

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received _____ Initial Submittal
Paid _____ Revised Submittal
76604

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 606 Little Dove Trail (see attached list)

Title: Acacia Ridge Neighborhood Amendment

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested April 14, 2023

- New development Alteration to an existing or previously-approved development
 Informational Initial Approval Final Approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Modifications of Height, Area, and Setback
 Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Chris Ehlers **Company** East South Point LLC.
Street address 6801 South Town Drive **City/State/Zip** Madison, WI 53713
Telephone 608.226.3100 **Email** cehlers@veridianhomes.com

Project contact person Brian Munson **Company** Vandewalle & Associates
Street address 120 East Lakeside Street **City/State/Zip** Madison, WI 53715
Telephone 608.609.4410 **Email** bmunson@vandewalle.com

Property owner (if not applicant) _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

- Application Form**
 - A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
 - For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)
- Electronic Submittal**
 - Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
 - Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 2.28.23.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Chris Ehlers Relationship to property _____

Authorizing signature of property owner  Date 2/27/23

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



VANDEWALLE & ASSOCIATES INC.

February 27, 2023

Heather Stouder
Department of Planning & Development
City of Madison
215 Martin Luther King, Jr. Blvd.
Madison, WI 53710-2985

RE: Acacia Ridge Neighborhood
Traditional Residential-Planned Amendment
Residential Building Complex (lots 613 and 614)

Dear Heather,

Attached please find a copy of the Veridian Homes request to rezone a portion of the neighborhood from TR-C3 to TR-P and create two Residential Building Complex (multiple single family homes on one lot) within the neighborhood. This submittal continues Veridian's commitment to creating a wide range of attainable housing options within the neighborhood while maintaining the overall character and quality of the development.

We look forward to working with the City on the review and implementation of this amendment.

Sincerely,

Brian Munson
Principal

Applicant:

Veridian Homes, LLC.

6801 South Town drive

Madison, WI 53713

Chris Ehlers

Vice President of Land Development

cehlers@veridianhome.com

Phone: 608.226.3038

Fax: 608.235.4701

Design Team

Engineering:

D'Onofrio Kottke

7530 Westward Way

Madison, WI 53717

Phone: 608.833.7530

Fax: 608.833.1089

Dan Day

dday@donofrio.cc

Planning:

Vandewalle and Associates

120 East Lakeside Street

Madison, Wisconsin 53715

Phone: 608.255.3988

Fax: 608.255.0814

Brian Munson

bmunson@vandewalle.com

Existing Conditions

Existing Zoning: TR-C3

TR-P

Parcels to be Rezoned: See EXHIBIT A

Legal Descriptions: See Exhibit B

PROPOSED AMENDMENT

Adopted TR-P

Multi-Family:	134	
Twin Homes:	10	
Alley Single Family:	32	31 x 95
	89	37 x 95
	88	45 x 95
Conventional Single Family:	7	51 x 100
	32	59 x 100
	21	65 x 100
	<u>3</u>	<u>69 x 100</u>

Total Units: **416**

(Note: Area of rezoned TR-C3: 55 sf units)

Proposed TR-P

Multi-Family:	134	
Twin Homes:	118	
Alley Single Family:	52	31 x 95
	90	37 x 95
	73	45 x 95
Conventional Single Family:	7	51 x 100
	43	59 x 100
	12	65 x 100
	<u>3</u>	<u>69 x 100</u>

Total Units: **526**

Total units added: 55

All proposed units would meet the architectural standards of the adopted Acacia Ridge TR-P (October 31, 2017) and lot requirements of the City of Madison Zoning Code.

Residential Building Complex: Lots 613 & 614

The Residential Building Complex lots are proposed to allow the creation of a pocket neighborhood of single-family housing surrounding a greenspace. The two lots would include 5 single family homes per lot, each fronting the green and served by a pedestrian sidewalk and a vehicular private alley. The lots and homes for these lots would otherwise meet all the requirements of the TR-P District.

Conditional Use Approval Standards

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.

The proposed lots offer additional housing variety with a unique and vibrant setting along the pocket park.
2. The City is able to provide municipal services to the property where the conditional use is proposed, given due consideration of the cost of providing those services.

The homes will be efficiently served by municipal services with limited impact on the cost of delivery.
3. The uses, values and enjoyment of other property in the neighborhood for purposes already established will not be substantially impaired or diminished in any foreseeable manner.

The homes are identical in format and condition to the adjoining homesite and will be consistent in character.
4. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The homes fit into the development patter of the adjoining sites and are consistent in character.
5. Adequate utilities, access roads, drainage, internal circulation improvements for pedestrians, bicyclists, public transit and vehicles, parking supply (in cases with minimum parking requirements) and other necessary site improvements have been or are being provided. (Am. by [ORD-23-00013](#), 1-25-23)

The homes are fully served by an interconnected network of utilities, roads, sidewalks and trails.
6. Measures, which may include transportation demand management (TDM) and participation in a transportation management association have been or will be taken to provide adequate ingress and egress, including all off-site improvements, so designed as to minimize traffic congestion and to ensure public safety and adequate traffic flow, both on-site and on the public streets.

The vehicular access has been coordinated with the design of the overall block.
7. The conditional use conforms to all applicable regulations of the district in which it is located.

The homes conform to the underlying district standards.

8. When applying the above standards to an application by a community living arrangement, the Plan Commission shall:

Not applicable.

9. When applying the above standards to any new construction of a building or an addition to an existing building the Plan Commission shall find that the project creates an environment of sustained aesthetic desirability compatible with the existing or intended character of the area and the statement of purpose for the zoning district. In order to find that this standard is met, the Plan Commission may require the applicant to submit plans to the Urban Design Commission for comment and recommendation. (Am. by ORD-14-00030, 2-18-14)

The project has been submitted for review and approval by the Urban Design Commission.

10. When applying the above standards to an application for a reduction in off-street parking requirements, the Plan Commission shall consider and give decisive weight to all relevant facts, including but not limited to, the availability and accessibility of alternative parking; impact on adjacent residential neighborhoods; existing or potential shared parking arrangements; number of residential parking permits issued for the area; proximity to transit routes and/or bicycle paths and provision of bicycle racks; the proportion of the total parking required that is represented by the requested reduction; the proportion of the total parking required that is decreased by [Sec. 28.141](#). The characteristics of the use, including hours of operation and peak parking demand times design and maintenance of off-street parking that will be provided; and whether the proposed use is now or a small addition to an existing use.

