



Location
5517 Femrite Drive

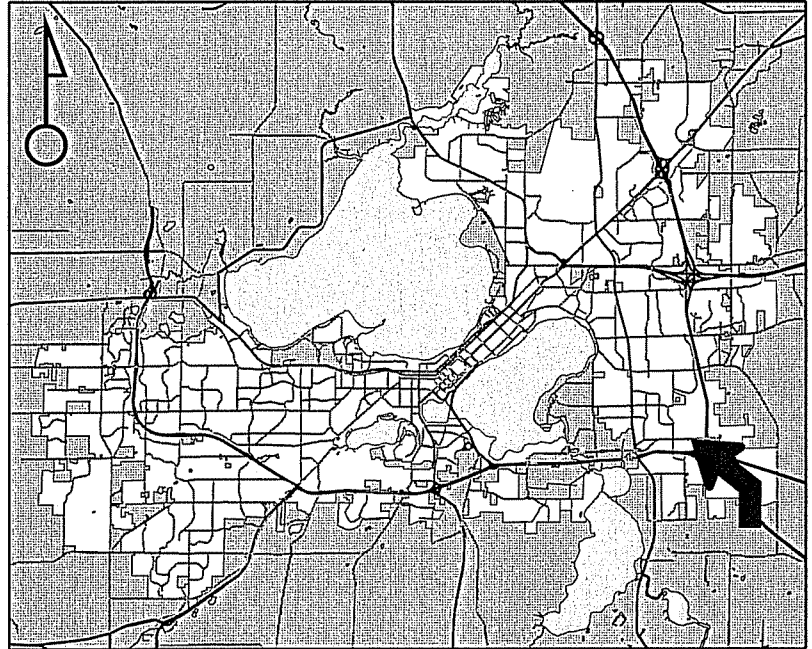
Project Name
Femrite Demolition

Applicant
David H. Meier - 5513 Femrite, LLC/
Brian J. Beaulieu - Edge Consulting Engineers

Existing Use
Single-family residence

Proposed Use
Demolish single-family residence to
construct private parking facility
(in Urban Design District 1)

Public Hearing Date
Plan Commission
27 October 2014



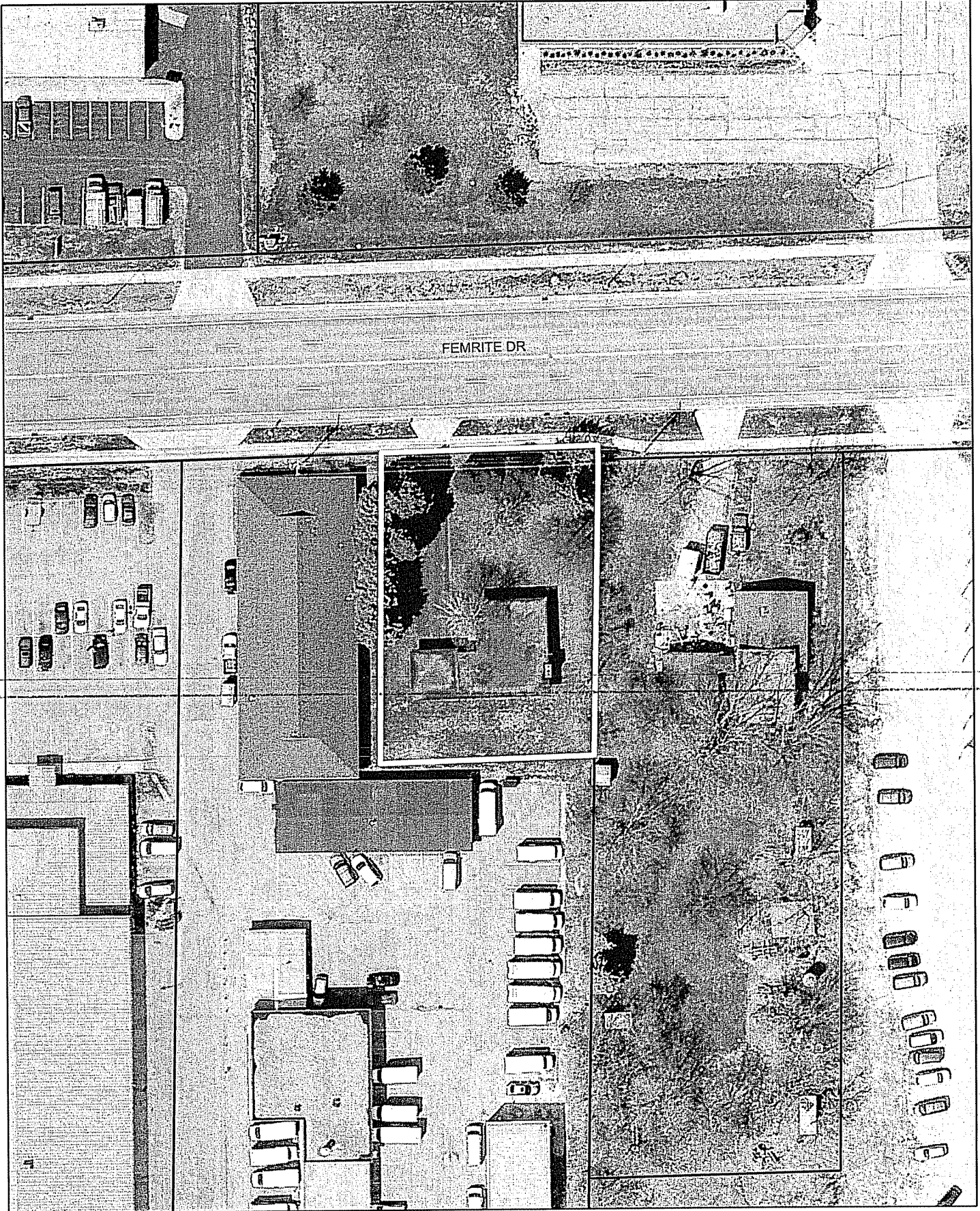
For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 20 October 2014

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LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid \$900 Receipt No. 157623

Date Received 8-27-14

Received By DM

Parcel No. 0710-233-0094-1

Aldermanic District 16-DeMurb

Zoning District IL

Special Requirements UDD #1

Review Required By:

Urban Design Commission Plan Commission

Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 5517 FEMRITE DR.
Project Title (if any): _____

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: ATTN: DAVID H. MEIER Company: 5513 FEMRITE LLC

Street Address: 5501 FEMRITE DR. City/State: MADISON, WI Zip: 53718

Telephone: (608) 310-4867 Fax: () Email: dauidm.badgerbus@gmail.com

Project Contact Person: BRIAN J. BEAULIEU, P.E. Company: EDGE CONSULTING ENGINEERS, INC.

Street Address: 624 WATER ST. City/State: PRAIRIE DU SAC, WI Zip: 53578

Telephone: (608) 644-1449 Fax: () Email: bbeaulieu@edgeconsult.com

Property Owner (if not applicant): _____

Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: PROPOSAL TO DEMOLISH THE EXISTING NONCONFORMING DWELLING AND REPLACE WITH

Development Schedule: Commencement FALL 2014 Completion FALL 2014

10

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks; location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

ADD. DEMARB - A WAIVER TO THE 30-DAY REQUIREMENT HAS BEEN REQUESTED
→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: KEVIN FRENCH Date: 8/20/14 Zoning Staff: MATT TUCKER Date: 8/20/14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant 5513 FEMRITE LLC Relationship to Property: CONTRACT PURCHASER

Authorizing Signature of Property Owner By: [Signature] Date 8/27/14 10
ATTORNEY AND AUTHORIZED AGENT

CITY OF MADISON LAND USE APPLICATION - LETTER OF INTENT

Parking Lot at 5517 Femrite Drive

Applicant: 5513 Femrite Drive LLC
David H. Meyer, Registered Agent
5501 Femrite Dr
Madison, WI 53718
davidm.badgerbus@gmail.com

Project Team: Brian J. Beaulieu, P.E.
Edge Consulting Engineers, Inc.
624 Water Street
Prairie du Sac, WI 53578
608-644-1449 x 309 (office)
608-628-1377 (mobile)
www.edgeconsult.com
bbeaulieu@edgeconsult.com

Daniel A. O'Callaghan
Michael Best & Friedrich LLP
One South Pinckney Street, Suite 700
Madison, WI 53703-4257
608.283.0117 (direct)
608.283.2275 (facsimile)
daocallaghan@michaelbest.com

Existing Conditions: The site is zoned IL (Industrial Limited) and is currently occupied by a nonconforming single-family residence..

