

TOTAL AREA  
625,811 sq. ft.  
14.3666 acres

LOT 2  
CSM 4398


EXISTING SANITARY SEWER TO BE ABANDONED OR REMOVED, SEE UTILITY PLAN (TYP.)

**NOTES**


SURVEY BY R.A. SMITH, INC., DATED NOVEMBER 13, 2019. SEE PLAT OF SURVEY FOR COMPLETE EXISTING CONDITIONS.

BUILDINGS, TREES, CURB AND GUTTER, UTILITIES, AND OTHER STRUCTURES IN BOLD TO BE DEMOLISHED.

EXISTING VACUUMS, TRANSFORMER PADS AND EQUIPMENT, CONCRETE AND ASPHALT PAVEMENT, AND ALL OTHER ANCILLARY UTILITIES AND OTHER FACILITIES IN BOLD AND WITHIN LIMITS OF DISTURBANCE TO BE REMOVED.




GRAPHIC SCALE  
20 0 20 40 80  
(IN FEET)



Know what's below.  
Call before you dig.

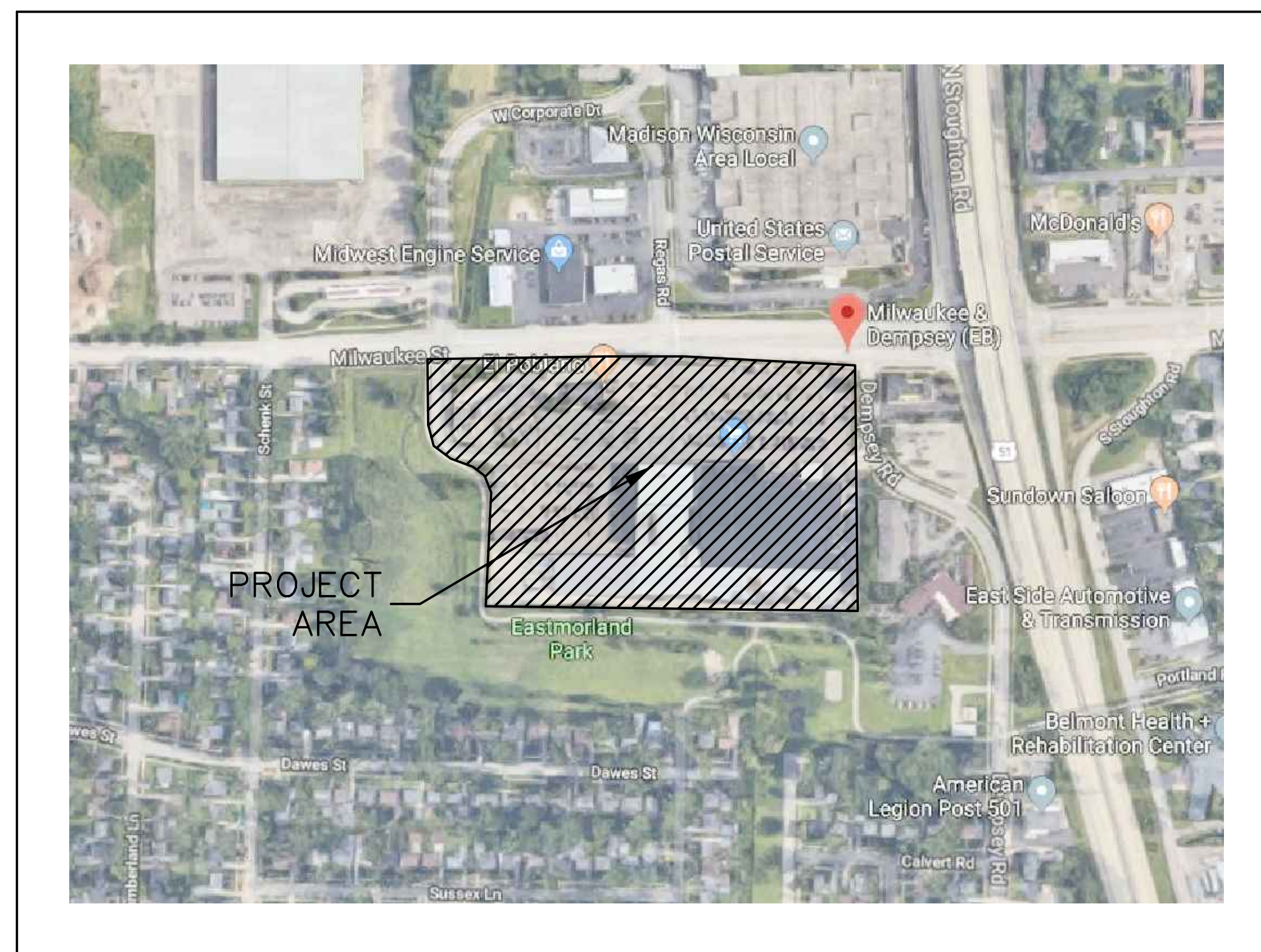
R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

DESCRIPTION	DATE
 <p>CREATIVITY BEYOND ENGINEERING</p> <p>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</p> <p>Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI   Cedarburg, WI Mount Pleasant, WI   Naperville, IL   Irvine, CA</p>	
<p><b>WOODMAN'S FOOD MARKET</b> <b>3817 MILWAUKEE STREET, MADISON, WI</b></p> <p><b>EXISTING CONDITIONS AND</b> <b>DEMOLITION PLAN</b></p>	
<p>© COPYRIGHT 2020 R.A. Smith, Inc.</p> <p>DATE: 02/05/2020</p> <p>SCALE: 1" = 40'</p> <p>JOB NO. 3190289</p> <p>PROJECT MANAGER: PAUL V. MCILHERAN, P.E.</p> <p>DESIGNED BY: AJS</p> <p>CHECKED BY: PVM</p> <p><b>SHEET NUMBER</b> <b>C100</b></p>	

# SITE CIVIL AND LANDSCAPE PLANS FOR

# WOODMAN'S FOOD MARKET 3817 MILWAUKEE STREET MADISON, WISCONSIN

## VICINITY MAP



### LEGEND (PROPOSED FEATURES)

- TREE REMOVAL
- EXISTING BUILDING OR STRUCTURE TO BE REMOVED
- EXISTING PAVEMENT TO BE REMOVED
- SAWCUT PAVEMENT LINE
- PROPERTY LINE
- PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
- MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
- SIGN
- BITUMINOUS PAVEMENT (STANDARD DUTY)
- BITUMINOUS PAVEMENT (HEAVY DUTY)
- HEAVY DUTY CONCRETE PAVEMENT WITHOUT STEEL REINFORCEMENT (PRIVATE WOODMAN'S SITE)
- CONCRETE SIDEWALK
- ASPHALT PEDESTRIAN PATH
- STANDARD PARKING SPACE COUNT WOODMAN'S FOOD MARKET
- ACCESSIBLE PARKING SPACE COUNT WOODMAN'S FOOD MARKET
- STANDARD PARKING SPACE COUNT GAS/LUBE
- ACCESSIBLE PARKING SPACE COUNT GAS/LUBE
- PROPOSED 18" REVERSE CONCRETE CURB & GUTTER (SEE DETAILED GRADING PLAN)
- PROPOSED 18" STANDARD CONCRETE CURB & GUTTER (AS SHOWN ON SITE PLAN)
- PROPOSED ACCESSIBLE PAVEMENT MARKING
- VAN ACCESSIBLE STALL
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS
- PROPOSED CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- DOOR
- STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
- PROPOSED 1'-FOOT GRADE CONTOUR
- PROPOSED 5'-FOOT GRADE CONTOUR
- PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
- PROPOSED SPOT GRADE AT TOP OF CURB
- .X.XX' D.P. DEPTH OF PONDING AT INLET
- PROPOSED INLET PROTECTION
- PROPOSED ORANGE CONSTRUCTION FENCE
- PROPOSED SILT FENCE
- PROPOSED SWALE FLOWLINE
- PROPOSED DITCH CHECK
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED TEMPORARY EROSION CONTROL MAT
- PROPOSED PERMANENT EROSION CONTROL MAT
- PROPOSED RIPRAP
- PROPOSED STONE CULVERT INLET PROTECTION
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WOOD FENCE
- PROPOSED GUARDRAIL
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED INLET
- PROPOSED STORM MANHOLE
- PROPOSED TERMINATION JUNCTION STRUCTURE
- PROPOSED SANITARY MANHOLE
- PROPOSED OVERLAND FLOW PATH
- PROPOSED DRAINAGE DIRECTION ARROW

### LEGEND

- ( ) INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR 3/4 SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILLBOARD
- AIR CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/ROAD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

### PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
C100	EXISTING CONDITIONS AND DEMOLITION PLAN
C200	OVERALL SITE PLAN
C201	SITE PLAN DETAIL
C300	OVERALL GRADING PLAN
C301	GRADING PLAN DETAIL
C400	STORM SEWER UTILITY PLAN
C401	SANITARY SEWER AND WATER UTILITY PLAN
C500-C502	DETAILS
C600	CONSTRUCTION SPECIFICATIONS
L100	TREE AND SHRUB INVENTORY
L101	LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS

### ENGINEER AND LANDSCAPE ARCHITECT:

**raSmith**

CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

### DEVELOPER / OWNER:

WOODMAN'S FOOD MARKET, INC.  
2631 LIBERTY LANE  
JANESVILLE, WISCONSIN 53545

### ARCHITECT / CONSTRUCTION MANAGER:



**FoxArneson**  
5972 Executive Drive  
Suite 100  
Madison, WI 53719  
608.276.4400  
FOXARNESON.COM

PLAN DATE: 02/05/2020

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

100 West Lawrence Street, Suite 412  
Appleton, WI 54911-5754  
(920) 731-3499  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Appleton, WI | Madison, WI | Cedarburg, WI | Mount Pleasant, WI  
Naperville, IL | Pittsburgh, PA | Irvine, CA

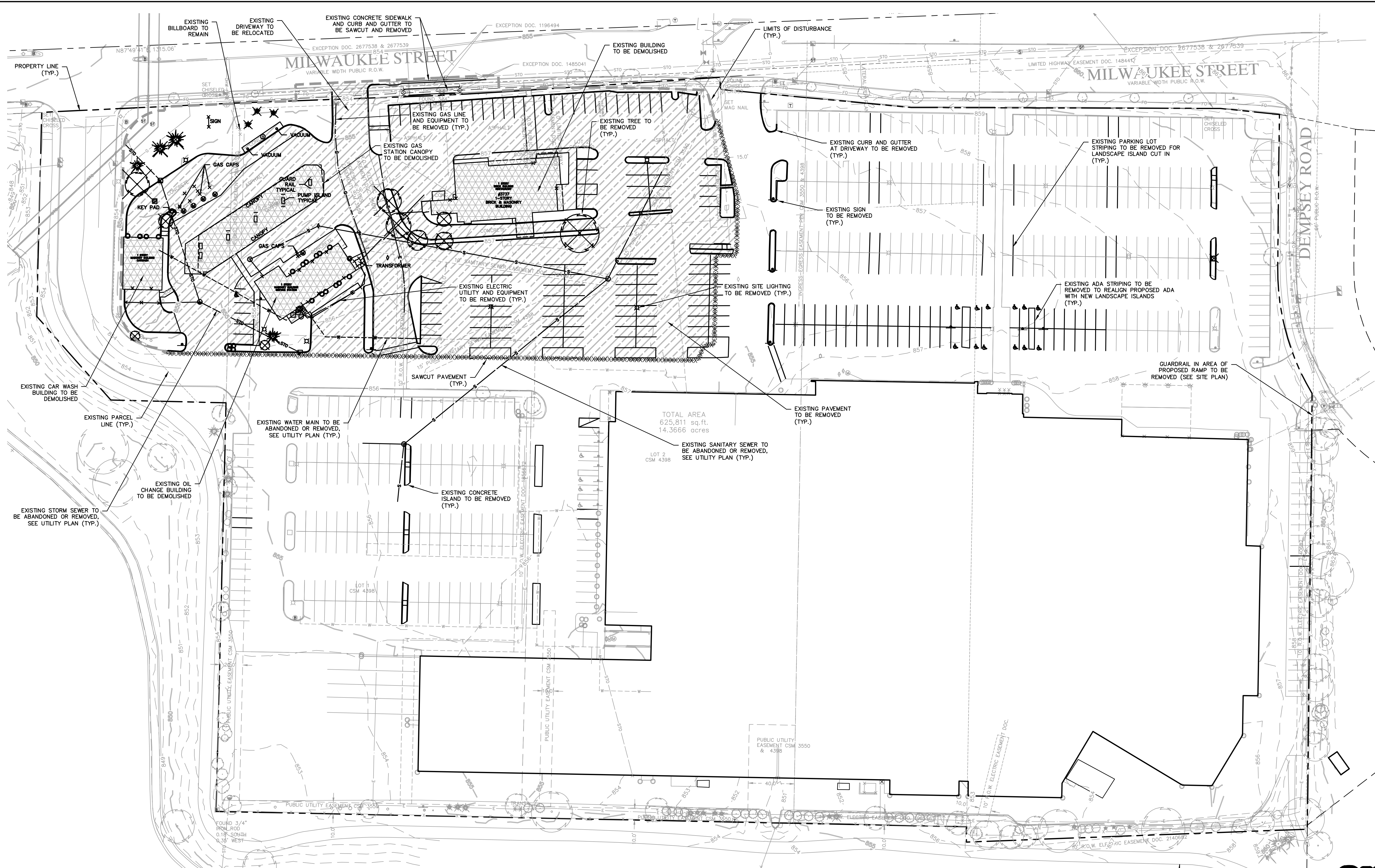
WOODMAN'S FOOD MARKET  
3817 MILWAUKEE STREET, MADISON, WI

TITLE SHEET

FOR MUNICIPAL  
REVIEW, NOT FOR  
CONSTRUCTION

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DATE: 02/05/2020  
SCALE: 1"=400'  
JOB NO. 3190289  
PROJECT MANAGER:  
PAUL V. MCILHERAN, P.E.  
DESIGNED BY: AJS  
CHECKED BY: PVM

SHEET NUMBER  
C000



TOTAL AREA  
625,811 sq. ft.  
14.3666 acres

LOT 1  
CSM 4998

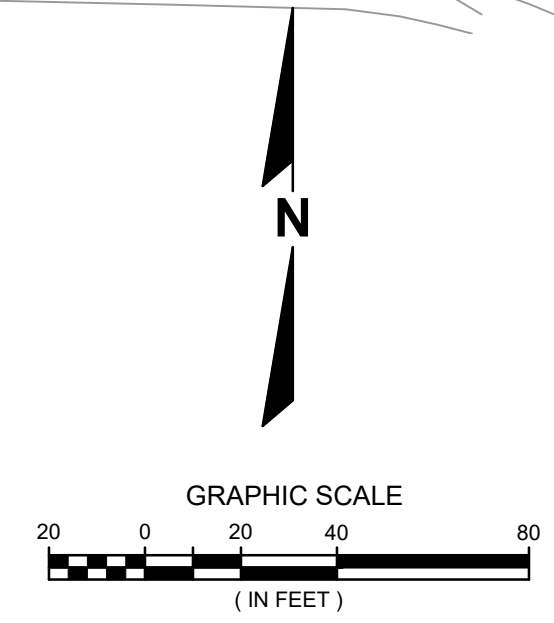
LOT 2  
CSM 4398

**NOTES**

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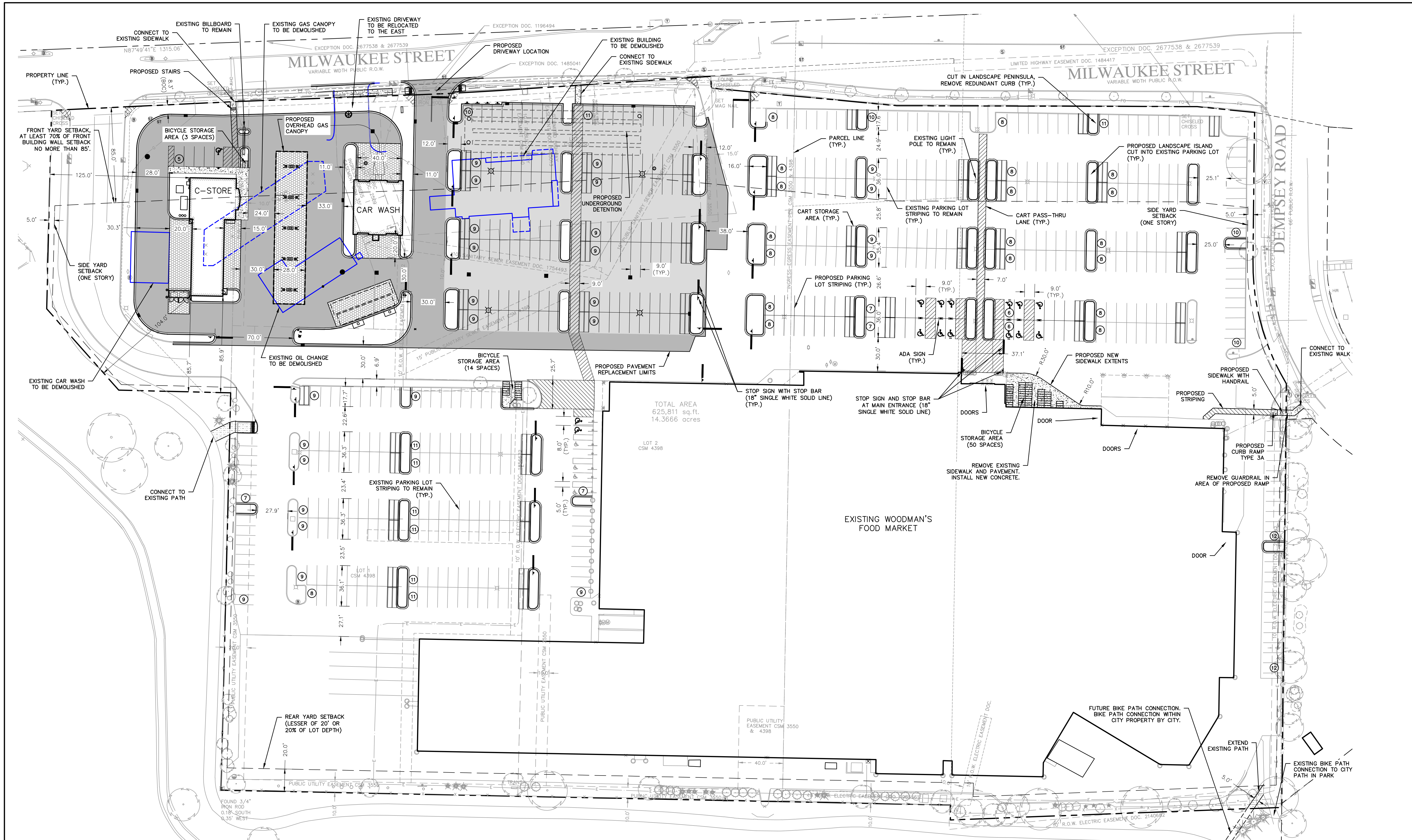
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 <p>CREATIVITY BEYOND ENGINEERING</p> <p>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 <a href="http://rasmith.com">rasmith.com</a></p> <p>Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI   Cedarburg, WI Mount Pleasant, WI   Naperville, IL   Irvine, CA</p>	
<p><b>WOODMAN'S FOOD MARKET 3817 MILWAUKEE STREET, MADISON, WI</b></p> <p><b>EXISTING CONDITIONS AND DEMOLITION PLAN</b></p>	
<p>© COPYRIGHT 2020 R.A. Smith, Inc. DATE: 02/05/2020 SCALE: 1" = 40' JOB NO. 3190289 PROJECT MANAGER: PAUL V. MCILHERAN, P.E. DESIGNED BY: AJS CHECKED BY: PVM</p>	
<p><b>SHEET NUMBER</b></p> <p>C100</p>	



**SITE DATA**

TOTAL SITE AREA	= 625,811 SF (14.4 AC)
CURRENT IMPERVIOUS AREA	= 577,972 SF (13.3 AC)
PERCENT IMPERVIOUS	= 92.3%
PROPOSED IMPERVIOUS AREA	= 572,275 SF (13.2 AC)
PERCENT IMPERVIOUS	= 91.4%
CURRENT PERVIOUS AREA	= 47,839 SF (1.1 AC)
PROPOSED PERVIOUS AREA	= 53,536 SF (1.2 AC)
REDUCTION IN IMPERVIOUS AREA	= 5,697 SF (0.1 AC)
PROPOSED C-STORE AREA	= 3,538 SF
PROPOSED CAR WASH AREA	= 2,088 SF
LOT COVERAGE	= 91.4%

\*NOTE: MAXIMUM LOT COVERAGE IN CC DISTRICT IS 80%; HOWEVER, THE AMOUNT OF PROPOSED IMPERVIOUS AREA IS LESS THAN EXISTING.

**NOTES**

ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

⑦ PARKING COUNT

OBJECTS IN BLUE TO BE DEMOLISHED OR REMOVED.

SEE DETAIL SHEETS FOR SIGNING AND STRIPING DETAILS, CURB RAMP DETAILS, BIKE RACK STYLE DETAIL, AND PAVEMENT SECTIONS.

**SETBACK INFORMATION**

FRONT YARD AT LEAST 70% OF FRONT BUILDING WALL SETBACK NO MORE THAN 85'

SIDE YARD 5' (ONE STORY)

REAR YARD 20' (LESS THAN 20% OF LOT DEPTH)

**PARKING CALCULATIONS**

WOODMAN'S AUTOMOBILE PARKING	
STANDARD SPACES	554
ACCESSIBLE SPACES	20
TOTAL SPACES	574
ACCESSIBLE SPACES REQUIRED	12
ACCESSIBLE SPACES PROVIDED	20
BIKE PARKING	
WOODMAN'S FOOD MARKET REQUIRED	64
WOODMAN'S FOOD MARKET PROVIDED	64
GAS/LUBE REQUIRED	3
GAS/LUBE PROVIDED	3

N

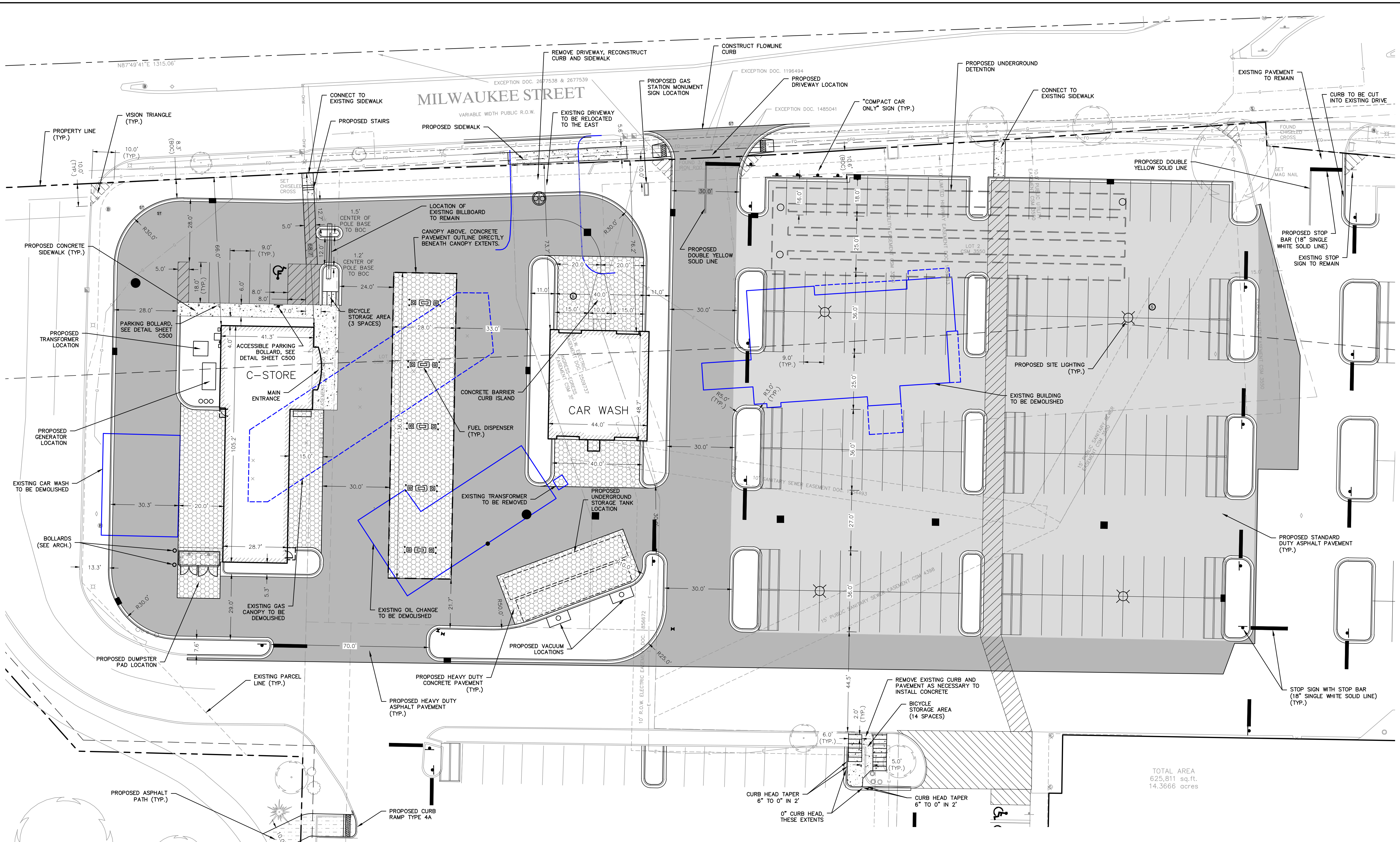
GRAPHIC SCALE  
20 0 20 40 80  
(IN FEET)

**811**  
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DESCRIPTION	
DATE	
PROJECT	WOODMAN'S FOOD MARKET 3817 MILWAUKEE STREET, MADISON, WI
OVERALL SITE PLAN	
SHEET NUMBER	C200
 16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com CREATIVITY BEYOND ENGINEERING	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI   Cedarburg, WI Mount Pleasant, WI   Naperville, IL   Irvine, CA	

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TOTAL AREA  
625,811 sq.ft.  
14.3666 acres

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**NOTES**

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OBJECTS IN BLUE TO BE DEMOLISHED OR REMOVED.

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**SETBACK INFORMATION**

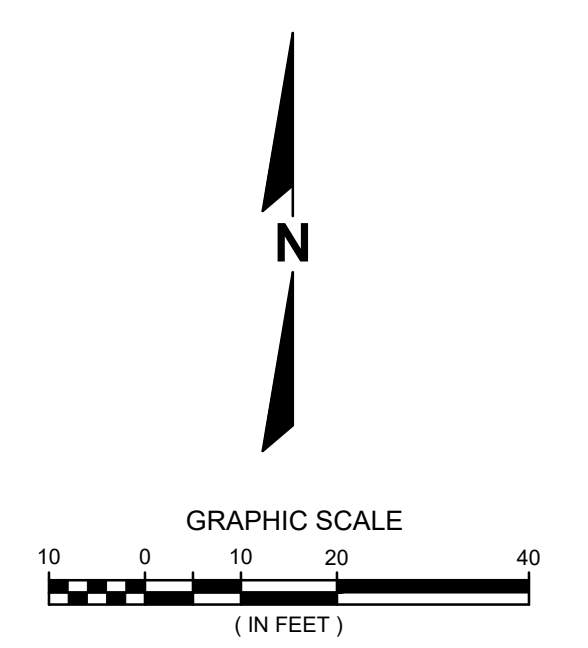
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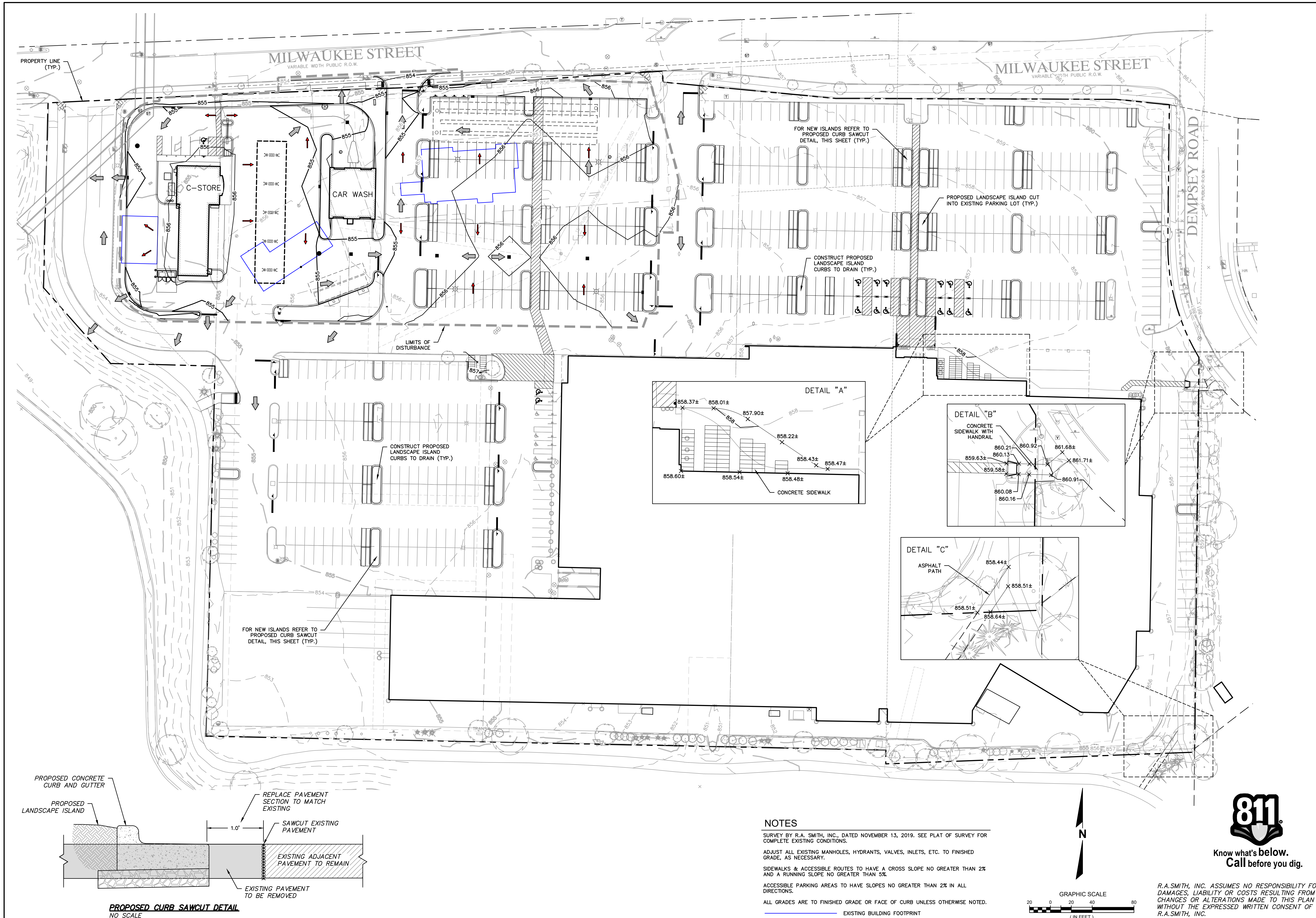
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WOODMAN'S FOOD MARKET PROVIDED	64
GAS/LUBE REQUIRED	3
GAS/LUBE PROVIDED	3



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DATE	
 CREATIVITY BEYOND ENGINEERING	
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Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI   Cedarburg, WI Mount Pleasant, WI   Naperville, IL   Irvine, CA	
<b>WOODMAN'S FOOD MARKET</b>	<b>SITE PLAN DETAIL</b>
<b>3817 MILWAUKEE STREET, MADISON, WI</b>	
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DESCRIPTION	DATE

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Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Mount Pleasant, WI | Naperville, IL | Irvine, CA

**WOODMAN'S FOOD MARKET**  
**3817 MILWAUKEE STREET, MADISON, WI**

**OVERALL GRADING PLAN**

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DATE: 02/05/2020
SCALE: 1" = 40'
JOB NO. 3190289
PROJECT MANAGER: PAUL V. MCILHERAN, P.E.
DESIGNED BY: AJS
CHECKED BY: PVM
<b>SHEET NUMBER</b>
<b>C300</b>

**NOTES**

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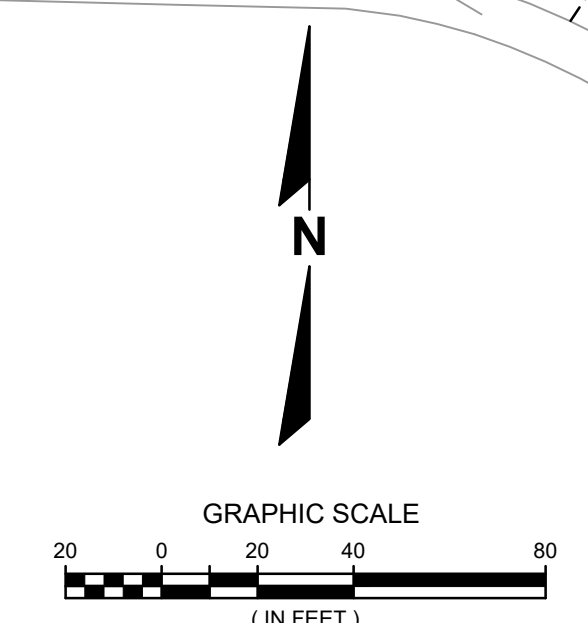
ADJUST ALL EXISTING MANHOLES, HYDRANTS, VALVES, INLETS, ETC. TO FINISHED GRADE, AS NECESSARY.

