

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

**RECEIVED**

8/12/2020  
11:52 a.m.

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: 920 E Main St

Title: Archipelago Apartments

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested October 7, 2020

- New development       Alteration to an existing or previously-approved development  
 Informational       Initial approval       Final approval

## 3. Project Type

- Project in an Urban Design District  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
     General Development Plan (GDP)  
     Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

### Signage

- Comprehensive Design Review (CDR)  
 Signage Variance (i.e. modification of signage height, area, and setback)  
 Signage Exception

### Other

- Please specify  
    Conditional Use

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Curt Brink  
**Street address** 505 N Carrol St  
**Telephone** 575-4845

**Company** \_\_\_\_\_  
**City/State/Zip** Madison, WI 53703  
**Email** curtbrink@hotmail.com

**Project contact person** Doug Hursh  
**Street address** 749 University Row St 300  
**Telephone** 608-274-2741

**Company** Potter Lawson Inc  
**City/State/Zip** Madison, WI 53705  
**Email** dough@potterlawson.com

**Property owner (if not applicant)** Archipelago Village, LLC - Curt Brink  
**Street address** 505 N Carrol St  
**Telephone** 575-4845

**City/State/Zip** Madison, WI 53703  
**Email** curtbrink@hotmail.com

**5. Required Submittal Materials**

- Application Form**
- Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal\***
- Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on 07/15/2020. The project has been discussed several times including previously at UDC for WHEDA and 929 E Washington
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Durg Hursh Relationship to property Architect  
 Authorizing signature of property owner Curtis Beint Date 08/12/2020

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



August 12, 2020

City of Madison, Plan Commission  
Madison Municipal Building, Suite 017  
215 Martin Luther King Jr. Blvd.  
Madison, Wisconsin 53703  
Via: Email

**Letter of Intent**  
**Archipelago Apartments**  
**920 E. Main St., Madison, WI**

This Letter of Intent together with the Development Plans are submitted as part of the Land Use Application.

**Relationship to Adjacent Development:**

This project is the next phase of development proposed on the 900 block of East Washington Avenue and East Main Street, previously referred to as the Mautz Paint factory site. This submittal involves a proposed mixed-use apartment building at 920 East Main Street. This application assumes either prior completion or concurrent construction of the Phase One Parking Structure of Archipelago Village. The Phase One Parking Structure mentioned throughout this application refers to the southern portion of the previously approved 929 E. Washington Ave. project which is being separately proposed. The proposed mixed-use development at 920 E. Main St. is not necessarily bound to the construction schedule of the parking structure, meaning that the Phase One Parking Structure may exist in an interim stand-alone state for a period before the construction of this proposed project. However, this project is fully dependent on the existence of the Phase One Parking Structure both in terms of its parking requirements and structurally dependent relationship as an addition to the parking structure.



### **920 E. Main St. Mixed-Use Building:**

The proposed mixed-use building will sit immediately adjacent to the parking structure and will provide a vibrant mix of uses along East Main Street including commercial space and apartment residences. Over 300,000 square feet of office/employment use is already being proposed for development on this block. There is insufficient space on the block to accommodate the parking that would be needed for additional employment uses to be added on this site. Residential utilization of the site reduces the peak traffic and parking stall needs of the block during business hours while making good use of the infrastructure investment of the parking structure and green roof during non-business hours. Residential use also helps to activate the block during non-business hours providing increased activity and safety during evenings and weekends. East Main Street is a quiet street compared to East Washington Avenue and can provide a more peaceful and desirable place to live. The building is also within one block of McPike Park providing access to outdoor recreation and green space. We believe that residential utilization within the development of Archipelago Village is beneficial to the urban area and creates a balanced city block and neighborhood where one can work, live, and have access to local amenities within walking distance.

The proposed architecture of the mixed-use building compliments the current neighborhood by recalling the brick industrial buildings typical of the area while also incorporating modern metal and glass elements of its time. The architectural aesthetic of the building is contextually inspired and intended to strengthen the sense of place of the historically industrial neighborhood. The brick facades of the lower eight stories are generously detailed to provide depth and shadow. The upper two floors are stepped back and clad in a lightweight metal and glass façade to create a unique and modern top for the building. The 10-story building form follows the step-back requirements of Urban Design District 8.

The existing Wisconsin Telephone Garage building would remain on the site. No addition above this existing building is being proposed, and no adaptive reuse project for the existing space is being proposed at this time.

### **Phase One Parking Structure**

The Phase One Parking Structure will be built to provide parking for the WHEDA building at 908 East Main Street, Hotel Indigo at 901 East Washington Ave, and for the apartments and commercial space at 920 East Main Street. It will also be available for the public, and for neighborhood events, with the most stalls being available for after business hours and weekends. The construction of the parking structure allows the remaining sites on the block to be developed. When future phases of the project are built the parking structure will be mostly surrounded by buildings and mostly enclosed in the center of the block.

The design of the Phase One Parking Structure utilizes a light weight corrugated perforated metal façade hung off of a post-tensioned concrete structure. The panels are designed to be easily removed and recycled once future phases are added to the structure. Temporary and permanent mural walls are provided at the lower level to add interest and art to the pedestrian level.

#### **Phase One Parking Structure - Data:**

Number of Stalls:	387 stalls
Stall Use:	
WHEDA Building:	225 stalls
Hotel Indigo:	75 stalls
Apartment Residents:	remainder of 87 stalls
Number of floors:	5 floors

**Affordability:**

The project will have 20% of the units classified as affordable at 80% of medium income levels.

**Project Data:**

Building Height: 110' – 9 ½"  
Building Area: 105,738 sq. ft.  
Number of Floors: 10  
Number of Units: 75  
Commercial Tenant Space: 5,436 sq. ft.  
Site Area: 13,817 sq. ft. (0.317 acres)  
Units per Acre: 237  
Open Area: 34,560 sq. ft. (includes 28,800 sq. ft. green roof above parking structure)  
Open Area per Unit: 461 sq. ft.

**Unit Data:**

Level	Number of Beds	Number of Units
2	7	6
3	7	6
4	7	6
5	10	10
6	11	11
7	11	11
8	11	11
9	8	7
10	8	7
<b>TOTAL</b>	<b>80</b>	<b>75</b>

Unit Type	Number of Bedrooms	Unit Area (sq. ft.)	Quantity of Units
A	2	1175	3
B	1	990	3
C	1	1021	6
D	1	1090	3
E	1	1037	3
G	1	698	12
H	1	810	4
I	1	769	4
J	1	680	4
K	1	692	8
L	1	613	4
M	1	684	4
N	1	708	3
O	2	1208	2
P	1	961	2
Q	1	944	2
R	1	931	2
S	1	917	2
T	1	881	2
U	1	838	2

**Zoning Requirements:**

1. The project is zoned for Traditional Employment (TE)
  - a. Multi-Family Dwelling requires Conditional Use Approval
2. Building Form: Podium Building
3. Automobile Parking Requirements:

- a. Multi-Family Dwelling Parking Requirements:
  - i. 1 stall per dwelling x 75 units = 75 stalls required
- b. General Retail Parking Requirements:
  - i. 1 stall per 400 sq. ft. floor area. 5,436 sq. ft./400 = 14 stalls required
- c. The required number of stalls will be provided within the adjacent parking structure under the assumption that parking facilities shared between retail and residential uses benefit from an offset in peak demand hours.
- d. Add the table of information about the number of stalls and needs of both Hotel and WHEDA
4. Bicycle Parking Requirements:
  - a. Multi-Family Dwelling Bicycle Parking Requirements:
    - i. 1 stall per unit up to 2 bedrooms, plus ½ stall per additional bedroom, plus 1 guest stall per 10 units
    - ii. Required: 75 stalls for residents plus 10 guest stalls = 85 stalls required
  - b. General Retail Bicycle Parking Requirements:
    - i. 1 stall per 2,000 sq. ft. floor area. 5,436 sq. ft./2,000 = 3 stalls required
  - c. Long-term bike storage for 85 bikes will be provided for residents and guests in a secure bike storage room within the 920 E. Main St. addition. Outdoor bike racks for 6 bikes will be provided to meet the requirements for retail space.
5. Parking Reductions:
  - a. Vehicular: Up to 50% reduction possible within 600 feet of a high-frequency transit corridor. The Zoning Administrator may authorize a reduction in the minimum number of parking spaces required upon a determination that the hours of peak use among multiple uses would result in lower parking demand.
  - b. Bicycle: Zoning Administrator may reduce requirement based on several factors.
6. Loading Requirements: Loading areas are shared with the rest of the Archipelago Village development. Shared loading spaces include (3) 10' x 50' semi-truck loading areas on the internal drive.
7. A trash area is provided in an enclosed room and is accessed from the internal drive.

### Urban Design District Eight – Preliminary Summary of Standards & Requirements: Block 13b

1. Building Height Requirements:
  - a. Maximum Building Height Allowed: 123' (based on 15' for ground floor and 12' for upper floors)
  - b. Maximum Building Height Proposed: 110' – 9 ½"
  - c. 2 Bonus stories are possible on Block 13b. This proposal utilizes both of these.
  - d. Bonus stories requested based on the fulfilled requirements below:
    - i. Structured parking shared by multiple users with space for public use.
    - ii. Mid-block and through-block public pedestrian, bike and/or vehicular connections.
    - iii. Rehabilitation of historic structures: Kleuter Building/Hotel Indigo, Reconstruction of the dismantled 924 E. Main St. façade, Wisconsin Telephone Building Garage reuse.
  - e. The proposed rebuilding and incorporation of the dismantled 924 E. Main St. façade will require an exception from the Urban Design Commission due to a façade height of less than 3-5 stories.
2. Building Location and Orientation Requirements:
  - a. Building Location Requirement: Location should provide for amenities that will enhance the visual and pedestrian character of the street. Well-designed landscaped outdoor spaces are encouraged for the use and enjoyment of employees and customers.

- b. Building Location Proposed: Location will provide a raised terrace within the setback area with paved seating areas and landscaping.
- c. Building Orientation Requirement: The front façade of the building and the primary entrance should face the primary street.
- d. Building Orientation Proposed: The front facade and entrance will face East Main Street.

	Min. Stepback E. Main St.	Min. Stepback S. Brearly St.	Min. Setback E. Main St.	Min. Setback S. Brearly St.
Urban Design District 8 Requirement	15'	15'	5'-20' *	0'-10'
920 East Main Street Addition	15'	NA	5'-0"	NA
Telephone Building (for reference)	NA	NA	7'-4"	8'-5"

\*15 feet on East Washington Ave.: Between 5 and 20 feet on other frontages

- 3. Parking and Service Area Requirements:
  - a. Off-street parking should be located behind or along the side of the building. Landscape tree islands shall be provided at a ratio of 1:12. If possible, trash areas should be located inside buildings.
  - b. Parking and Service Areas Provided: Structured parking is in the center of the block and behind the proposed development. Loading and trash are located inside the building along the internal north-south drive. No new surface parking is proposed.
- 4. Landscaping and Open Space Requirements:
  - a. For residential developments, 20 sq. ft. of open space per bedroom shall be provided. 75 units x 20 sq. ft./unit = 1,500 sq. ft. open space required.
  - b. Residents have direct access to a 28,800 sq. ft. green roof on the adjacent Phase 1 Parking Ramp. In addition to the green roof, residents will have access to private balconies and an additional 2,490 sq. ft. green roof at level 5 on the south side of the 920 E. Main St. addition. This affords a total of 461 sq. ft. of open space per unit.
- 5. Building Massing and Articulation Requirements:
  - a. Building Massing Requirements: Visual distinction should be provided between the upper and lower floors of the building. Positive vertical termination with decorative cornices or parapets should be provided. Buildings should be designed as products of their own time, not merely copying historic appearances. Existing one-story buildings should be renovated to increase building height and provide a more pleasing scale for the district.
  - b. Building Massing Proposed: The 920 E. Main St. addition is a careful blend of traditional masonry detailing and contemporary glass and metal. The upper and lower sections of the 920 E. Main St. addition are vertically differentiated by a cornice at the podium step-back and by variation in depth and detail of surface articulation. The uppermost two stories provide a distinctive contemporary language that responds to the rhythm of brick piers.
  - c. Building Articulation Requirements: All visible sides of the building shall be designed with details that complement the main facades. Architectural details at the ground floor shall be provided to enhance the pedestrian character of the street. Mechanical equipment shall be screened and integrated with the building design. Side faces that are visible from the primary street shall receive complimentary design attention.
  - d. Building Articulation Provided: First floor uses are intended to activate the street and outdoor terrace. Architectural details such as a highly articulated brick façade and cast stone details will provide

interest to the terrace and streetscape. Mechanical equipment is located internally and on the roof and is screened. Side and rear faces of the building will be similar in material and articulation to complement the E. Main St. façade and provide a pleasing aesthetic from the green roof and adjacent office buildings.

