



City of Madison

Proposed Rezoning

Location

518-542 Junction Road

Applicant

John Leja-LZ Ventures, LLC/
J Randy Bruce-Knothe & Bruce Architects

From: PD(GDP)

To: **Amended
PD(GDP-SIP)**

Existing Use
Vacant land

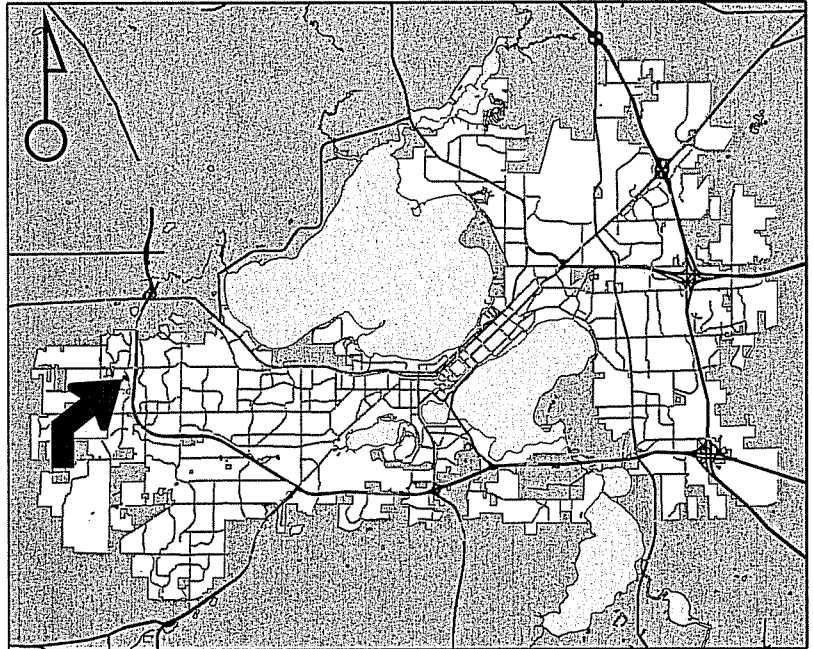
Proposed Use

Construct 176 residential units and 7,125 square feet of commercial space in a mixed-use development with 3 buildings

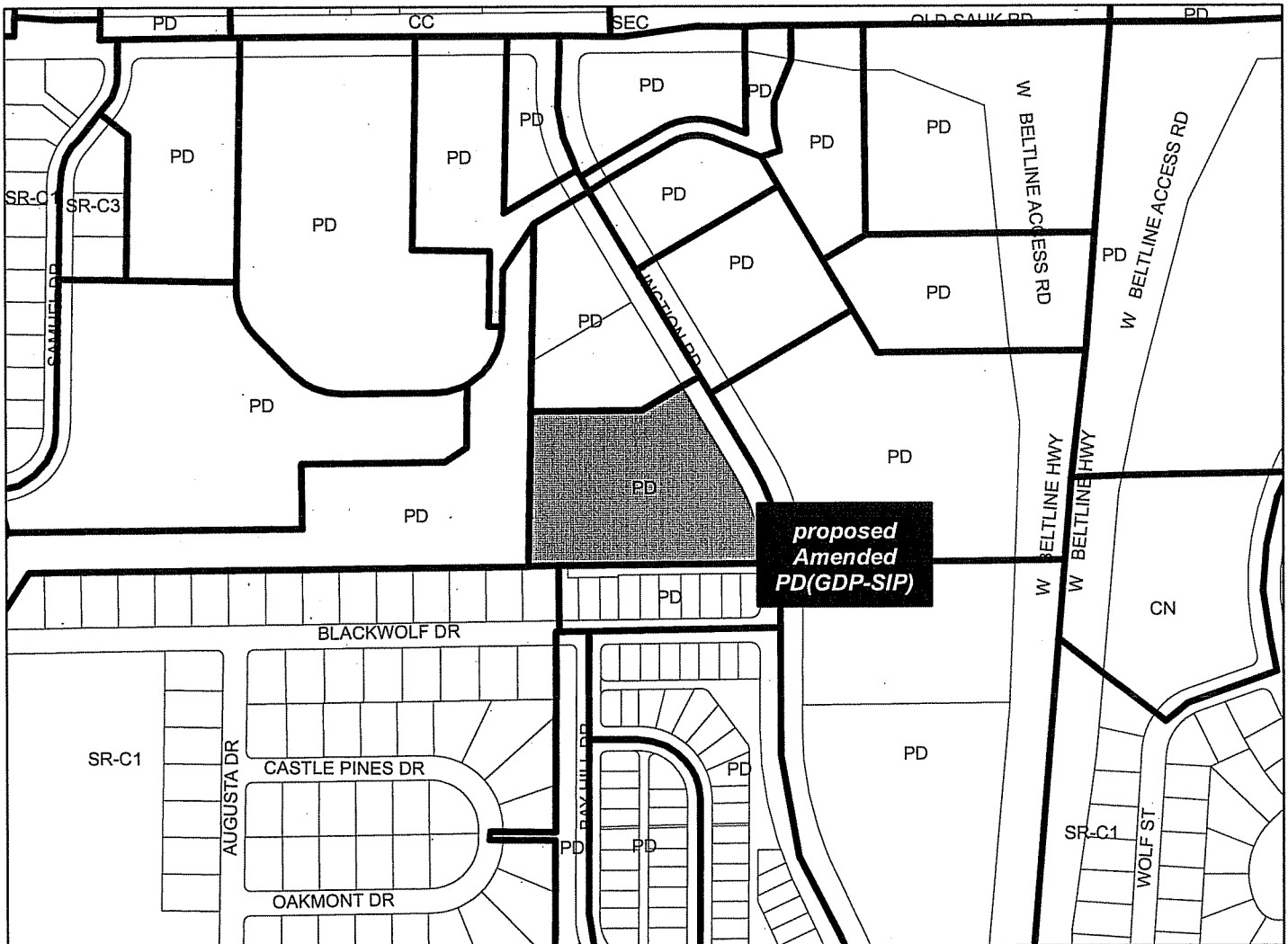
Public Hearing Date

Plan Commission
05 October 2015

Common Council
20 October 2015

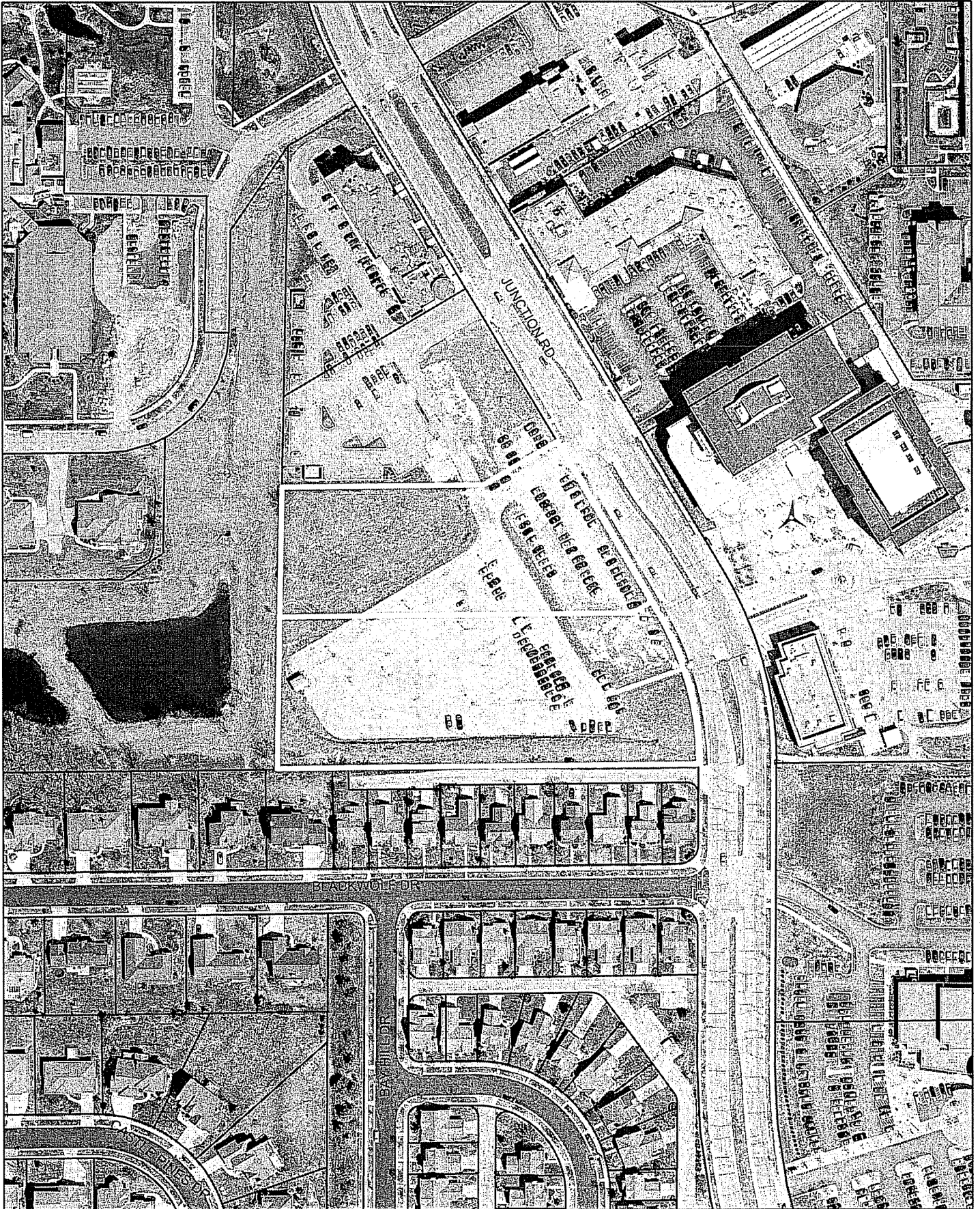


For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 28 September 2015





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
Zoning District _____	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 5184-542
650 Junction Road

Project Title (if any): _____

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from PD-GDP to AMENDED PD-GDP-SIP
- Major Amendment to Approved PD-GDP Zoning | Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: John Leja Company: LZ Ventures, LLC

Street Address: 1022 W. Johnson City/State: Madison, WI Zip: 53715

Telephone: (608) 576-3489 Fax: () Email: jleja@me.com

Project Contact Person: J. Randy Bruce Company: Knothe & Bruce Architects

Street Address: 7601 University Ave. City/State: Middleton, WI Zip: 53562

Telephone: (608) 836-3690 Fax: () Email: rbruce@knothebruce.com

Property Owner (if not applicant): _____

Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Mixed Use development including (3) buildings that range from three to five stories. The buildings will contain 176 apartment units and 7,125 s.f. of first level commercial space.

Development Schedule: Commencement WINTER 2015 Completion SUMMER 2017

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- Seven (7) copies of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- Twenty Five (25) copies of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- One (1) copy of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the Urban Design Commission, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

ALDER SKIDMORE & JUNCTION RIDGE NEIGHBORHOOD ASSOCIATION on 3/31/15

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: HEATHER STOUVER Date: 5/12/15 Zoning Staff: MATT TUCKER Date: 5/12/15

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant _____ Relationship to Property: City Center West L.L.C., By Vanta Commercial Properties L.L.C., its Manager

Authorizing Signature of Property Owner [Signature] Date 8-4-2015

Randall J. Gruenther, CEO & CFO

September 10, 2015
Revised September 25, 2015

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701



Re: Letter of Intent
Amended GDP-PD-SIP Application
518-542 Junction Road
Madison, WI
KBA Project # 1504

Ms. Katherine Cornwell:

The following is submitted together with the plans and application for the staff, Plan Commission and Common Council consideration of approval.

Organizational Structure:

Owner/Developer:

LZ Ventures, LLC
1022 W. Johnson Suite 1
Madison, WI 53715
608-576-3489
Contact: John Leja
jleja@me.com

Architect:

Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
Contact: Randy Bruce
rbruce@knothebruce.com

Engineer:

Vierbicher
999 Fourier Drive Ste 201
Madison, WI 53717
608-826-0532
608-826-0530 fax
Contact: Joe Doyle
jdoyle@vierbicher.com

Landscape Design:

Ken Saiki Design
303 South Paterson Street
Madison, WI 53703
(608) 251-3600
Contact: Julia Schilling
jschilling@ksd-la.com

Introduction:

The 4.5 acre site is located on Junction Road and is part of an approved PUD-GDP that established a guide for redevelopment of the site. Attached is an Exhibit that depicts the boundaries of this SIP and its relationship to the surrounding GDP.

This proposal requests a rezoning from a PD-GDP to an amended PD-GDP-SIP. The development will create a dynamic mixed-use community that features attractive architecture and landscaping with density

and uses that support the surrounding businesses and residential neighborhood. In conjunction with this PD-SIP application a CSM will be submitted to subdivide the parcel into 3 lots for the financing purposes.

Project Description:

The proposed development consists of three buildings of three to five stories surrounding a landscaped courtyard. The development fronts the Junction Road streetscape with first level commercial uses and includes residential uses on remaining areas. Parking is located in basement parking garages under each building. The buildings will contain 171 apartments and 8,574 square feet commercial space.

Vehicular access is achieved from two entry drives on Junction Road leading to a looped private street and parking. Traffic flow is distributed across the two entries and the southern entry provides a lighted intersection. Pedestrian and bicycle connections are facilitated with an extensive internal walk system that also connects to the Junction Road corridor. Bicycle parking is designed to meet the City requirements.

The property is in the Junction Ridge Neighborhood Association. Two neighborhood meetings have been held to inform neighborhood residents and to incorporate their concerns.

Site Development Data:

Densities:

Lot Area	196,260 S.F. or 4.5 acres
Dwelling Units	171 units
Commercial Area	8,574 SF
Lot Area / D.U.	1,148 S.F./unit
Density	38 units/acre

BUILDING #1 Dwelling Unit Mix:

Efficiency	10
One Bedroom	30
One Bedroom + Den	11
<u>Two Bedroom</u>	<u>29</u>
Total	80

BUILDING #2 Dwelling Unit Mix:

Efficiency	2
One Bedroom	38
Lofted One Bedroom	1
Two Bedroom	3
<u>Lofted Two Bedroom</u>	<u>7</u>
Total	51

Letter of Intent
518-542 Junction Road

BUILDING #3 Dwelling Unit Mix:

Efficiency	6
One Bedroom	16
Lofted One Bedroom	1
Two Bedroom	11
Lofted Two Bedroom	3
<u>Two Bedroom + Den</u>	<u>3</u>
Total	40

Building Height: 3-5 Stories

Vehicle Parking Stalls

Surface	86
<u>Underground</u>	<u>197</u>
Total	283

Bicycle Parking Stalls

Surface	30
<u>Underground</u>	<u>158</u>
Total	188

Project Schedule

This project will be a phased development with construction commencing in winter 2015 with final completion/occupancy slated for summer 2017.

Hours of Operation:

The residential apartment's property will be a professionally managed apartment community. The building will have an on-site management office with hours of operation are expected to be from 8:00 A.M. – 5:00 P.M., Monday through Friday, with scheduled appointments at other times. The hours of operation for the commercial spaces on the first floor will vary depending on the specific commercial user.

Thank you for your time reviewing our proposal.

Sincerely,

J. Randy Bruce, AIA
Managing Member

Zoning Text
518-542 Junction Road
Amended PD-GDP-SIP
KBA 1504

Legal Description:

Lots Seven (7) and Eight (8), Sauk Junction, as recorded in Volume 57-078A of Plats, on Pages 304-306, as Document Number 2871526, Dane County Registry, located in the NE 1/4-NE 1/4 of Section 22, Township 07 North, Range 08 East, City of Madison, Dane County, Wisconsin. Said description contains 196,384 square feet or 4.508 acres more or less.

A. Statement of Purpose: This zoning district is established to allow for the construction of a mixed-use development with 171 dwelling units and 8,574 square feet of commercial space.

B. Permitted Uses: Following are permitted uses:

1. Multifamily residential uses as shown on approved plans.
2. Commercial uses as allowed in the MXC zoning district
3. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.

C. Lot Area: As shown on the approved plans.

D. Height Regulations: As shown on the approved plans.

E. Yard Regulations: As shown on the approved plans.

F. Landscaping: Site Landscaping will be provided as shown on the approved plans.

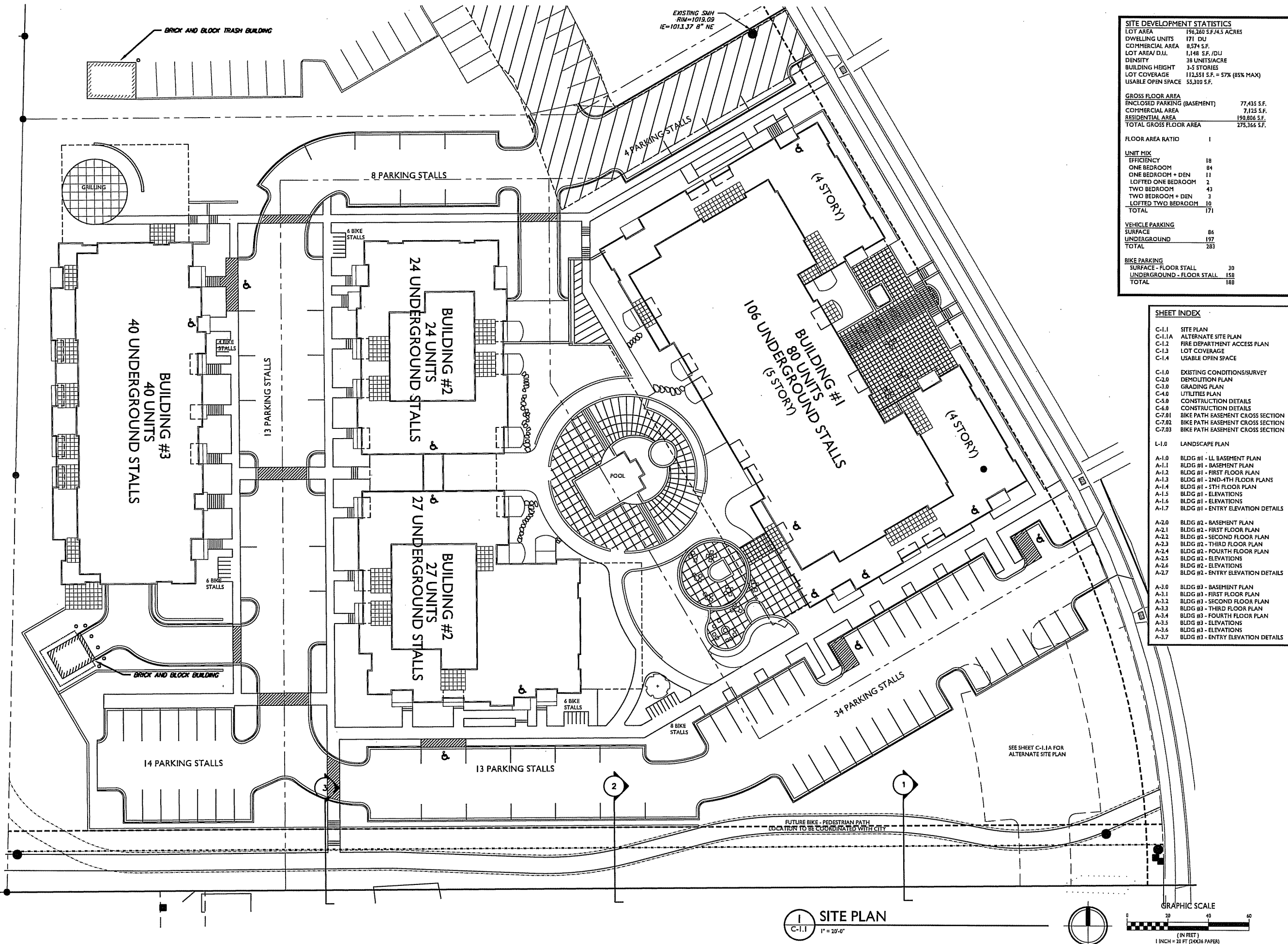
G. Usable Open Space Requirements: Usable open space will be provided as shown on the approved plans.

H. Parking & Loading: Off-street parking and loading shall be provided as shown on the approved plans.

I. Family Definition: The family definition shall coincide with the definition given in M.G.O. for the MXC zoning district.

J. Signage: Signage for the residential building will be allowed as provided by M.G.O. and as further regulated for the MXC zoning district, with signage as approved by the Urban Design Commission and Zoning Administrator.

K. Alterations and Revisions: No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.



SITE DEVELOPMENT STATISTICS	
LOT AREA	196,260 S.F./4.5 ACRES
DWELLING UNITS	171 DU
COMMERCIAL AREA	8,574 S.F.
LOT AREA/D.U.	1,148 S.F./DU
DENSITY	38 UNITS/ACRE
BUILDING HEIGHT	3-5 STORIES
LOT COVERAGE	112,551 S.F. = 57% (85% MAX)
USABLE OPEN SPACE	55,300 S.F.
GROSS FLOOR AREA	
ENCLOSED PARKING (BASEMENT)	77,435 S.F.
COMMERCIAL AREA	7,125 S.F.
RESIDENTIAL AREA	190,806 S.F.
TOTAL GROSS FLOOR AREA	275,366 S.F.
FLOOR AREA RATIO	1
UNIT MIX	
EFFICIENCY	18
ONE BEDROOM	84
ONE BEDROOM + DEN	11
LOFTED ONE BEDROOM	2
TWO BEDROOM	43
TWO BEDROOM + DEN	3
LOFTED TWO BEDROOM	10
TOTAL	171
VEHICLE PARKING	
SURFACE	86
UNDERGROUND	197
TOTAL	283
BIKE PARKING	
SURFACE - FLOOR STALL	30
UNDERGROUND - FLOOR STALL	158
TOTAL	188

SHEET INDEX	
C-1.1	SITE PLAN
C-1.1A	ALTERNATE SITE PLAN
C-1.2	FIRE DEPARTMENT ACCESS PLAN
C-1.3	LOT COVERAGE
C-1.4	USABLE OPEN SPACE
C-1.0 EXISTING CONDITIONS/SURVEY	
C-2.0	DEMOLITION PLAN
C-3.0	GRADING PLAN
C-4.0	UTILITIES PLAN
C-5.0	CONSTRUCTION DETAILS
C-6.0	CONSTRUCTION DETAILS
C-7.01	BIKE PATH EASEMENT CROSS SECTION
C-7.02	BIKE PATH EASEMENT CROSS SECTION
C-7.03	BIKE PATH EASEMENT CROSS SECTION
L-1.0	LANDSCAPE PLAN
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A-2.3	BLDG #2 - THIRD FLOOR PLAN
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KB

knothe & bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
609.836.3690 Middleton, WI 53562

CONSULTANT

ISSUED
Issued for Land Use - August 5, 2015
Revised SIP - September 25, 2015

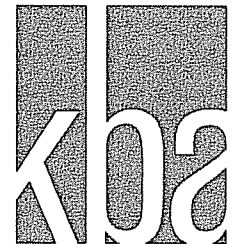
Revised - Month Day, Year
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PROJECT TITLE
518-542 Junction Rd.