Not applicable.

11. When applying the above standards to telecommunication facilities, the Plan Commission shall consider the review of the application by a professional engineer required by [Sec. 28.143](#).

Not applicable.

12. When applying the above standards to an application for height in excess of that allowed in the district, the Plan Commission shall consider recommendations in adopted plans; the impact on surrounding properties, including height, mass, orientation, shadows and view; architectural quality and amenities; the relationship of the proposed building(s) with adjoining streets, alleys, and public rights of ways; and the public interest in exceeding the district height limits.

Not applicable.

13. When applying the above standards to lakefront development under [Sec. 28.138](#), the Plan Commission shall consider the height and bulk of principal buildings on the five (5) developed lots or three hundred (300) feet on either side of the lot with the proposed development.

Not applicable.

14. When applying the above standards to an application for height in excess of that allowed by [Section 28.071\(2\)\(a\)](#) Downtown Height Map for a development located within the Additional Height Areas identified in [Section 28.071\(2\)\(b\)](#), the Plan Commission shall consider the recommendations in adopted plans, and no application for excess height shall be granted by the Plan Commission unless it finds that all of the following conditions are present:

Not applicable.

15. When applying the above standards to an application to redevelop a site that was occupied on January 1, 2013 by a building taller than the maximum building height allowed by [Section 28.071\(2\)\(a\)](#) Downtown Height Map, as provided by [Section 28.071\(2\)\(a\)1.](#), no application for excess height shall be granted by the Plan Commission unless it finds that all the following additional conditions are also present:

Not applicable.

16. When applying the above standards to an application for limited production and processing use, the Plan Commission shall consider the effect of such a use on the surrounding properties, including the effects of odors, noise, vibration, glare, hours of operation, and other potential side effects of a manufacturing process. (Cr. by ORD-15-00124, 11-11-15)

Not applicable.

17. When applying the above standards to an application for allowable projections into the capitol view height area, the Plan Commission shall only approve the projection if it determines the encroachment is the minimum necessary and does not significantly impact the long views of the State Capitol building. (Cr. by [ORD-19-00090](#), 12-12-19)

Not applicable.

Exhibit A: Parcels to be rezoned

<u>Lot Number</u>	<u>Address</u>	<u>Street</u>	<u>PIN</u>
215	606	Little Dove Trail	0708-284-1304-0
214	9241	Highland Gate Way	0708-284-1303-2
205	9236	Silver Maple Drive	0708-284-1205-0
228	9220	Silver Maple Drive	0708-284-1403-0
229	9224	Silver Maple Drive	0708-284-1404-8
230	9228	Silver Maple Drive	0708-284-1405-6
236	9208	Silver Maple Drive	0708-284-1504-6
237	9212	Silver Maple Drive	0708-284-1505-4
259	9217	Silver Maple Drive	0708-284-1801-6
260	9213	Silver Maple Drive	0708-284-1802-4
261	9209	Silver Maple Drive	0708-284-1803-2
262	9205	Silver Maple Drive	0708-284-1804-0
OL 17	9229	Silver Maple Drive	0708-284-1701-8
234	514	Turning Pebble Street	0708-284-1502-0
235	518	Turning Pebble Street	0708-284-1503-8
248	525	Turning Pebble Street	0708-284-1903-0
248	825	Turning Pebble Street	0708-284-1903-0
249	529	Turning Pebble Street	0708-284-1902-2
251	522	Turning Pebble Street	0708-284-1805-8
252	526	Turning Pebble Street	0708-284-1806-6
253	530	Turning Pebble Street	0708-284-1507-4
268	612	Turning Pebble Street	0708-284-2011-0
288	603	Turning Pebble Street	0708-284-2116-8
289	607	Turning Pebble Street	0708-284-2115-0
290	611	Turning Pebble Street	0708-284-2114-2
OL 18	615	Turning Pebble Street	0708-284-2113-4
254	9206	Hidden Fawn Trail	0708-284-1808-2
255	9210	Hidden Fawn Trail	0708-284-1809-0
256	9214	Hidden Fawn Trail	0708-284-1810-7
257	9218	Hidden Fawn Trail	0708-284-1811-5
258	9222	Hidden Fawn Trail	0708-284-1812-3
278	9237	Hidden Fawn Trail	0708-284-2001-1
279	9233	Hidden Fawn Trail	0708-284-2002-9
280	9229	Hidden Fawn Trail	0708-284-2003-7
281	9225	Hidden Fawn Trail	0708-284-2004-5
282	9221	Hidden Fawn Trail	0708-284-2005-3
283	9217	Hidden Fawn Trail	0708-284-2006-1
284	9213	Hidden Fawn Trail	0708-284-2007-9
285	9209	Hidden Fawn Trail	0708-284-2008-7
286	9205	Hidden Fawn Trail	0708-284-2009-5

287	9201	Hidden Fawn Trail	0708-284-2010-2
263	528	Cool Breeze Run	0708-284-1706-8
264	526	Cool Breeze Run	0708-284-1705-0
264	524	Cool Breeze Run	0708-284-1704-2
265	522	Cool Breeze Run	0708-284-1703-4
267	520	Cool Breeze Run	0708-284-1702-6
227	518	Long Timber Pass	0708-284-1402-2
238	517	Long Timber Pass	0708-284-1506-2
204	534	Summer Rain Pass	0708-284-1204-2
231	523	Summer Rain Pass	0708-284-1406-4
277	9242	Gentle Feather Road	0708-284-2020-1
276	9238	Gentle Feather Road	0708-284-2019-4
275	9234	Gentle Feather Road	0708-284-2018-6
274	9230	Gentle Feather Road	0708-284-2017-8
273	9226	Gentle Feather Road	0708-284-2016-0
272	9222	Gentle Feather Road	0708-284-2015-2
271	9218	Gentle Feather Road	0708-284-2014-4
270	9214	Gentle Feather Road	0708-284-2013-6
269	9210	Gentle Feather Road	0708-284-2012-8
291	9201	Gentle Feather Road	0708-284-2112-6
292	9205	Gentle Feather Road	0708-284-2111-8
293	9209	Gentle Feather Road	0708-284-2110-0
294	9213	Gentle Feather Road	0708-284-2109-3
295	9217	Gentle Feather Road	0708-284-2108-5
296	9221	Gentle Feather Road	0708-284-2107-7
297	9225	Gentle Feather Road	0708-284-2106-9
298	9229	Gentle Feather Road	0708-284-2105-1
299	9233	Gentle Feather Road	0708-284-2104-3
300	9237	Gentle Feather Road	0708-284-2103-5
301	9241	Gentle Feather Road	0708-284-2102-7
302	9245	Gentle Feather Road	0708-284-2101-8
514	9102	Honey Harvest Lane	0708-284-5015-9
515	9106	Honey Harvest Lane	0708-284-5014-1
516	9110	Honey Harvest Lane	0708-284-5013-3
517	9114	Honey Harvest Lane	0708-284-5012-5
518	9118	Honey Harvest Lane	0708-284-5011-7
519	9122	Honey Harvest Lane	0708-284-5010-9
520	9204	Honey Harvest Lane	0708-284-5009-2
521	9208	Honey Harvest Lane	0708-284-5008-4
522	9212	Honey Harvest Lane	0708-284-5007-6
523	9216	Honey Harvest Lane	0708-284-5006-8
524	9220	Honey Harvest Lane	0708-284-5005-0
525	9224	Honey Harvest Lane	0708-284-5004-2