- e. Encroachments into Setback Areas: Balconies are not allowed encroachments in setback areas.
  - f. Proposed balconies on floors 5 through 8 of 920 E. Main St. would protrude 4' - 10" beyond the face of the building but remain within the maximum buildable volume allowed by the setback and stepback requirements. See the section diagram provided.
6. Material and Color Requirements:
- a. Exterior materials shall be durable, high-quality materials and appropriate for external use. Brick, stone, and terra cotta are preferred primary materials for new buildings and additions. Color choice should provide a pleasing relationship with adjoining buildings.
  - b. Materials and Colors Provided: Durable materials shall be used.
7. Window and Entrance Requirements:
- a. 60% of the ground floor shall be glazing.
  - b. Windows Provided: 60% or more of the ground floor will be glazing on the primary street façade.
  - c. Primary building entrances on all new buildings shall be oriented to the primary abutting public street. Entries should be clearly visible and identifiable from the street.
  - d. Entrances Provided: The entrance to the apartments is oriented to E. Main St. and is prominently marked by an overhead canopy and a recess in the façade. Entry to the commercial spaces at the 920 E. Main St. address will be provided through a street-facing, recessed, central entrance door via a raised terrace with space for outdoor seating.
8. Restoration of buildings with Historic Value Requirements:
- a. Owners are encouraged to restore the original character of historically significant buildings, and to support adaptive re-use of traditional industrial buildings for a variety of purposes. The distinguishing features of the original building should be preserved. Where possible, the original masonry should be restored.
  - b. Rebuilt Façade - 924 East Main Street: The brick and stone of the 924 façade was saved in order to rebuild the façade in approximately the same location where it stood originally. This approach was preferred by the neighborhood and approved by the Plan Commission. The 924 façade is incorporated into the design with new windows, garage door, and entrance, in the same locations as they existed in the past. The restored façade stands proud of the new façade and is connected with a lightweight steel and glass structure. This placement allows the façade to be set off from the new building so that it is understood as a stand-alone façade of a different era, but at the same time the façade is used to enclose useable space as it did in the past; it is not a free-standing empty façade. The Heritage Project breathes new life into the original façade. The façade is set back 5' from the property line to meet the current setback requirements. The original façade sat in approximately this location, but it was set within inches of the property line.
  - c. Wisconsin Telephone Building Garage – 946 East Main Street: The existing building is proposed to remain, the exterior façade will be renovated once a tenant is identified for the space.
9. Signage:
- a. Branding and wayfinding signage will be incorporated into the architecture of the building and site entrances.
  - b. A signage package is not part of this submittal and will be completed for submittal to the Urban Design Commission.

**Project Team:**

Role	Organization	Contacts
Developer:	Archipelago Village LLC P.O. Box 512 505 N Carrol Street Madison WI 53701	Curt Brink
Architect:	Potter Lawson, Inc. 749 University Row, Suite 300 Madison, WI 53703	Doug Hursh Robert Mangas Andrew Laufenberg Peter Schumacher Leo Hursh
Civil Engineer:	OTIE	John Thousand Anthony Miller
Landscape Architect:	Ken Saiki Design	Rebecca DeBoer Jordan Teichen

We look forward to discussing the design of the project with the Urban Design Commission. Please contact me if you have any questions regarding this submittal.

Sincerely,



Douglas R. Hursh, AIA, LEED AP  
Director of Design



Notes:

**Archipelago Village**

920 E Main St Archipelago  
Apartments

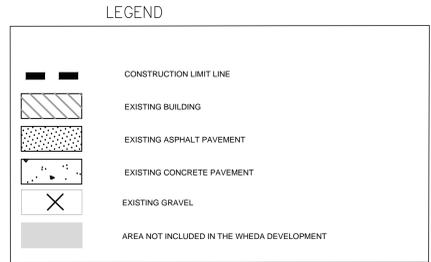
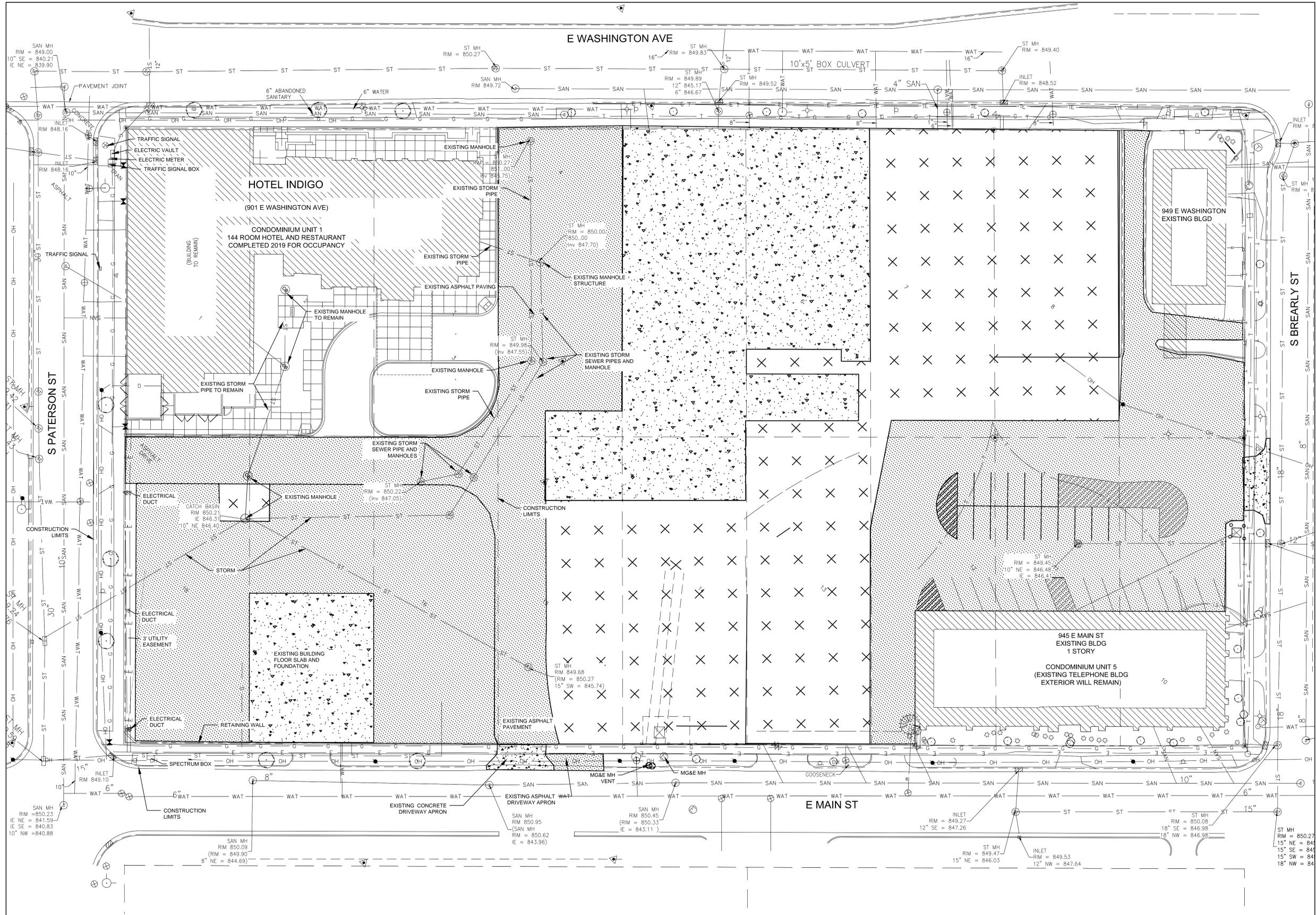
Archipelago Village LLC  
505 N Carol St  
Madison, WI 53701

Project #: 2016.36.05

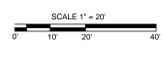
Date	Issuance/Revisions	Symbol
08/12/2020	Land Use Application	

**920 E. MAIN SITE  
EXISTING PLAN**

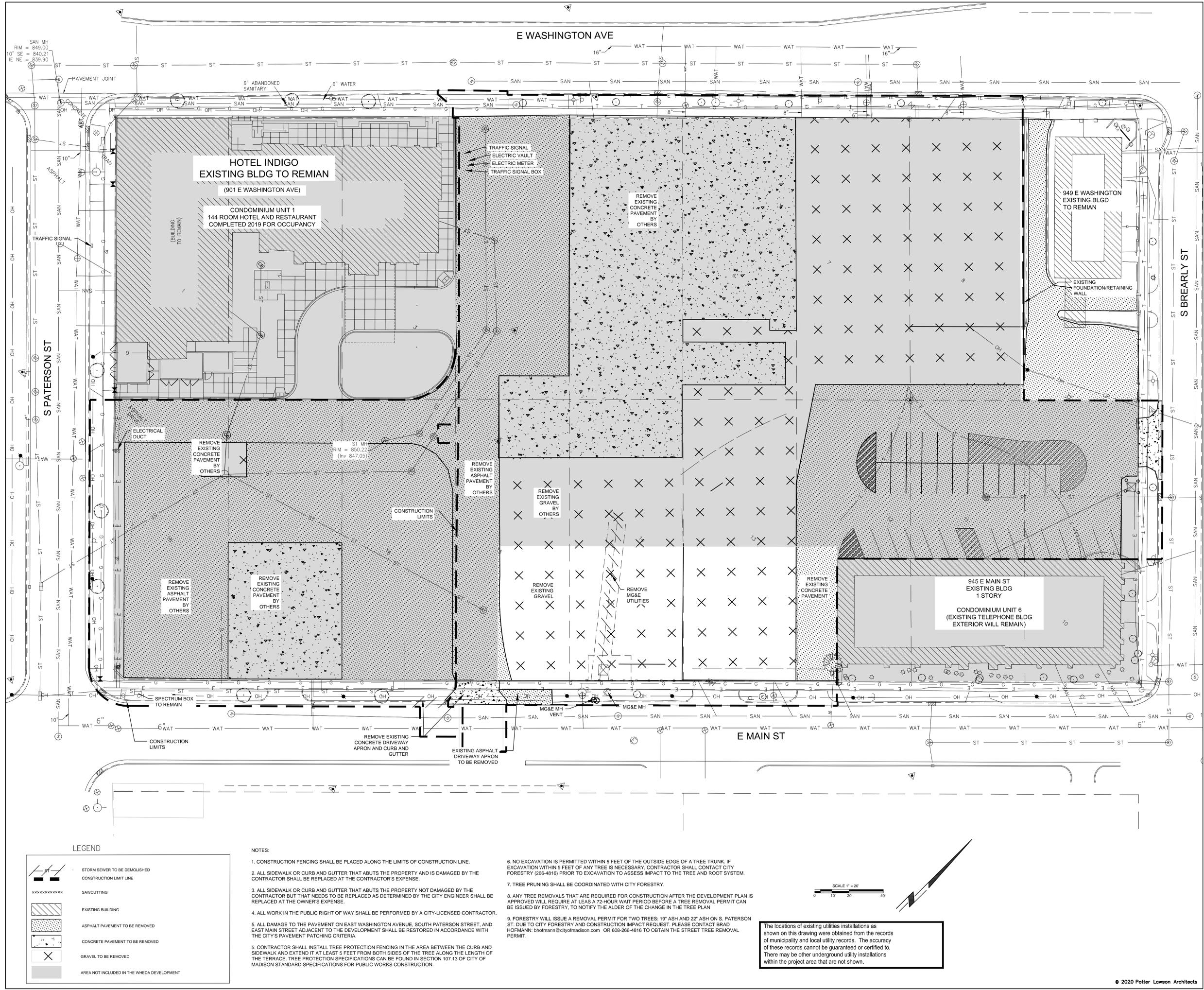
**C100**



- NOTES:**
- CONSTRUCTION FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION LINE.
  - ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY AND IS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  - ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY NOT DAMAGED BY THE CONTRACTOR BUT THAT NEEDS TO BE REPLACED AS DETERMINED BY THE CITY ENGINEER SHALL BE REPLACED AT THE OWNER'S EXPENSE.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  - ALL DAMAGE TO THE PAVEMENT ON EAST WASHINGTON AVENUE, SOUTH PATERSON STREET, AND EAST MAIN STREET ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
  - CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS IMPACT TO THE TREE AND ROOT SYSTEM.
  - TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
  - ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
  - FORESTRY WILL ISSUE A REMOVAL PERMIT FOR TWO TREES: 19" ASH AND 22" ASH ON S. PATERSON ST. DUE TO CITY FORESTRY AND CONSTRUCTION IMPACT REQUEST. PLEASE CONTACT BRAD HOFMANN: bhofmann@cityofmadison.com OR 608-266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.



