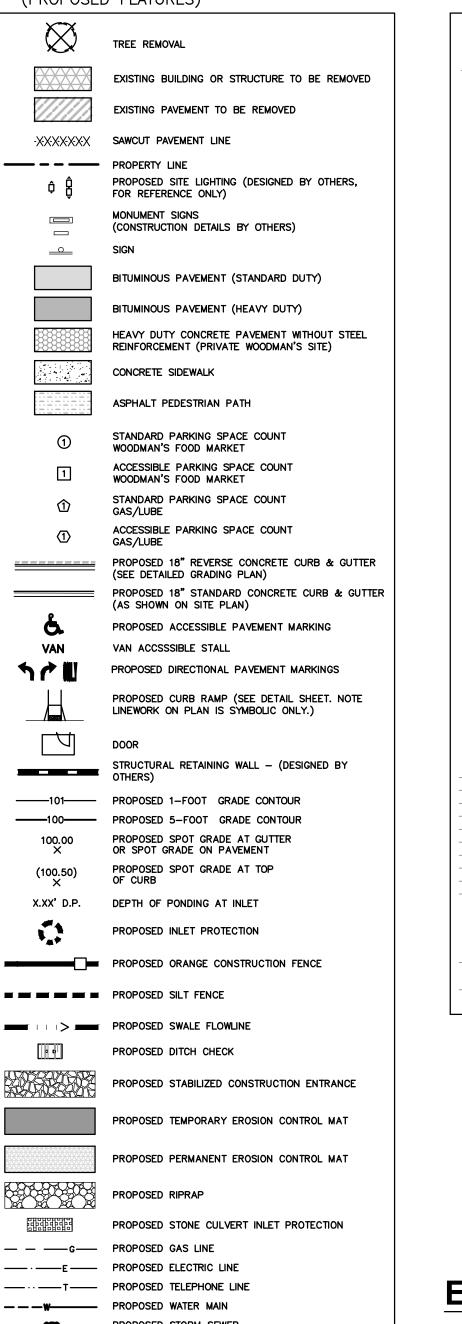


:\3190289\Dwa\Sheets\3190289-DP01.dwa. Demolition Plan. 2/3/2020 2:29:28

SITE CIVIL AND LANDSCAPE PLANS FOR

LEGEND (PROPOSED FEATURES)



PROPOSED FIRE DEPARTMENT CONNECTION

PROPOSED TERMINATION JUNCTION STRUCTURE

PROPOSED OVERLAND FLOW PATH

PROPOSED DRAINAGE DIRECTION ARROW

PROPOSED INLET

WOODMAN'S FOOD MARKET

3817 MILWAUKEE STREET MADISON, WISCONSIN

VICINITY MAP



PLAN INDEX SHEET NO. **DESCRIPTION** TITLE SHEET C000 C100 EXISTING CONDITIONS AND DEMOLITION PLAN C200 OVERALL SITE PLAN SITE PLAN DETAIL C201 C300 OVERALL GRADING PLAN C301 GRADING PLAN DETAIL C400 STORM SEWER UTILITY PLAN SANITARY SEWER AND WATER UTILITY PLAN C500-C502 C600 CONSTRUCTION SPECIFICATIONS L100 TREE AND SHRUB INVENTORY L101 LANDSCAPE PLAN LANDSCAPE NOTES AND DETAILS

ENGINEER AND LANDSCAPE ARCHITECT:



CREATIVITY BEYOND ENGINEERING

LEGEND

INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL

CORNER AS DÉSCRIBED

🕽 OR 🖫 SECTION OR 1/4 SECTION

● 1" DIA. IRON PIPE FOUND

BOLLARD

FLAGPOLE
MAILBOX
SIGN
BILLBOARD
AIR CONDITIONER

GUY POLE

LIGHT POLE

GAS VALVE
GAS METER

© ELECTRIC MANHOLE
ELECTRIC PEDESTAL

ELECTRIC TRANSFORMER
TELEPHONE MANHOLE

STORM SEWER END SECTION

WATER SERVICE CURB STOP

SANITARY CLEANOUT OR SEPTIC VENT

-SANITARY SEWER -STORM SEWER

-OVERHEAD WIRES
-BUREAU ELEC. SERV

-MARKED TELEPHONE

-EXISTING PROPERTY

-WATERMAIN

SANITARY INTERCEPTOR MANHOLE
MISCELLANEOUS MANHOLE

TELEPHONE PEDESTAL
MARKED FIBER OPTIC

S GAS WARNING SIGN
 STORM MANHOLE
 ROUND INLET
 SQUARE INLET

S SANITARY MANHOLE

W WATER MANHOLE

WATER SURFACE
WETLANDS FLAG

CONIFEROUS TREE

ELECTRIC METER

(UNLESS OTHERWISE NOTED)

1" DIA. IRON PIPE, 18" LONG—SET

(UNLESS OTHERWISE NOTED)

RAILROAD CROSSING SIGNAL

SPOT/YARD/PEDESTAL LIGHT
HANDICAPPED PARKING

SOIL BORING/MONITORING WELL

16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com

DEVELOPER / OWNER:

WOODMAN'S FOOD MARKET, INC. 2631 LIBERTY LANE JANESVILLE, WISCONSIN 53545

ARCHITECT / CONSTRUCTION MANAGER:



PLAN DATE: 02/05/2020 REVISIONS ISSUE DATE SHEET NO.'S ISSUED FOR:

100 West Lawrence Street, Suite Appleton, WI 54911-5754 (920) 731-3499

EATIVITY BEYOND ENGINEERING

WOODMAN'S FOOD MARKET
ILWAUKEE STREET, MADISON, WI

FOR MUNICIPAL OR RECONSTRUCTION

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R.A. Smith, Inc.

DATE: 02/05/2020

SCALE: 1"=400'

JOB NO. 3190289

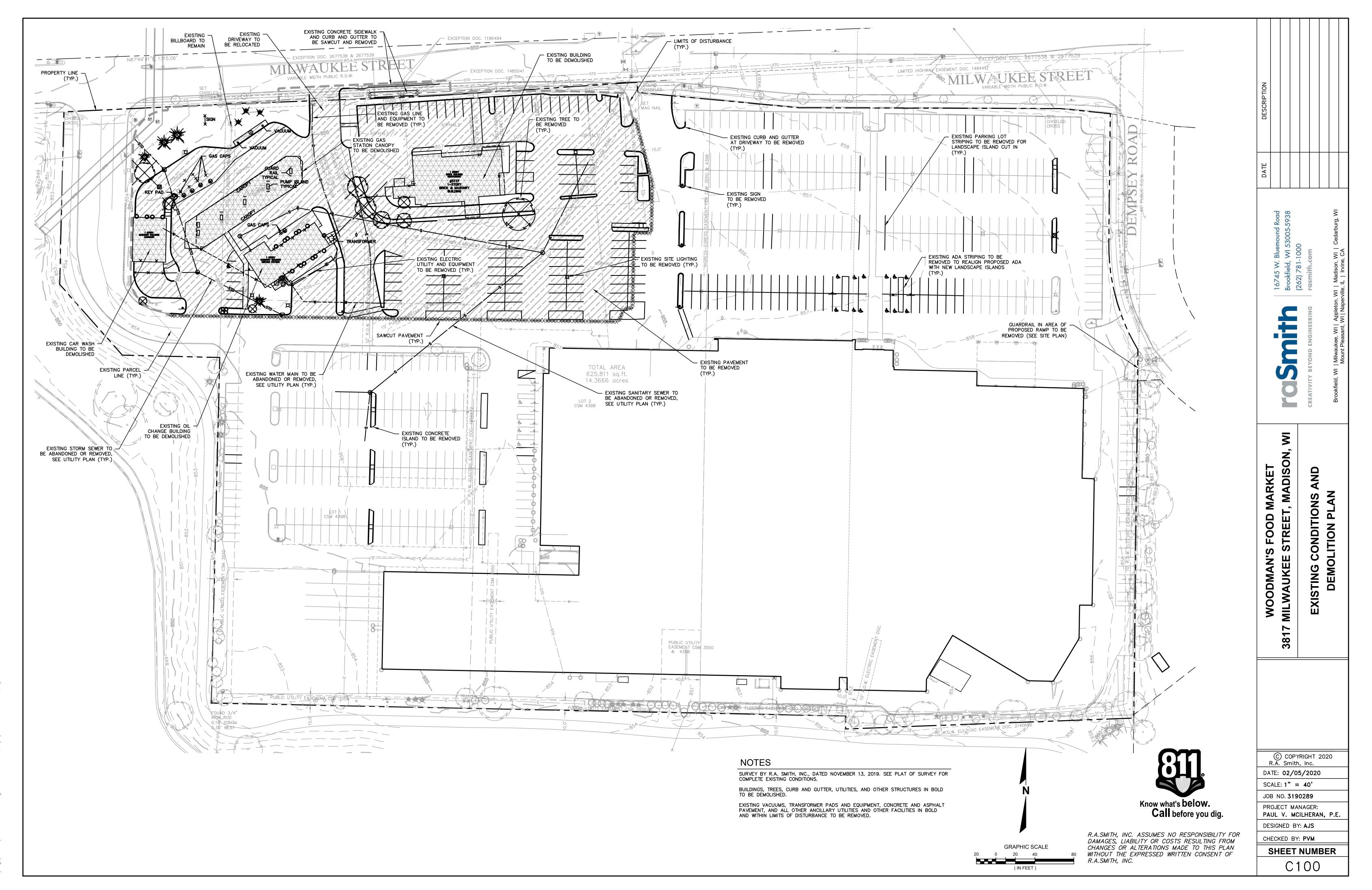
PROJECT MANAGER:
PAUL V. MCILHERAN, P.E.

DESIGNED BY: AJS

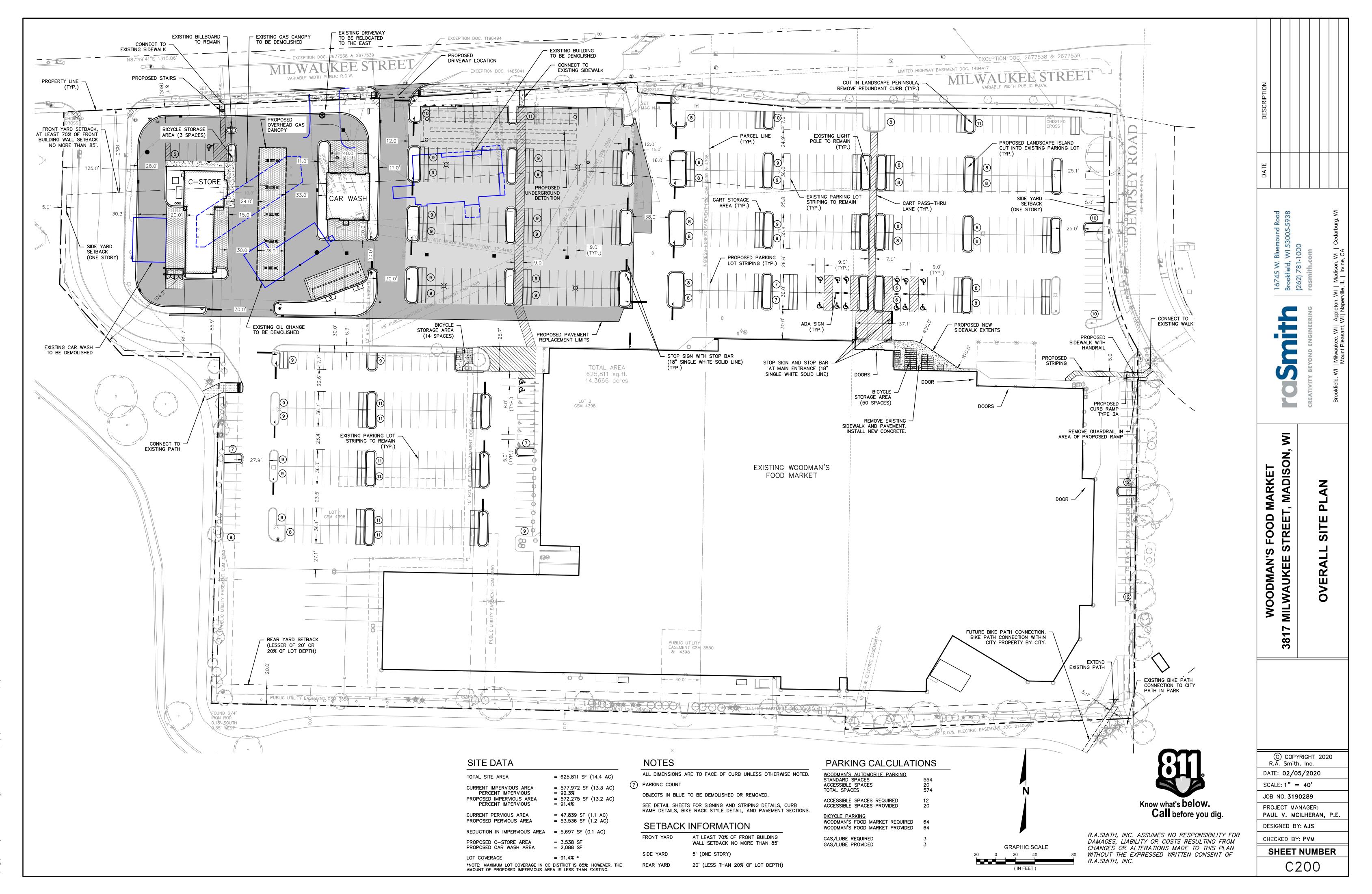
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CHECKED BY: PVM