526	9228	Honey Harvest Lane	0708-284-5003-4
527	9232	Honey Harvest Lane	0708-284-5002-6
528	9236	Honey Harvest Lane	0708-284-5001-8
529	9235	Honey Harvest Lane	0708-284-5101-6
530	9231	Honey Harvest Lane	0708-284-5102-4
531	9227	Honey Harvest Lane	0708-284-5103-2
532	9223	Honey Harvest Lane	0708-284-5104-0
533	9219	Honey Harvest Lane	0708-284-5105-8
534	9215	Honey Harvest Lane	0708-284-5106-6
535	9211	Honey Harvest Lane	0708-284-5107-4
536	9207	Honey Harvest Lane	0708-284-5108-2
537	9203	Honey Harvest Lane	0708-284-5109-0
538	9121	Honey Harvest Lane	0708-284-5110-7
539	9117	Honey Harvest Lane	0708-284-5111-5
540	9113	Honey Harvest Lane	0708-284-5112-3
541	9109	Honey Harvest Lane	0708-284-5113-1
542	9105	Honey Harvest Lane	0708-284-5114-9
543	9101	Honey Harvest Lane	0708-284-5115-7
544	9104	Turning Oak Lane	0708-284-5215-5
545	9108	Turning Oak Lane	0708-284-5214-7
546	9112	Turning Oak Lane	0708-284-5213-9
547	9116	Turning Oak Lane	0708-284-5212-1
548	9120	Turning Oak Lane	0708-284-5211-3
549	9124	Turning Oak Lane	0708-284-5210-5
550	9202	Turning Oak Lane	0708-284-5209-8
551	9206	Turning Oak Lane	0708-284-5208-0
552	9210	Turning Oak Lane	0708-284-5207-2
553	9214	Turning Oak Lane	0708-284-5206-4
554	9218	Turning Oak Lane	0708-284-5205-6
555	9222	Turning Oak Lane	0708-284-5204-8
556	9226	Turning Oak Lane	0708-284-5203-0
557	9230	Turning Oak Lane	0708-284-5202-2
558	9234	Turning Oak Lane	0708-284-5201-4
559	9231	Turning Oak Lane	0708-284-5301-2
560	9225	Turning Oak Lane	0708-284-5302-0
561	9219	Turning Oak Lane	0708-284-5303-8
562	9213	Turning Oak Lane	0708-284-5304-6
563	9207	Turning Oak Lane	0708-284-5305-4
564	9201	Turning Oak Lane	0708-284-5306-2
565	9121	Turning Oak Lane	0708-284-5307-0
566	9115	Turning Oak Lane	0708-284-5308-8
567	9109	Turning Oak Lane	0708-284-5309-6
568	9103	Turning Oak Lane	0708-284-5310-3

Exhibit B: Legal Descriptions

ACACIA RIDGE – TR-P ZONING LEGAL DESCRIPTION

A parcel of land located in the NE1/4 of the SE1/4 of Section 28, T7N, R8E, City of Madison, Dane County, Wisconsin to-wit:

Commencing at the East 1/4 corner of said Section 28; thence S01°20'36"W, 282.93 feet along the East line of said SE1/4 to the point of beginning; thence S01°20'36"W, 768.83 feet; thence N89°15'33"W, 749.13 feet to a point of curve; thence Northwesterly along a curve to the right which has a radius of 625.00 feet and a chord which bears N76°45'28"W, 270.58 feet; thence N64°15'23"W, 283.48 feet; thence N25°44'37"E, 60.00 feet; thence S64°15'23"E, 309.09 feet; thence N25°44'37"E, 234.54 feet to a point of curve; thence Northerly along a curve to the left which has a radius of 150.00 feet and a chord which bears N13°13'52"E, 64.99 feet; thence N00°43'08"E, 86.55 feet to a point of curve; thence Northerly along a curve to the right which has a radius of 150.00 feet and a chord which bears N12°45'30"E, 62.57 feet to a point of curve; thence Northwesterly along a curve to the right which has a radius of 90.00 feet and a chord which bears N34°46'40"W, 104.57 feet; thence N00°44'27"E, 91.00 feet to a point of curve; thence Northeasterly along a curve to the right which has a radius of 90.00 feet and a chord which bears N45°44'27"E, 127.28 feet; thence S89°15'33"E, 417.54 feet to a point of curve; thence Northeasterly along a curve to the left which has a radius of 150.00 feet and a chord which bears N76°02'05"E, 76.16 feet; thence N61°19'43"E, 49.83 feet; thence S28°40'17"E, 130.00 feet; thence N61°19'43"E, 94.14 feet; thence S89°15'33"E, 136.92 feet to the point of beginning. Containing 16.599 acres,

ACACIA RIDGE – Residential Building Complex

Parcel 1:

A parcel of land located in the SE1/4 of the SE1/4 of Section 28, T7N, R8E, City of Madison, Dane County, Wisconsin to-wit:

Commencing at the Southeast corner of said Section 28; thence N01°20'36"E, 452.13 feet along the East line of said SE1/4; thence S89°56'35"W, 292.09 feet to the point of beginning; thence S01°20'36"W, 180.42 feet; thence N88°39'24"W, 95.00 feet; thence N01°20'36"E, 178.10 feet; thence N89°56'35"E, 95.03 feet to the point of beginning. Containing 17,030 square feet.