The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.



Notes: \_\_\_\_\_

**Archipelago Village**

920 E Main St Archipelago  
Apartments

Archipelago Village LLC  
505 N Carol St  
Madison, WI 53701

Project #: 2016.36.05

Date	Issuance/Revisions	Symbol
08/12/2020	Land Use Application	

**920 E. MAIN SITE  
DEMOLITION PLAN**

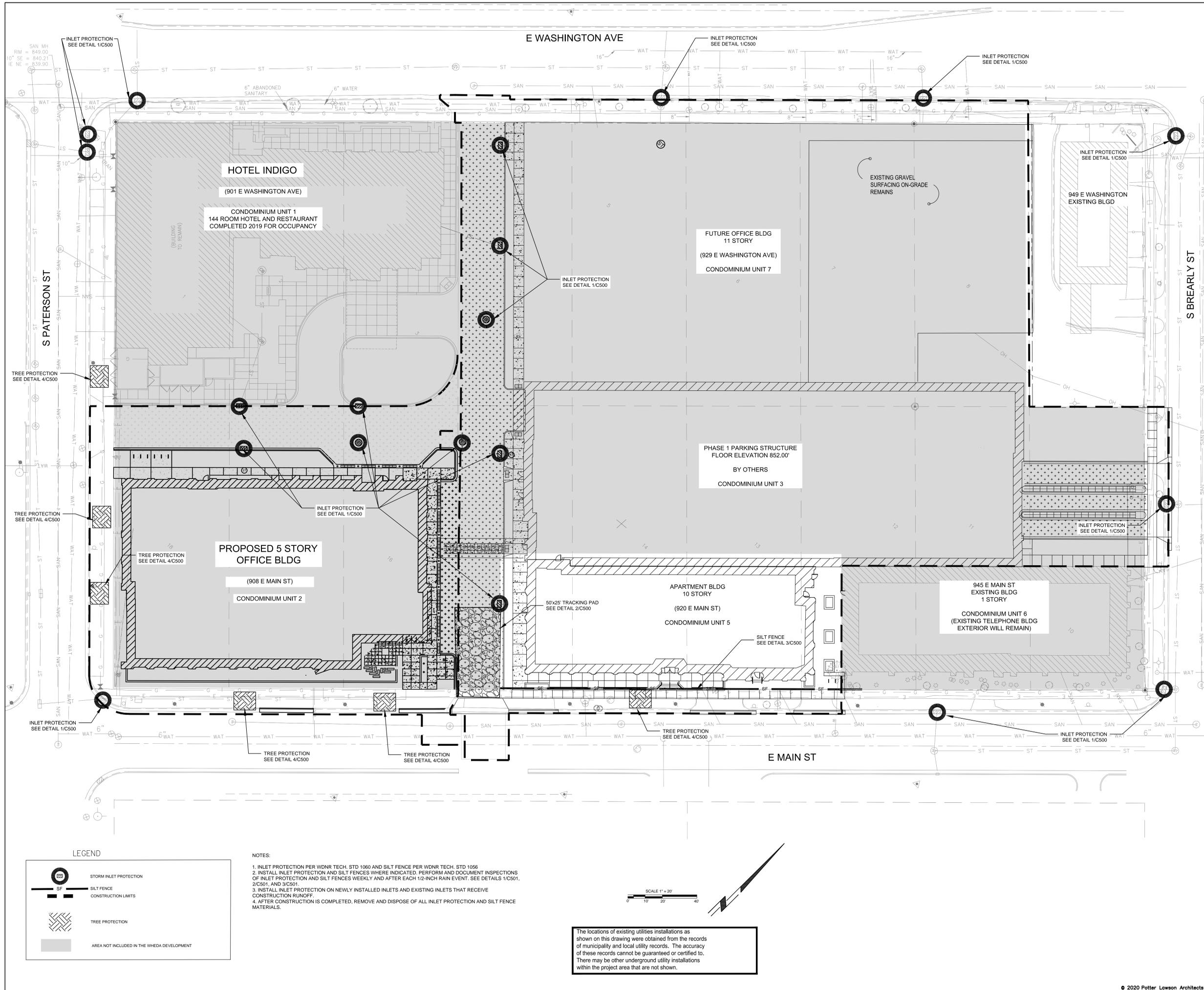
**LEGEND**

- STORM SEWER TO BE DEMOLISHED
- CONSTRUCTION LIMIT LINE
- SAWCUTTING
- EXISTING BUILDING
- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE PAVEMENT TO BE REMOVED
- GRAVEL TO BE REMOVED
- AREA NOT INCLUDED IN THE WHEDA DEVELOPMENT

- NOTES:**
- CONSTRUCTION FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION LINE.
  - ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY AND IS DAMAGED BY THE CONTRACTOR BUT THAT NEEDS TO BE REPLACED AS DETERMINED BY THE CITY ENGINEER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  - ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY NOT DAMAGED BY THE CONTRACTOR BUT THAT NEEDS TO BE REPLACED AS DETERMINED BY THE CITY ENGINEER SHALL BE REPLACED AT THE OWNER'S EXPENSE.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  - ALL DAMAGE TO THE PAVEMENT ON EAST WASHINGTON AVENUE, SOUTH PATERSON STREET, AND EAST MAIN STREET ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
  - CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS IMPACT TO THE TREE AND ROOT SYSTEM.
  - TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
  - ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAS A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN
  - FORESTRY WILL ISSUE A REMOVAL PERMIT FOR TWO TREES: 19" ASH AND 22" ASH ON S. PATERSON ST. DUE TO CITY FORESTRY AND CONSTRUCTION IMPACT REQUEST. PLEASE CONTACT BRAD HOFMANN: bhofmann@cityofmadison.com OR 608-266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.



The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.



Notes: \_\_\_\_\_

**Archipelago Village**

920 E Main St Archipelago  
Apartments

Archipelago Village LLC  
505 N Carrol St  
Madison, WI 53701

Project #: 2016.36.05

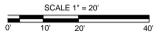
Date	Issuance/Revisions	Symbol
08/12/2020	Land Use Application	

**920 E. MAIN SITE  
EROSION CONTROL PLAN**

**LEGEND**

- STORM INLET PROTECTION
- SILT FENCE
- CONSTRUCTION LIMITS
- TREE PROTECTION
- AREA NOT INCLUDED IN THE WHEDA DEVELOPMENT

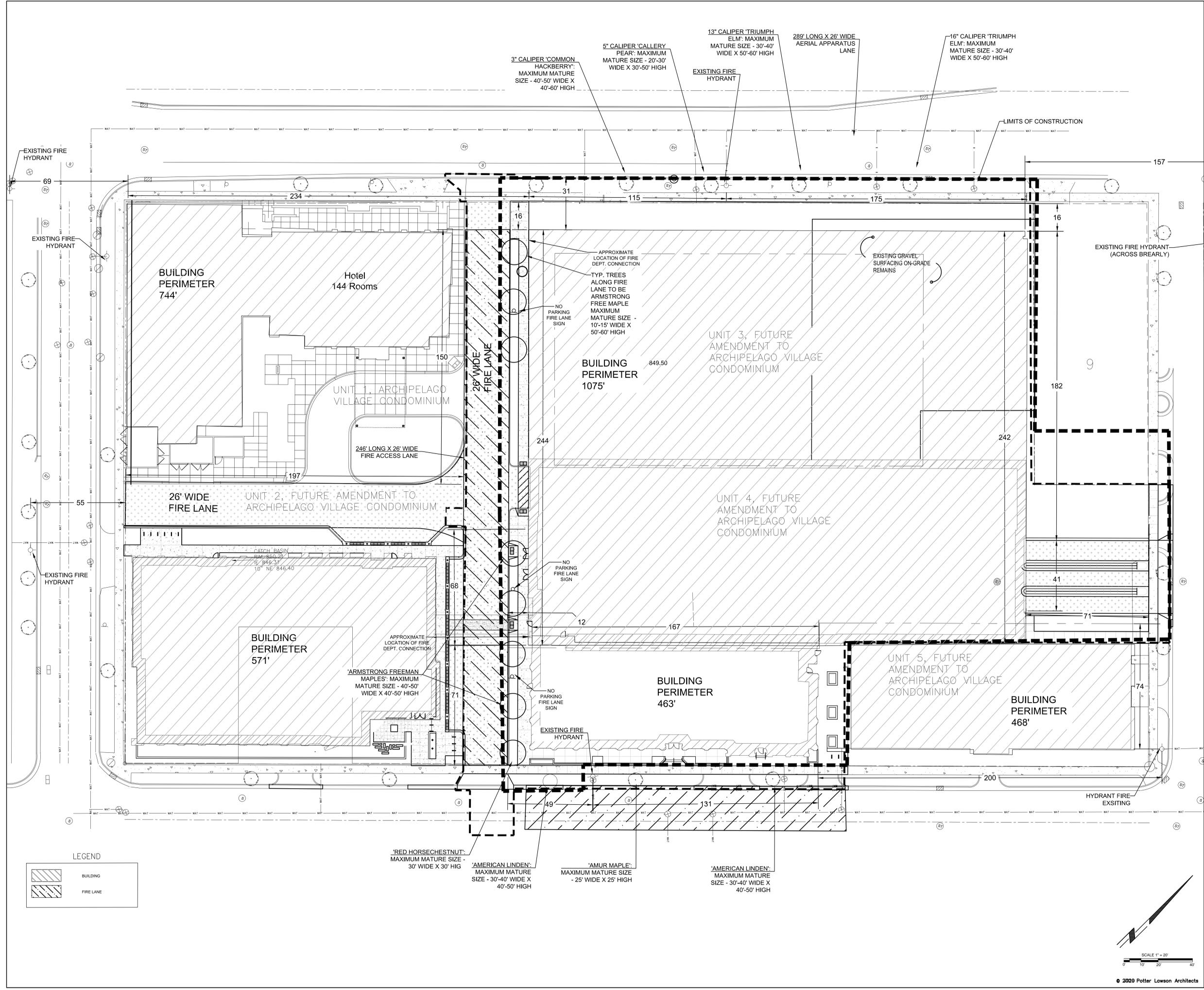
- NOTES:**
1. INLET PROTECTION PER WIDNR TECH. STD 1090 AND SILT FENCE PER WIDNR TECH. STD 1066
  2. INSTALL INLET PROTECTION AND SILT FENCES WHERE INDICATED. PERFORM AND DOCUMENT INSPECTIONS OF INLET PROTECTION AND SILT FENCES WEEKLY AND AFTER EACH 1/2-INCH RAIN EVENT. SEE DETAILS 1/C501, 2/C501, AND 3/C501.
  3. INSTALL INLET PROTECTION ON NEWLY INSTALLED INLETS AND EXISTING INLETS THAT RECEIVE CONSTRUCTION RUNOFF.
  4. AFTER CONSTRUCTION IS COMPLETED, REMOVE AND DISPOSE OF ALL INLET PROTECTION AND SILT FENCE MATERIALS.