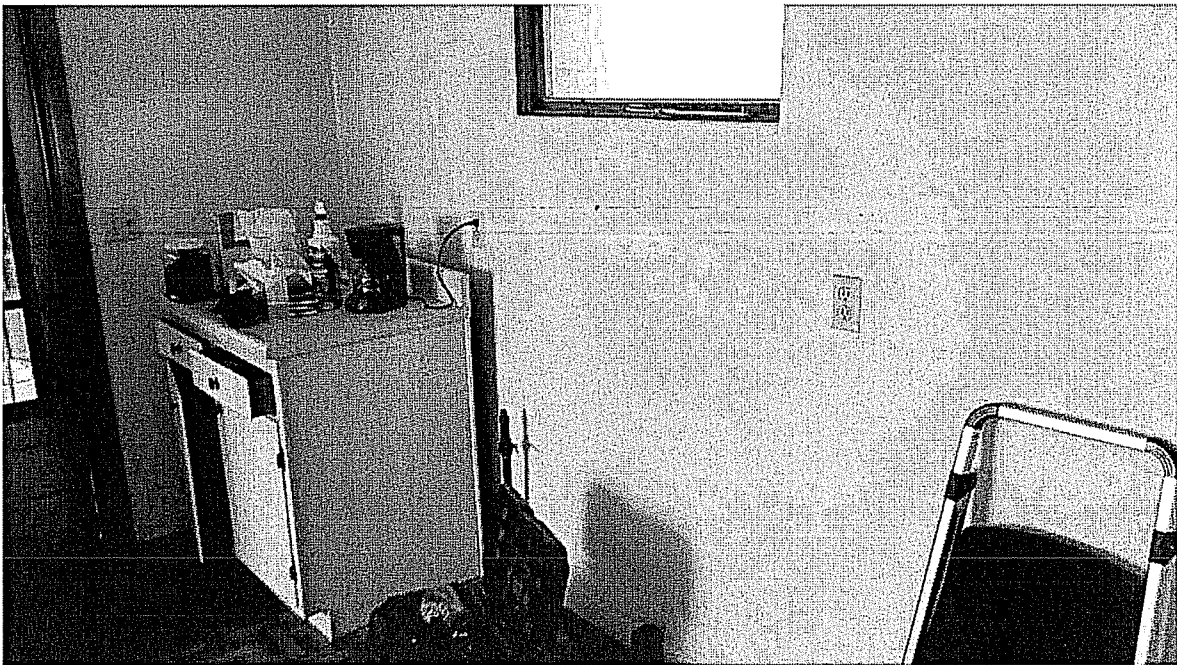
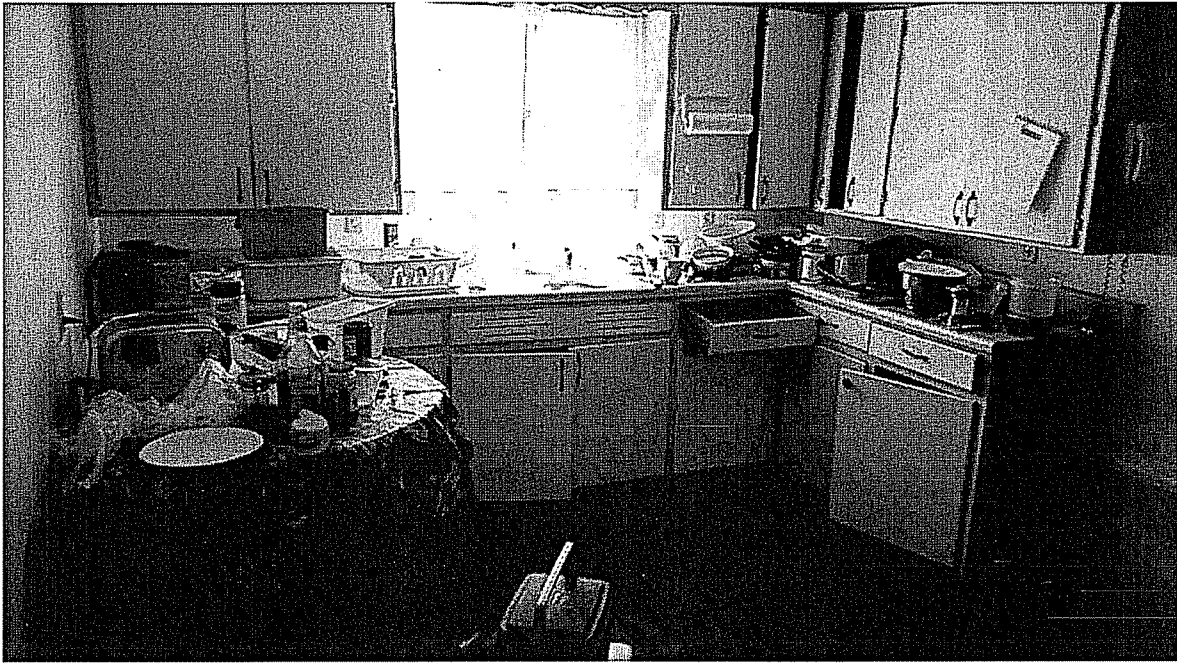
Proposed Use: The applicant proposes to demolish the existing nonconforming single-family residence and construct a 28-space parking lot, paved and landscaped per code.

Project Schedule: The project is scheduled to commence construction in October of 2014 and be completed in November of 2014, weather permitting.

Lot Coverage & Usable Open Space Calculations:

Total Pervious Area - 4,495 SF (30.6%)
Total Impervious Area - 10,175 SF (69.4%)
Additional Impervious Area - 6,705 SF
Existing Impervious Area - 3,470 SF
Total Disturbed Area - 12,500 SF
Total Property Area - 0.337 Acres - 14,670 SF

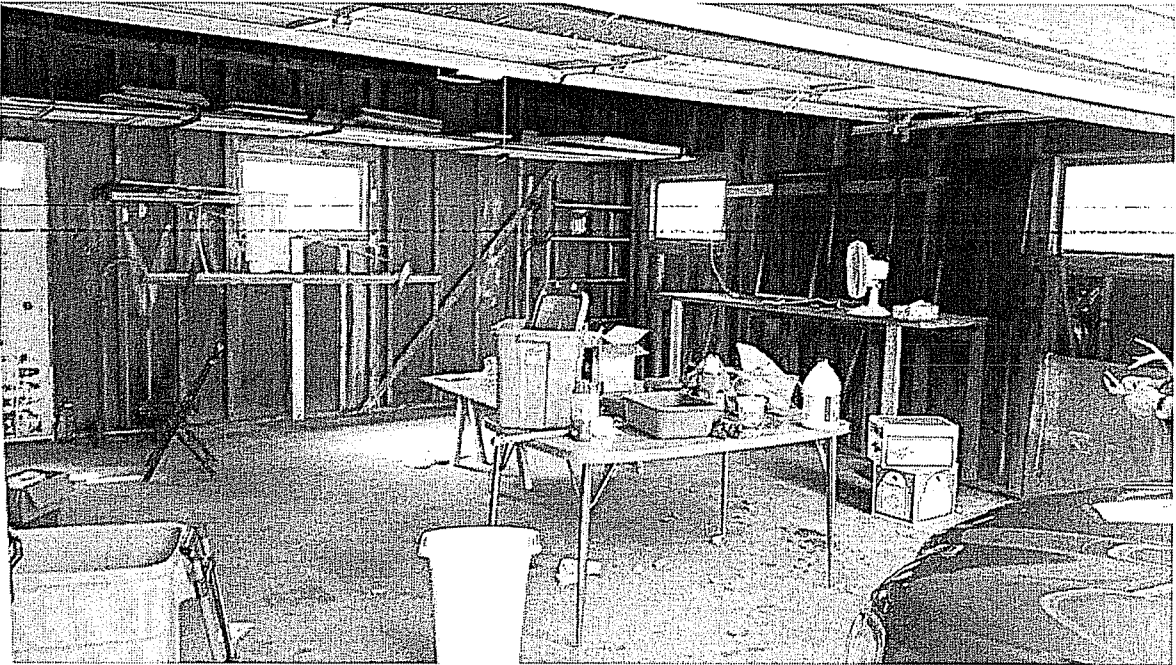
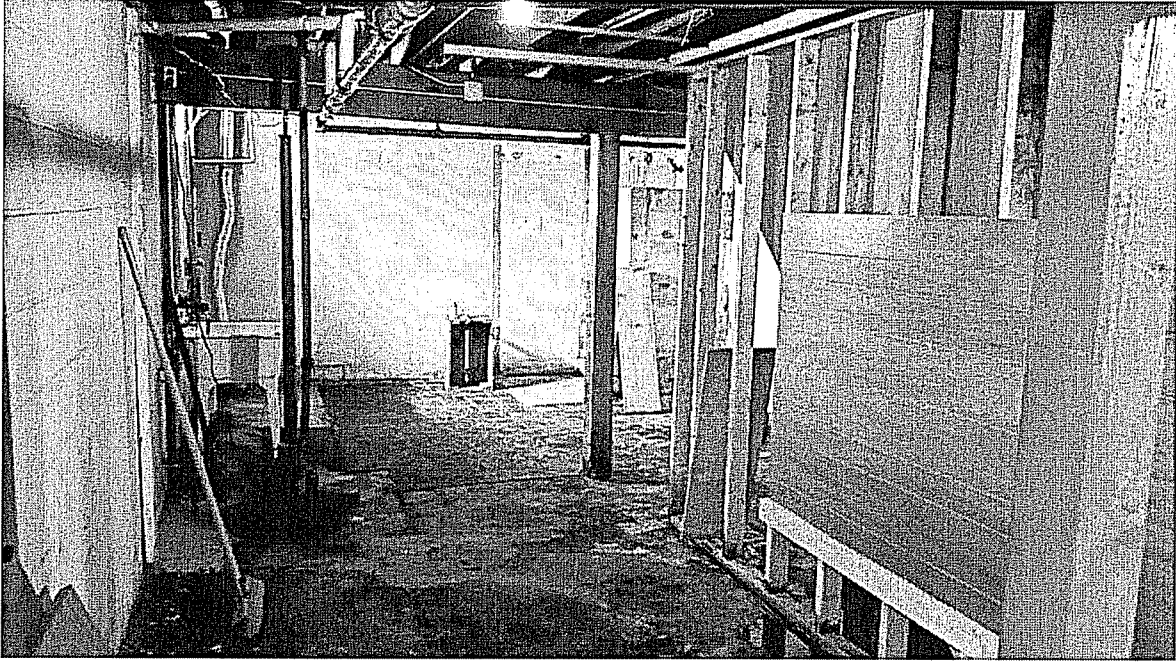
5517 Femrite Dr., Madison
Addendum to Application for Demolition Permit
Interior and Exterior Photographs