Madison, WI
SHEET TITLE
Site Plan

SHEET NUMBER
C-1.1
PROJECT NO. **1504**
© 2013 Knothe & Bruce Architects, LLC

1 SITE PLAN
C-1.1 1" = 20'-0"

GRAPHIC SCALE
0 20 40 60
(IN FEET)
1 INCH = 20 FT (24X36 PAPER)



knothe & bruce
ARCHITECTS

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CONSULTANT

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TWO BEDROOM	43
TWO BEDROOM + DEN	3
LOFTED TWO BEDROOM	10
TOTAL	171
VEHICLE PARKING	
SURFACE	95
UNDERGROUND	192
TOTAL	292
BIKE PARKING	
SURFACE - FLOOR STALL	30
UNDERGROUND - FLOOR STALL	158
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Revised SIP - September 25, 2015

Revised - Month Day, Year
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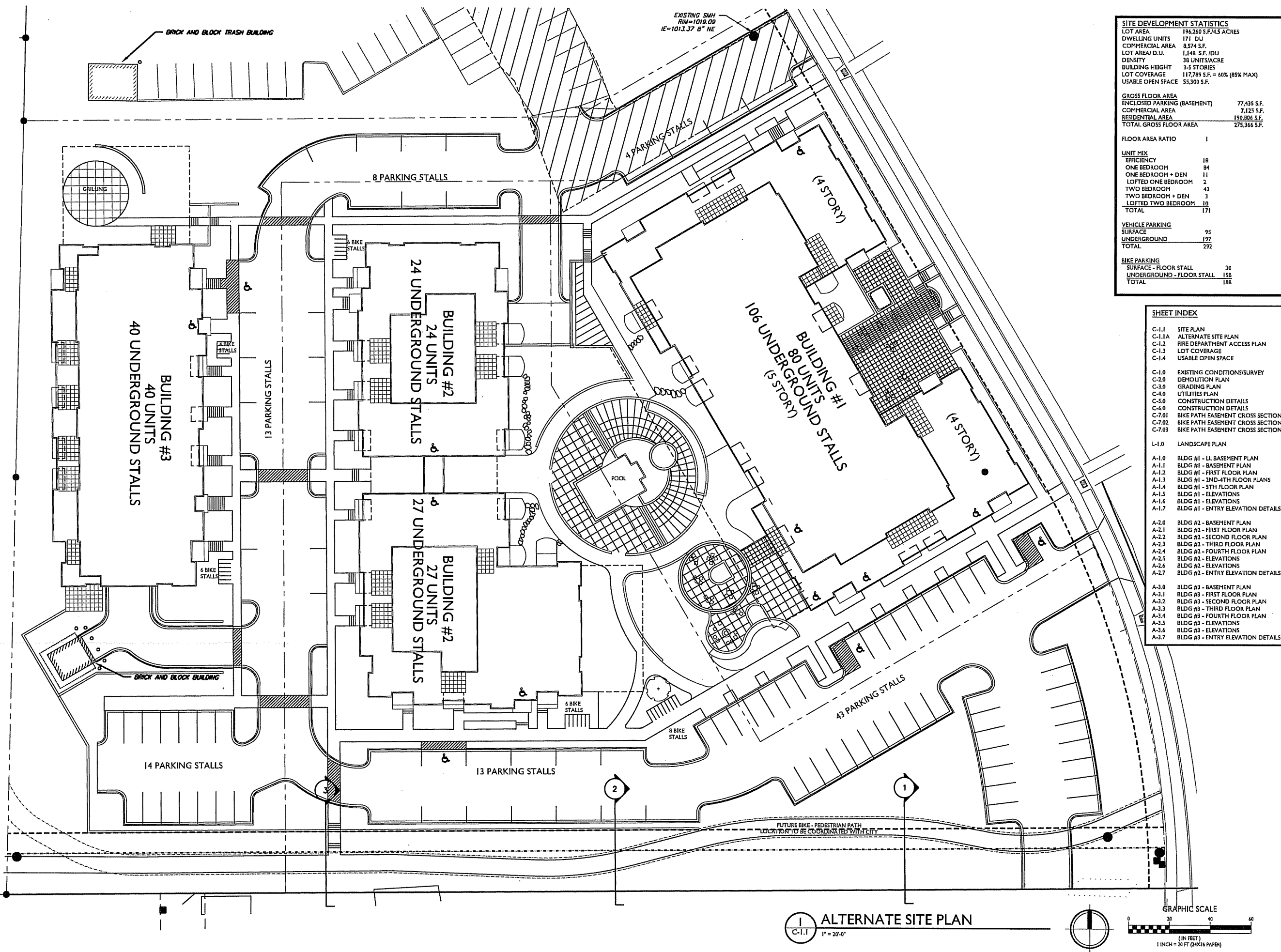
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Site Plan

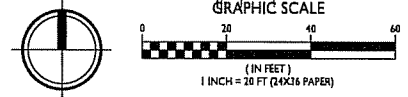
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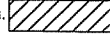
PROJECT NO. **1504**
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1 ALTERNATE SITE PLAN
C-1.1 1" = 20'-0"



LIMITED LIABILITY
 10/10/13.09
 E=1013.37 0° NE

1.  = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.
2. REQUIRED LENGTH OF AERIAL FIRE APPARATUS ACCESS ROAD SHOULD NOT BE LESS THAN 25% OF THE BUILDING PERIMETER. TOTAL BUILDING PERIMETER IS APPROXIMATELY 1,120 FEET. TOTAL REQUIRED LENGTH OF AERIAL FIRE APPARATUS ACCESS ROAD IS 280 FEET. PROVIDED LENGTH OF AERIAL FIRE APPARATUS ACCESS ROAD IS 548 FEET.

kb2
knothe + bruce
 ARCHITECTS
 Phone: 7601 University Ave, Ste 201
 608.936.3690 Middleton, WI 53562
 CONSULTANT

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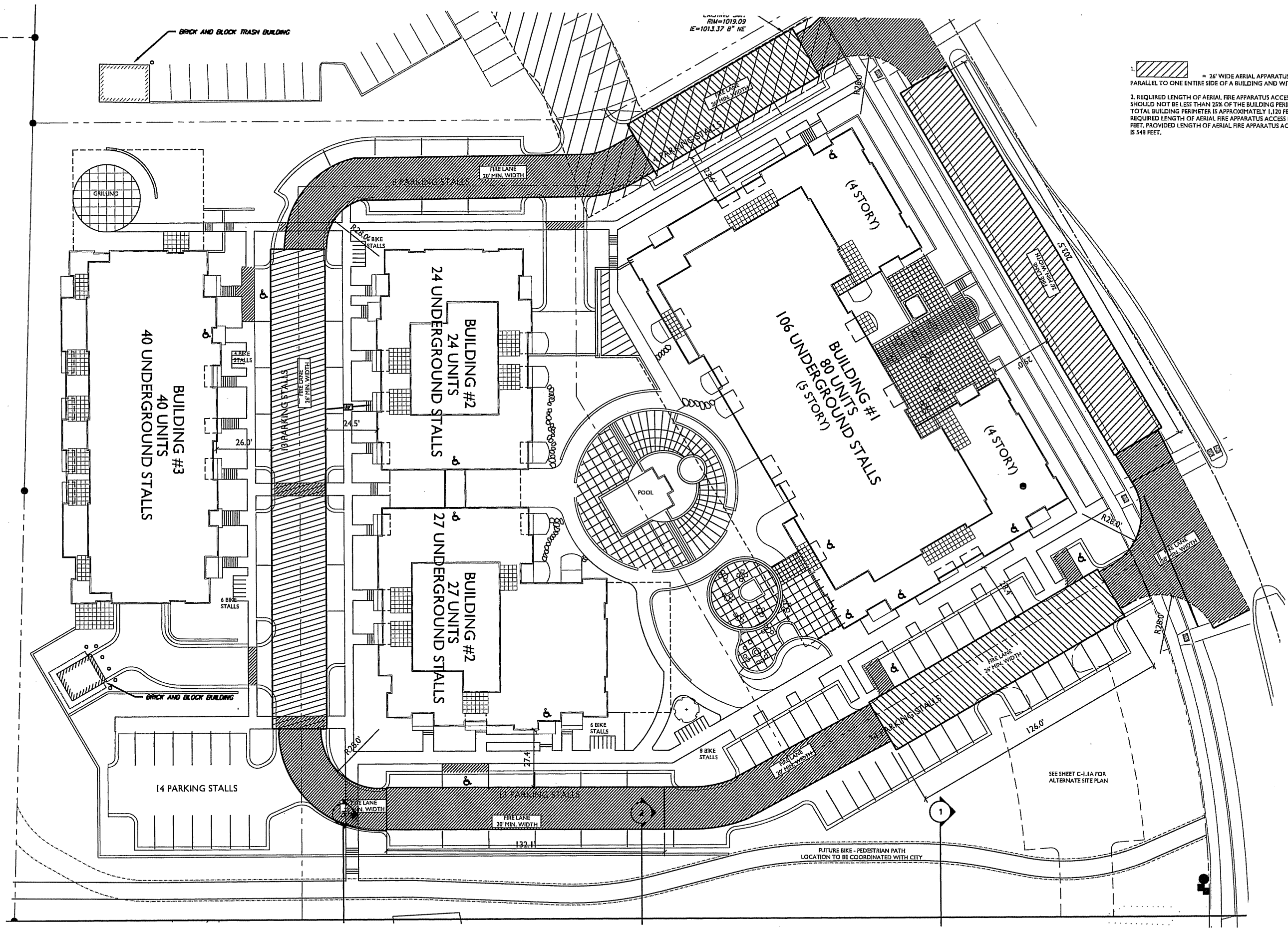
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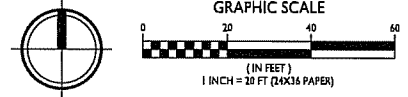
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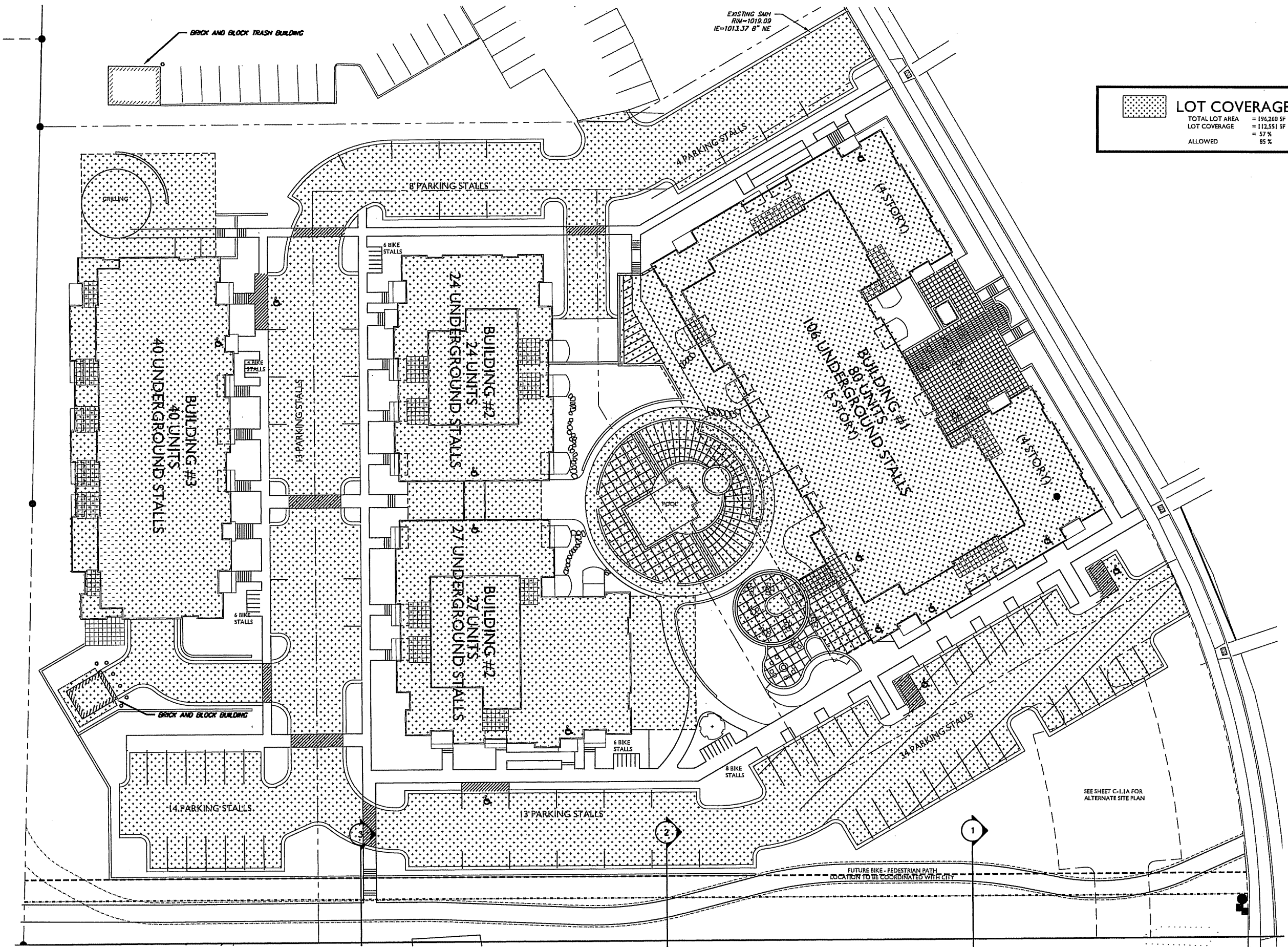
C-1.2

PROJECT NO. **1504**
 © 2013 Knothe & Bruce Architects, LLC



1 FIRE ACCESS PLAN
 C-1.2 1" = 20'-0"





EXISTING SWH
 RUM=1019.09
 IE=1013.37 8° NE

LOT COVERAGE	
TOTAL LOT AREA	= 196,260 SF
LOT COVERAGE	= 112,551 SF
	= 57%
ALLOWED	85%

K02
knothe & bruce
 ARCHITECTS
 Phone: 7601 University Ave, Ste 201
 608.836.3690 Middleton, WI 53562
 CONSULTANT

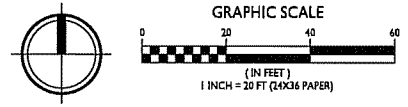
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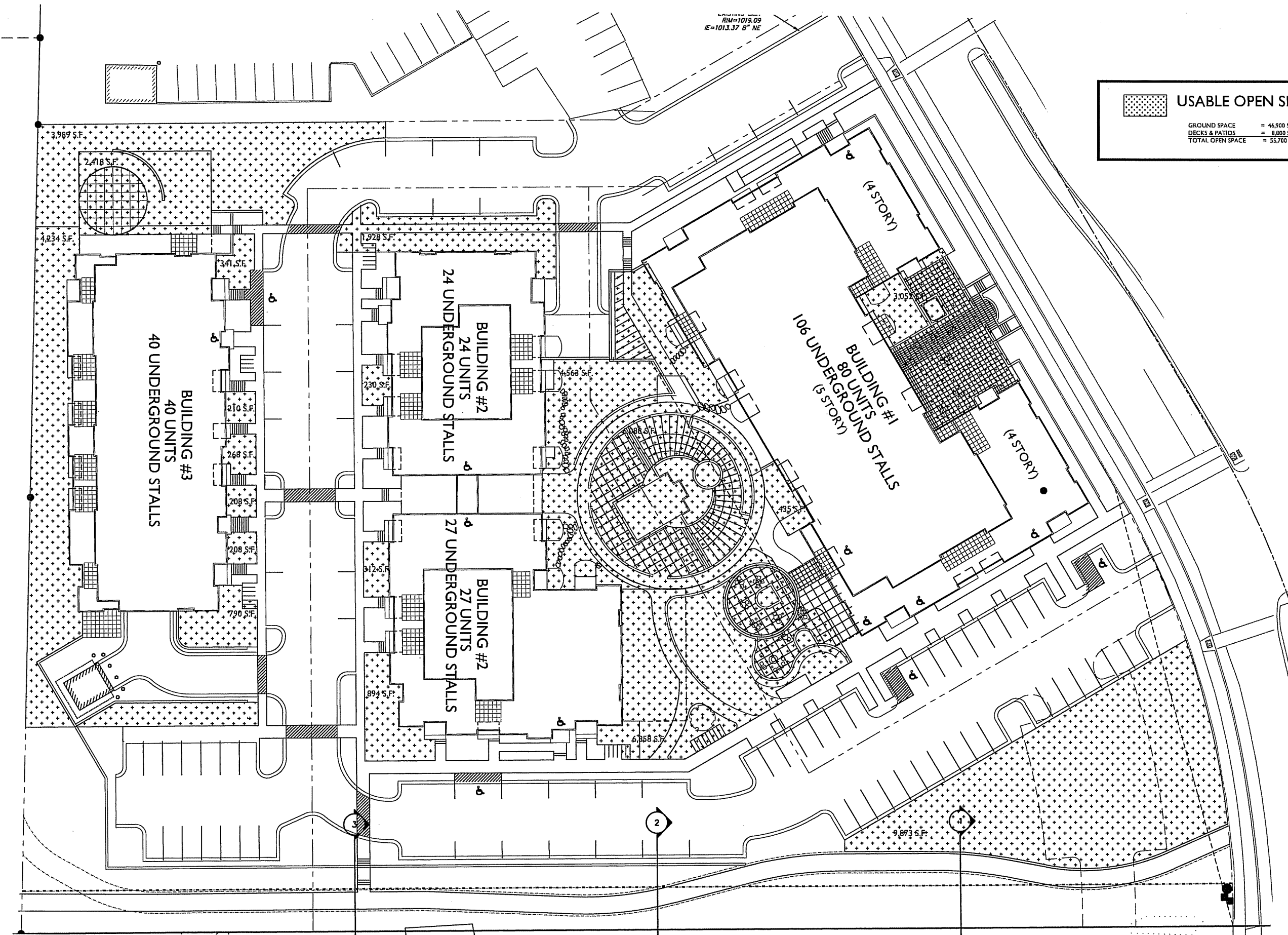
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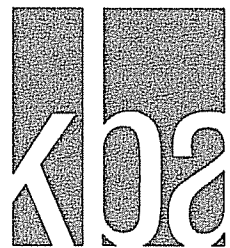
SHEET NUMBER
C-1.3
 PROJECT NO. **1504**
 © 2013 Knothe & Bruce Architects, LLC

1 LOT COVERAGE PLAN
 C-1.3 1" = 20'-0"





USABLE OPEN SPACE	
GROUND SPACE	= 46,900 SF
DECKS & PATIOS	= 8,800 SF
TOTAL OPEN SPACE	= 55,700 SF



knothe & bruce
ARCHITECTS
 Phone: 7601 University Ave, Ste 201
 608.836.3690 Middleton, WI 53562
 CONSULTANT

ISSUED
 Issued for Land Use - August 5, 2015
 Revised SIP - September 25, 2015

Revised - Month Day, Year
 Revised - Month Day, Year
 Revised - Month Day, Year
 Revised - Month Day, Year

PROJECT TITLE
518-542 Junction Rd.