The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.



Notes: \_\_\_\_\_



**Archipelago Village**

920 E Main St Archipelago  
Apartments

Archipelago Village LLC  
505 N Carol St  
Madison, WI 53701

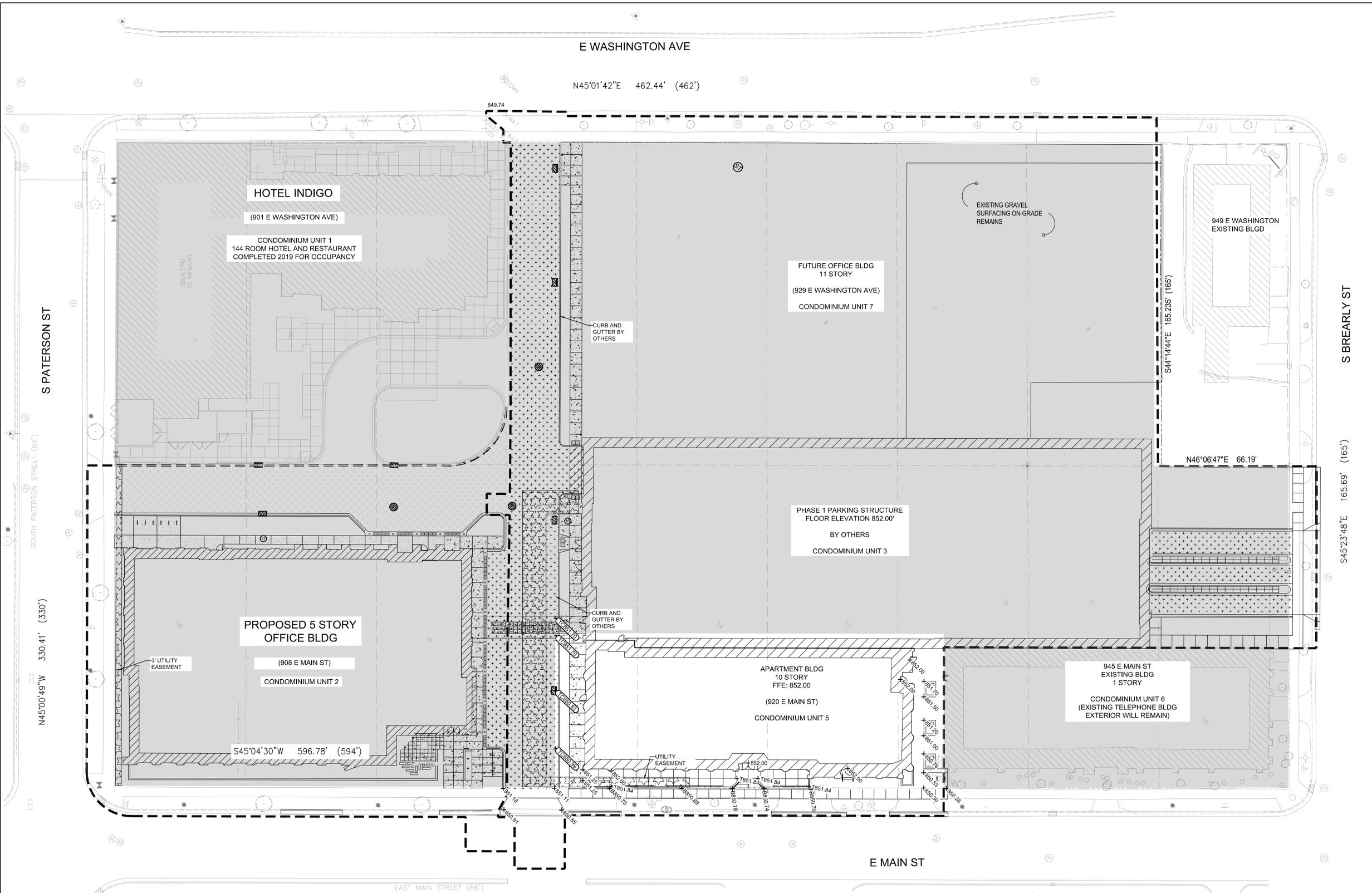
Project #: 2016.36.05

Date	Issuance/Revisions	Symbol
08/12/2020	Land Use Application	

**SITE FIRE  
PROTECTION PLAN**

**C103B**

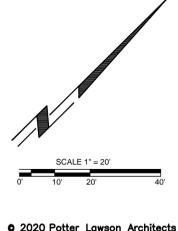




- GRADING AND EROSION CONTROL**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, PARKING AREAS, BUILDING PADS AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.
  2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC SOILS FOUND WITHIN THE GRADING LIMITS IN ACCORDANCE WITH SECTION 625 OF THE STANDARD SPECIFICATIONS. GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SOD AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS.
  3. THE SUB GRADE FOR THE ROAD, PARKING AREAS, AND THE BUILDING PADS SHALL BE PREPARED IN ACCORDANCE WITH SECTION 207 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2009 EDITION. COMPACTION OF THE SUB GRADE IN CUT SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 207.3.6.2 USING MECHANICAL COMPACTION EQUIPMENT. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.
  4. THE GRANULAR BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED AND WITNESSED BY OWNER OR OWNER'S REPRESENTATIVE.
  5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
  6. CONTRACTOR IS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDNR BEST MANAGEMENT PRACTICES.
  7. ELEVATIONS SHOWN ARE FINISHED GROUND PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
  8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

**LEGEND**

<ul style="list-style-type: none"> <li>○ SANITARY MANHOLE</li> <li>○ YARD CLEANOUT</li> <li>○ STORM MANHOLE</li> <li>○ STORM INLET</li> <li>○ STORM CATCH BASIN</li> <li>△ APRON ENDWALL</li> <li>○ WATER MANHOLE</li> <li>○ HYDRANT</li> <li>○ WATER VALVE</li> <li>○ GAS METER</li> <li>○ GAS VALVE</li> <li>○ LIGHT POLE</li> <li>○ TRAFFIC SIGNAL</li> <li>○ MONITORING WELL</li> <li>○ ELECTRICAL OUTLET</li> <li>○ UTILITY POLE</li> <li>○ GUY WIRE / DEAD MAN</li> <li>○ ELECTRIC PEDESTAL</li> <li>○ ELECTRIC MANHOLE</li> <li>○ CABLE PEDESTAL</li> <li>○ BOLLARD</li> <li>○ SIGN</li> <li>○ HANDICAP RAMP</li> <li>○ HANDICAP STALL</li> <li>○ STONE WALL</li> </ul>	<ul style="list-style-type: none"> <li>— CATCH CURB</li> <li>— REJECT CURB</li> <li>— WAT — BURIED WATER MAIN</li> <li>— SAN — SANITARY SEWER</li> <li>— ST — STORM SEWER</li> <li>— SF — SILT FENCE</li> <li>— RD — ROOF DRAIN</li> <li>— OH — OVERHEAD WIRES</li> <li>— CATV — BURIED CABLE TV LINES</li> <li>— E — BURIED ELECTRIC</li> <li>— T — BURIED TELEPHONE</li> <li>— FO — FIBER OPTIC</li> <li>— G — BURIED GAS MAIN</li> <li>— CAUTION</li> <li>— PROPERTY LINE</li> <li>— UTILITY EASEMENT</li> <li>— SETBACK LINE</li> <li>○ SPOT ELEVATION</li> <li>○ SPOT ELEVATION, TOP WALL</li> <li>○ SPOT ELEVATION, BOTTOM WALL</li> <li>○ SPOT ELEVATION, TOP CURB</li> <li>▨ BUILDING</li> <li>○ ADA TRUNCATED DOMES</li> <li>○ AREA NOT INCLUDED IN THE WHEIDA DEVELOPMENT</li> </ul>
--	--



Success by Design



5100 Eastpark Blvd., Suite 300, Madison, WI 53718, ph. 608-243-6470 Job# 2017136

Notes: \_\_\_\_\_

**Archipelago Village**

920 E Main St Archipelago Apartments

Archipelago Village LLC  
505 N Carol St  
Madison, WI 53701

Project #: 2016.36.05

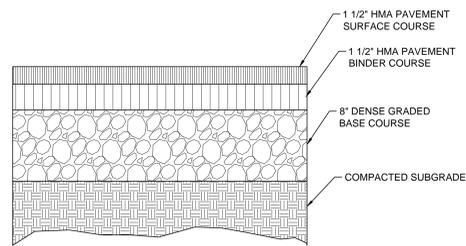
Date	Issuance/Revisions	Symbol
08/12/2020	Land Use Application	

**920 E. MAIN SITE GRADING PLAN**

**C104**



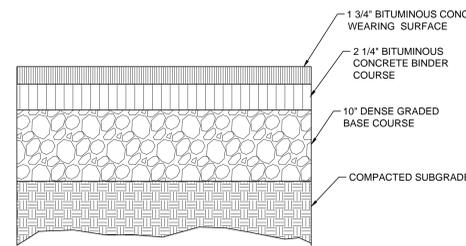




**NOTES**

- HMA PAVEMENT WisDOT SUPERPAVE TYPE E-0.3 MIX DESIGN, WITH A MAXIMUM NOMINAL AGGREGATE SIZE OF 9.5MM COMPACTED TO 92% OF THE MAXIMUM SPECIFIC GRAVITY AS DETERMINED BY ASTM D2041.
- DENSE GRADED BASE COURSE SHALL CONFORM TO WisDOT STANDARD SPECIFICATIONS 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
- BASE COURSE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).

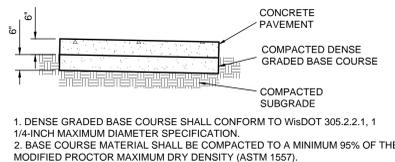
**1 HMA PAVEMENT - PARKING AND DRIVE AREAS**  
NTS



**NOTES**

- HMA PAVEMENT WisDOT SUPERPAVE TYPE E-1 MIX DESIGN, WITH A MAXIMUM NOMINAL AGGREGATE SIZE OF 12.5MM COMPACTED TO 92% OF THE MAXIMUM SPECIFIC GRAVITY AS DETERMINED BY ASTM D2041.
- DENSE GRADED BASE COURSE SHALL CONFORM TO WisDOT STANDARD SPECIFICATIONS 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
- BASE COURSE MATERIAL SHALL BE PLACED IN INDIVIDUAL 5' LIFTS COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).

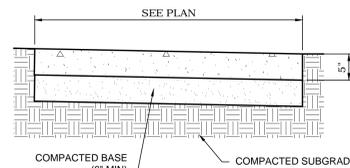
**2 HMA PAVEMENT - HEAVY DUTY DRIVE AREAS**  
NTS



**NOTES**

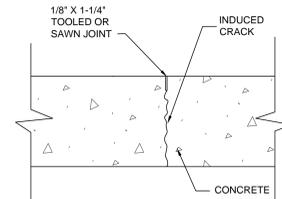
- DENSE GRADED BASE COURSE SHALL CONFORM TO WisDOT 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
- BASE COURSE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).