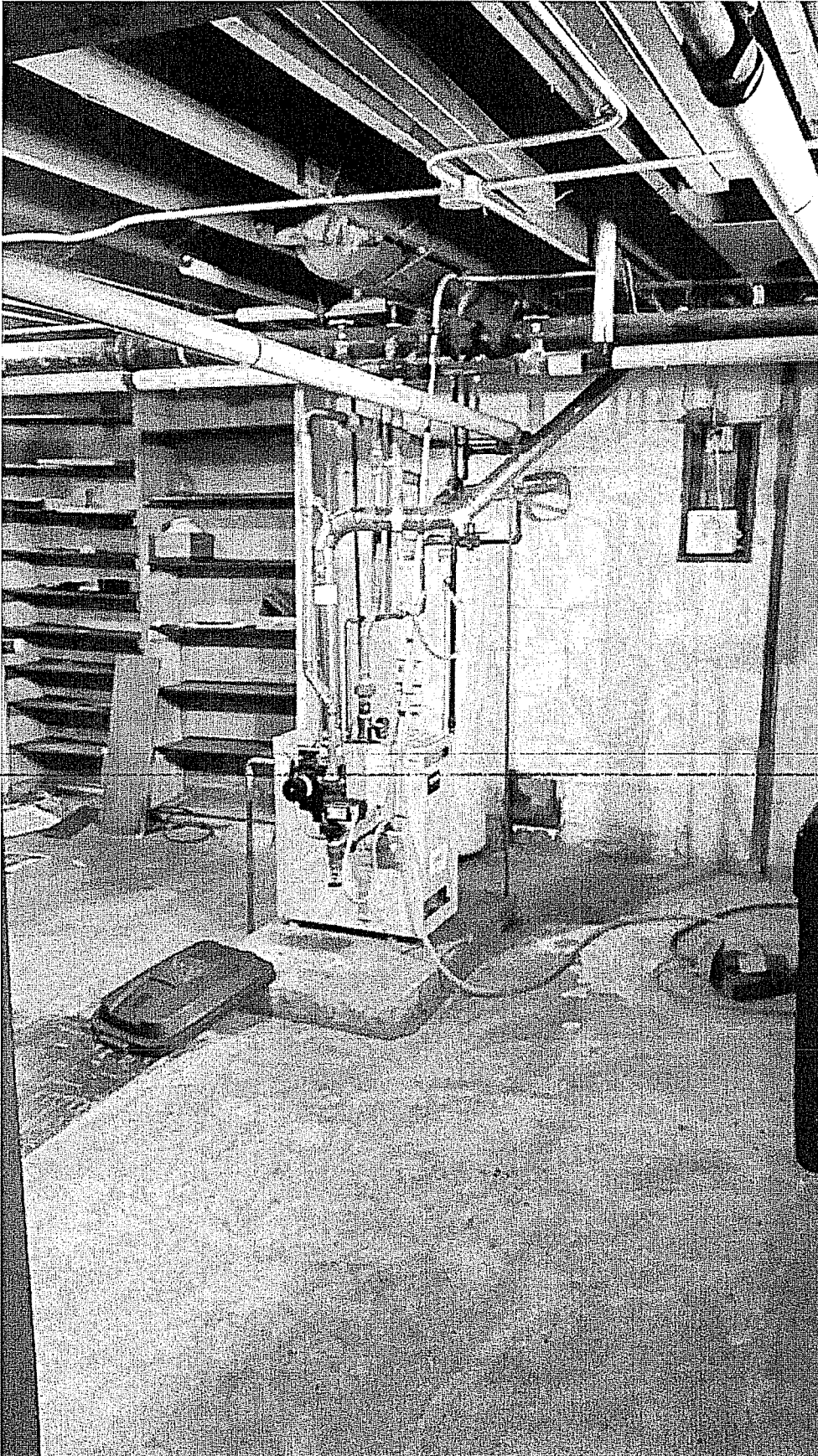
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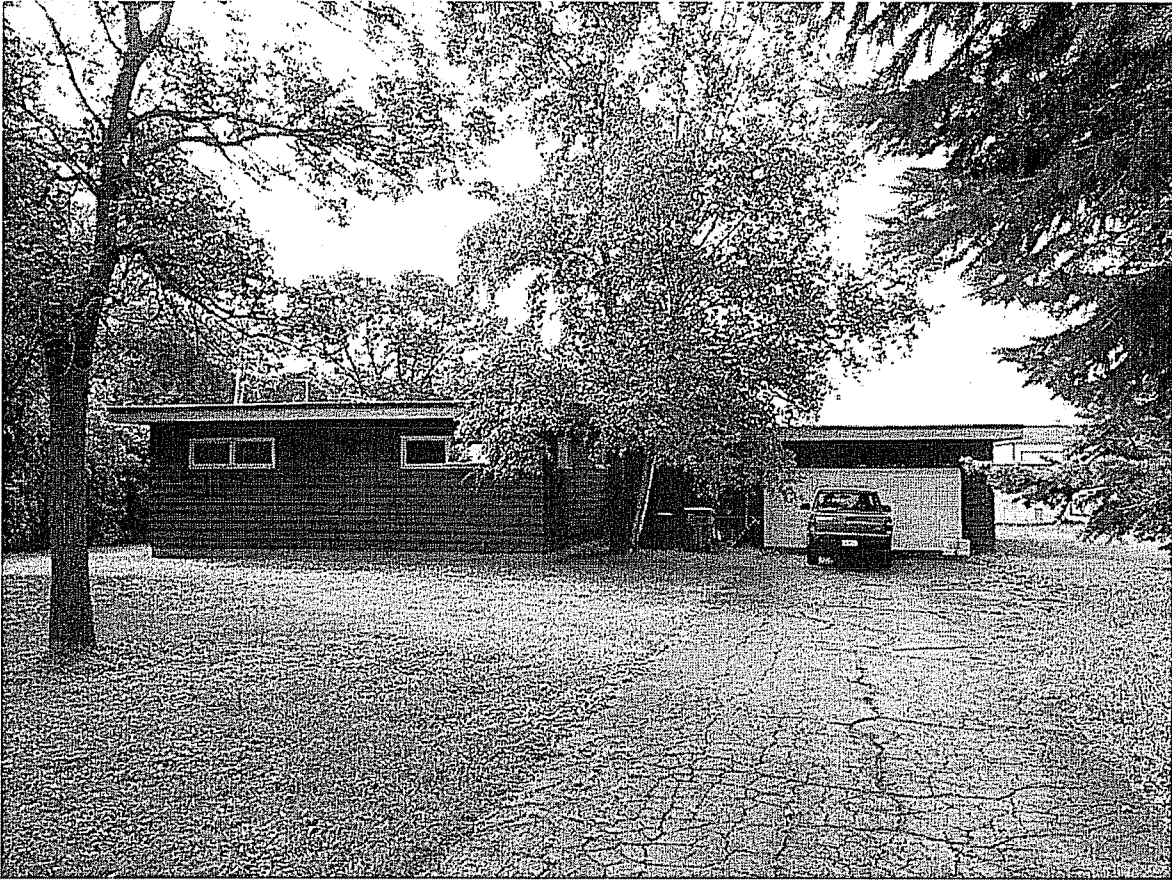
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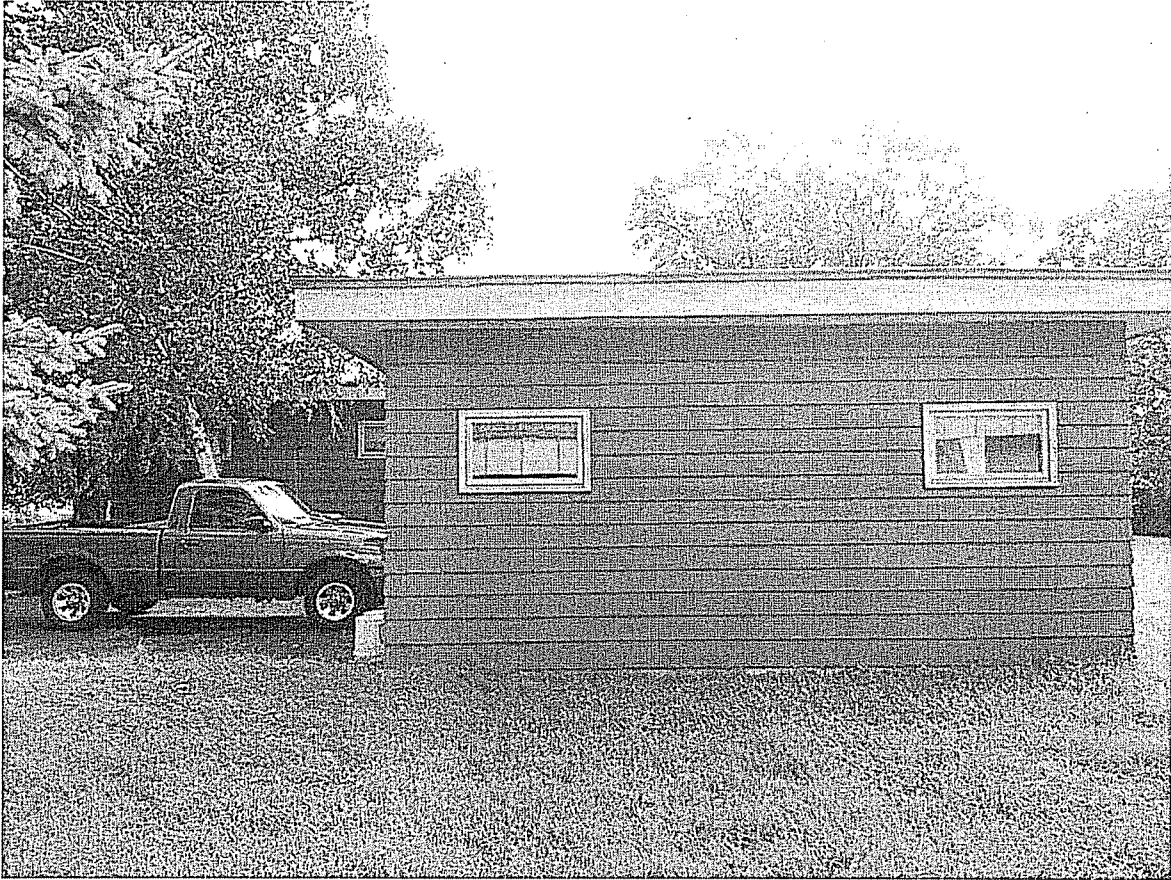
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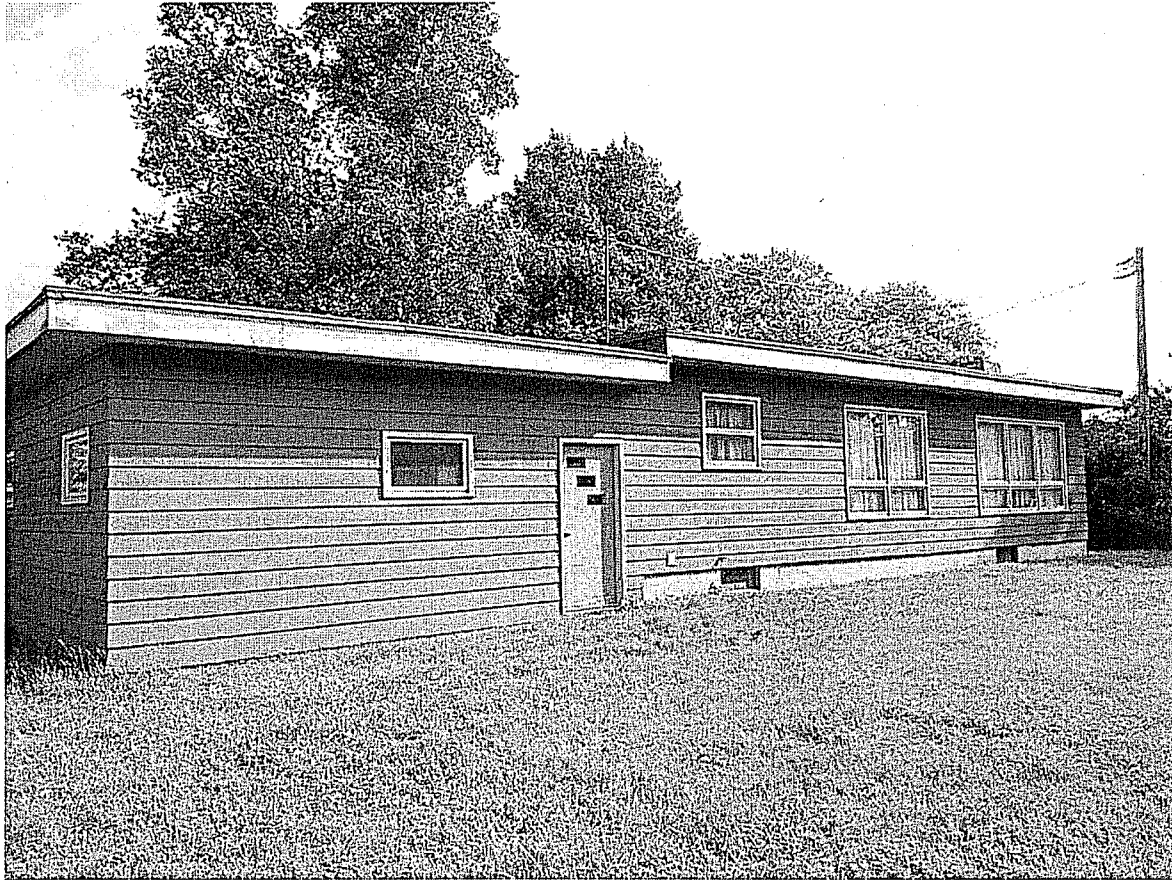
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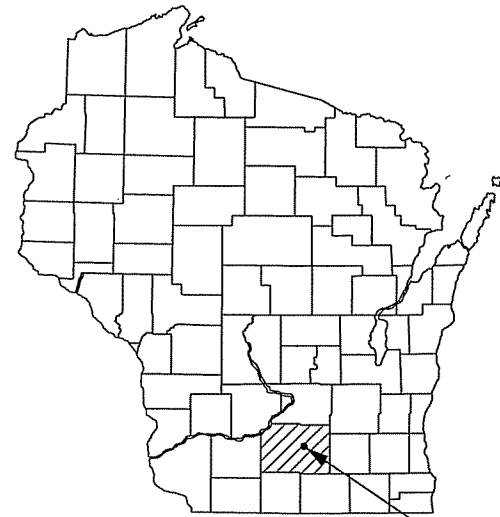
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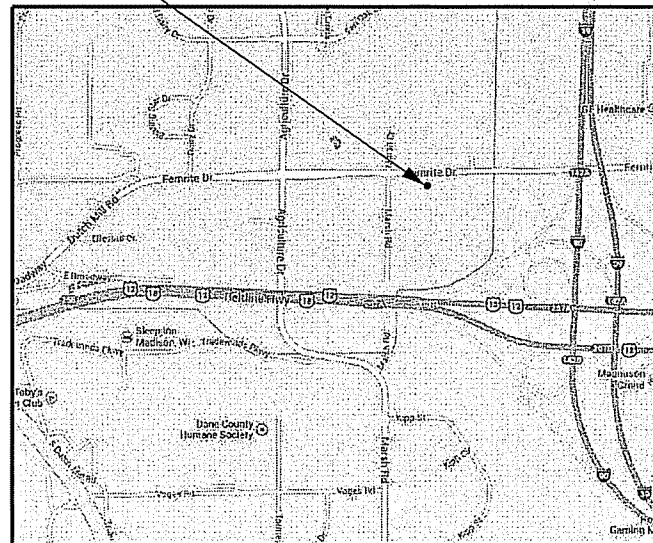
5517 FEMRITE DRIVE PARKING LOT BADGER BUS TRANSPORTATION GROUP CITY OF MADISON, DANE COUNTY