Madison, WI
 SHEET TITLE
Site Plan

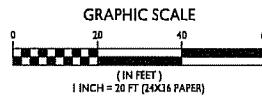
SHEET NUMBER

C-1.4

PROJECT NO. **1504**

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1 USABLE OPEN SPACE PLAN
 C-1.4 1" = 20'-0"



SURVEY LEGEND

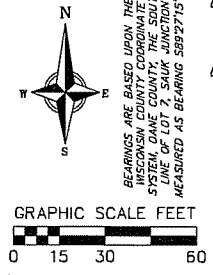
- ▲ FOUND P.K. NAIL
- FOUND 1 1/4" # IRON ROD
- FOUND 3/4" # IRON ROD

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING SIGN
- ▣ EXISTING CURB INLET
- ⌋ EXISTING ENDWALL
- ⊙ EXISTING FIELD INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING GAS VALVE
- ⊙ EXISTING ELECTRIC MANHOLE
- ⊙ EXISTING ELECTRIC PEDESTAL
- ⊙ EXISTING TRANSFORMER
- ☆ EXISTING LIGHT POLE
- ⊙ EXISTING TV PEDESTAL
- ⊙ EXISTING TELEPHONE MANHOLE
- ⊙ EXISTING TELEPHONE PEDESTAL
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING SHRUB
- ⊙ EXISTING CONIFEROUS TREE
- ⊙ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINWORK LEGEND

- UT — UT — EXISTING UNDERGROUND CABLE TV
- FO — FO — EXISTING FIBER OPTIC LINE
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- — — EXISTING RETAINING WALL
- — — EXISTING WOOD FENCE
- G — G — EXISTING GAS LINE
- UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
- SAH — SAH — EXISTING SANITARY SEWER LINE
- ST — ST — EXISTING STORM SEWER LINE
- — — EXISTING EDGE OF TREES
- WH — WH — EXISTING WATER MAIN
- 820 — 820 — EXISTING MAJOR CONTOUR
- 815 — 815 — EXISTING MINOR CONTOUR



PREPARED FOR:
LZ Ventures
5603 Surrey Lane
Wauwatosa, WI 53597

PREPARED BY:
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By: Michael S. Marty
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(608) 821-3955
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vierbicher
planners | engineers | advisors

REEDSBURG - MADISON - WAUNUKA
999 Fourier Drive, Suite 201
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Phone: (608) 821-3955 Fax: (608) 821-3956

Existing Conditions
510 Junction Road
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS
1	9/25/15	Rev. SP	

SCALE AS SHOWN

DATE 9/25/2015

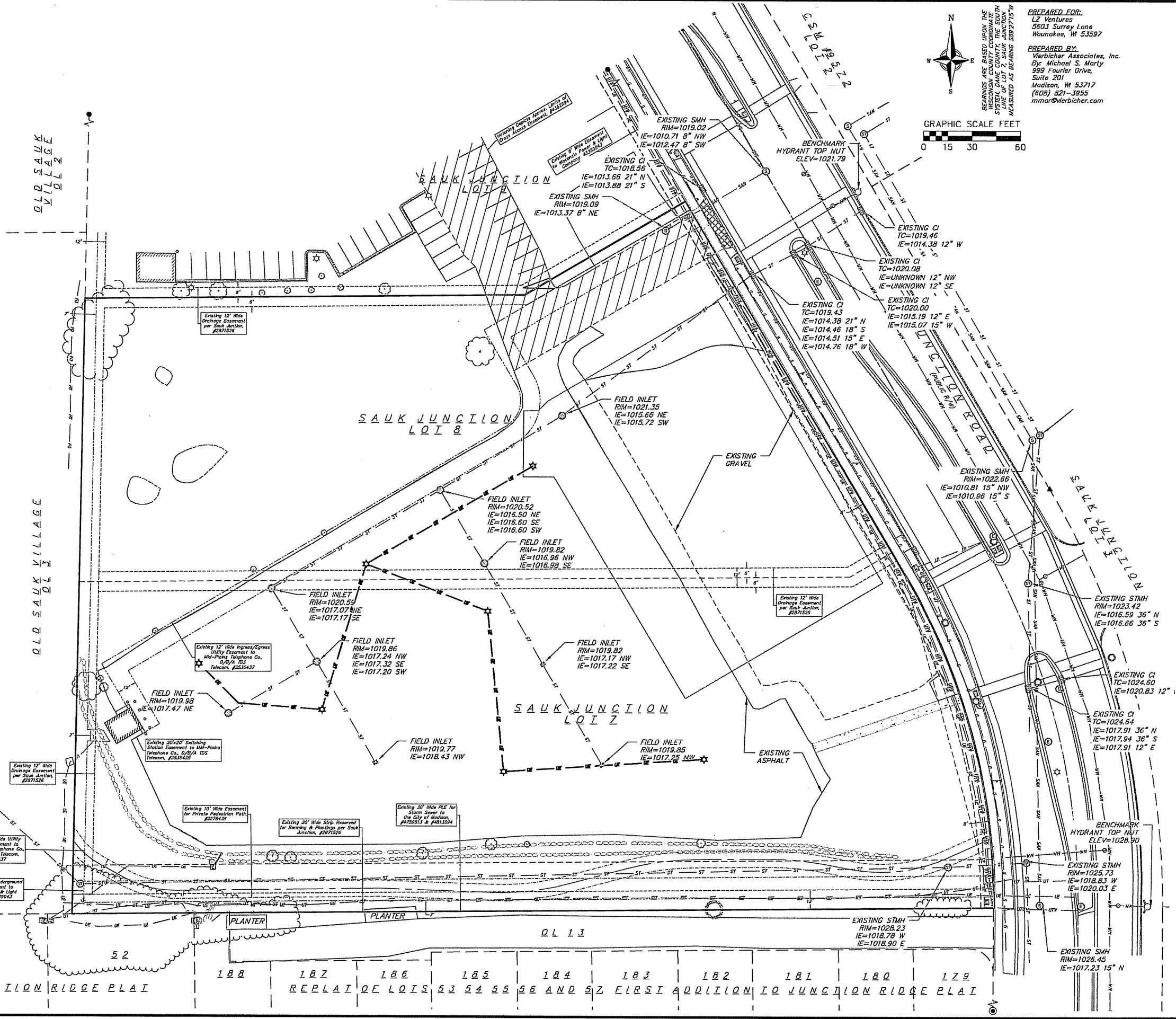
DRAFTER CGUY

CHECKED JDOY

PROJECT NO. 150054

SHEET 1 OF 6





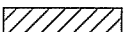
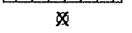
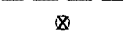
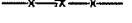

DWG. NO. C-1.0



50 51 52 188 187 186 185 184 183 182 181 180 179

FIRST ADDITION TO JUNCTION RIDGE PLAT REPLAT OF LOTS 53 54 55 56 AND 57 FIRST ADDITION TO JUNCTION RIDGE PLAT

DEMOLITION PLAN LEGEND

-  CURB AND GUTTER REMOVAL
-  ASPHALT REMOVAL
-  CONCRETE REMOVAL
-  GRAVEL REMOVAL
-  BUILDING REMOVAL
-  TREE REMOVAL
-  SAWCUT
-  UTILITY STRUCTURE REMOVAL
-  UTILITY LINE REMOVAL

SURVEY LEGEND

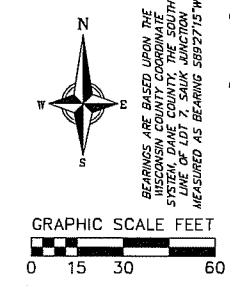
- ▲ FOUND P.K. NAIL
- ⊙ FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- ⌚ EXISTING SIGN
- ⌚ EXISTING CURB INLET
- ⌚ EXISTING ENDWALL
- ⌚ EXISTING FIELD INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
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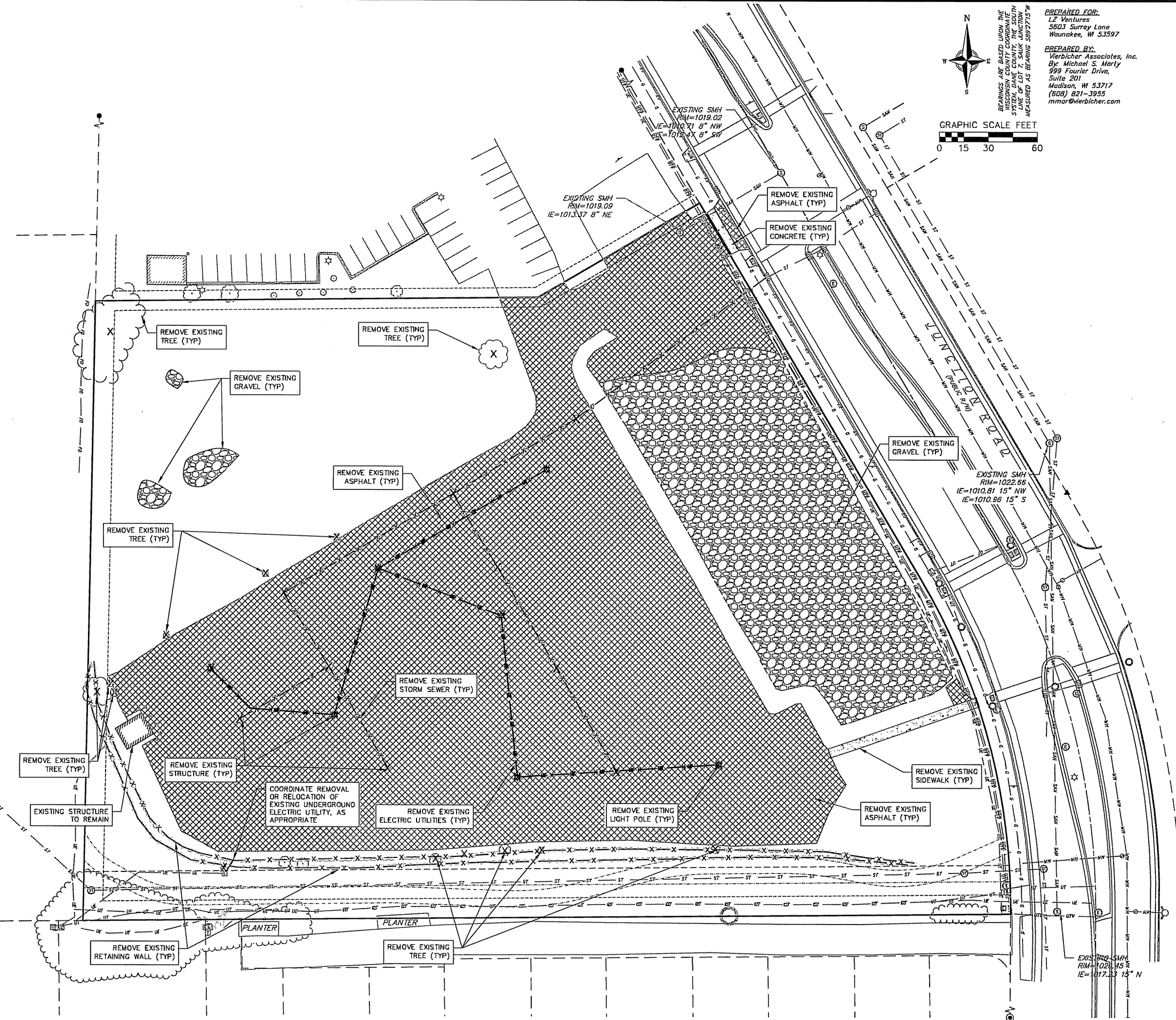
TOPOGRAPHIC LINEWORK LEGEND

- UTV— EXISTING UNDERGROUND CABLE TV
- FO— EXISTING FIBER OPTIC LINE
- UT— EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING WOOD FENCE
- G— EXISTING GAS LINE
- LE— EXISTING UNDERGROUND ELECTRIC LINE
- SAM— EXISTING SANITARY SEWER LINE
- ST— EXISTING STORM SEWER LINE
- WH— EXISTING EDGE OF TREES
- WH— EXISTING WATER MAIN
- 820— EXISTING MAJOR CONTOUR
- 815— EXISTING MINOR CONTOUR



PREPARED FOR:
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Waukegan, WI 53597

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Demolition Plan
510 Junction Road
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS
1	9/25/15	Rev. SP	

SCALE AS SHOWN

DATE: 9/25/2015

DRAFTER: CGUY

CHECKED: JDOY

PROJECT NO.: 150054

SHEET: 2 OF 6

DWG. NO.: C-2.0

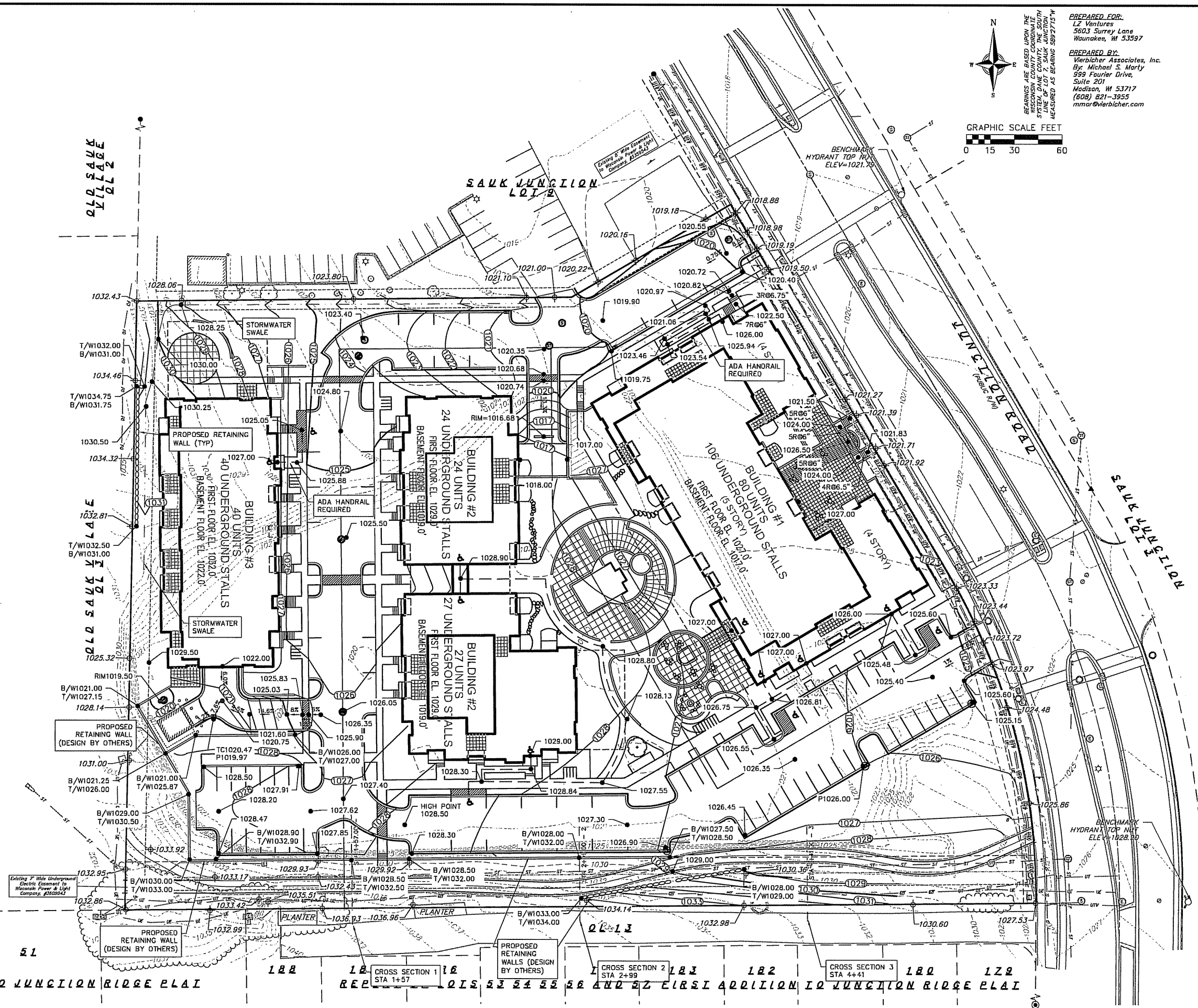
- GRADING LEGEND**
- 820 --- EXISTING MAJOR CONTOURS
 - 818 --- EXISTING MINOR CONTOURS
 - 820 --- PROPOSED MAJOR CONTOURS
 - 818 --- PROPOSED MINOR CONTOURS
 - - - - - DITCH CENTERLINE
 - - - - - SILT FENCE
 - - - - - DISTURBED LIMITS
 - - - - - BERM
 - DRAINAGE DIRECTION
 - 2.92% PROPOSED SLOPE ARROWS
 - 1048.61 EXISTING SPOT ELEVATIONS
 - 1048.61 PROPOSED SPOT ELEVATIONS
 - STONE WEEPER
 - VELOCITY CHECK
 - INLET PROTECTION
 - EROSION MAT CLASS
 - EROSION MAT CLASS
 - TRACKING PAD
 - RIP RAP

GRAPHIC SCALE FEET
0 15 30 60

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BEARINGS ARE BASED UPON THE
REDSBURG - MADISON - PRAIRIE DU CHIEN
SYSTEM, DANE COUNTY, THE SOUTH
LINE OF LOT 7, SAUK JUNCTION
MEASURED AS BEARING S89°27'15" W



vierbicher
planners | engineers | advisors

REDSBURG - MADISON - PRAIRIE DU CHIEN
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Grading Plan
510 Junction Road
City of Madison
Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS
1	9/25/15	Rev. 5P	

SCALE AS SHOWN

DATE 9/25/2015

DRAFTER CGUY/JEL

CHECKED JEDDY

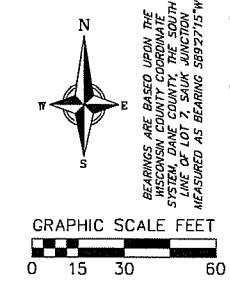
PROJECT NO. 150054

SHEET 3 OF 6

DWG. NO. C-3.0

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183 CROSS SECTION 2 STA 2+99
180 CROSS SECTION 3 STA 4+41

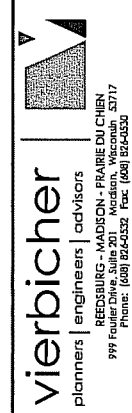
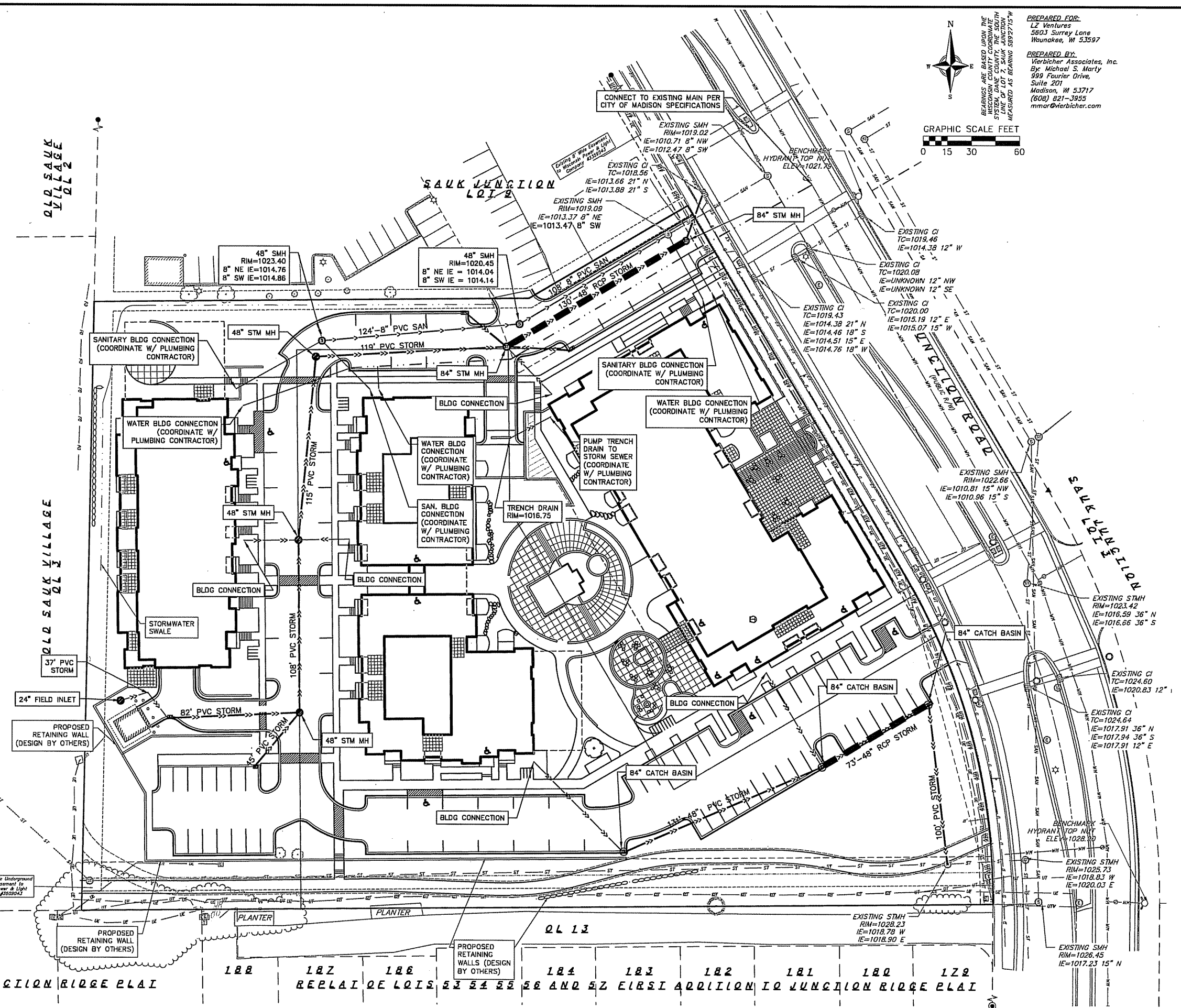
- PROPOSED UTILITY LEGEND**
- S STORM SEWER PIPE
 - ⊕ S STORM SEWER MANHOLE
 - ⊕ S STORM SEWER CURB INLET
 - ⊕ S STORM SEWER CURB INLET W/MANHOLE
 - ⊕ S STORM SEWER FIELD INLET
 - S SANITARY SEWER PIPE (GRAVITY)
 - S SANITARY SEWER LATERAL PIPE
 - ⊕ S SANITARY SEWER MANHOLE
 - S WATER MAIN
 - S WATER SERVICE LATERAL PIPE
 - S GAS MAIN
 - S ELECTRIC SERVICE



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BEARINGS ARE BASED UPON THE SYSTEM, DANE COUNTY, THE SOUTH LINE OF LOT 7, SAUK JUNCTION MEASURED AS BEARING S89°27'15" W



Utilities Plan
510 Junction Road
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS
	1	9/25/15	Rev. SP

SCALE AS SHOWN

DATE: 9/25/2015

DRAFTER: CGUY/JEL

CHECKED: JDDY

PROJECT NO.: 150054

SHEET: 4 OF 6

DWG. NO.: C-4.0

50 51 188 187 186 184 183 182 181 180 179

FIRST ADDITION TO JUNCTION RIDGE PLAZA AND 52 FIRST ADDITION TO JUNCTION RIDGE PLAZA

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- STRIP TOPSOIL-DETENTION BASINS
- ROUGH GRADE DETENTION BASINS
- SEED DETENTION BASINS
- STRIP TOPSOIL-STREETS & LOTS.
- ROUGH GRADE STREETS & LOTS
- SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION
- CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
- RESTORE TERRACES
- REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

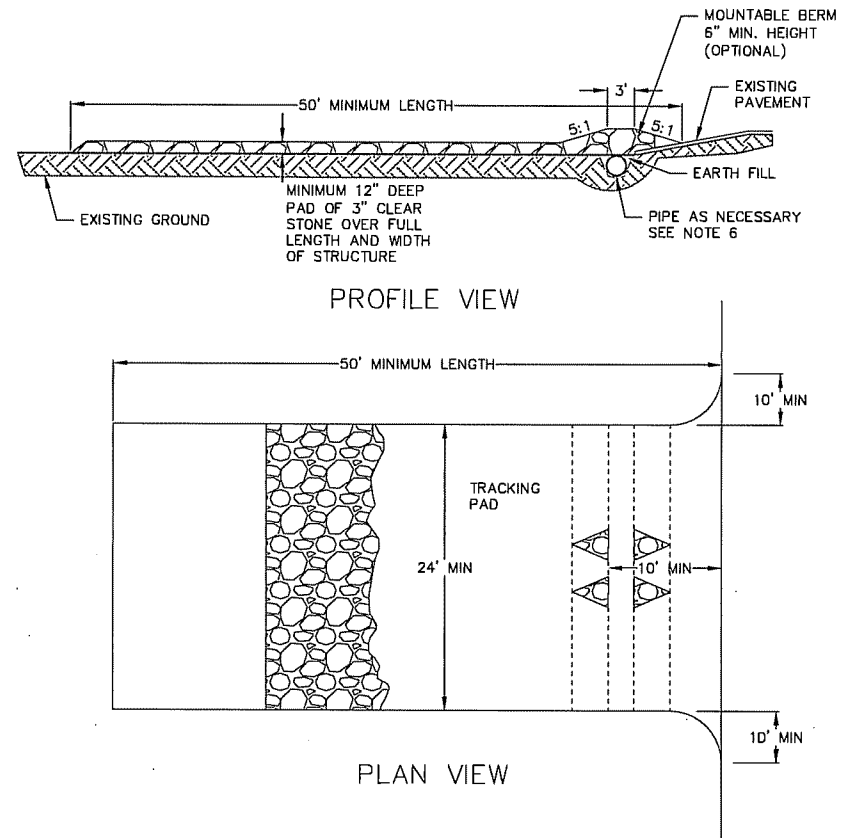
TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