**3 CONCRETE PAVEMENT**  
NTS

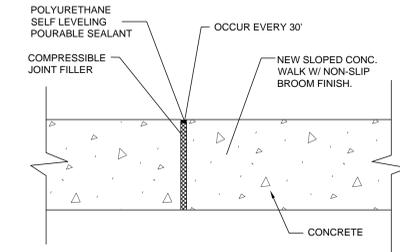


SEE DETAIL 8/C-4.0 FOR CONTROL JOINTS  
SEE DETAIL 8/C-4.0 FOR EXPANSION JOINTS

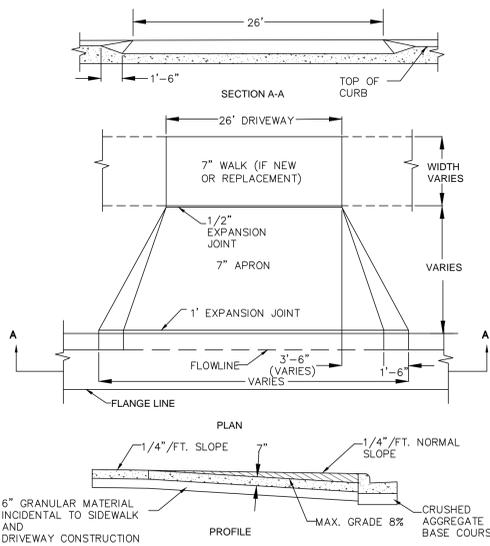
**4 CONCRETE SIDEWALK**  
NTS



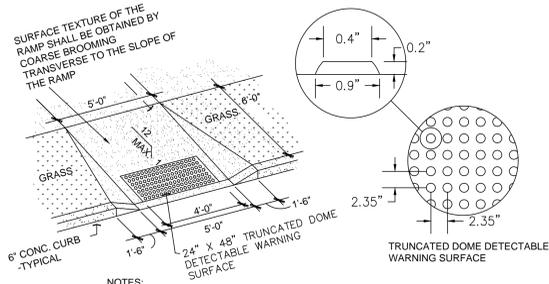
**5 CONTROL JOINT**  
NTS



**6 EXPANSION JOINT**  
NTS

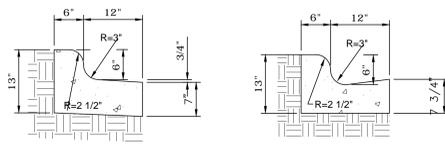


**7 COMMERCIAL DRIVEWAY**  
NTS



**NOTES**

- DETECTABLE WARNING SURFACE SHALL BE STAMPED INTO THE CONCRETE OR ARMOR-TILE MODEL ADA-C2448YW MAY BE CAST IN PLACE RAMP AT THE TIME OF CONSTRUCTION. ARMOR-TILE MODEL ADA-S2448YW MAY BE USED AFTER THE RAMP IS POURED.
- DETECTABLE WARNING SURFACE SHALL BE PAINTED YELLOW.
- ALTERNATE METHODS OF CREATING THE DETECTABLE WARNING SURFACE MUST BE APPROVED BY THE ENGINEER.
- SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

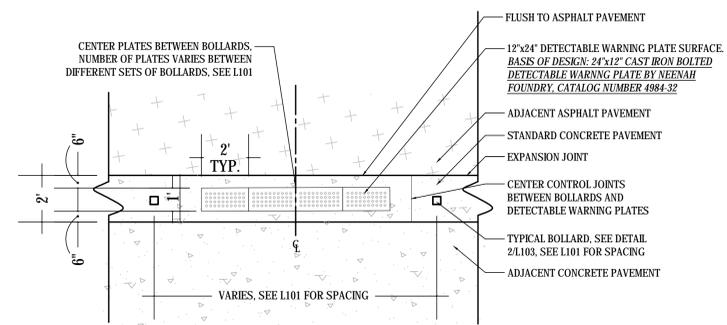


**GENERAL NOTES:**  
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

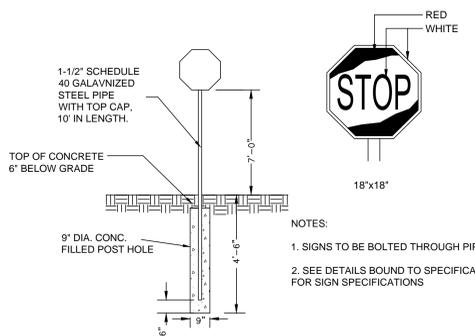
EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

**9 18" CURB AND GUTTER**  
NTS



**10 TRUNCATED DOME PANELS**  
NTS



**NOTES**

- SIGNS TO BE BOLTED THROUGH PIPE
- SEE DETAILS BOUND TO SPECIFICATIONS FOR SIGN SPECIFICATIONS

**11 STOP SIGN**  
NTS

Notes: \_\_\_\_\_

**Archipelago Village**

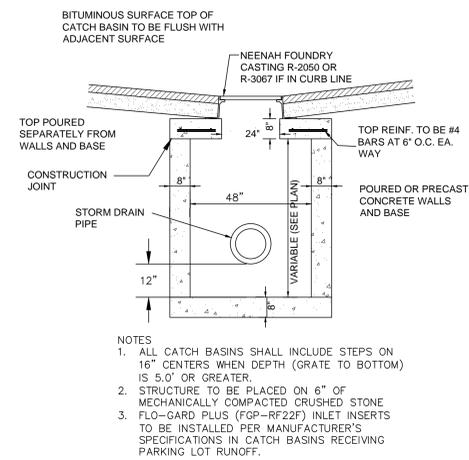
920 E Main St Archipelago Apartments

Archipelago Village LLC  
505 N Carrol St  
Madison, WI 53701

Project #: 2016.36.05

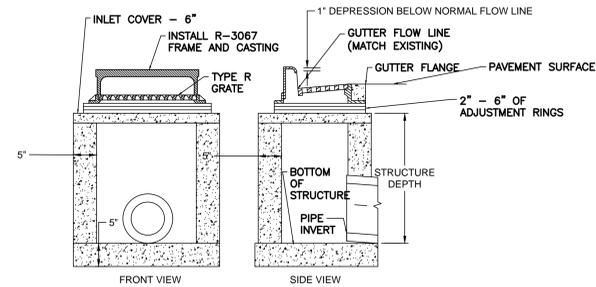
Date	Issuance/Revisions	Symbol
08/12/2020	Land Use Application	

**920 E MAIN SITE SITE DETAILS**



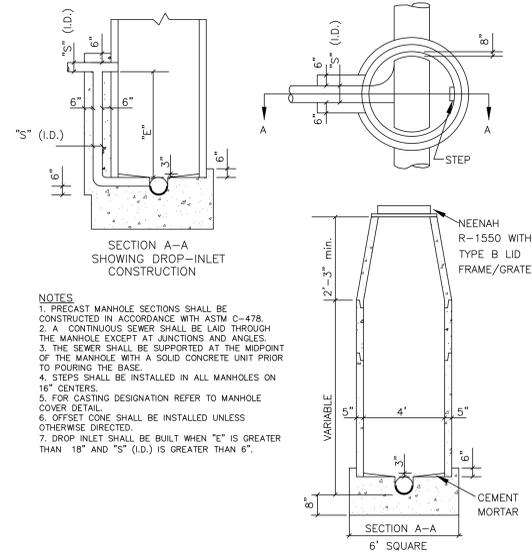
- NOTES
1. ALL CATCH BASINS SHALL INCLUDE STEPS ON 16" CENTERS WHEN DEPTH (GRATE TO BOTTOM) IS 5.0' OR GREATER.
  2. STRUCTURE TO BE PLACED ON 6" OF MECHANICALLY COMPACTED CRUSHED STONE.
  3. FLO-GARD PLUS (FGP-RF22F) INLET INSERTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS IN CATCH BASINS RECEIVING PARKING LOT RUNOFF.

1 CATCH BASIN  
NTS



- GENERAL NOTES:
1. INSTALL NEW ADJUSTING RINGS FOR INLET AND SET NEW FRAME AND CASTING IN ACCORDANCE WITH SPECIFICATION SECTION 33 40 00.
  2. NEW CURB & GUTTER SHALL BE FORMED AS DETAILED ABOVE.
  3. CONTRACTOR SHALL CONSOLIDATE NEW CURB & GUTTER CONCRETE AROUND NEW FRAME AND CASTING.
  4. NO EXPANSION JOINTS ARE TO BE USED FOR STORM INLET RECONSTRUCTION.

2 STORM SEWER 2'X3' BOX INLET  
NTS



- NOTES
1. PRECAST MANHOLE SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C-478.
  2. A CONTINUOUS SEWER SHALL BE LAID THROUGH THE MANHOLE EXCEPT AT JUNCTIONS AND ANGLES.
  3. THE SEWER SHALL BE SUPPORTED AT THE MIDPOINT OF THE MANHOLE WITH A SOLID CONCRETE UNIT PRIOR TO POURING THE BASE.
  4. STEPS SHALL BE INSTALLED IN ALL MANHOLES ON 16" CENTERS.
  5. FOR CASTING DESIGNATION REFER TO MANHOLE COVER DETAIL.
  6. OFFSET CONE SHALL BE INSTALLED UNLESS OTHERWISE DIRECTED.
  7. DROP INLET SHALL BE BUILT WHEN "E" IS GREATER THAN 18" AND "S" (I.D.) IS GREATER THAN 6".

3 SANITARY MANHOLE  
NTS

Notes: \_\_\_\_\_

Archipelago Village

920 E Main St Archipelago  
Apartments

Archipelago Village LLC  
505 N Carrol St  
Madison, WI 53701

Project #: 2016.36.05

Date	Issuance/Revisions	Symbol
08/12/2020	Land Use Application	

920 E MAIN SITE  
SITE DETAILS

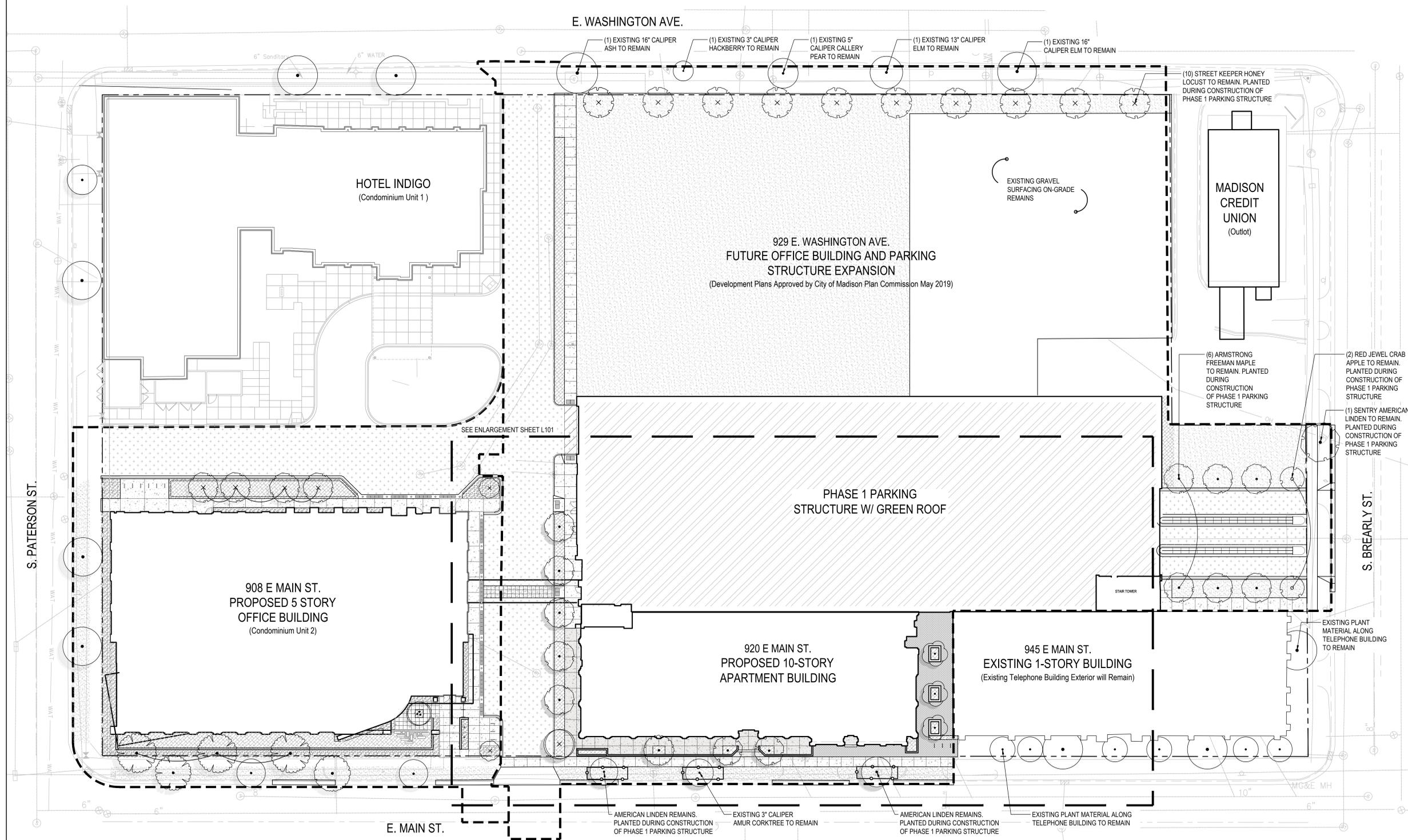
**NOTES**

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL PROTECT BENCHMARKS.
3. ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
4. ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
5. ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDING AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
6. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
7. CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN, BHOFMANN@CITYOFMADISON.COM - OR - 608-266-4816) AT LEAST ONE WEEK PRIOR TO PLANTING IN THE RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.