PRELIMINARY DRAWINGS

SEPTEMBER 2014



SITE LOCATION



SITE LOCATION MAP

SCALE: NTS



PROJECT DIRECTORY:

ENGINEER:
EDGE CONSULTING ENGINEERS, INC.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
CONTACT: BRIAN BEAULIEU
PHONE: (608) 644-1449

OWNER:
BADGER BUS TRANSPORTATION GROUP
5501 FEMRITE DRIVE
MADISON, WI 53718
CONTACT: DAVID MEIER
PHONE: (608) 255-1511

PROJECT INFO:

SITE LOCATION:
5517 FEMRITE DRIVE
MADISON, WI 53718

PLSS LOCATION:
SW 1/4 OF THE SW 1/4,
SEC 23, T7N, R10E,
CITY OF MADISON,
DANE COUNTY,
WISCONSIN

ZONING:
EXISTING - IL (INDUSTRIAL LIMITED)
PROPOSED - IL (INDUSTRIAL LIMITED)

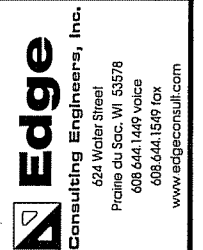
PARCEL NO.:
071023300941

PROJECT AREAS:
TOTAL PROPERTY AREA - 0.337 ACRES - 14,670 SF
TOTAL DISTURBED AREA - 13,765 SF
EXISTING IMPERVIOUS AREA - 3,470 SF
ADDITIONAL IMPERVIOUS AREA - 6,235 SF
TOTAL IMPERVIOUS AREA - 9,705 SF (66.2%)
TOTAL PERVIOUS AREA - 4,965 SF (33.8%)

SHEET INDEX:

NO.: **PAGE TITLE**

| | |
|------|----------------------|
| G001 | COVER SHEET |
| C101 | DEMOLITION PLAN |
| C102 | SITE PLAN |
| C103 | GRADING PLAN |
| C501 | CONSTRUCTION DETAILS |
| C502 | CONSTRUCTION DETAILS |
| L100 | LANDSCAPING PLAN |



5517 FEMRITE DRIVE PARKING LOT
BADGER BUS TRANSPORTATION GROUP
CITY OF MADISON, DANE COUNTY

TITLE SHEET

| MARK | DATE | DESCRIPTION |
|------|------------|-----------------------------|
| 1 | 08/27/2014 | APPLICATION REVIEW DRAWINGS |
| 2 | 09/11/2014 | PRELIMINARY REVIEW DRAWINGS |
| 3 | 09/24/2014 | REVISED PRELIM DRAWINGS |

ISSUE DATE:
09/11/2014

SET TYPE:
PR

GRAPHIC SCALE:
2.000" = 1 in.

DRAWN BY:
BJB

CHECKED BY:
AJO

PLOT DATE:
9/24/2014

PROJECT NUMBER:
11160

FILE NAME:
G001.dgn

SHEET IDENTIFICATION:
G001

MEMBER
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

FAX A LOCATE 1-800-338-3860
TDD (FOR HEARING IMPAIRED) 1-800-542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

ENGINEER SEAL:

PRELIMINARY
NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

SIGNATURE: _____

DATE: _____

GENERAL DEMOLITION NOTES

- IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THEN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PREFORM WORK CONTAINED ON THIS DRAWING. EXCAVATION SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
- EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCREPANCIES REPORTED TO ENGINEER PRIOR TO STARTING OF WORK.
- ALL UTILITY SERVICES TO EXISTING BUILDINGS SCHEDULED FOR DEMOLITION SHALL BE REMOVED BY UTILITY PROVIDER OR CONTRACTOR WHERE ALLOWED. MAINTAIN ALL OTHER UTILITY SERVICES ADJACENT TO THIS PROJECT IN SERVICE THROUGHOUT PROJECT. RELOCATE EXISTING UTILITY SERVICES WHEN REQUIRED. CONTRACTOR TO COORDINATE CONSTRUCTION SEQUENCING WITH ALL AFFECTED UTILITIES. A LISTING OF KNOWN UTILITY PROVIDERS IS AS FOLLOWS:
NATURAL GAS (MADISON GAS & ELECTRIC)
ELECTRIC (MADISON GAS & ELECTRIC AND ATC)
WATER / SEWER (CITY OF MADISON)
TELECOMMUNICATIONS (AT&T)
CABLE TV (CHARTER COMMUNICATIONS)
- REMOVE ALL TREES AND VEGETATION WITHIN DEMO LIMITS AS PART OF THIS PROJECT UNLESS OTHERWISE NOTED. TREES NOTED TO REMAIN SHALL BE PROTECTED THROUGHOUT THE PROJECT.
- STAGING AREAS SHALL BE LOCATED WITHIN THE PROPERTY, OR ON ADJACENT PROPERTY OWNED BY BADGER BUS WITH PRIOR KNOWLEDGE OF OWNER.
- BASEMENT FOUNDATIONS AND FLOORS SHALL BE REMOVED COMPLETELY.
- CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE, TO PROTECT THE PUBLIC AND ALLOW CONTINUED ACCESS TO NEIGHBORING BUILDINGS OUTSIDE OF THE PROJECT LIMITS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH NR447 FOR DUST CONTROL. DEMOLITION TO BE COMPLETED KEEPING BUILDING MATERIALS WET ALLOWING NO VISIBLE EMISSIONS.
- CONTRACTOR SHALL REMOVE, CONTAIN AND PROPERLY DISPOSE OF ALL HVAC SYSTEMS AND REFRIGERANTS FROM EXISTING A/C UNITS AND OTHER COOLING SYSTEMS.
- CONTRACTOR TO NOTIFY THE MADISON WATER UTILITY TO REMOVE WATER METERS PRIOR TO DEMOLITION. ALL REMOVED WATER SERVICES SHALL BE ABANDONED IN ACCORDANCE WITH CITY OF MADISON WATER UTILITY REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS TO PERMANENTLY PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVE THE BUILDING(S) BEING DEMOLISHED AT THE MAIN. FOR EACH LATERAL TO BE PERMANENTLY PLUGGED THE CONTRACTOR SHALL PAY FOR THE APPROPRIATE DEPOSITS AND FEES IN ACCORDANCE WITH CITY REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE A REUSE/RECYCLING PLAN, TO BE REVIEWED AND APPROVED BY THE CITY'S RECYCLING COORDINATOR, MR. GEORGE DRECKMANN, PRIOR TO DEMOLITION.
- CONTRACTOR SHALL SUBMIT DOCUMENTATION DEMONSTRATING COMPLIANCE WITH THE APPROVED REUSE AND RECYCLING PLAN WITHIN 30 DAYS OF COMPLETION OF DEMOLITION.
- CONTRACTOR SHALL NOTIFY THE OWNER IF ANY WELLS ARE ENCOUNTERED DURING DEMOLITION.
- ALL BENCHMARKS AND CONTROL POINTS SHALL BE PROTECTED AND THE CONTRACTOR SHALL BE REQUIRED TO PAY FOR REPLACEMENT OF ANY THAT ARE DISTURBED DURING CONSTRUCTION.

LEAD AND ASBESTOS NOTE:

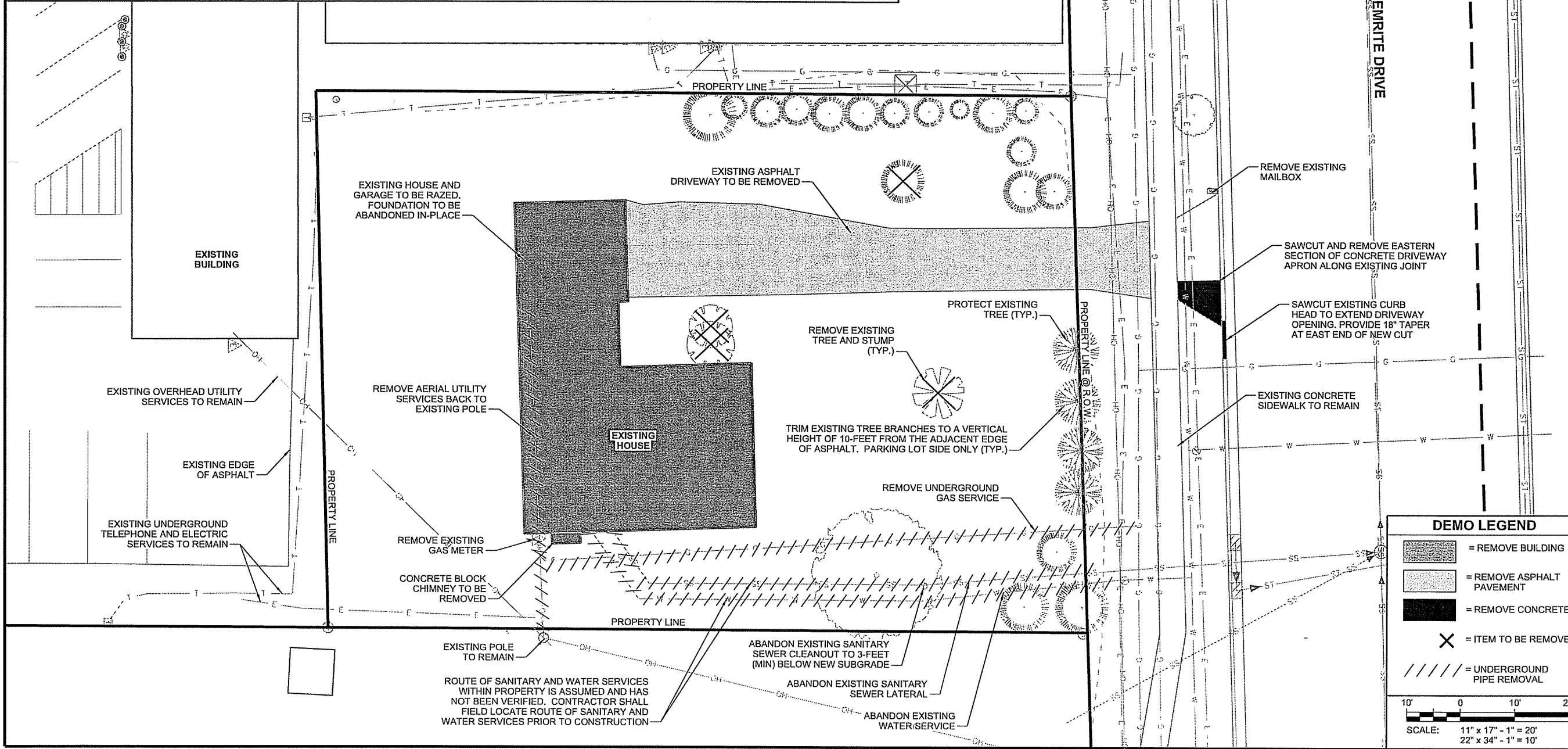
THE PRESENCE OF LEAD PAINT AND ASBESTOS HAS NOT BEEN DETERMINED. CONTRACTOR SHALL VERIFY THAT ALL HAZARDOUS MATERIALS ARE PROPERLY REMOVED FROM THE BUILDINGS PRIOR TO DEMOLITION. CONTRACTOR SHALL PROVIDE HAZARDOUS WASTE TESTING, REMOVAL, HAULING, AND DISPOSAL DETAILS PRIOR TO THE WORK TAKING PLACE.



Edge
Consulting Engineers, Inc.
624 Water Street
Framingham, MA 01901
508.644.1449 voice
508.644.1549 fax
www.edgeconsult.com

5517 FEMRITE DRIVE PARKING LOT
BADGER BUS TRANSPORTATION GROUP
CITY OF MADISON, DANE COUNTY

DEMOLITION PLAN



DEMO LEGEND

- [Hatched Box] = REMOVE BUILDING
- [Dotted Box] = REMOVE ASPHALT PAVEMENT
- [Solid Black Box] = REMOVE CONCRETE
- [X] = ITEM TO BE REMOVED
- [Dashed Line] = UNDERGROUND PIPE REMOVAL

SCALE: 11" x 17" - 1" = 20'
22" x 34" - 1" = 10'

REVISIONS:

| MARK | DATE | DESCRIPTION |
|------|------------|-----------------------------|
| 1 | 08/27/2014 | APPLICATION REVIEW DRAWINGS |
| 2 | 08/17/2014 | PRELIMINARY REVIEW DRAWINGS |
| 3 | 09/24/2014 | REVISED PRELIM. DRAWINGS |

ISSUE DATE: 09/11/2014

SET TYPE: PR

GRAPHIC SCALE: 20,000' / in.

DRAWN BY: BJB

CHECKED BY: AJO

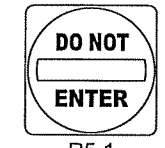
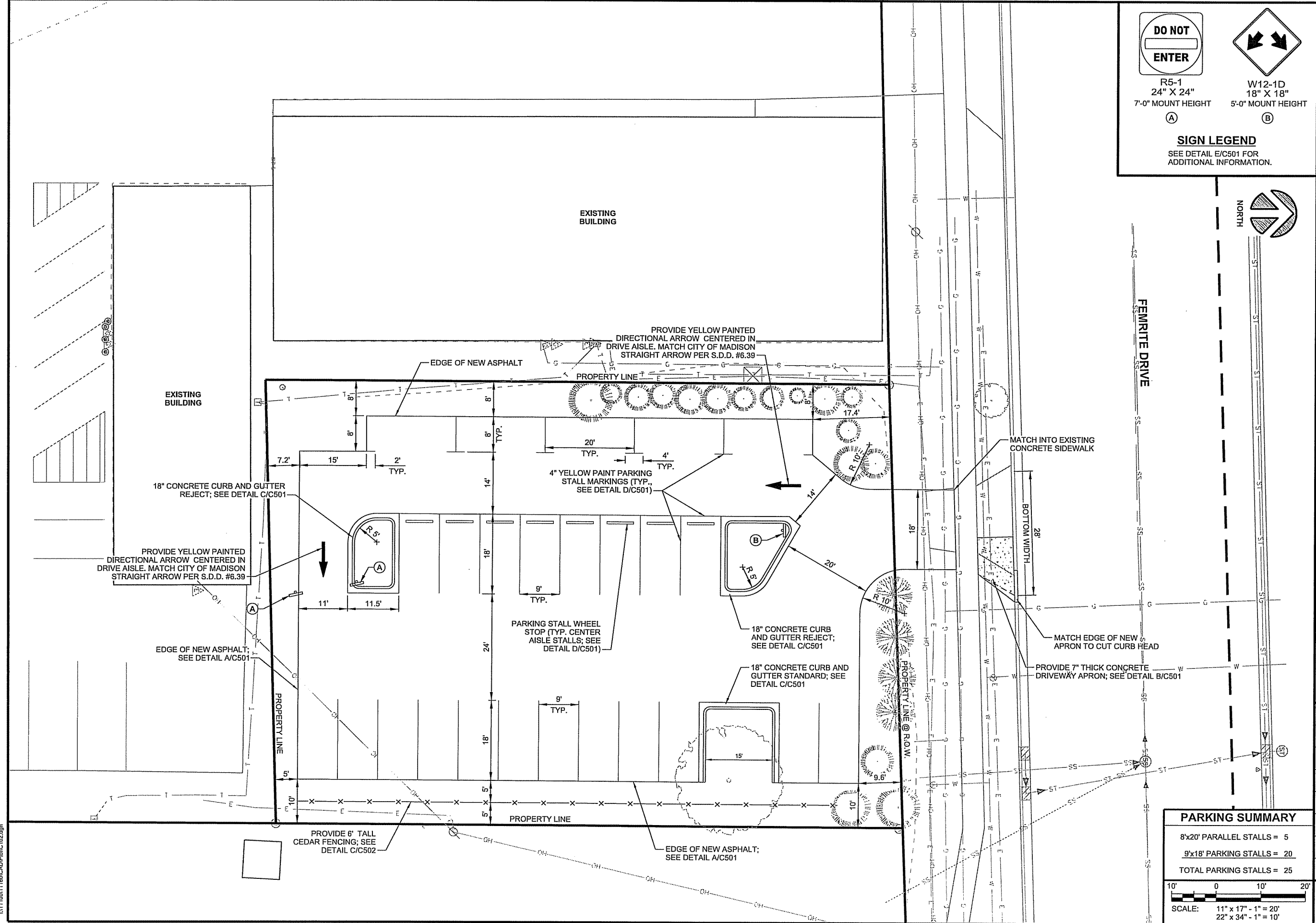
PLOT DATE: 9/24/2014

PROJECT NUMBER: 11160

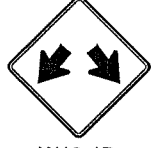
FILE NAME: C101.dgn

SHEET IDENTIFICATION:
C101

I:\11160\1160\CAD\Plan\C101.dgn



R5-1
24" X 24"
7'-0" MOUNT HEIGHT
(A)



W12-1D
18" X 18"
5'-0" MOUNT HEIGHT
(B)

SIGN LEGEND

SEE DETAIL E/C501 FOR ADDITIONAL INFORMATION.

Edge
Consulting Engineers, Inc.
604 Water Street
Prairie du Sac, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

5517 FEMRITE DRIVE PARKING LOT
BADGER BUS TRANSPORTATION GROUP
CITY OF MADISON, DANE COUNTY

SITE PLAN

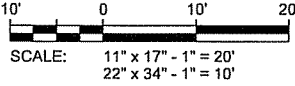
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| | |
|-----------------|---------------|
| ISSUE DATE: | 09/11/2014 |
| SET TYPE: | PR |
| GRAPHIC SCALE: | 20,000' / in. |
| DRAWN BY: | BJB |
| CHECKED BY: | AJO |
| PLOT DATE: | 9/24/2014 |
| PROJECT NUMBER: | 11160 |
| FILE NAME: | C102.dgn |

PARKING SUMMARY

8'x20' PARALLEL STALLS = 5
9'x18' PARKING STALLS = 20
TOTAL PARKING STALLS = 25



SHEET IDENTIFICATION:
C102

R1:110001160CADPLOT102.dgn

EROSION CONTROL GENERAL NOTES

1. ALL CONTRACTORS SHALL COMPLY WITH APPROVED PERMIT REQUIREMENTS FROM THE CITY OF MADISON.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.
3. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER WHICH RESULTS IN RUNOFF.
4. THE EROSION CONTROL ITEMS SHOWN ARE THE MINIMUM REQUIRED. ACTUAL LOCATIONS AND TYPE SHALL BE ADJUSTED IN THE FIELD BY CONTRACTOR WHILE MAINTAINING PERMIT COMPLIANCE.
5. WDOT TYPE D INLET PROTECTION SHALL BE INSTALLED AT ALL ON-SITE INLETS AND IMMEDIATE DOWN STREAM STORM INLETS WITHIN ADJACENT PUBLIC ROADWAYS. DEVICES TO BE INSTALLED IMMEDIATELY AFTER INLET INSTALLATION, MAINTAINED BY THE CONTRACTOR AND KEPT IN PLACE UNTIL FINAL SITE PAVING AND/OR STABILIZATION.
6. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT. SEDIMENT TO BE REMOVED FROM BEHIND SILT FENCE WHEN DEPOSITS REACH HALF HEIGHT OF BARRIERS TYP. FABRIC TO BE INSTALLED 4 INCHES (MIN) BELOW GRADE. ALL FINISH GRADED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINISH GRADING IS COMPLETE ON ANY AREA.
7. WDOT CLASS 1 TYPE B EROSION MAT SHALL BE PLACED ON ALL TURF SLOPES GREATER THAN 10:1 (H:V) AND DITCH BOTTOMS.
8. SEEDED GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND EROSION MAT. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.
9. SOIL STOCKPILES EXISTING FOR MORE THAN 7 DAYS SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER APPROVED MEANS.

