08	.04	A	0.08	0.03	A
Frequency	50/60	50/60	HZ	50/60	50/60	60
Power Factor	0.94	0.94	-	0.94	.94	-
Total Harmonic Distortion	<70%	<70%	-	<70%	<70%	-

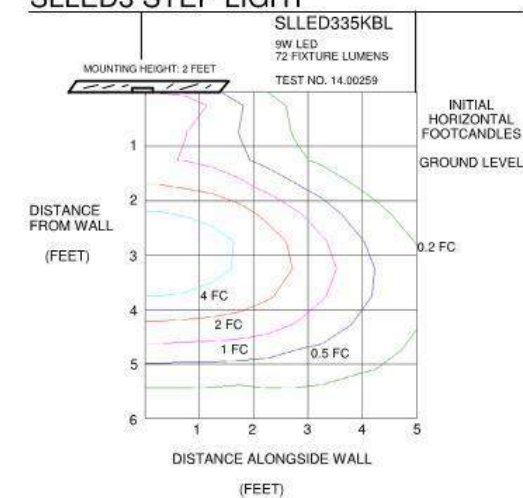
SLED1 STEP LIGHT



SLED2 STEP LIGHT



SLED3 STEP LIGHT



NOTES: Refer to www.prescolite.com for additional photometric tests (IES Files).

1. Operation in ambient temperatures higher than those specified may shorten life and will void warranty.

Tested in accordance with IESNA LM-79 2008 standards



Web: www.prescolite.com • Tech Support: (888) 777-4832
701 Millennium Boulevard • Greenville, SC 29607 U.S.A. • Phone (864) 678-1000
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Specifications subject to change without notice. • Printed in U.S.A. • LS-LED-003 • 7/22/16





New Construction DBX DBXQC

Line Voltage
Incandescent Downlight
AirShield™
IC/Non-IC Rated
120V

APPLICATIONS:

Suitable for new construction, whether or not insulation is present, including residentially in a single story home or on the second level of a two story home; or commercially in spaces such as offices, single story retail, and hospitality environments. The DBX complies with requirements for AirShield™ applications.

AIR TIGHT REQUIREMENTS:

The DBX is AirShield™ rated in compliance with ASTM E283 and the Washington State Energy Code (W.S.E.C.).

REFLECTOR:

Trims are retained by a spring shipped with DBX and has a positive upward spring action to ensure a snug fit to the ceiling plane, eliminating unwanted light leak, and sagging over time. Trims come standard with a painted white trim ring.

LAMP/SOCKET:

Porcelain socket with brass or copper screw shell. Socket snaps into trim carrier to place lamp in proper position ensuring consistent appearance and performance. Socket is shipped with removable paint protection cap. Thermal protector prevents fixture from overheating when improperly installed or over-lamped. Refer to trim for specific lamp information. Lamps furnished by others.

INSTALLATION:

Pro-Nail™ bar hangers with integral real nail compatible with common joist systems and materials. Joist alignment tab for rapid and consistent positioning and convenient nail removal features for easy re-positioning. Integral snap-on T-bar grip-lock feature and rigid 24" telescoping bar hanger design. Auxiliary mounting points for additional fasteners or wire suspension to structure. Bar hangers are captive with positive extension stop and locking feature to fix position, and can be reoriented 90° to housing. Optional sheet metal screw for steel construction with SBH housing option.

HOUSING:

Galvanized steel housing with full wrap-around plaster frame. Housing adjusts from 1/2" to 1 1/2" thick ceilings. Notched mounting frame for easy alignment. Housing includes knock out free integral Romex clamps, overspray protection, universal J-box with snap-out sides, universal J-box with snap-out sides, 1/2" and 3/4" knock outs for rigid or BX fittings, thermal protector, and a grounding pigtail. Removable K.O. for remodel use (plaster flange clips required). Rated for 8 #12 90° conductors (4 in/4 out). Removable housing for field inspection of wiring. Pre-installed wire quick connects available by ordering DBXQC.