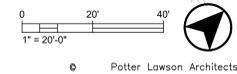
8. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5-FEET FROM THE OUTSIDE EDGE OF THE TREE CANOPY ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5-FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5-FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
9. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, AND EXTERIOR SITE FURNISHINGS (SECTIONS 31 13 00, 32 33 00, 32 91 13, 32 90 00 & 32 93 00. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
10. CONTRACTOR WILL BE REQUIRED TO SUBMIT TOPSOIL TEST RESULTS PER SECTION 32 91 13 PRIOR TO PLACEMENT OF SOIL MATERIALS ON THIS PROJECT.

**LEGEND**

- PROJECT LIMITS
- PROPERTY LINE
- TREE PROTECTION FENCE
- STANDARD CONCRETE PAVEMENT
- PERMEABLE PAVERS
- BARK MULCH PLANTING BED
- SEEDED LAWN
- GREEN ROOF



**1** ARCHIPELAGO - LANDSCAPE OVERVIEW  
SCALE: 1"=20'-0"



Notes:



**PRELIMINARY**  
NOT FOR CONSTRUCTION

920 E Main St Archipelago Apartments  
Archipelago Village LLC  
505 N Carrol St  
Madison WI 53701

2016.36.05

Date	Issuance/Revisions	Symbol
08/12/20	LAND USE APPLICATION	

**ARCHIPELAGO - LANDSCAPE OVERVIEW**  
**L100**

# PLANT SCHEDULE

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AE	Aesculus x carnea / Fort McNeil / Red Horsechestnut	B & B	2' Cal	1
SHADE TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AF	Acer x freemanii / Armstrong / Armstrong Freeman Maple	B & B	2.5' Cal	5
	OV	Ostrya virginiana / American Hophornbeam	B&B		2
	QC	Quercus robur x alba / Crimschmidt / Crimson Spire Oak	B&B		1
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Ao	Aronia melanocarpa 'UCONNAM165' TM / Low Scape Mound Chokeberry	1 gal		12
	Ab	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry	5 gal		8
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SPR. (MIN.)	12
	St	Spiraea betulifolia 'Tor' / Birchleaf Spiraea	5 gal		6
HERBACEOUS PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	epm	Echinacea purpurea 'Paisie Meadowrite' / Paisie Meadowrite Coneflower	1 gal		8
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ckf	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.	20
	sa	Sesleria autumnalis / Autumn Moor Grass	1 gal		12

## City of Madison, WI Landscape Worksheet

12-Aug-20  
920 East Main Street

Developed Lots	SF	5 Landscape Points For Every 300 SF of Developed Area	LANDSCAPE POINTS REQUIRED
Total NEW Developed Area	3,138	52	52
Landscape Points Required			52

Development Frontage - East Main Street	LF	**Overstory Trees Required	Shrubs Required
Total L.F. of Street Frontage Between Bldg./Parking & Street	200	7	33
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. (*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree)			

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	3	0	105
Ex. Significant Specimen Tree	0	1	0	0
Ornamental Tree	15	0	0	0
Evergreen Tree	15	0	0	0
Shrub, deciduous	3	33	0	99
Shrub, evergreen	4	0	0	0
Ornamental Grass/Perennial	2	27	0	54
Development Frontage Total				258

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0	0	0
Ornamental Tree	15	2	0	30
Evergreen Tree	15	0	0	0
Shrub, deciduous	3	0	0	0
Shrub, evergreen	4	0	0	0
Ornamental Grass/Perennial	2	74	0	148
Ornamental/Decorative Fence or Wall (4 pts/10 LF)		0	0	0
Foundation Plantings Total				178

TOTAL LANDSCAPE POINTS PROVIDED	436
TOTAL LANDSCAPE POINTS REQUIRED	52

# LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- TREE PROTECTION FENCE
- STANDARD CONCRETE PAVEMENT
- PERMEABLE PAVERS
- BARK MULCH PLANTING BED
- SEEDED LAWN
- GREEN ROOF, SEE L200
- BIKE RACK, TYP.
- C.I.P CONCRETE RETAINING WALL
- MOVEABLE OUTDOOR SEATING, OWNER FURNISHED OWNER INSTALLED



Notes:



PRELIMINARY  
NOT FOR CONSTRUCTION

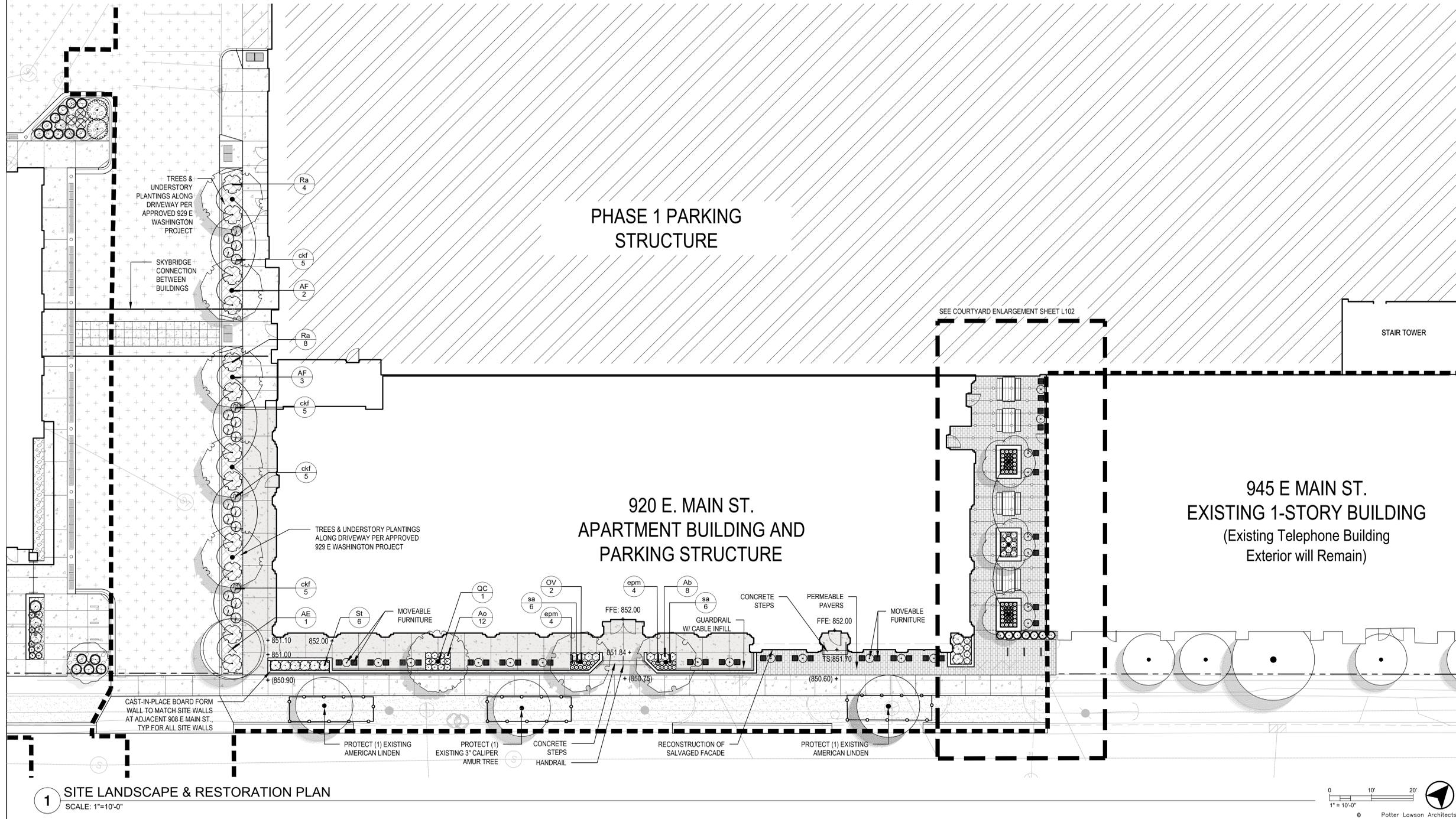
920 E Main St Archipelago Apartments  
Archipelago Village LLC  
505 N Carrol St  
Madison WI 53701

2016.36.05

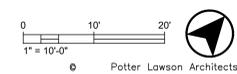
Date Issuance/Revisions Symbol  
08/12/20 LAND USE APPLICATION

## SITE LANDSCAPE & RESTORATION PLAN

# L101



1 SITE LANDSCAPE & RESTORATION PLAN  
SCALE: 1"=10'-0"



Notes:



**PRELIMINARY**  
NOT FOR CONSTRUCTION

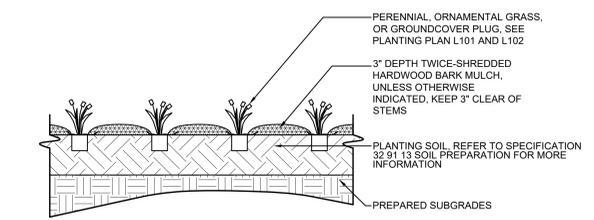
920 E Main St Archipelago  
Apartments  
Archipelago Village LLC  
505 N Carrol St  
Madison WI 53701

2016.36.05

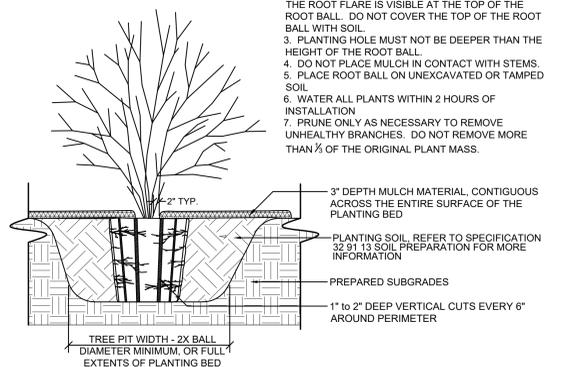
Date	Issuance/Revisions	Symbol
08/12/20	LAND USE APPLICATION	