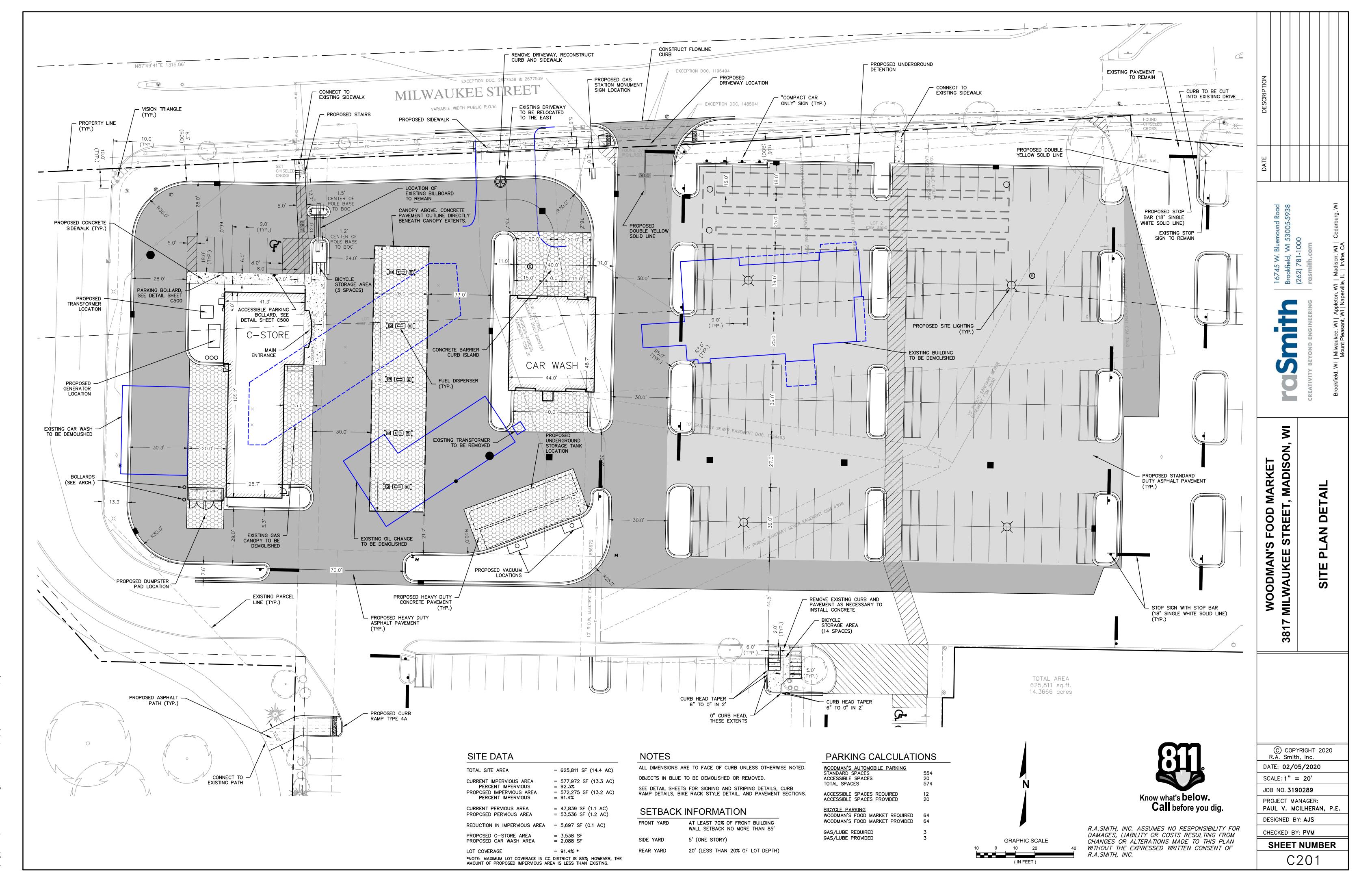
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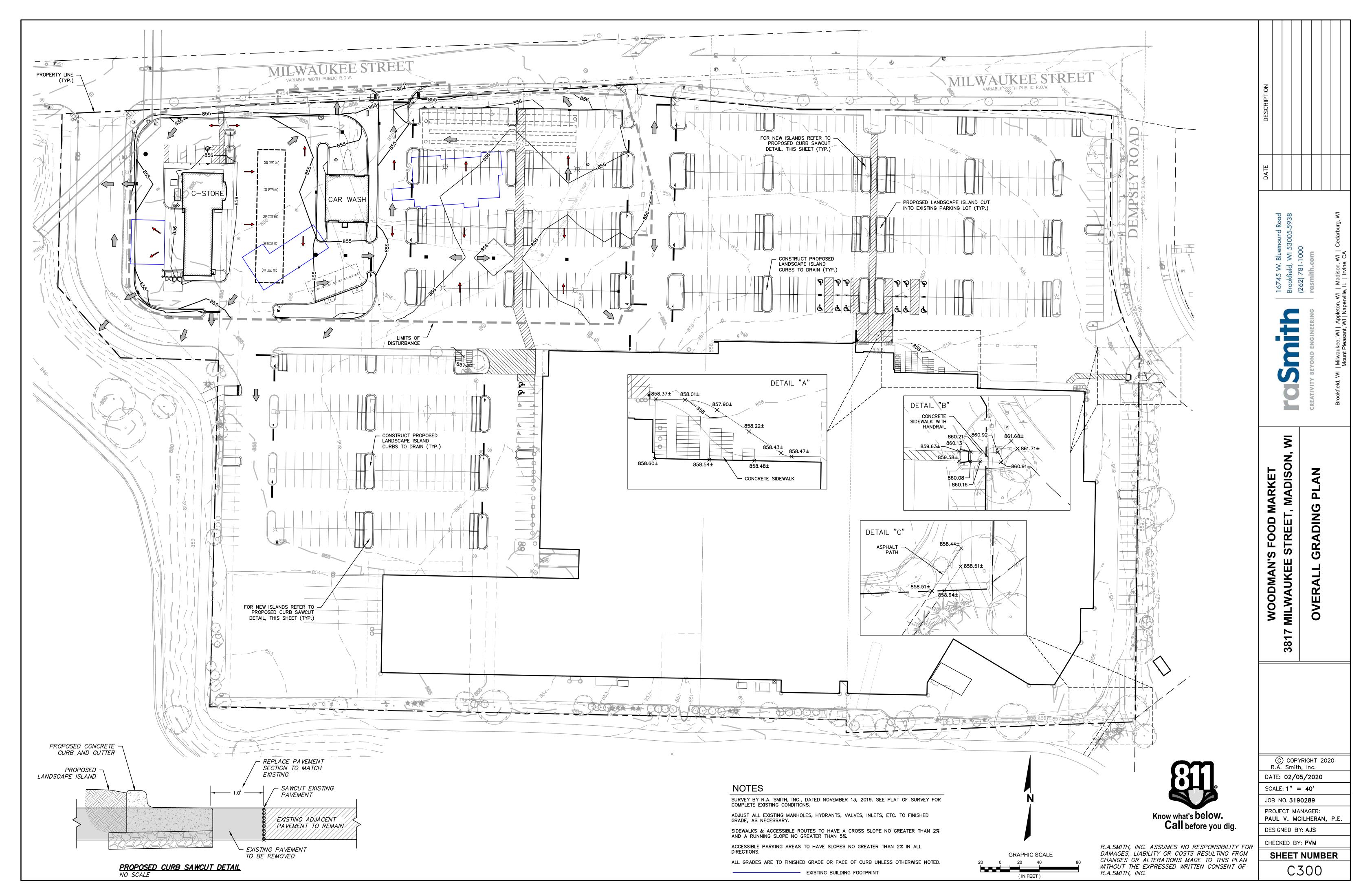
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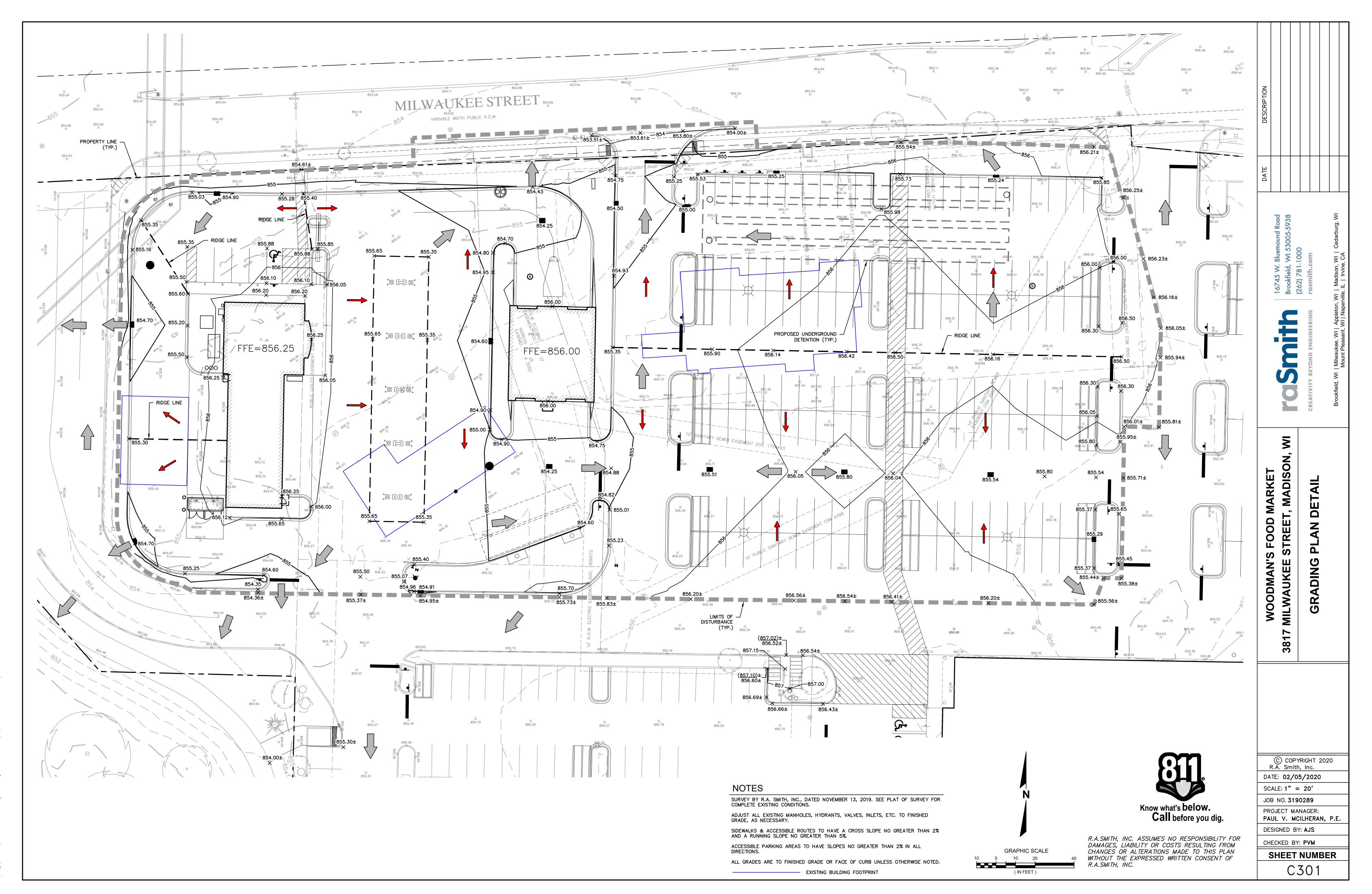
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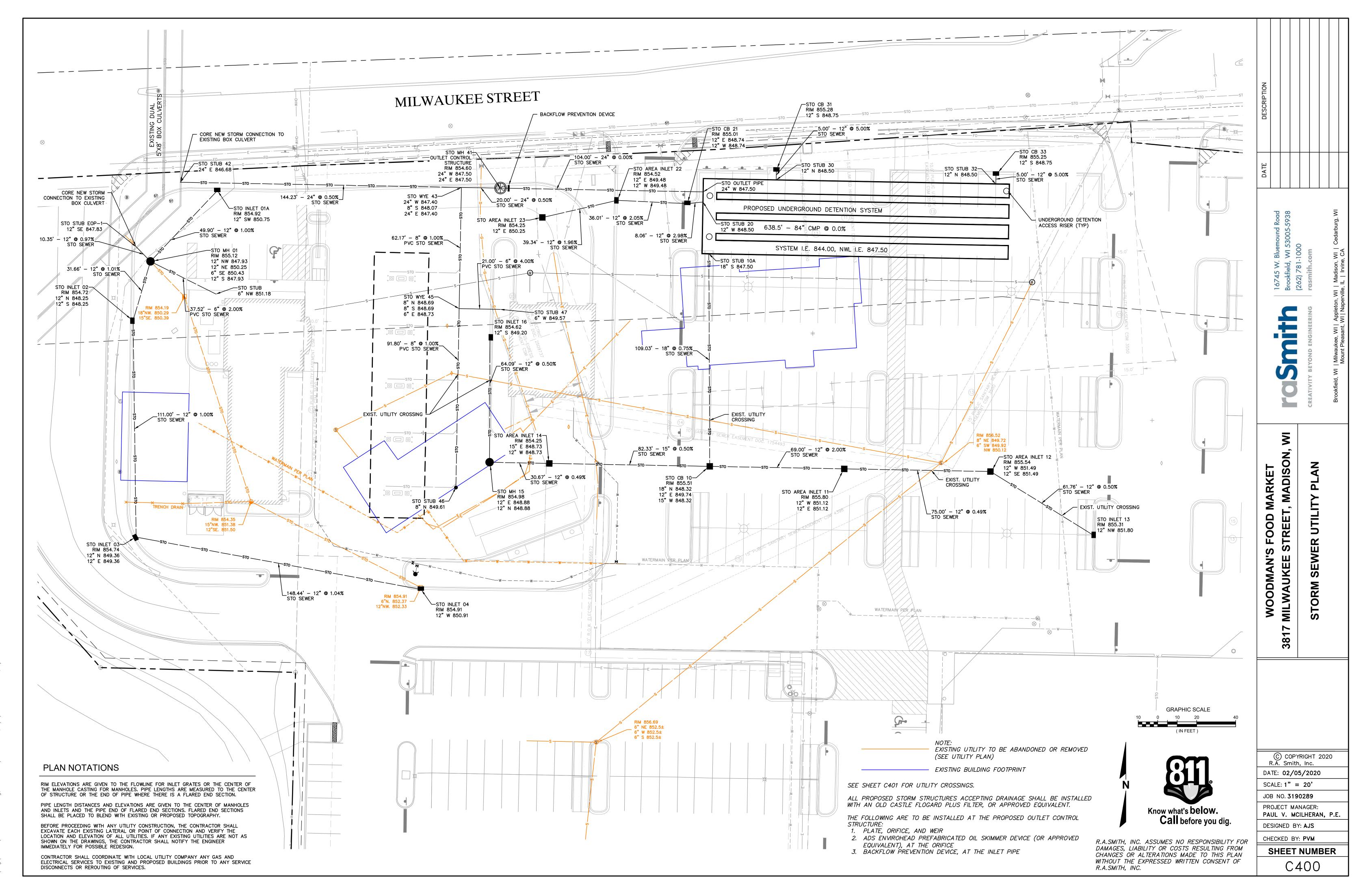
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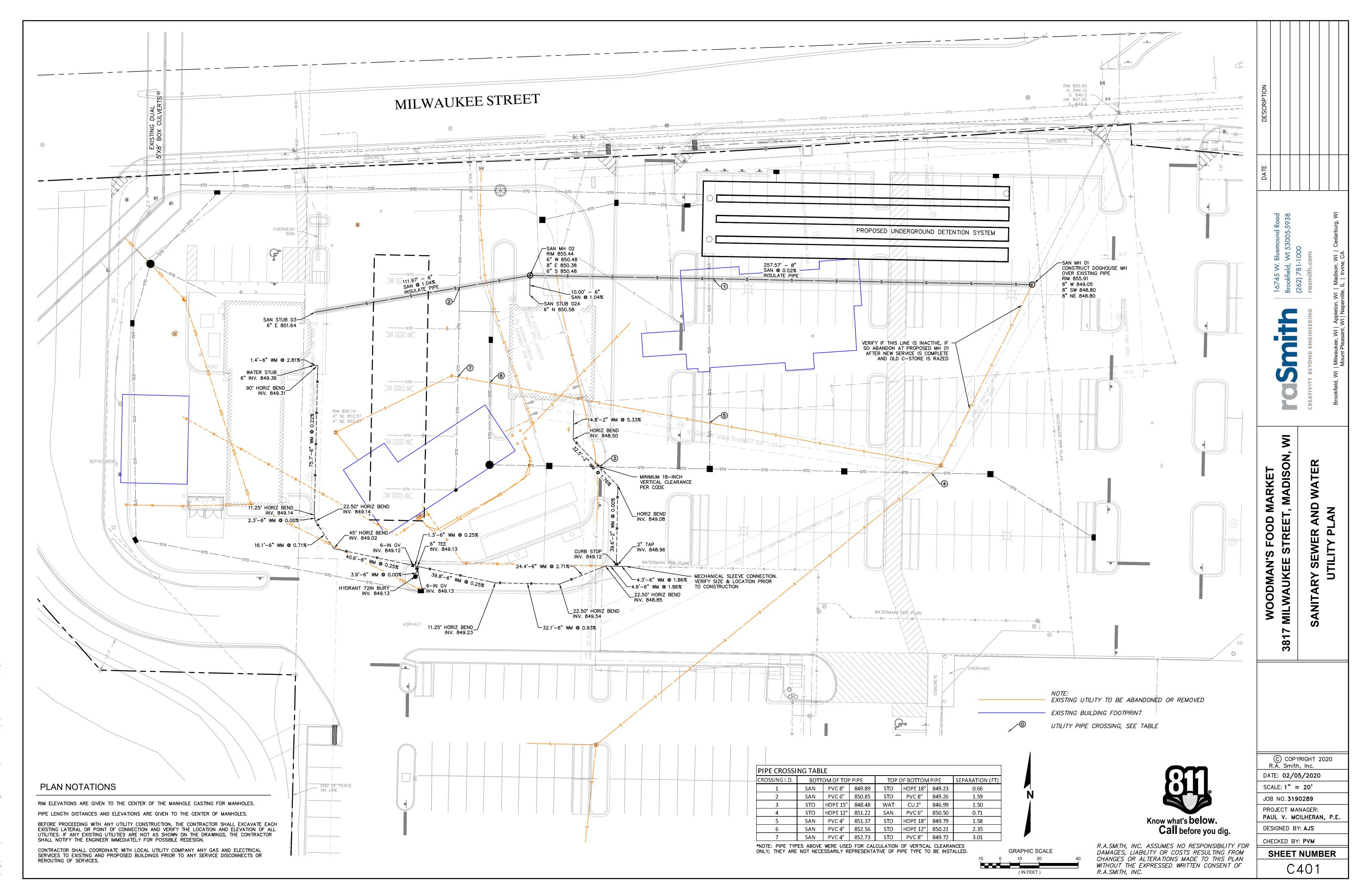
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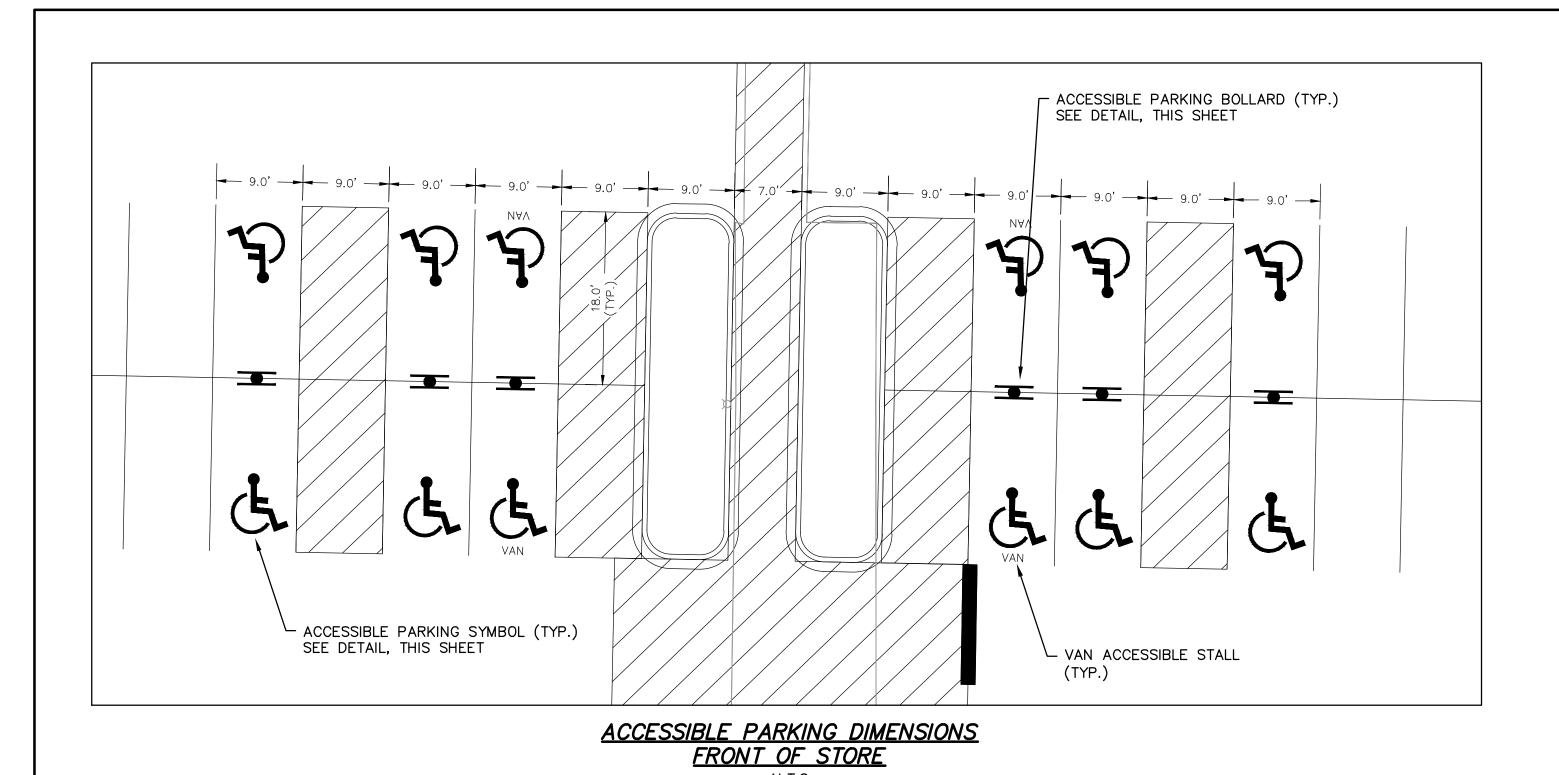
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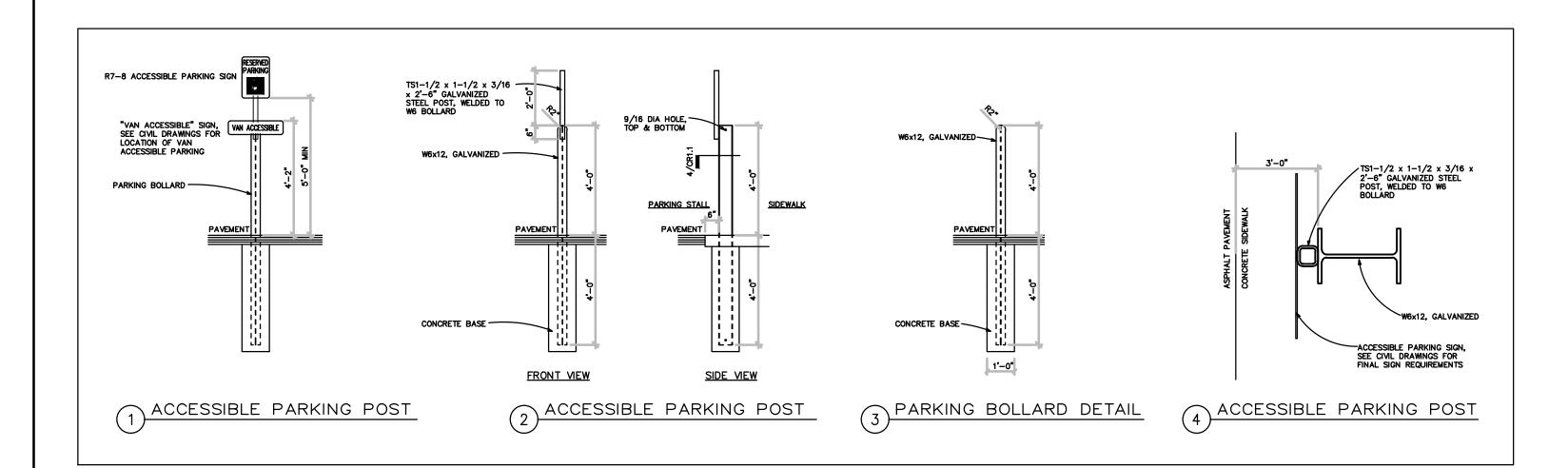
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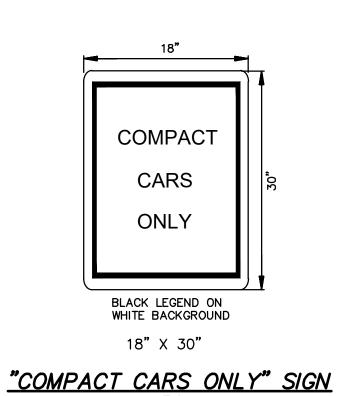