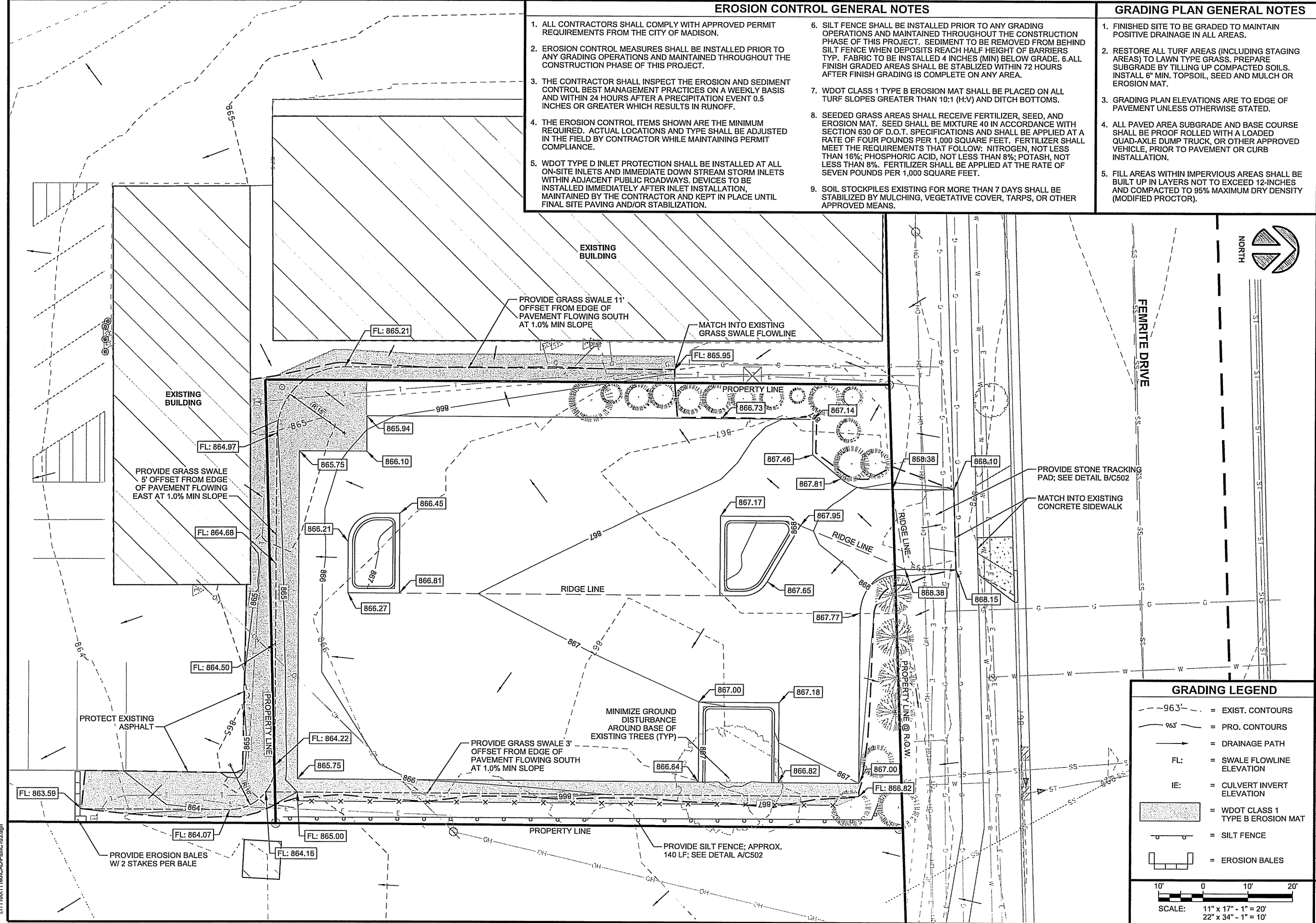
GRADING PLAN GENERAL NOTES

1. FINISHED SITE TO BE GRADED TO MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
2. RESTORE ALL TURF AREAS (INCLUDING STAGING AREAS) TO LAWN TYPE GRASS. PREPARE SUBGRADE BY TILLING UP COMPACTED SOILS. INSTALL 6" MIN. TOPSOIL, SEED AND MULCH OR EROSION MAT.
3. GRADING PLAN ELEVATIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE STATED.
4. ALL PAVED AREA SUBGRADE AND BASE COURSE SHALL BE PROOF ROLLED WITH A LOADED QUAD-AXLE DUMP TRUCK, OR OTHER APPROVED VEHICLE, PRIOR TO PAVEMENT OR CURB INSTALLATION.
5. FILL AREAS WITHIN IMPERVIOUS AREAS SHALL BE BUILT UP IN LAYERS NOT TO EXCEED 12-INCHES AND COMPACTED TO 95% MAXIMUM DRY DENSITY (MODIFIED PROCTOR).

Edge Consulting Engineers, Inc.
 624 Water Street
 Prairie du Sac, WI 53578
 608.644.1499 voice
 608.644.1549 fax
 www.edgeconsult.com

5517 FEMRITE DRIVE PARKING LOT
 BADGER BUS TRANSPORTATION GROUP
 CITY OF MADISON, DANE COUNTY

GRADING PLAN



GRADING LEGEND

- - - 963' = EXIST. CONTOURS
- 963' = PRO. CONTOURS
- = DRAINAGE PATH
- FL: = SWALE FLOWLINE ELEVATION
- IE: = CULVERT INVERT ELEVATION
- [Pattern] = WDOT CLASS 1 TYPE B EROSION MAT
- [Symbol] = SILT FENCE
- [Symbol] = EROSION BALES

SCALE: 11" x 17" - 1" = 20'
 22" x 34" - 1" = 10'

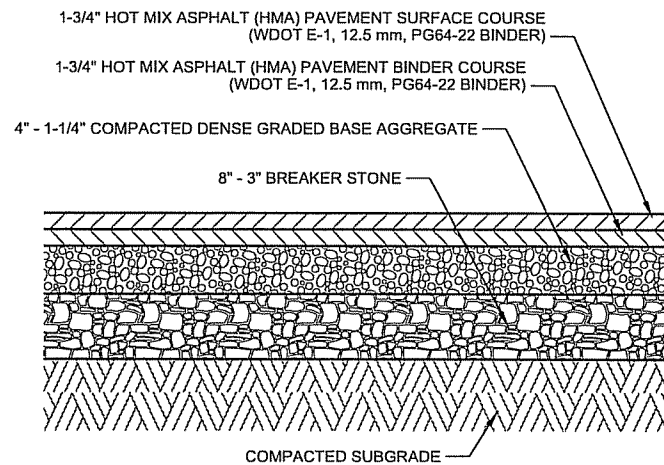
REVISIONS:

| MARK | DATE | DESCRIPTION |
|------|------------|-----------------------------|
| 1 | 08/27/2014 | APPLICATION REVIEW DRAWINGS |
| 2 | 09/11/2014 | PRELIMINARY REVIEW DRAWINGS |
| 3 | 09/24/2014 | REVISED PRELIM DRAWINGS |

ISSUE DATE: 09/11/2014
SET TYPE: PR
GRAPHIC SCALE: 20,000' / in.
DRAWN BY: BJB
CHECKED BY: AJO
PLOT DATE: 9/24/2014
PROJECT NUMBER: 11160
FILE NAME: C103.dgn

SHEET IDENTIFICATION:
C103

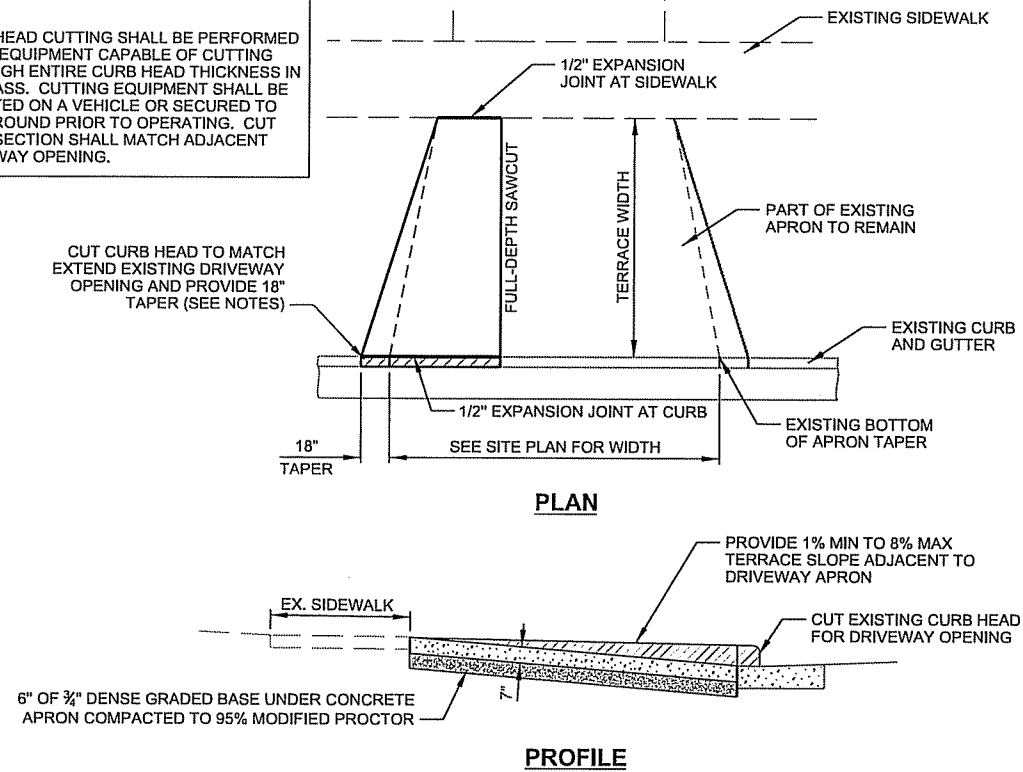
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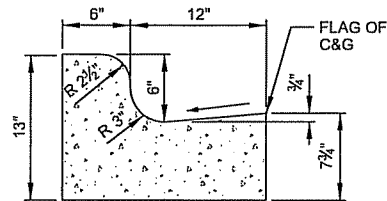
- NOTES:
1. APPLY TACK COAT BETWEEN LAYERS

A ASPHALT PAVEMENT SECTION
SCALE: NTS

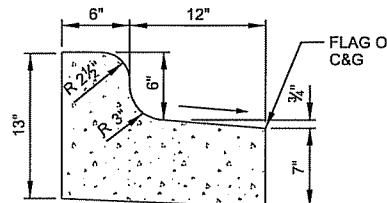
- NOTES:
1. CURB HEAD CUTTING SHALL BE PERFORMED USING EQUIPMENT CAPABLE OF CUTTING THROUGH ENTIRE CURB HEAD THICKNESS IN ONE PASS. CUTTING EQUIPMENT SHALL BE MOUNTED ON A VEHICLE OR SECURED TO THE GROUND PRIOR TO OPERATING. CUT CURB SECTION SHALL MATCH ADJACENT DRIVEWAY OPENING.