LABELS:

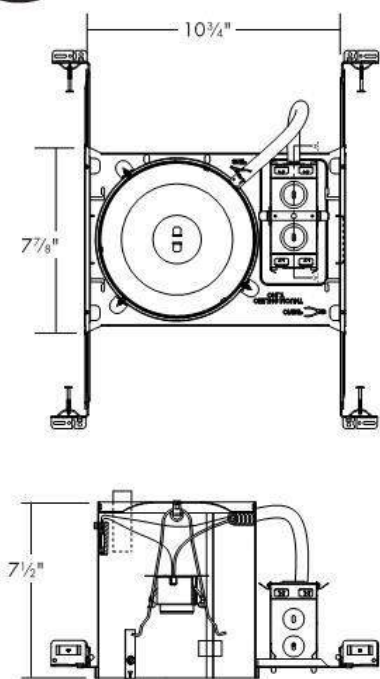
IC and Non-IC rated. UL, CUL listed for damp location and through wiring. Thermally protected. Air Shield™ rated. WSEC compliant.

DATE: _____ TYPE: _____
 FIRM NAME: _____
 PROJECT: _____

LiteBox 6"

Aperture: Nominal 6"
 Ceiling Cutout: 6 7/8"
 Maximum Ceiling Thickness: 1 1/2"
 For conversion to millimeters,
 multiply inches by 25.4
 Not to Scale

Featuring



EXAMPLE: DBX-TB60-G6

CATALOG NUMBER:

Order housing, reflector, and accessories separately

HOUSING	HOUSING OPTIONS	TRIMS	ACCESSORIES
<input checked="" type="checkbox"/> DBX 6" IC/Non-IC air-tight w/ nail bar hanger	<input type="checkbox"/> SBH Screw bar hanger	ADJUSTABLE <input type="checkbox"/> TA60 <input type="checkbox"/> TAW65 BAFFLE <input type="checkbox"/> TB60 <input checked="" type="checkbox"/> TBW60 <input type="checkbox"/> TB61 <input type="checkbox"/> TBW61 <input type="checkbox"/> TB62 <input type="checkbox"/> TBW62	<input type="checkbox"/> G6 Ceiling gasket for 6" line voltage trim.
<input checked="" type="checkbox"/> DBXQC 6" IC/Non-IC AirTight with nail bar hanger and supply wire quick-connects		LENSED <input type="checkbox"/> TL60 <input type="checkbox"/> TL61 <input type="checkbox"/> TL62 <input type="checkbox"/> TL63 <input type="checkbox"/> TL64	
		OPEN SHOWER <input type="checkbox"/> TO63WL ¹ <input type="checkbox"/> TO64WL ¹	
		OPEN <input type="checkbox"/> TO6 <input type="checkbox"/> TO60B <input type="checkbox"/> TO60C <input type="checkbox"/> TO60G <input type="checkbox"/> TO61 <input type="checkbox"/> TO62	
		WALL WASH <input type="checkbox"/> TW61WBF	
		LED <input type="checkbox"/> LB6LEDA SERIES 700 & 1000 lumen LED Modules with dimming to 15%, 120V. See spec sheets for details	

¹Indoor/outdoor lamp required.

In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
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LB-INC-011



TRIMS & FINISHES

LiteBox® DBX, DBXQC - Incandescent

Note: All trims are 7 1/4" O.D. except where indicated.

LED



LB6LEDA Series
White LED Module 700 & 1000 lumens. See spec sheets for details.

Adjustable



TA60
White eyeball.
Max. 75W PAR-30, 65W BR-30
Adj. 358"H x 30°V



TAW65
White (TAW65) regressed baffle eyeball.
Max. IC Application: 50W PAR-30, 65W BR-30;
Max. Non-IC Application: 75W PAR-30, 85W BR-30.
Adj. 358"H x 30°V

Baffle



TB60
Stepped black baffle.
Max. IC Application: 50W PAR-30, 65W BR-30;
Max. Non-IC Application: 150W PAR-38, 120W BR-40, 40W A-19



TB61
Stepped white baffle.
Max. IC Application: 75W PAR-30, 65W BR-30;
Max. Non-IC Application: 150W PAR-38, 120W BR-40, 40W A-19



TB62
Long-neck black baffle.
Max. IC Application: 75W PAR-30L, 65W BR-30;
Max. Non-IC Application: 75W PAR-30L, 85W BR-30, 100W A-19



TB63
Long-neck white baffle.
Max. IC Application: 75W PAR-30L, 65W BR-30;
Max. Non-IC Application: 75W PAR-30L, 100W A-19, 85W BR-30



TBW62
High-wattage black stepped baffle. O.D. 8 1/4" dia.
Max. Non-IC Application: 150W PAR-38, 120W BR-40



TBW60
High-wattage white stepped baffle. O.D. 8 1/4" dia.
Max. IC Application: 90W PAR-38, 85W BR-40;
Max. Non-IC Application: 150W PAR-38, 120W BR-40