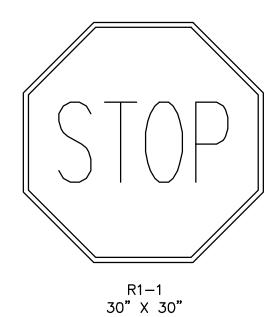
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N. T. S.

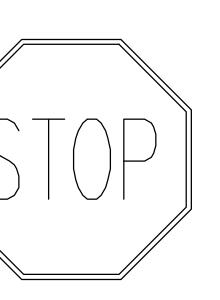


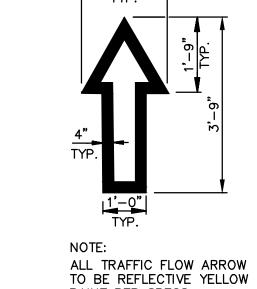


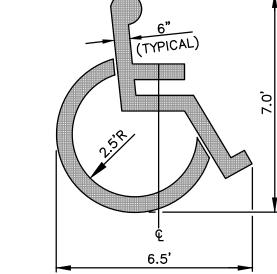


STOP SIGN

N. T. S.



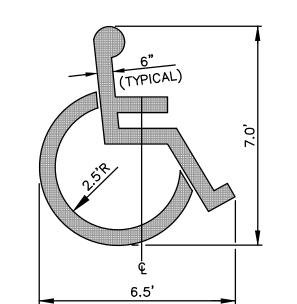


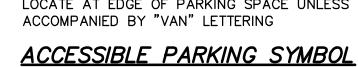


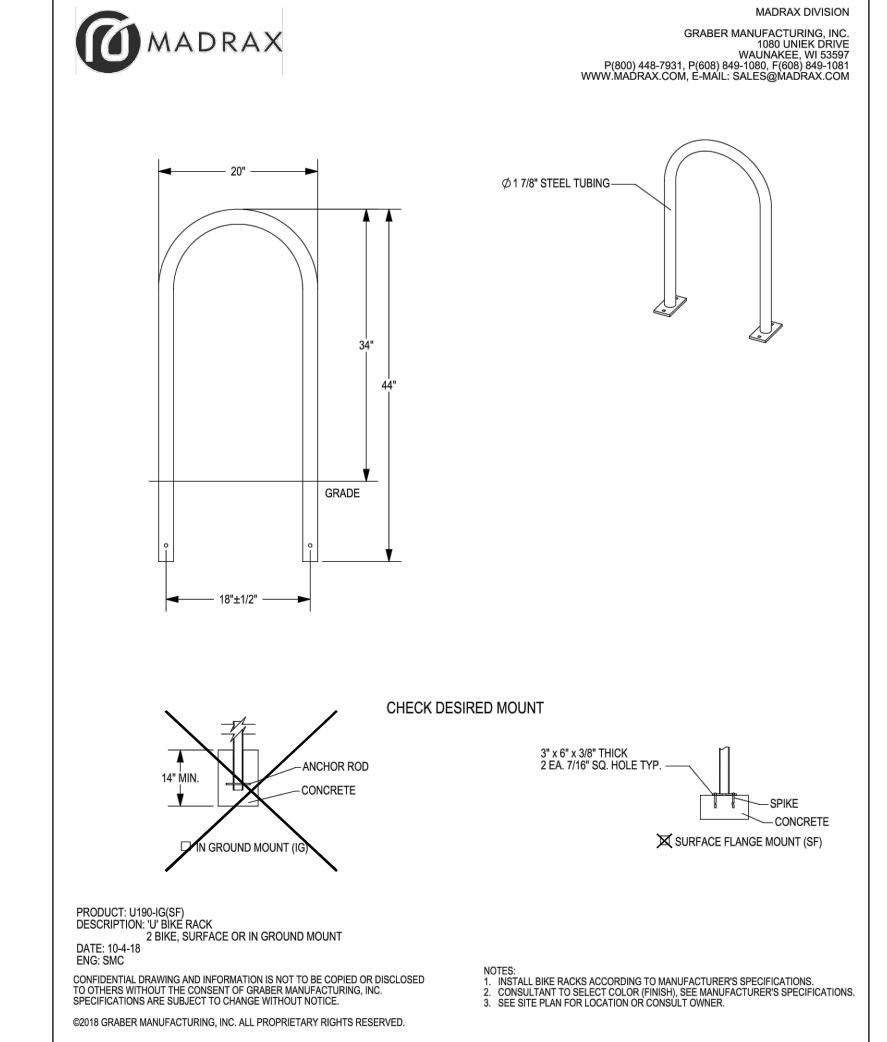
PAINT PER SPECS. PARKING LOT DIRECTIONAL ARROW

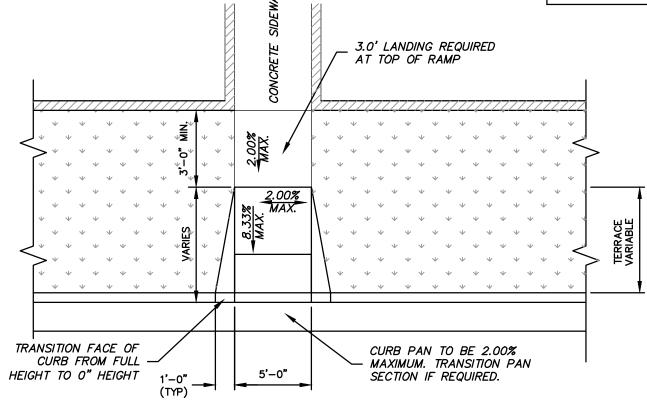
N. T. S.

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

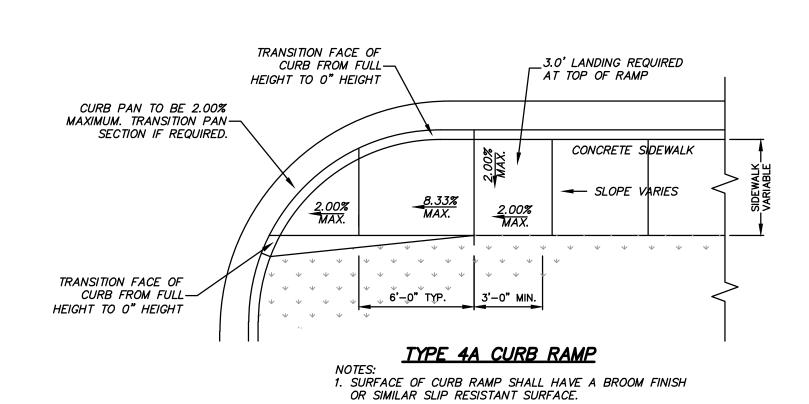








TYPE 3A CURB RAMP 1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.





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SCALE: N.T.S.

JOB NO. **3190289** PROJECT MANAGER: PAUL V. MCILHERAN, P.E.

ON,

MARKET T, MADISC

S FOOD N STREET,

WOODMAN'S I

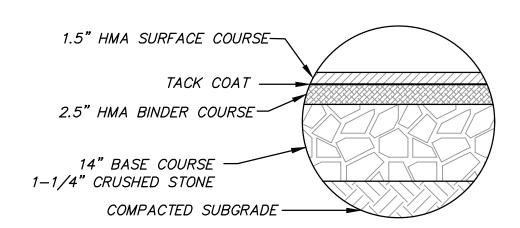
381

CHECKED BY: PVM

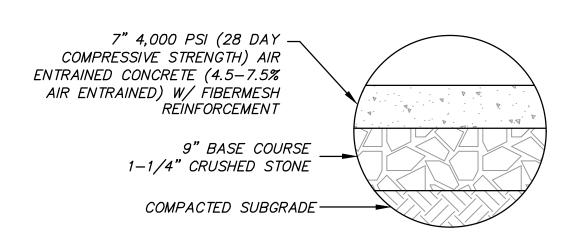
DESIGNED BY: AJS

SHEET NUMBER C500

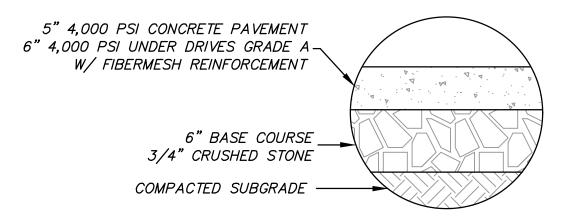
BITUMINOUS PAVEMENT (STANDARD DUTY)



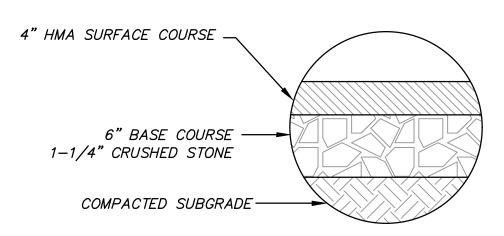
BITUMINOUS PAVEMENT (HEAVY DUTY)



HEAVY DUTY CONCRETE PAVEMENT WITHOUT STEEL REINFORCEMENT



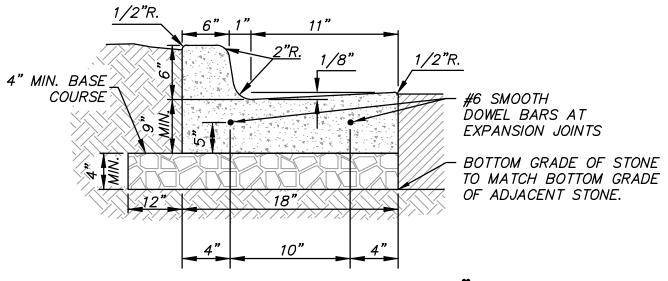
CONCRETE SIDEWALK



ASPHALT PATH

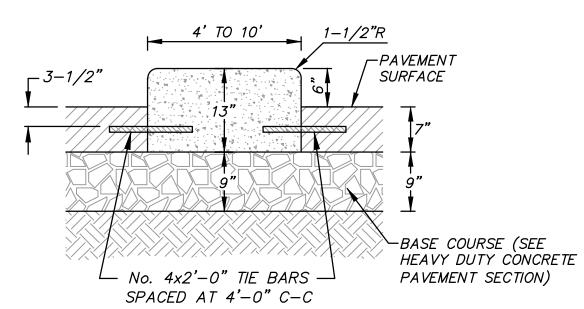
PAVEMENT NOTES:

- 1. ALL HMA SURFACE COURSE TO BE 5 LT 58-28 S.
- 2. ALL HMA BINDER COURSE TO BE 3 LT 58-28 S.
- 3. PAVEMENT SECTIONS ARE SUBJECT TO VERIFICATION BY THE GEOTECHNICAL ENGINEER.
- 4. CONTRACTION JOINTS IN CONCRETE PAVEMENT, MADE TRANSVERSE TO THE DIRECTION OF TRAFFIC FLOW, SHOULD BE MADE AT INTERVALS OF 15 FEET OR LESS, PROPERLY REINFORCED WITH LUBRICATED SMOOTH DOWEL BARS (3/4 INCH DIAMETER, 18 INCHES IN LENGTH) AND PLACED ON 12-INCH CENTERS.



STANDARD CURB SECTION 18"

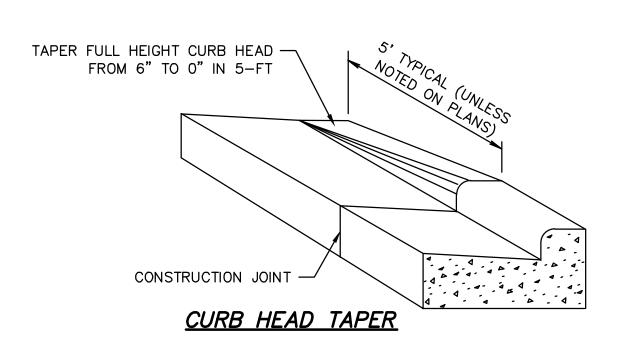
VARIES



FLARE STANDARD CURB SECTION TO -FACE OF DRAINAGE STRUCTURE AS NECESSARY

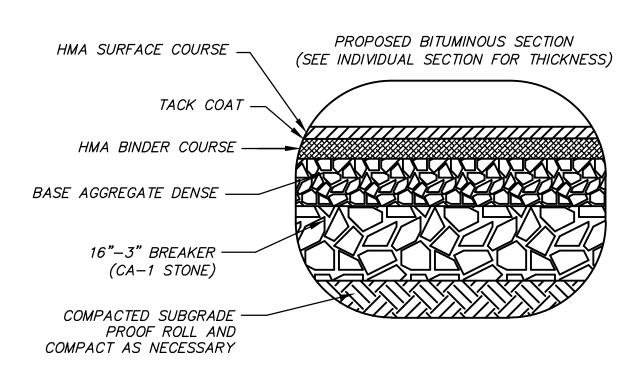
CURB & DRAINAGE STRUCTURE INTERFACE

CONCRETE BARRIER CURB ISLAND (AT CAR WASH) TYPICAL SECTION



REVERSE CURB SECTION 18"

COURSE



DOWEL BARS AT

EXPANSION JOINTS

BOTTOM GRADE OF STONE

TO MATCH BOTTOM GRADE OF ADJACENT STONE.