B CONCRETE DRIVEWAY APRON DETAIL
SCALE: NTS



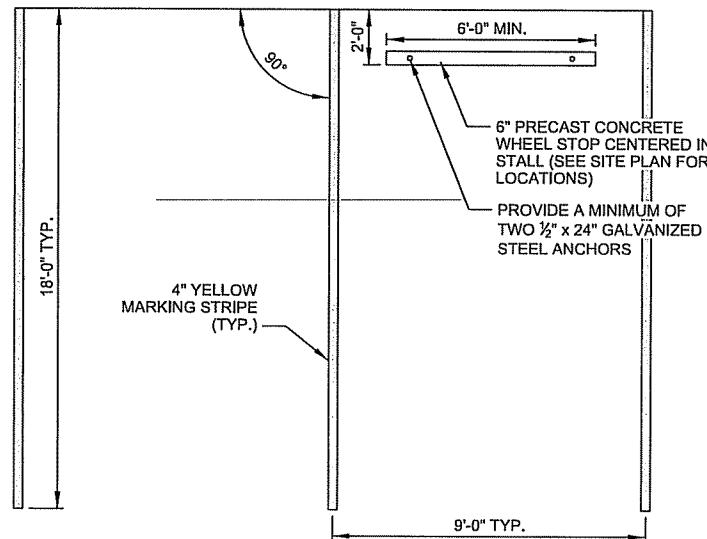
STANDARD 18" CONCRETE CURB & GUTTER



REJECT 18" CONCRETE CURB & GUTTER

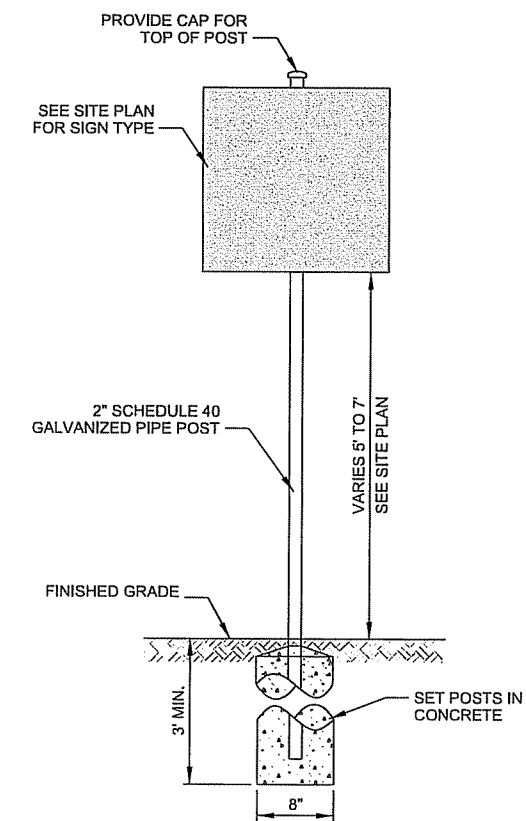
- NOTES:
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
 2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF 200' OF LESS, AND AT ANGLE POINTS, OR AS DIRECTLY BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
 3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON 6" OF THOROUGHLY COMPACTED CRUSHED STONE.
 4. HAND TOOL ALL JOINTS.
 5. MEDIUM BROOM FINISH.
 6. SEE FINE SITE PLAN FOR LOCATION OF STANDARD VS. REJECT CURB

C CONCRETE CURB & GUTTER DETAILS
SCALE: NTS



- NOTES:
1. PAINT TO BE TRAFFIC GRADE HIGH VISIBILITY (LATEX) PAINT.
 2. MARKINGS SHALL BE THICK ENOUGH TO NOT ALLOW PAVEMENT TO SHOW THROUGH PAINT SURFACE.
 3. TWO COATS MIN. REQUIRED.

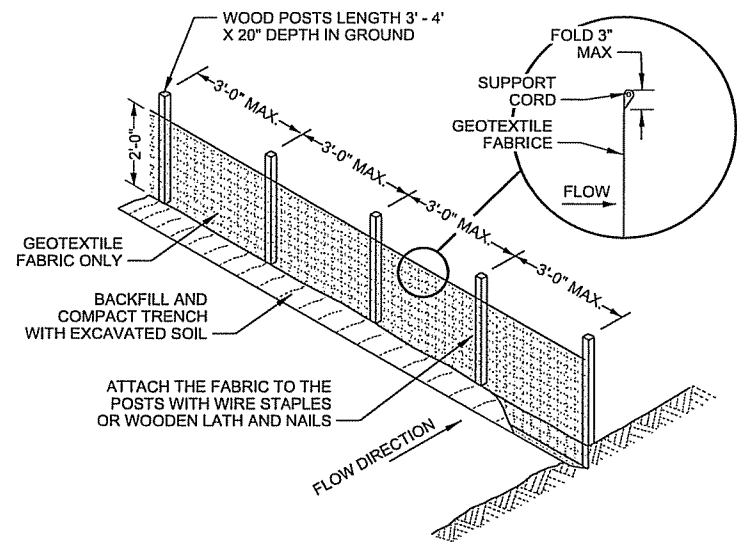
D TYPICAL PARKING STALL DETAIL
SCALE: NTS



E SIGN AND POST DETAIL
SCALE: NTS

| MARK | DATE | DESCRIPTION |
|------|------------|-----------------------------|
| 1 | 08/27/2014 | APPLICATION REVIEW DRAWINGS |
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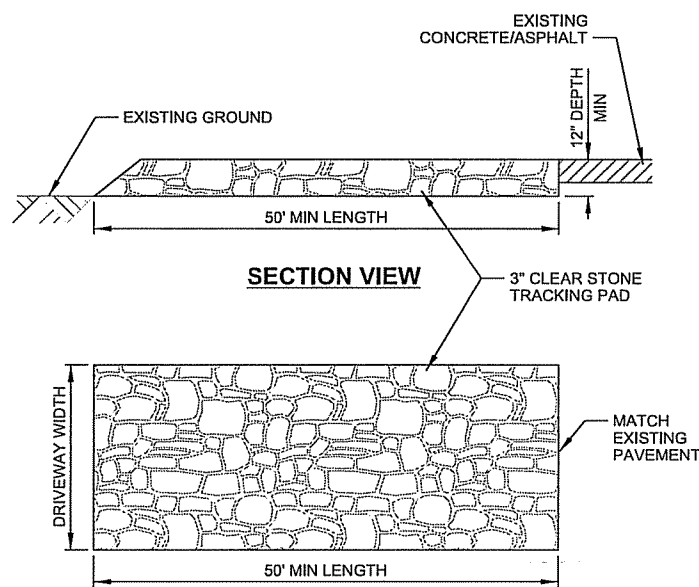
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|-----------------|--------------|
| ISSUE DATE: | 09/11/2014 |
| SET TYPE: | PR |
| GRAPHIC SCALE: | 2,000' / in. |
| DRAWN BY: | BJB |
| CHECKED BY: | AJO |
| PLOT DATE: | 9/24/2014 |
| PROJECT NUMBER: | 11160 |
| FILE NAME: | C501.dgn |



NOTES

1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
2. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF HICKORY OR OAK.
3. 8'-0" POST SPACING ALLOWED IF WOVEN GEOTEXTILE FABRIC IS USED.
4. ADDITIONAL POST DEPTH OR TIE BACKS MAYBE REQUIRED IN UNSTABLE SOILS.