Lensed



TL60
Shower trim with dropped opal glass lens. Non-metallic flange. Wet location approved.
Max. IC Application: 50W PAR-30, 40W A-19;
Max. Application Non-IC: 75W PAR-30, 75W A-19



TL61
Shower trim with dropped opal glass lens. O.D. 8 1/4" dia. Metal flange. Wet location approved.
Max. IC Application: 50W PAR-30, 60W A-19;
Max. Non-IC Application: 75W PAR-30, 75W A-19



TL62
Fresnel lensed trim. Wet location approved. Non-metallic flange.
Max. IC Application: 50W PAR-30;
Max. Non-IC Application: 75W PAR-30



TL63
Domed polycarbonate shower trim. O.D. 8 1/4" dia. Wet location approved.
Max. IC Application: 40W A-19;
Max. Non-IC Application: 75W A-19



TL64
White albalite flush glass lensed trim. Metal flange. Wet location approved.
Max. Non-IC Application: 75W PAR-30, 60W A-19

Open



TO6
White cone.
Max. IC Application: 75W PAR-30, 65W BR-30;
Max. Non-IC Application: 150W PAR-38, 120W BR-40, 40W A-19



TO60B
Black Alzak reflector.
Max. IC Application: 75W PAR-30, 65W BR-30;
Max. Non-IC Application: 150W PAR-38, 120W BR-40, 40W A-19



TO60C
Specular clear Alzak reflector.
Max. IC Application: 75W PAR-30, 65W BR-30;
Max. Non-IC Application: 150W PAR-38, 120W BR-40, 40W A-19

Open (cont.)



TO60G
Specular gold Alzak reflector.
Max. IC Application: 75W PAR-30, 65W BR-30;
Max. Non-IC Application: 150W PAR-38, 120W BR-40, 40W A-19



TO61
White open splay.
Max. IC Application: 75W PAR-30L, 65W BR-30;
Max. Non-IC Application: 75W PAR-30L, 85W BR-30, 100W A-19



TO62
White open trim. Metal Flange.
Max. IC Application: 85W BR-40/PAR-38
Max. Non-IC Application: 120W BR40, 150W PAR38

Open Shower



TO63WL
White open shower trim. Metal flange. Wet location approved.
Max. 50W PAR-30L



TO64WL
High wattage white open shower trim. O.D. 8 1/4" dia. Metal Flange. Wet location approved.
Max. 75W PAR-38

Wall Wash



TW61WBF
White baffle wall wash.
Max. Non-IC only: 60W A-19

Denotes AirShield™ capability with DBX. Refer to www.prescolite.com for photometrics.

UL listed for wet locations.

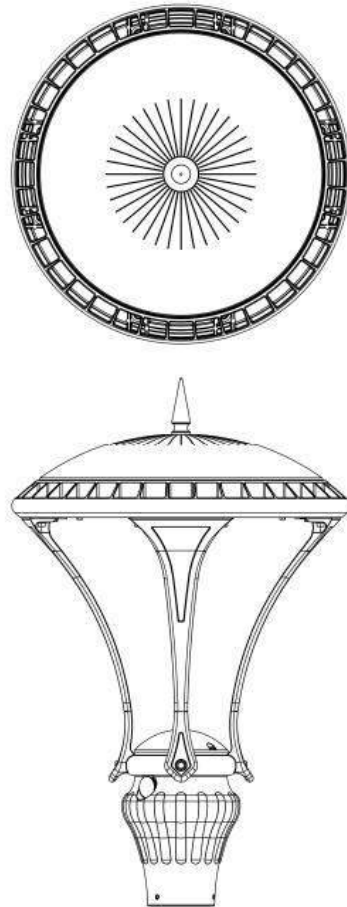


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UX1 LEDGINE (UX1) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type: V2	Catalog No.: UX1 64 H 2 5 N A 5 N N S N	Qty:



Ordering Guide

Example: UX1 32 G A 1 2 N A 5 E N S N

Product Code	UX1	UX1 LEDGINE	
LED	32	32 LED's	
	48	48 LED's	
	64	64 LED's	
	80	80 LED's	
Lens	G	Flat Glass	
Finish	A	Black	
	B	White	
	G	Verde	
	H	Bronze	
	I	Gray	
	J	Green	
Fasteners	1	Hex Head	
	2	Allen Head	
Optics	2	Type II	
	3	Type III	
	4	Type IV	
	5	Type V	
	N	4000K	
Color Temperature	A	120-277 VAC	
	B	347-480 VAC	
Voltage	S	530 mA	
	M	Multi Tap (350, 530, 700mA)	
Drive Current	E	120 VAC Button Eye	
	H	208/240/277 VAC Button Eye	
	N	None	
	R	Twist-lock Receptacle	
Photo Control	N	None	
	DA	4 Hrs 25% Reduction	
	DB	4 Hrs 50% Reduction	
	DC	4 Hrs 75% Reduction	
	DD	6 Hrs 25% Reduction	
	DE	6 Hrs 50% Reduction	
	DF	6 Hrs 75% Reduction	
	DG	8 Hrs 25% Reduction	
	DH	8 Hrs 50% Reduction	
	DJ	8 Hrs 75% Reduction	
	W	Wireless Controls	
	Dimming Control	S	Standard Built In <3kV
		A	Additional 10kV/10kA
Surge Suppression	N	None	
	H	House Side Shield	

*1 Only Available in UX132 -ships at 530mA.
 *2 No dimming or 347-480V, available with M
 *3 Consult Factory for wireless option
 *4 Can not have 347-480V with a Dynadimmer Dimming Option (DA-DJ)
 *5 Can NOT use 347-480V with 32LED option(A). NO Dimming (DA-DJ) available with 32LED option(A). Must use Multi Tap (M) with 32LED option(A).

Specifications

APPLICATIONS:

The UX1 is the perfect LED solution for decorative street lighting and is the ideal luminaire for both new and retrofit installations. Other application locations include: residential streets, city streets, campuses and parking lots. The performance, energy savings, and uniformity of this luminaire make it an ideal post top LED solution.

CONSTRUCTION:

ISO 9001:2008 Registered

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UX1 LEDGINE (UX1) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type: V2	Catalog No.: UX1 64 G H 2 5 N A 5 N N S N	Qty:

Containing no mercury or other hazardous chemicals, the UX1 is fully recyclable. The housing is constructed of low copper die-cast aluminum and a tool less decorative finial holds down the spun aluminum roof. Roof is designed to allow natural run off of water, dirt and debris. Roof vents for thermal dissipation and convection. Stainless steel screen keeps large insects out and allows for natural water run off. Two captive screws hold down the pod cover. Option for hex head or set screws in the pod. The pod accepts a 3" pole. And the OD of pod is 3 1/2". Concealed aluminum wireway inside of the cage leg is protected from water with a high temperature silicone rubber grommet.

LED SPECIFICATIONS:

Refer to IES files for energy consumption and delivered lumens for each option. Based on in-situ thermal testing and data from Philips Lumileds and Philips Advance, fixture can be expected to reach 50,000 hours (at >L70 lumen maintenance @ 25°C). The Philips LEDGINE uses Philips Lumileds LEDs. Color temperatures available are ANSI Bin 4000KCCT. Two distributions are available including Type 3 and 5.

ELECTRONIC DRIVER:

The driver included in the UX1 is the Philips Advance XITANIUM LED driver and is available in single or multiple drive current options (see ordering guide for details and options). Standard driver offers 0-10V dimming capability and universal voltage input from 120-277VAC or 347-480VAC. UX1A is not available with 0-10V dimming or 347-480V. Input frequency is 50-60Hz and all XITANIUM drivers are RoHS compliant. The driver has <3kV surge suppression built in. 10kV is an additional option. Multi Tap driver available for UX1A only - ships at 530mA, 120-277 VAC only, no dimming capability.

FINISH:

Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. Powdercoat is 3.0 - 6.0 mil thickness.

ELECTRICAL ASSEMBLY:

Standard: Two captive screws hold down the pod cover. Assembly is removable to allow access to the terminal block. The fixture comes standard with a terminal block that accepts up to 6 G.A. wire. Quick connects are included to easily disconnect the electrical assembly from the wireway. Options: There is an option for a twist lock photocell receptacle or button eye. Optional surge suppression rating available for the UX1 is 10 kV BIL. Enclosure for surge suppression device is constructed of high temperature, flameproof material with an 85°C maximum surface temperature rating. The device consists of a thermally protected transient overvoltage circuit and is designed for use with universal voltage ballasts and drivers.

CONTROLS:

The Philips Dynadimmer is an option with this fixture. There are 9 standard factory set dimming schedules available. See specification sheet for details. A custom dimming schedule is available by contacting the factory. Wireless dimming options are also available, contact the factory for details.