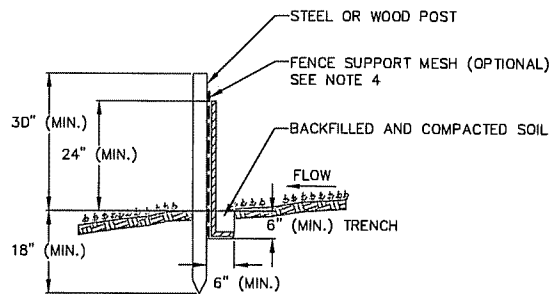


- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD
5 NOT TO SCALE

NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH



2 SILT FENCE
5 NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS
1	9/25/15	Rev. SP	

SCALE AS SHOWN

DATE: 9/25/2015

DRAFTER: CGUY

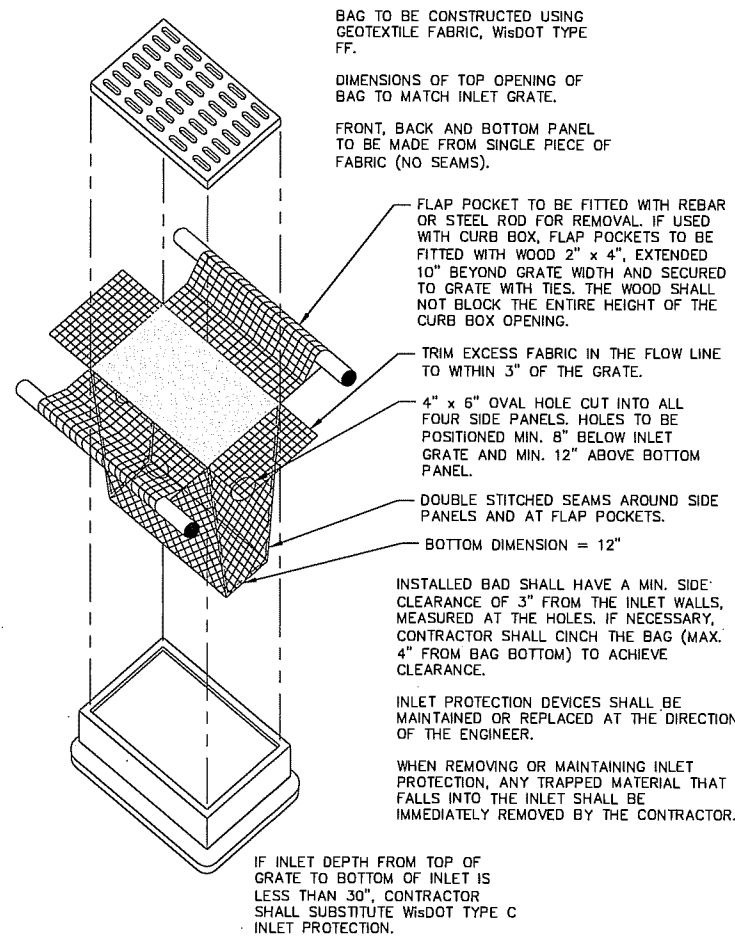
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PROJECT NO.: 150054

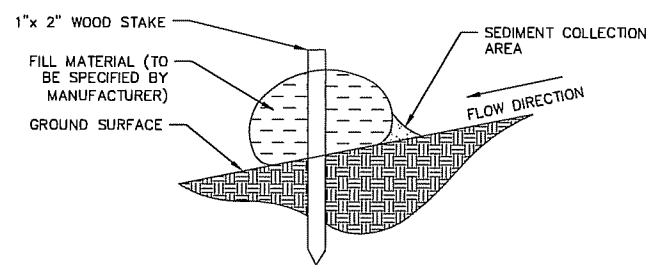
SHEET: 5 OF 6

DWG. NO.: C-5.0

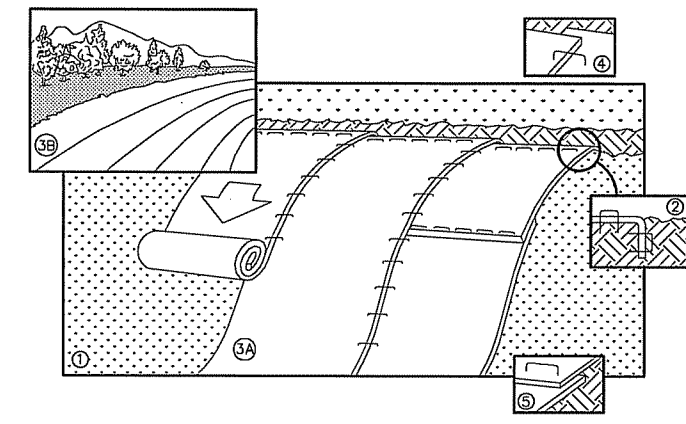
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1
6 INLET PROTECTION TYPE D
NOT TO SCALE



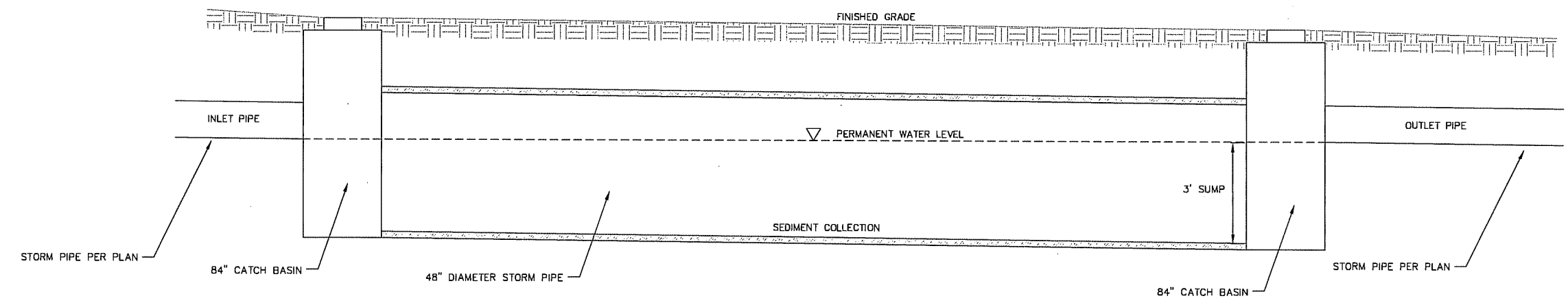
2
6 SILT SOCK
NOT TO SCALE



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

3
6 EROSION MAT
NOT TO SCALE



4
6 UNDERGROUND STORMWATER FACILITY DETAIL
NOT TO SCALE

25 Sep 2015 - 9:44a M:\12 Ventures\150054_510 Junction Road\CA\DD\150054_Base.dwg by: jlel

REVISIONS	NO.	DATE	REMARKS
1	9/25/15	Rev. SP	

SCALE AS SHOWN

DATE 9/25/2015

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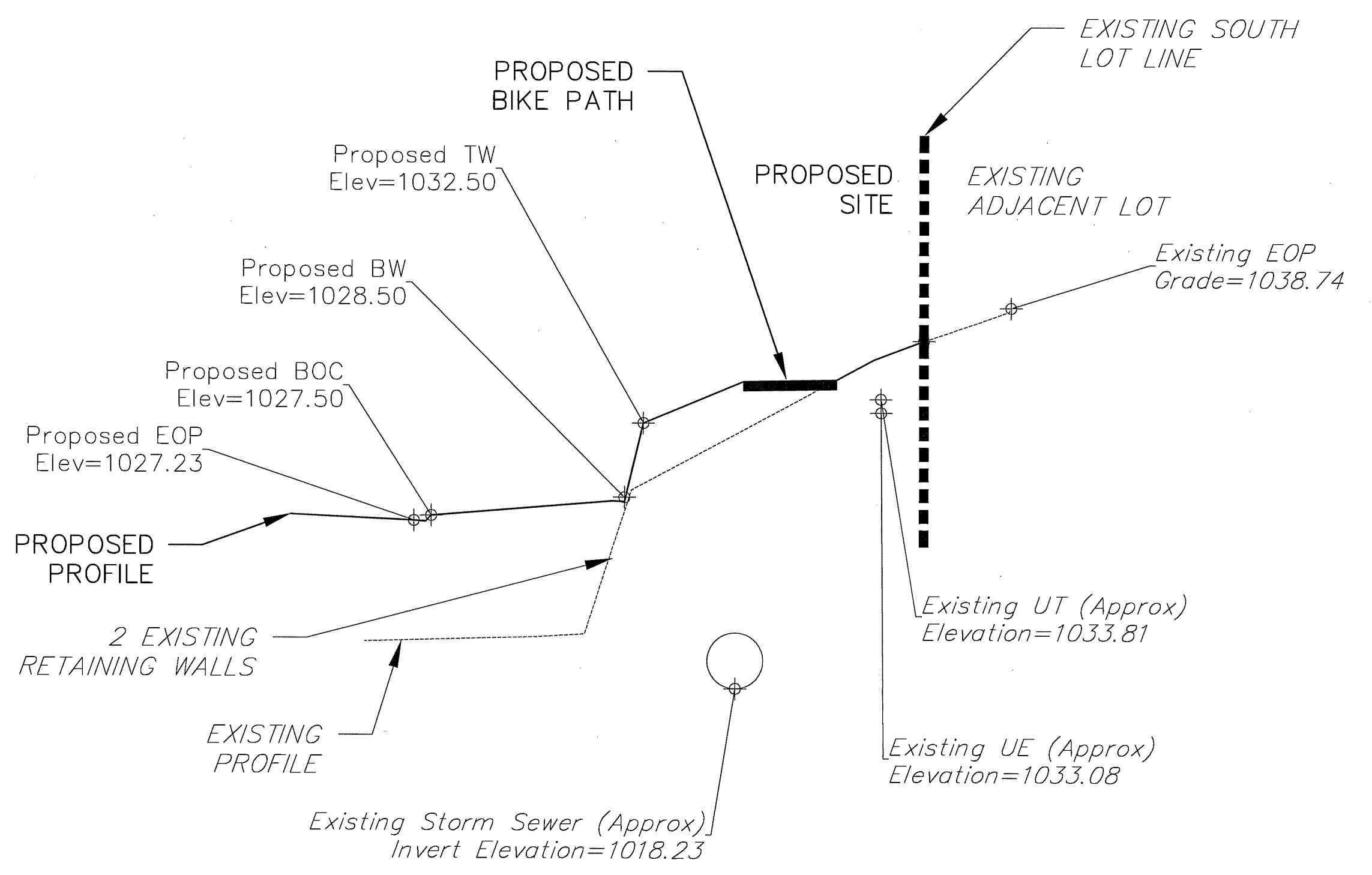
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PROJECT NO. 150054

SHEET 6 OF 6

DWG. NO. C-6.0

STA 1+57



Bike Path Easement Cross Section 1

510 Junction Road
 City of Madison
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS
1	9/25/15	Rev. 5P	

SCALE AS SHOWN

DATE 9/15/2015

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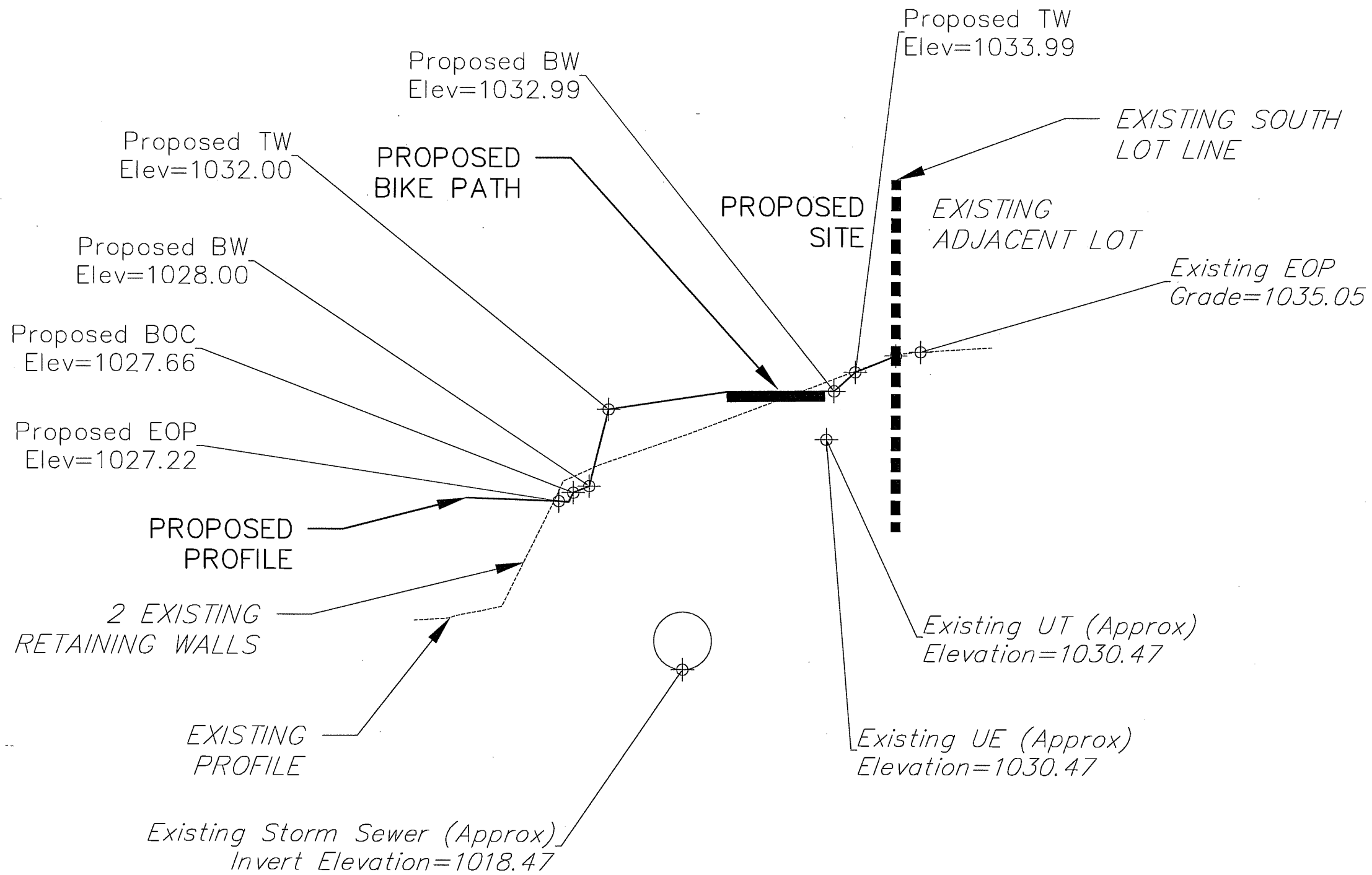
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PROJECT NO. 150054

SHEET 1 OF 3

DWG. NO. C-7.01

STA 2+99



REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
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SCALE AS SHOWN

DATE 9/15/2015

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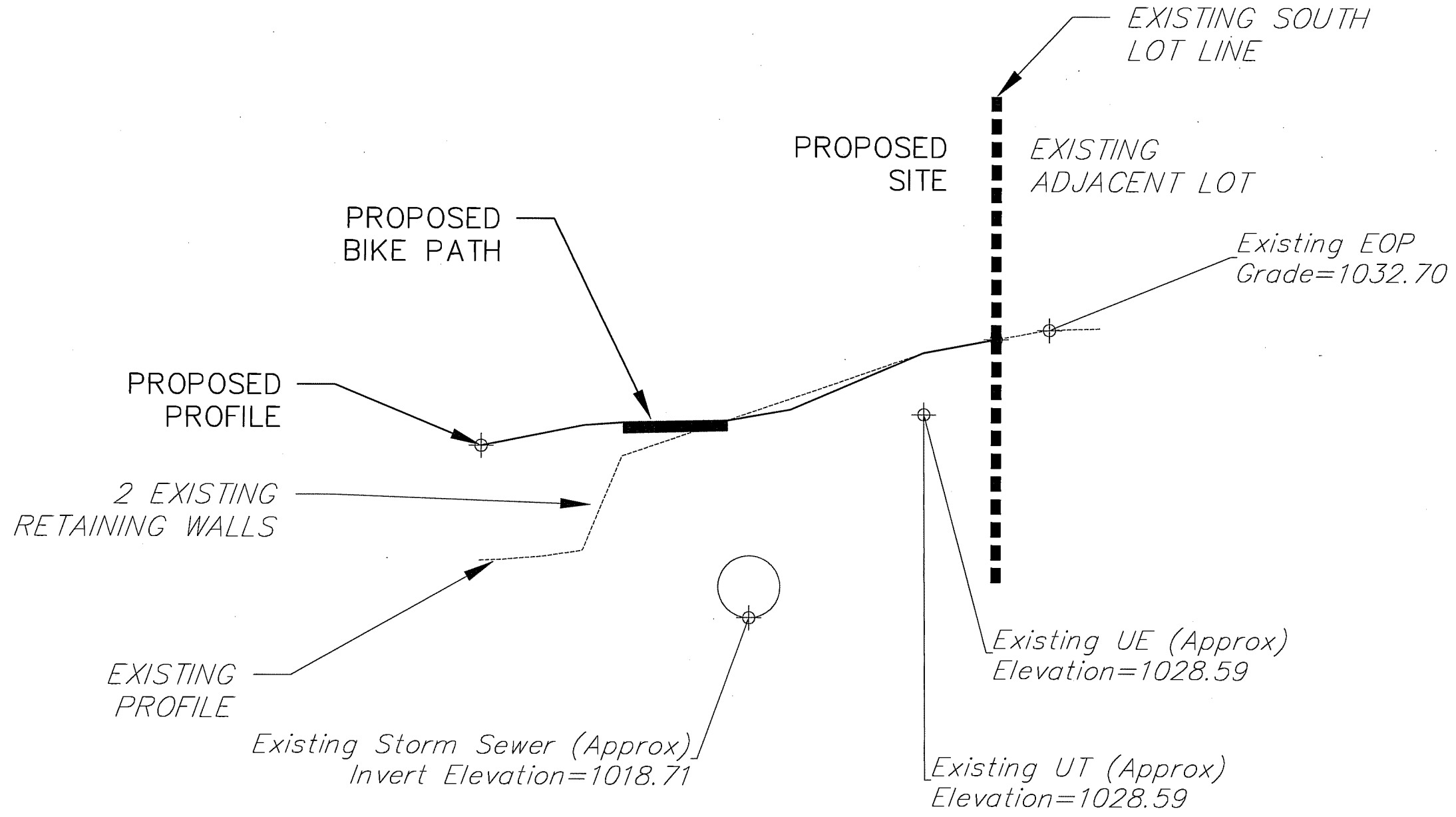
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PROJECT NO. 150054

SHEET 2 OF 3

DWG. NO. C-7.02

STA 4+41



REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	9/23/15		

REMARKS
Rev. SIF

SCALE
AS SHOWN

DATE
9/15/2015

DRAFTER
JFEL

CHECKED
RKOL

PROJECT NO.
150054

SHEET
3 OF 3

DWG. NO.
C-7.03



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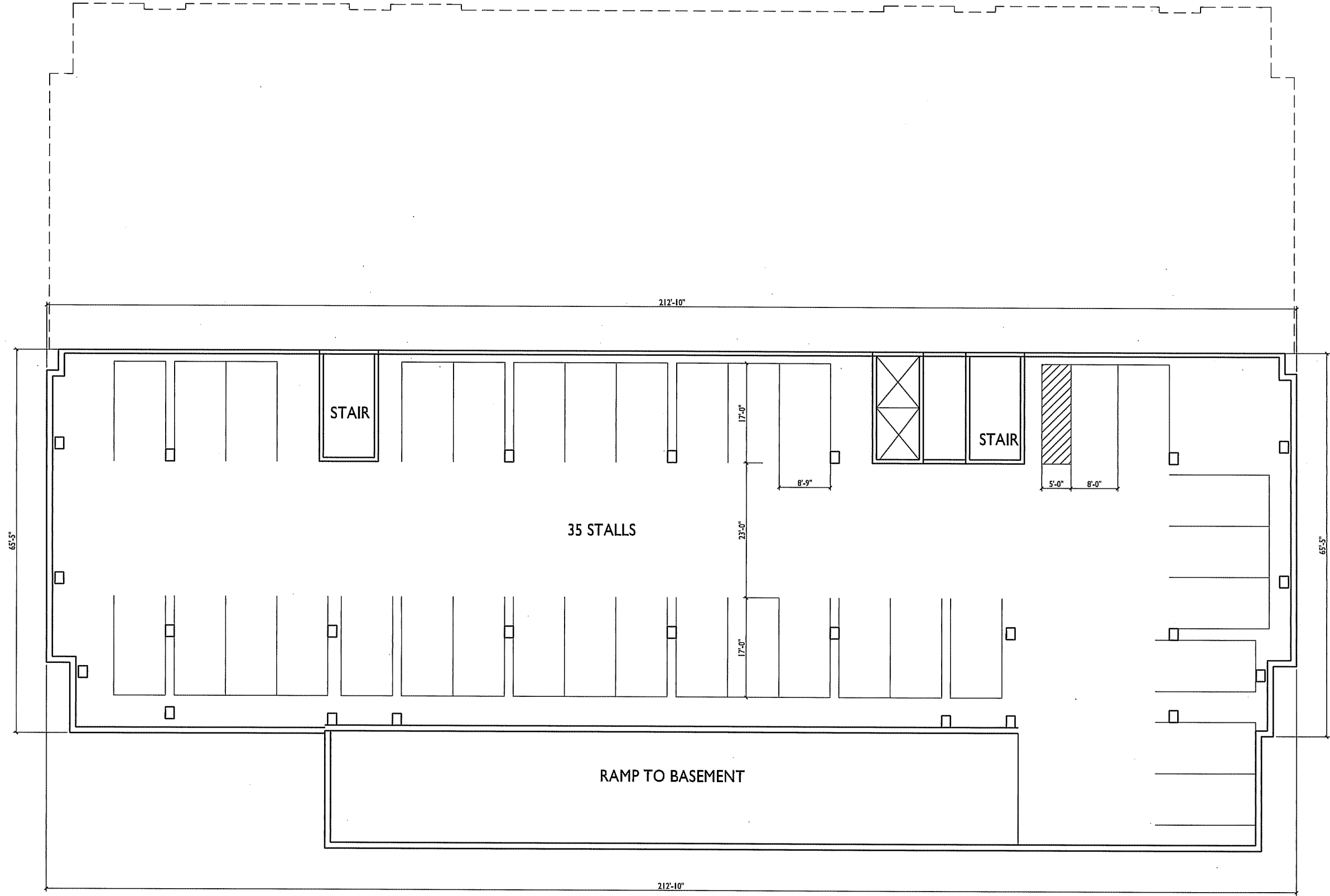
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 518-542 Junction Rd.