Parcel 2:

A parcel of land located in the SE1/4 of the SE1/4 of Section 28, T7N, R8E, City of Madison, Dane County, Wisconsin to-wit:

Commencing at the Southeast corner of said Section 28; thence N01°20'36"E, 452.13 feet along the East line of said SE1/4; thence S89°56'35"W, 614.51 feet to the point of beginning; thence S00°03'25"E, 178.00 feet; thence S89°56'35"W, 95.00 feet; thence N00°03'25"W, 178.00 feet; thence N89°56'35"E, 95.00 feet to the point of beginning. Containing 16,910 square feet.

LOT TYPE	UNITS	%
CC-T	147	20%
MF	134	19%
MF TOTAL	281	39%
TWINS	10	1%
GARDEN - 31	32	4%
COTTAGE - 37	100	14%
VILLAGE - 45	93	13%
MEADOW - 51	7	1%
TERRACE - 59	112	16%
MANOR - 65	58	8%
ESTATE - 69	29	4%
SF TOTAL	441	61%
TOTAL	722	100%



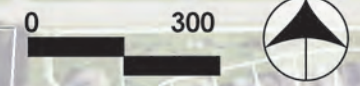
ACACIA RIDGE NEIGHBORHOOD

MADISON, WISCONSIN

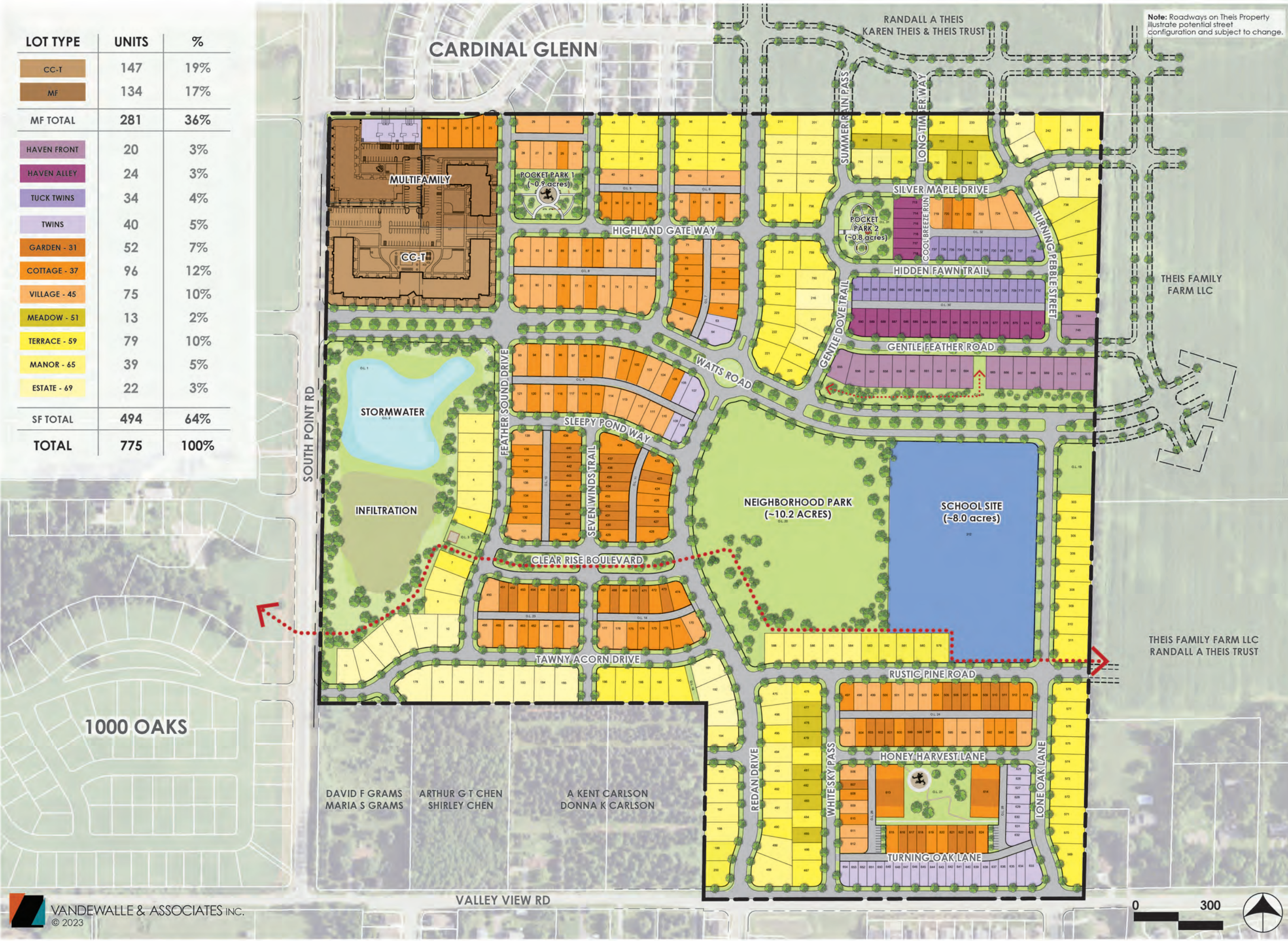
REVISED : 2.13.23

SCALE : 1" = 300'

ADOPTED:
NEIGHBORHOOD
MASTER PLAN



LOT TYPE	UNITS	%
CC-T	147	19%
MF	134	17%
MF TOTAL	281	36%
HAVEN FRONT	20	3%
HAVEN ALLEY	24	3%
TUCK TWINS	34	4%
TWINS	40	5%
GARDEN - 31	52	7%
COTTAGE - 37	96	12%
VILLAGE - 45	75	10%
MEADOW - 51	13	2%
TERRACE - 59	79	10%
MANOR - 65	39	5%
ESTATE - 69	22	3%
SF TOTAL	494	64%
TOTAL	775	100%



Note: Roadways on This Property illustrate potential street configuration and subject to change.