SIDEWALKS & ACCESSIBLE ROUTES TO HAVE A CROSS SLOPE NO GREATER THAN 2% AND A RUNNING SLOPE NO GREATER THAN 5%.

ACCESSIBLE PARKING AREAS TO HAVE SLOPES NO GREATER THAN 2% IN ALL DIRECTIONS.

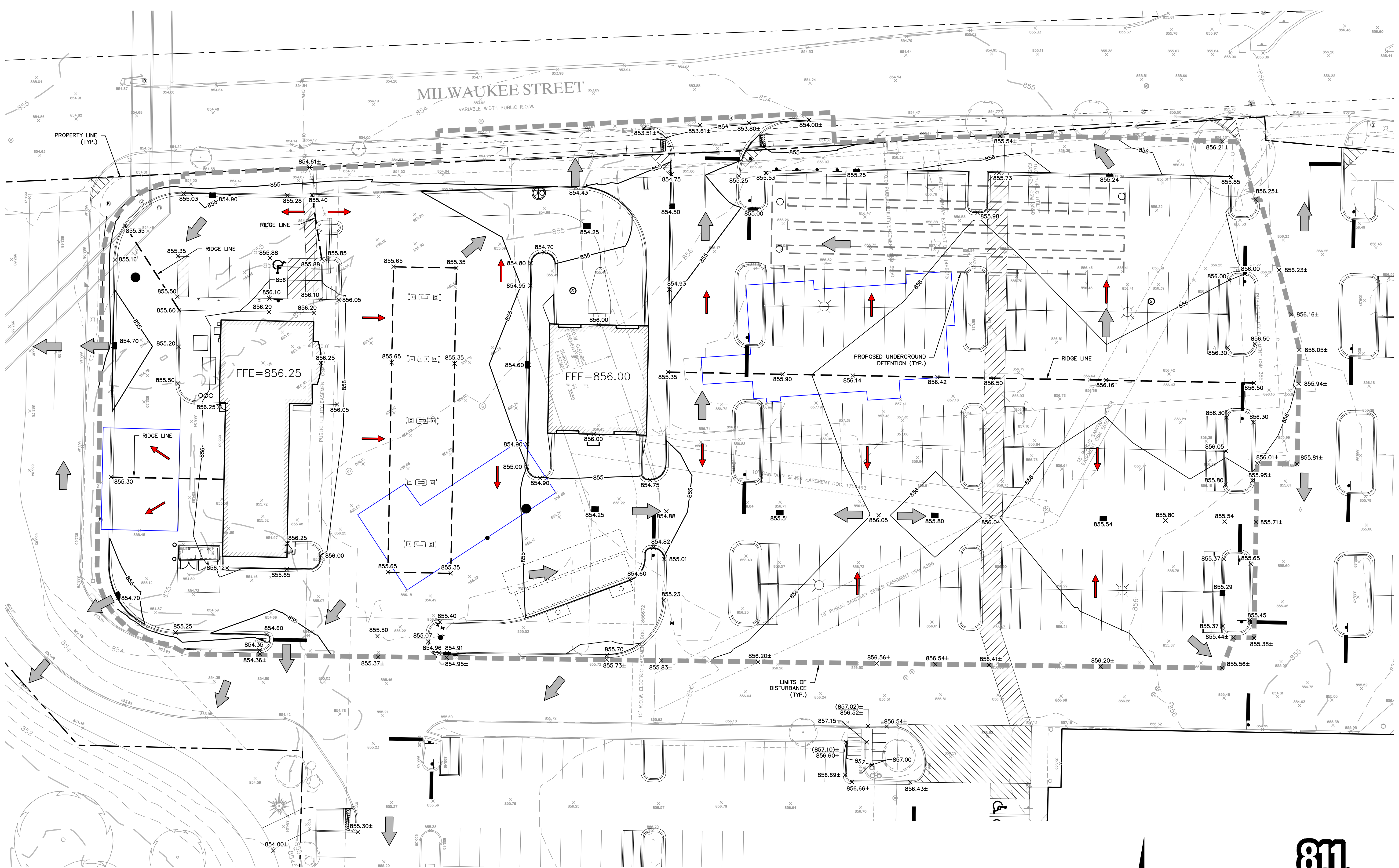
ALL GRADES ARE TO FINISHED GRADE OR FACE OF CURB UNLESS OTHERWISE NOTED.

— EXISTING BUILDING FOOTPRINT



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**NOTES**

SURVEY BY R.A. SMITH, INC., DATED NOVEMBER 13, 2019. SEE PLAT OF SURVEY FOR COMPLETE EXISTING CONDITIONS.

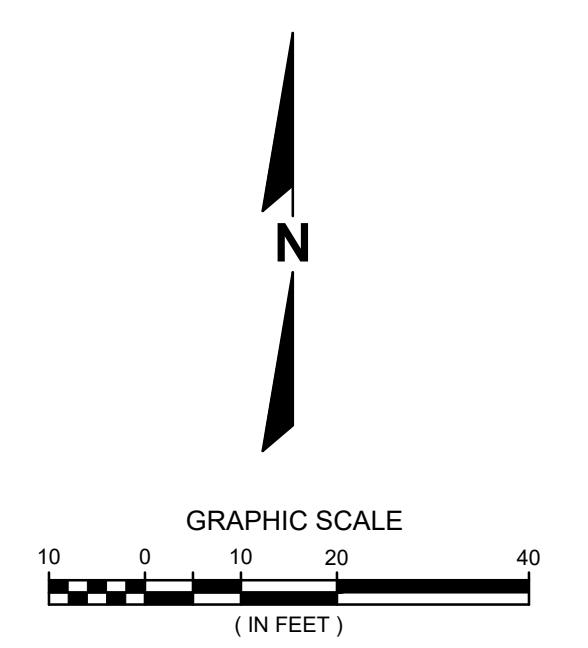
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— EXISTING BUILDING FOOTPRINT



**811**

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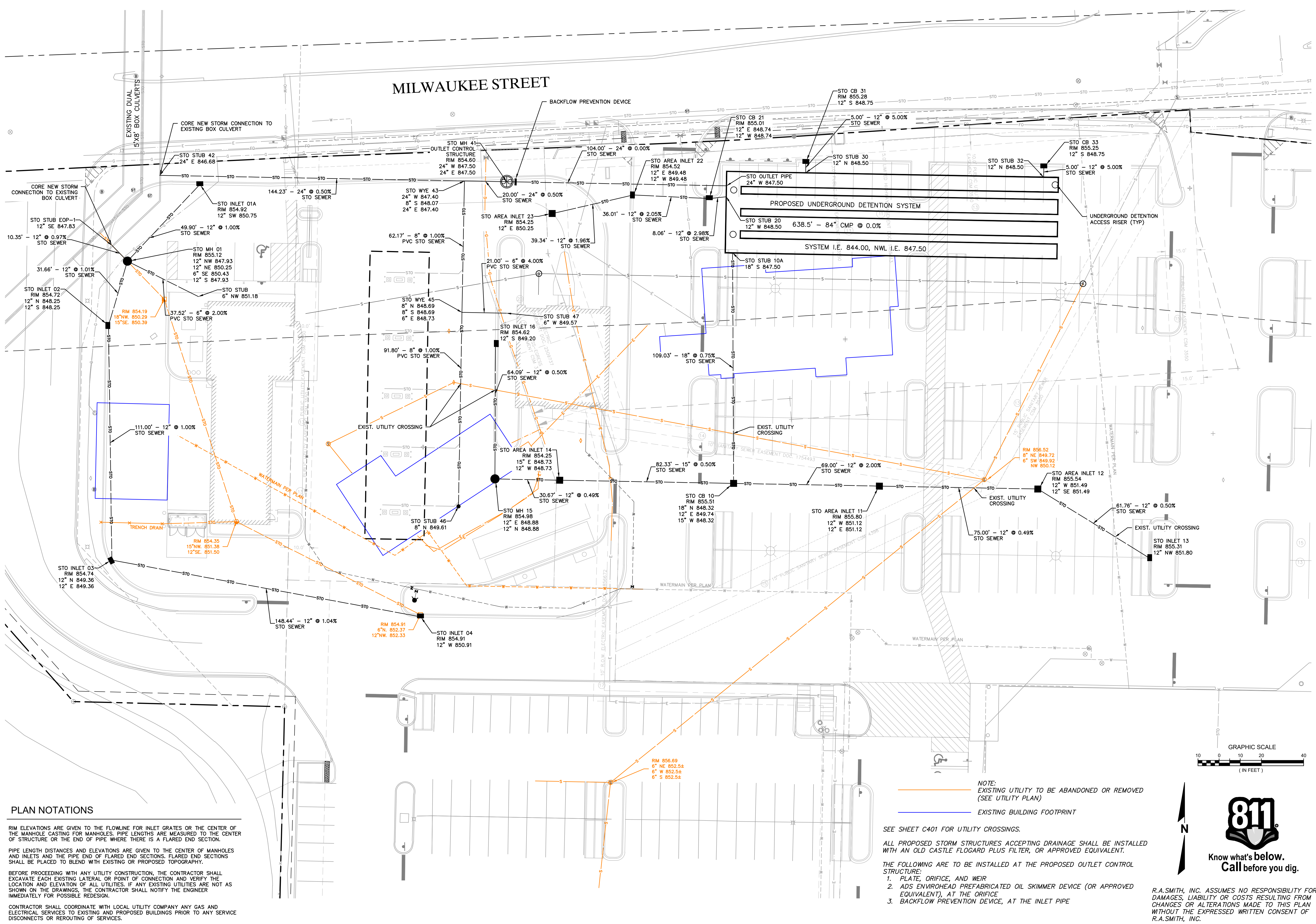
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Brookfield, WI 53005-5938  
(262) 781-1000  
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Menomonee Falls, WI | Wauwatosa, WI | Waukesha, WI | Inverness, IL | Irvine, CA

**WOODMAN'S FOOD MARKET**  
**3817 MILWAUKEE STREET, MADISON, WI**  
**GRADING PLAN DETAIL**

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DATE: 02/05/2020
SCALE: 1" = 20'
JOB NO. 3190289
PROJECT MANAGER: PAUL V. MCILHERAN, P.E.
DESIGNED BY: AJS
CHECKED BY: PVM
<b>SHEET NUMBER</b>
<b>C301</b>



**PLAN NOTATIONS**

RIM ELEVATIONS ARE GIVEN TO THE FLOWLINE FOR INLET GRATES OR THE CENTER OF THE MANHOLE CASTING FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS A FLARED END SECTION.

PIPE LENGTH DISTANCES AND ELEVATIONS ARE GIVEN TO THE CENTER OF MANHOLES AND INLETS AND THE PIPE END OF FLARED END SECTIONS. FLARED END SECTIONS SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY ANY GAS AND ELECTRICAL SERVICES TO EXISTING AND PROPOSED BUILDINGS PRIOR TO ANY SERVICE DISCONNECTS OR REROUTING OF SERVICES.

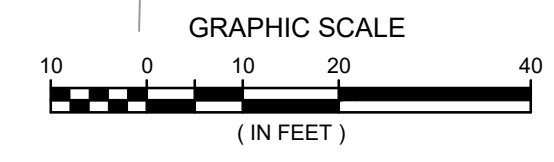
NOTE:  
 - EXISTING UTILITY TO BE ABANDONED OR REMOVED (SEE UTILITY PLAN)  
 - EXISTING BUILDING FOOTPRINT

SEE SHEET C401 FOR UTILITY CROSSINGS.

ALL PROPOSED STORM STRUCTURES ACCEPTING DRAINAGE SHALL BE INSTALLED WITH AN OLD CASTLE FLOGARD PLUS FILTER, OR APPROVED EQUIVALENT.

THE FOLLOWING ARE TO BE INSTALLED AT THE PROPOSED OUTLET CONTROL STRUCTURE:

1. PLATE, ORIFICE, AND WEIR
2. ADS ENVIROHEAD PREFABRICATED OIL SKIMMER DEVICE (OR APPROVED EQUIVALENT), AT THE ORIFICE
3. BACKFLOW PREVENTION DEVICE, AT THE INLET PIPE



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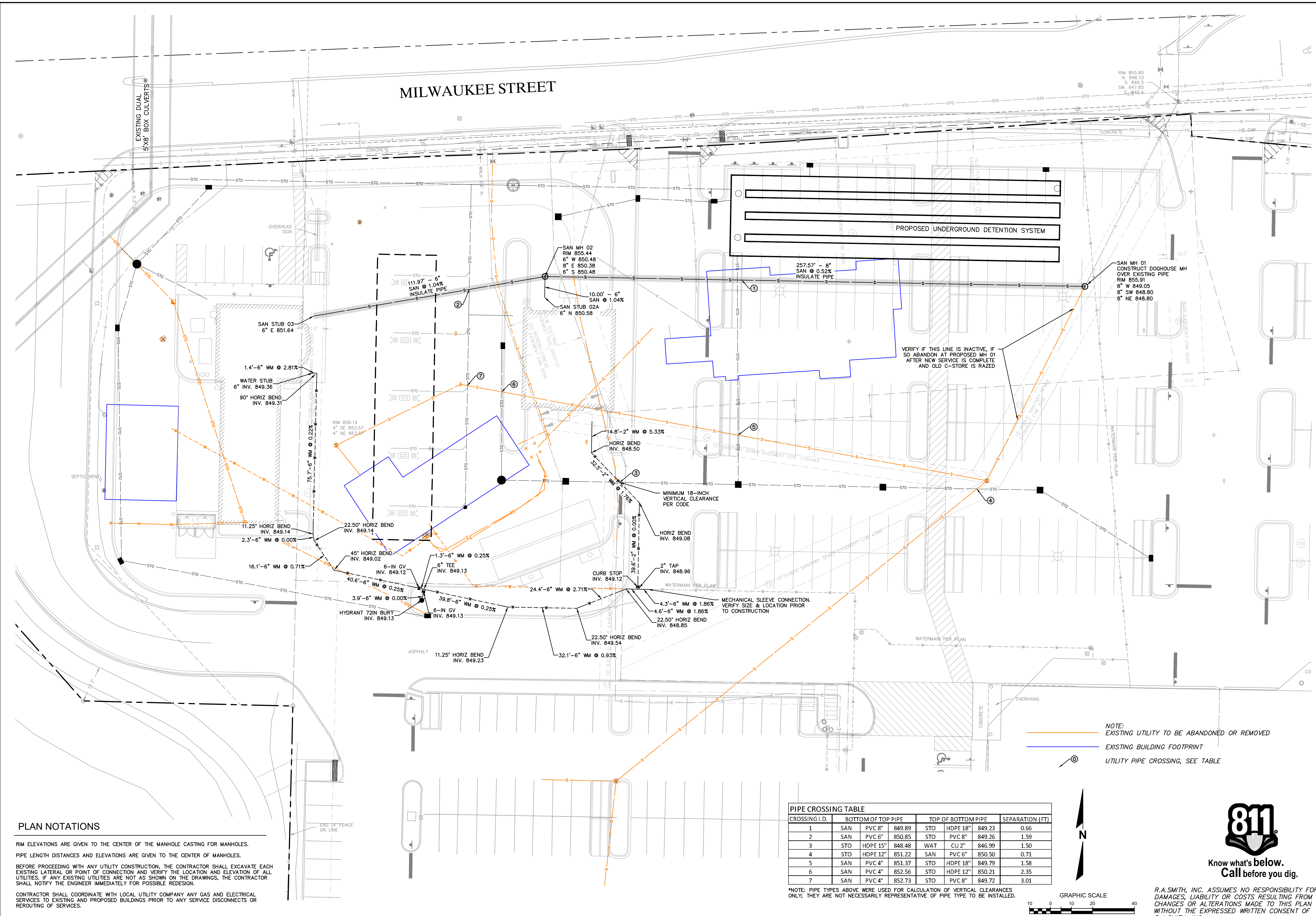
**WOODMAN'S FOOD MARKET  
 3817 MILWAUKEE STREET, MADISON, WI**

**STORM SEWER UTILITY PLAN**

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DATE: 02/05/2020
SCALE: 1" = 20'
JOB NO. 3190289
PROJECT MANAGER: PAUL V. MCILHERAN, P.E.
DESIGNED BY: AJS
CHECKED BY: PVM
<b>SHEET NUMBER</b>
<b>C400</b>

P:\3190289\Drawings\Sheets\3190289-UF01.dwg, C:\00 Utility Plan Detail, 2/3/2020, 2:30:16 PM, AJS





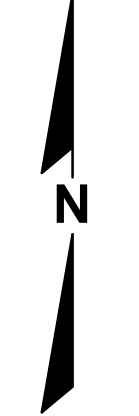
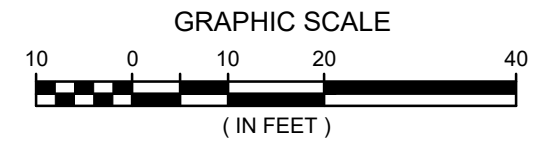
**PLAN NOTATIONS**

RIM ELEVATIONS ARE GIVEN TO THE CENTER OF THE MANHOLE CASTING FOR MANHOLES.  
 PIPE LENGTH DISTANCES AND ELEVATIONS ARE GIVEN TO THE CENTER OF MANHOLES.  
 BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.  
 CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY ANY GAS AND ELECTRICAL SERVICES TO EXISTING AND PROPOSED BUILDINGS PRIOR TO ANY SERVICE DISCONNECTS OR REROUTING OF SERVICES.

NOTE:  
 ——— EXISTING UTILITY TO BE ABANDONED OR REMOVED  
 ——— EXISTING BUILDING FOOTPRINT  
 ⊕ UTILITY PIPE CROSSING, SEE TABLE

PIPE CROSSING TABLE							
CROSSING I.D.		BOTTOM OF TOP PIPE		TOP OF BOTTOM PIPE		SEPARATION (FT)	
1	SAN	PVC 8"	849.89	STO	HDPE 18"	849.23	0.66
2	SAN	PVC 6"	850.85	STO	PVC 8"	849.26	1.59
3	STO	HDPE 15"	848.48	WAT	CU 2"	846.99	1.50
4	STO	HDPE 12"	851.22	SAN	PVC 6"	850.50	0.71
5	SAN	PVC 4"	851.37	STO	HDPE 18"	849.79	1.58
6	SAN	PVC 4"	852.56	STO	HDPE 12"	850.21	2.35
7	SAN	PVC 4"	852.73	STO	PVC 8"	849.72	3.01

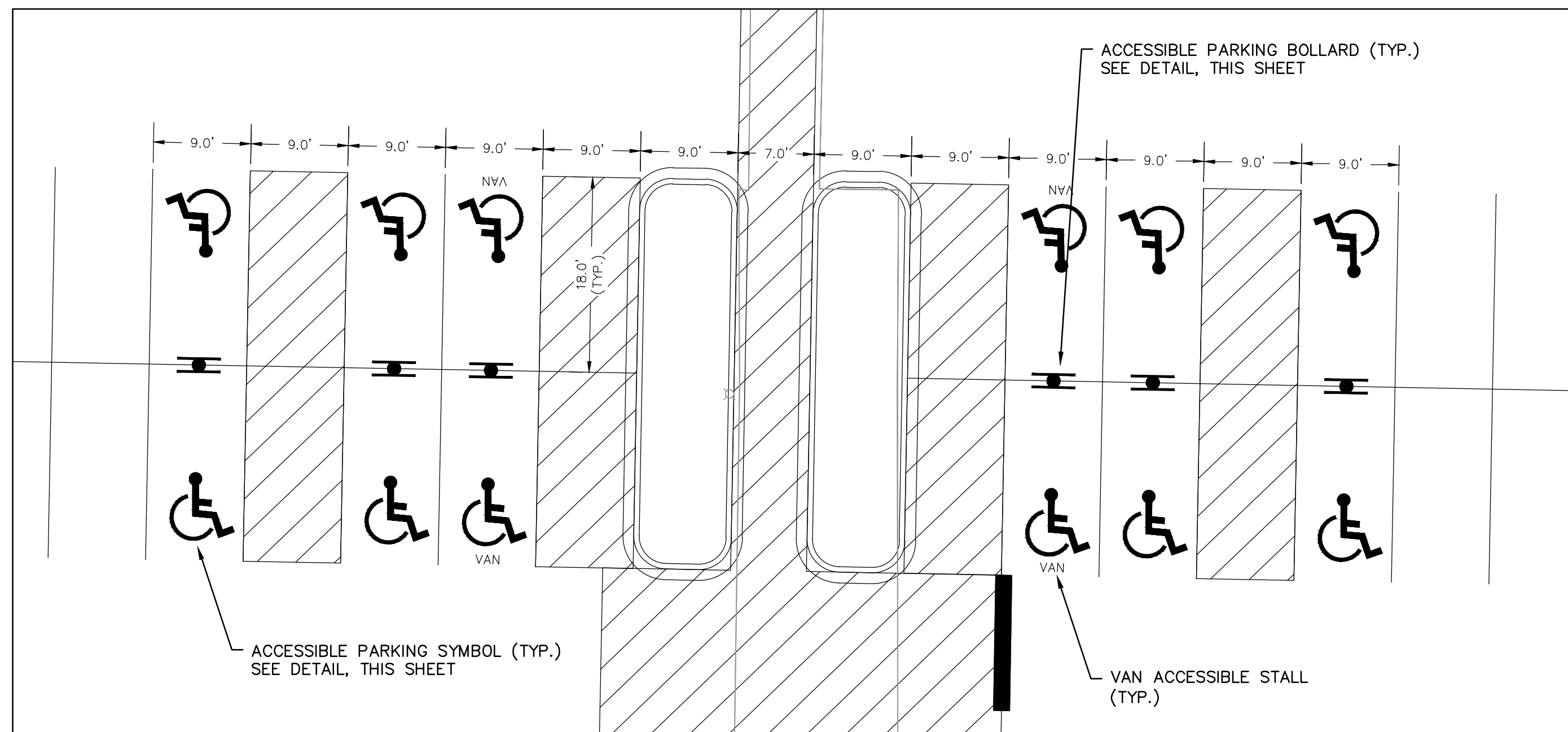
\*NOTE: PIPE TYPES ABOVE WERE USED FOR CALCULATION OF VERTICAL CLEARANCES ONLY; THEY ARE NOT NECESSARILY REPRESENTATIVE OF PIPE TYPE TO BE INSTALLED.



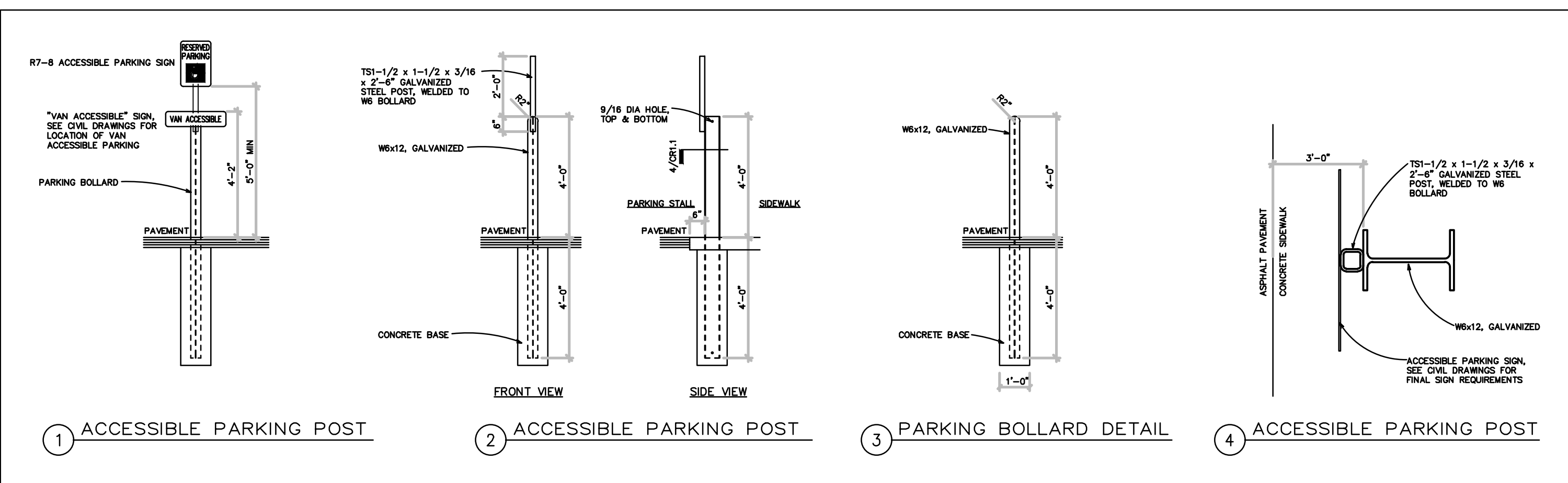
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DESCRIPTION	
DATE	
 CREATIVITY BEYOND ENGINEERING 16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
WOODMAN'S FOOD MARKET 3817 MILWAUKEE STREET, MADISON, WI SANITARY SEWER AND WATER UTILITY PLAN	
© COPYRIGHT 2020 R.A. Smith, Inc. DATE: 02/05/2020 SCALE: 1" = 20' JOB NO. 3190289 PROJECT MANAGER: PAUL V. MCILHERAN, P.E. DESIGNED BY: AJS CHECKED BY: PVM <b>SHEET NUMBER</b> C401	

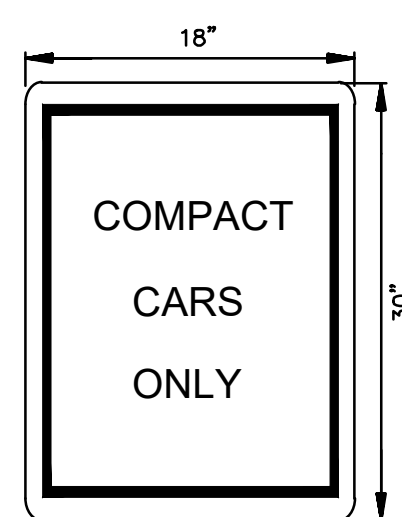
P:\3190289 (DWG) Sheets\3190289-UP02.dwg, C:01 Utility Plan Detail, 2/3/2020, 2:30:26 PM, A:js



**ACCESSIBLE PARKING DIMENSIONS  
FRONT OF STORE**  
N.T.S.

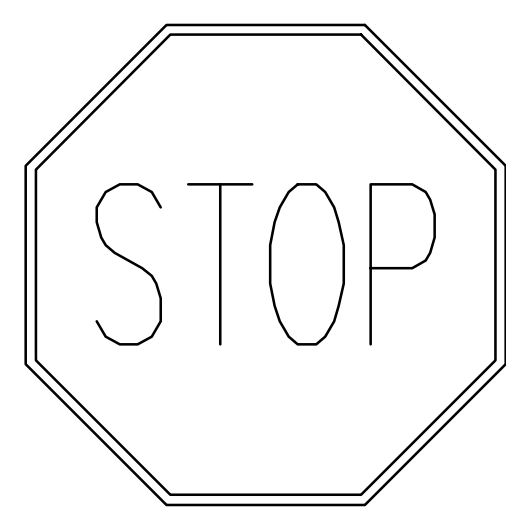


1 ACCESSIBLE PARKING POST      2 ACCESSIBLE PARKING POST      3 PARKING BOLLARD DETAIL      4 ACCESSIBLE PARKING POST



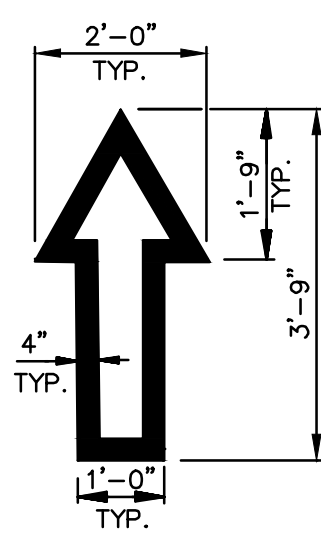
BLACK LEGEND ON WHITE BACKGROUND  
18" X 30"

**"COMPACT CARS ONLY" SIGN**  
N.T.S.

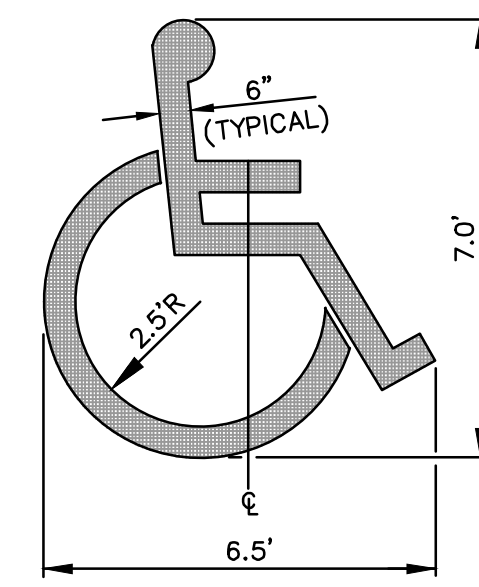


R1-1  
30" X 30"  
**STOP SIGN**  
N.T.S.