Madison, WI
 SHEET TITLE
 Floor Plans

BUILDING #1
 SHEET NUMBER

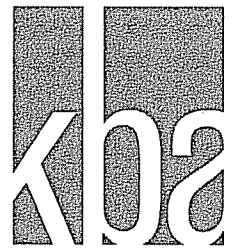
A-1.0

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1 LOWER LEVEL BASEMENT PLAN
 A-1.0 1/16"=1'-0"





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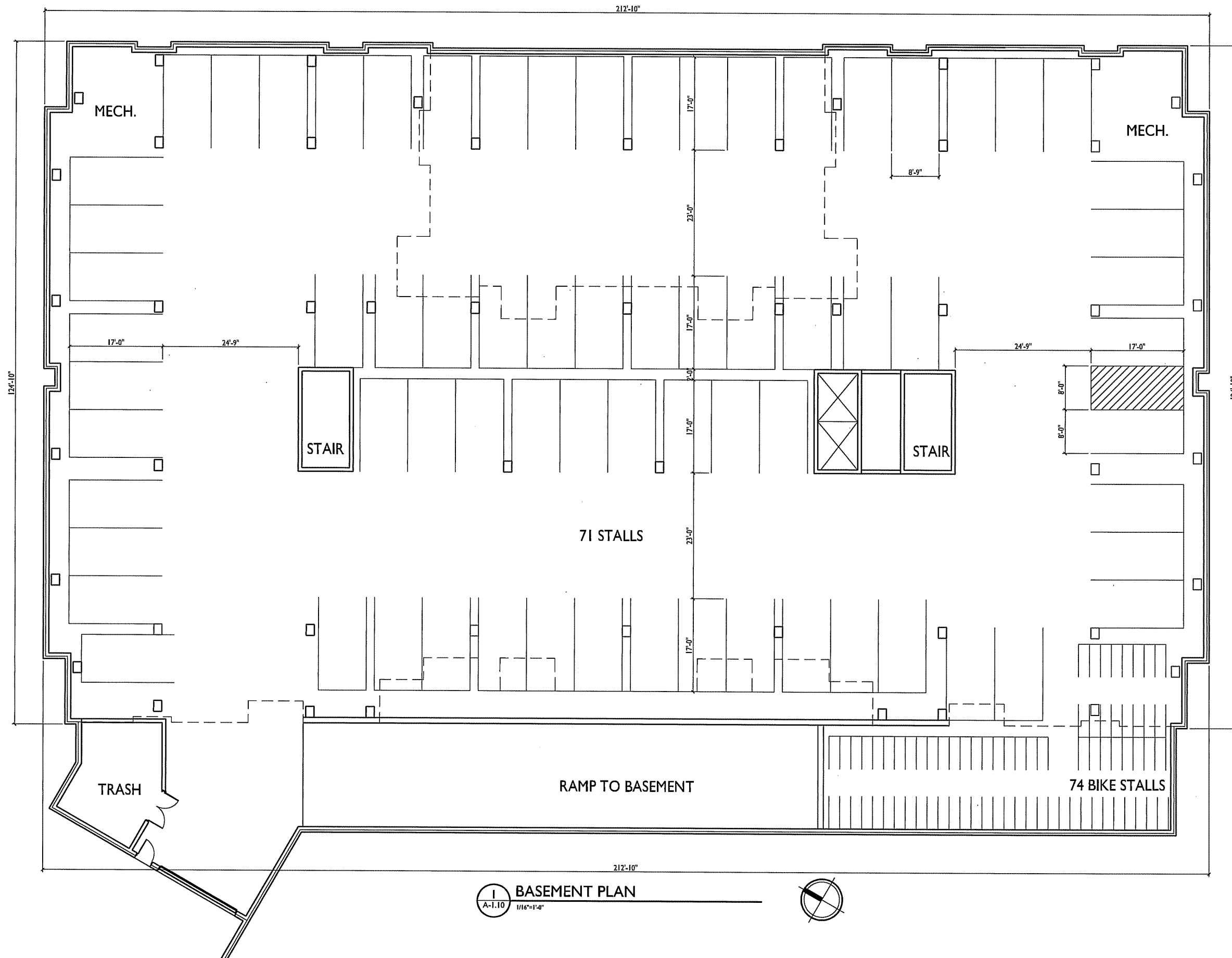
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518-542 Junction Rd.

Madison, WI
SHEET TITLE
Floor Plans

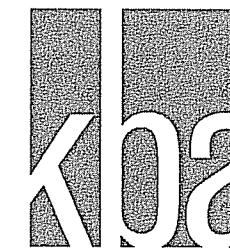
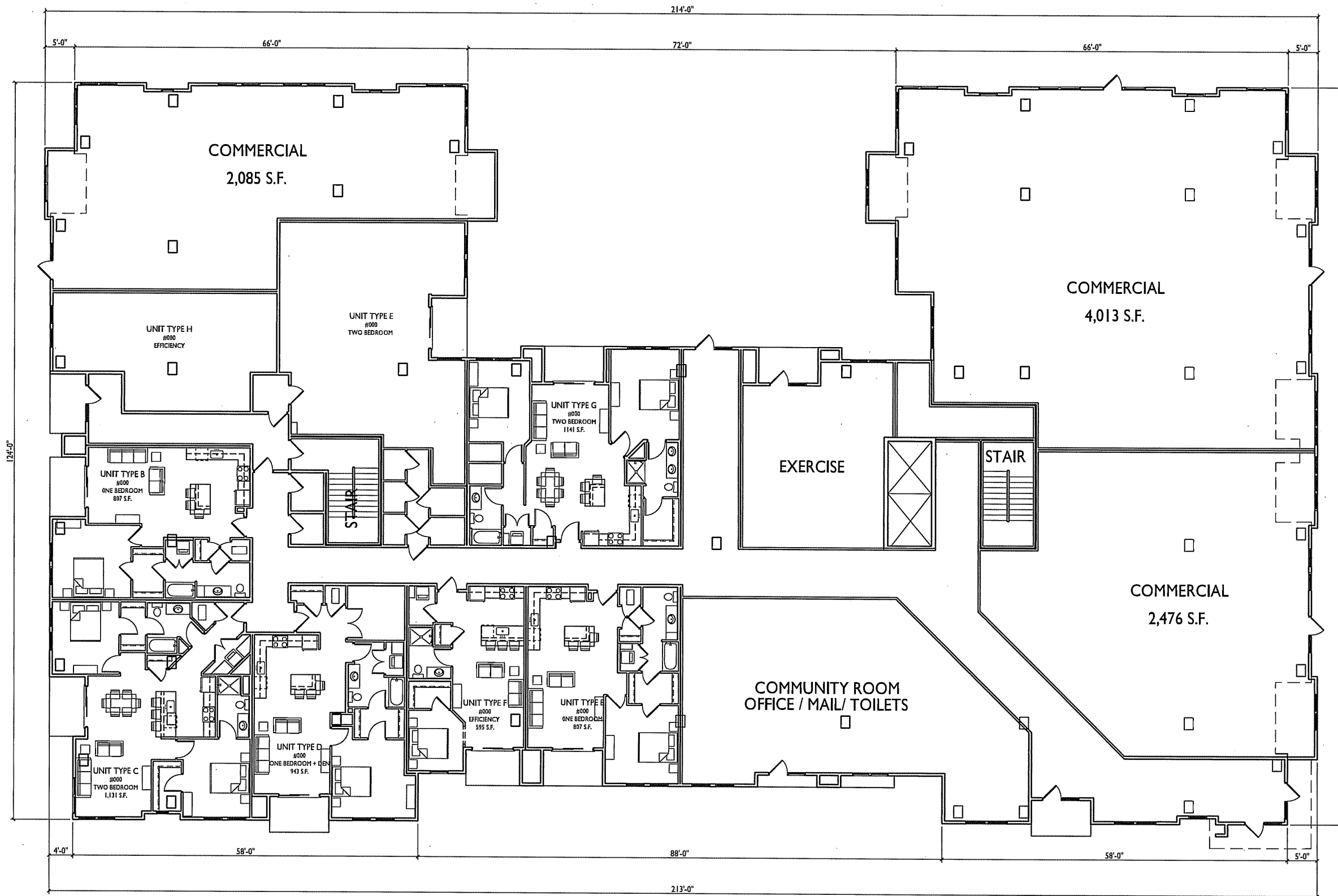
BUILDING #1
SHEET NUMBER

A-1.1

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1 BASEMENT PLAN
A-1.10 1/16"=1'-0"



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PROJECT TITLE
518-542 Junction Rd.

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SHEET TITLE
Floor Plans

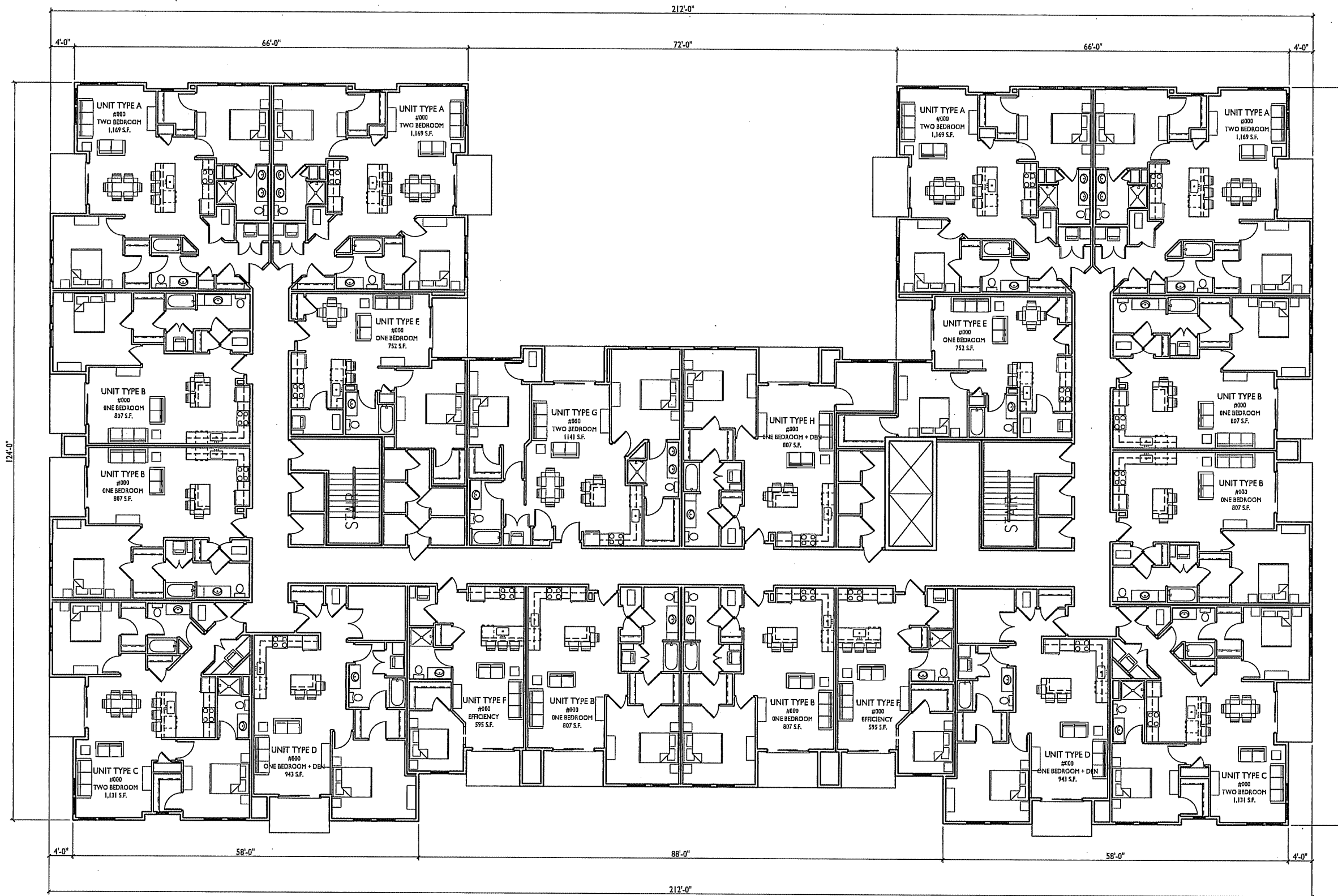
BUILDING #1
SHEET NUMBER

A-1.2

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1 FIRST FLOOR PLAN
A-1.10 1/16"=1'-0"





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PROJECT TITLE
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Madison, WI
 SHEET TITLE
 Floor Plans

BUILDING #1
 SHEET NUMBER

A-1.3

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1 SECOND-FOURTH FLOOR PLAN
 A-1.10 1/16"=1'-0"



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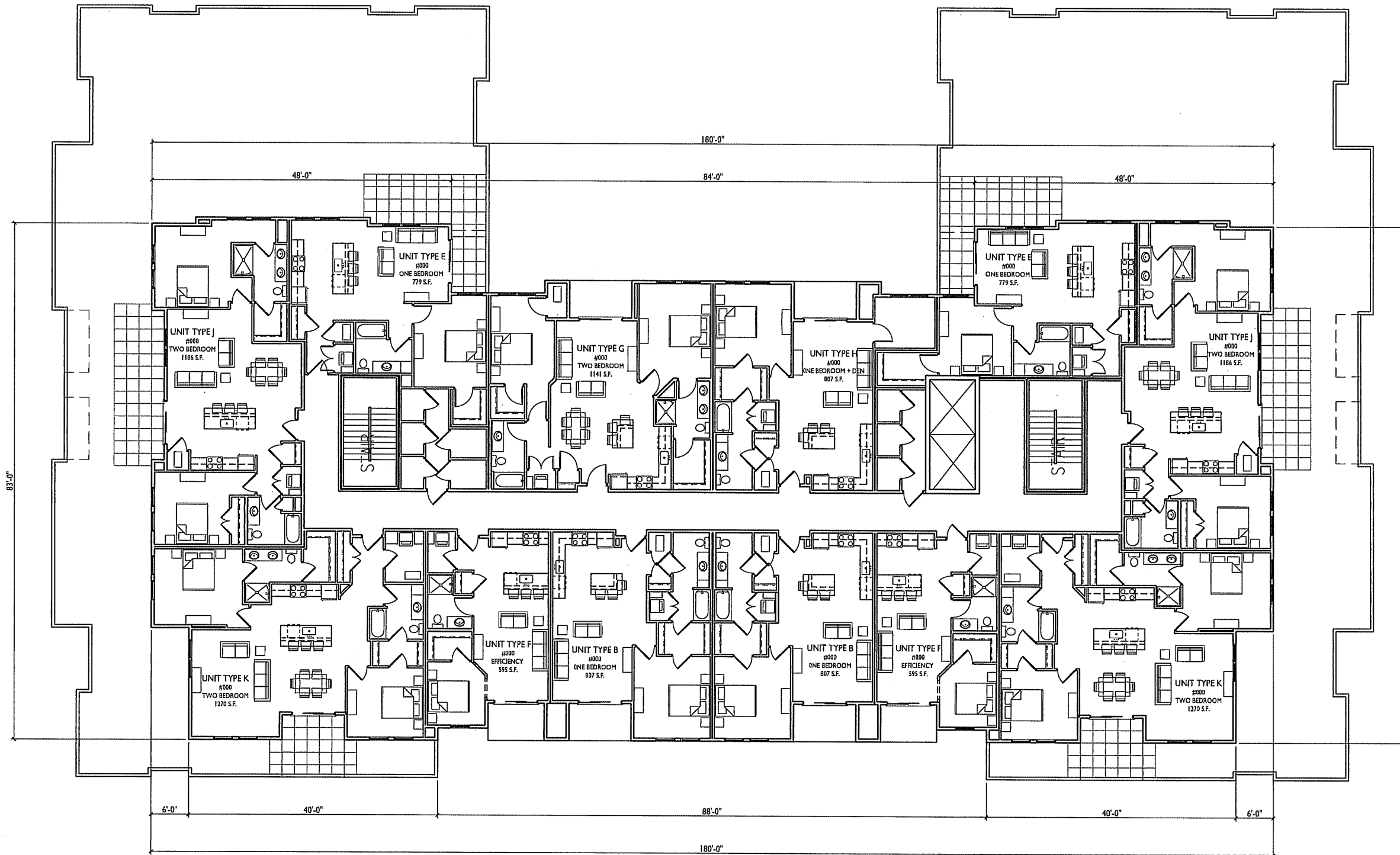
PROJECT TITLE
 518-542 Junction Rd.

Madison, WI
 SHEET TITLE
 Floor Plans

BUILDING #1
 SHEET NUMBER

A-1.4

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FIFTH FLOOR PLAN
 A-1.10 1/16"=1'-0"





1 WEST ELEVATION
 A-1.5 1/8"=1'-0"



2 EAST ELEVATION
 A-1.5 1/8"=1'-0"

ISSUED
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PROJECT TITLE
 518-542 Junction Rd.

Madison, WI
 SHEET TITLE
 Exterior Elevations

BUILDING #1
 SHEET NUMBER

A-1.5



1 NORTH ELEVATION
 A-1.6 1/8"=1'-0"



2 SOUTH ELEVATION
 A-1.6 1/8"=1'-0"

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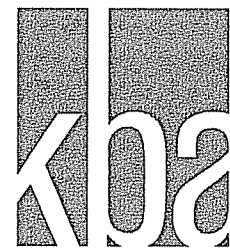
PROJECT TITLE
 518-542 Junction Rd.

Madison, WI
 SHEET TITLE
 Exterior Elevations

BUILDING #
 SHEET NUMBER

A-1.6

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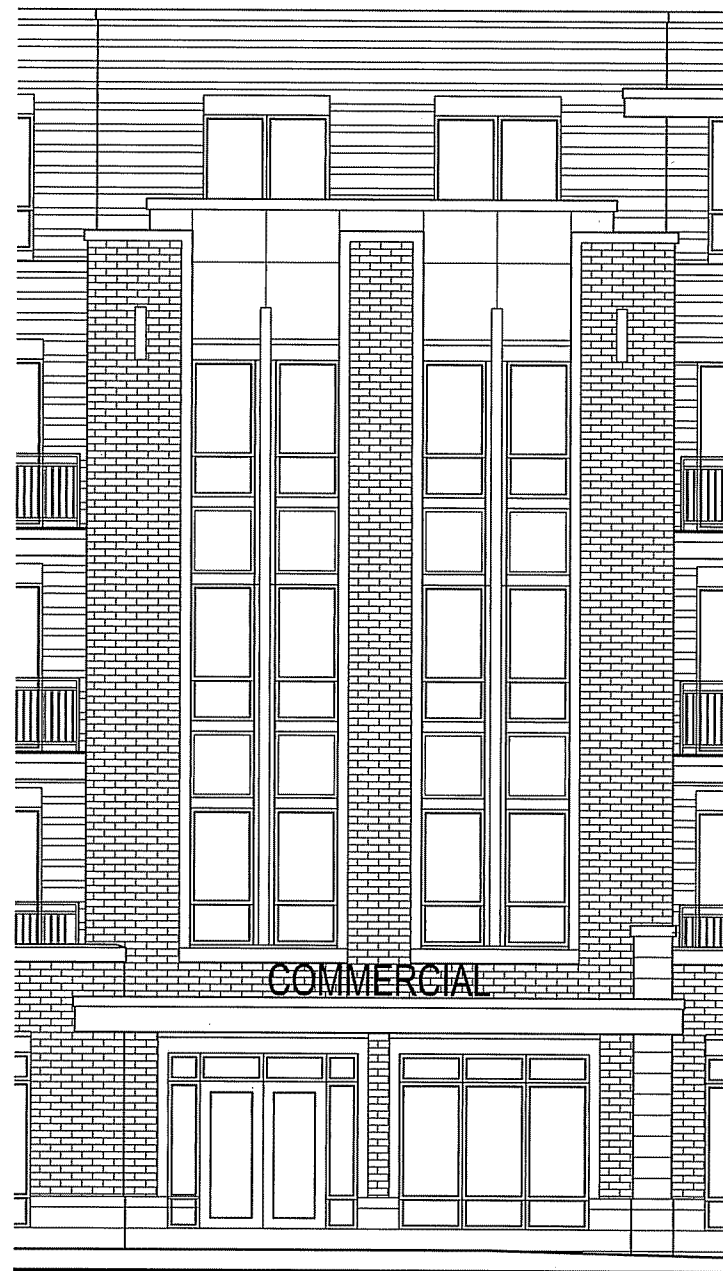
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Madison, WI
SHEET TITLE
Exterior
Elevations