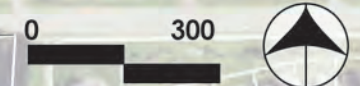
ACACIA RIDGE NEIGHBORHOOD

MADISON, WISCONSIN

REVISED : 2.27.23

SCALE : 1"= 300'

PROPOSED:
NEIGHBORHOOD
MASTER PLAN

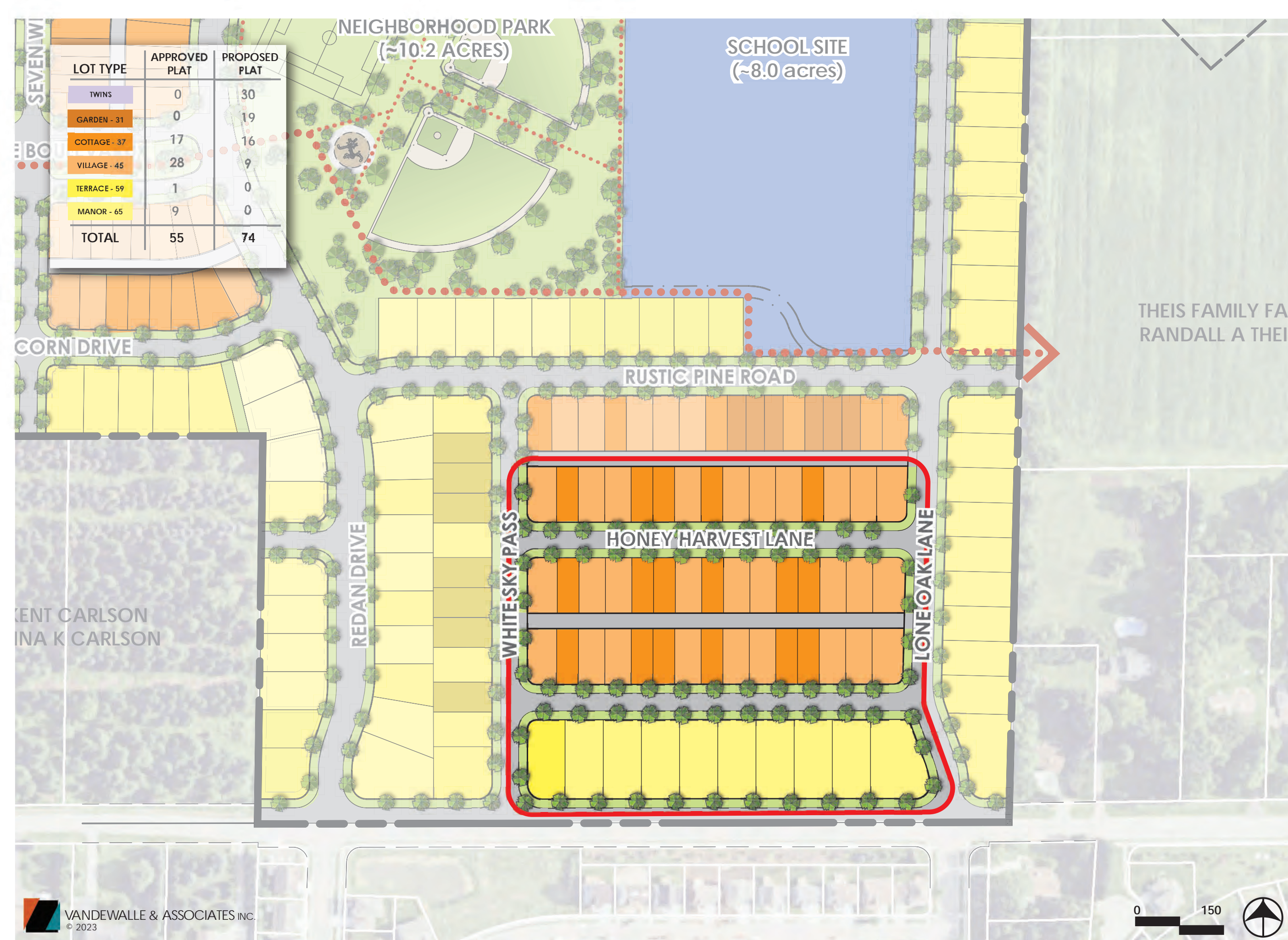


ACACIA RIDGE NEIGHBORHOOD
MADISON, WISCONSIN

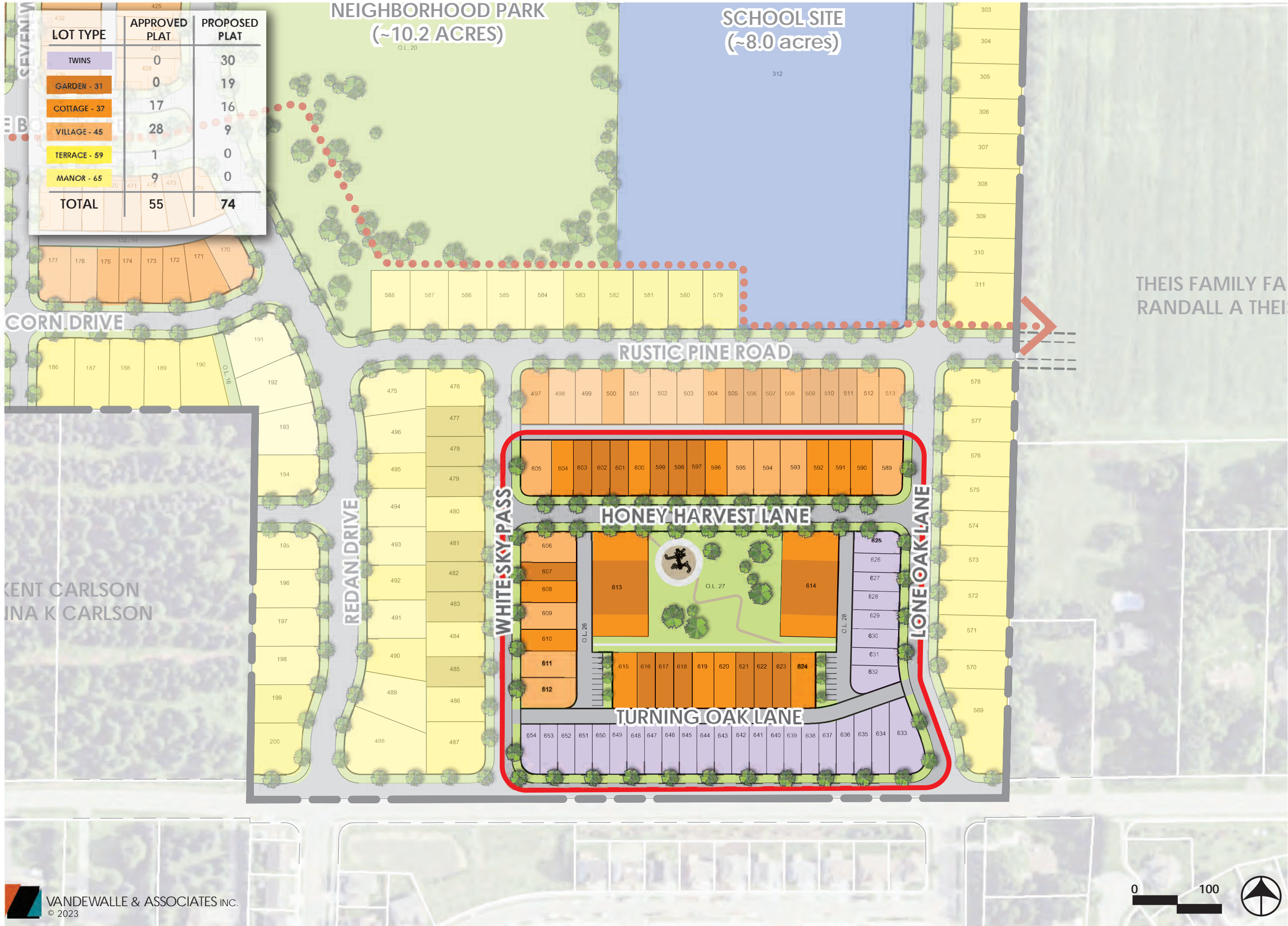
REVISED : 2.13.23

SCALE : 1" = 150'

**ADOPTED
REPLAT #4
MASTER PLAN**



LOT TYPE	APPROVED PLAT	PROPOSED PLAT
TWINS	0	30
GARDEN - 31	0	19
COTTAGE - 37	17	16
VILLAGE - 45	28	9
TERRACE - 59	1	0
MANOR - 65	9	0
TOTAL	55	74