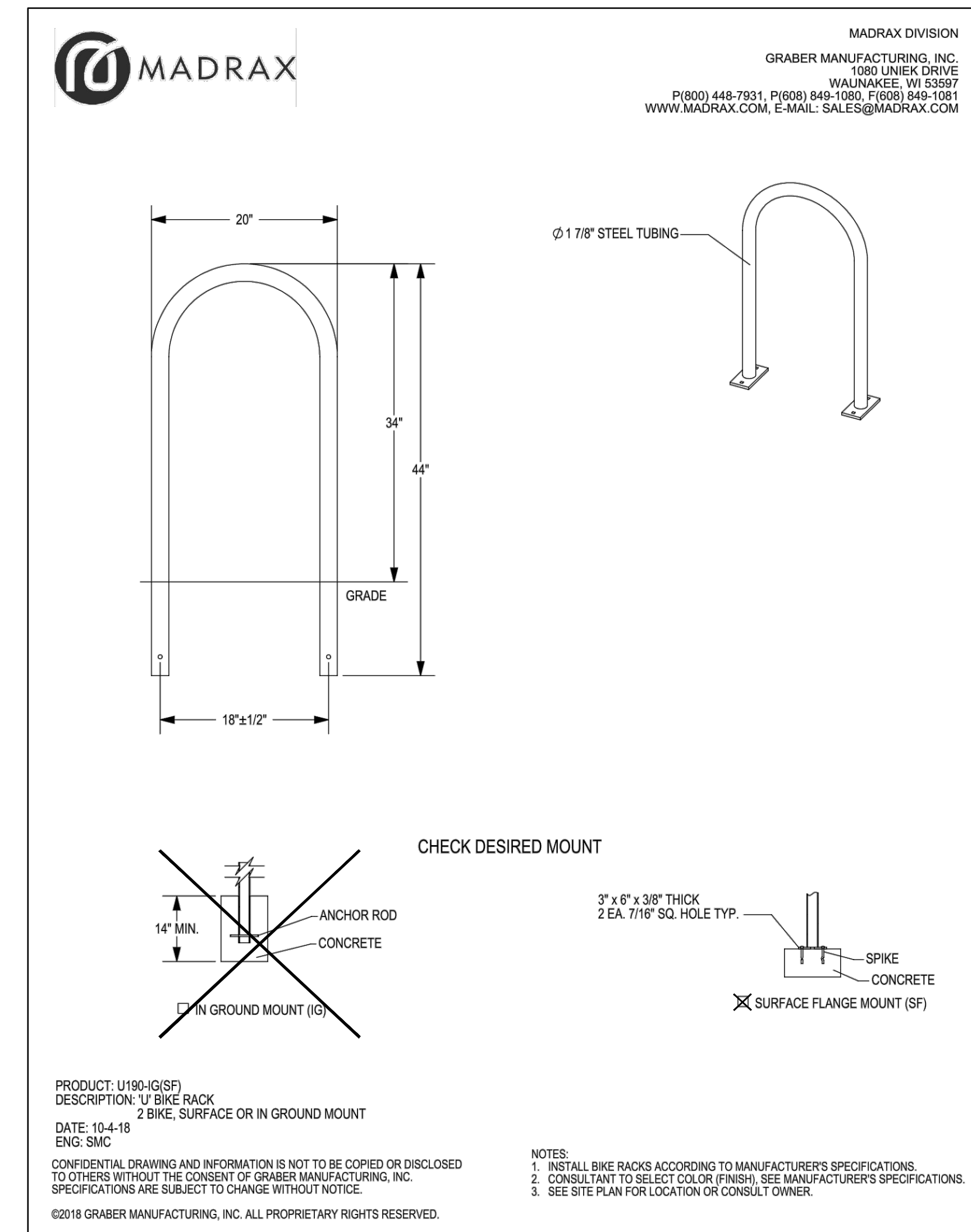
**PARKING LOT DIRECTIONAL ARROW**  
N.T.S.



NOTE:  
ALL TRAFFIC FLOW ARROW  
TO BE REFLECTIVE YELLOW  
PAINT PER SPECS.



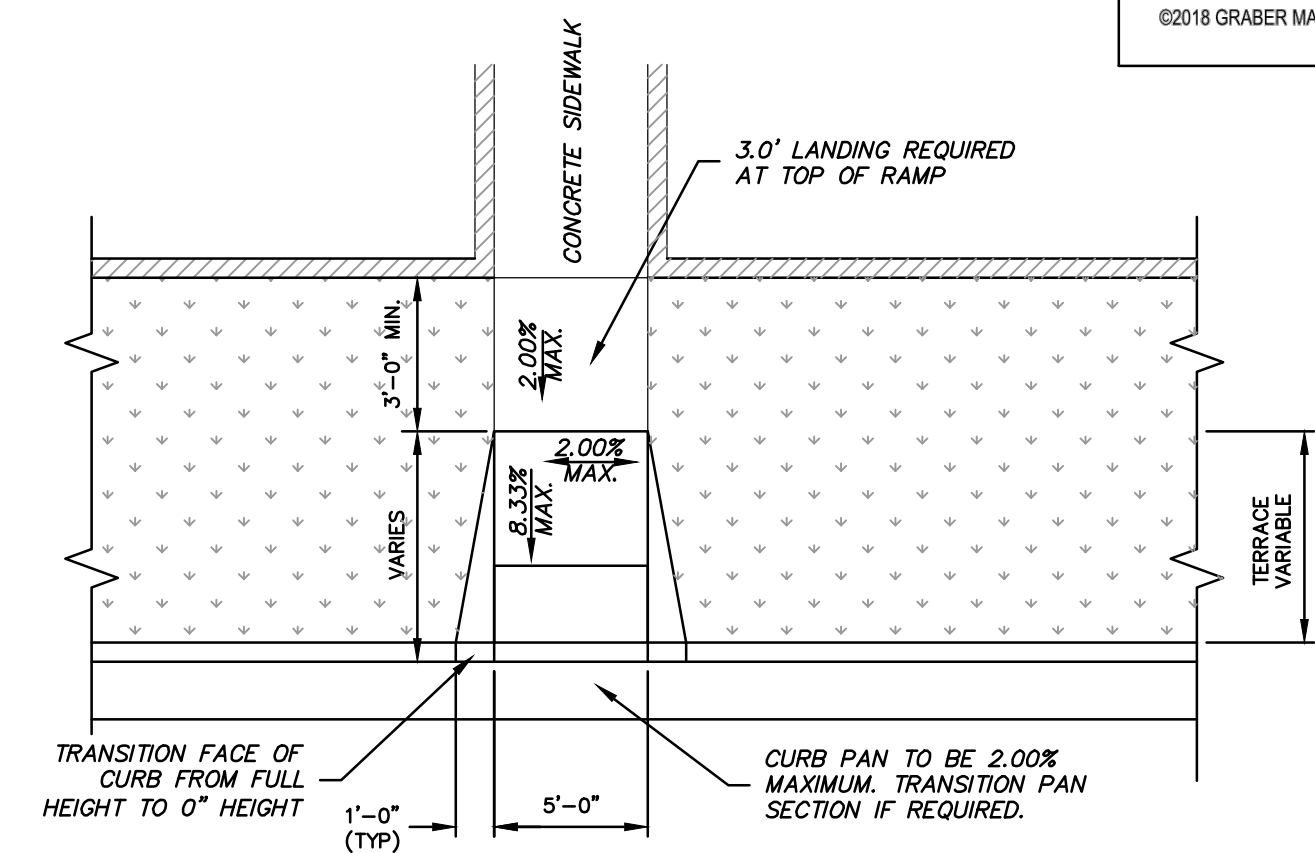
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING  
**ACCESSIBLE PARKING SYMBOL**  
N.T.S.



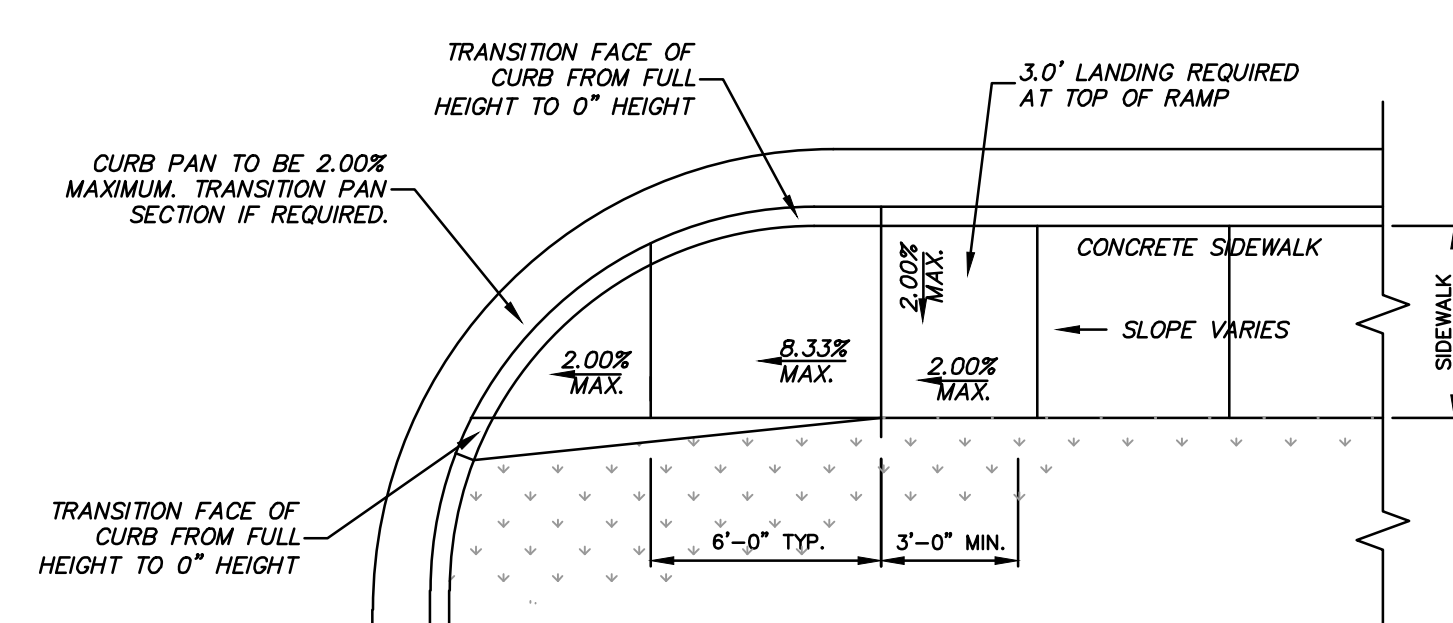
PRODUCT: U190-IG(SF)  
DESCRIPTION: 1' BIKE RACK  
DATE: 10-4-18  
ENG: SMC

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NOTES:  
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.  
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.



**TYPE 3A CURB RAMP**  
NOTES:  
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.



**TYPE 4A CURB RAMP**  
NOTES:  
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.

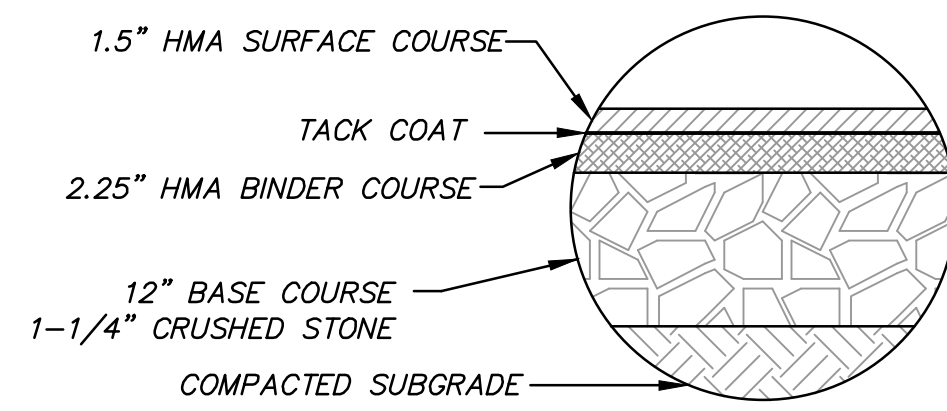


Know what's below.  
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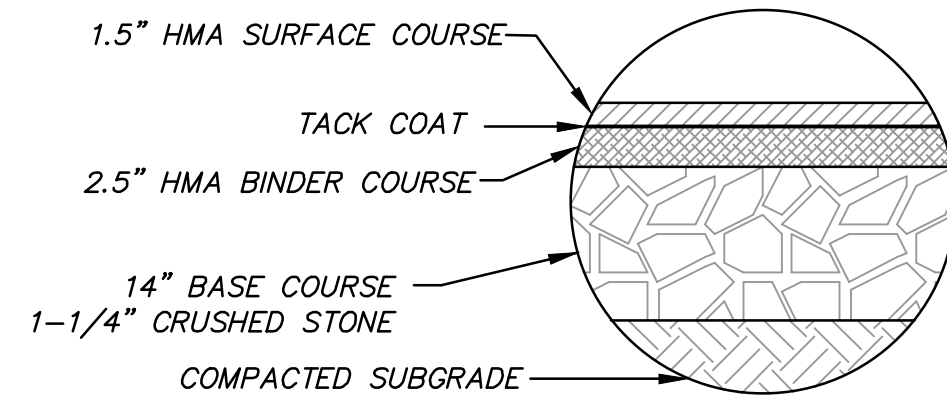
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DESCRIPTION	DATE
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
<b>WOODMAN'S FOOD MARKET</b> 3817 MILWAUKEE STREET, MADISON, WI	
<b>SITE DETAILS</b>	
© COPYRIGHT 2020 R.A. Smith, Inc. DATE: 02/05/2020 SCALE: N.T.S. JOB NO. 3190289 PROJECT MANAGER: PAUL V. MCILHERAN, P.E. DESIGNED BY: AJS CHECKED BY: PVM	
<b>SHEET NUMBER</b> C500	

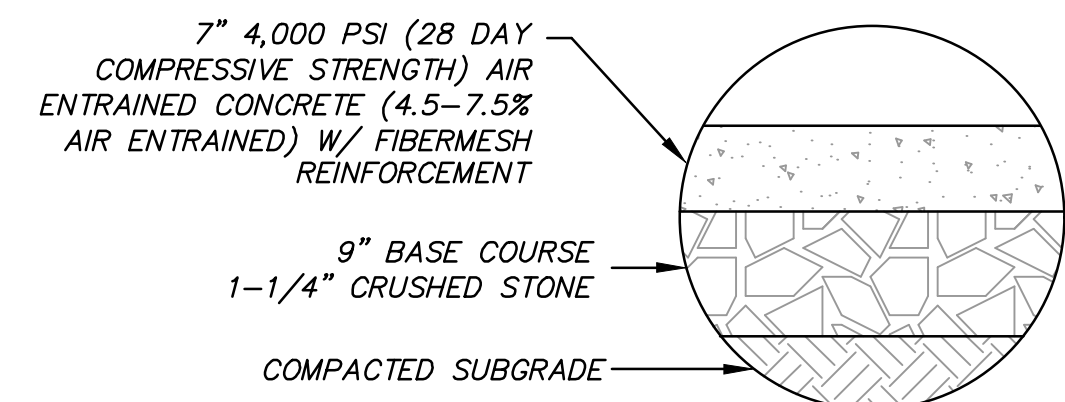
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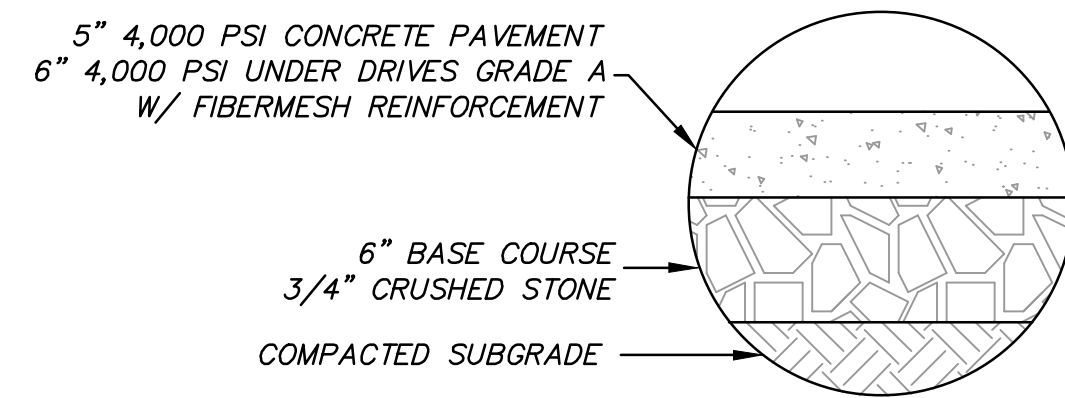
**BITUMINOUS PAVEMENT (STANDARD DUTY)**



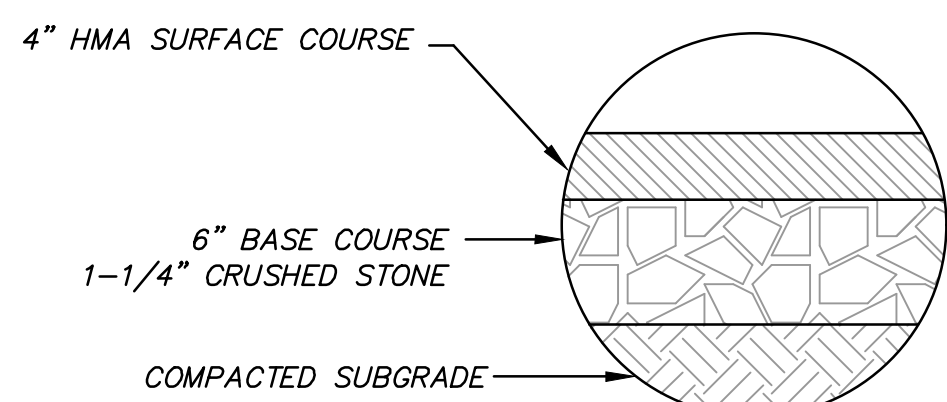
**BITUMINOUS PAVEMENT (HEAVY DUTY)**



**HEAVY DUTY CONCRETE PAVEMENT WITHOUT STEEL REINFORCEMENT**

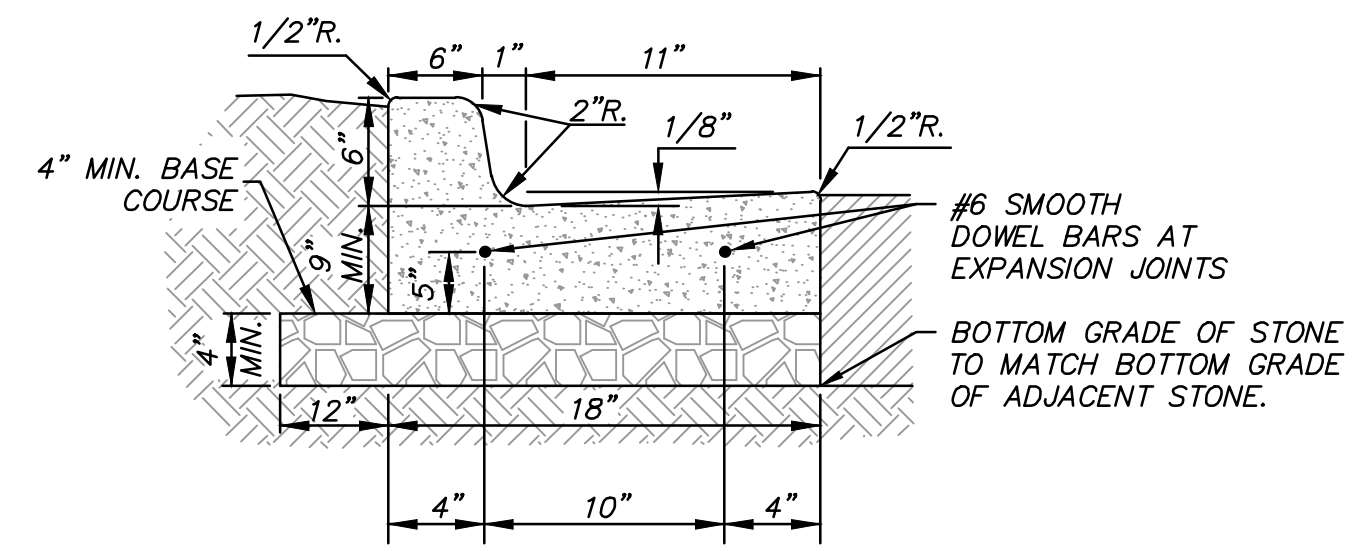


**CONCRETE SIDEWALK**

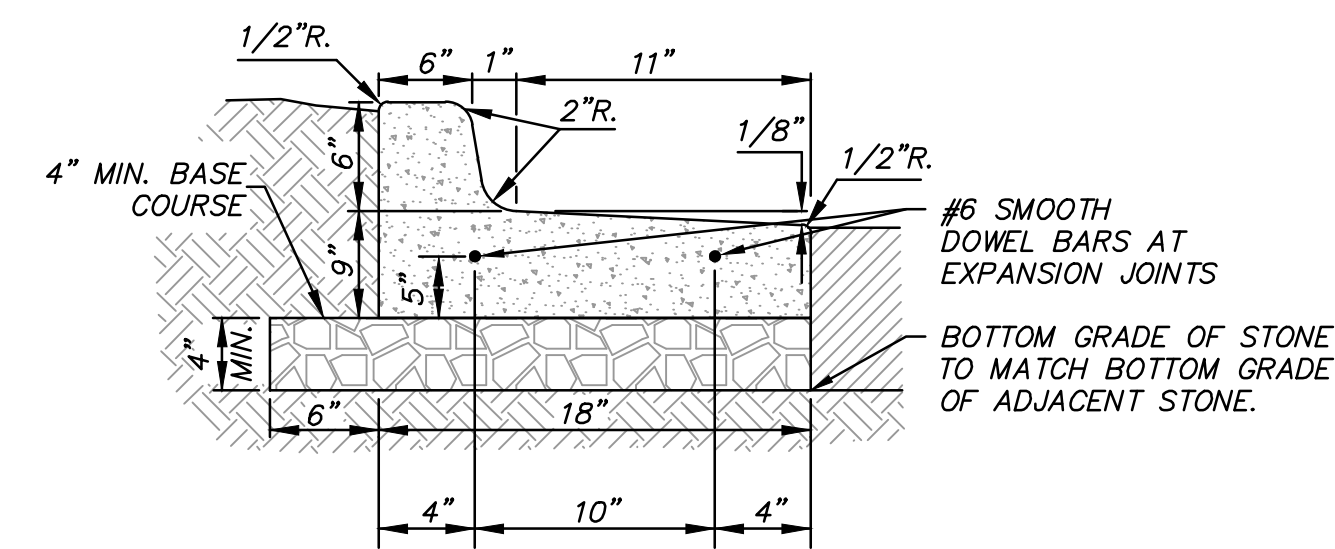


**ASPHALT PATH**

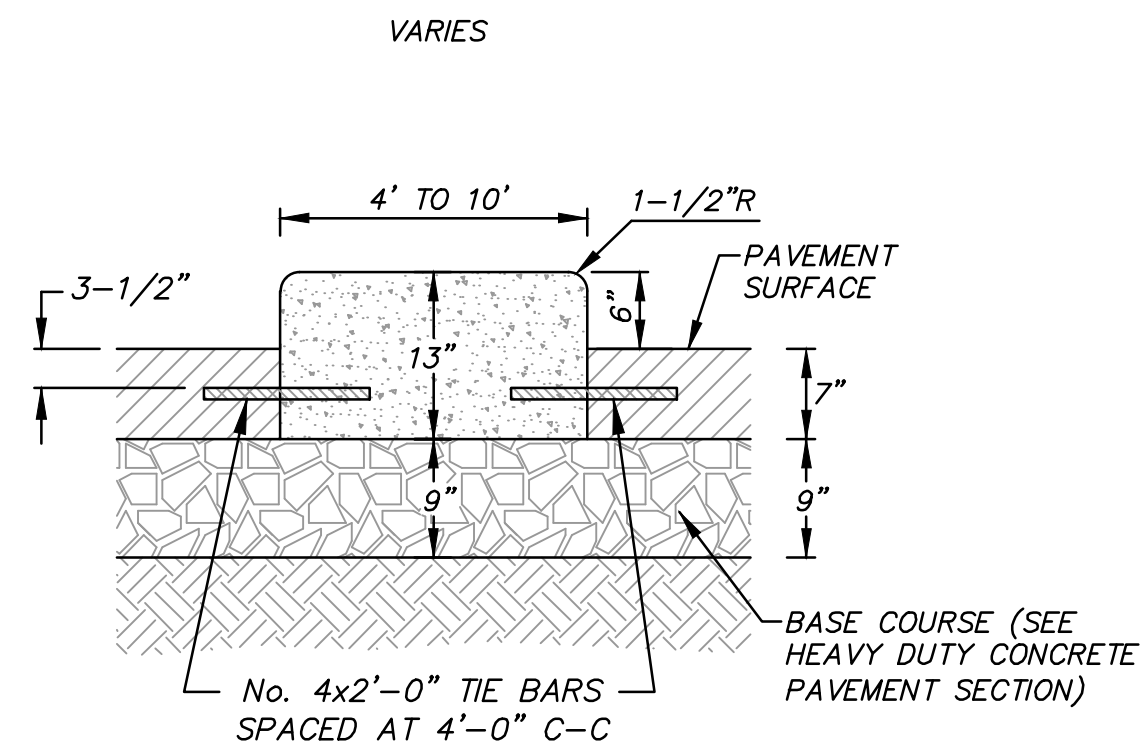
- PAVEMENT NOTES:**
1. ALL HMA SURFACE COURSE TO BE 5 LT 58-28 S.
  2. ALL HMA BINDER COURSE TO BE 3 LT 58-28 S.
  3. PAVEMENT SECTIONS ARE SUBJECT TO VERIFICATION BY THE GEOTECHNICAL ENGINEER.
  4. CONTRACTION JOINTS IN CONCRETE PAVEMENT, MADE TRANSVERSE TO THE DIRECTION OF TRAFFIC FLOW, SHOULD BE MADE AT INTERVALS OF 15 FEET OR LESS, PROPERLY REINFORCED WITH LUBRICATED SMOOTH DOWEL BARS (3/4 INCH DIAMETER, 18 INCHES IN LENGTH) AND PLACED ON 12-INCH CENTERS.