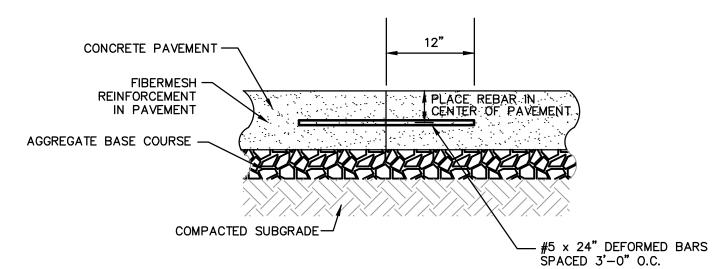
BASE COURSE REINFORCEMENT AT SOFT SPOT (AREAS TO BE DETERMINED IN THE FIELD)

FLARE STANDARD CURB SECTION TO FACE OF DRAINAGE STRUCTURE AS

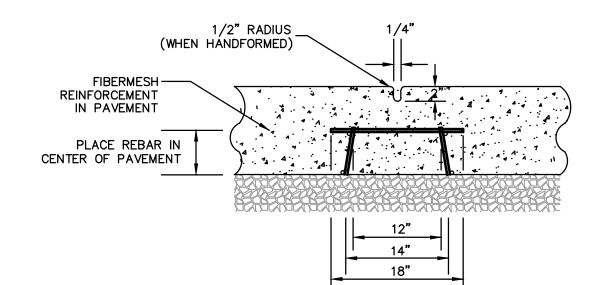
NECESSARY

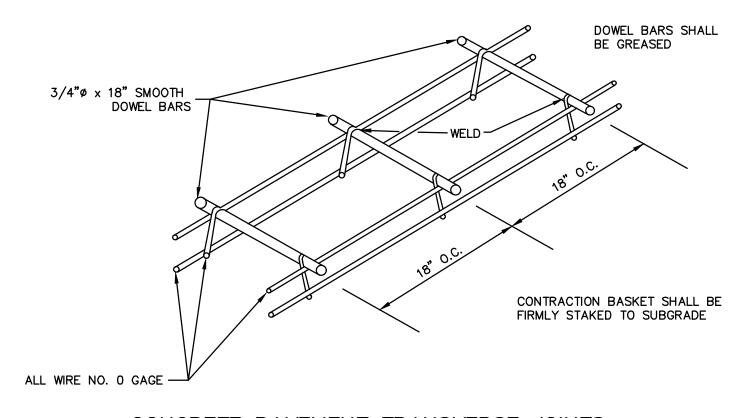
ROUND MANHOLE CASTING IN GUTTER PAN

CURB SECTION 18"



CONCRETE PAVEMENT LONGITUDINAL JOINTS (CONSTRUCTION JOINTS)-PRIVATE WOODMAN'S SITE





CONCRETE PAVEMENT TRANSVERSE JOINTS (IN CONCRETE PAVEMENT SECTION)-PRIVATE WOODMAN'S SITE

CURB SECTION 18"

MARKET F, MADISC FOOD WOODMAN'S I

381

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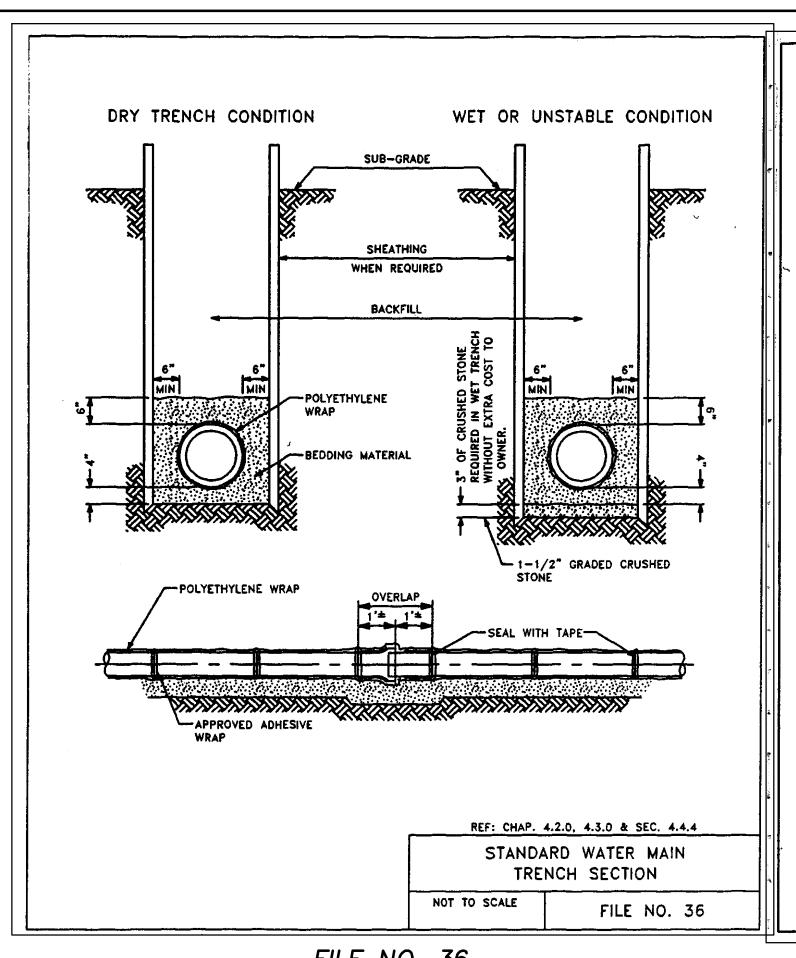
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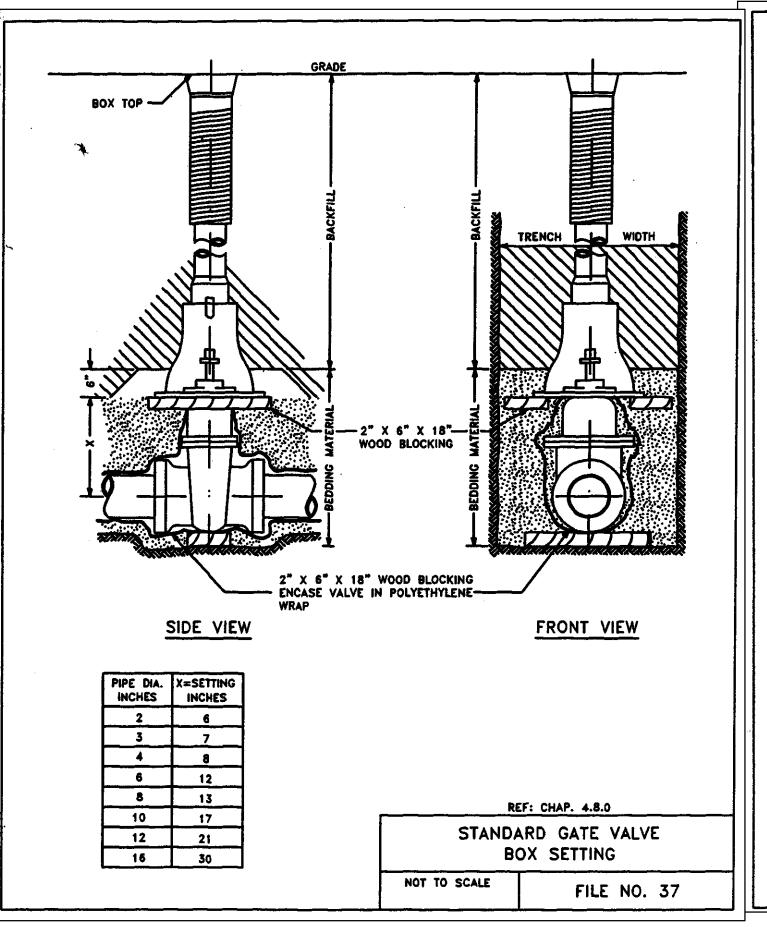
JOB NO. **3190289** PROJECT MANAGER: PAUL V. MCILHERAN, P.E.

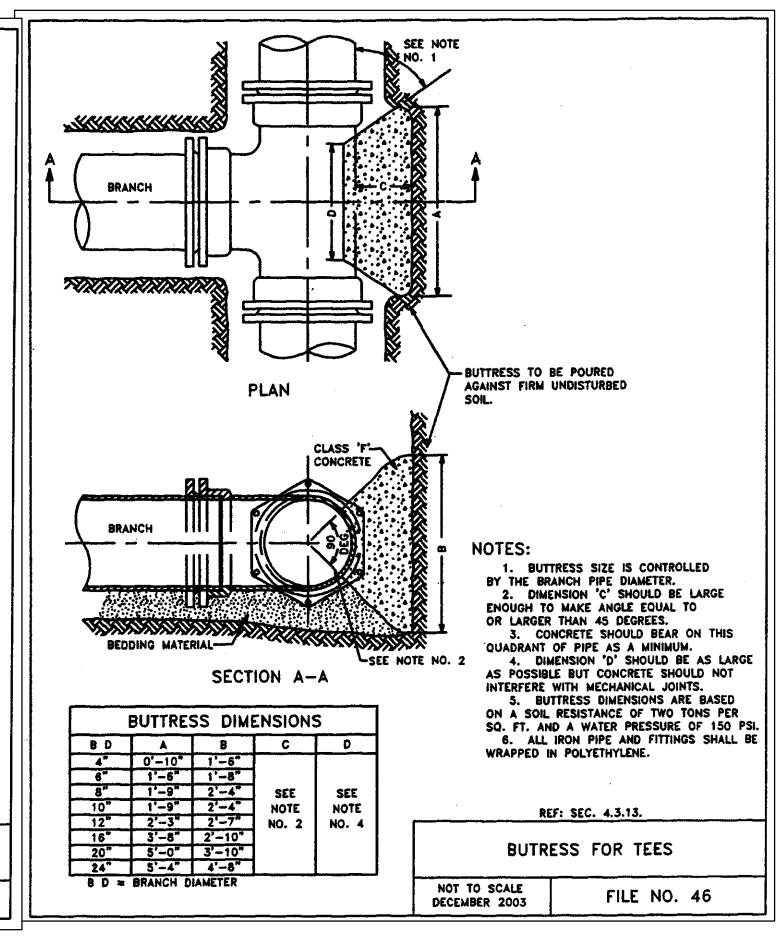
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DESIGNED BY: AJS

SHEET NUMBER C501

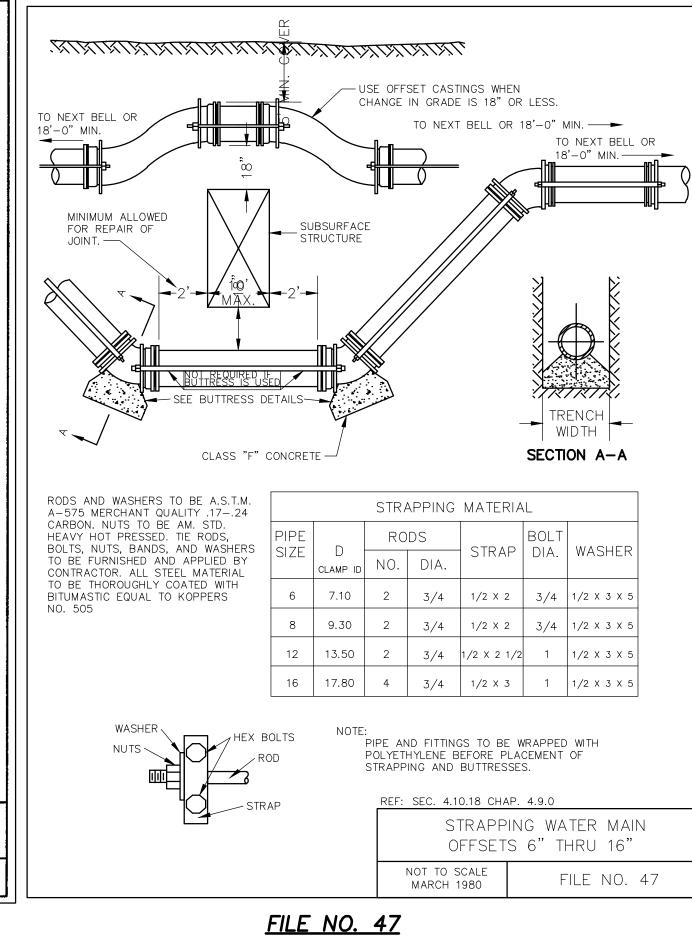






FILE NO. 46

BUTTRESS FOR TEES



STRAPPING WATER MAIN OFFSETS

WOOD BLOCKING SEE FILE 37

3'-0" TYPICAL

OR VARIABLE



MARKET r, MADIS FO OODMAN'S

38

CRUSHED STONE

~ 2" X 12" X 15"

FILE NO. 38

REF: SEC. 4.8.5

- CONCRETE

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DATE: **02/05/2020** SCALE: N.T.S.

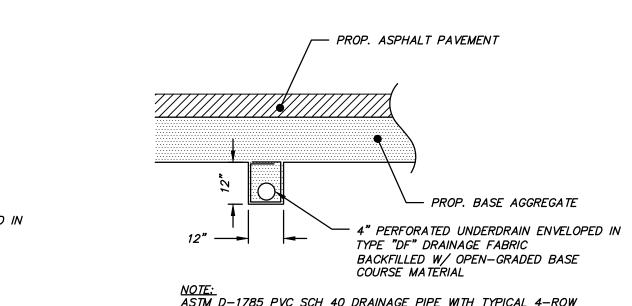
JOB NO. **3190289**

PROJECT MANAGER: PAUL V. MCILHERAN, P.E.

DESIGNED BY: AJS CHECKED BY: PVM

SHEET NUMBER C502

FILE NO. 36
WATER MAIN TRENCH SECTION FILE NO. 37 STANDARD GATE VALVE BOX SETTING



— CONC. CURB & GUTTER - PROP. ASPHALT PAVEMENT PROP. BASE AGGREGATE 4" PERFORATED UNDERDRAIN ENVELOPED IN TYPE "DF" DRAINAGE FABRIC BACKFILLED W/ OPEN-GRADED BASE COURSE MATERIAL

NOTE: ASTM D-1785 PVC SCH 40 DRAINAGE PIPE WITH TYPICAL 4-ROW PATTERN CONFORMING TO ASTM F-758, INSTALL HOLES UP UNDERDRAIN UNDER CURB

REQUIRED ON ALL STORM MANHOLES. MATERIAL CONE-TOP SECTION STANDARD REINFORCING FLAT TOP SLAB MAY BE USED FOR 5'-0" AND 6'-0" DIA. MANHOLES. ADJUST FRAME TO GRADE WITH BRICK OR CONCRETE RINGS OF VARIABLE THICKNESS, MAXIMUM RING HEIGHT=6", MINIMUM RING HEIGHT=2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE FLAT-TOP SLAB NECESSARY RINGS SHALL BE GROOVED TO RECEIVE (OPTIONAL) STREET GRADE CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS. JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING MORTAR OR BUTYL RUBBER GASKETS FOR STORM AND BUTYL RUBBER GASKETS FOR SANITARY MORTAR MANHOLES. AREA OF CIRCUMFERENTIAL STEEL=0.12 SQ. INCH PER LINEAL FOOT. SPACE BETWEEN PIPE AND PRECAST MANHOLE WALL TO BE FILLED WITH BRICK AND MORTARED IN PLACE EXCEPT THAT AN APPROVED FLEXIBLE WATERTIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL FLEX-IBLE SANITARY SEWER CONNECTIONS. THE ANNULAR SPACE BETWEEN THE PIPE AND MANHOLE WALL SHALL BE FILLED WITH FLEXIBLE BUTYL RUBBER GASKET SEE TABLE MATERIAL BELOW SURFACE OF BENCH OF SPRINGLINE. NO. 1 3" STONE CUSHION UNDER BASE IS REQUIRED ONLY ON WET SUB-GRADE. PROVIDE A MINIMUM 1/2" DIA. HOLE FOR LEAKAGE TEST, NOT GREATER THAN 2' ABOVE LOWEST PIPE. BENCH SLOPE-STORM MANHOLE 1" PER FOOT SANITARY MANHOLE 2" PER FOOT

TYPE 1 FRAME/CHIMNEY JOINT REQUIRED ON ALL SANITARY MANHOLES UNLESS

STREET GRADE

POURED BASE

3'-6"

MANHOLE DIA. WALL THICKNESS

4 1/2"

TABLE NO. 1

PIPE DIA.

8" THRU 27"

MANHOLE & INLET STRUCTURE DETAIL PER FILE NO. 12, STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN

CLASS "D" CONCRETE

NOT TO SCALE

JAN. 2, 1992

REF: CHAP. 3.5.0 PRECAST MANHOLE

FILE NO. 12

NOT TO SCALE

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BUTTRESS

STANDARD HYDRANT SETTING FILE NO. 38

VARIABLE

- ENCASE ENTIRE NOTE:
ASTM D-1785 PVC SCH 40 DRAINAGE PIPE WITH TYPICAL 4-ROW BENCH & VALVE IN PATTERN CONFORMING TO ASTM F-758, INSTALL HOLES UP UNDERDRAIN UNDER PAVEMENT BUTTRESS END POLY WRAP --BEDDING MATERIAL STANDARD HYDRANT SETTING NOT TO SCALE