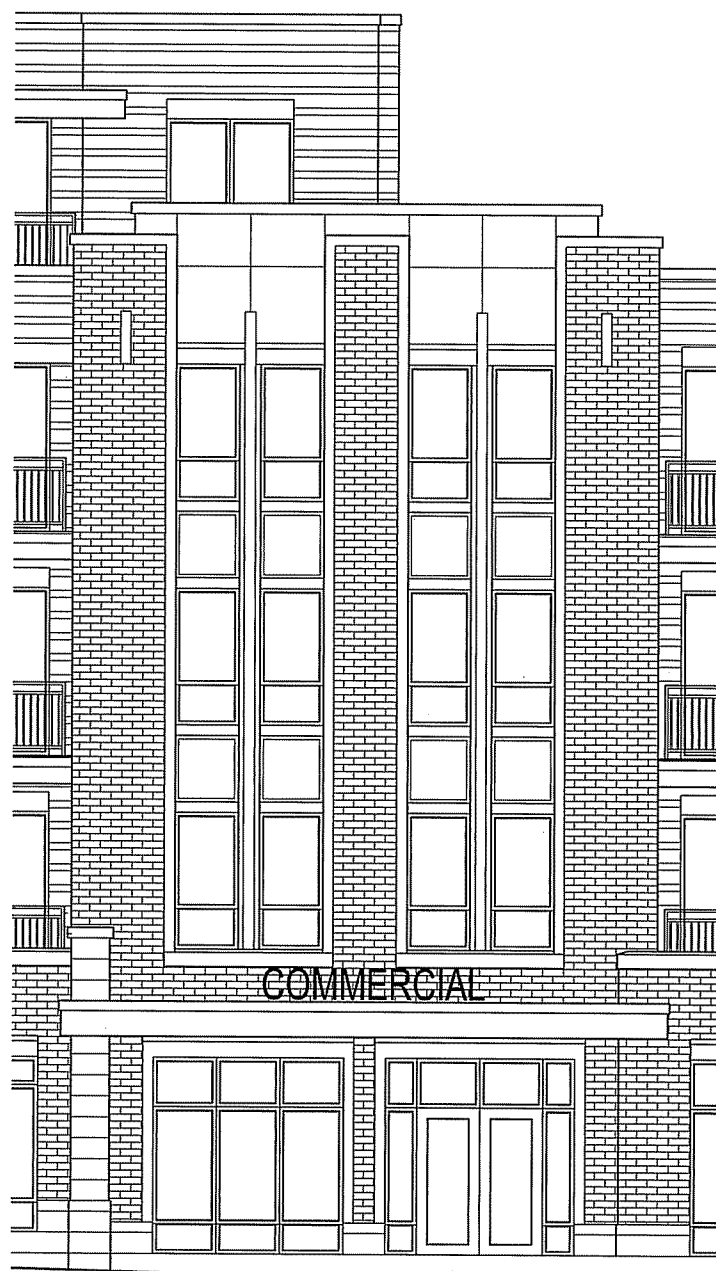
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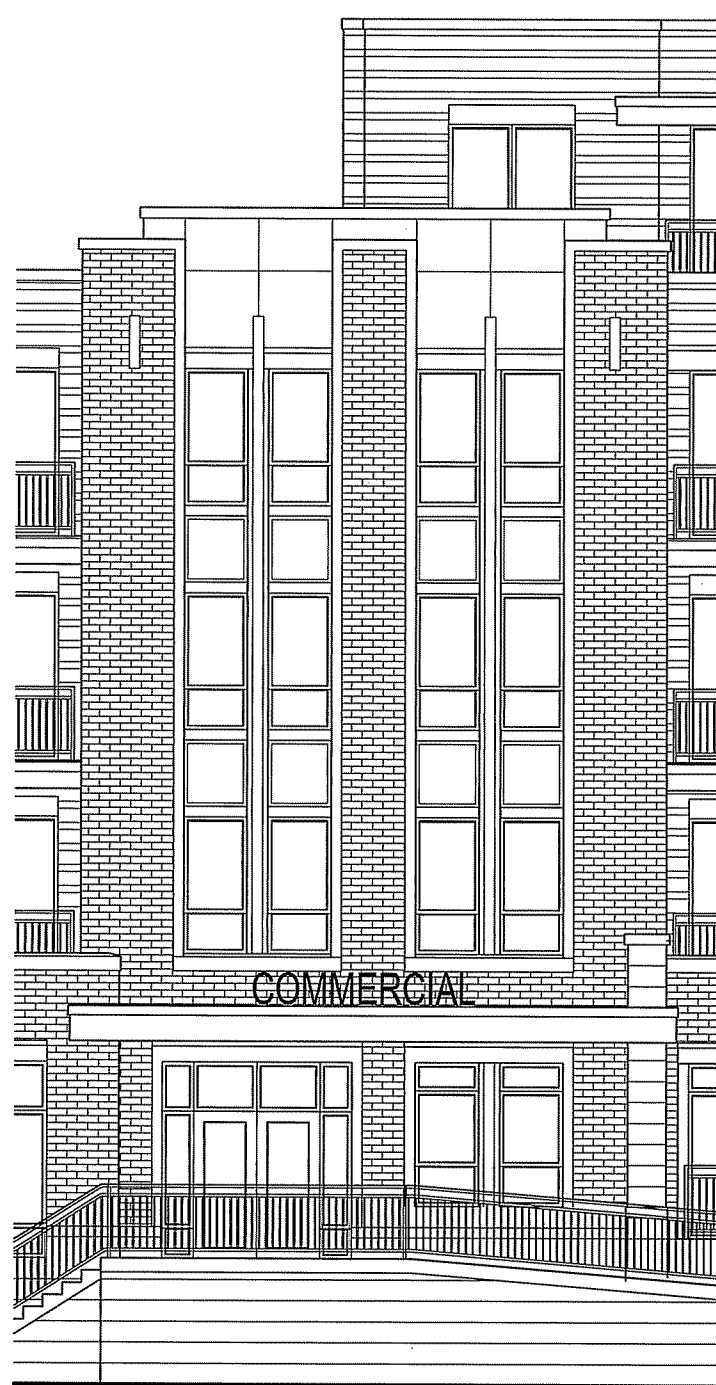
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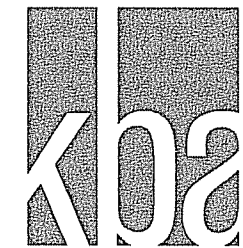
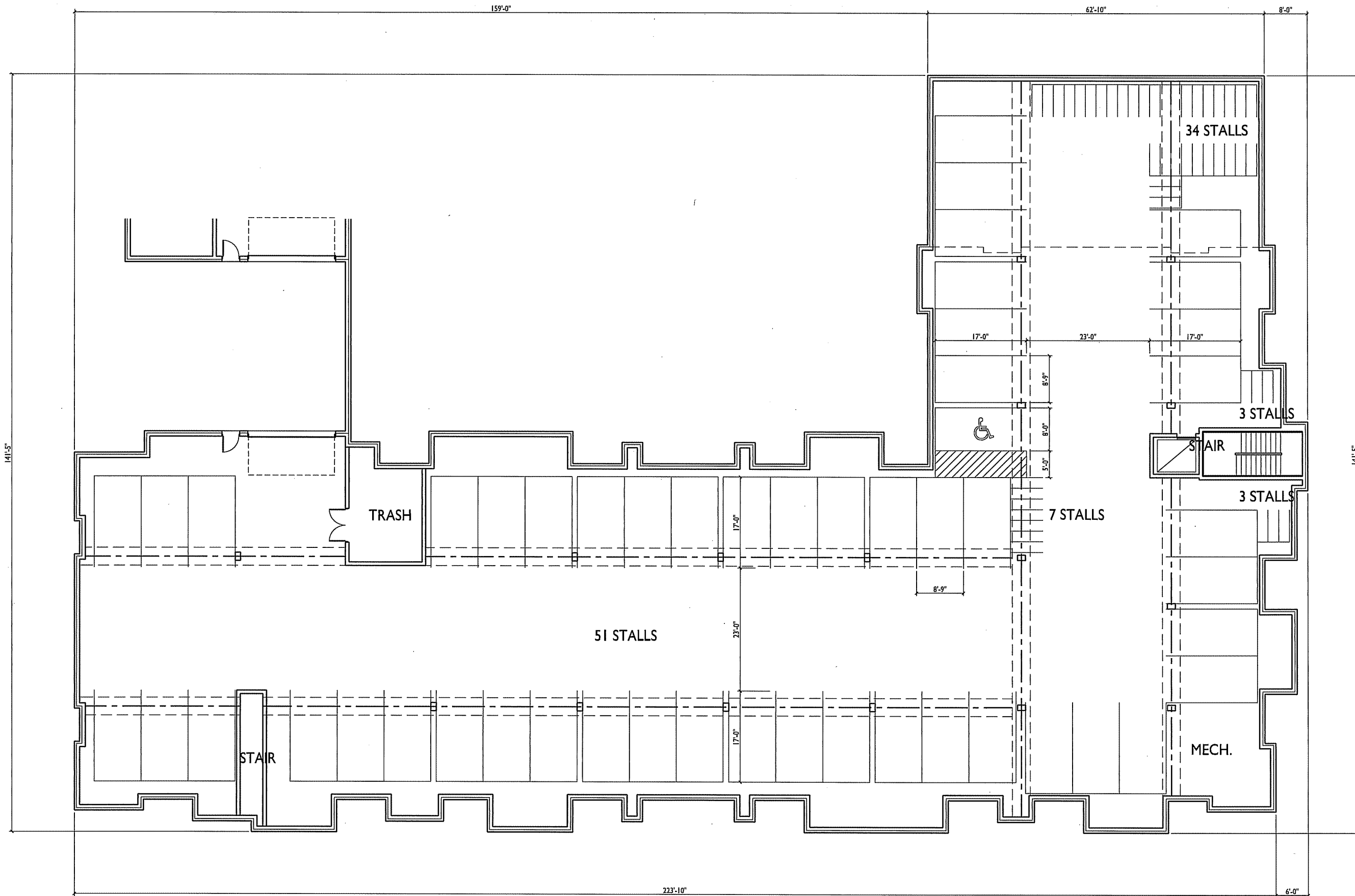
1 BUILDING ENTRY ELEVATION
A-1.7 1/4"=1'-0"



2 BUILDING ENTRY ELEVATION
A-1.7 1/4"=1'-0"



3 BUILDING ENTRY ELEVATION
A-1.7 1/4"=1'-0"



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PROJECT TITLE
 518-542 Junction Rd.

Madison, WI
 SHEET TITLE
 Floor Plans

BUILDING #2

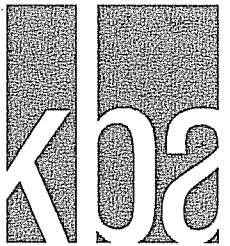
SHEET NUMBER

A-2.0

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BASEMENT PLAN
 A-1.10 1/16"=1'-0"





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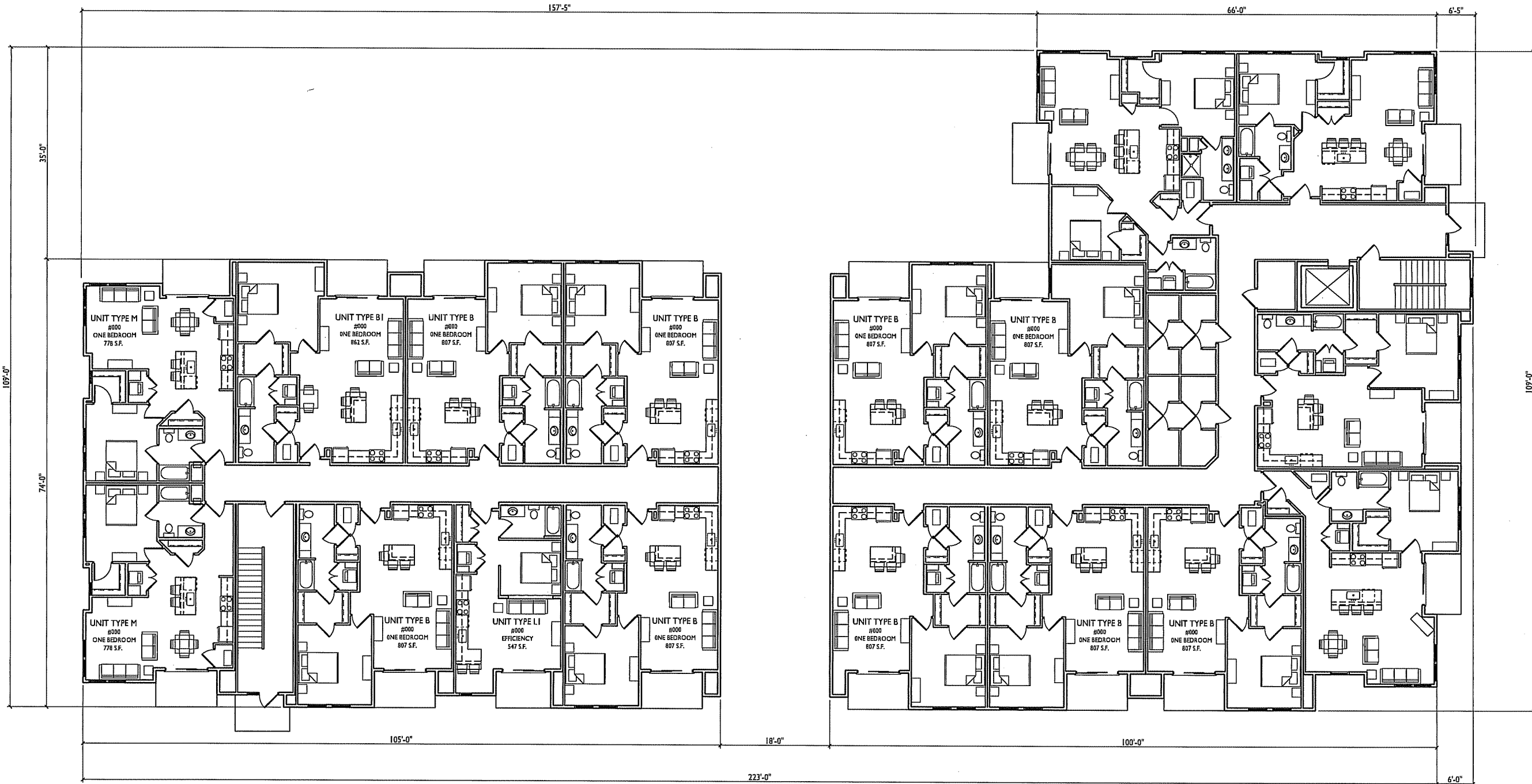
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518-542 Junction Rd.

Madison, WI
SHEET TITLE
Floor Plans

BUILDING #2
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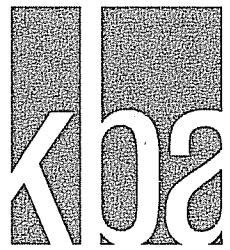
A-2.1

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FIRST FLOOR PLAN
A-1.10 1/16"=1'-0"





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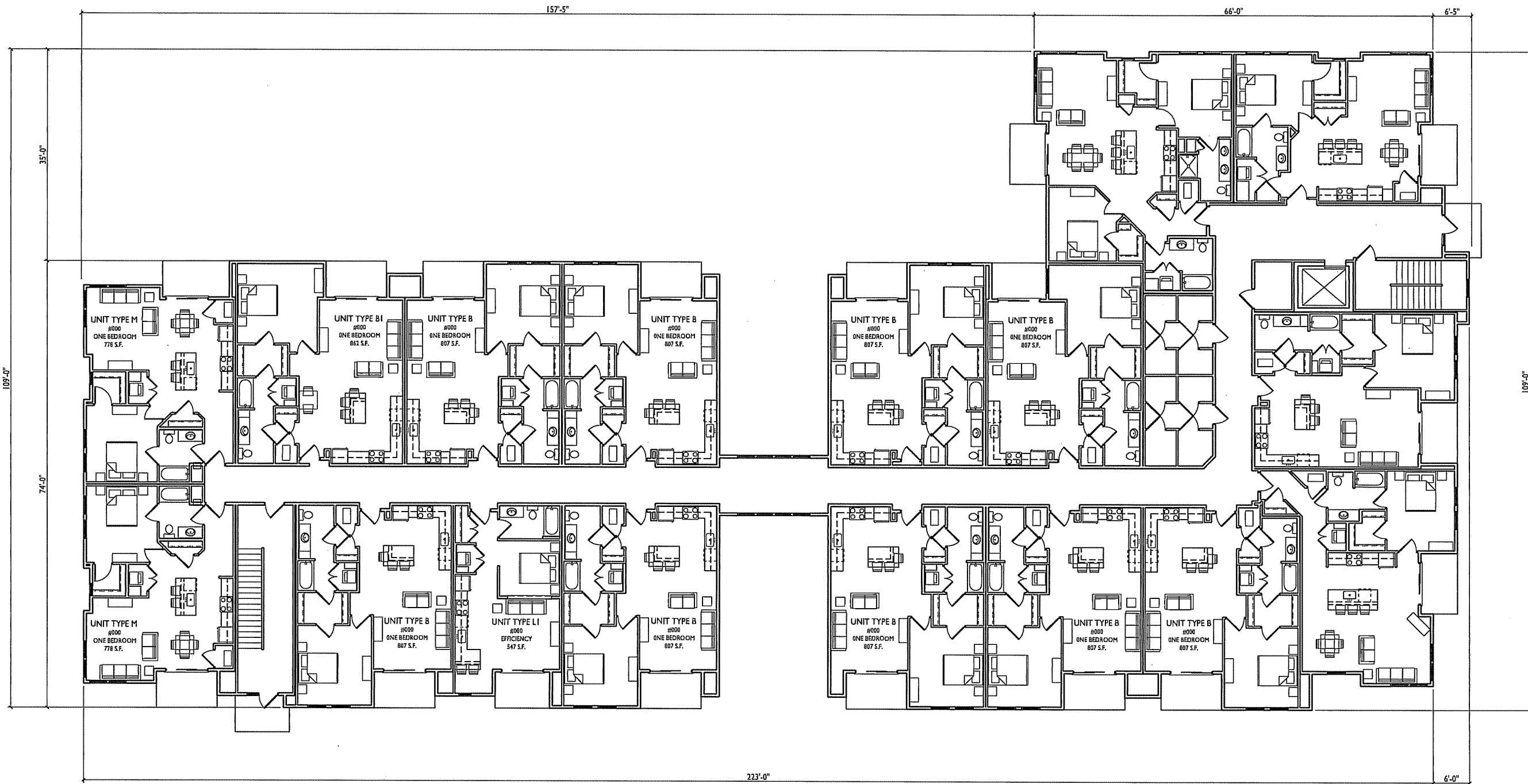
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 518-542 Junction Rd.

Madison, WI
 SHEET TITLE
 Floor Plans

BUILDING #2
 SHEET NUMBER

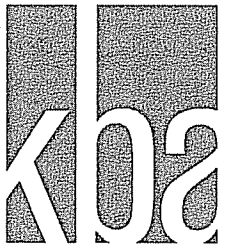
A-2.2

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1 SECOND FLOOR PLAN
 A-1.10 1/16"=1'-0"





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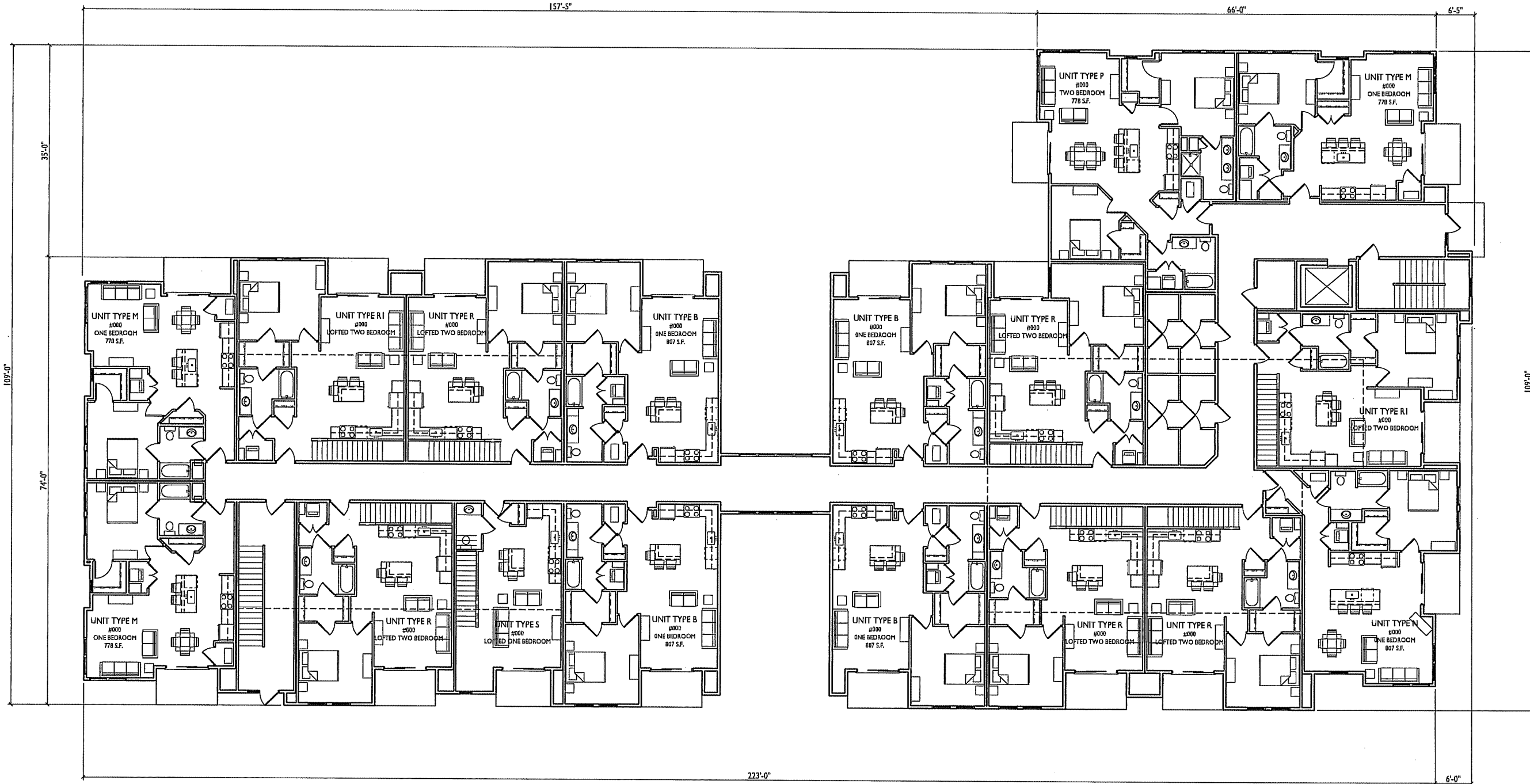
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518-542 Junction Rd.