IP RATING:

IP66: Dust-tight and sealed against direct jets of water. No Ingress of dust. Will withstand 26.4 gallons of water per minute. Water projected in powerful jets shall not enter the enclosure in harmful quantities. The LED optics chamber is IP66 rated.

CERTIFICATIONS:

ETL listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. UL8750 and UL1598 compliant. Vibration tested to ANSI C136.31 for Normal Applications. Manufactured to ISO 9001:2008 Standards.

WARRANTY:

5 year extended warranty

AWARDS & RECOGNITIONS:

Buy American and ARRA Compliant - commercially available off-the-shelf (COTS) product proudly designed and Made in the U.S.A. Listed on the DesignLightsTM Consortium (DLC) Qualified Products List (QPL) - see certification letter(s) for details.

OPTIONS:

Optional integral surge suppression device tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/10kA waveforms for Line-Ground, Line-Neutral and Neutral-Ground. Enclosure for surge suppression device is constructed of high temperature, flameproof material with an 85°C maximum surface temperature rating. The device consists of a thermally protected transient overvoltage circuit and is designed for use with universal voltage ballasts and drivers.

Width:

18" (diameter)

Height:

28.1"

EPA:

.45 sq ft

Max. Weight:

25 lbs

IESNA Classifications:

See .ies files. Deprecated: Refer to BUG Ratings.

ISO 9001:2008 Registered

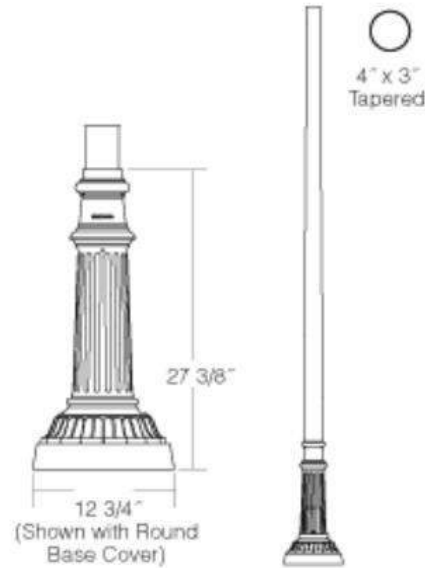
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P1526 Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type: V2 POLE	Catalog No.: P1526-14-H-B-G	Qty:



Ordering Guide

Example: P1526 8 A T D

Product Code	P1526	
Pole Height	8	8'
	10	10'
	12	12'
	14	14'
Finish	A	Black
	B	White
	G	Verde
	H	Bronze
	J	Green
Outlet Location (Optional)	T	12" Down from Top - Aligned with House Side *1
	B	4" Up from Top of Base - Aligned with House Side
Outlet Options (Optional)	D	Standard Duplex
	G	GFI Duplex

*1 Top outlets not available with the HFP arms.

Specifications

HOUSING:
356 HM high-strength, low-copper, proprietary cast aluminum alloy, 319 Permanent mold aluminum, 6005-T5 extruded aluminum. Anchor rods are hot dipped galvanized steel.

FINISH:
A durable polyurethane enamel finish is applied after assemblies are shot blasted to create a surface profile which allows for the highest level of paint adhesion. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B-117-64 and ANSI/ASTM G53-77 specifications. For larger projects where a custom color is required, contact the factory for more information.

WARRANTY:
Three-year limited warranty.

OUTLET:
Standard Duplex Outlet has universal metal weatherproof cover. Weatherproof while in use. Heavy-duty all-metal construction. Lockable security cover. Meets NEC 406.9 (B). Weather resistant. GFI Duplex Outlet has dual-function indicator light, universal metal weatherproof cover. Weatherproof while in use. Heavy-duty all-metal construction. Lockable security cover. Meets NEC 406.9 (B). Weather resistant.

Tenon/Top:
3" OD

Bolt Circle:
9 3/8"

Anchor Rods:
(4) 1/2" dia. x 15 1/2"

Base Dimensions:
8 1/4" sq. x 27 3/8"

Base Cover:
(Included) 12 3/4" dia. x 5 1/2"

Hand Hole :

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P1526 Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

3" x 5"

Shaft:
4" to 3" Tapered

Wall Thickness:
0.125 Aluminum

Wall Thickness:
0.188 Aluminum (14')

Height :
8', 10', 12', 14'

Pole EPA Values

Windspeed(mph)	Height			
	8'	10'	12'	14'
80	10.2400	8.1200	6.6400	7.5700
100	5.7800	4.4400	3.5000	4.2600

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