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:
- a. WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST
- c. STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)
- WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 382-387 e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND
- STRUCTURE CONSTRUCTION FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD) UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS
- UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES MUNICIPALITY DEVELOPMENT STANDARDS COUNTY DEVELOPMENT STANDARDS
- 2. THE OWNER, ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS. 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF
- PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION 5. SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT
- OR METHOD OF CONSTRUCTION IS DIFFERENT FROM THAT SPECIFIED OR IF REQUIRED BY THE MUNICIPAL ENGINEER.
- a. ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART. SIZE. ETC. HIGHLIGHTED IN SOME FASHION, EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS & SIZE TO BE USED ON PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.
- b. CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DESIGN (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED) TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN. IN PROJECT SCHEDULING CONTRACTOR SHALL ACCOUNT FOR 5 WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE FROM THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT
- EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM USE OF THE PROPOSED SUBSTITUTE. 6. THE CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR THE QUALITY OF WORK. IF CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN
- APPROVAL OF THE OWNER OR HIS REPRESENTATIVE. a. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE OWNER OR HIS REPRESENTATIVE SHALL DECIDE ALL QUESTIONS WHICH SHALL ARISE AS TO THE QUALITY AND ACCEPTABILITY OF MATERIALS FURNISHED, WORK PERFORMED, AND WORKMANSHIP. . INTERPRETATION OF THE PLANS AND SPECIFICATIONS HE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND MATERIALS
- b. FAILURE OR NEGLIGENCE ON THE PART OF THE OWNER OR HIS REPRESENTATIVE TO CONDEMN OR REJECT SUBSTANDARD OR INFERIOR WORK OR MATERIALS SHALL NOT BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR MATERIALS. IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER. NEITHER SHALL IT BE CONSTRUED AS BARRING THE OWNER, AT ANY SUBSEQUENT TIME, FROM THE RECOVERY OF DAMAGES OR OF SUCH A SUM OF MONEY AS MAY BE NEEDED TO BUILD ANEW ALL PORTIONS OF THE SUBSTANDARD OR INFERIOR WORK OR REPLACEMENT OF IMPROPER MATERIALS WHEREVER FOUND.
- c. INSPECTORS EMPLOYED BY THE OWNER SHALL BE AUTHORIZED TO INSPECT ALL WORK DONE AND ALL MATERIAL FURNISHED. SUCH INSPECTION MAY EXTEND TO ALL OR ANY PART OF THE WORK AND TO THE PREPARATION, FABRICATION OR MANUFACTURE OF THE MATERIALS TO BE USED. THE INSPECTOR IS NOT AUTHORIZED TO REVOKE, ALTER OR WAIVE ANY REQUIREMENTS OF THE SPECIFICATIONS, NOR IS HE AUTHORIZED TO APPROVE OR ACCEPT ANY PORTION OF THE COMPLETED PROJECT. HE SHALL CALL THE ATTENTION OF THE CONTRACTOR TO ANY FAILURE OF THE WORK OR MATERIALS TO CONFORM TO THE SPECIFICATIONS AND CONTRACT, AND SHALL HAVE THE AUTHORITY TO REJECT MATERIALS. ANY DISPUTE BETWEEN THE INSPECTOR AND CONTRACTOR SHALL BE REFERRED TO THE OWNER OR HIS REPRESENTATIVE. ANY ADVICE WHICH THE INSPECTOR MAY GIVE THE CONTRACTOR SHALL IN NO WAY BE CONSTRUED AS BINDING THE ENGINEER IN ANY WAY OR RELEASING THE CONTRACTOR FROM FULFILLING ANY OF THE TERMS OF THE CONTRACT.
- d. ALL MATERIALS AND EACH PART OF DETAIL OF THE WORK SHALL BE SUBJECT AT ALL TIMES TO INSPECTION BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE OR THE AUTHORITY HAVING JURISDICTION AND THE CONTRACTOR WILL BE HELD STRICTLY TO THE TRUE INTENT OF THE SPECIFICATIONS IN REGARD TO QUALITY OF MATERIALS. WORKMANSHIP, AND THE DILIGENT EXECUTION OF THE CONTRACT. SUCH INSPECTION MAY INCLUDE MILL, PLANT OR SHOP INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO SUCH INSPECTION. THE OWNER OR HIS REPRESENTATIVES SHALL BE ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND DETAILED INSPECTION.
- ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE. UNLESS OTHERWISE SPECIFIED THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR THE STANDARDS OF WORKMANSHIP.
- f. ALL EXPOSED ITEMS OF WORK SHALL PRESENT A NEAT WORKMANLIKE APPEARANCE AND SHALL BE AS TRUE TO SHAPE AND ALIGNMENT AS POSSIBLE TO OBTAIN WITH MEASURING OR LEVELING INSTRUMENTS GENERALLY USED IN THE RESPECTIVE TYPES OF WORK. ITEMS OF WORK SHALL BE SOUND AND FULLY PROTECTED AGAINST DAMAGE AND PREMATURE DETERIORATION. IT IS SPECIFICALLY UNDERSTOOD THAT IN ALL QUESTIONS OF QUALITY AND ACCEPTABILITY OF WORKMANSHIP, THE CONTRACTOR AGREES TO ABIDE BY THE DECISION OF THE OWNER OR HIS REPRESENTATIVE.
- ALL MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE, AND ALL SUCH MATERIALS, WHETHER IN-PLACE OR NOT, SHALL BE REJECTED AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE OWNER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE OWNER SHALL HAVE THE AUTHORITY TO REMOVE AND REPLACE SUCH DEFECTIVE MATERIAL AND TO DEDUCT THE COST OF REMOVAL AND
- REPLACEMENT FROM ANY MONIES DUE OR WHICH MAY BECOME DUE THE CONTRACTOR. h. THE CONTRACTOR SHALL KEEP A LEGIBLE COPY OF THE PLANS, SPECIFICATIONS, AND ALL PERMITS AT THE SITE OF THE WORK AT ALL TIMES.
- AT THE COMPLETION OF THE WORK AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE THE OWNER OR HIS REPRESENTATIVE WITH A MARKED-UP SET OF DRAWINGS SHOWING ALL CHANGES OR VARIATIONS FROM THE ORIGINAL DRAWINGS. THESE CHANGES SHALL BE MADE ON A SET OF FIELD DRAWINGS AS THE WORK TAKES PLACE, AND NOT FROM MEMORY WHEN THE WORK IS DONE. THIS SET OF DRAWINGS SHOULD BE KEPT CLEAN IN A LOCATION AT THE SITE WHERE THE OWNER OR HIS REPRESENTATIVE MAY EXAMINE THEM. i. THE MARKED-UP DRAWINGS SHALL BE ACCURATE. ARBITRARY MARKINGS ARE OF NO VALUE.
- CAREFUL MEASUREMENTS SHALL BE MADE TO LOCATE UNDERGROUND EXTERIOR AND UNDERGROUND INTERIOR SEWERS, GAS LINES, WATER LINES, ELECTRICAL CONDUIT AND MISCELLANEOUS PIPING. 7. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRAFFIC CONTROL PLANS AND PERMITTING FOR ALL WORK TO BE COMPLETED ONSITE OR IN THE PUBLIC RIGHT-OF WAY.
- 01 70 00 EXECUTION & CLOSEOUT REQUIREMENTS
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF
- CONSTRUCTION AND SHALL COMPARE WITH THIS PLAN. 2. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION
- 5. THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK. SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE
- CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. 8. ANY ADJACENT PROPERTIES OR ROAD RIGHT—OF—WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE
- 9. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE. 10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN
- ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE. 11. REQUESTS FOR CLARIFICATION WILL BE INTERPRETED BY THE OWNER/ENGINEER PRIOR TO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL WRITTEN RESPONSES WILL BE ISSUED. OFFICIAL WRITTEN RESPONSES SHALL BE
- BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE. 12. SHOULD ANY DISCREPANCIES BE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY OWNER/ENGINEER IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL
- NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS ISSUED. 13. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP. 14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC.,

FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS

DIVISION 31 - EARTHWORK

- 31 10 00 SITE CLEARING & DEMOLITION
- 1. WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS. WALLS. SLABS. FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO CONSIST OF CLEARING AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOTS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATTER INTERFERING WITH NEW CONSTRUCTION.
- ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. 3. CALL 811 TO NOTIFY UTILITY PROVIDERS AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES. 4. INSTALL PERIMETER FENCING AS INDICATED PRIOR TO COMMENCING ANY CONSTRUCTION RELATED ACTIVITY.
- 5. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER.
- 7. REMOVE EXISTING ABOVE—GRADE AND BELOW—GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- 8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH. 9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.
- 10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS. 12. DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER.
- 13. VOIDS LEFT BY REMOVALS SHALL BE LEVELED TO PREVENT PONDING OF WATER. 14. REMOVE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE. RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.
- 31 20 00 EARTH MOVING
- 1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND
- ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD
- CONDITIONS, AND THESE REQUIREMENTS. THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE WORK.
- 5. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
- 6. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE WITHIN GREENSPACE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL
- 7. AREAS SHALL BE GRADED TO WITHIN 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSISTENT IN ONE DIRECTION. 8. DISKING, HARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING. 9. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER. PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT

AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE

- PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. DO NOT PROOF ROLL WET OR SATURATED SUBGRADE. 10. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND
- FLOODING PROJECT SITE AND/OR SURROUNDING AREAS. 11. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- 12. TOPSOIL REPLACEMENT DEPTH SHALL BE AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF FOUR INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN.

31 25 00 - EROSION & SEDIMENTATION CONTROLS

- 1. WORK SHALL CONSIST OF INSTALLATION OF TEMPORARY AND PERMANENT PRACTICES FOR SEDIMENTATION CONTROL, EROSION CONTROL, SLOPE PROTECTION, AND REMOVAL OF PRACTICES UPON FINAL SITE STABILIZATION. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. INSTALLATION AND MAINTENANCE OF PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WIDNR TECHNICAL
- STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE. 4. ALL PRACTICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY LAND DISTURBING CONSTRUCTION RELATED ACTIVITY. EARTHWORK ASSOCIATED WITH INSTALLATION OF PRACTICES MAY OCCUR CONCURRENTLY.
- 5. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS ALL PRACTICES SHALL BE ROUTINELY INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. THE CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND CONDUCT REPAIRS
- ALL DISTURBED AREAS SHALL DRAIN TO A CONTROL PRACTICE AT ALL TIMES DURING CONSTRUCTION UNTIL FINA STABILIZATION IS ACHIEVED. DEPENDING UPON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL ADDITIONAL CONTROL PRACTICES IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL PRACTICES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
- 8. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE AND MULCH. THE TEMPORARY SEED MIXTURE SHALL BE IN ACCORDANCE WITH SECTION 630 OF WISDOT STANDARD SPECIFICATIONS. WINTER WHEAT OR RYE SHALL BE USED FOR TEMPORARY SEED AFTER SEPTEMBER 1. 9. DISTURBED AREAS THAT CAN NOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM).
- 10. ALL ACTIVITIES ON THE PROJECT SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME 11. DUST GENERATED BY CONSTRUCTION RELATED ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING. CALCIUM
- CHLORIDE SURFACE TREATMENT. CONSTRUCTION SCHEDULING. OR OTHER APPROPRIATE MEASURES. 12. THE CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED PRIOR TO DISCHARGE FROM THE
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT SITE AND PUBLIC ROADS DURING CONSTRUCTION. PUBLIC ROADS SHALL BE KEPT FREE OF SEDIMENT TRACKED FROM AREAS UNDER CONSTRUCTION BY DAILY SWEEPING OR OTHER APPROPRIATE MEASURES. 14. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
- 15. ALL SEEDED AREAS SHALL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.

DIVISION 32 - EXTERIOR IMPROVEMENTS

32 12 00 - ASPHALT PAVING

- 1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE. INSTALLATION OF HOT-MIX ASPHALT. PAVEMENT MARKING. SIGNAGE. AND CLEANUP. 2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS. 6. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WE'I OR EXCESSIVELY DAMP: TEMPERATURE IS BELOW 30 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE
- INSTALLATION; TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION. 7. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4—INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE (NO MINUS).
- 8. APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL/SY.
- 9. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED. 10. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED
- IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. 12. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

11. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS

32 13 00 - CONCRETE PAVING

- 1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE. INSTALLATION OF CONCRETE, AND CLEANUP. 2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS. . CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS.
- 6. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / 7. AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM
- 8. LIQUID CURING COMPOUND SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS AND AASHTO M 148. 9. CURBING SHALL BE IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
- 10. SIDEWALK AND PATIO SHALL BE IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS. 11. CONCRETE FORMS SHALL REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE INSTALLATION AND SHALL BE CLEANED AFTER EACH USE. CONCRETE FORMS SHALL BE COATED WITH RELEASE AGENT TO ALLOW SEPARATION WITHOUT DAMAGE TO CONCRETE.
- 12. CONSTRUCTION AND CONTRACTION JOINTS SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS. JOINT PATTERN SHALL FOLLOW ARCHITECTURAL PLANS IF AVAILABLE. 13. ISOLATION JOINTS SHALL CONSIST OF PREFORMED JOINT FILLER STRIPS ABUTTING CURBING, INLETS, CATCH BASINS, MANHOLES, STRUCTURES, AND OTHER FIXED OBJECTS.

DIVISION 32 - EXTERIOR IMPROVEMENTS

- 14. EDGES OF CONCRETE PAVEMENT, CURBING, SIDEWALK, PATIOS, AND JOINTS SHALL BE TOOLED IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING AFTER APPLYING SURFACE FINISHES AND ELIMINATE TOOL MARKS ON SURFACES.
- 15. FINISH, CURE, AND PROTECT CURBING IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS. 16. FINISH (LIGHT BROOM), CURE, AND PROTECT SIDEWALK AND PATIOS IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS.
- 17. FINISH (ARTIFICIAL TURF DRAG), CURE, AND PROTECT VEHICULAR PAVEMENT AND PADS IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS.
- 18. MAINTAIN CONCRETE FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PRIOR TO SUBSTANTIAL COMPLETION INSPECTION 19. MAXIMUM DIFFERENCE BETWEEN CONCRETE SIDEWALKS AND ADJACENT PAVEMENT SURFACES SHALL NOT EXCEED
- 1/4-INCH VERTICAL 20. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

22. ALL HANDICAP ACCESSIBLE DOORWAYS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF 5 FEET BY 5 FEET

- 21. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK
- WITH A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. 23. REMOVE AND REPLACE CONCRETE THAT IS BROKEN, DAMAGED, DEFECTIVE, OR DOES NOT COMPLY WITH THE REQUIREMENTS LISTED ABOVE.

32 17 00 - PAVEMENT MARKING & SIGNAGE

- 1. WORK SHALL CONSIST OF INSTALLATION OF PARKING LOT STRIPING, DIRECTION ARROWS, HANDICAP ACCESSIBLE
- SYMBOLS AND SITE SIGNAGE. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE PAVEMENT MARKING PAINT SHALL BE IN ACCORDANCE WITH SECTION 646 OF WISDOT STANDARD SPECIFICATIONS AND WISDOT APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS NOTED OTHERWISE ON THIS PLAN. MARKINGS SEPARATING OPPOSING TRAFFIC SHALL BE YELLOW.
- 4. ALL PARKING LOT STRIPING SHALL BE 4—INCH WIDTH UNLESS NOTED OTHERWISE ON THIS PLAN. 5. BARRICADE WORK AREA DURING INSTALLATION AND UNTIL PAVEMENT MARKING PAINT IS DRIED. PROTECT ADJACENT AREAS FROM RECEIVING PAINT
- 6. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS TO PRODUCE MARKINGS AS INDICATED WITH UNIFORM, STRAIGHT EDGES. TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. APPLY PAINT TO CLEAN AND DRY SURFACE. FREE FROM FROST. TO ENSURE PROPER BONDING.
- 8. NOTIFY OWNER OF ANY UNSOUND CONDITIONS PRIOR TO COMMENCING WORK. APPLYING PAVEMENT MARKING PAINT CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.

32 32 00 - RETAINING WALLS

- WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT, SUPERVISION, AND DIRECTION TO CONSTRUCT RETAINING WALL SYSTEMS IN REASONABLY CLOSE CONFORMITY TO THE LINES, GRADES, AND DIMENSIONS SHOWN ON THIS PLAN. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR GENERAL LOCATION AND MATERIAL REFERENCE ONLY.
- ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. THE CONTRACTOR SHALL PROCURE DETAILED DESIGN CALCULATIONS AND DRAWNGS, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER EXPERIENCED WITH RETAINING WALL DESIGN AND LICENSED IN THE STATE IN WHICH THE RETAINING WALLS ARE TO BE CONSTRUCTED.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SURROUNDING STRUCTURES AND UTILITIES ARE PROTECTED FROM THE EFFECTS OF EXCAVATION AND PROVIDING ANY NECESSARY EXCAVATION SUPPORT.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ADJACENT TO THE RETAINING WALLS DOES NOT DISTURB OR PLACE TEMPORARY LOADS ON THE RETAINING WALLS THAT EXCEED DESIGN LOADS.

DIVISION 33 - UTILITIES

33 10 00 - WATER DISTRIBUTION

- WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES. 2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. 3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS. 4. ALL PRIVATE WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND
- MUNICIPALITY DEVELOPMENT STANDARDS 5. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS IN ACCORDANCE WITH SECTION 8.20.0 OF SSSWCW.
- 6. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 150 CONFORMING TO AWWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.18.0 OF SSSWCW. 7. POLYETHYLENE TUBING SHALL BE SDR 9 IN ACCORDANCE WITH SECTION 8.24.0 OF SSSWCW AND CONFORM TO AWWA
- 8. COPPER TUBING SHALL BE TYPE "K" IN ACCORDANCE WITH SECTION 8.24.0 OF SSSWCW AND CONFORM TO ASTM B88. 9. BALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.30.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM 10. GATE VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.27.0 OF SSSWCW AND CONFORM TO AWWA C500. 11. BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.28.0 OF SSSWCW AND CONFORM TO AWWA C504.
- 12. VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.29.0 OF SSSWCW AND CONFORM TO ASTM A48. VALV BOXES SHALL BE SIZE DD. SCREW TYPE, 3 PIECE ASSEMBLY, WITH COVERS MARKED "WATER". ALL VALVE BOXES SHALL BE SET TO PROPOSED GRADE TRULY VERTICAL AND SUPPORTED BY USE OF ADAPTOR 13. HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION 8.26.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER
- NOZZLE SHALL BE PERPENDICULAR TO AND ORIENTED TOWARDS THE PAVEMENT. HYDRANTS SHALL BE ATTACHED BY MEANS OF TEE AND HAVE A GROUND LINE TO CENTER DISTANCE OF 18 TO 21 INCHES. 14. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.22.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.
- 15. MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION—RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.
- 16. POLYETHYLENE WRAP SHALL BE IN ACCORDANCE WITH SECTION 8.21.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS. 17. THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH SECTION 4.3.13 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES.
- 18. TRENCH SECTION SHALL BE IN ACCORDANCE WITH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES. 19. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES. 20. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH
- SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS. AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS. UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. 21. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL
- MATERIAL IS NOT ALLOWED. 22. TRACER WIRE SHALL BE BLUE AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC WATER MAIN PIPE. PRIVATE WATER MAIN PIPE. AND BUILDING WATER SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET. 23. PROPOSED WATER SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR
- BUILDING WALL. 24. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL AND INCLUDED IN THE COST OF WORK. 25. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS.
- 26. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.15.0 OF SSSWCW. DISINFECTION SHALL BE IN ACCORDANCE WITH SECTION 4.16.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR.

33 30 00 - SANITARY SEWERAGE

UNLESS NOTED OTHERWISE.

MUNICIPALITY DEVELOPMENT STANDARDS.

- 1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPLIRTENANCES.
- 2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. 3. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT 4. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND
- 5. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET. AND SHALL BE SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.10.6 AND 8.41.4 OF SSSWCW. 6. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND
- CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. 7. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES. 8. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER
- OVER PIPE SHALL BE 12 INCHES. 9. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS. UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH
- CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. 10. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. 11. ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR ALL BUILDING SANITARY SERVICE PIPES,
- GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE. 13. TRACER WIRE SHALL BE GREEN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300

12. CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO

DIVISION 33 - UTILITIES

- 13. TRACER WIRE SHALL BE GREEN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE—CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST
- EVERY 300 FEET. 14. PROPOSED SANITARY SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE
- 15. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FINISHED SURFACE UPON COMPLETION OF PAVING OPFRATIONS. 16. AFTER INSTALLATION OF SANITARY SEWERAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. CONDUCT TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SSSWCW. REPAIR ANY DAMAGE AND REPLACE ANY PIPE NOT PASSING TESTING.