A SILT FENCE DETAIL
SCALE: NTS

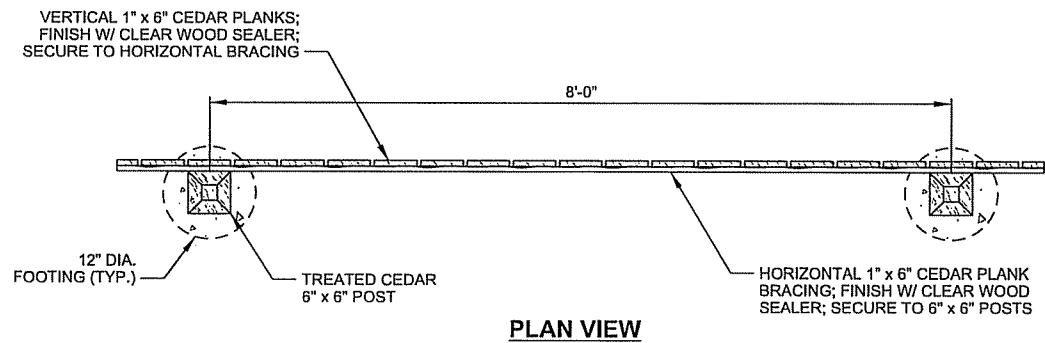


PLAN VIEW

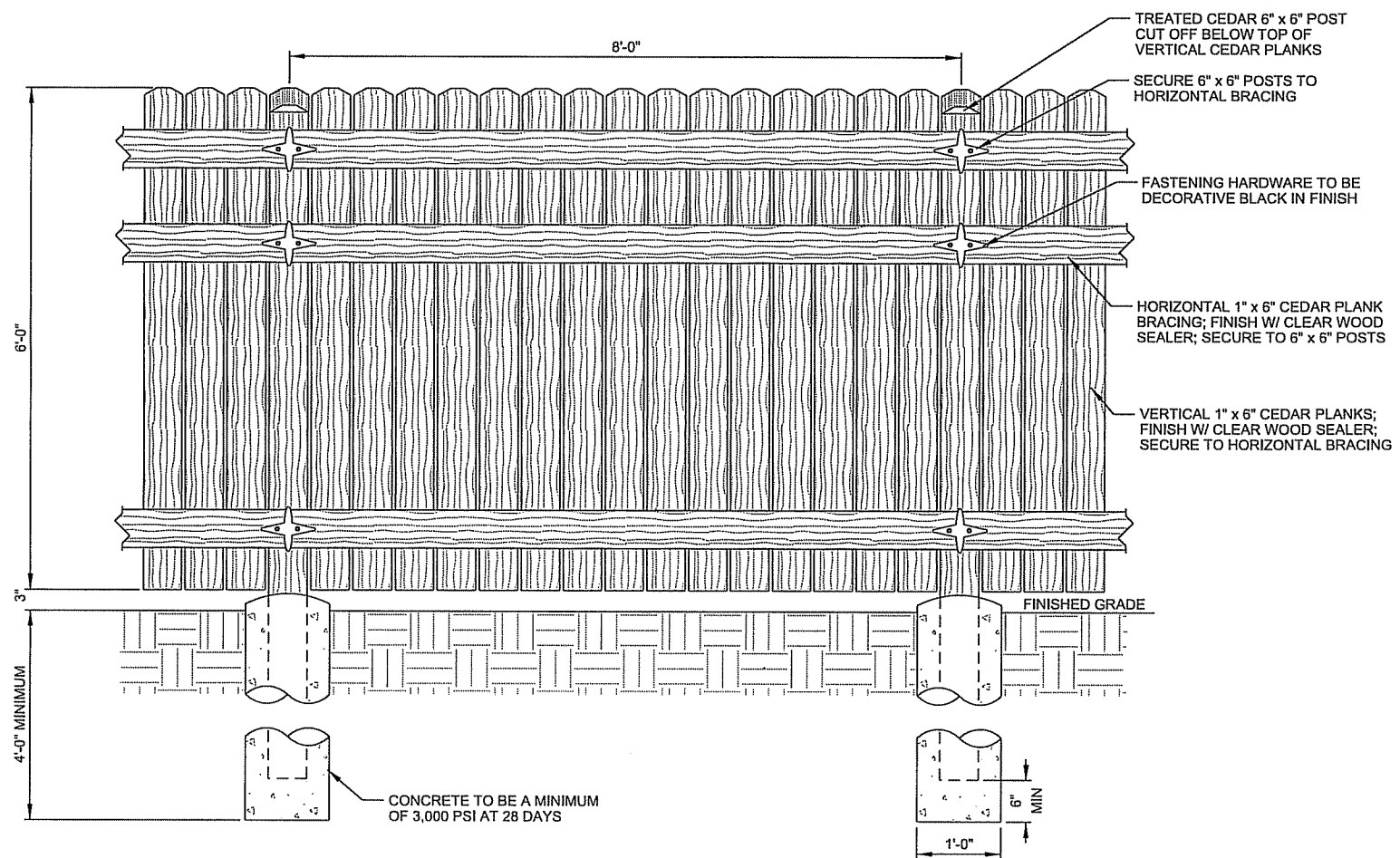
NOTES

1. TRACKING PAD WILL BE UNDERLAIN WITH A GEOTEXTILE FABRIC IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057

B STONE TRACKING PAD
SCALE: NTS



PLAN VIEW



ELEVATION (INTERIOR) VIEW

C CEDAR PRIVACY FENCE DETAIL
SCALE: NTS

REVISIONS:

| MARK | DATE | DESCRIPTION |
|------|------------|------------------------------|
| 1 | 08/22/2014 | ARRIBACKTION REVIEW DRAWINGS |
| 2 | 08/11/2014 | PRELIMINARY REVIEW DRAWINGS |
| 3 | 09/24/2014 | REVISED PRELIM. DRAWINGS |

ISSUE DATE:

09/11/2014

SET TYPE:

PR

GRAPHIC SCALE:

2,000' / in.

DRAWN BY:

BJB

CHECKED BY:

AJO

PLOT DATE:

9/24/2014

PROJECT NUMBER:

11160

FILE NAME:

C502.dgn

SHEET IDENTIFICATION:

C502

C502

5517 FEMRITE DRIVE PARKING LOT

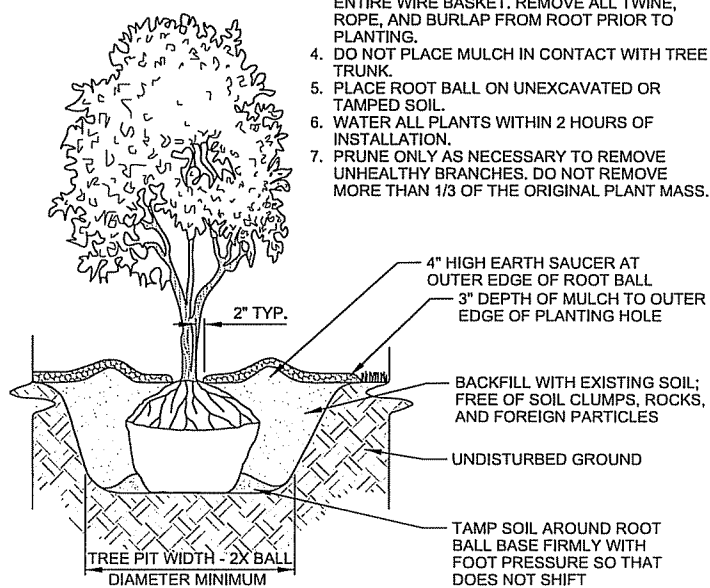
BADGER BUS TRANSPORTATION GROUP

Proposed Plant List

| Symbol | Quantity | Scientific Name | Common Name | Height | Spread | Size | Points Each | Total Points |
|--------|----------|-------------------------------------|-------------------------|--------|--------|---------|---------------------|--------------|
| GS | 2 | Gleditsia triacanthos 'Shademaster' | Shademaster Honeylocust | 50-60' | 30-35' | 2.5" BB | 35 | 70 |
| JS | 6 | Juniperus horizontalis 'Wisconsin' | Wisconsin Juniper | 8" | 5' | 3 gal. | 4 | 24 |
| AC | 33 | Asarum canadense | Canada Wild Ginger | 6-12" | 18" | 1 gal. | 0 | 0 |
| | | | | | | | Total Points | 94 |

NOTES:

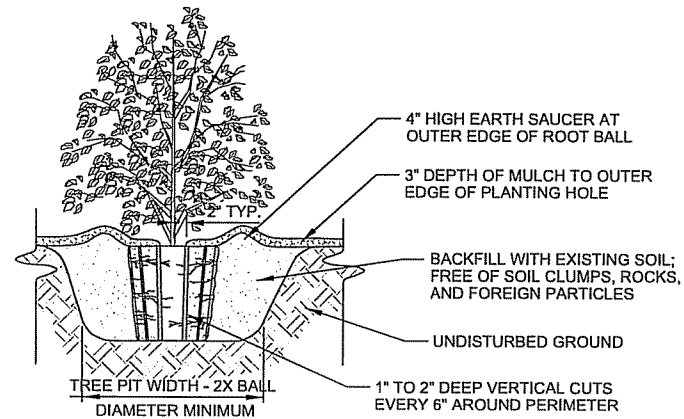
1. PLANT EACH TREE SUCH THAT THE BASE OF THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE ENTIRE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT PRIOR TO PLANTING.
4. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



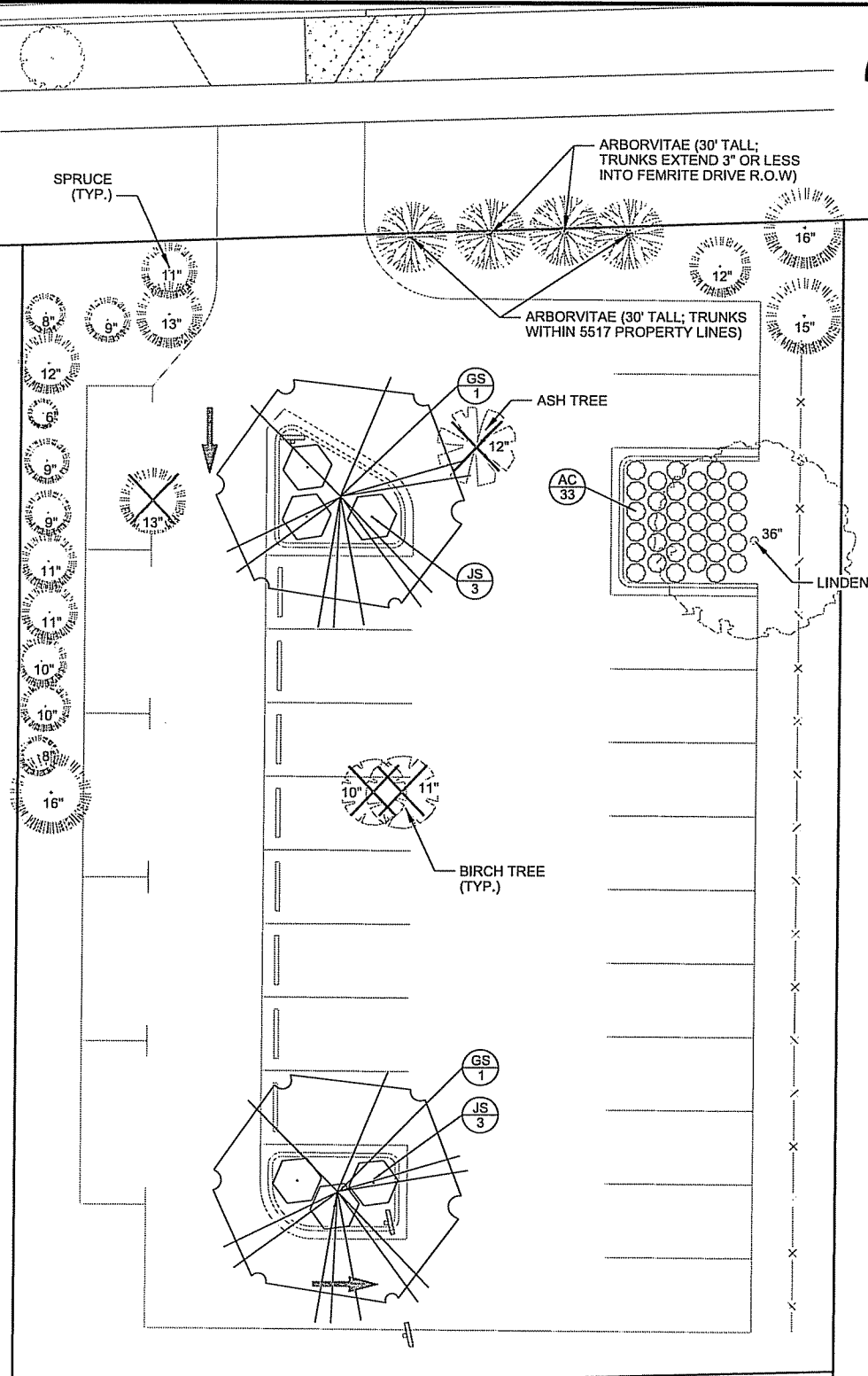
A BALL & BURLAP TREE PLANTING DETAIL
SCALE: NTS

NOTES:

1. FOR 3 TO 10 GALLON CONTAINERS: MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.

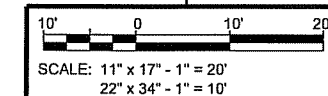


B LARGE CONTAINER PLANTING DETAIL
SCALE: NTS



NOTES:

1. EXISTING MATURE DECIDUOUS AND EVERGREEN TREES TO REMAIN AND BE PROTECTED AS SHOWN ON THE DRAWINGS.
2. CONTRACTOR TO REMOVE DEAD AND DAMAGED LIMBS, AND PRUNE LOWER LIMBS TO A HEIGHT OF 10' ABOVE THE ADJACENT EDGE OF PAVEMENT TO PROVIDE VERTICAL CLEARANCE FOR PARKING STALLS.
3. TREES SHALL BE PRUNED ACCORDING TO STANDARD HORTICULTURAL PRACTICES.
4. TREE CALIPER GIVEN IN INCHES NEAR CENTER OF TREE SYMBOL.



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Prairie du Sac, WI 53578
608.644.1449 voice
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www.edgeconsult.com

5517 FEMRITE DRIVE PARKING LOT
BADGER BUS TRANSPORTATION GROUP
CITY OF MADISON, DANE COUNTY

LANDSCAPE PLAN

REVISIONS:

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CHECKED BY: AJO

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FILE NAME: L100.dgn

SHEET IDENTIFICATION:
L100