**LANDSCAPE DETAILS  
& SITE FURNISHINGS**

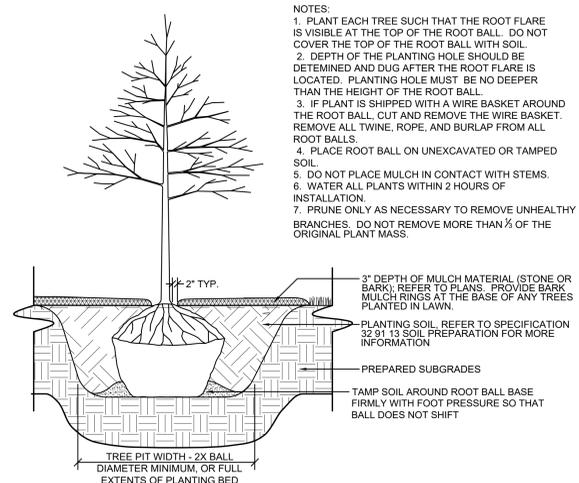
**L103**



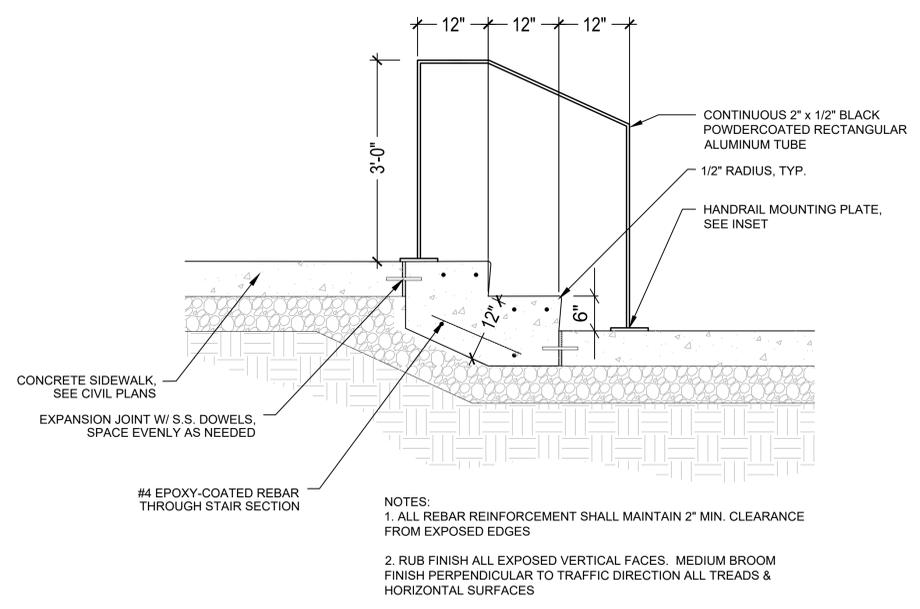
**3 TYPICAL PERENNIAL PLANTING**  
SCALE: NTS



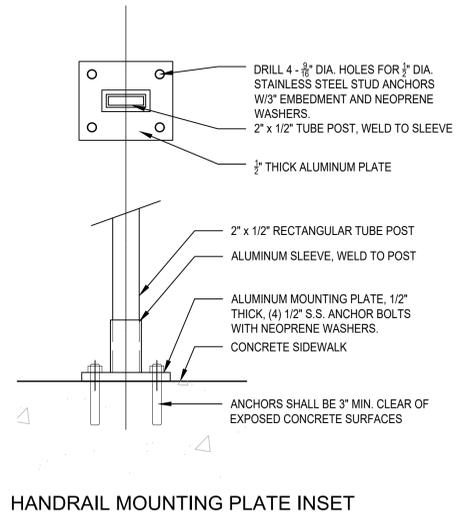
**2 TYPICAL SHRUB PLANTING**  
SCALE: NTS



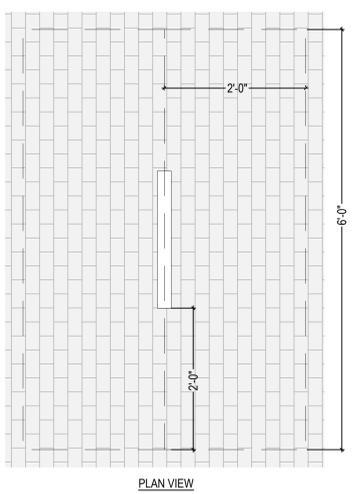
**1 TYPICAL TREE PLANTING**  
SCALE: NTS



**5 TYPICAL STAIR AND HANDRAIL**  
SCALE: 1"=1'-0"

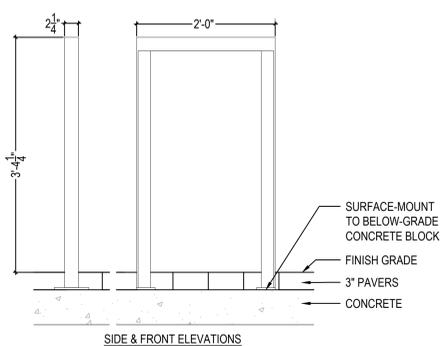


HANDRAIL MOUNTING PLATE INSET



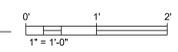
NOTES:  
1. BIKE STALLS SHALL BE A MINIMUM OF 2' BY 6'. PLACEMENT SHALL NOT RESULT IN A BICYCLE OBSTRUCTING A WALKWAY.  
2. RACKS SHALL BE SPACED 4'-0" APART

**4 TYPICAL BIKE RACK**  
SCALE: 1"=1'-0"



SIDE & FRONT ELEVATIONS

PLAN VIEW

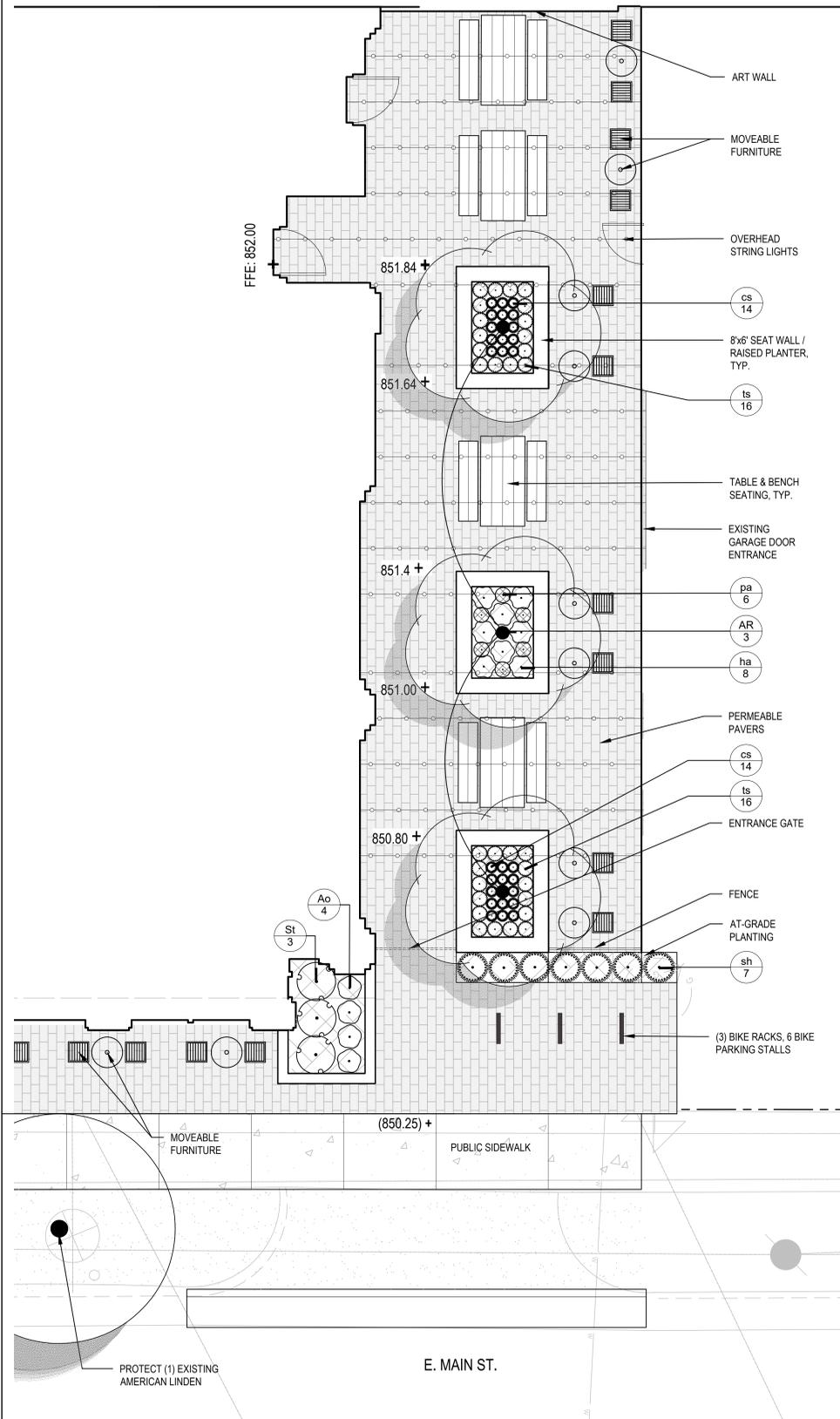


# PLANT SCHEDULE

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	AR	Amelanchier x grandiflora 'Robin Hill' / Apple Serviceberry	B&B	3
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ao	Aronia melanocarpa 'UCCONNAM165' TM / Low Scape Mound Chokeberry	1 gal	4
	St	Spiraea betulifolia 'Tor' / Birchleaf Spirea	5 gal	3
FERNS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	pa	Polystichum acrostichoides / Christmas Fern	1 gal	6
HERBACEOUS PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	ha	Heuchera villosa 'Autumn Bride' / Autumn Bride Coral Bells	1 gal	8
	ts	Tiarella x 'Spring Symphony' / Spring Symphony Foamflower	1 gal	32
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	cs	Carex pennsylvanica / Pennsylvania Sedge	1 gal	28
	sh	Sporobolus heterolepis / Prairie Dropseed	1 gal	7

# LEGEND

- STANDARD CONCRETE PAVEMENT
- PERMEABLE PAVERS
- BARK MULCH PLANTING BED
- SEEDED LAWN
- BIKE RACK, TYP.
- C.I.P. CONCRETE RETAINING WALL
- MOVEABLE OUTDOOR SEATING, OWNER FURNISHED OWNER INSTALLED
- OVERHEAD CATENARY LIGHTS