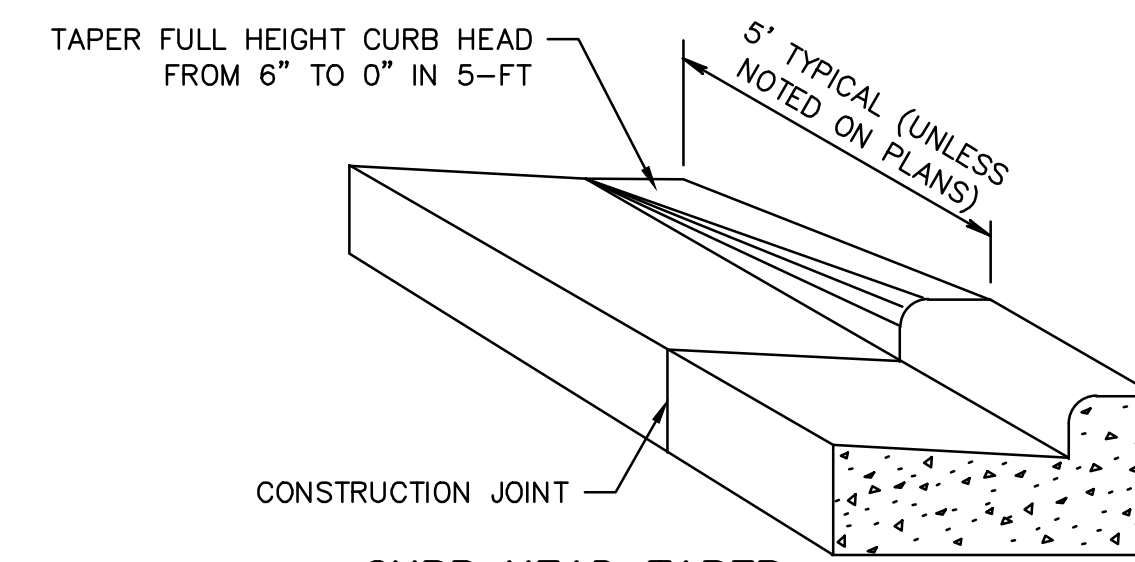
**STANDARD CURB SECTION 18"**



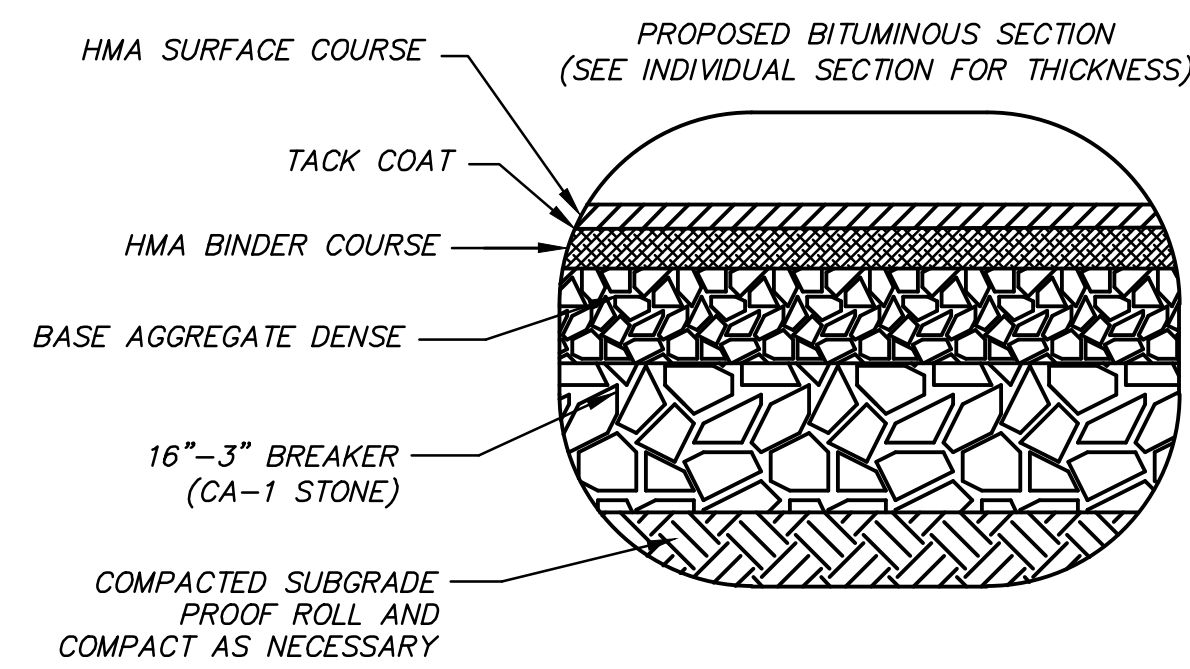
**REVERSE CURB SECTION 18"**



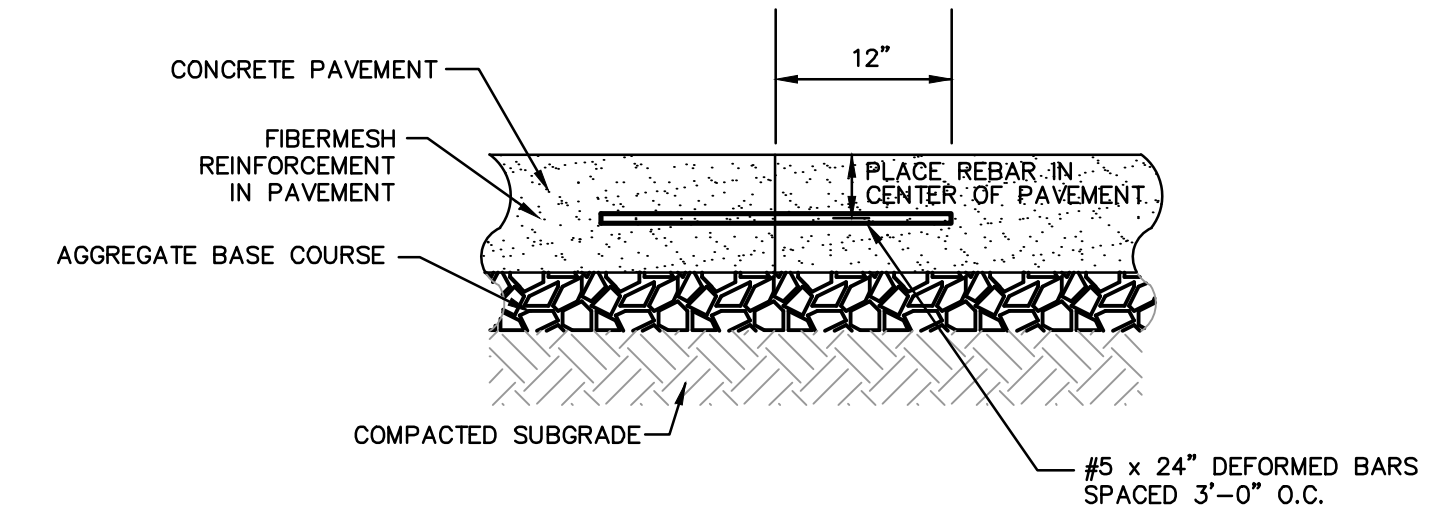
**CONCRETE BARRIER CURB ISLAND (AT CAR WASH) TYPICAL SECTION**



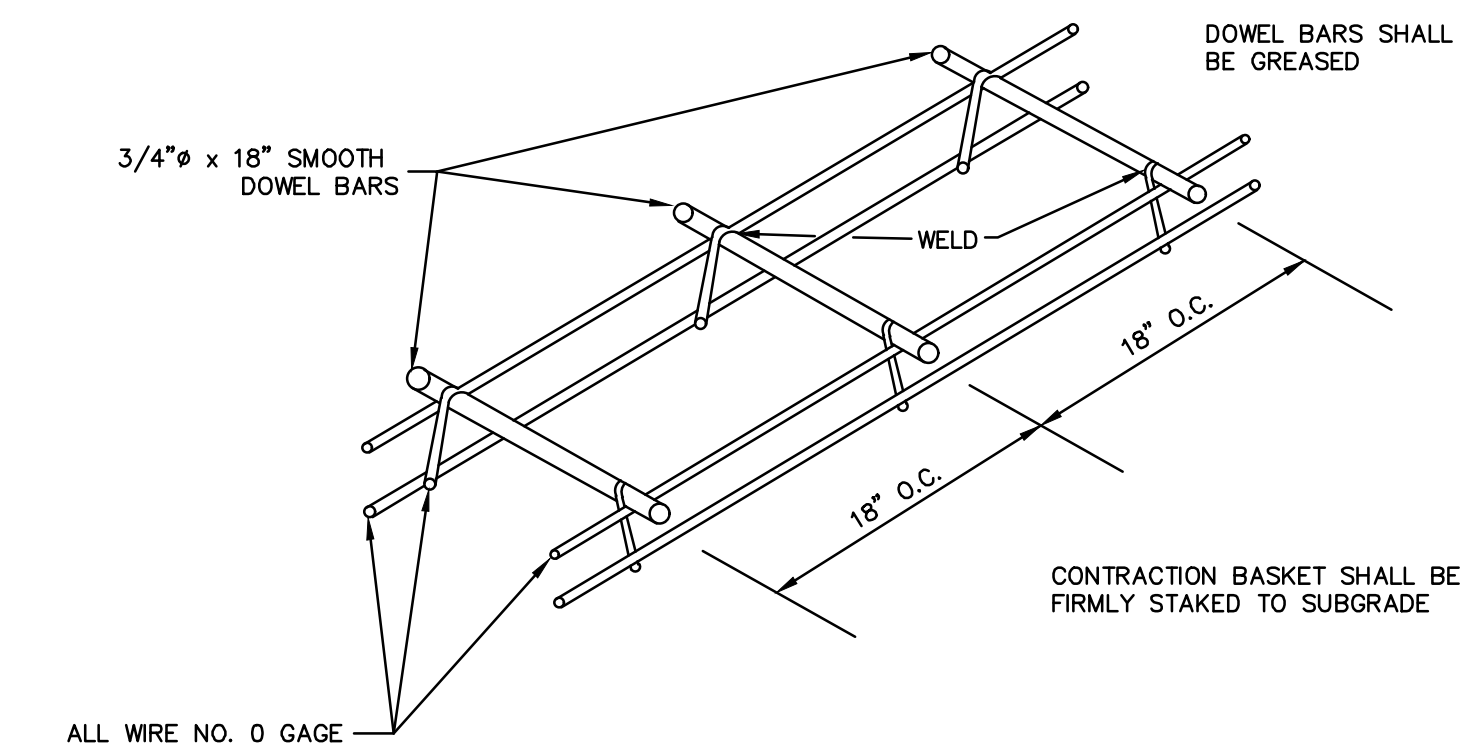
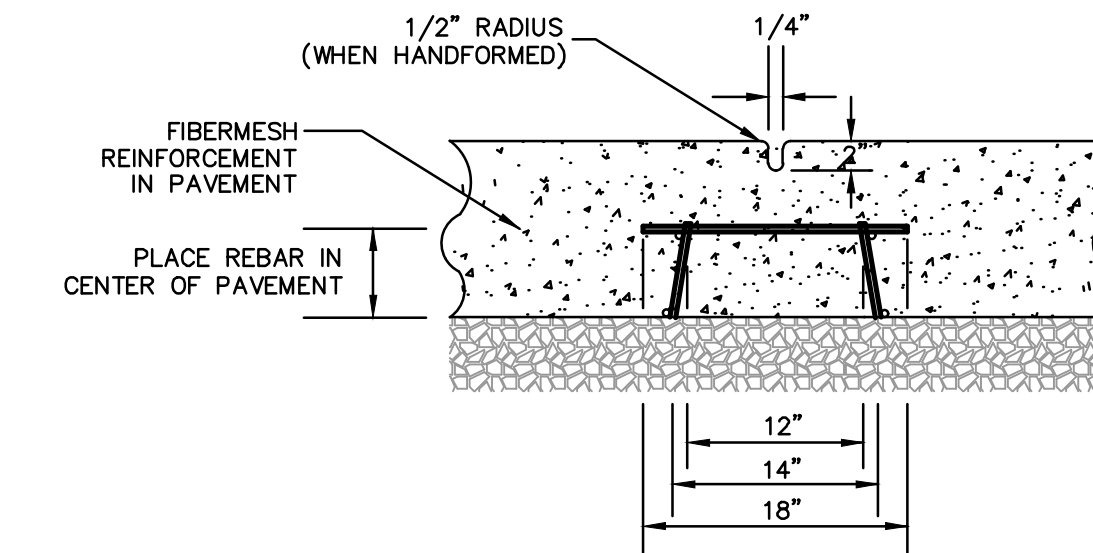
**CURB HEAD TAPER**



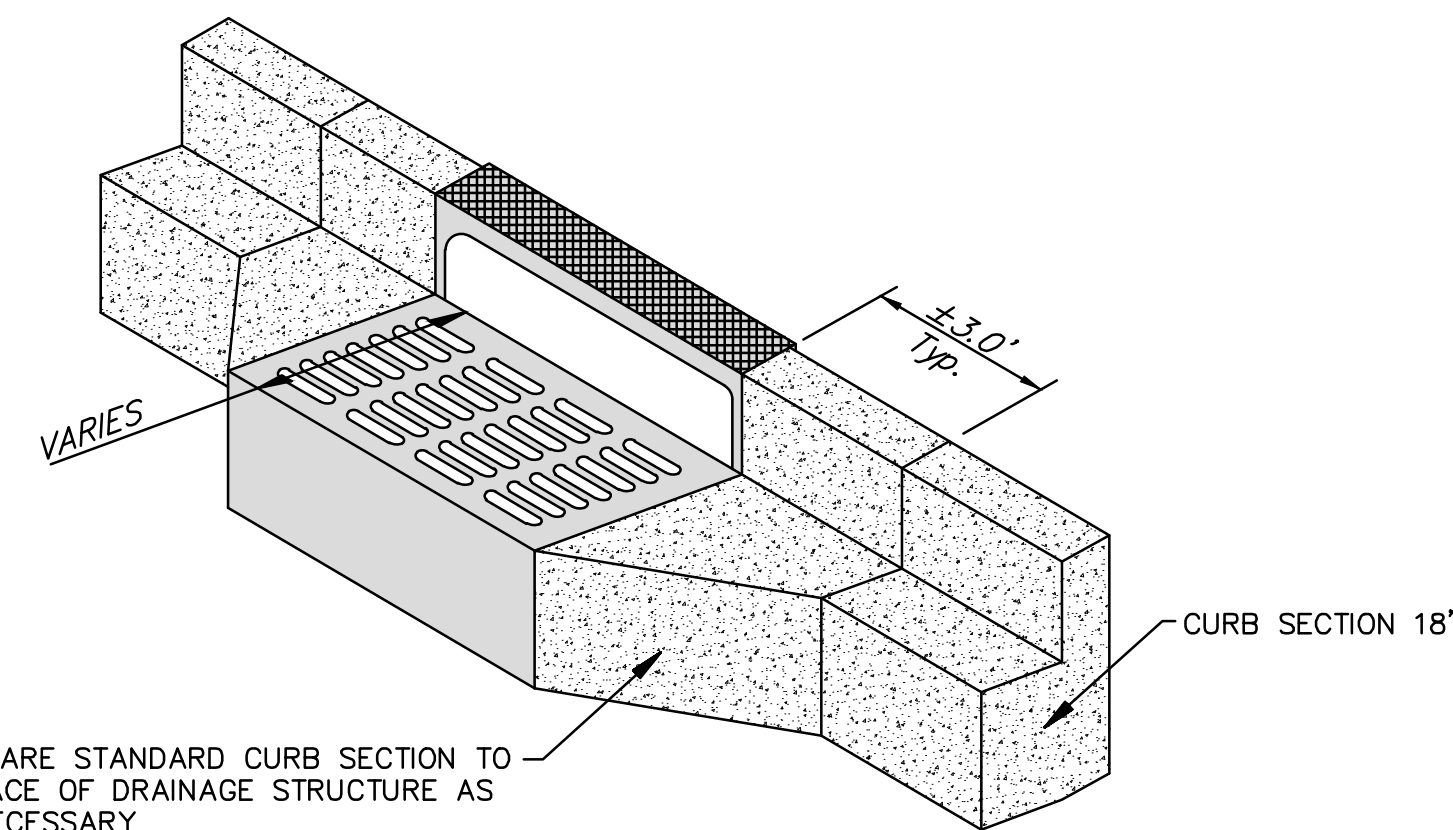
**BASE COURSE REINFORCEMENT AT SOFT SPOT (AREAS TO BE DETERMINED IN THE FIELD)**



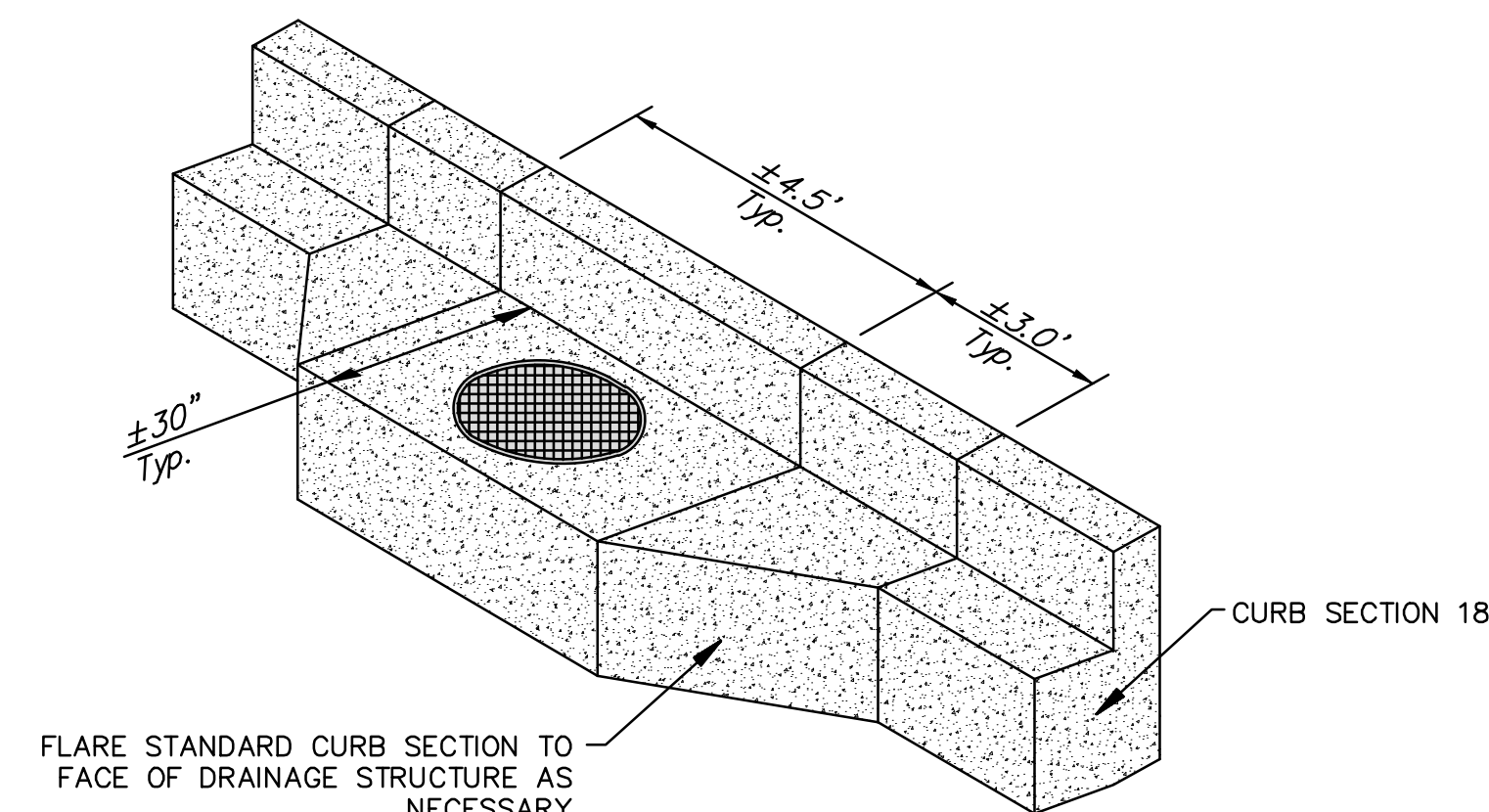
**CONCRETE PAVEMENT LONGITUDINAL JOINTS (CONSTRUCTION JOINTS)-PRIVATE WOODMAN'S SITE**



**CONCRETE PAVEMENT TRANSVERSE JOINTS (IN CONCRETE PAVEMENT SECTION)-PRIVATE WOODMAN'S SITE**



**CURB & DRAINAGE STRUCTURE INTERFACE N.T.S.**



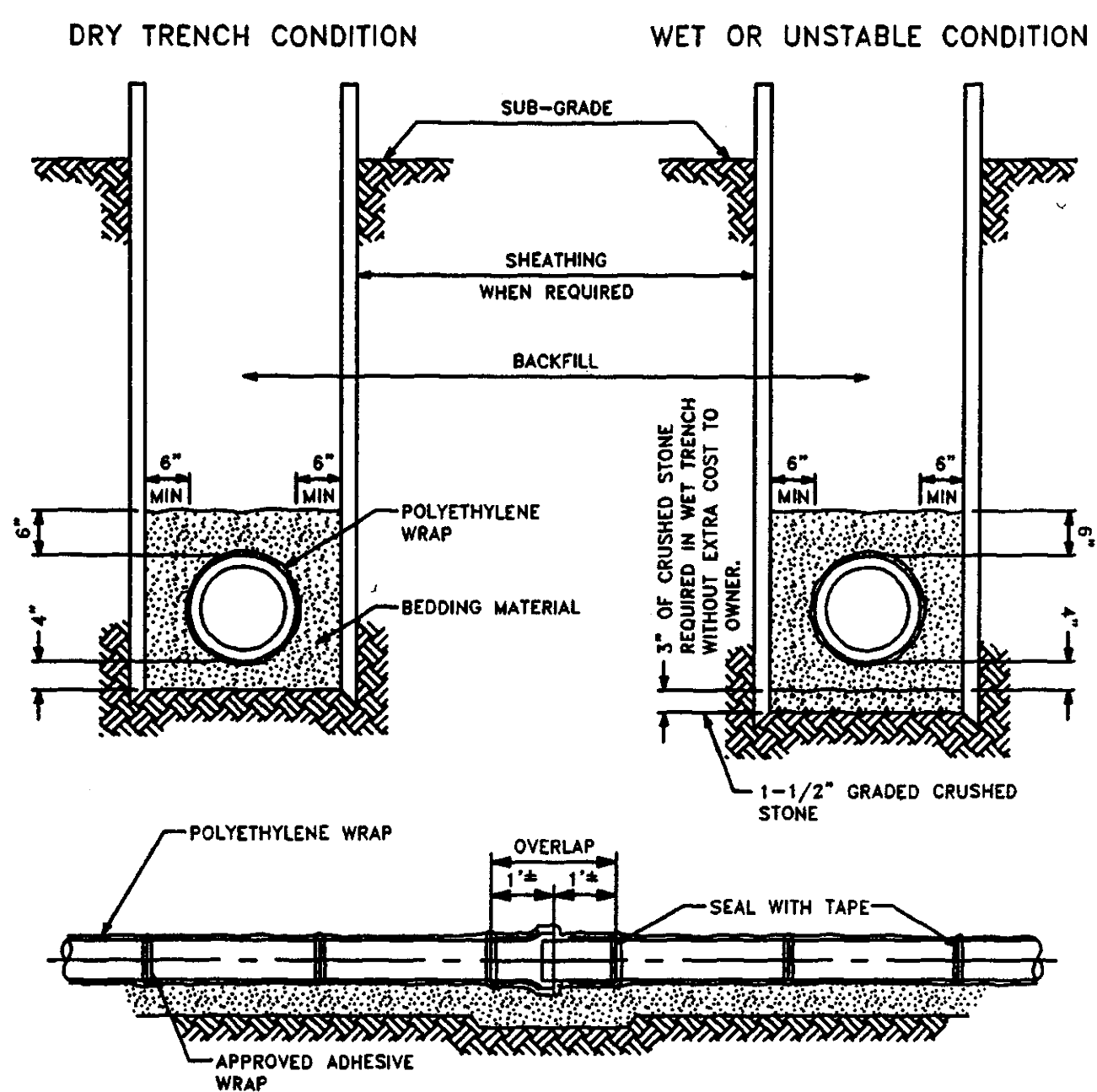
**ROUND MANHOLE CASTING IN GUTTER PAN N.T.S.**



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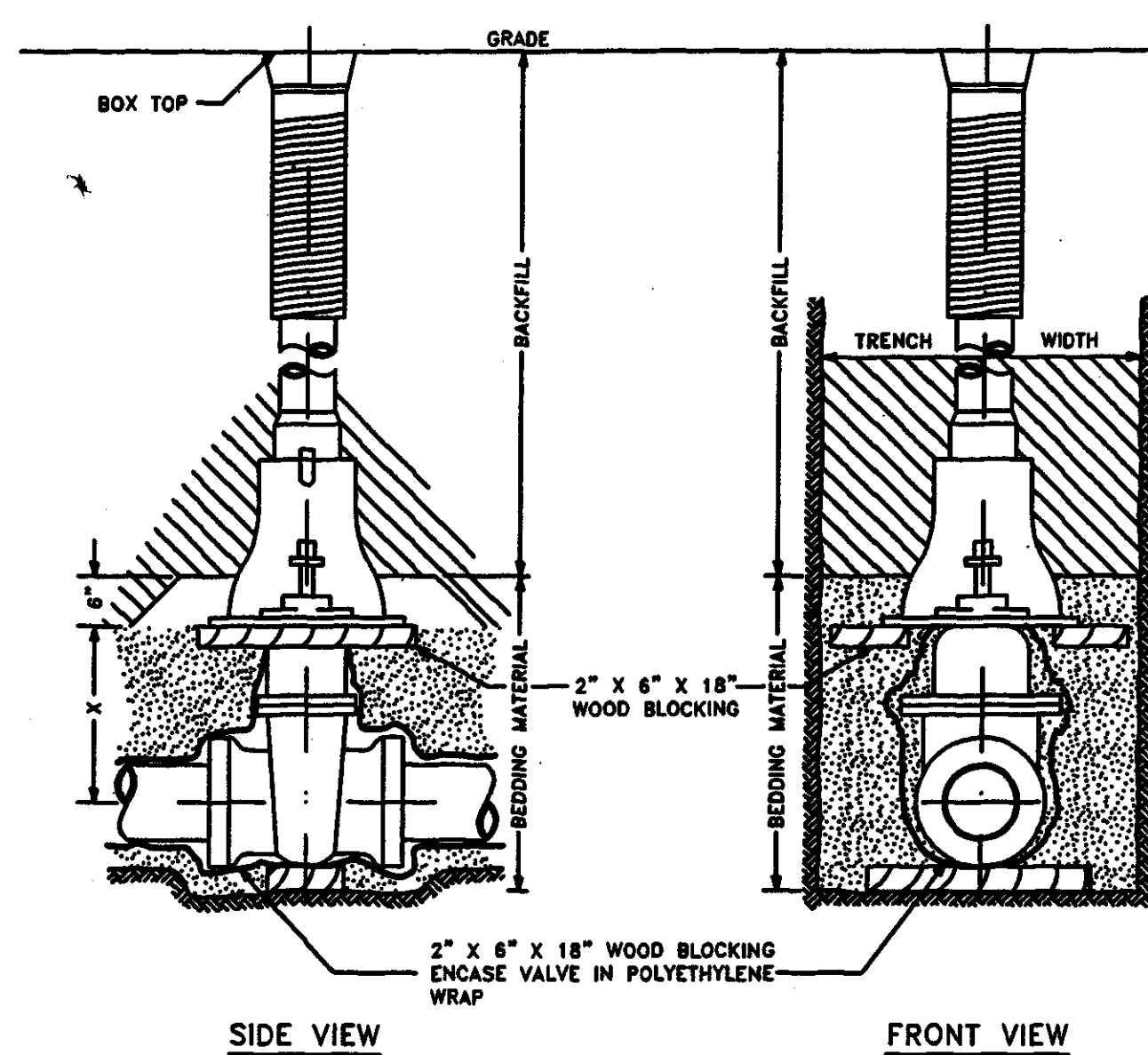
DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
CREATIVITY BEYOND ENGINEERING Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI   Cedarburg, WI Mount Pleasant, WI   Naperville, IL   Irvine, CA	
WOODMAN'S FOOD MARKET 3817 MILWAUKEE STREET, MADISON, WI	PAVING DETAILS
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REF: CHAP. 4.2.0, 4.3.0 & SEC. 4.4.4

**STANDARD WATER MAIN TRENCH SECTION**

NOT TO SCALE FILE NO. 36

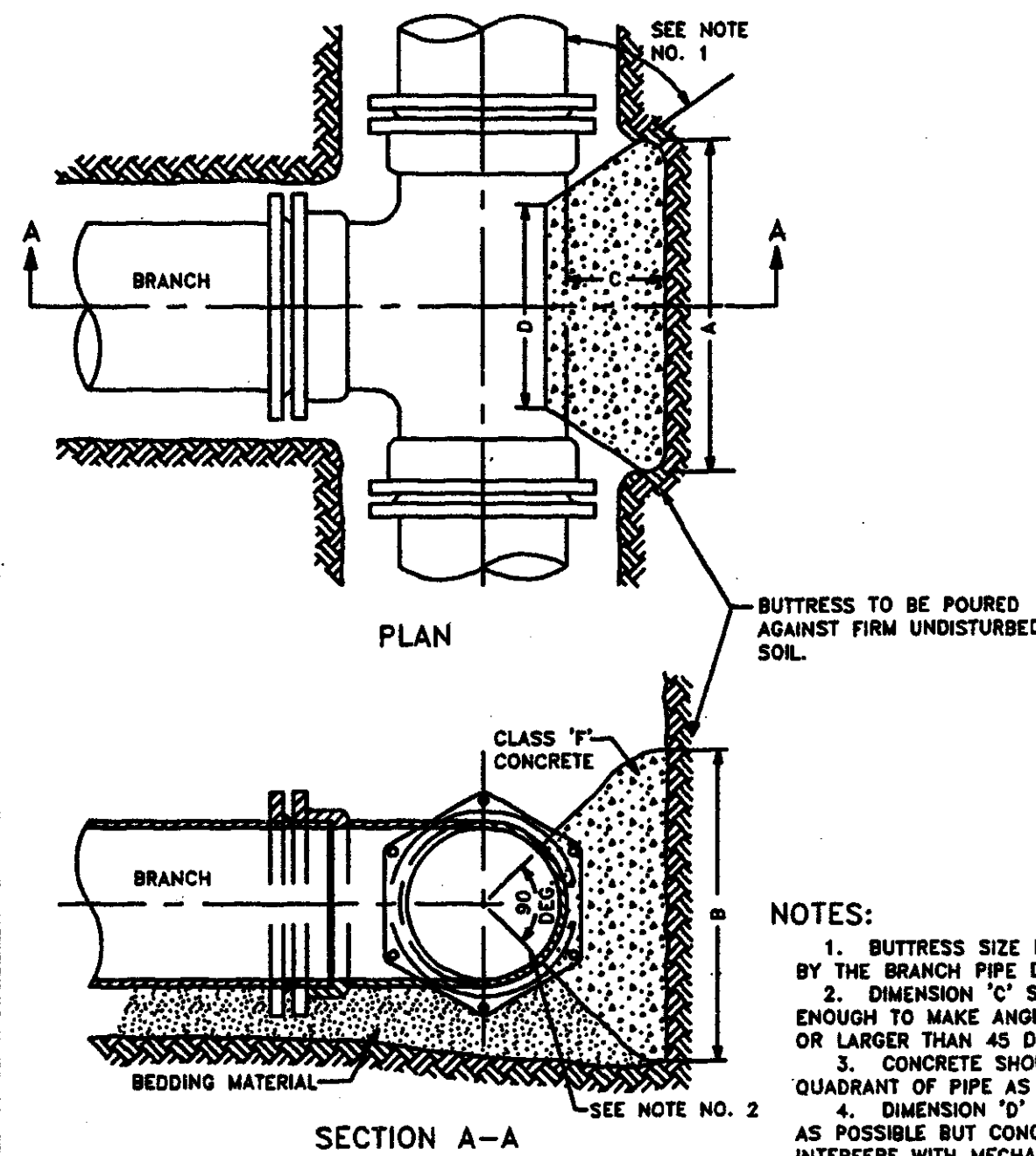


PIPE DIA. INCHES	X-SETTING INCHES
2	6
3	7
4	8
6	12
8	13
10	17
12	21
16	30

REF: CHAP. 4.8.0

**STANDARD GATE VALVE BOX SETTING**

NOT TO SCALE FILE NO. 37



- NOTES:**
1. BUTRESS SIZE IS CONTROLLED BY THE BRANCH PIPE DIAMETER.
  2. DIMENSION 'C' SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45 DEGREES.
  3. CONCRETE SHOULD BEAR ON THIS QUADRANT OF PIPE AS A MINIMUM.
  4. DIMENSION 'D' SHOULD BE AS LARGE AS POSSIBLE BUT CONCRETE SHOULD NOT INTERFERE WITH MECHANICAL JOINTS.
  5. BUTRESS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI.
  6. ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.

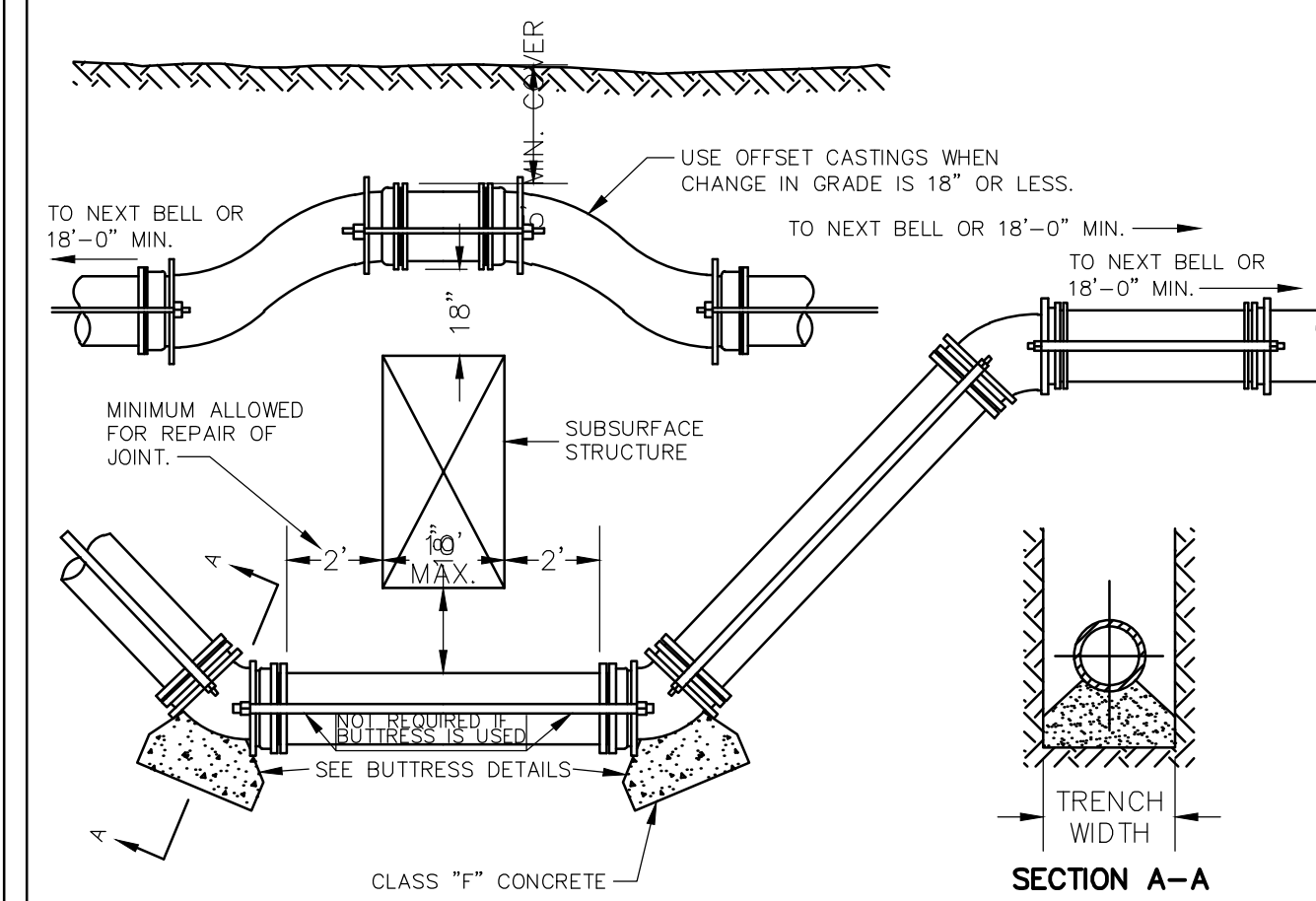
BUTRESS DIMENSIONS				
B D	A	B	C	D
4"	0'-10"	1'-8"	SEE NOTE NO. 2	SEE NOTE NO. 4
6"	1'-6"	1'-8"		
8"	1'-9"	2'-4"		
10"	1'-9"	2'-4"		
12"	2'-3"	2'-7"		
16"	3'-8"	2'-10"		
20"	5'-0"	3'-10"		
24"	5'-4"	4'-8"		

B D = BRANCH DIAMETER

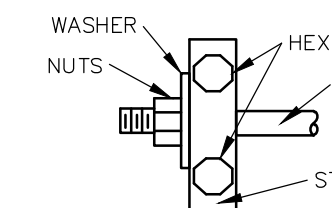
REF: SEC. 4.3.13.