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ACACIA RIDGE NEIGHBORHOOD
MADISON, WISCONSIN

REVISED : 2.27.23

SCALE : 1" = 100'

**PROPOSED
REPLAT #4
MASTER PLAN**



UNIT TYPE

TWINS

GARDEN - 31

COTTAGE - 37

VILLAGE - 45



ACACIA RIDGE NEIGHBORHOOD
MADISON, WISCONSIN

REVISED : 2.27.23

SCALE : 1"= 40'

PROPOSED:
RESIDENTIAL
BUILDING COMPLEX
ILLUSTRATIVE
PLAN



ACACIA RIDGE NEIGHBORHOOD

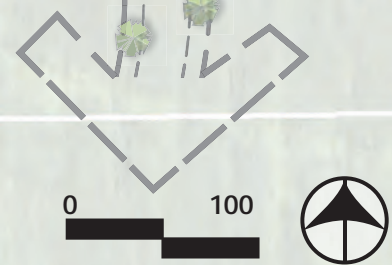
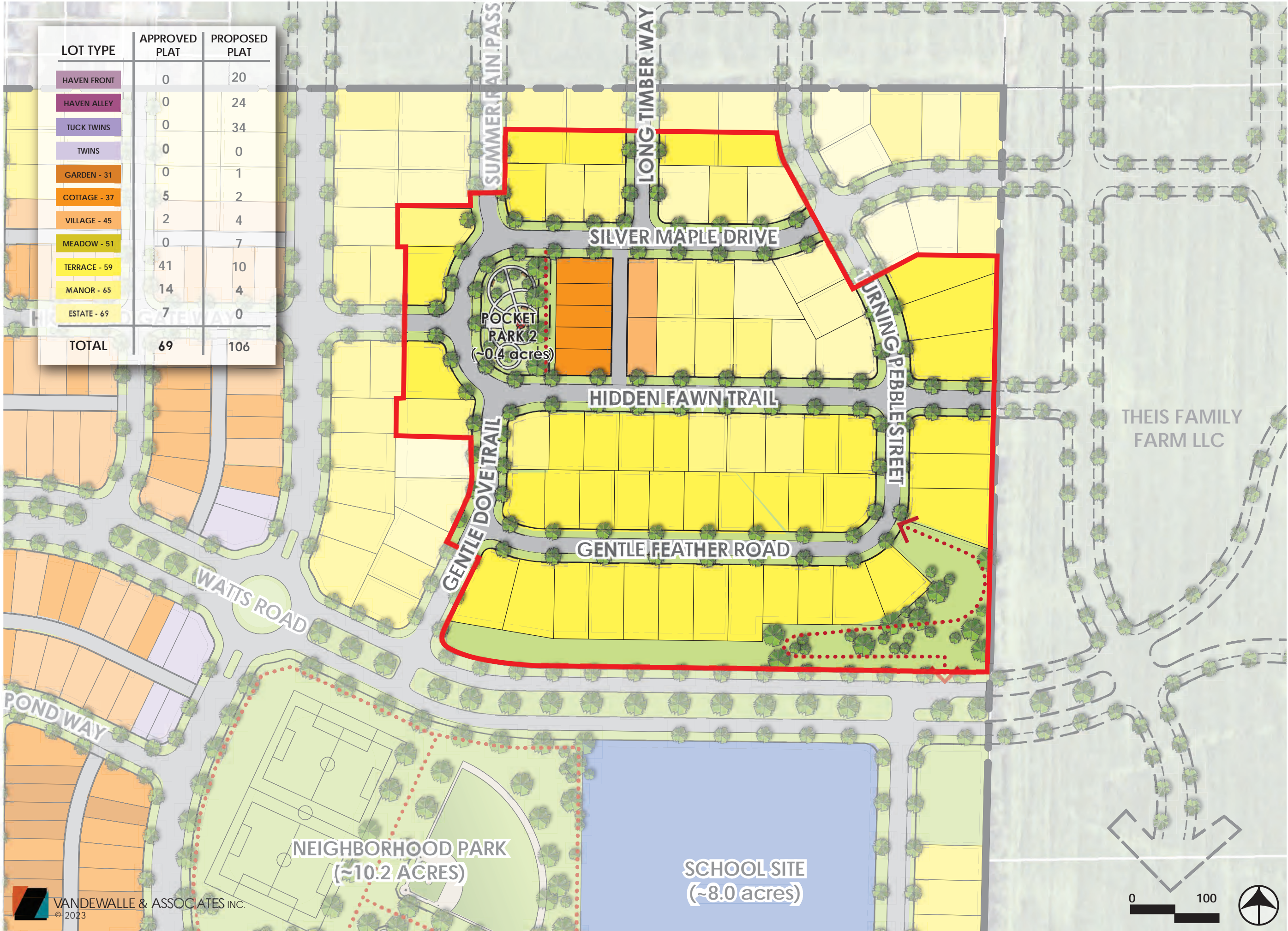
MADISON, WISCONSIN