33 40 00 - STORMWATER DRAINAGE

NOTED OTHERWISE.

- WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE STORMWATER DRAINAGE SYSTEM AND ALL APPURTENANCES.
- ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. ALL PUBLIC STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
- 4. ALL PRIVATE STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS. 5. REINFORCED CONCRETE PIPE (RCP) AND END SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 8.6.0 OF SSSWCW AND CONFORM TO ASTM C76 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM C443. UNLESS
- NOTED OTHERWISE, 12-INCH DIAMETER PIPE SHALL BE CLASS V, 15-INCH DIAMETER PIPE SHALL BE CLASS IV, AND 18-INCH DIAMETER PIPE AND LARGER SHALL BE CLASS III. 6. CORRUGATED METAL PIPE (CMP) AND END SECTIONS SHALL BE 16 GAUGE CONFORMING TO ASTM A760.
- 7. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS SHALL BE ADS N12 AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFÉSSIONAL SERVICES PLUMBING PRODUCTS REGISTER. 8. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH-ON RUBBER GASKETED JOINTS CONFORMING TO ASTM D3212.
- 9. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. 10. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
- 11. INLETS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C913. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. 12. AREA DRAINS SHALL BE ADS NYLOPLAST AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
- 13. FRAMES AND GRATES SHALL BE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FRAMES AND GRATES ARE COMPATIBLE WITH PRECAST STRUCTURES PRIOR TO ORDERING. 14. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE
- TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES. 15. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL
- IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- 17. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. 18. ALL CONNECTIONS TO EXISTING STORM SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS
- 19. FLEXIBLE COMPRESSION COUPLINGS SHALL BE USED IN THE CONNECTION OF DISSIMILAR PIPE MATERIALS. 20. CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE. 21. TRACER WIRE SHALL BE BROWN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.1 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC STORM SEWER PIPE, PRIVATE STORM INTERCEPTOR PIPE, AND BUILDING STORM SERVICE
- STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 22. FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL.

PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED

- DOCUMENTATION OF SUCH FIELD TILE SHALL BE PROVIDED TO THE OWNER. 23. PROPOSED STORM SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. CONNECTIONS TO DOWNSPOUTS SHALL BE PER DETAILS ON THE BUILDING PLUMBING PLANS. THE EXACT LOCATION OF DOWNSPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
- 24. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS AND INLETS TO FINISHED SURFACE UPON COMPLETION OF PAVING OPFRATIONS. 25. AFTER INSTALLATION OF STORMWATER DRAINAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. REPAIR ANY DAMAGE.



3

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DATE: **02/05/2020**

SCALE: N.T.S.

JOB NO. **3190289**

PROJECT MANAGER:

Know what's below.

CHANGES OR ALTERATIONS MADE TO THIS PLAN

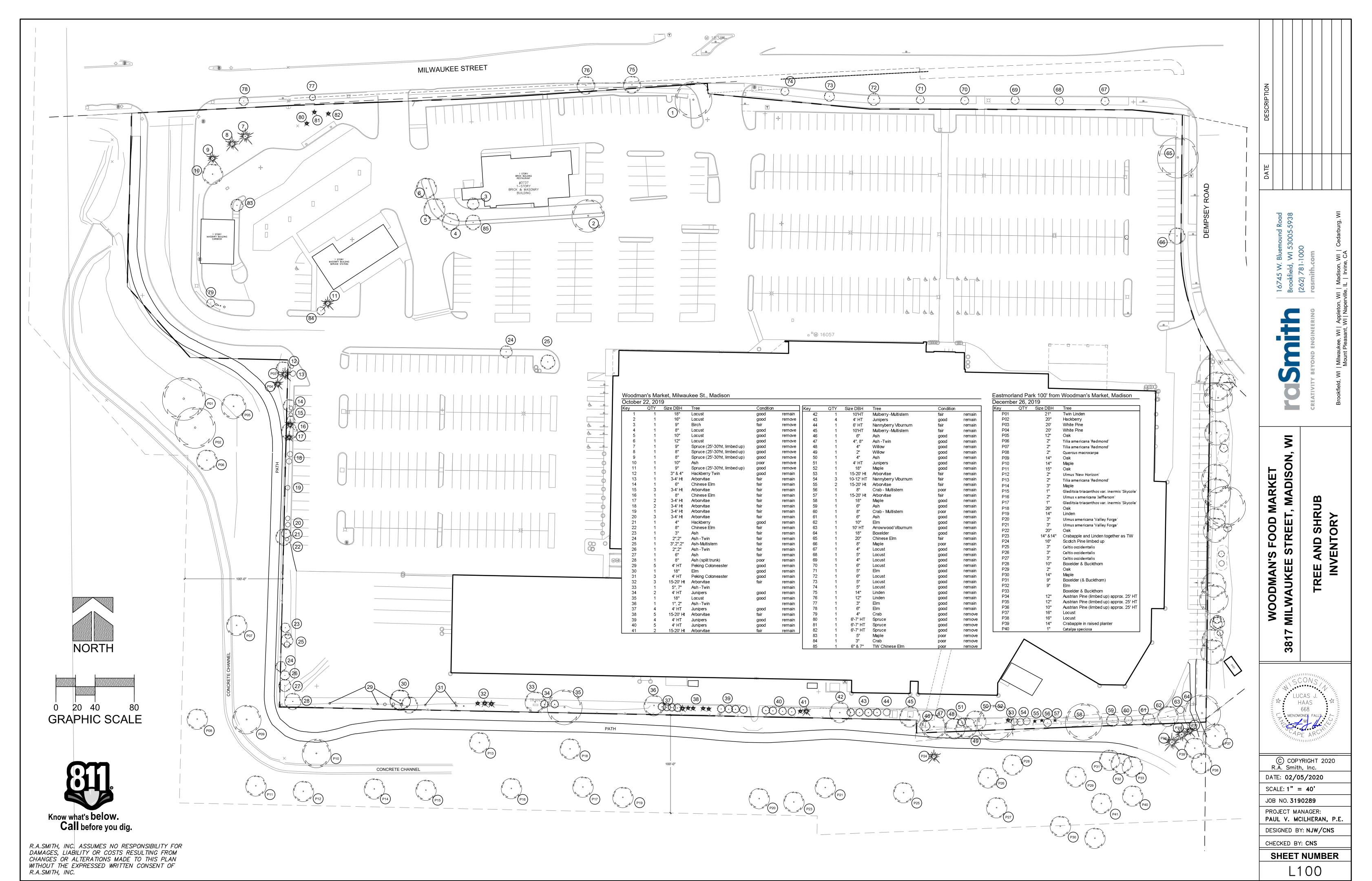
WITHOUT THE EXPRESSED WRITTEN CONSENT OF

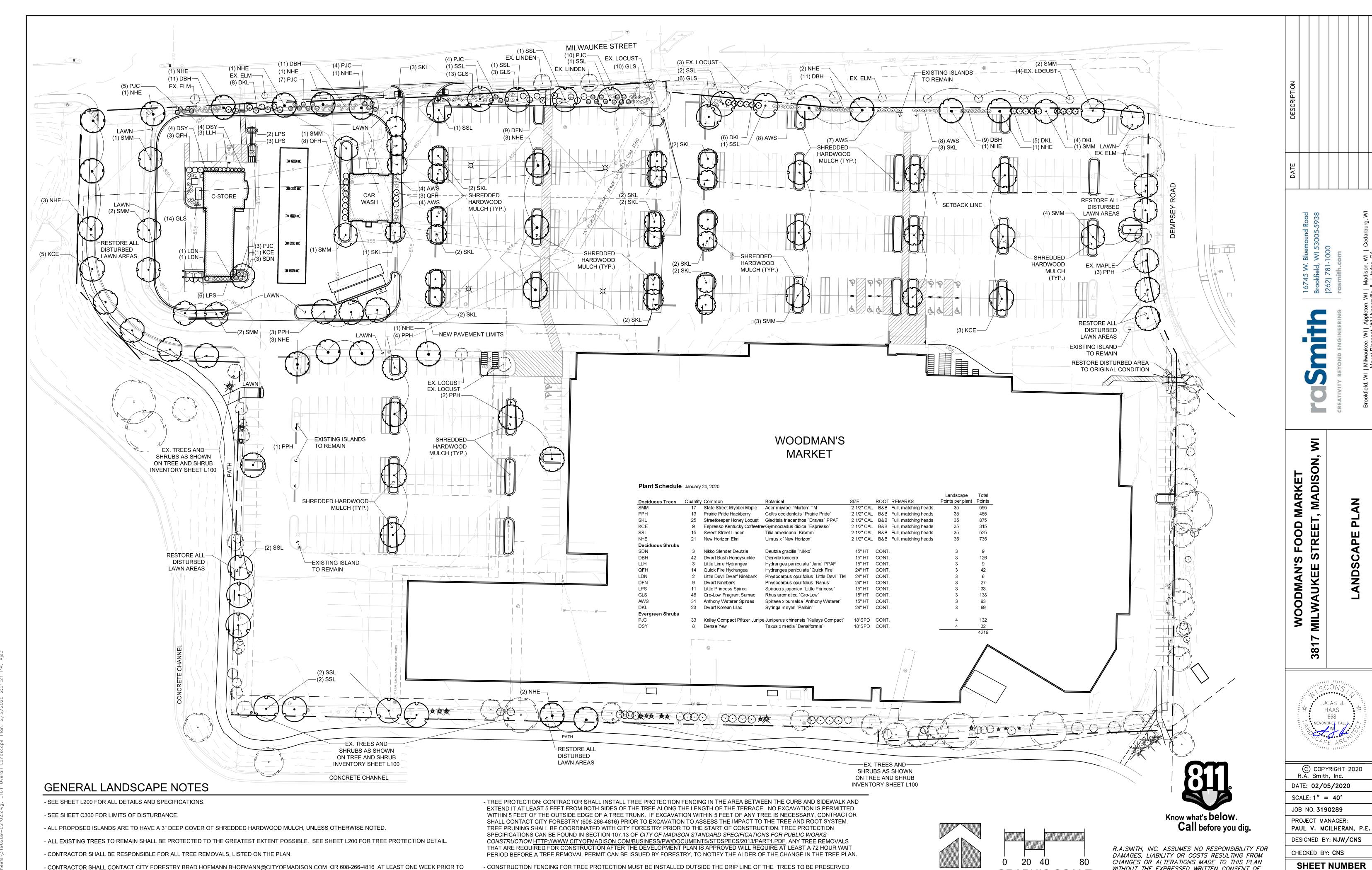
R.A.SMITH, INC.

Call before you dig. PAUL V. MCILHERAN, P.E. DESIGNED BY: AJS R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM

CHECKED BY: PVM SHEET NUMBER

C600





- CONSTRUCTION FENCING FOR TREE PROTECTION MUST BE INSTALLED OUTSIDE THE DRIP LINE OF THE TREES TO BE PRESERVED

ALONG THE NORTHERN PROPERTY LINE.

WITHOUT THE EXPRESSED WRITTEN CONSENT OF

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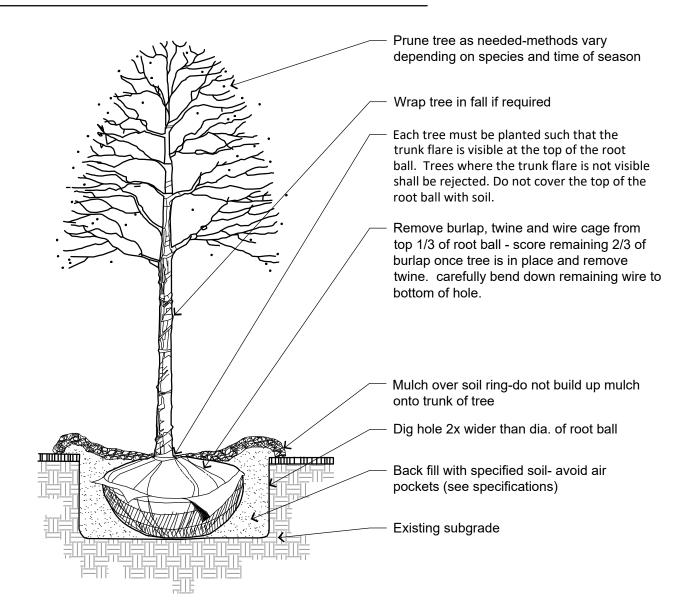
R.A.SMITH, INC.

GRAPHIC SCALE

- CONTRACTOR SHALL CONTACT CITY FORESTRY BRAD HOFMANN BHOFMANN@CITYOFMADISON.COM OR 608-266-4816 AT LEAST ONE WEEK PRIOR TO

PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

GENERAL LANDSCAPE DETAILS



Planting mix-Root ball -Wood stake 3" dia. cedar strapping nail to -3" dia. cedar wood ≠EQUAL ≠EQUAL ; stakes - cut to same **PLAN VIEW** height Do not let stakes touch sides of root ball Extend stakes into firm, undisturbed soil a min. of 8". install prior to filling with planting mix.

DECIDUOUS TREE PLANTING DETAIL

Orange construction fencing —

On Center spacing

varies - refer to

plan & plant list

Distance offset equal to

on center spacing to

hardscape or lawn

ECIDUOUS TREE STAKING FOR RESTRICTED AREAS P-PL-TREE-DEC-01

Prune cut dead and broken branches -

Plant at same depth as previous level –

Do not bury any bottom branches -

retain natural plant shape

Prune out any brown branches

- Dig hole 2x wider -

mulch level

than dia. of root ball

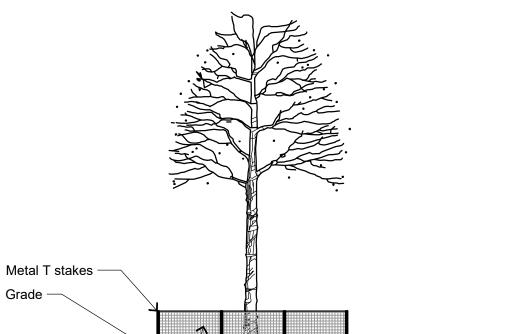
–Planting mix –

(see specifications)

Balled & Burlapped

Remove burlap and twine from top 1/3

of root ball and score remaining 2/3



<u>Notes</u> 1. Install 4' high orange vinyl snow / construction fencing or similar fencing as shown on this plan. 2. Erect fence with 5' metal

t-stakes at least every

3. The fencing shall be in place before construction activity begins and remain until all exterior work has been completed.

4. No construction activity shall take place nor shall

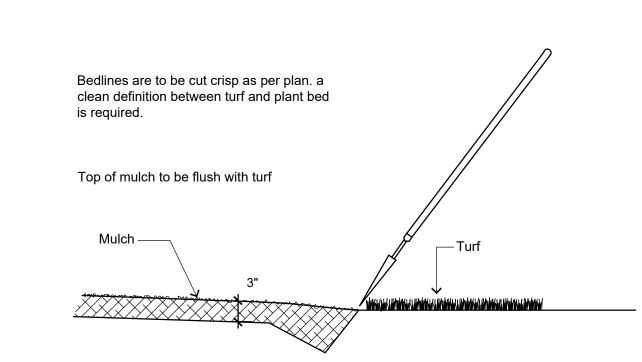
TREE PROTECTION FENCING DETireside of the fencing.

On Center spacing

varies - refer to

plan & plant list

P-PL-PLA-02



Container grown

Carefully remove from plastic pot and

score roots 1" deep with a sharp knife

SHRUB PLANTING DETAIL

P-PL-BDEG-01

GENERAL LANDSCAPE NOTES

- 1. Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- 2. Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor. 3. All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's
- representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- 4. Any potential plant substitutions must be submitted in writing and approved by the general contractor or owner's representative prior to installation. All plants must be installed as per sizes shown on plant material schedule, unless approved by general contractor or owner's representative.
- 5. All seeded areas and planting beds require topsoil to be placed within 3" of finish grade during rough grading operations. All parking lot islands require topsoil placed to a minimum depth of 18" to insure long term plant health. These requirements should be coordinated between the general contractor, grading contractor and
- 6. The landscape contractor to be responsible for placing a minimum depth of 3" of blended, prepared and non-compacted topsoil in all seeded areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade. Finished landscaped areas to be smooth, uniform and provide positive drainage away from all structures and pavement.

Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed Scarify side walls of tree pit prior to installation. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remaining wire down to the bottom of hole once the tree has been placed into the hole and will no longer be moved. Score the remaining two-thirds of burlap and remove twine. Backfill pit with 80% existing soil removed from excavation and 20% plant starter mix blended prior to backfilling holes. Discard any gravel,

heavy clay or stones. Avoid any air pockets and do not tamp soil down. When hole is two-thirds full, trees shall be watered thoroughly, and water left to soak in before

Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Stake trees according to the staking detail

- 8. Shrub planting: all shrubs to be pocket planted with a 50/50 mix of plant starter and topsoil. Install topsoil into all plant beds as needed to achieve proper grade and replace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- 9. Mulching: all tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not environmulch). All proposed parking islands to receive 3" layer of shredded hardwood bark mulch. Do not allow mulch to contact plant stems and tree trunks.
- 10.Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed uniformly and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum depth of 3" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
- An acceptable quality turf is defined as having no more than 10% of the total area with bare spots larger than 1 square foot and uniform coverage throughout all turf
- 1. Seed mix for lawn areas use only a premium quality seed mix installed at recommended rates. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF. Provide seed specifications to general contractor prior to installation.
- 12. Warranty and replacements: Trees, evergreens, and shrubs to be guaranteed (100% replacement) for a minimum of one (1) year from the date of substantial project completion. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified
- 13. The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs and turf grass. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- 14. Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and insure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor

LANDSCAPE CALCULATIONS

Total Site area 625,457 SF

Landscape Calculations and distribution (see Madison worksheet for calculations)

Total Developed Area: 625,457 - 201,145 = 424,312 SF

REQUIRED:5,696 points PROVIDED: 6,130 points

5) Development Frontage Landscape 1 overstory tree and 5 shrubs per 30LF of lot frontage

Milwaukee Street Frontage = 954LF REQUIRED: 954/30 = 32 trees and 159 shrubs PROVIDED: 19 proposed trees & 1 existing trees & 12 existing street trees

6) Interior Parking Lot Landscaping for changes to a developed site a minimum of 5% of paving shall be landscape islands & strips & peninsulas

> REQUIRED: 5% of 424,712 = 21,236 SF landscape PROVIDED: 52,051 SF

1 deciduous tree for very 160 SF required landscape area

Credits/ Existing

1505

39

1914

Total Number of Points Provided ____6,130

20 80

New/ Proposed

100

170

164

4,216

42

REQUIRED: 21,236 SF / 160SF = 133 trees PROVIDED: 33 existing trees to remain & 100 proposed trees

PROVIDED: Foundation plantings added around new buildings

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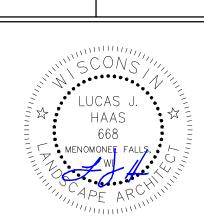
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SCALE: NOT TO SCALE

JOB NO. **3190289**

PROJECT MANAGER: PAUL V. MCILHERAN, P.E. DESIGNED BY: NJW/CNS

SHEET NUMBER



3817 Milwaukee Street Woodman's Food Market James Arneson, FoxArneson, Inc. Contact Email jarneson@foxarneson.com

> ** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10)

feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided

Total square footage of developed area ___ Total landscape points required _

10/2013

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period. (c) No demolition of a principal building is involved. (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan. Landscape Calculations and Distribution Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District. (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area. Total square footage of developed area ____ Total landscape points required _____ (b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square Total square footage of developed area 424,312 SF

First five (5) developed acres = 3,630 points

Total landscape points required __5,696

per one hundred (100) square feet of developed area.