**BUTRESS FOR TEES**

NOT TO SCALE DECEMBER 2003 FILE NO. 46



PIPE SIZE	D CLAMP ID	STRAPPING MATERIAL			
		RODS NO.	STRAP DIA.	BOLT DIA.	WASHER
6	7.10	2	3/4	1/2 X 2	3/4 1/2 X 3 X 5
8	9.30	2	3/4	1/2 X 2	3/4 1/2 X 3 X 5
12	13.50	2	3/4	1/2 X 2 1/2	1 1/2 X 3 X 5
16	17.80	4	3/4	1/2 X 3	1 1/2 X 3 X 5



PIPE AND FITTINGS TO BE WRAPPED WITH POLYETHYLENE BEFORE PLACEMENT OF STRAPPING AND BUTRESSES.

REF: SEC. 4.10.18 CHAP. 4.9.0

**STRAPPING WATER MAIN OFFSETS 6" THRU 16"**

NOT TO SCALE MARCH 1980 FILE NO. 47

**FILE NO. 36**  
WATER MAIN TRENCH SECTION

**FILE NO. 37**  
STANDARD GATE VALVE BOX SETTING

**FILE NO. 46**  
BUTRESS FOR TEES

**FILE NO. 47**  
STRAPPING WATER MAIN OFFSETS

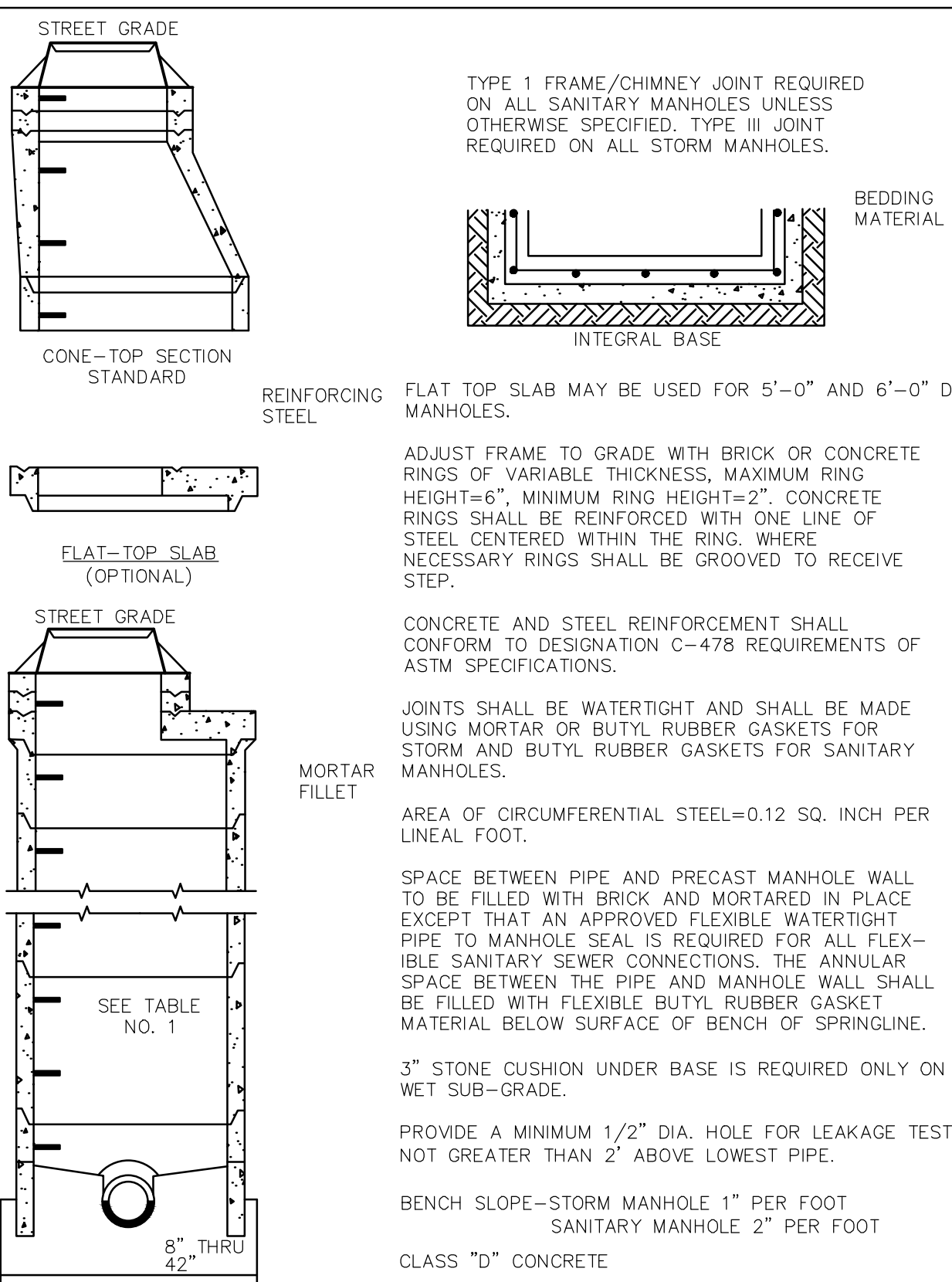


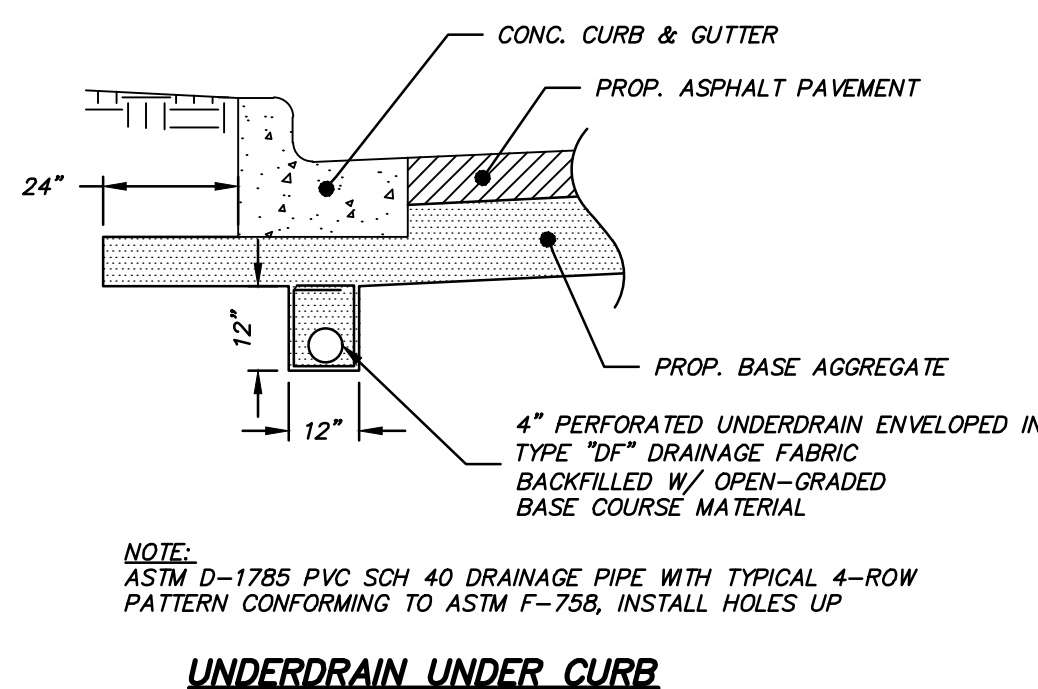
TABLE NO. 1 POURED BASE		
PIPE DIA.	MANHOLE DIA.	WALL THICKNESS
8" THRU 27"	3'-8"	4 1/2"
30"	4'-0"	5"
36"	5'-0"	6"
42"	6'-0"	7"

REF: CHAP. 3.5.0  
**PRECAST MANHOLE**

NOT TO SCALE JAN. 2, 1992 FILE NO. 12

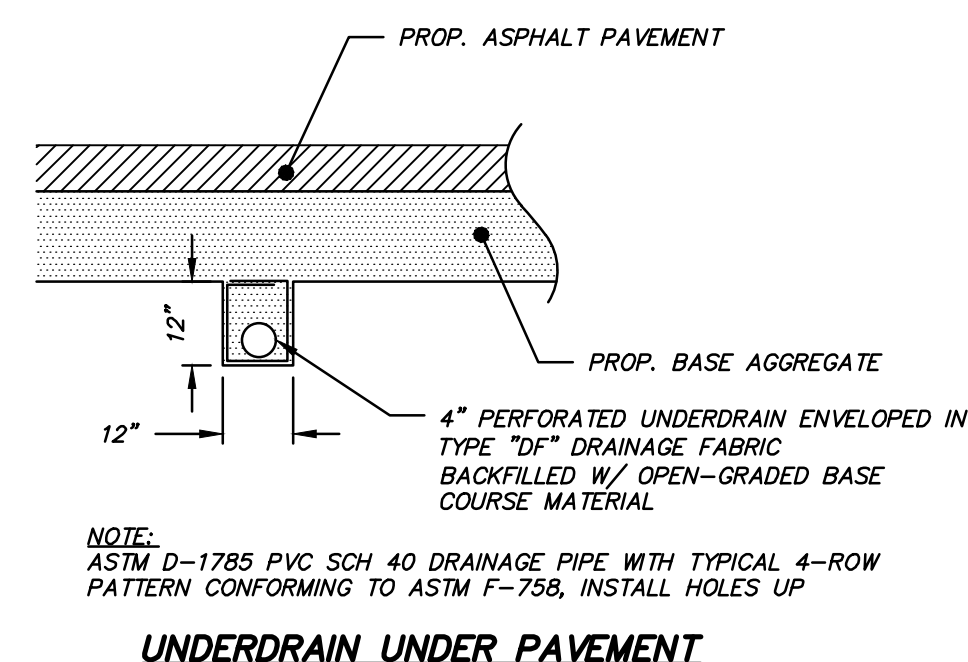
**MANHOLE & INLET STRUCTURE DETAIL PER FILE NO. 12. STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN**

NOT TO SCALE



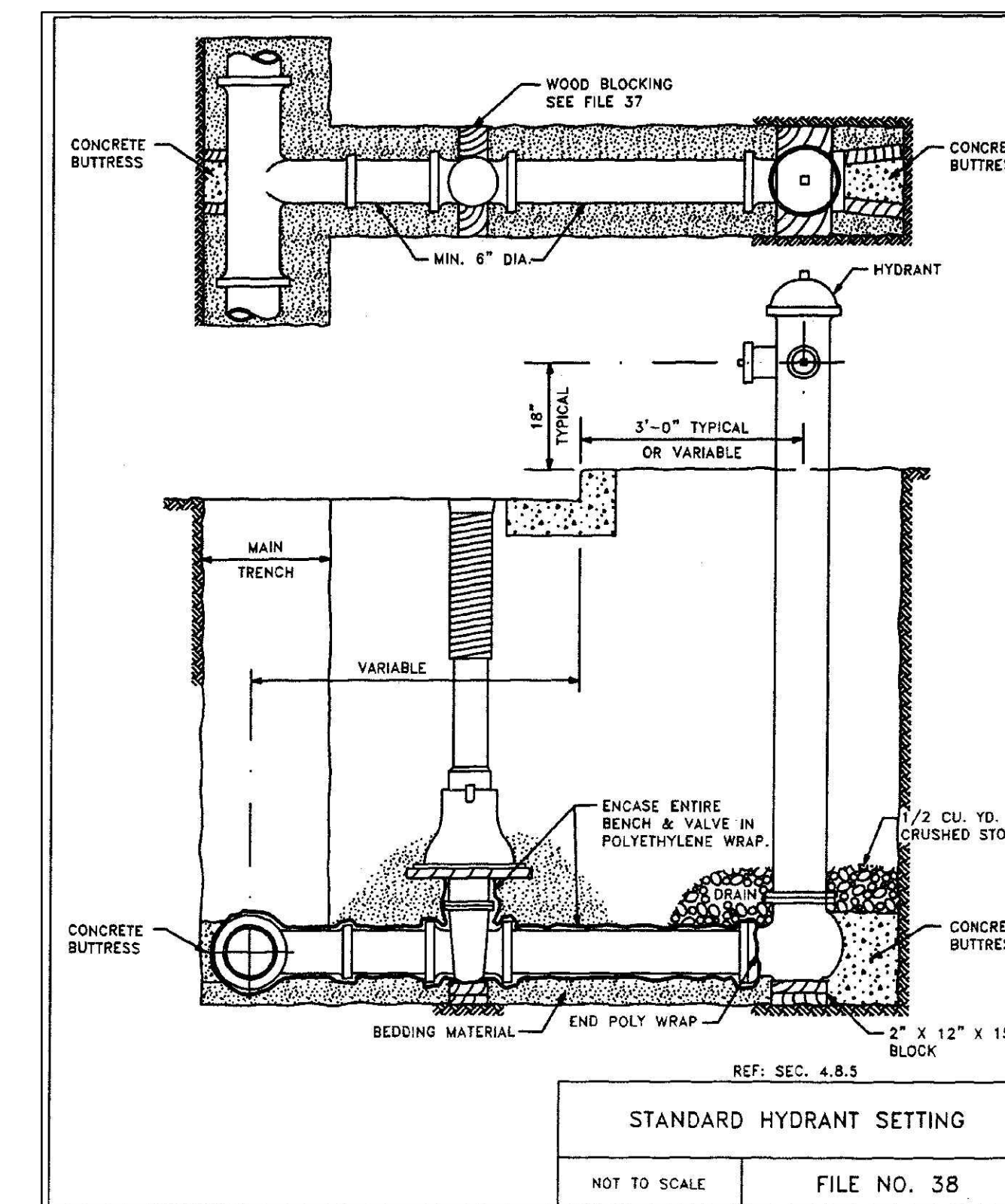
**NOTE:**  
ASTM D-1785 PVC SCH 40 DRAINAGE PIPE WITH TYPICAL 4-ROW PATTERN CONFORMING TO ASTM F-758, INSTALL HOLES UP

**UNDERDRAIN UNDER CURB**



**NOTE:**  
ASTM D-1785 PVC SCH 40 DRAINAGE PIPE WITH TYPICAL 4-ROW PATTERN CONFORMING TO ASTM F-758, INSTALL HOLES UP

**UNDERDRAIN UNDER PAVEMENT**



**STANDARD HYDRANT SETTING**  
**FILE NO. 38**

NOT TO SCALE FILE NO. 38



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**WOODMAN'S FOOD MARKET**  
**3817 MILWAUKEE STREET, MADISON, WI**

**UTILITY DETAILS**

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DATE: 02/05/2020

SCALE: N.T.S.

JOB NO. 3190289

PROJECT MANAGER:  
PAUL V. MCILHERAN, P.E.

DESIGNED BY: AJS

CHECKED BY: PVM

**SHEET NUMBER**

**C502**

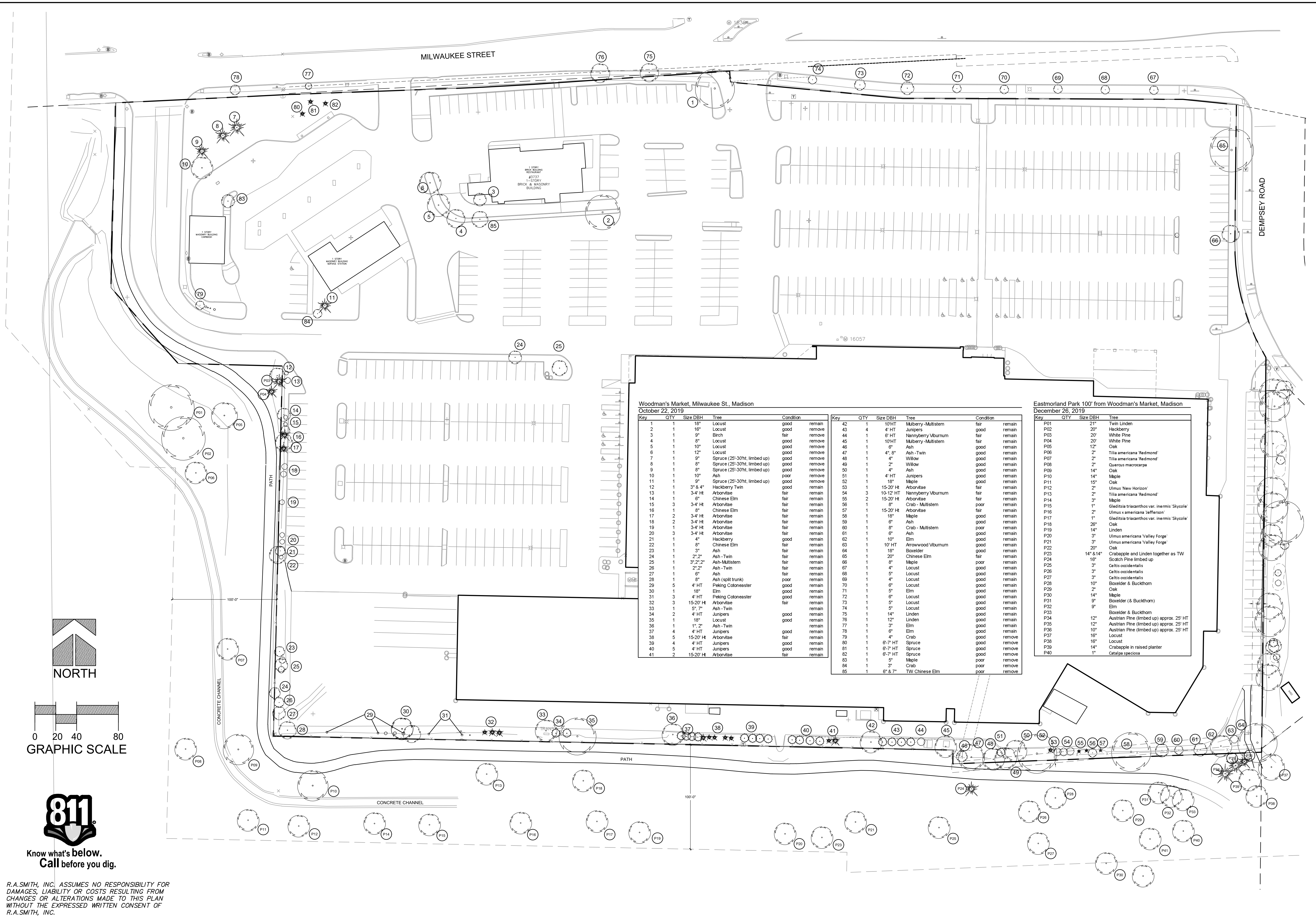
DESCRIPTION  
DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Mount Pleasant, WI | Naperville, IL | Irvine, CA





**Woodman's Market, Milwaukee St., Madison**

October 22, 2019

Key	QTY	Size DBH	Tree	Condition
1	1	18"	Locust	good
2	1	16"	Locust	good
3	1	9"	Birch	fair
4	1	8"	Locust	good
5	1	10"	Locust	good
6	1	12"	Locust	good
7	1	9"	Spruce (25-30ht, limbed up)	good
8	1	8"	Spruce (25-30ht, limbed up)	good
9	1	8"	Spruce (25-30ht, limbed up)	good
10	1	10"	Ash	poor
11	1	9"	Spruce (25-30ht, limbed up)	good
12	1	3' & 4'	Hackberry Twin	good
13	1	3-4' Ht	Arbortvae	fair
14	1	6"	Chinese Elm	fair
15	3	3-4' Ht	Arbortvae	fair
16	1	8"	Chinese Elm	fair
17	2	3-4' Ht	Arbortvae	fair
18	2	3-4' Ht	Arbortvae	fair
19	1	3-4' Ht	Arbortvae	fair
20	3	3-4' Ht	Arbortvae	fair
21	1	4"	Hackberry	good
22	1	8"	Chinese Elm	fair
23	1	3"	Ash	fair
24	1	2"-2"	Ash-Twin	fair
25	1	3'-2", 2"	Ash-Multistem	fair
26	1	2"-2"	Ash-Twin	fair
27	1	6"	Ash	fair
28	1	8"	Ash (split trunk)	poor
29	5	4' HT	Peking Cotoneaster	good
30	1	18"	Elm	good
31	3	4' HT	Peking Cotoneaster	good
32	3	15-20' Ht	Arbortvae	remain
33	1	5", 7"	Ash-Twin	remain
34	2	4' HT	Junipers	good
35	1	18"	Locust	good
36	1	11", 2"	Ash-Twin	remain
37	4	4' HT	Junipers	good
38	5	15-20' Ht	Arbortvae	good
39	4	4' HT	Junipers	good
40	5	4' HT	Junipers	good
41	2	15-20' Ht	Arbortvae	fair

**Eastmorland Park 100' from Woodman's Market, Madison**

December 26, 2019

Key	QTY	Size DBH	Tree	Condition
42	1	10' HT	Muberry-Multistem	fair
43	4	4' HT	Junipers	good
44	1	6' HT	Nannyberry-Vburnum	fair
45	1	10' HT	Muberry-Multistem	fair
46	1	5"	Ash	good
47	1	4", 8"	Ash-Twin	good
48	1	4"	Willow	good
49	1	2"	Willow	good
50	1	4"	Ash	good
51	1	4' HT	Junipers	good
52	1	18"	Maple	good
53	1	15-20' Ht	Arbortvae	fair
54	3	10-12' HT	Nannyberry-Vburnum	fair
55	2	15-20' Ht	Arbortvae	fair
56	1	8"	Crab - Multistem	poor
57	1	15-20' Ht	Arbortvae	fair
58	1	16"	Maple	good
59	1	6"	Ash	good
60	1	8"	Crab - Multistem	poor
61	1	6"	Ash	good
62	1	10"	Elm	good
63	1	10' HT	Arowwood Vburnum	good
64	1	18"	Boxelder	good
65	1	20"	Chinese Elm	fair
66	1	6"	Maple	poor
67	1	4"	Locust	good
68	1	5"	Locust	good
69	1	4"	Locust	good
70	1	6"	Locust	good
71	1	5"	Elm	good
72	1	6"	Locust	good
73	1	5"	Locust	good
74	1	5"	Locust	good
75	1	14"	Linden	good
76	1	12"	Linden	good
77	1	3"	Elm	good
78	1	6"	Elm	good
79	1	4"	Crab	good
80	1	8-7' HT	Spruce	good
81	1	6-7' HT	Spruce	good
82	1	6-7' HT	Spruce	good
83	1	5"	Maple	poor
84	1	3"	Crab	poor
85	1	6' & 7"	TW Chinese Elm	poor

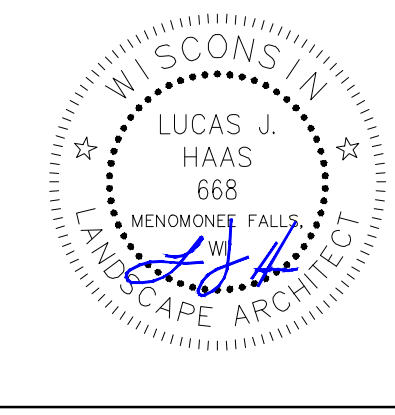
**Eastmorland Park 100' from Woodman's Market, Madison**

December 26, 2019

Key	QTY	Size DBH	Tree	Condition
P01	21"	21"	Twin Linden	fair
P02	20"	20"	Hackberry	good
P03	20"	20"	White Pine	fair
P04	20"	20"	White Pine	fair
P05	12"	12"	Oak	good
P06	2"	2"	Tilia americana 'Redmond'	good
P07	2"	2"	Tilia americana 'Redmond'	good
P08	2"	2"	Quercus macrocarpa	good
P09	14"	14"	Oak	good
P10	14"	14"	Maple	good
P11	15"	15"	Oak	good
P12	2"	2"	Ulmus 'New Horizon'	good
P13	2"	2"	Tilia americana 'Redmond'	good
P14	3"	3"	Tilia americana 'Redmond'	good
P15	1"	1"	Gleditsia triacanthos var. inermis 'Skycole'	poor
P16	2"	2"	Ulmus americana 'Valley Forge'	good
P17	1"	1"	Gleditsia triacanthos var. inermis 'Skycole'	poor
P18	26"	26"	Oak	good
P19	14"	14"	Linden	good
P20	3"	3"	Ulmus americana 'Valley Forge'	good
P21	3"	3"	Ulmus americana 'Valley Forge'	good
P22	20"	20"	Oak	good
P23	14' & 8 1/4"	14' & 8 1/4"	Crabapple and Linden together as TW	good
P24	16"	16"	Scotch Pine limbed up	good
P25	3"	3"	Celtis occidentalis	good
P26	3"	3"	Celtis occidentalis	good
P27	3"	3"	Celtis occidentalis	good
P28	10"	10"	Boxelder & Buckthorn	good
P29	2"	2"	Oak	good
P30	14"	14"	Maple	good
P31	9"	9"	Boxelder (& Buckthorn)	good
P32	9"	9"	Elm	good
P33	9"	9"	Boxelder & Buckthorn	good
P34	12"	12"	Austrian Pine (limbed up) approx. 25' HT	good
P35	12"	12"	Austrian Pine (limbed up) approx. 25' HT	good
P36	10"	10"	Austrian Pine (limbed up) approx. 25' HT	good
P37	16"	16"	Locust	good
P38	16"	16"	Locust	good
P39	14"	14"	Crabapple in raised planter	good
P40	1"	1"	Catalpa speciosa	good

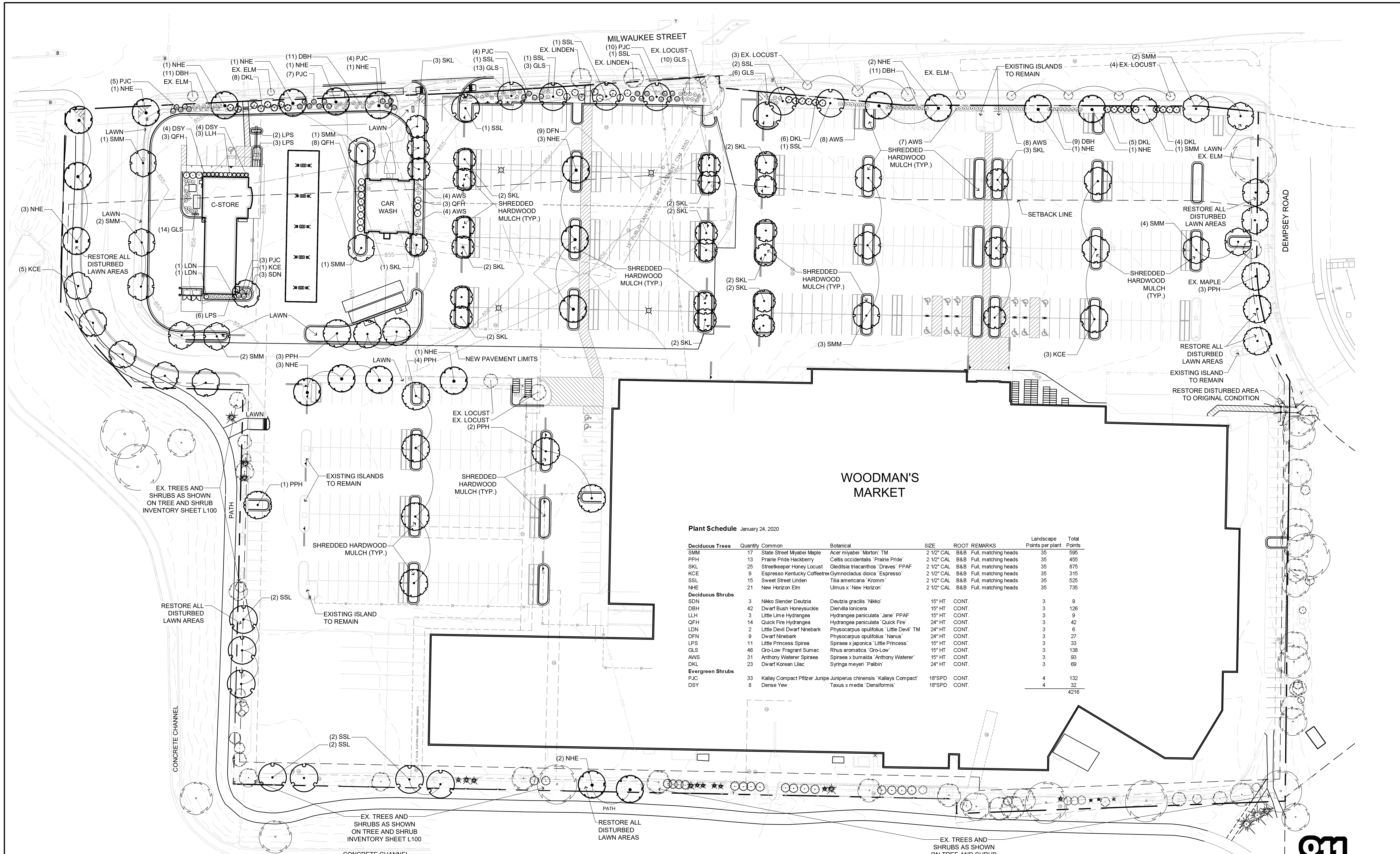
DESCRIPTION  
DATE  
16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com  
raSmith  
CREATIVITY BEYOND ENGINEERING  
Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Mount Pleasant, WI | Naperville, IL | Irvine, CA

**WOODMAN'S FOOD MARKET**  
**3817 MILWAUKEE STREET, MADISON, WI**  
**TREE AND SHRUB**  
**INVENTORY**



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R.A. Smith, Inc.  
DATE: 02/05/2020  
SCALE: 1" = 40'  
JOB NO. L190289  
PROJECT MANAGER:  
PAUL V. MCILHERAN, P.E.  
DESIGNED BY: NJW/GNS  
CHECKED BY: CNS  
**SHEET NUMBER**  
L100

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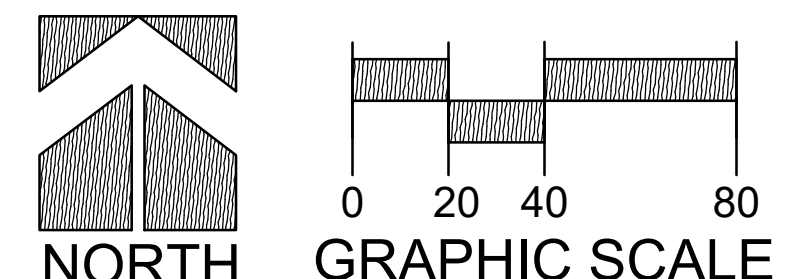
**Plant Schedule** January 24, 2020

Deciduous Trees	Quantity	Common	Botanical	SIZE	ROOT	REMARKS	Landscape Points per plant	Total Points
SMM	17	State Street Myabei Maple	Acer miyabei 'Morton' TM	2 1/2" CAL	B&B	Full, matching heads	35	595
PPH	13	Prairie Pride Hackberry	Celtis occidentalis 'Prairie Pride'	2 1/2" CAL	B&B	Full, matching heads	35	455
SKL	25	Streetkeeper Honey Locust	Gleditsia triacanthos 'Draves' PPAF	2 1/2" CAL	B&B	Full, matching heads	35	875
KCE	9	Espresso Kentucky Coffeetree	Gymnocladia dioica 'Espresso'	2 1/2" CAL	B&B	Full, matching heads	35	315
SSL	15	Sweet Street Linden	Tilia americana 'Kromm'	2 1/2" CAL	B&B	Full, matching heads	35	525
NHE	21	New Horizon Elm	Ulmus x 'New Horizon'	2 1/2" CAL	B&B	Full, matching heads	35	735
<b>Deciduous Shrubs</b>								
SDN	3	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT.		3	9
DBH	42	Dwarf Bush Honeysuckle	Diervilla lonicera	15" HT	CONT.		3	126
LLH	3	Little Lime Hydrangea	Hydrangea paniculata 'Jane' PPAF	15" HT	CONT.		3	9
QFH	14	Quick Fire Hydrangea	Hydrangea paniculata 'Quick Fire'	24" HT	CONT.		3	42
LDN	2	Little Devil Dwarf Nnebark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.		3	6
DFN	9	Dwarf Ninebark	Physocarpus opulifolius 'Nanus'	24" HT	CONT.		3	27
LPS	11	Little Princess Spirea	Spiraea x japonica 'Little Princess'	15" HT	CONT.		3	33
GLS	46	Gro-Low Fragrant Sunac	Rhus aromatica 'Gro-Low'	15" HT	CONT.		3	138
AWS	31	Anthony Waterer Spirea	Spiraea x bumalda 'Anthony Waterer'	15" HT	CONT.		3	93
DKL	23	Dwarf Korean Lilac	Syringa meyeri 'Palbin'	24" HT	CONT.		3	69
<b>Evergreen Shrubs</b>								
PJC	33	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT.		4	132
DSY	8	Dense Yew	Taxus x media 'Densiformis'	18" SPD	CONT.		4	32
								4216

**GENERAL LANDSCAPE NOTES**

- SEE SHEET L200 FOR ALL DETAILS AND SPECIFICATIONS.
- SEE SHEET C300 FOR LIMITS OF DISTURBANCE.
- ALL PROPOSED ISLANDS ARE TO HAVE A 3" DEEP COVER OF SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE NOTED.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. SEE SHEET L200 FOR TREE PROTECTION DETAIL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TREE REMOVALS, LISTED ON THE PLAN.
- CONTRACTOR SHALL CONTACT CITY FORESTRY BRAD HOFMANN BHOFMANN@CITYOFMADISON.COM OR 608-266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

- TREE PROTECTION: CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (608-266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION [HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PWDOCUMENTS/STDSPES/2013/PART1.PDF](http://www.cityofmadison.com/business/pwdocuments/stdspecs/2013/PART1.PDF). ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- CONSTRUCTION FENCING FOR TREE PROTECTION MUST BE INSTALLED OUTSIDE THE DRIP LINE OF THE TREES TO BE PRESERVED ALONG THE NORTHERN PROPERTY LINE.