**1** COURTYARD LANDSCAPE PLAN  
SCALE: 1/4"=1'-0"



Notes: \_\_\_\_\_



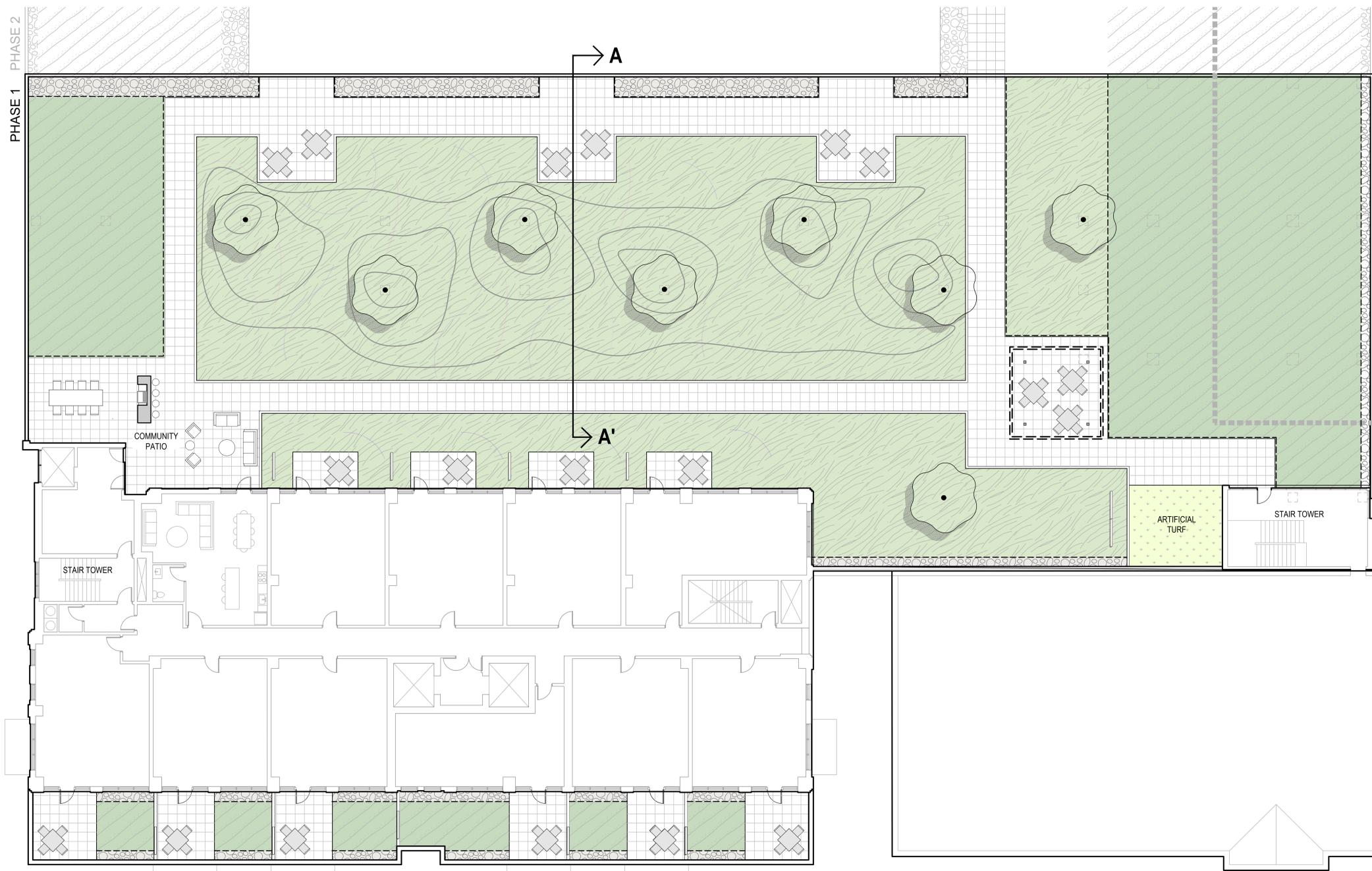
**PRELIMINARY**  
NOT FOR CONSTRUCTION

920 E Main St Archipelago  
Apartments  
Archipelago Village LLC  
505 N Carrol St  
Madison WI 53701

2016.36.05

Date	Issuance/Revisions	Symbol
08/12/20	LAND USE APPLICATION	

**COURTYARD  
LANDSCAPE PLAN**  
**L102**



**LEGEND**

- SEDUM CARPET OVER 6"-8" OF EXTENSIVE GROWING MEDIA
- ARTIFICIAL TURF
- STONE MULCH
- MEADOW OVER 2" OF INTENSIVE GROWING MEDIA
- CUSTOM DECORATIVE METAL PANEL
- ACER GINNALA 'FLAME' 6" HT. (MIN.), MULTI-STEMMED, BAB. SPECIMEN FORM
- L-SHAPE ALUMINUM EDGE
- CONCRETE CURB
- FUTURE BUILDING EXPANSION LIMITS
- STRUCTURAL BUILDING COLUMN
- OVERHEAD SHADE STRUCTURE

**NOTES**

1. SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:
  - Sedum spurium 'Fuldaglut'
  - Sedum spurium 'John Creech'
  - Sedum spurium 'Red Carpet'
  - Sedum kamtschaticum
  - Sedum kamtschaticum 'Variegatum'
  - Sedum kamtschaticum var. floriferum
  - Sedum takesimensis 'Golden Carpet'
  - Sedum x Immergrunchen
  - Sedum subsp. rupestre 'Angelina'
  - Sedum subsp. rupestre 'Blue Spruce'
  - Sedum acre 'Aureum'
  - Sedum acre 'Goldmoss'
  - Sedum album 'Coral Carpet'
  - Sedum album 'Murale'
  - Sedum hispanicum
  - Sedum sexangulare
  - Sedum stefco
2. MEADOW MIX SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE MEADOW MIX WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:
  - Bouteloua curtipendula (Side Oats Grama)
  - Bouteloua gracilis (Blue Grama)
  - Carex brevior (Plains Oval Sedge)
  - Carex mühlenbergii (Sand Bracted Sedge)
  - Danthonia spicata (Poverty Oat Grass)
  - Elymus canadensis (Canada Wild Rye)
  - Eragrostis spectabilis (Purple Love Grass)
  - Festuca obtusa (Nodding Fescue)
  - Hordeum jubatum (Squirrel-Tailed Barley)
  - Juncus tenuis (Path Rush)
  - Koeleria cristata (June Grass)
  - Panicum virgatum (Switchgrass)
  - Schizachyrium scoparium (Little Bluestem)
  - Sporobolus asper (Rough Dropseed)
  - Sporobolus cryptandrus (Sand Dropseed)
  - Sporobolus heterolepis (Prairie Dropseed)



Notes: \_\_\_\_\_



**PRELIMINARY**  
NOT FOR CONSTRUCTION

920 E Main St Archipelago Apartments  
 Archipelago Village LLC  
 505 N Carrol St  
 Madison WI 53701

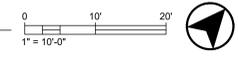
2016.36.05

Date	Issuance/Revisions	Symbol
08/12/20	LAND USE APPLICATION	

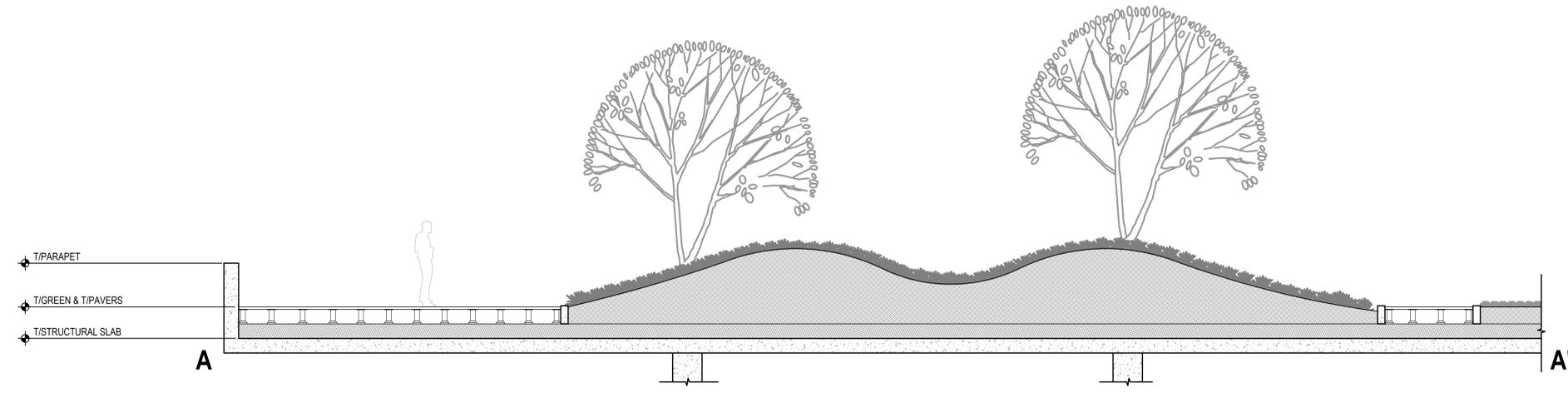
**4TH FLOOR GREEN ROOF - LANDSCAPE PLAN**

**L200**

**1** 4TH FLOOR GREEN ROOF - LANDSCAPE PLAN  
SCALE: 1"=10'-0"



**2** 4TH FLOOR GREEN ROOF SECTION A-A'  
SCALE: 1/4"=1'-0"























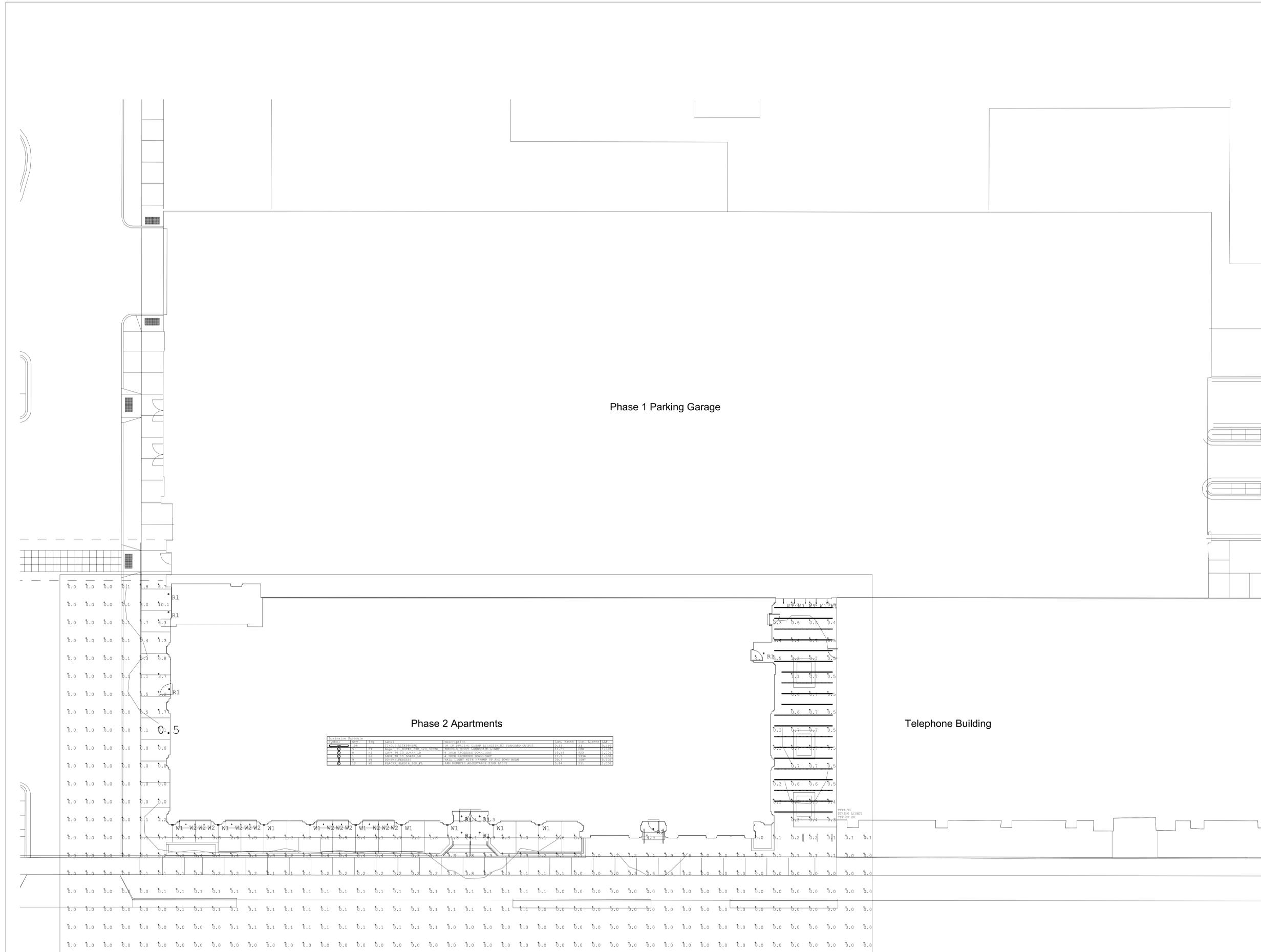












Notes: \_\_\_\_\_

**920 E Main St  
Archipelago Apartments**

Archipelago Village LLC  
505 N Carrol St  
Madison, WI 53701

2016.36.05

Date	Issuance/Revisions	Symbol
08/12/2020	LAND USE APPLICATION	