Madison, WI
SHEET TITLE
Floor Plans

BUILDING #2
SHEET NUMBER

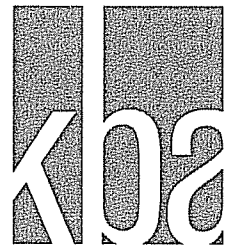
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THIRD FLOOR PLAN
A-1.10 1/16"=1'-0"





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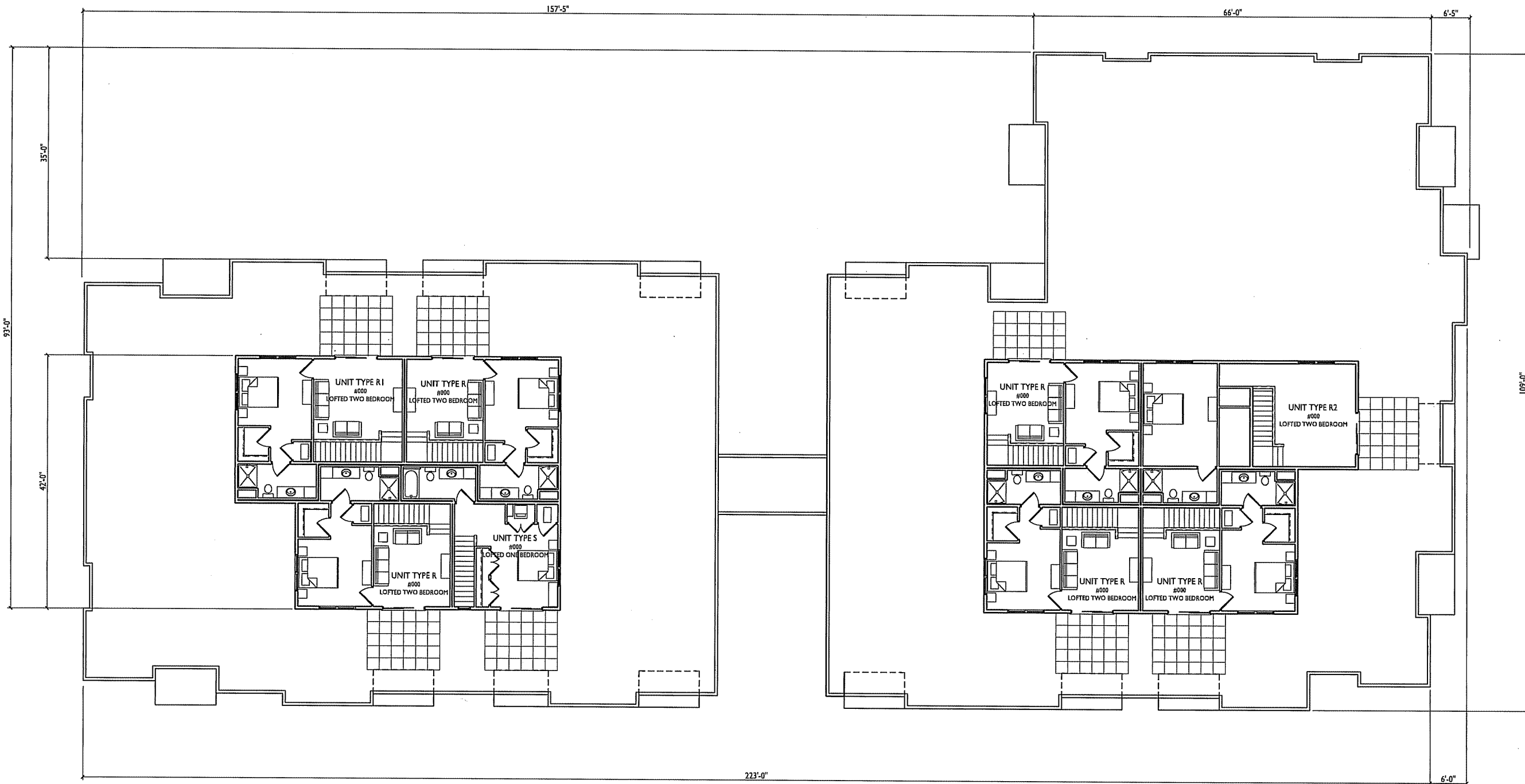
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518-542 Junction Rd.

Madison, WI
SHEET TITLE
Floor Plans

BUILDING #2
SHEET NUMBER

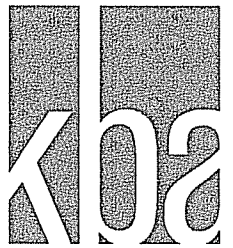
A-2.4

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1 FOURTH FLOOR PLAN
A-1.10 1/16"=1'-0"





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TYPICAL MATERIALS

- COMPOSITE SIDING
- EFIS PANELS
- BRICK MASONRY
- EFIS PANELS
- EFIS PANELS

- VINYL OR COMPOSITE WINDOWS

- ALUMINUM RAILING
- PRECAST BANDS/SILLS
- CAST STONE VENEER

ISSUED
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1 WEST ELEVATION
A-2.5 1/8"=1'-0"



2 EAST ELEVATION
A-2.5 1/8"=1'-0"

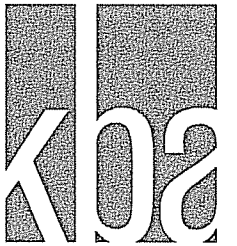
PROJECT TITLE
518-542 Junction Rd.

Madison, WI
SHEET TITLE
Exterior Elevations

BUILDING #2
SHEET NUMBER

A-2.5

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- TYPICAL MATERIALS
- COMPOSITE SIDING
 - EFIS PANELS
 - BRICK MASONRY
 - EFIS PANELS
 - EFIS PANELS
 - VINYL OR COMPOSITE WINDOWS
 - ALUMINUM RAILING
 - PRECAST BANDS/SILLS
 - CAST STONE VENEER

1 SOUTH ELEVATION
A-2.6 1/8"=1'-0"



2 NORTH ELEVATION
A-2.6 1/8"=1'-0"

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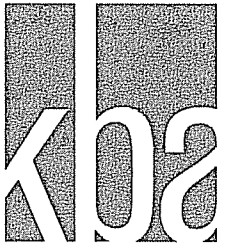
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518-542 Junction Rd.

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SHEET TITLE
Exterior
Elevations

BUILDING #2
SHEET NUMBER

A-2.6

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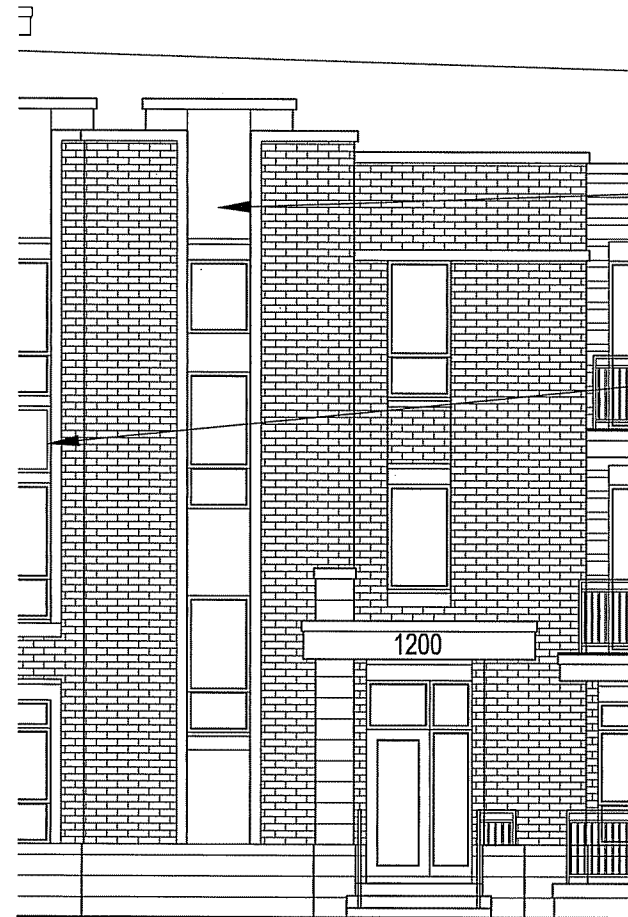


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1 BUILDING ENTRY ELEVATION
A-2.7 1/4"=1'-0"



2 BUILDING ENTRY ELEVATION
A-2.7 1/4"=1'-0"

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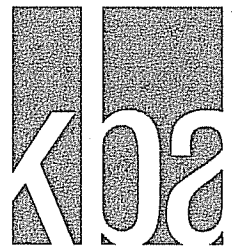
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Madison, WI
SHEET TITLE
Exterior
Elevations

BUILDING #2
SHEET NUMBER

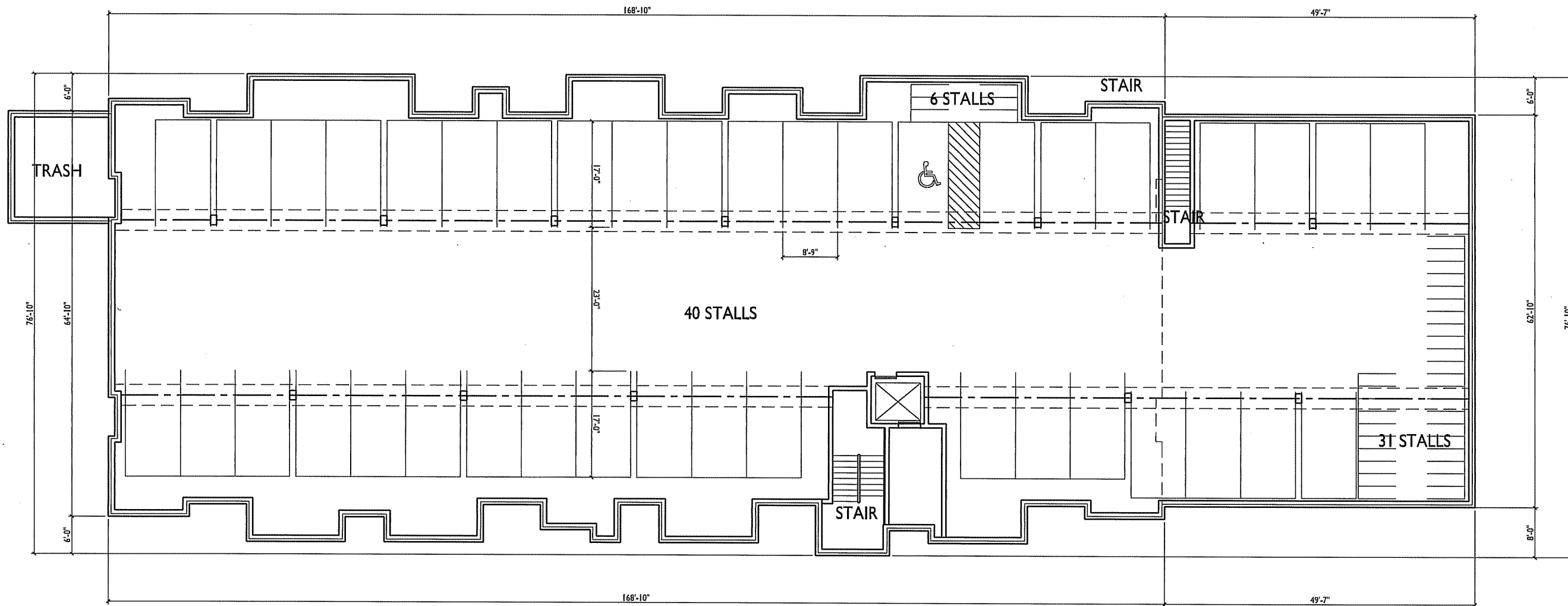
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PROJECT TITLE
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Madison, WI
SHEET TITLE
Floor Plans

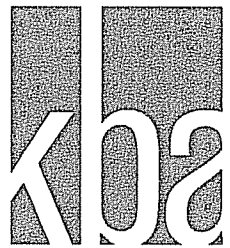
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SHEET NUMBER

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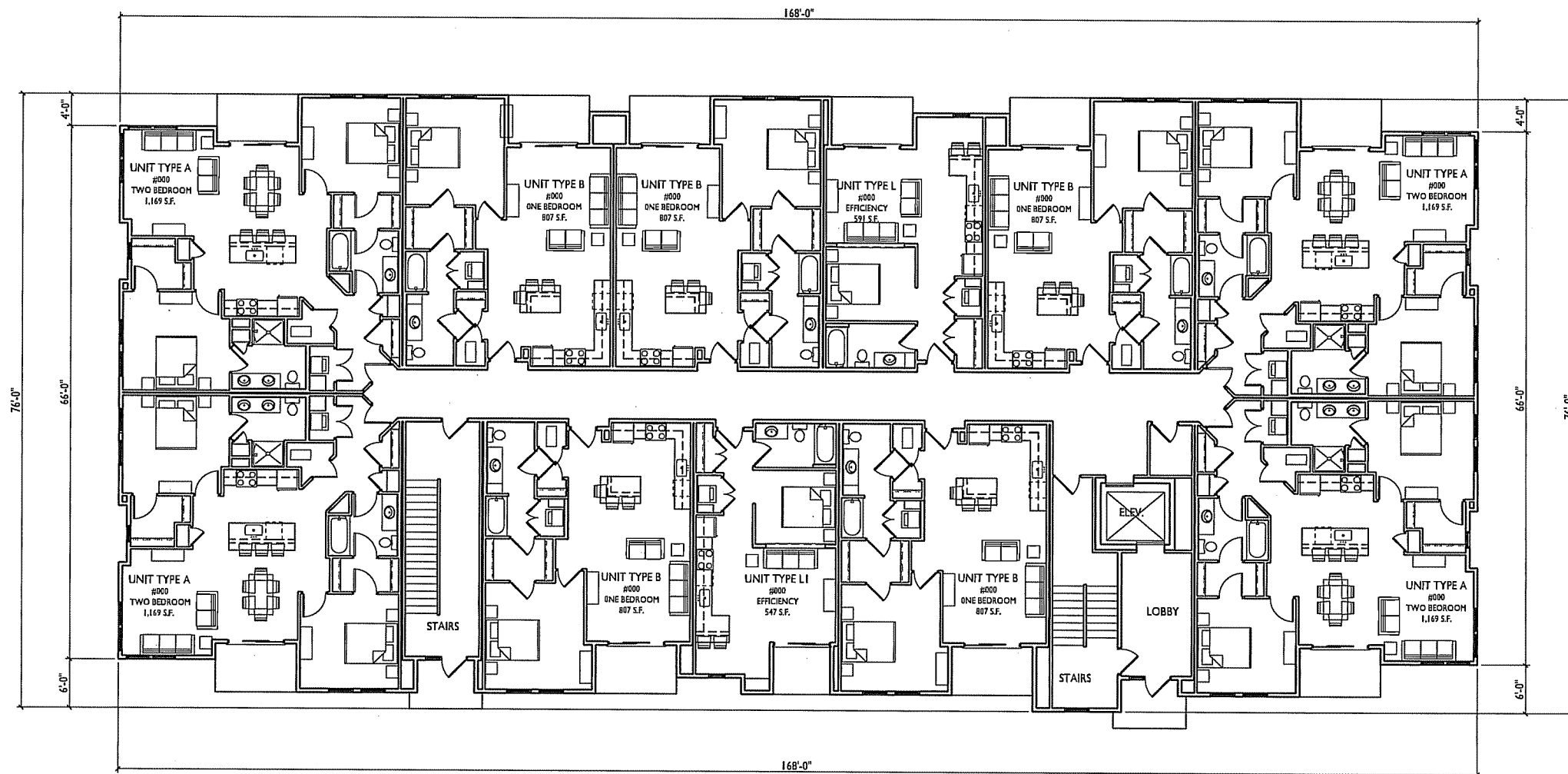
1 BASEMENT PLAN
A-1.10 1/16"=1'-0"





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PROJECT TITLE
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1 FIRST FLOOR PLAN
A-1.10 1/16"=1'-0"

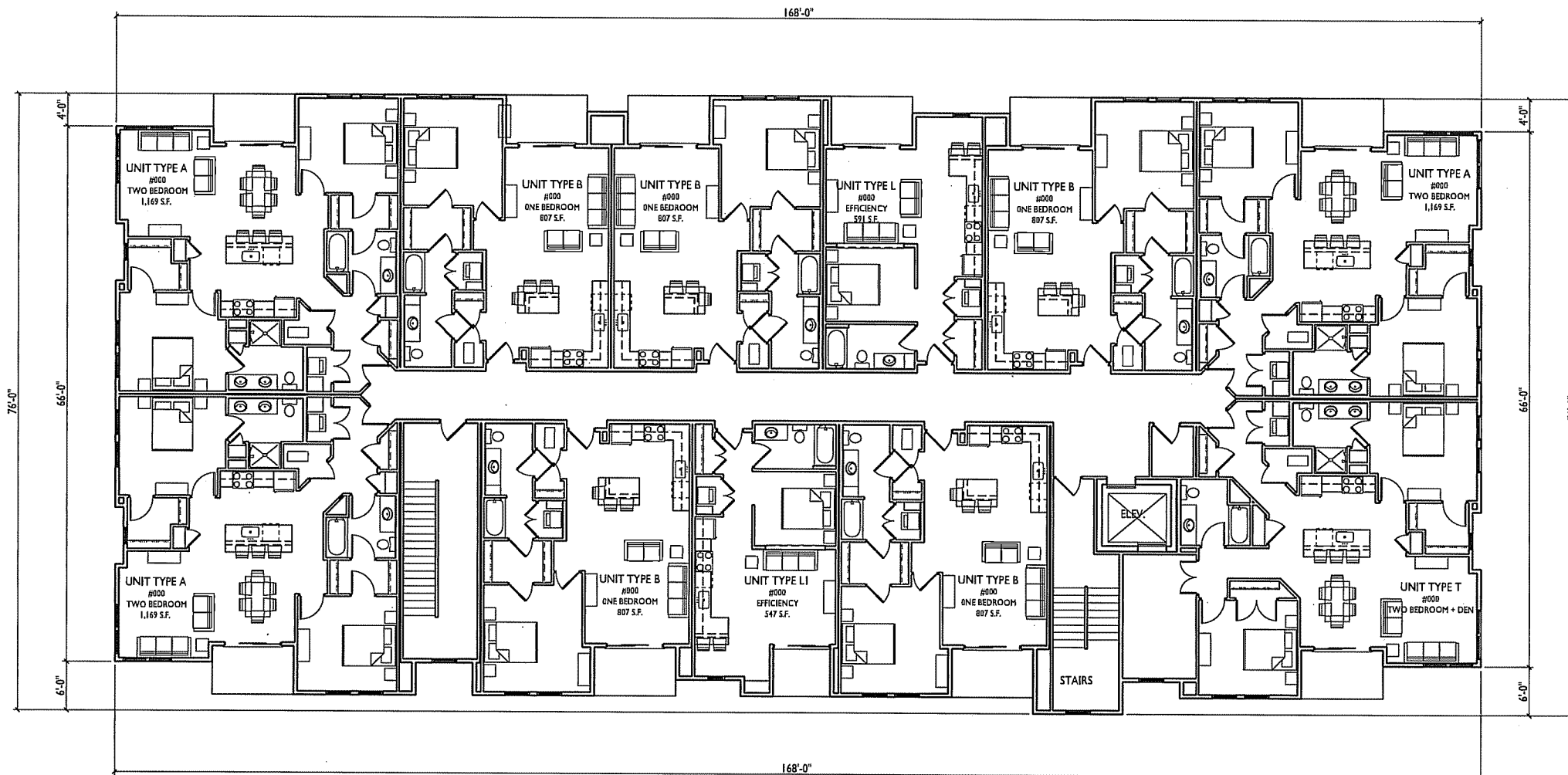


Madison, WI
SHEET TITLE
Floor Plans

BUILDING #3
SHEET NUMBER

A-3.1

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PROJECT TITLE
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1 SECOND FLOOR PLAN
 A-1.10 1/16"=1'-0"

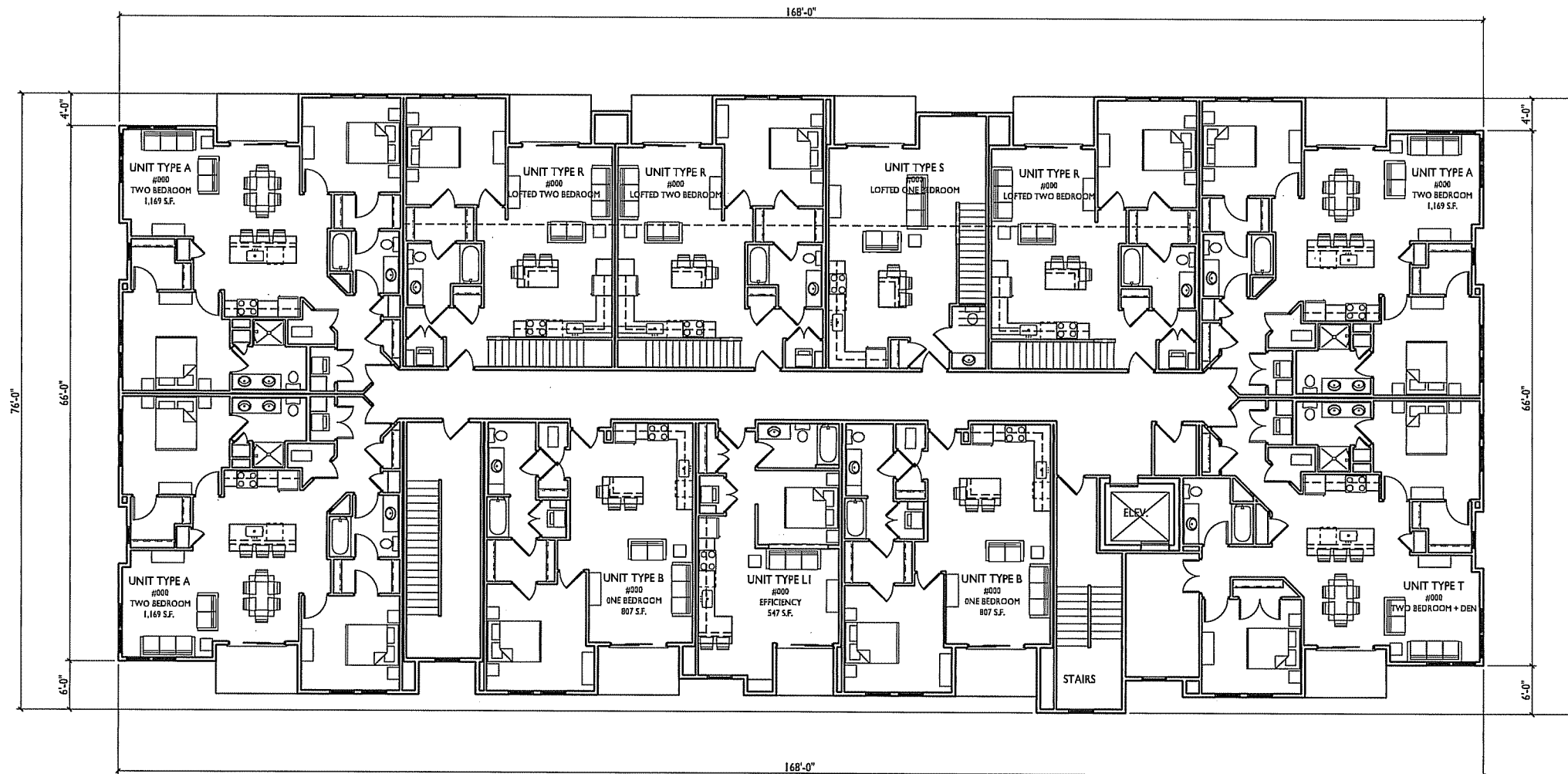


Madison, WI
 SHEET TITLE
 Floor Plans

BUILDING #3
 SHEET NUMBER

A-3.2

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PROJECT TITLE
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1 THIRD FLOOR PLAN
 A-1.10 1/16"=1'-0"