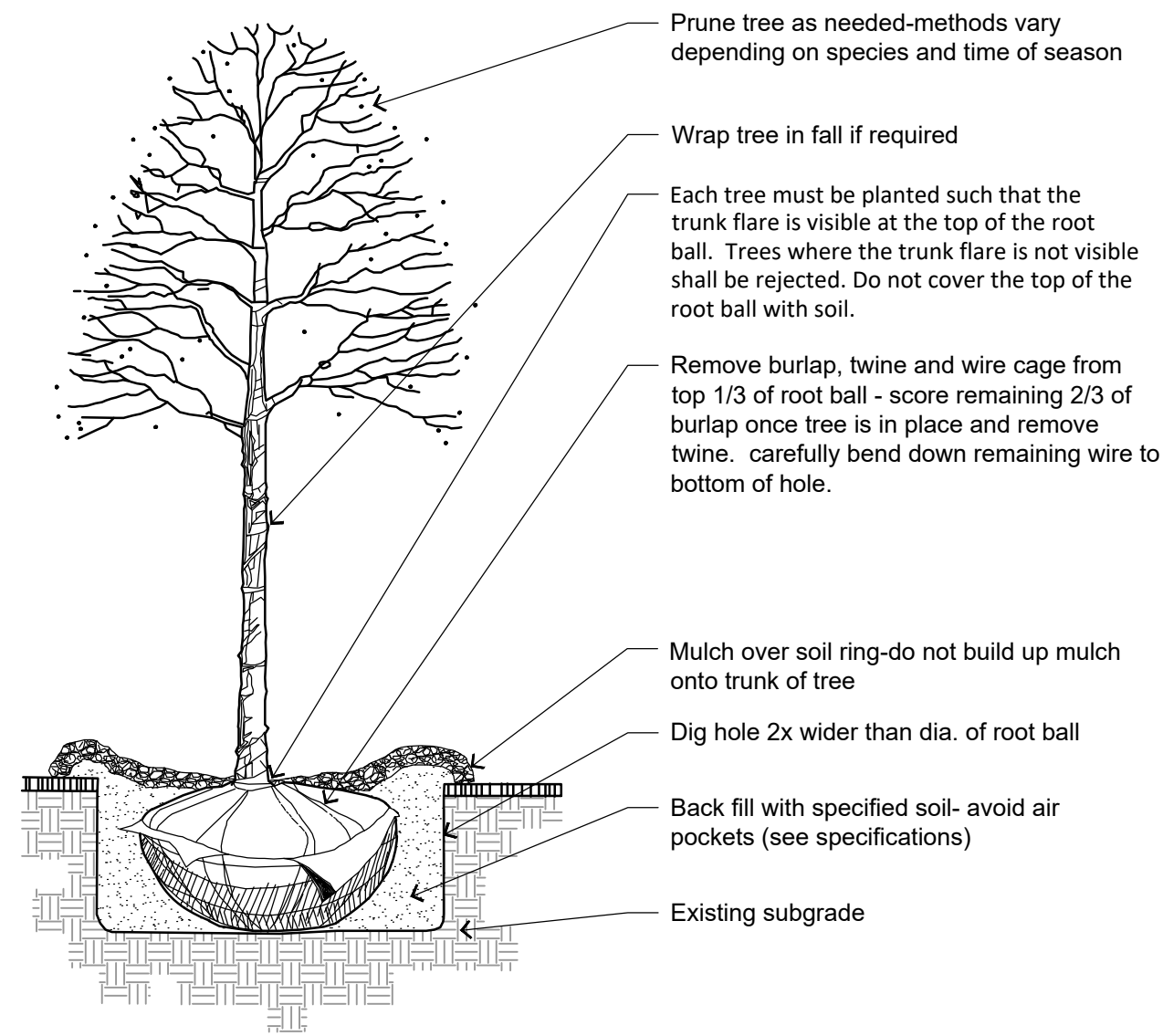


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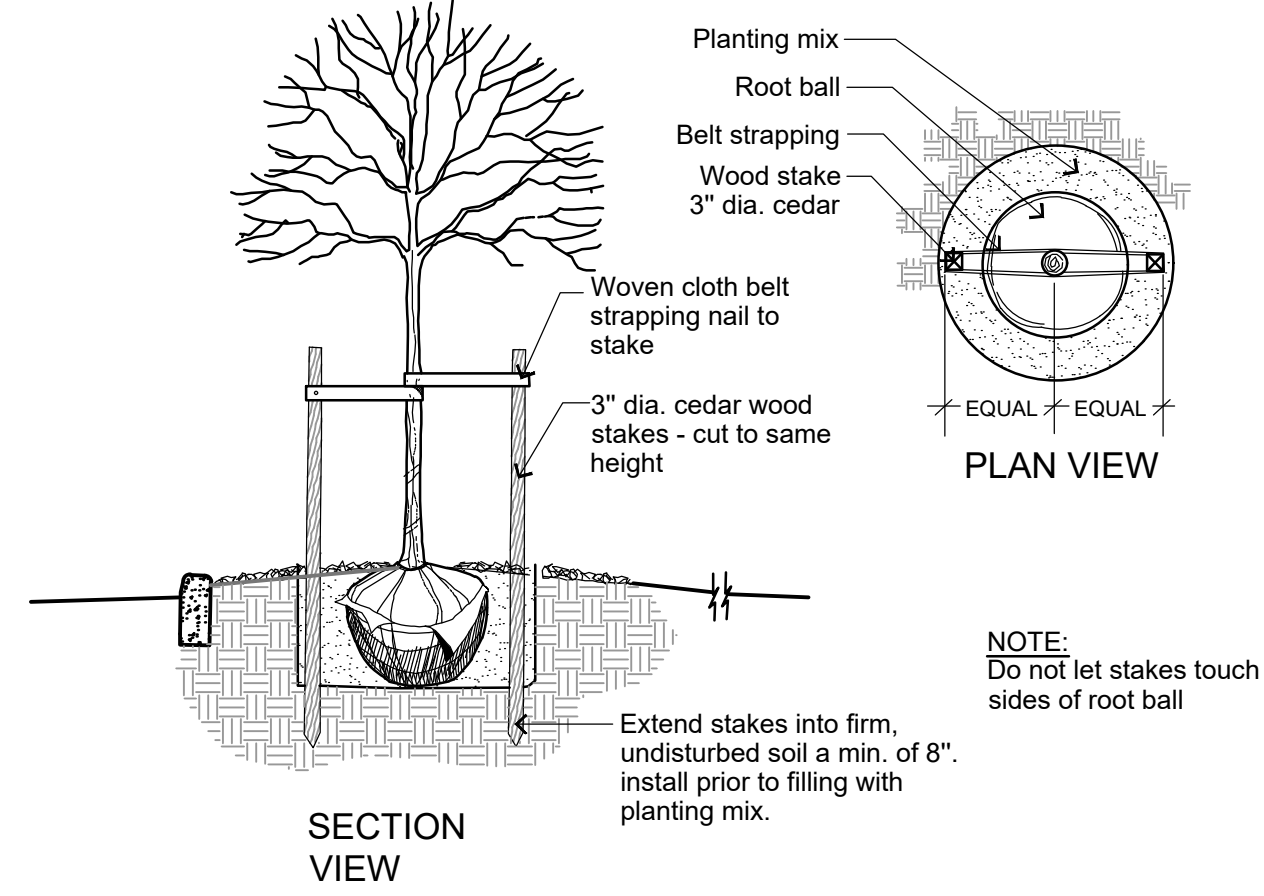
DESCRIPTION	
DATE	
<p>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</p> <p><b>raSmith</b> CREATIVITY BEYOND ENGINEERING</p> <p>Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI   Cedarburg, WI Mount Pleasant, WI   Naperville, IL   Irvine, CA</p>	
<p><b>WOODMAN'S FOOD MARKET</b> 3817 MILWAUKEE STREET, MADISON, WI</p> <p><b>LANDSCAPE PLAN</b></p>	
<p>© COPYRIGHT 2020 R.A. Smith, Inc. DATE: 02/05/2020 SCALE: 1" = 40' JOB NO. 3190289 PROJECT MANAGER: PAUL V. MCILHERAN, P.E. DESIGNED BY: NJW/CNS CHECKED BY: CNS</p>	
<p><b>SHEET NUMBER</b> L101</p>	

P:\3190289\Drawings\Sheets\L101-Overall Landscape Plan\_2/5/2020 2:31:21 PM\_A133

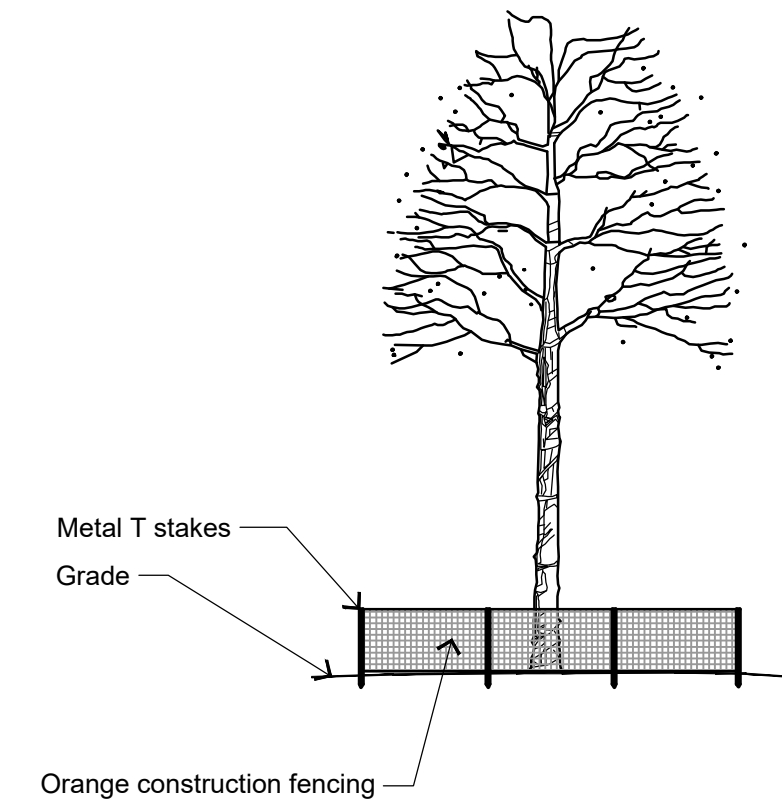
GENERAL LANDSCAPE DETAILS



1 DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE P-PL-TREE-DEC-01

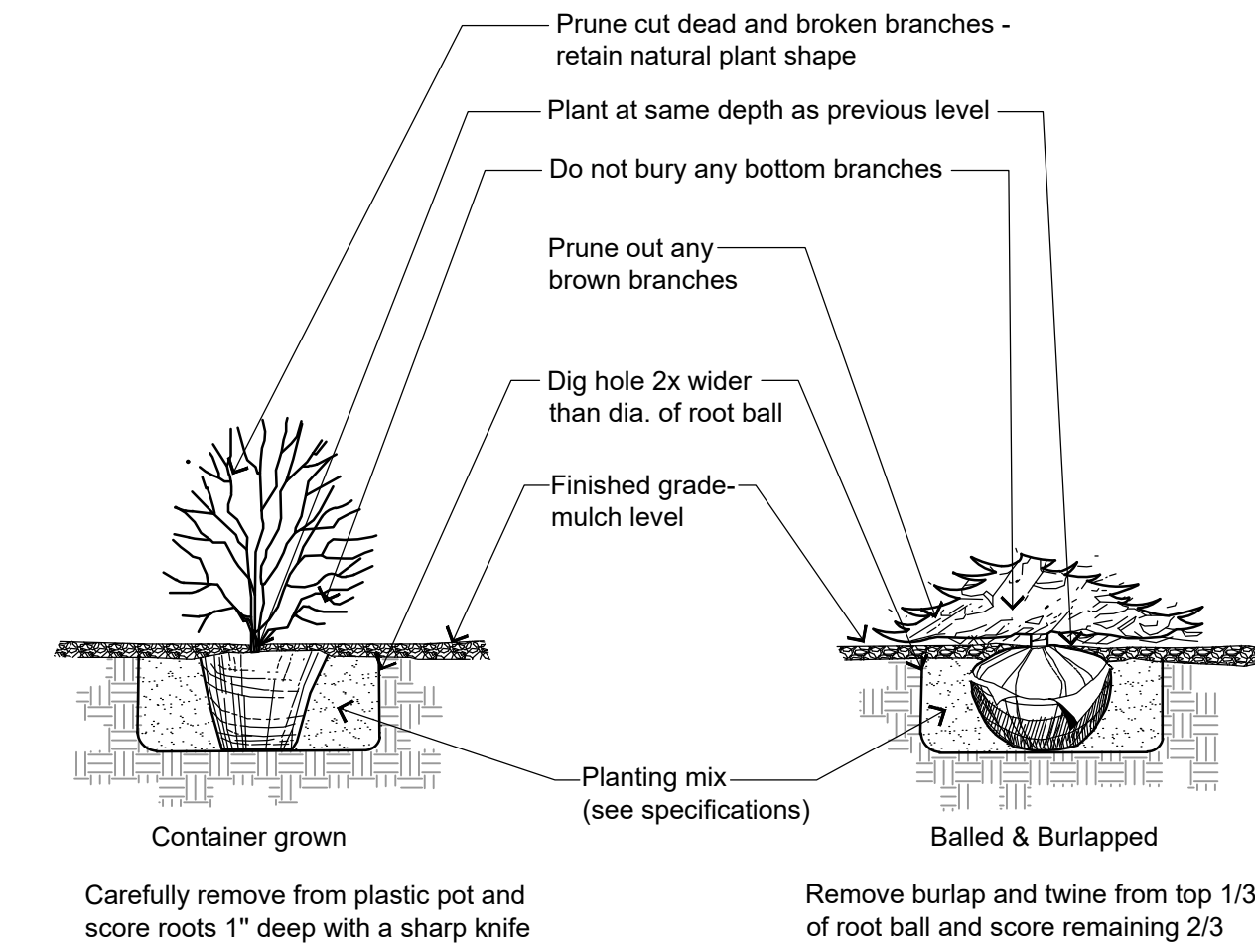


2 DECIDUOUS TREE STAKING FOR RESTRICTED AREAS  
NOT TO SCALE P-PL-TREE-DEC-01

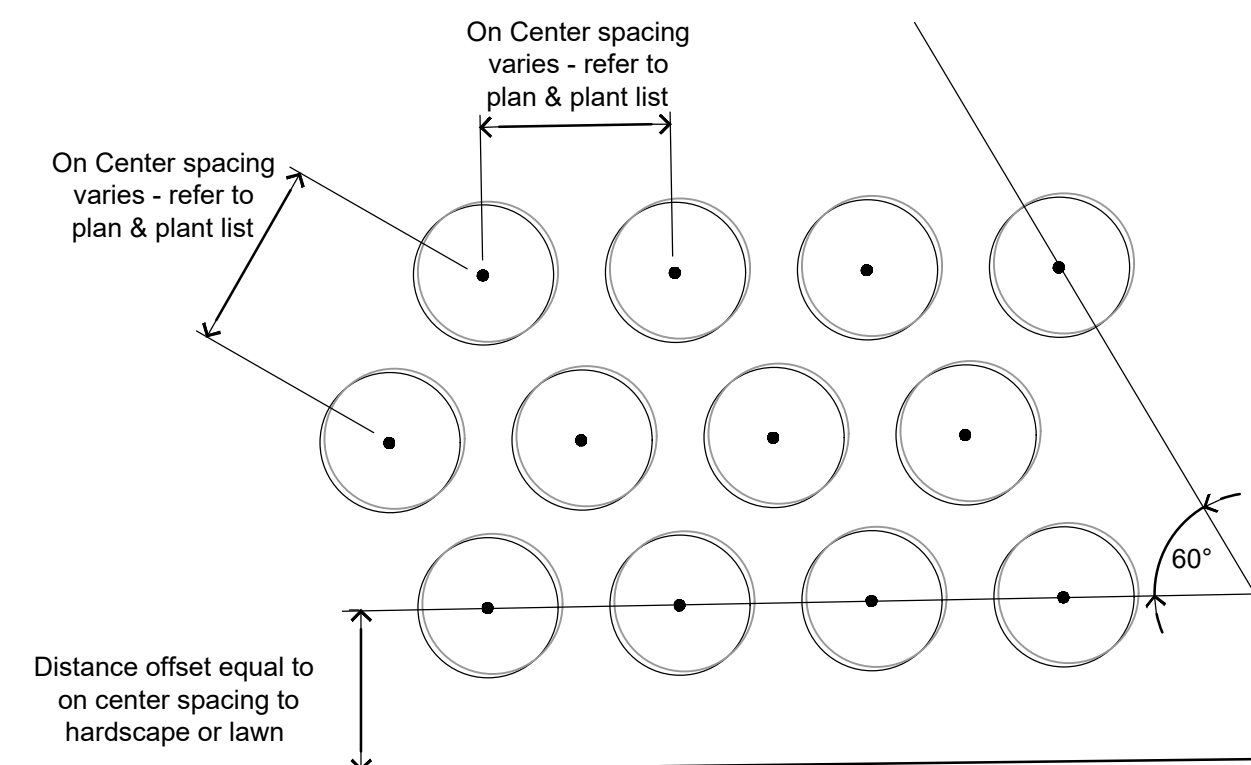


Notes  
1. Install 4' high orange vinyl snow / construction fencing or similar fencing as shown on this plan.  
2. Erect fence with 5' metal T-stakes at least every 10'.  
3. The fencing shall be in place before construction activity begins and remain until all exterior work has been completed.  
4. No construction activity shall take place nor shall any equipment be stored inside of the fencing.

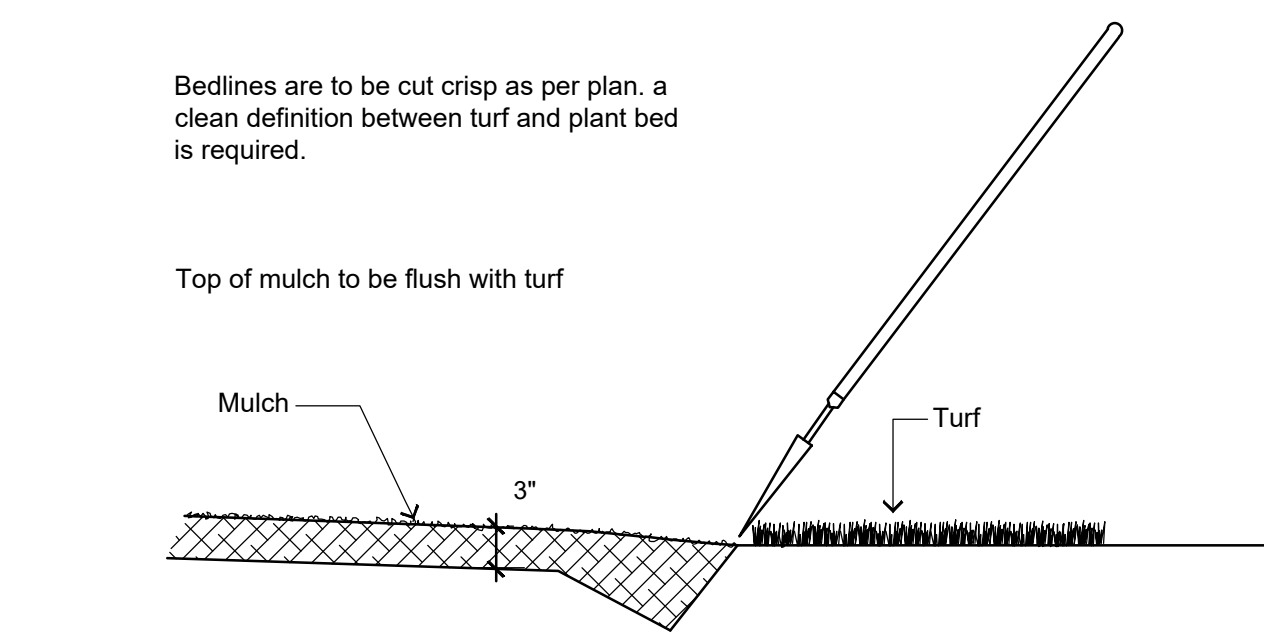
3 TREE PROTECTION FENCING DETAIL  
NOT TO SCALE P-PL-PLA-02



4 SHRUB PLANTING DETAIL  
NOT TO SCALE P-PL-PLA-02



5 PLANTING LAYOUT  
NOT TO SCALE P-PL-FLO-04



6 SHOVEL CUT PLANT BED EDGING DETAIL  
NOT TO SCALE P-PL-BDEG-01

GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing and approved by the general contractor or owner's representative prior to installation. All plants must be installed as per sizes shown on plant material schedule, unless approved by general contractor or owner's representative.
- All seeded areas and planting beds require topsoil to be placed within 3" of finish grade during rough grading operations. All parking lot islands require topsoil placed to a minimum depth of 18" to insure long term plant health. These requirements should be coordinated between the general contractor, grading contractor and landscape contractor.
- The landscape contractor to be responsible for placing a minimum depth of 3" of blended, prepared and non-compacted topsoil in all seeded areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade. Finished landscaped areas to be smooth, uniform and provide positive drainage away from all structures and pavement.
- Tree planting (see planting detail):  
Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. Scarify side walls of tree pit prior to installation. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remaining wire down to the bottom of hole once the tree has been placed into the hole and will no longer be moved. Score the remaining two-thirds of burlap and remove twine. Backfill pit with 80% existing soil removed from excavation and 20% plant starter mix blended prior to planting. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Stake trees according to the staking detail.
- Shrub planting: all shrubs to be pocket planted with a 50/50 mix of plant starter and topsoil. Install topsoil into all plant beds as needed to achieve proper grade and replace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not environment). All proposed parking islands to receive 3" layer of shredded hardwood bark mulch. Do not allow mulch to contact plant stems and tree trunks.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed uniformly and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum depth of 3" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
- An acceptable quality turf is defined as having no more than 10% of the total area with bare spots larger than 1 square foot and uniform coverage throughout all turf areas.
- Seed mix for lawn areas - use only a premium quality seed mix installed at recommended rates. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF. Provide seed specifications to general contractor prior to installation.
- Warranty and replacements: Trees, evergreens, and shrubs to be guaranteed (100% replacement) for a minimum of one (1) year from the date of substantial project completion. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs and turf grass. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and insure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor.

**CITY OF MADISON LANDSCAPE WORKSHEET**  
Section 28.142 Madison General Ordinance

Project Location / Address 3817 Milwaukee Street  
Name of Project Woodman's Food Market  
Owner / Contact James Arneson, Fox Arneson, Inc.  
Contact Phone (608) 276-4400 Contact Email jameson@foxarneson.com

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\***

**Applicability**  
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:  
(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.  
(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.  
(c) No demolition of a principal building is involved.  
(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**  
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and decking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.  
(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.  
Total square footage of developed area \_\_\_\_\_  
Total landscape points required \_\_\_\_\_  
(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.  
Total square footage of developed area 424,312 SF  
Five (5) acres = 217,800 square feet  
First five (5) developed acres = 3,630 points  
Remainder of developed area 206,512 SF  
Total landscape points required 5,696  
(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.  
Total square footage of developed area \_\_\_\_\_  
Total landscape points required \_\_\_\_\_

10/2013 1

LANDSCAPE CALCULATIONS

Total Site area 625,457 SF  
Landscape Calculations and distribution (see Madison worksheet for calculations)  
Total Developed Area: 625,457 - 201,145 = 424,312 SF  
REQUIRED: 5,696 points  
PROVIDED: 6,130 points  
5) Development Frontage Landscape  
1 overstory tree and 5 shrubs per 30LF of lot frontage  
Milwaukee Street Frontage = 954LF  
REQUIRED: 954/30 = 32 trees and 159 shrubs  
PROVIDED: 19 proposed trees & 1 existing trees & 12 existing street trees 159 shrubs  
6) Interior Parking Lot Landscaping  
for changes to a developed site a minimum of 5% of paving shall be landscape islands & strips & peninsulas  
REQUIRED: 5% of 424,712 = 21,236 SF landscape  
PROVIDED: 52,051 SF  
1 deciduous tree for every 160 SF required landscape area  
REQUIRED: 21,236 SF / 160SF = 133 trees  
PROVIDED: 33 existing trees to remain & 100 proposed trees  
7) Foundation Plantings  
PROVIDED: Foundation plantings added around new buildings

**Tabulation of Points and Credits**  
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35	43	1505	100	3500
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35	0	0	0	0
Ornamental tree	1 1/2 inch caliper	15	2	30	0	0
Upright evergreen shrub (i.e. arbutus/vetiv)	3-4 feet tall	10	26	260	0	0
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	13	39	170	552
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	20	80	42	164
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2				
Ornamental/decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
<b>Sub Totals</b>				1914		4,216

**Total Number of Points Provided 6,130**

\* As determined by ANSI, ANA - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

10/2013 2



DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Mount Pleasant, WI | Naperville, IL | Irvine, CA

**WOODMAN'S FOOD MARKET**  
3817 MILWAUKEE STREET, MADISON, WI

**LANDSCAPE NOTES AND DETAILS**

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DATE: 02/05/2020  
SCALE: NOT TO SCALE  
JOB NO. 3190289  
PROJECT MANAGER:  
PAUL V. MCILHERAN, P.E.  
DESIGNED BY: NJW/GNS  
CHECKED BY: CNS  
**SHEET NUMBER**  
L200

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# City of Madison Fire Department

30 West Mifflin Street, 8<sup>th</sup> & 9<sup>th</sup> Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 3817 Milwaukee Street

**Contact Name & Phone #:** Jim Arneson, (608) 663-6233

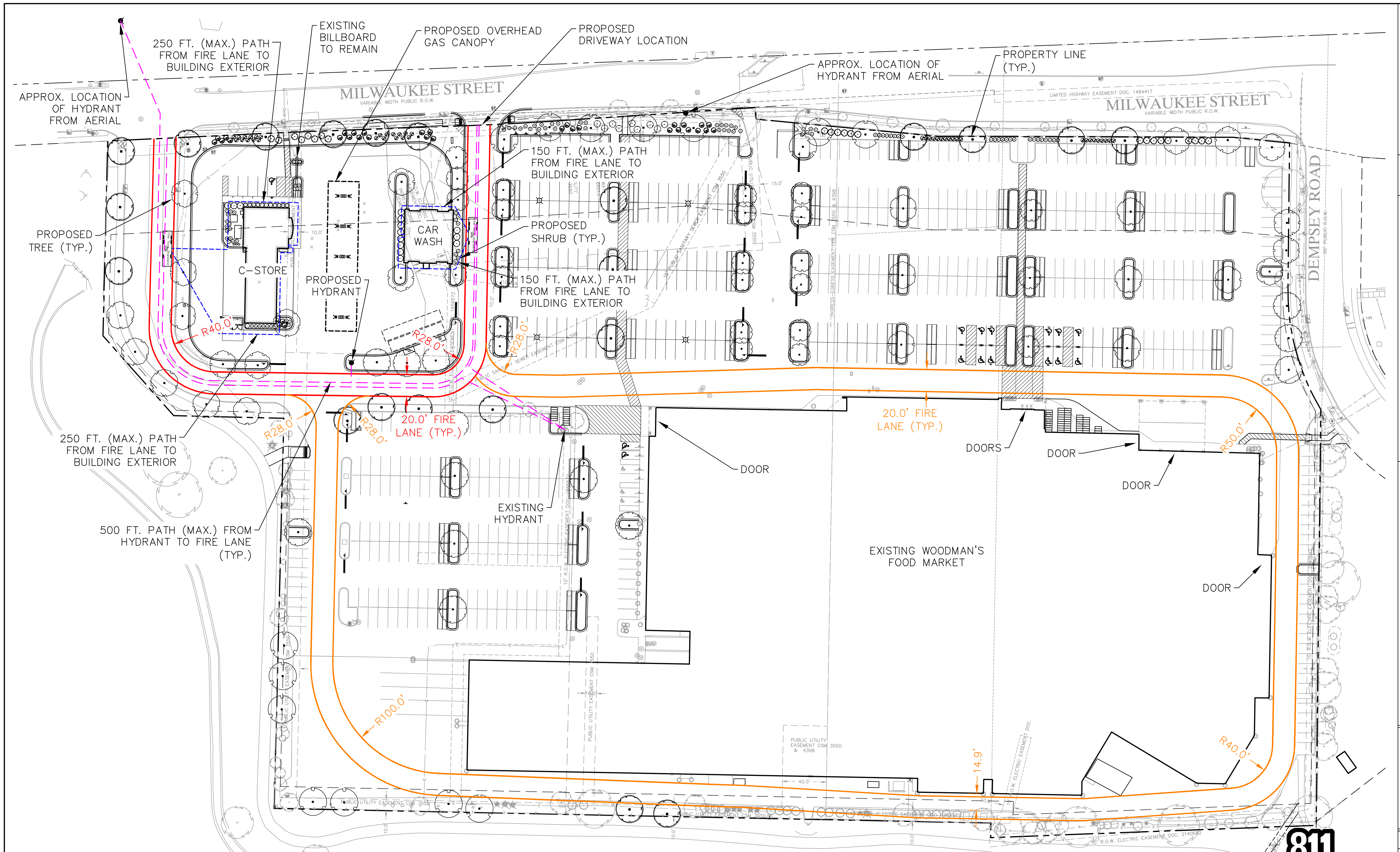
## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? <i>EXISTING HYDRANT MAY BE LESS THAN 5' FROM THE CURB.</i> d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

*Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.*

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.