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the

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following conditions apply, in which case only the affected areas need to be brought up to compliance:

Five (5) acres = 217,800 square feet

Remainder of developed area _____206,512 SF

10/2013

Tabulation of Points and Credits

Plant Type/ Element

Overstory deciduous tree

Upright evergreen shrub

Tall evergreen tree

(i.e. pine, spruce)

Ornamental tree

(i.e. arborvitae)

Shrub, deciduous

Shrub, evergreen

perennials

Ornamental/

Ornamental grasses/

decorative fencing or

Existing significant

Landscape furniture for

public seating and/or

transit connections

Sub Totals

specimen tree

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Ainimum Size a

Installation

2½ inch caliper

at breast height

1 1/2 inch caliper

#3 gallon container

size, Min. 12"-24"

#3 gallon container

size, Min. 12"-24"

#1 gallon container

Minimum size: 2 1/2

inch caliper dbh.

*Trees must be

within developed

comprise more than points per

area and cannot

required points.

area, publically

accessible, and

cannot comprise

more than 5% of

total required

specifications as stated in the current American Standard for Nursery Stock

* Furniture must be within developed

30% of total

4 per 10

lineal ft.

14 per

inch dbh.

Maximum

size, Min. 8"-18"

5-6 feet tall

3-4 feet tall

measured diameter

WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

CHECKED BY: CNS

L200



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

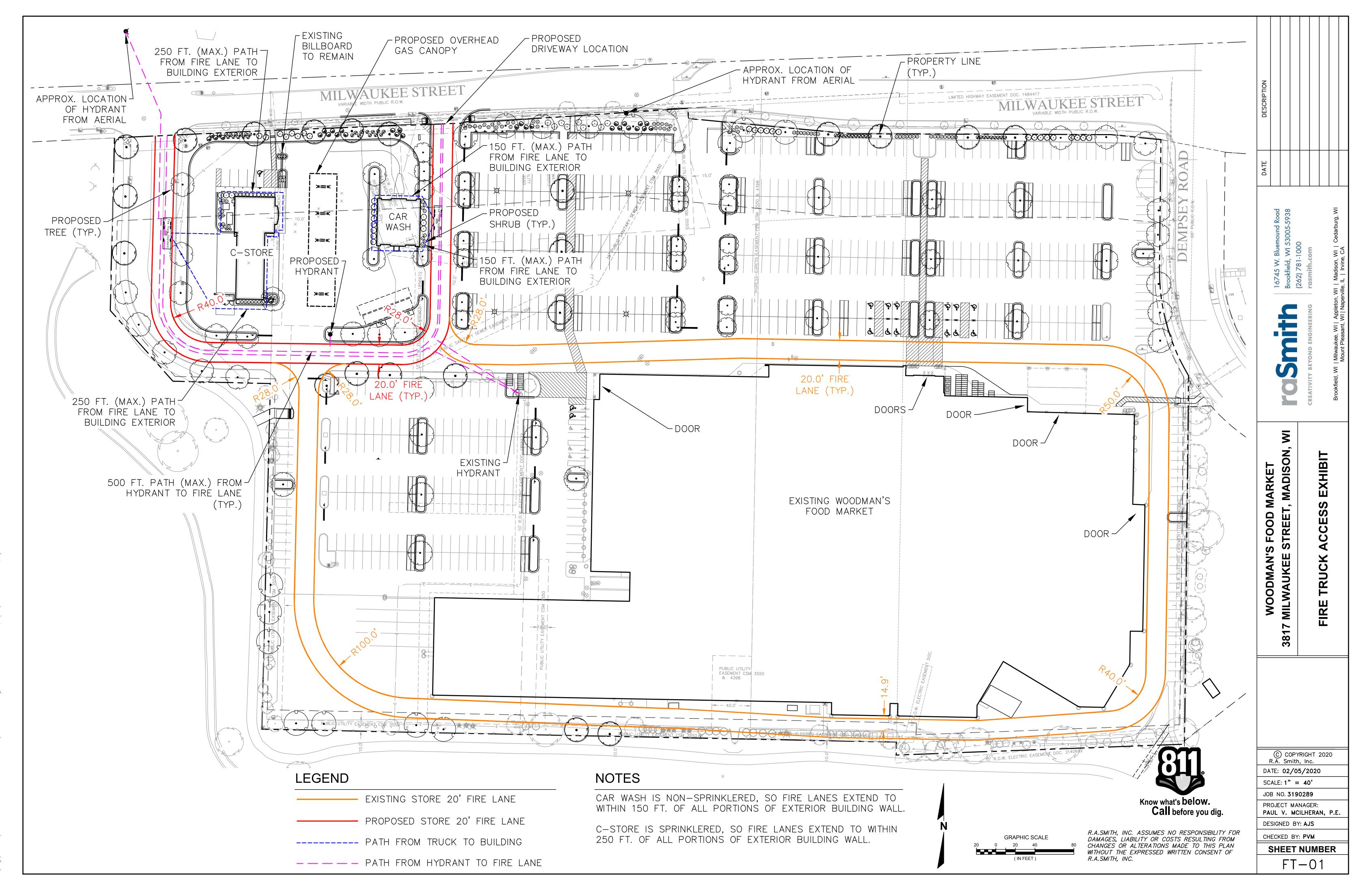
Project Address: 3817 Milwaukee Street							
Contact Name & Phone #: Jim Arneson, (608) 663-6233							

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

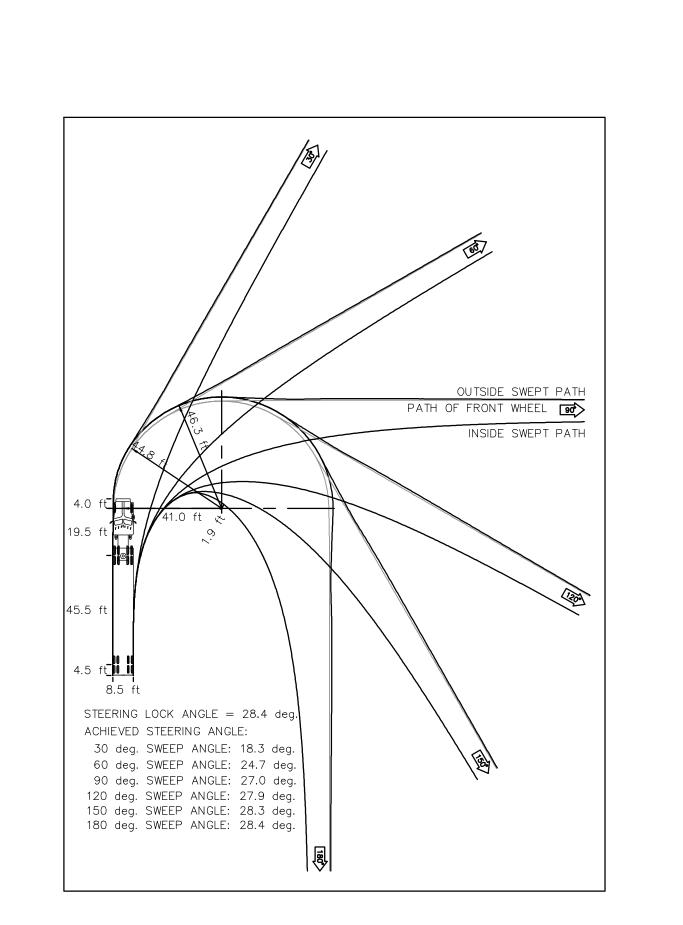
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	Yes X Yes X Yes	☐ No ☐ No ☐ No	N/AN/AN/A
 2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.) 	X Yes X Yes X Yes X Yes X Yes Yes Yes Yes Yes	No No No No No No No No	 N/A N/A N/A N/A N/A N/A N/A N/A N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:a) Is the gate a minimum of 20-feet clear opening?b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	Yes Yes Yes	No No No	N/A N/A N/A N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	Yes Yes	X No No	N/A N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	Yes	X No	□ N/A
 6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights? 	Yes Yes Yes Yes Yes Yes Yes Yes	No	 N/A N/A N/A N/A N/A N/A N/A N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?b) Is there at least 40' between a hydrant and the building?	X Yes X Yes	☐ No ☐ No ☐ No	□ N/A□ N/A□ N/A

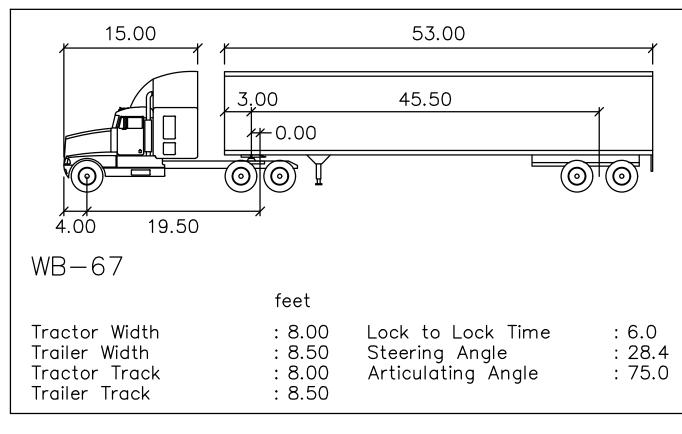
Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2012 Edition Chapter 5 and Appendix D; please see the codes for further information.

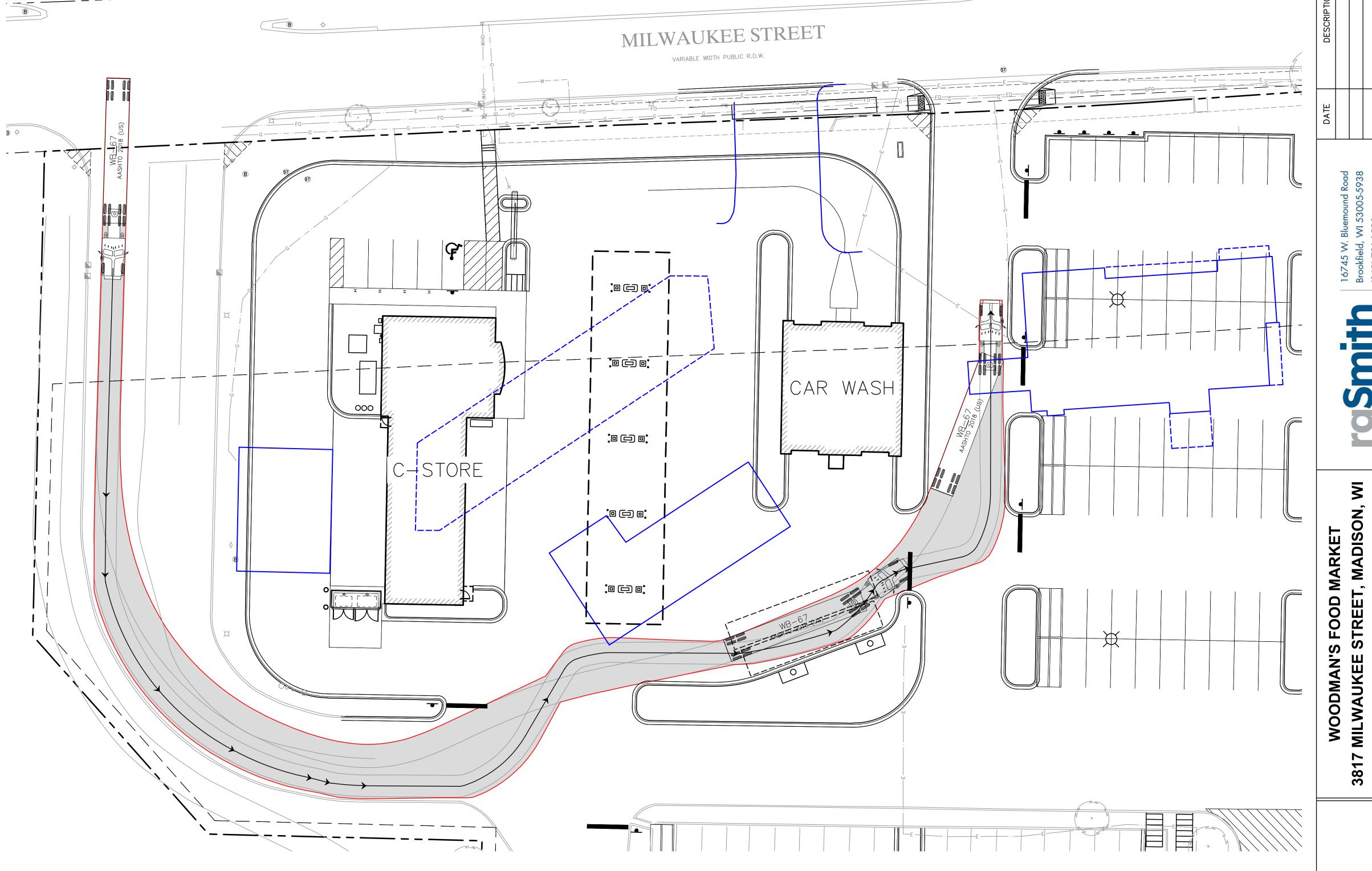


P:\3190289\Dwa\Exhibits\2019-12-13 fire truck access exhibit\3190289-FT01.dwa. Fire Truck Access Exhibit. 1

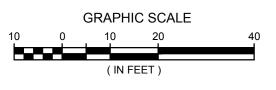




TRUCK TURN MOVEMENTS (WB-67) (NOT TO SCALE)