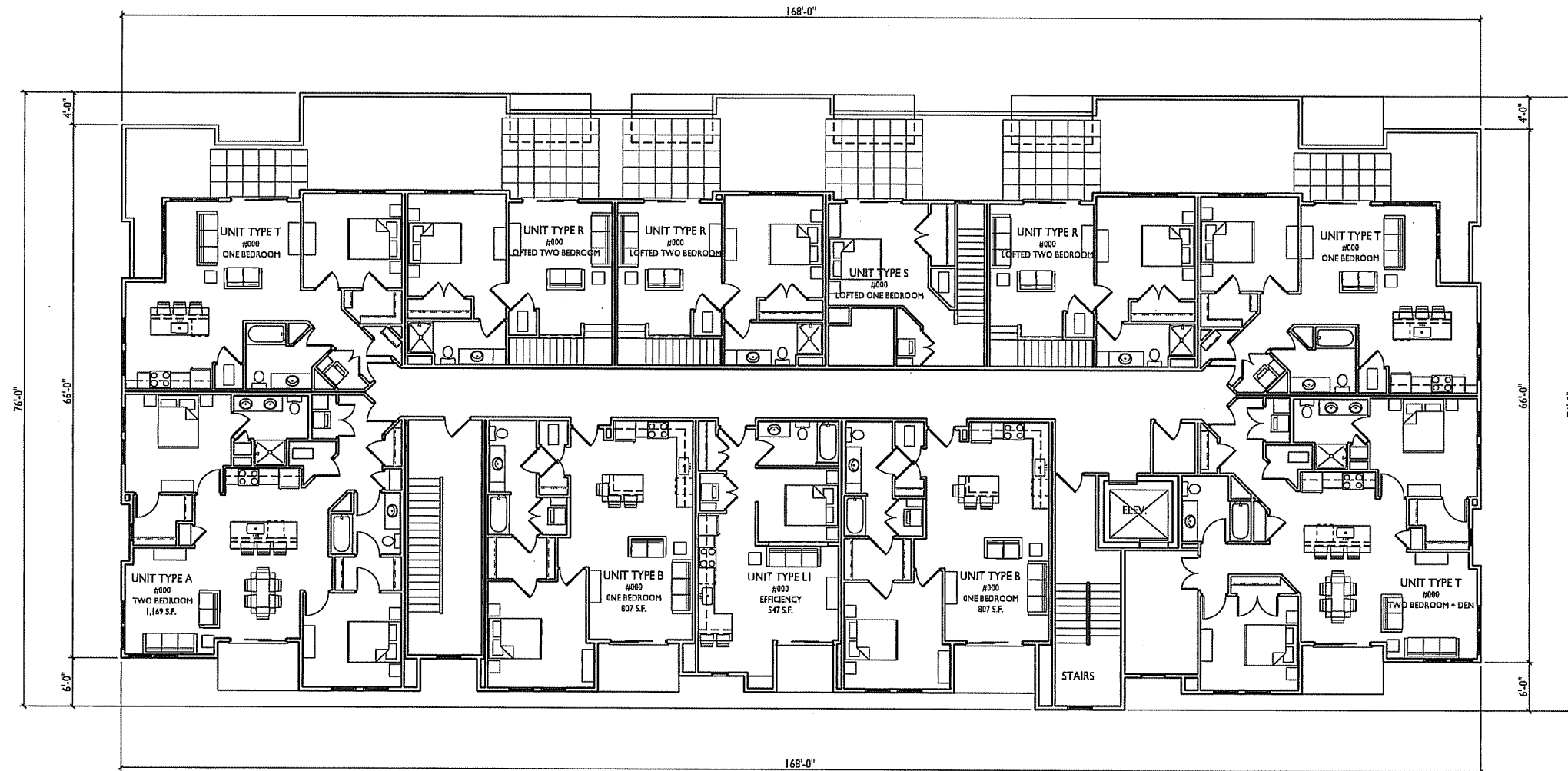


Madison, WI
 SHEET TITLE
 Floor Plans

BUILDING #3
 SHEET NUMBER

A-3.3

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PROJECT TITLE
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Madison, WI
 SHEET TITLE
 Floor Plans

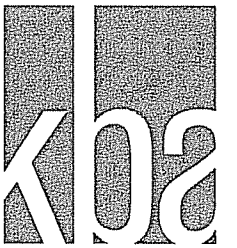
BUILDING #3
 SHEET NUMBER

A-3.4

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1 FOURTH FLOOR PLAN
 A-1.10 1/16"=1'-0"





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1 WEST ELEVATION
A-3.5 1/8"=1'-0"



- TYPICAL MATERIALS
- EFIS PANELS
 - COMPOSITE SIDING
 - BRICK MASONRY
 - EFIS PANELS
 - EFIS PANELS
 - VINYL OR COMPOSITE WINDOWS
 - ALUMINUM RAILING
 - PRECAST BANDS/SILLS
 - CAST STONE VENEER

2 EAST ELEVATION
A-3.5 1/8"=1'-0"

PROJECT TITLE
518-542 Junction Rd.

Madison, WI
SHEET TITLE
Exterior Elevations

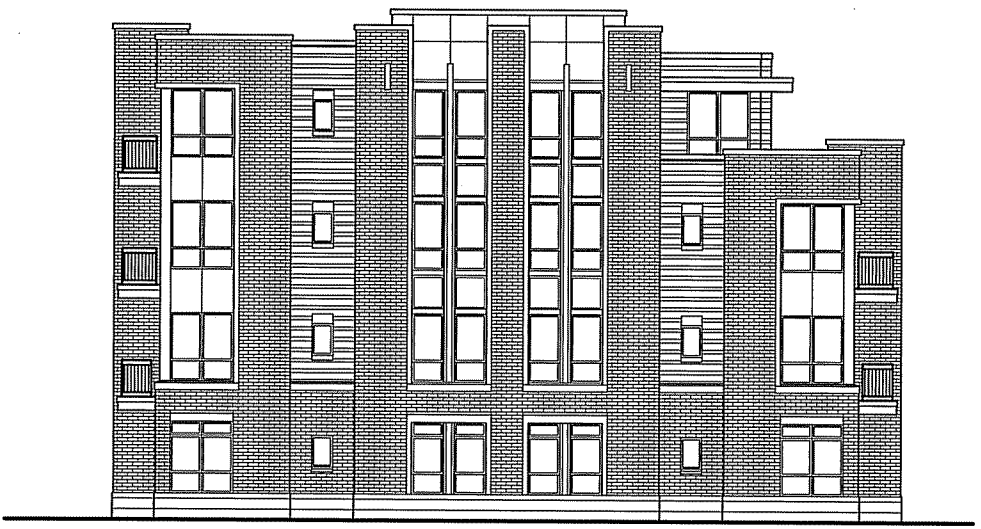
BUILDING #3
SHEET NUMBER

A-3.5

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1 SOUTH ELEVATION
 A-3.6 1/8"=1'-0"



2 NORTH ELEVATION
 A-3.6 1/8"=1'-0"

ISSUED
 Issued for Land Use - August 5, 2015

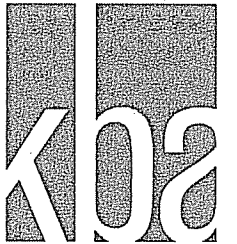
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518-542 Junction Rd.

Madison, WI
 SHEET TITLE
Exterior Elevations

BUILDING #3
 SHEET NUMBER

A-3.6

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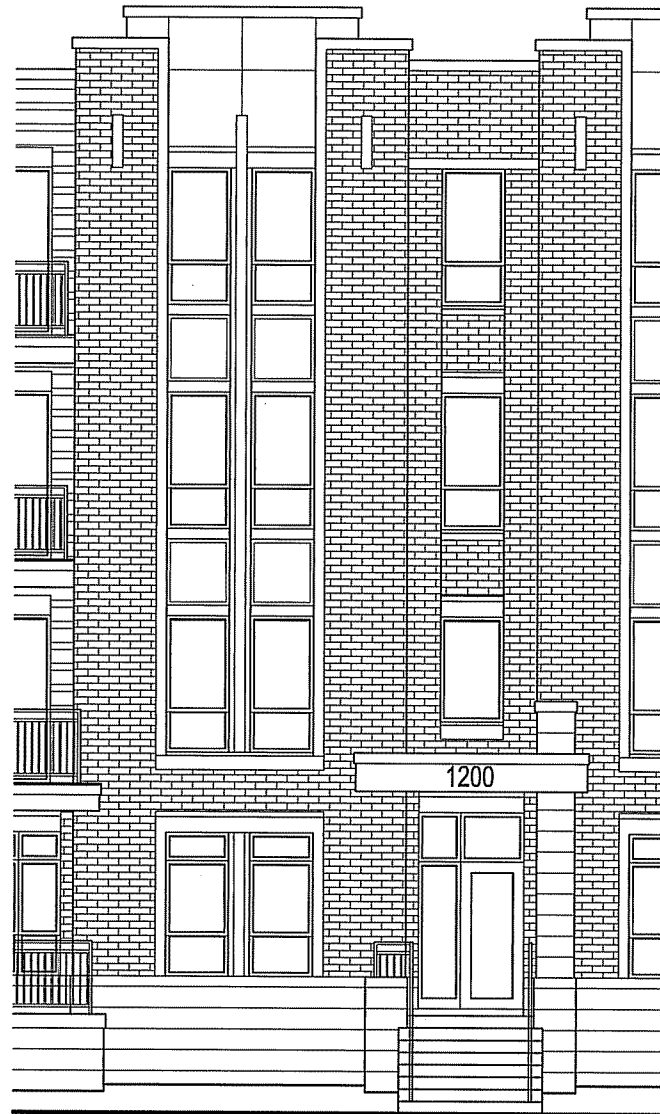
PROJECT TITLE
518-542 Junction Rd.

Madison, WI
SHEET TITLE
Exterior
Elevations

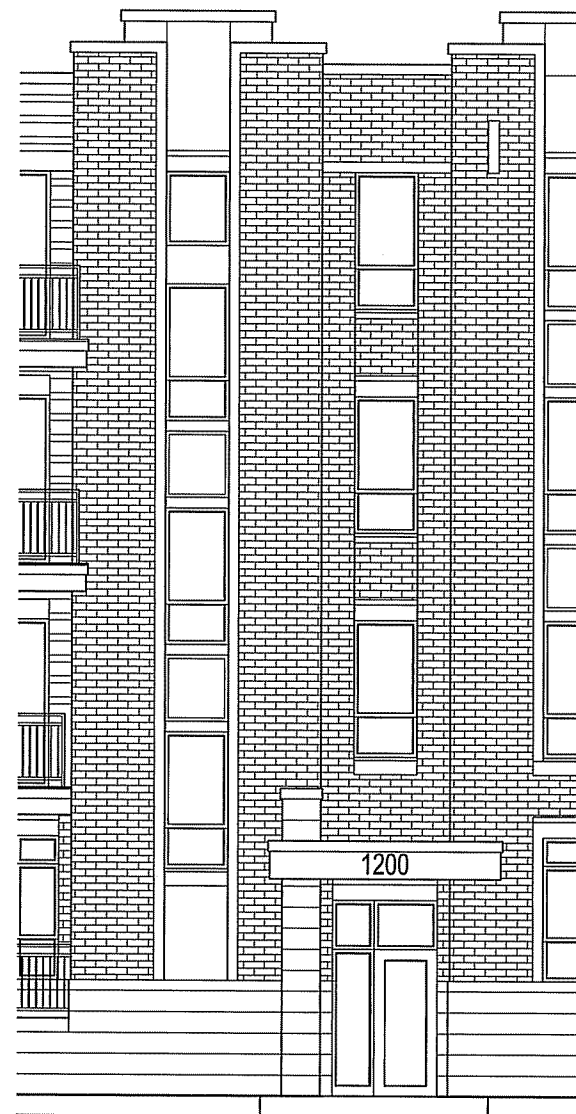
BUILDING #3
SHEET NUMBER

A-3.7

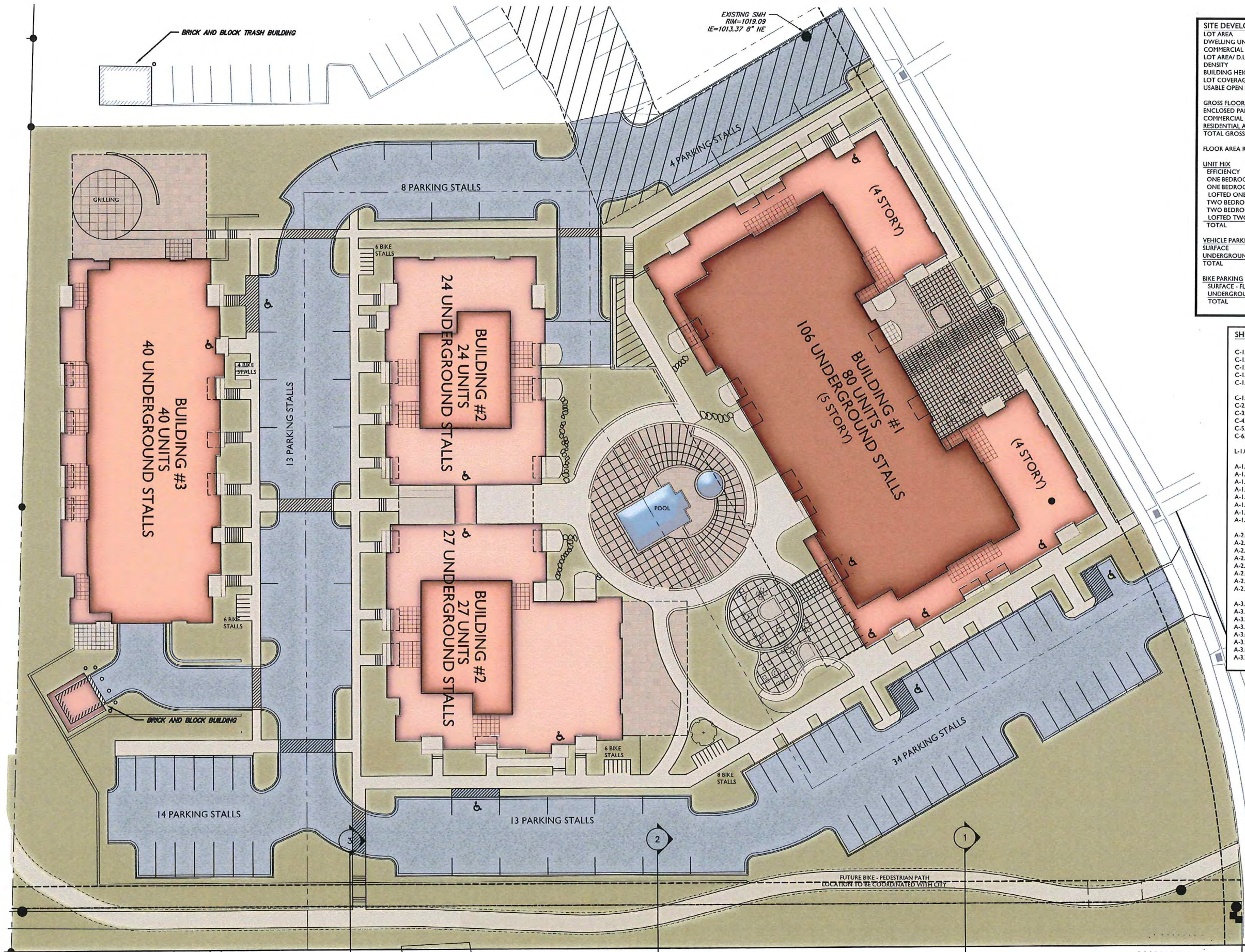
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1 BUILDING ENTRY ELEVATION
A-3.7 1/4"=1'-0"



2 BUILDING ENTRY ELEVATION
A-3.7 1/4"=1'-0"



SITE DEVELOPMENT STATISTICS

LOT AREA	196,260 S.F./4.5 ACRES
DWELLING UNITS	171 DU
COMMERCIAL AREA	8,574 S.F.
LOT AREA/D.U.	1,148 S.F./DU
DENSITY	38 UNITS/ACRE
BUILDING HEIGHT	3-5 STORIES
LOT COVERAGE	112,551 S.F. = 57% (85% MAX)
USABLE OPEN SPACE	55,300 S.F.

GROSS FLOOR AREA	
ENCLOSED PARKING (BASEMENT)	77,435 S.F.
COMMERCIAL AREA	7,125 S.F.
RESIDENTIAL AREA	190,806 S.F.
TOTAL GROSS FLOOR AREA	275,366 S.F.

FLOOR AREA RATIO 1

UNIT MIX

EFFICIENCY	18
ONE BEDROOM	84
ONE BEDROOM + DEN	11
LOFTED ONE BEDROOM	2
TWO BEDROOM	43
TWO BEDROOM + DEN	3
LOFTED TWO BEDROOM	10
TOTAL	171

VEHICLE PARKING

SURFACE	86
UNDERGROUND	197
TOTAL	283

BIKE PARKING

SURFACE - FLOOR STALL	30
UNDERGROUND - FLOOR STALL	158
TOTAL	188

SHEET INDEX

C-1.1	SITE PLAN
C-1.1A	ALTERNATE SITE PLAN
C-1.2	FIRE DEPARTMENT ACCESS PLAN
C-1.3	LOT COVERAGE
C-1.4	USABLE OPEN SPACE
C-1.0	EXISTING CONDITIONS/SURVEY
C-2.0	DEMOLITION PLAN
C-3.0	GRADING PLAN
C-4.0	UTILITIES PLAN
C-5.0	CONSTRUCTION DETAILS
C-6.0	CONSTRUCTION DETAILS
L-1.0	LANDSCAPE PLAN
A-1.0	BLDG #1 - LL BASEMENT PLAN
A-1.1	BLDG #1 - BASEMENT PLAN
A-1.2	BLDG #1 - FIRST FLOOR PLAN
A-1.3	BLDG #1 - 2ND-4TH FLOOR PLANS
A-1.4	BLDG #1 - 5TH FLOOR PLAN
A-1.5	BLDG #1 - ELEVATIONS
A-1.6	BLDG #1 - ELEVATIONS
A-1.7	BLDG #1 - ENTRY ELEVATION DETAILS
A-2.0	BLDG #2 - BASEMENT PLAN
A-2.1	BLDG #2 - FIRST FLOOR PLAN
A-2.2	BLDG #2 - SECOND FLOOR PLAN
A-2.3	BLDG #2 - THIRD FLOOR PLAN
A-2.4	BLDG #2 - FOURTH FLOOR PLAN
A-2.5	BLDG #2 - ELEVATIONS
A-2.6	BLDG #2 - ELEVATIONS
A-2.7	BLDG #2 - ENTRY ELEVATION DETAILS
A-3.0	BLDG #3 - BASEMENT PLAN
A-3.1	BLDG #3 - FIRST FLOOR PLAN
A-3.2	BLDG #3 - SECOND FLOOR PLAN
A-3.3	BLDG #3 - THIRD FLOOR PLAN
A-3.4	BLDG #3 - FOURTH FLOOR PLAN
A-3.5	BLDG #3 - ELEVATIONS
A-3.6	BLDG #3 - ELEVATIONS
A-3.7	BLDG #3 - ENTRY ELEVATION DETAILS

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Revised - Month Day, Year
 Revised - Month Day, Year
 Revised - Month Day, Year
 Revised - Month Day, Year

PROJECT TITLE
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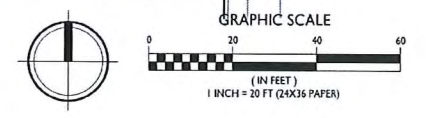
Madison, WI
 SHEET TITLE
 Site Plan

SHEET NUMBER

C-1.1

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1 SITE PLAN
 C-1.1 1" = 20'-0"



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1 EAST ELEVATION
 A-1.5 1/8"=1'-0"



2 SOUTH ELEVATION
 A-1.5 1/8"=1'-0"

PROJECT TITLE
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Madison, WI
 SHEET TITLE
 Exterior
 Elevations

BUILDING #1
 SHEET NUMBER

A-1.5

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TYPICAL MATERIALS

- COMPOSITE SIDING
- EFIS PANELS
- BRICK MASONRY
- EFIS PANELS
- EFIS PANELS

VINYL OR COMPOSITE
WINDOWS

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Issued for Land Use - August 5, 2015

- ALUMINUM RAILING
- PRECAST BANDS/SILLS
- CAST STONE VENEER

1 WEST ELEVATION
A-2.5 1/8"=1'-0"



TYPICAL MATERIALS

- COMPOSITE SIDING
- EFIS PANELS
- BRICK MASONRY
- EFIS PANELS
- EFIS PANELS

VINYL OR COMPOSITE
WINDOWS

- ALUMINUM RAILING
- PRECAST BANDS/SILLS
- CAST STONE VENEER

2 SOUTH ELEVATION
A-2.5 1/8"=1'-0"

PROJECT TITLE
518-542 Junction Rd.

Madison, WI
SHEET TITLE
Exterior
Elevations

BUILDING #2
SHEET NUMBER

A-2.5

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- TYPICAL MATERIALS**
- EFIS PANELS
 - COMPOSITE SIDING
 - BRICK MASONRY
 - EFIS PANELS
 - EFIS PANELS
 - VINYL OR COMPOSITE WINDOWS
 - ALUMINUM RAILING
 - PRECAST BANDS/SILLS
 - CAST STONE VENEER

1 EAST ELEVATION
A-3.5 1/8"=1'-0"



- TYPICAL MATERIALS**
- EFIS PANELS
 - COMPOSITE SIDING
 - BRICK MASONRY
 - EFIS PANELS
 - EFIS PANELS
 - VINYL OR COMPOSITE WINDOWS
 - ALUMINUM RAILING
 - PRECAST BANDS/SILLS
 - CAST STONE VENEER

2 SOUTH ELEVATION
A-3.5 1/8"=1'-0"

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