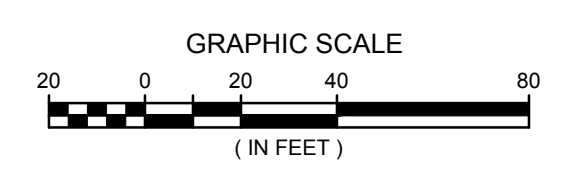
**LEGEND**

- EXISTING STORE 20' FIRE LANE
- PROPOSED STORE 20' FIRE LANE
- - - - PATH FROM TRUCK TO BUILDING
- - - - PATH FROM HYDRANT TO FIRE LANE

**NOTES**

CAR WASH IS NON-SPRINKLERED, SO FIRE LANES EXTEND TO WITHIN 150 FT. OF ALL PORTIONS OF EXTERIOR BUILDING WALL.

C-STORE IS SPRINKLERED, SO FIRE LANES EXTEND TO WITHIN 250 FT. OF ALL PORTIONS OF EXTERIOR BUILDING WALL.



Know what's below.  
Call before you dig.

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DESCRIPTION
DATE

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Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

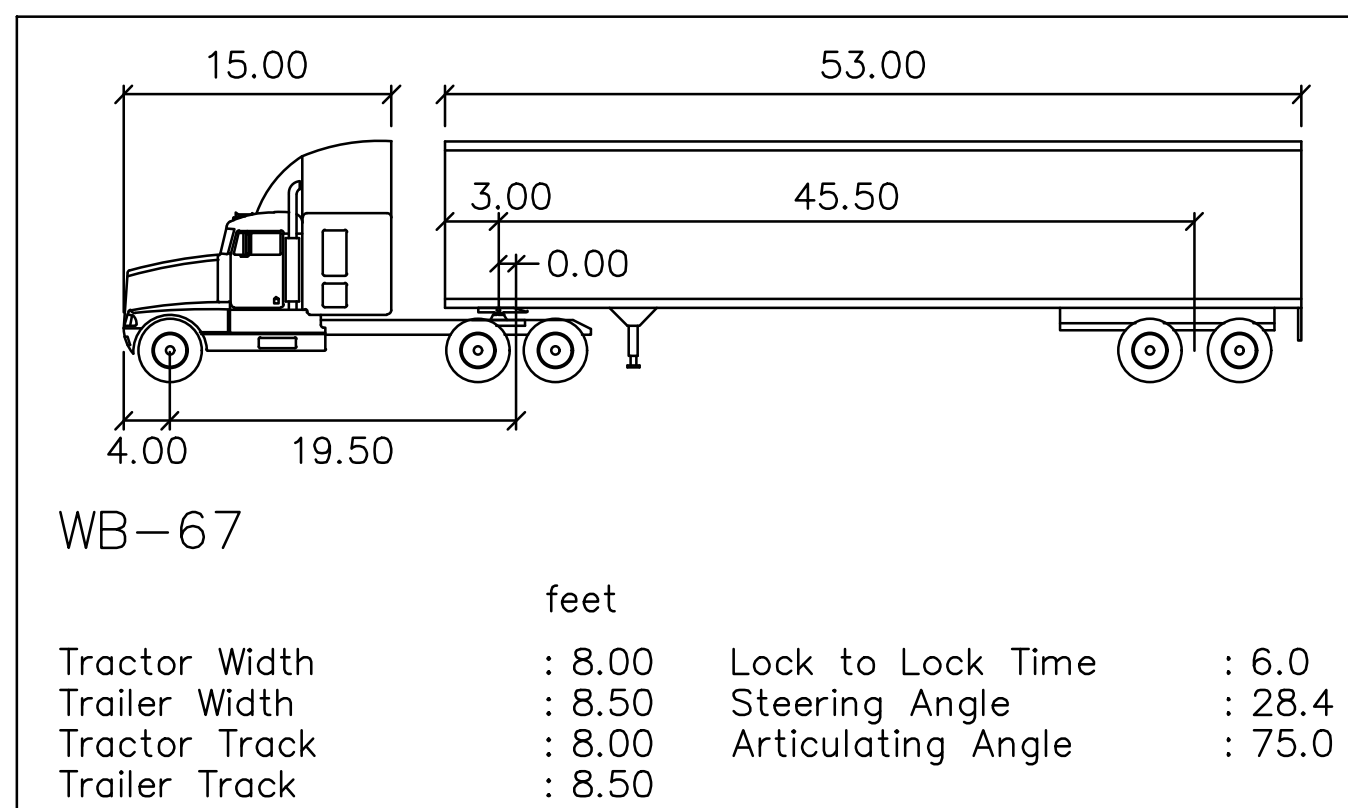
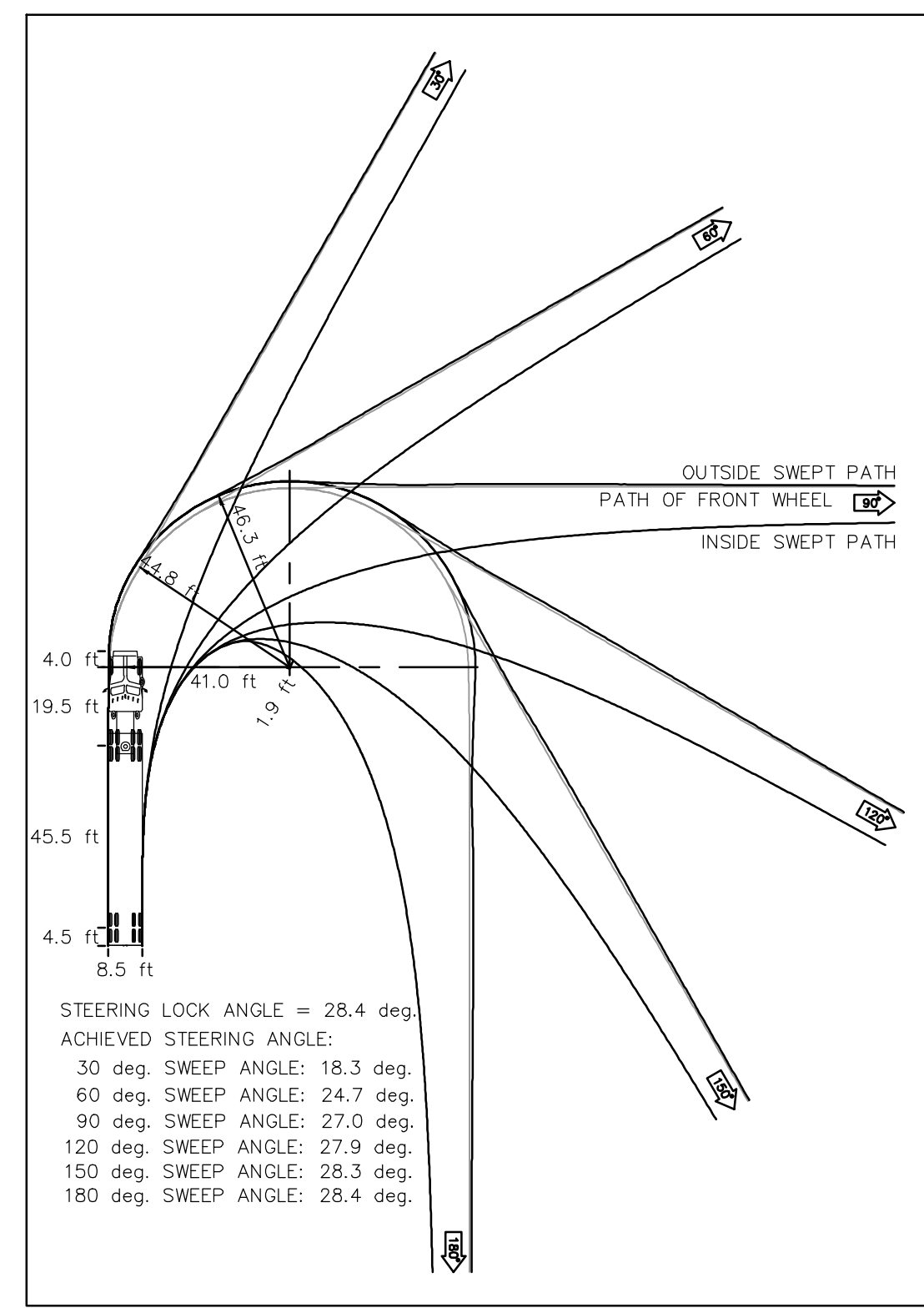
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Mount Pleasant, WI | Napperville, IL | Irvine, CA

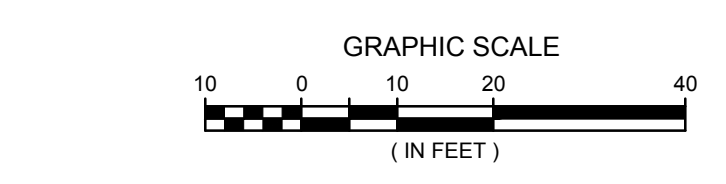
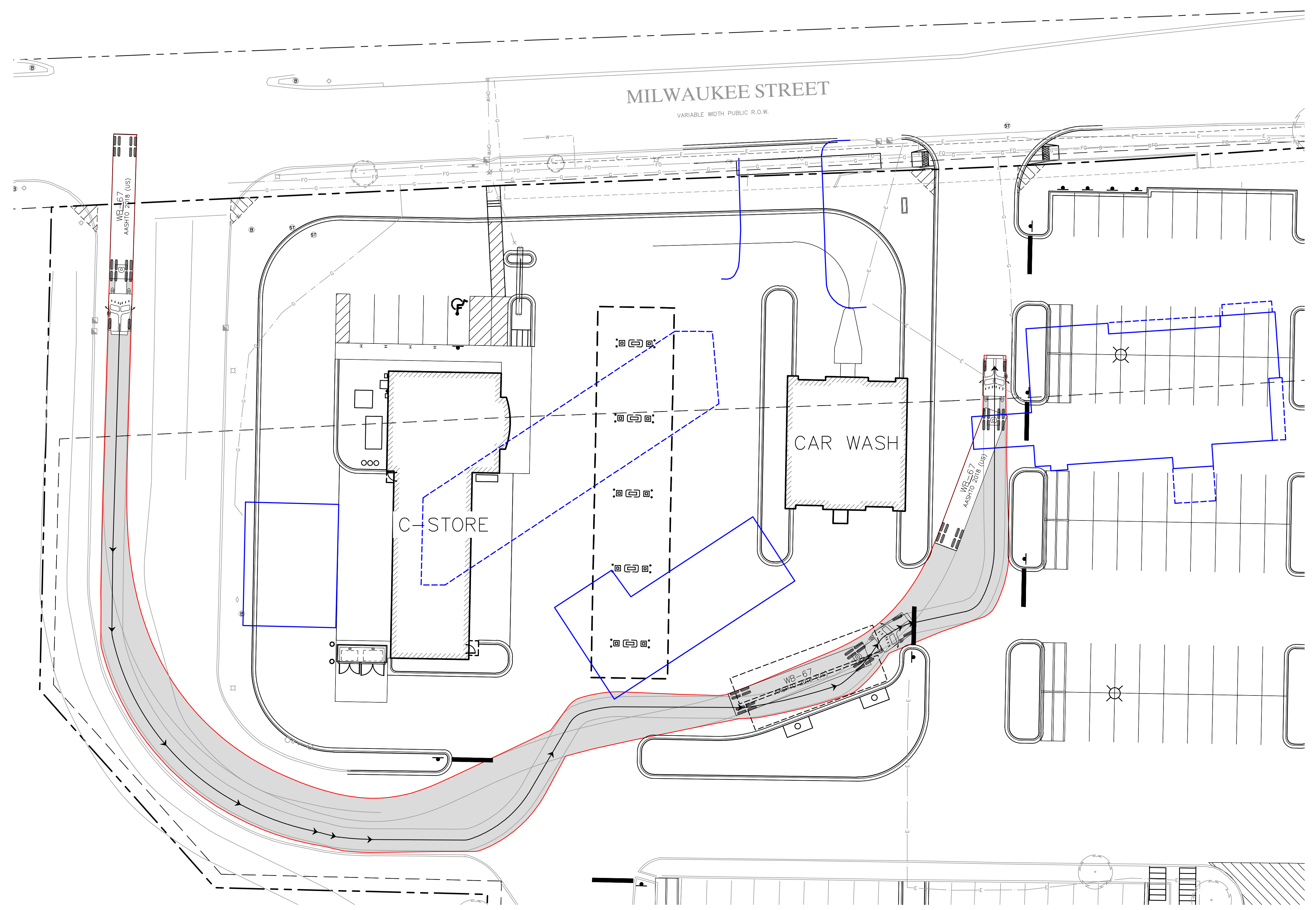
**WOODMAN'S FOOD MARKET  
3817 MILWAUKEE STREET, MADISON, WI  
FIRE TRUCK ACCESS EXHIBIT**

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DATE: 02/05/2020
SCALE: 1" = 40'
JOB NO. 3190289
PROJECT MANAGER: PAUL V. MCLHERAN, P.E.
DESIGNED BY: AJS
CHECKED BY: PVM
<b>SHEET NUMBER</b> FT-01

P:\3190289\Drawings\Exhibits\2019-12-13 fire truck access exhibit\3190289-F101.dwg, Fire Truck Access Exhibit, 1/31/2020 5:22:06 PM, AJS



TRUCK TURN MOVEMENTS (WB-67)  
(NOT TO SCALE)



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(262) 781-1000  
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**WOODMAN'S FOOD MARKET**  
3817 MILWAUKEE STREET, MADISON, WI

**SITE EXHIBIT**  
TRUCK TURN - WB67

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DATE: 02/05/2020
SCALE: 1" = 20'
JOB NO. 3190289
PROJECT MANAGER: PAUL V. MCILHERAN, P.E.
DESIGNED BY: AJS
CHECKED BY: PVM
<b>SHEET NUMBER</b>
AT-01

P:\3190289\Draw\Exhibits\2019-11-13\_garbage\_truck\_turn\3190289-A102.dwg, AT-01, 2/5/2020 8:48:32 AM, Ajs



# WOODMAN'S MARKETS

## EMPLOYEE OWNED

### GAS & LUBE

3817 MILWAUKEE STREET  
MADISON, WI 53714

#### SHEET INDEX

A101	GAS & LUBE FLOOR PLAN
A102	CAR WASH FLOOR PLAN
A103	FUEL CANOPY FLOOR PLAN
A111	GAS & LUBE ROOF PLAN
A112	CAR WASH ROOF PLAN
A121	CAR & LUBE PIT PLAN
A201	GAS & LUBE ELEVATIONS
A202	CAR WASH ELEVATIONS
A203	CAR WASH ELEVATIONS
A204	FUEL CANOPY ELEVATIONS
A901	EL POBLANO EXTERIOR PHOTOS
A902	EL POBLANO INTERIOR PHOTOS
A903	EXISTING GAS & LUBE EXTERIOR PHOTOS



THESE RENDERINGS ARE AN ARTIST'S CONCEPTION AND ARE NOT INTENDED FOR USE AS CONSTRUCTION DOCUMENTS

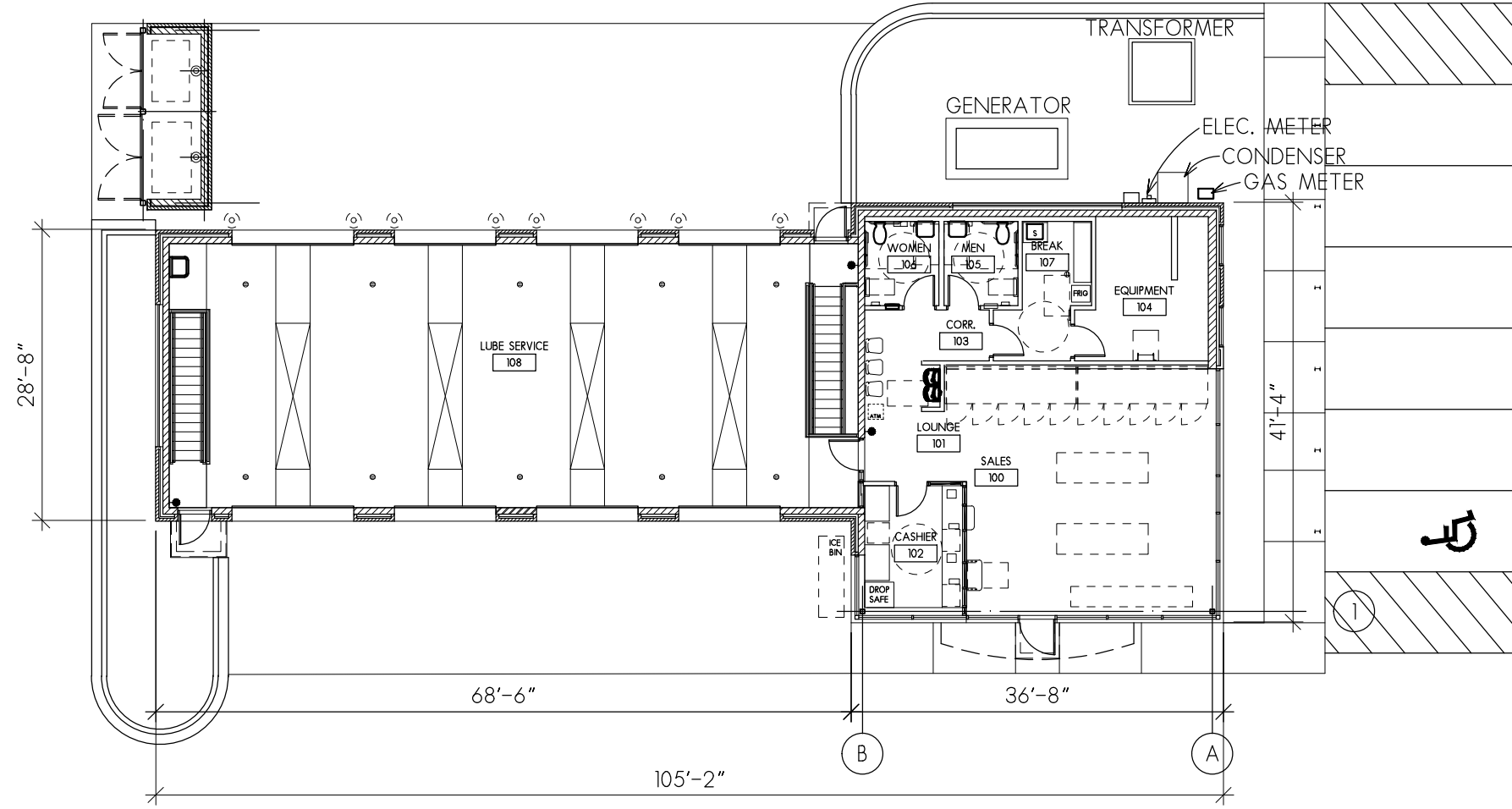


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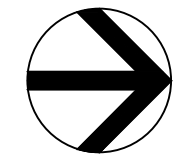
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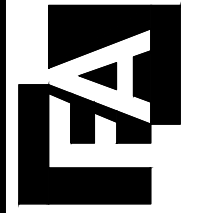
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1 GAS & LUBE PLAN  
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 0 4 16'  
 2 8



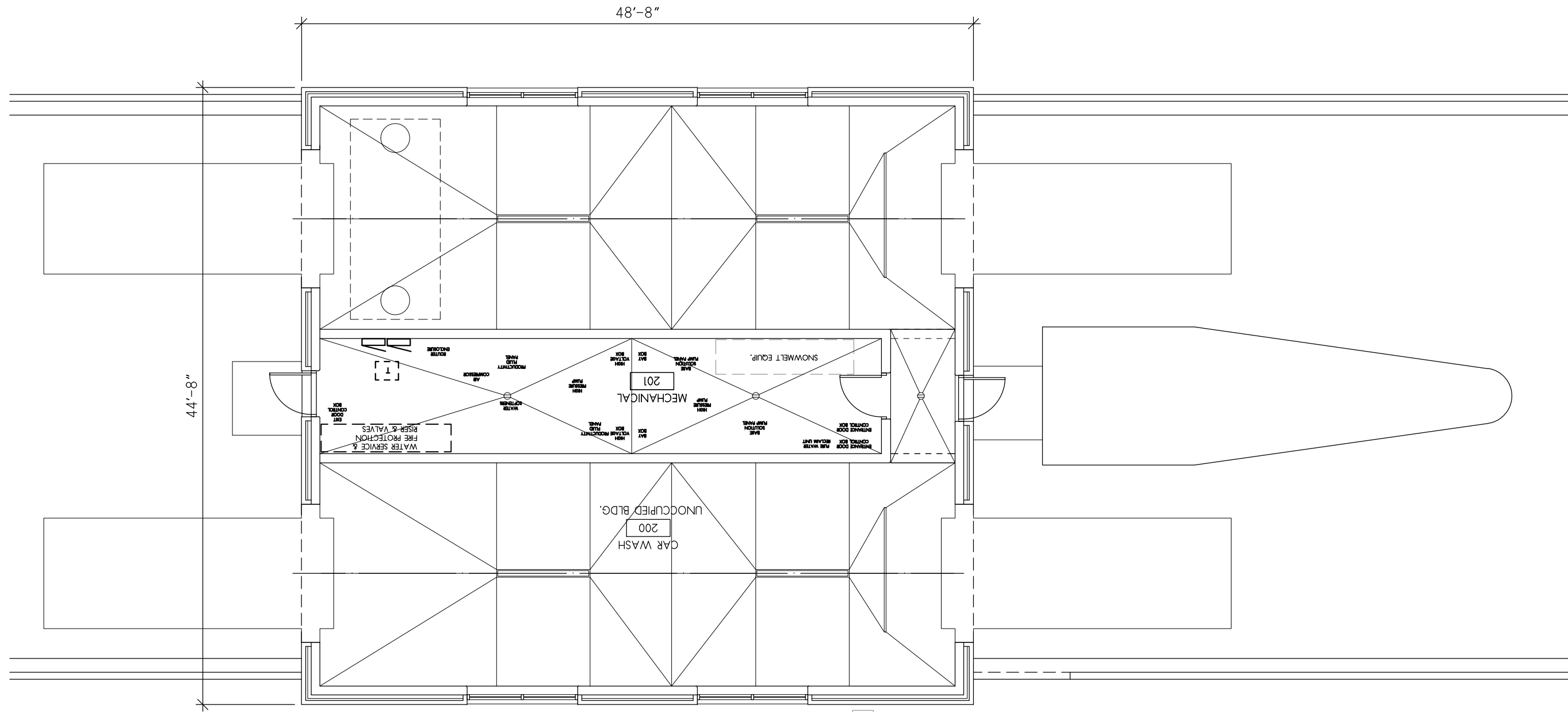
PROJECT NORTH



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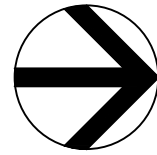
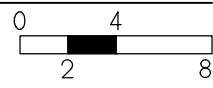
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DRAWING NO.:	19-041
SHEET NO.:	A101



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CAR WASH PLAN

1/8" = 1'-0"



PROJECT  
NORTH

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DRAWING NO.:	19-041
SHEET NO.:	A102

ISSUED FOR:	
DRAWN:	JTR
APPROVED:	PAW

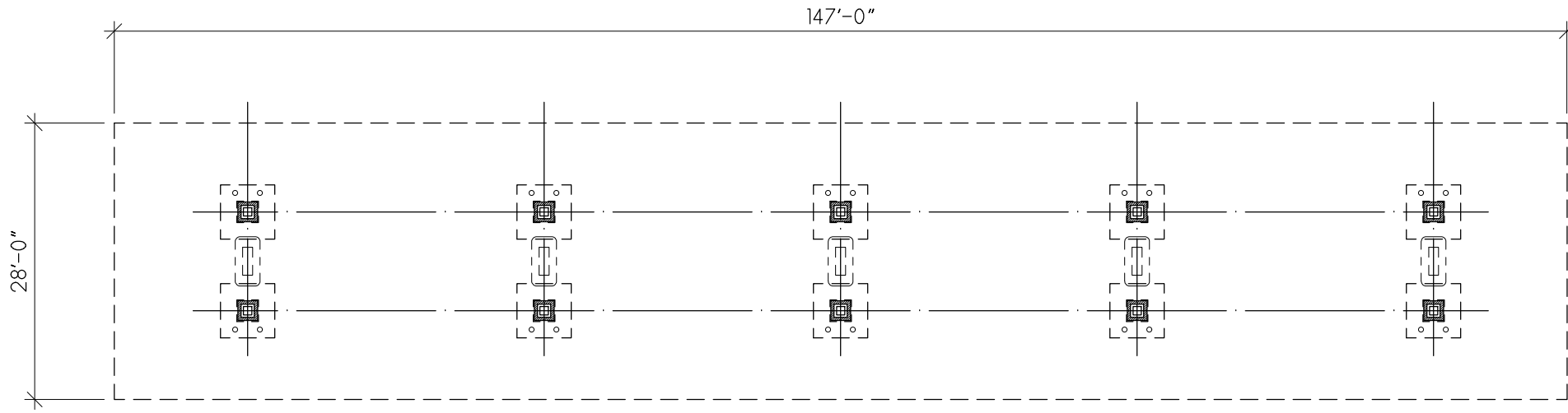
GAS LUBE & CAR WASH  
**WOODMAN'S**

3817 MILWAUKEE STREET MADISON, WI 53714

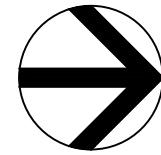
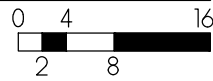


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1 FUEL CANOPY PLAN  
 1/16" = 1'-0"



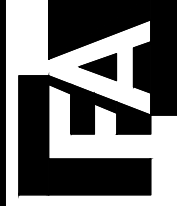
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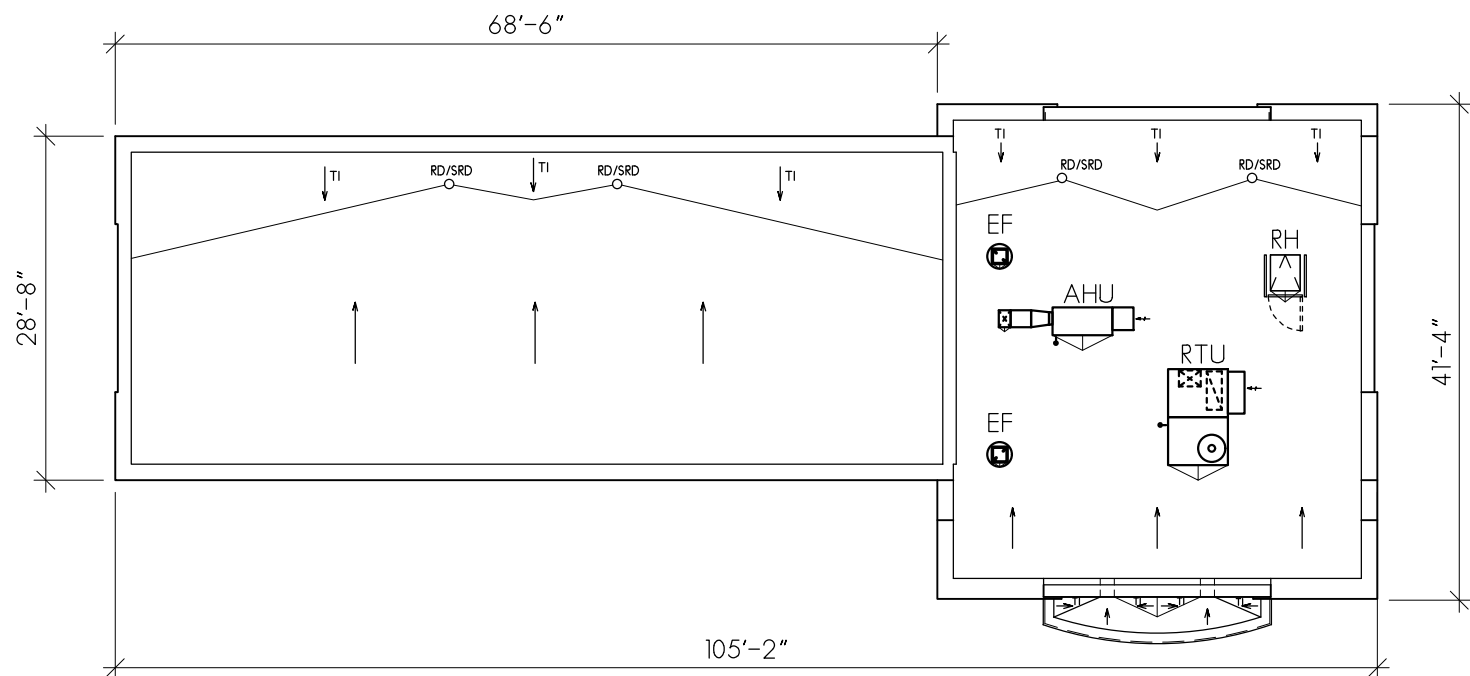
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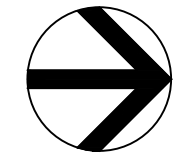
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1

GAS & LUBE ROOF PLAN

1/16" = 1'-0"



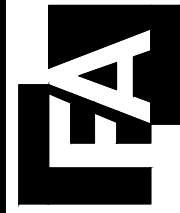
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DRAWING NO.:	19-041
SHEET NO.:	A111