REVISED : 2.13.23

SCALE : 1" = 100'

**ADOPTED
REPLAT #5
MASTER PLAN**

LOT TYPE	APPROVED PLAT	PROPOSED PLAT
HAVEN FRONT	0	20
HAVEN ALLEY	0	24
TUCK TWINS	0	34
TWINS	0	0
GARDEN - 31	0	1
COTTAGE - 37	5	2
VILLAGE - 45	2	4
MEADOW - 51	0	7
TERRACE - 59	41	10
MANOR - 65	14	4
ESTATE - 69	7	0
TOTAL	69	106

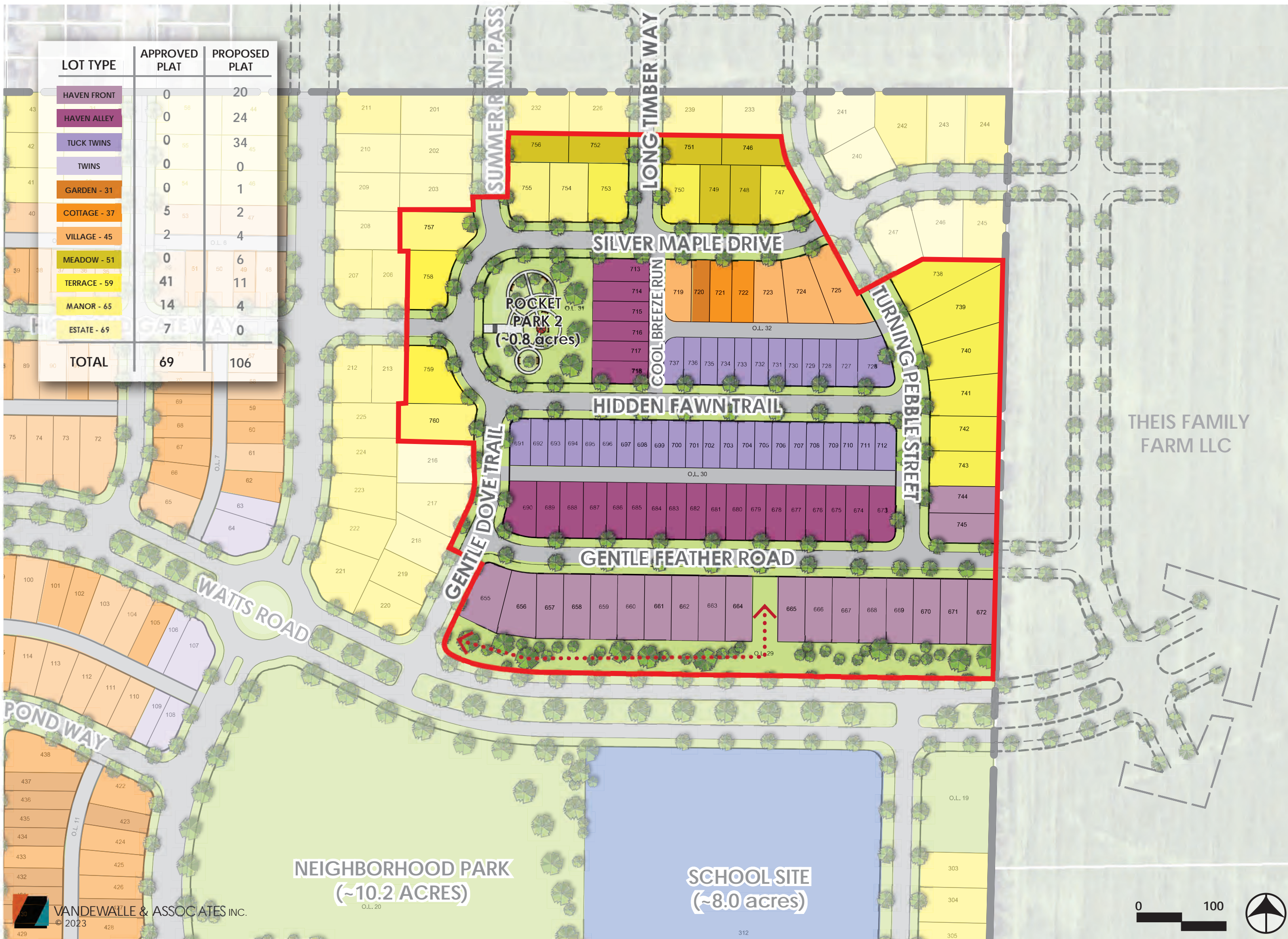


ACACIA RIDGE NEIGHBORHOOD
MADISON, WISCONSIN

REVISED : 2.23.23

SCALE : 1" = 100'