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3817

JOB NO. 3190289

PROJECT MANAGER:
PAUL V. MCILHERAN, P.E. DESIGNED BY: AJS

CHECKED BY: PVM

SHEET NUMBER AT-01





THESE RENDERINGS ARE AN ARTIST'S CONCEPTION AND ARE NOT INTENDED FOR USE AS CONSTRUCTION DOCUMENTS



EMPLOYEE OWNED

GAS & LUBE

3817 MILWAUKEE STREET MADISON, WI 53714 SHEET INDEX

A101	GAS & LUBE FLOOR PLAN
A102	CAR WASH FLOOR PLAN
A103	FUEL CANOPY FLOOR PLAI

A111 GAS & LUBE ROOF PLAN

A112 CAR WASH ROOF PLAN

A121 CAR & LUBE PIT PLAN A201 GAS & LUBE ELEVATIONS

A202 CAR WASH ELEVATIONS

A203 CAR WASH ELEVATIONS
A204 FUEL CANOPY ELEVATIONS

A901 EL POBLANO EXTERIOR PHOTOS

A902 EL POBLANO INTERIOR PHOTOS

A903 EXISTING GAS & LUBE EXTERIOR PHOTOS



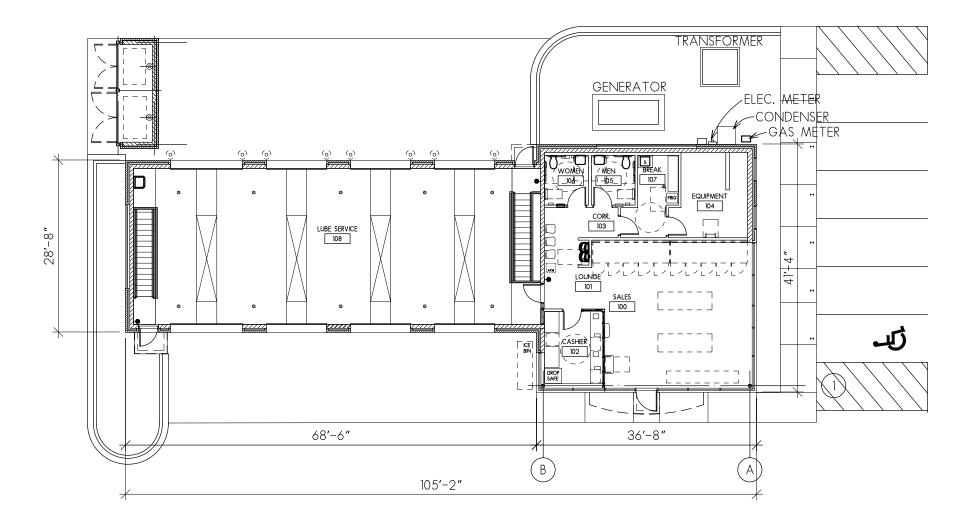
FoxArneson

5972 Executive Drive Suite 100 Madison, WI 53719 608.276.4400

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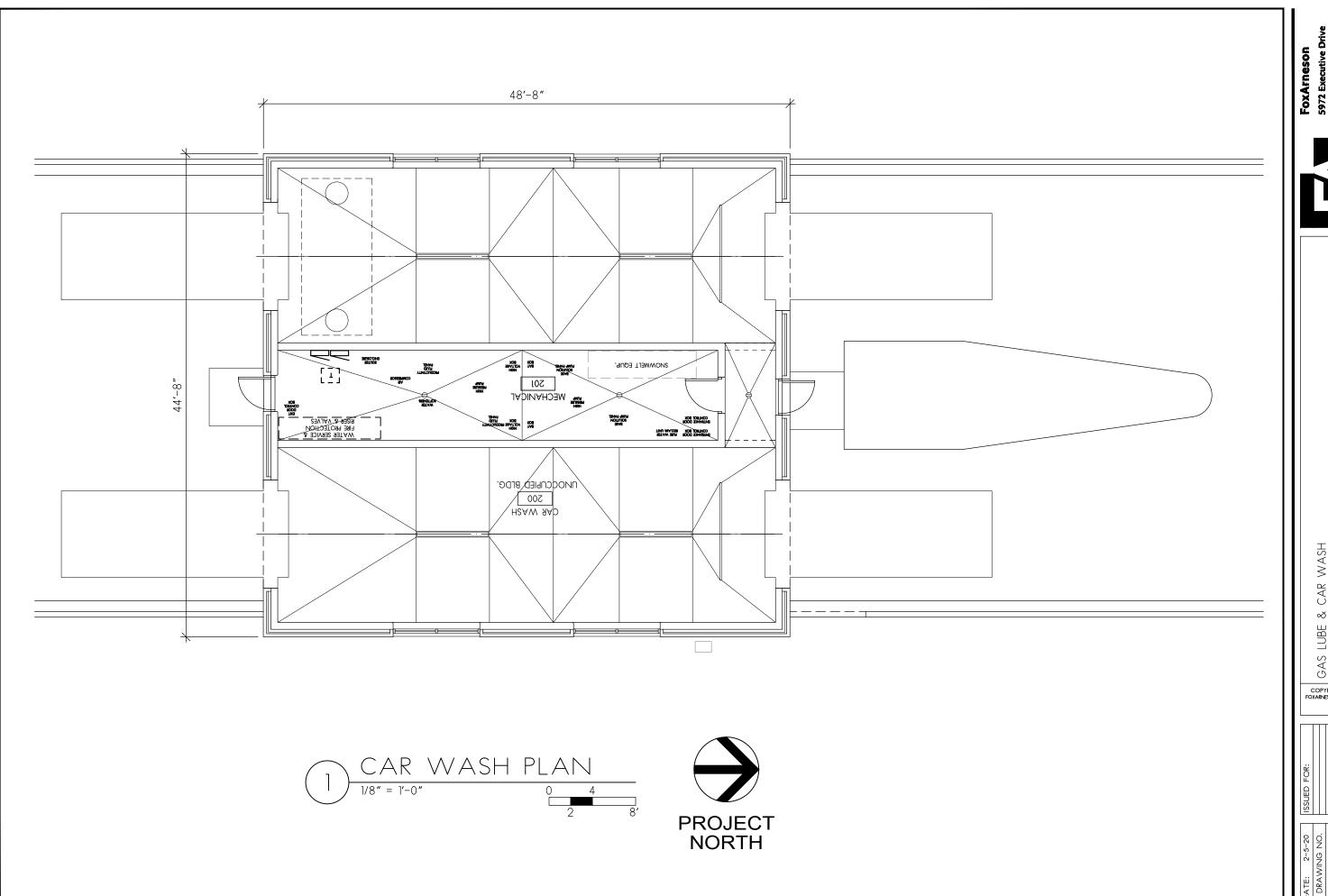
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3817 MILWAUKEE ST COPYRIGHT 2020 FOXARNESON DESIGN, INC





MADISON, WI 53714

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147'-0" 28'-0"



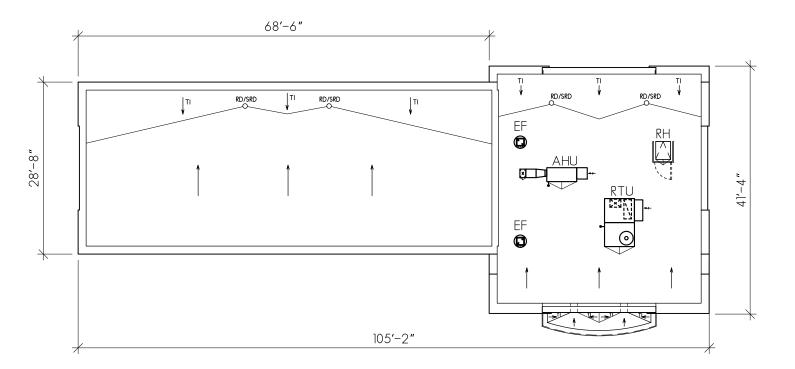


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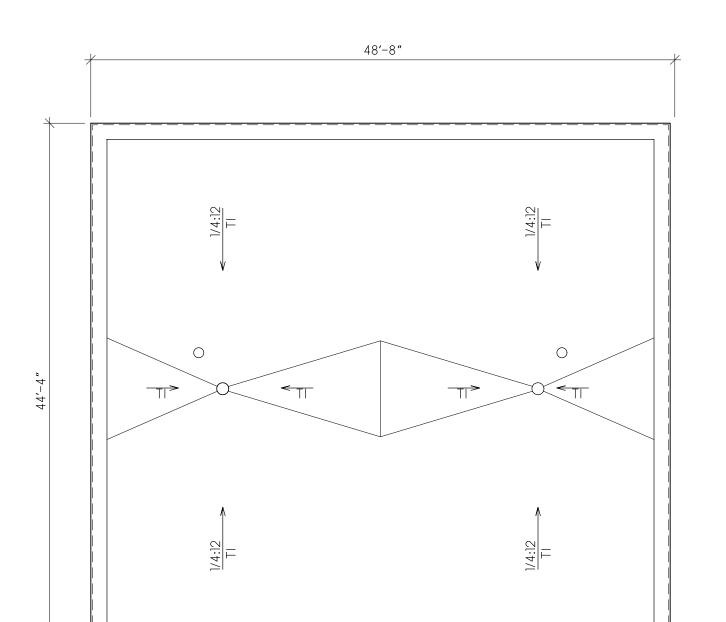




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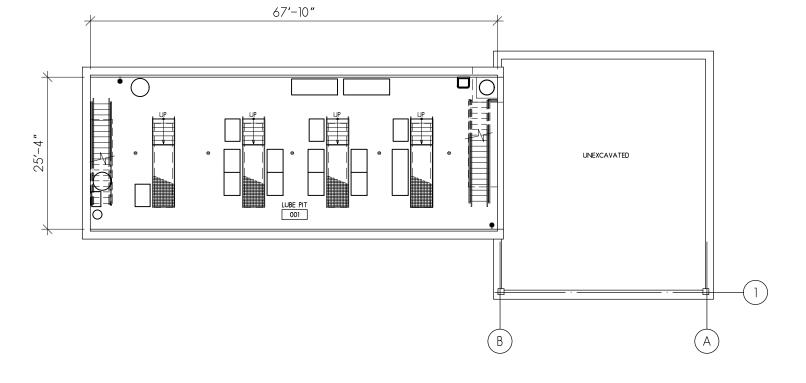






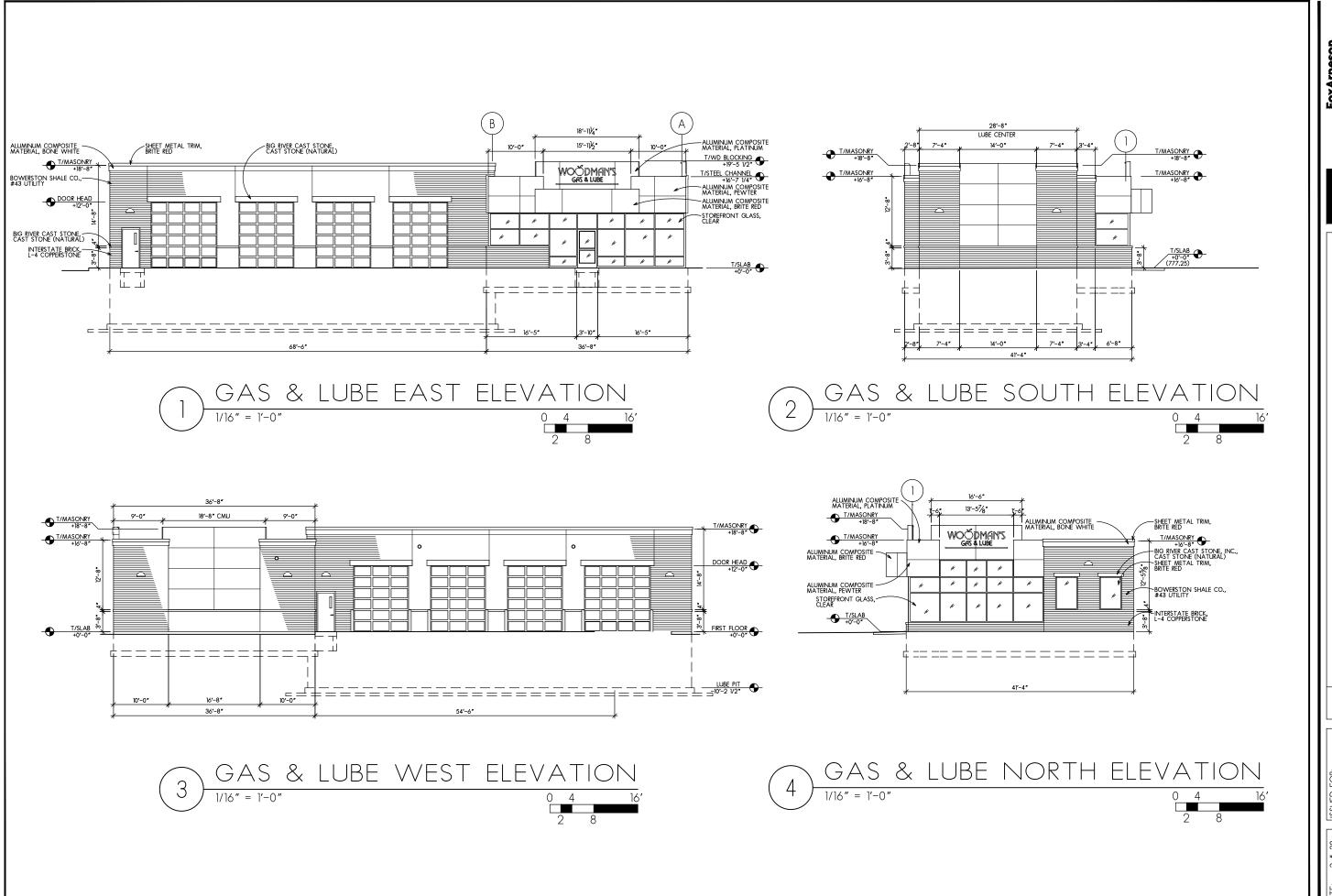
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19-041 SHEET NO.



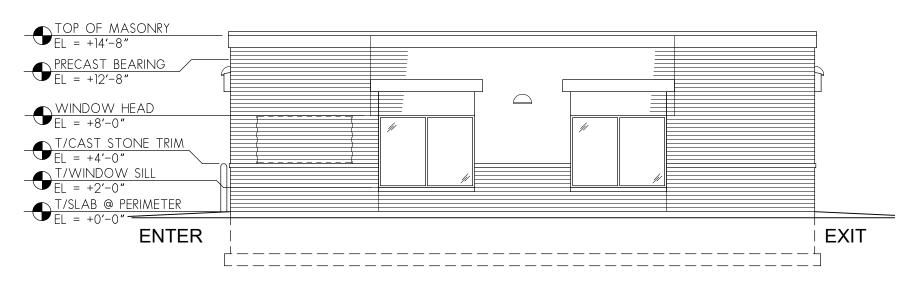


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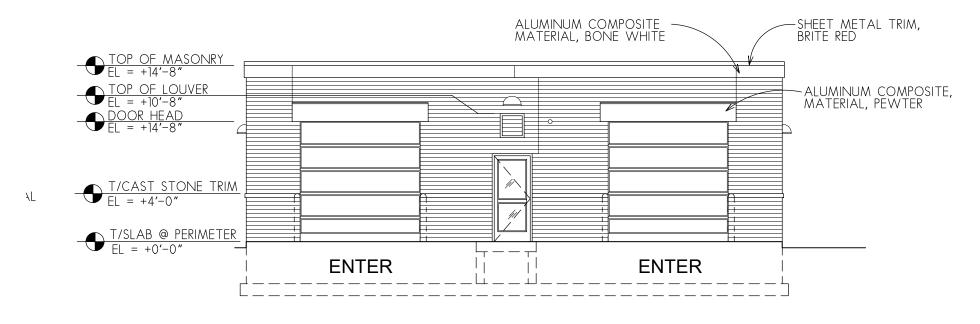




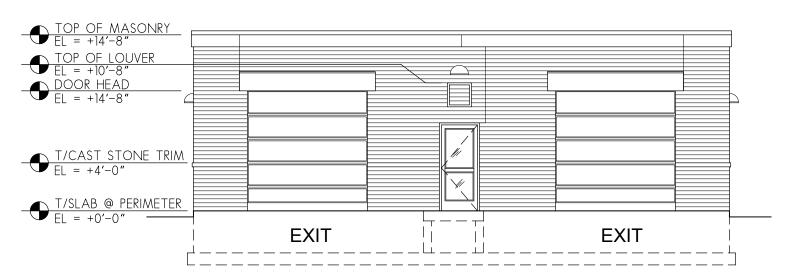




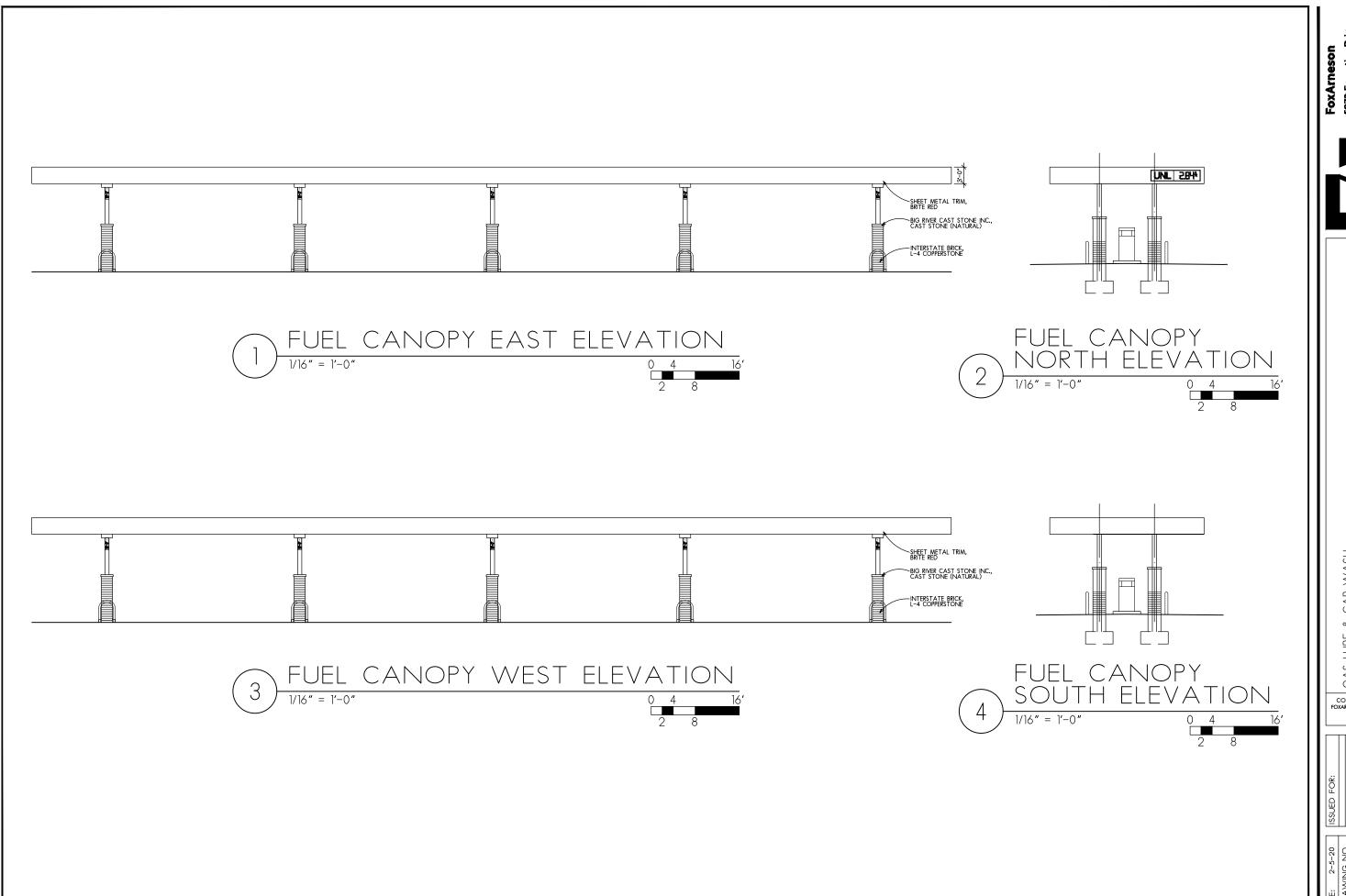
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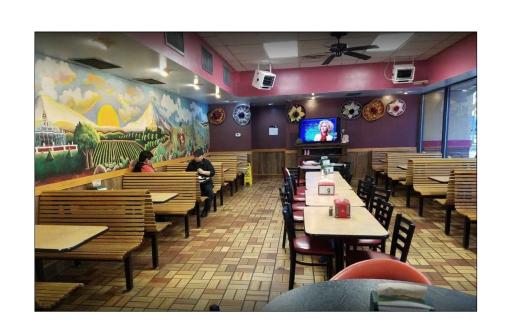
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