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DRAWN:	JTR
APPROVED:	PAW

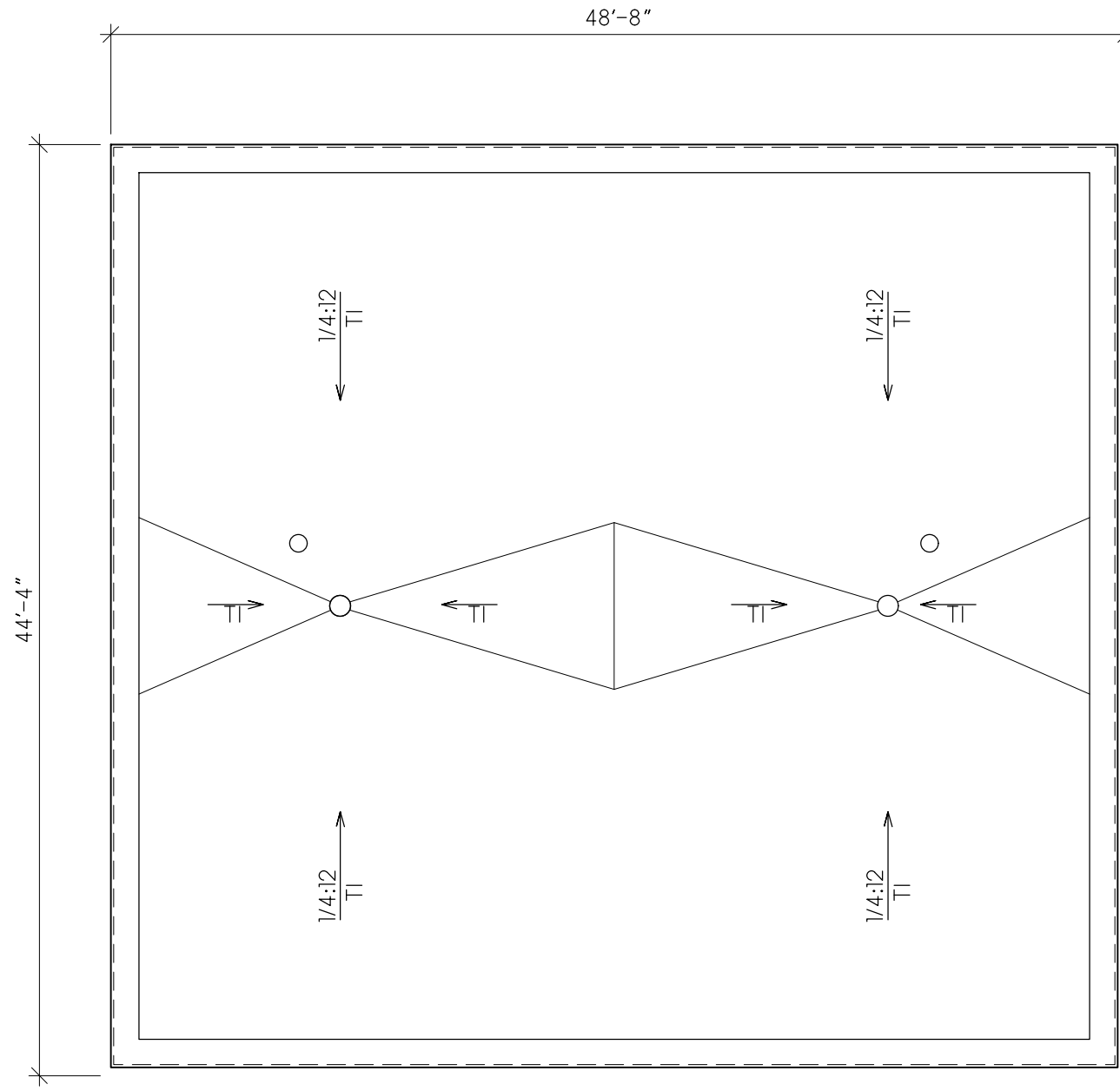
GAS LUBE & CAR WASH  
**WOODMAN'S**  
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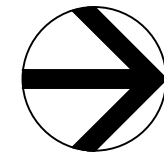
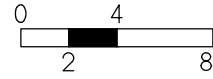


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1 CAR WASH ROOF PLAN  
 1/8" = 1'-0"



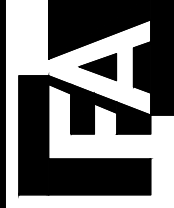
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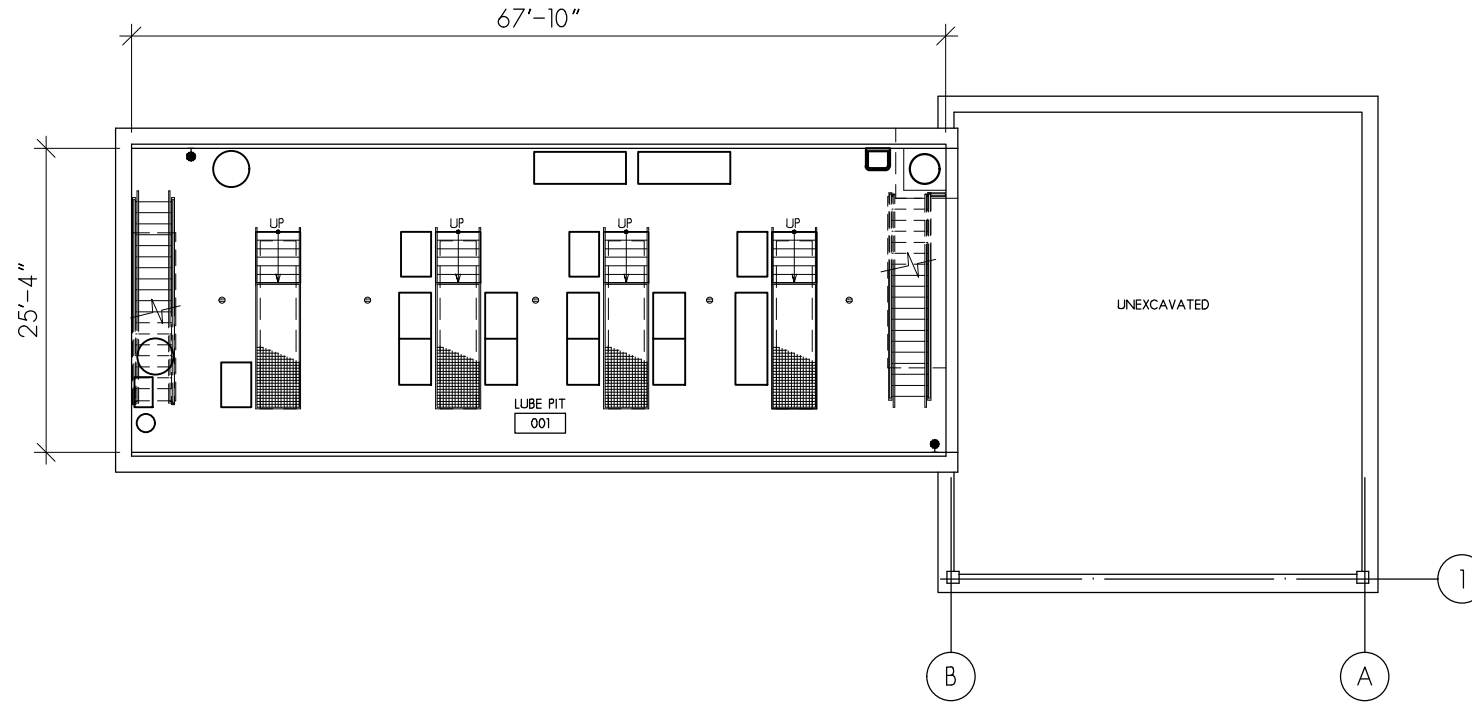
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APPROVED:	PAW

GAS LUBE & CAR WASH  
**WOODMAN'S**  
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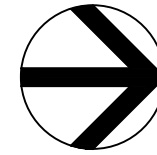
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1 GAS & LUBE PIT PLAN  
 1/16" = 1'-0"



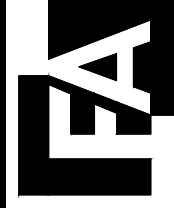
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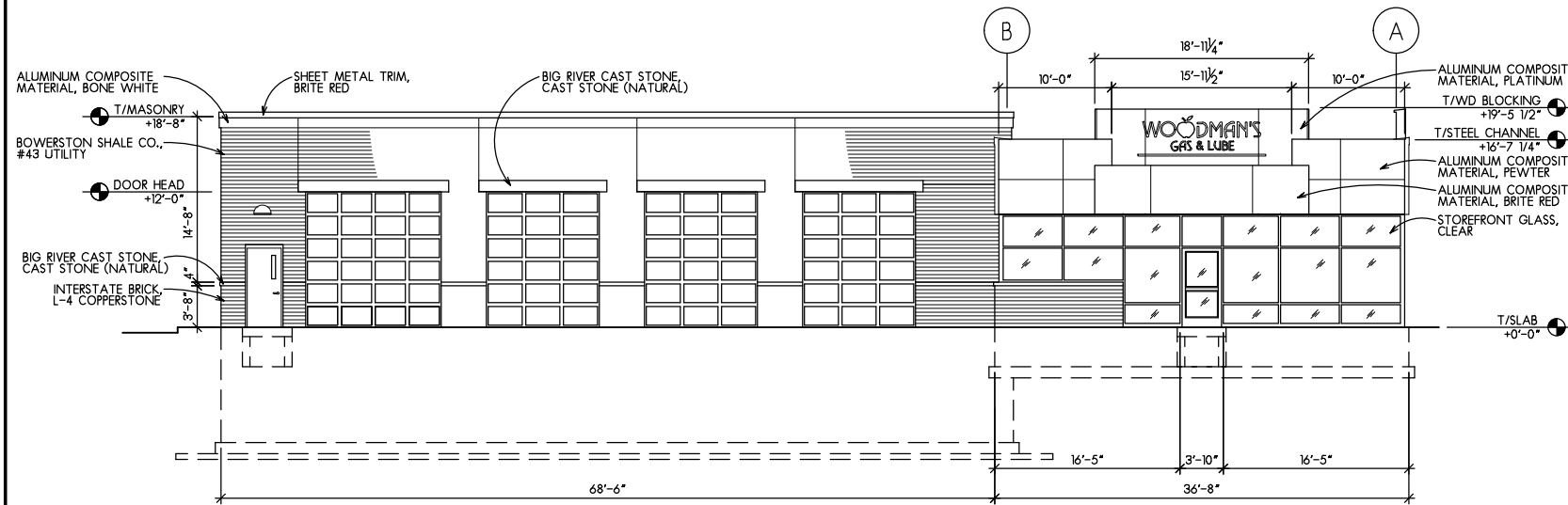
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APPROVED:	PAW

GAS LUBE & CAR WASH  
**WOODMAN'S**  
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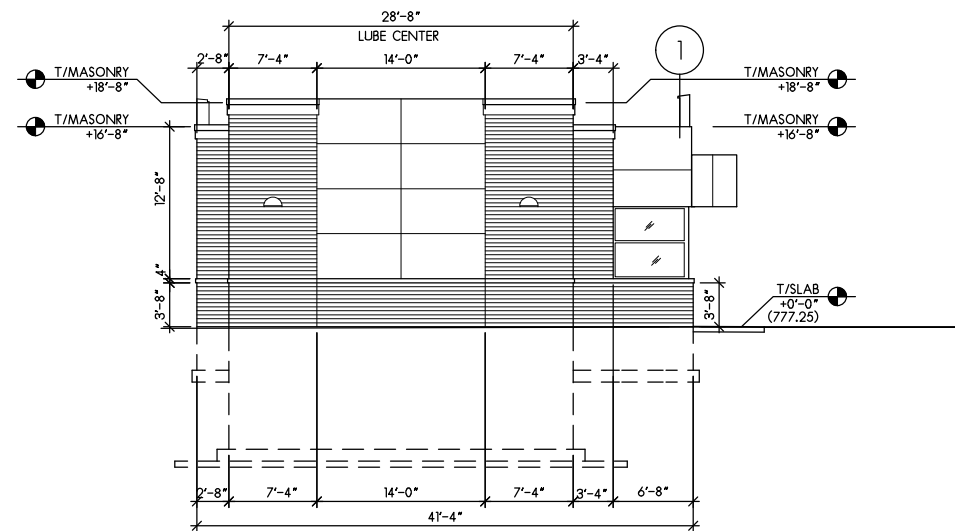
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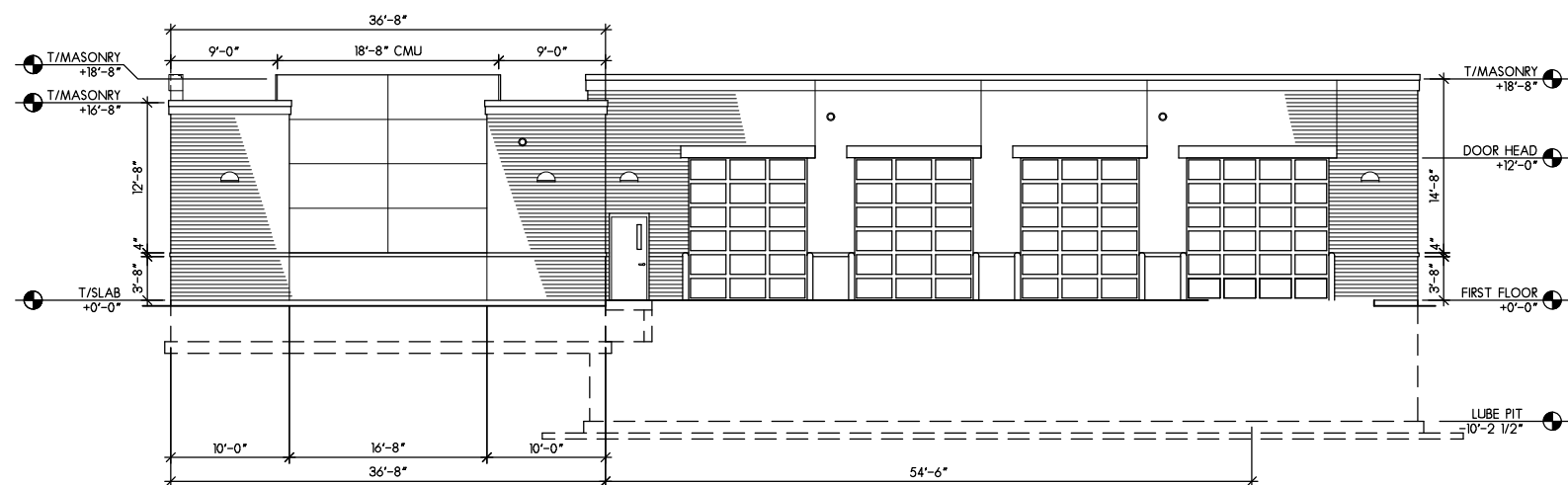
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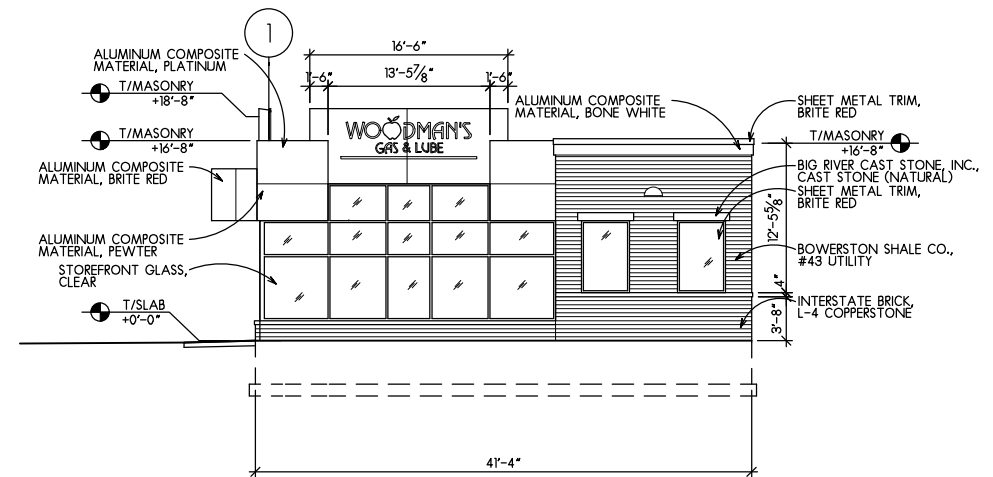
1 GAS & LUBE EAST ELEVATION  
 1/16" = 1'-0"  
 0 4 16'  
 2 8



2 GAS & LUBE SOUTH ELEVATION  
 1/16" = 1'-0"  
 0 4 16'  
 2 8



3 GAS & LUBE WEST ELEVATION  
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 0 4 16'  
 2 8

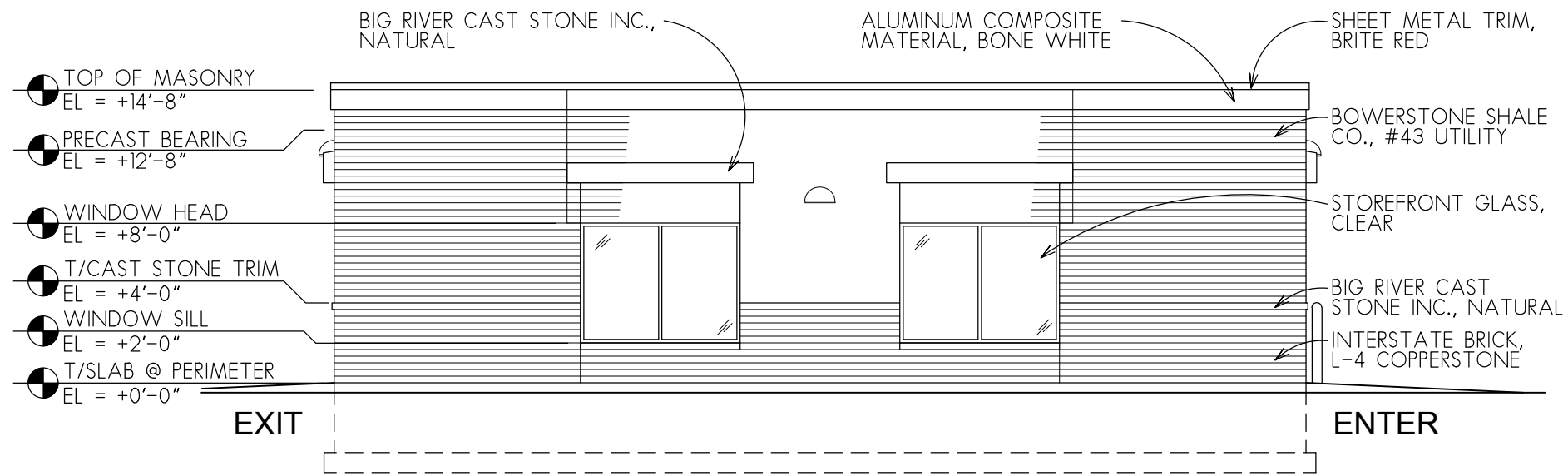


4 GAS & LUBE NORTH ELEVATION  
 1/16" = 1'-0"  
 0 4 16'  
 2 8

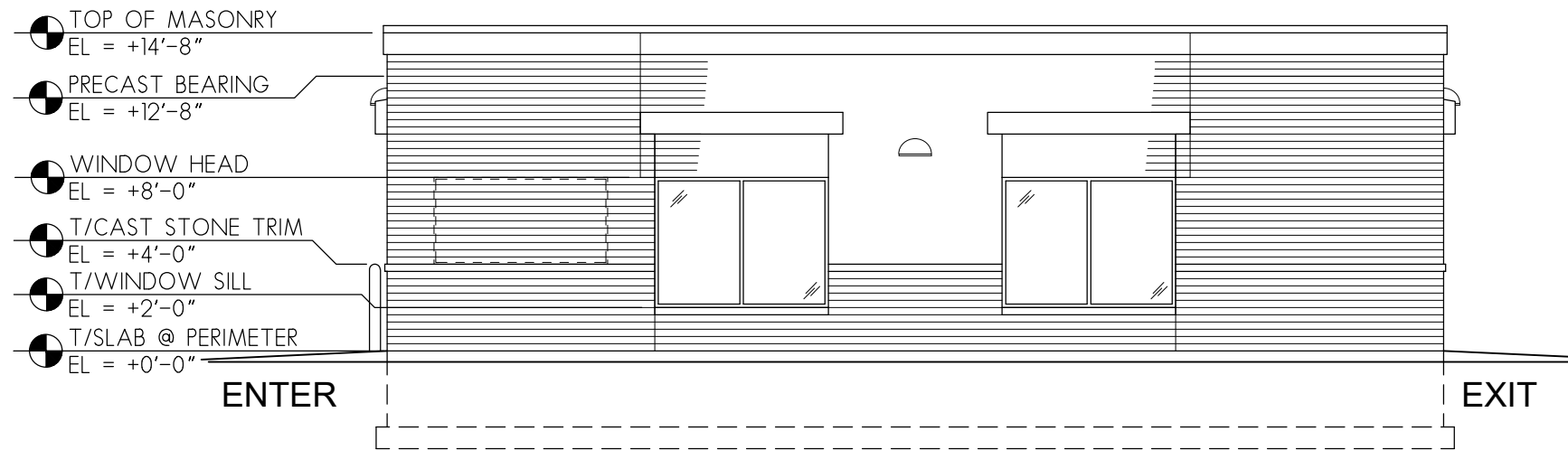


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DRAWN	APPROVED
JTR	PAW

DATE:	2-5-20
DRAWING NO.:	19-041
SHEET NO.:	A201



1 CAR WASH EAST ELEVATION  
 1/8" = 1'-0"  
 0 2 4 8'

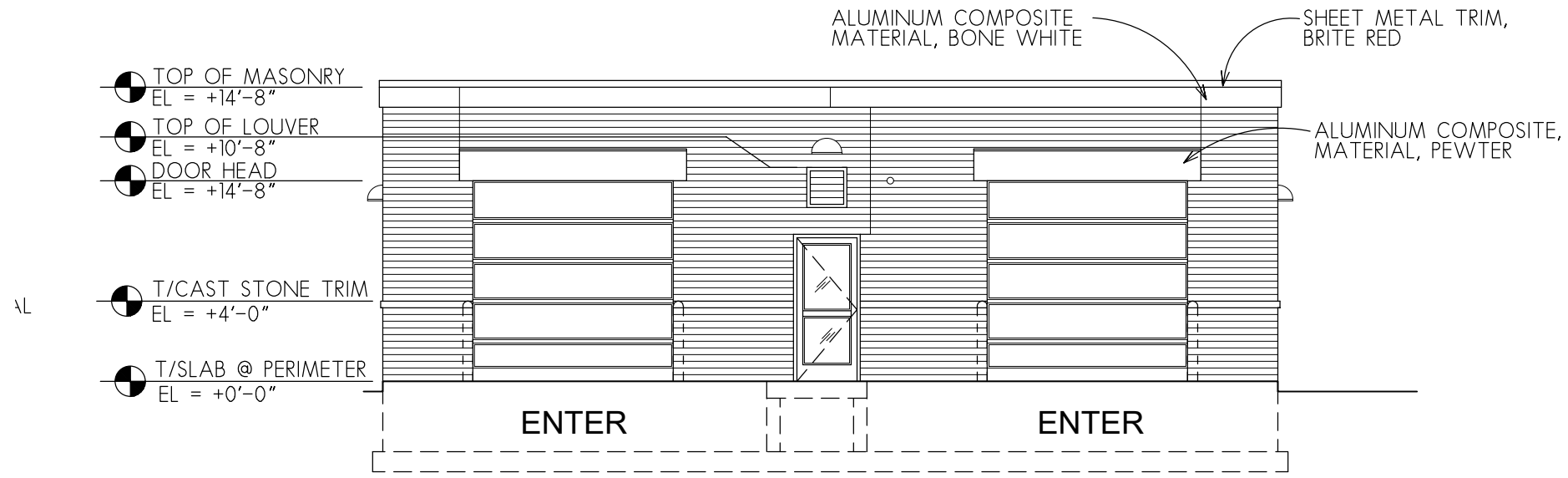


2 CAR WASH WEST ELEVATION  
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 0 2 4 8'

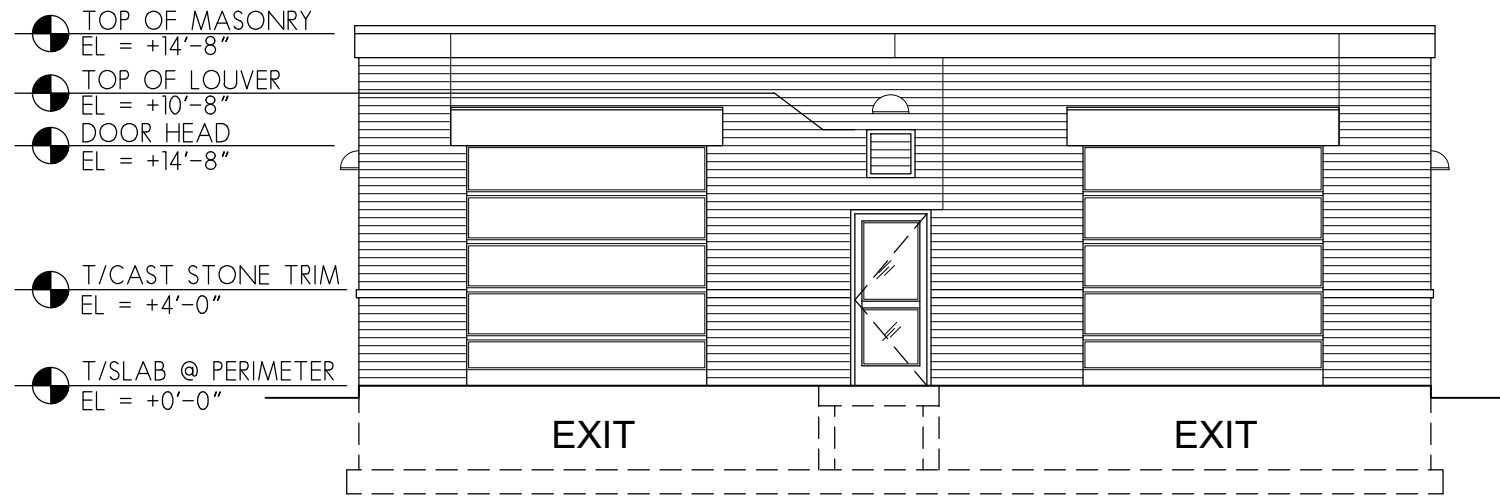


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DRAWN	JTR
APPROVED	PAW

DATE:	2-5-20
DRAWING NO.:	19-041
SHEET NO.:	A202



1 CAR WASH NORTH ELEVATION  
 1/8" = 1'-0"  
 0 2 4 8'

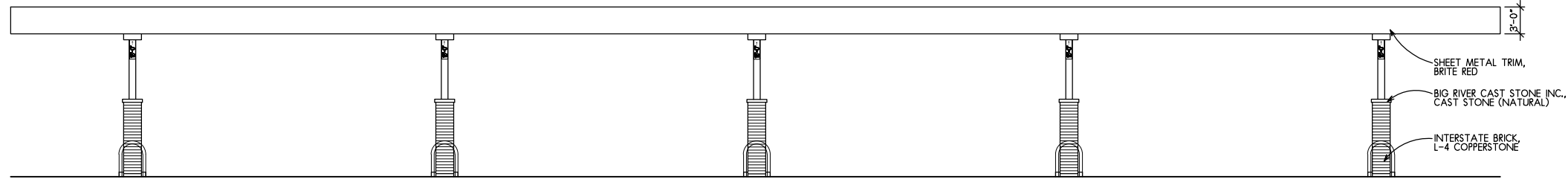


2 CAR WASH SOUTH ELEVATION  
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 0 2 4 8'

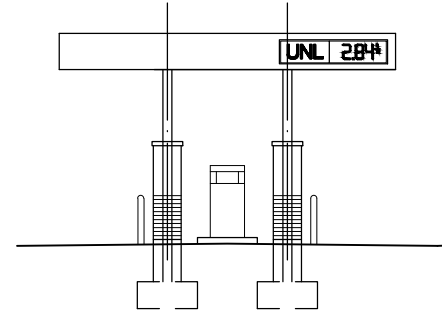


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DRAWN	JTR
APPROVED	PAW

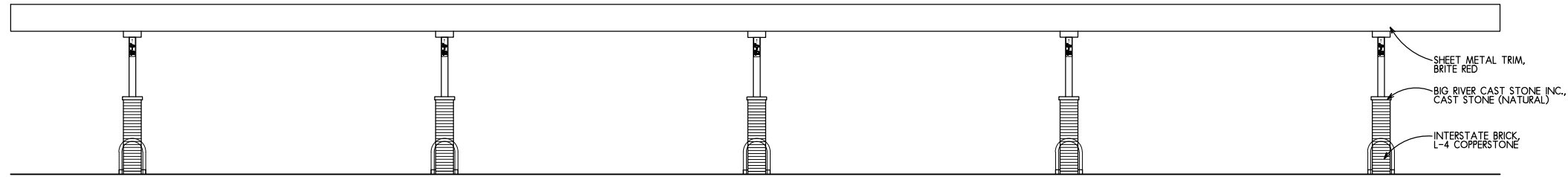
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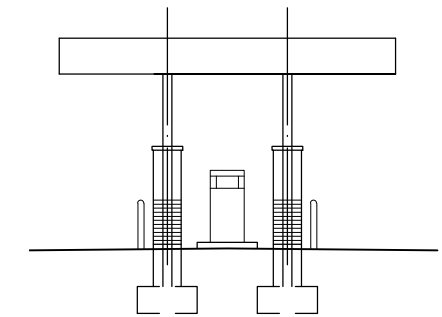
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 1/16" = 1'-0"  
 0 4 16'  
 2 8



2 FUEL CANOPY NORTH ELEVATION  
 1/16" = 1'-0"  
 0 4 16'  
 2 8



3 FUEL CANOPY WEST ELEVATION  
 1/16" = 1'-0"  
 0 4 16'  
 2 8



4 FUEL CANOPY SOUTH ELEVATION  
 1/16" = 1'-0"  
 0 4 16'  
 2 8



ISSUED FOR:	
DRAWN	JTR
APPROVED	PAW

DATE:	2-5-20
DRAWING NO.:	19-041
SHEET NO.:	A204



1



2



3



4



5

1 EXTERIOR PHOTOS  
NTS



ISSUED FOR:	
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DATE:	2-5-20
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SHEET NO.:	A901



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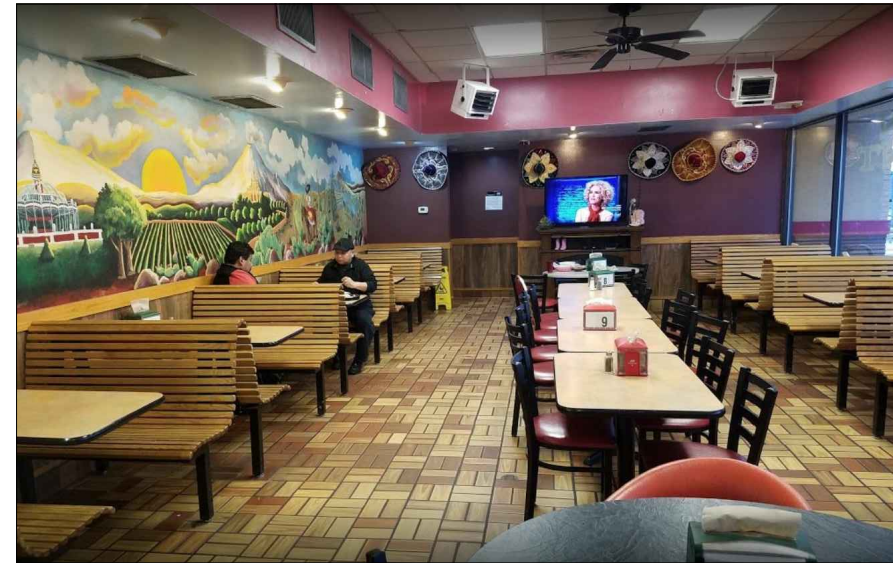
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3



4



5

1 INTERIOR PHOTOS  
NTS



ISSUED FOR:	
DRAWN	JTR
APPROVED	PAW

DATE:	2-5-20
DRAWING NO.:	19-041
SHEET NO.:	A902





1



2



3



4



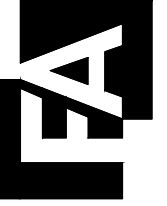
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6

1 EXTERIOR PHOTOS  
NTS

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GAS LUBE & CAR WASH  
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