**PROPOSED
REPLAT #5
MASTER PLAN**

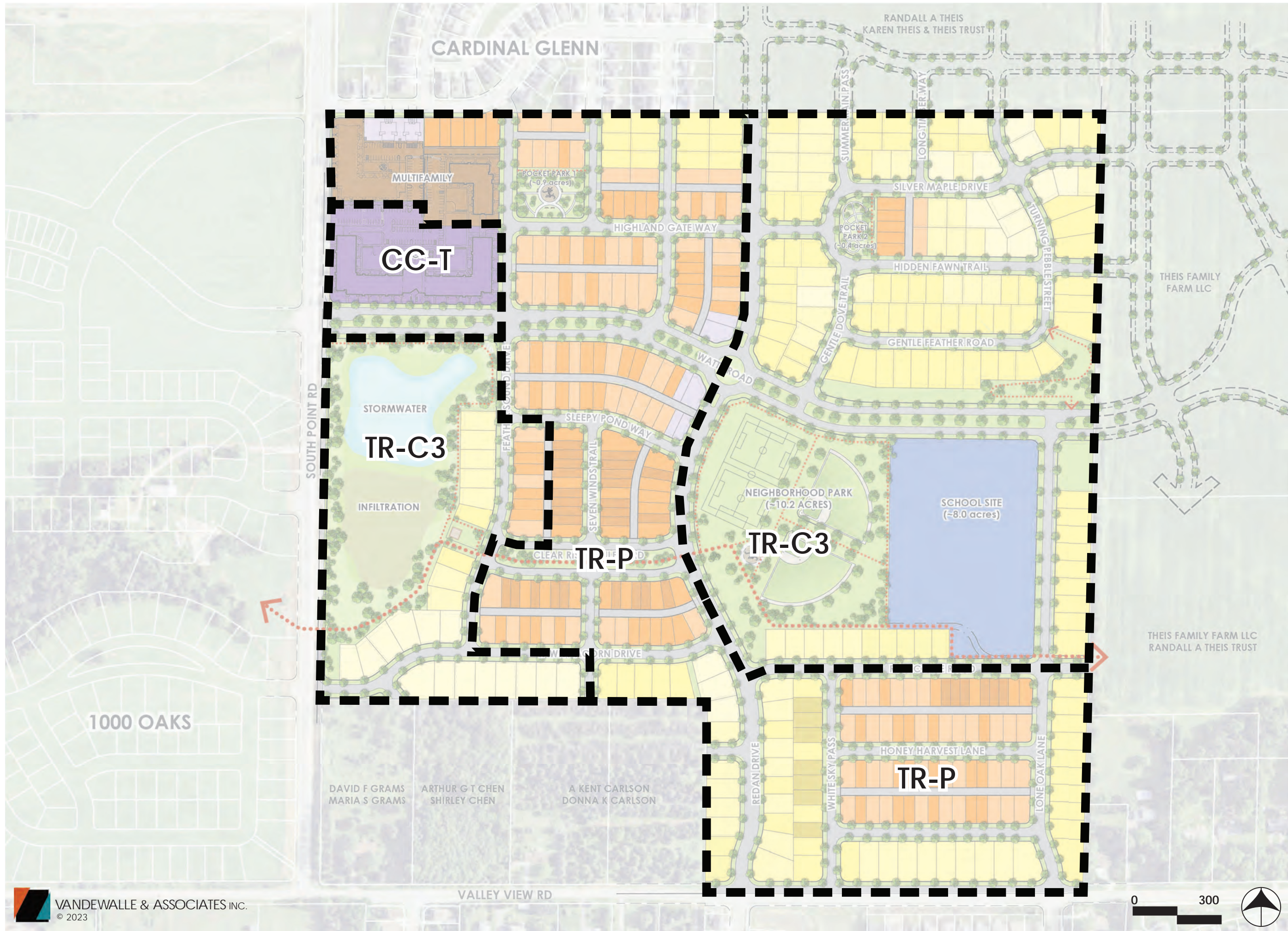


ACACIA RIDGE NEIGHBORHOOD
MADISON, WISCONSIN

REVISED : 2.13.23

SCALE : 1" = 300'

ADOPTED:
ZONING PLAN

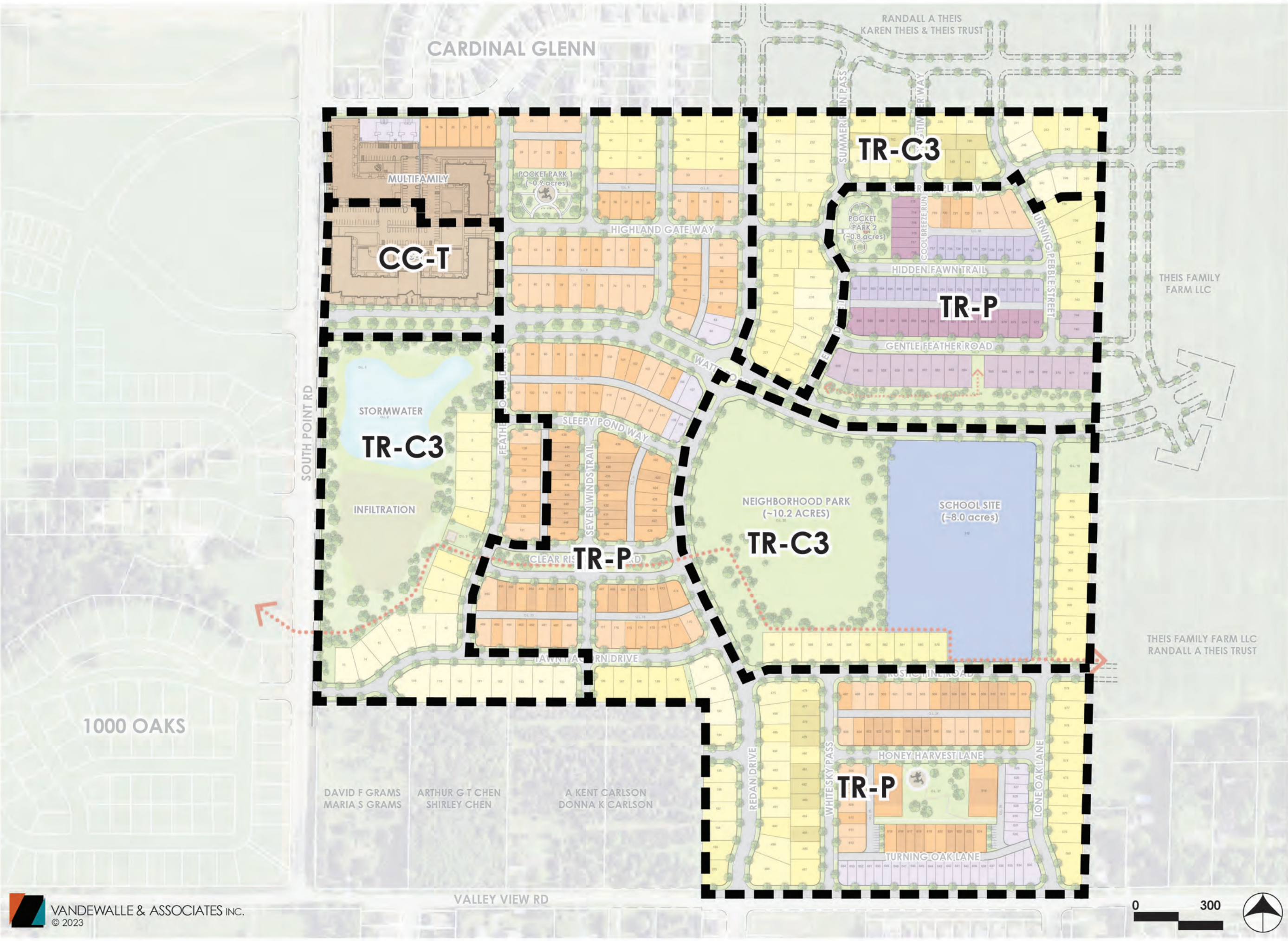


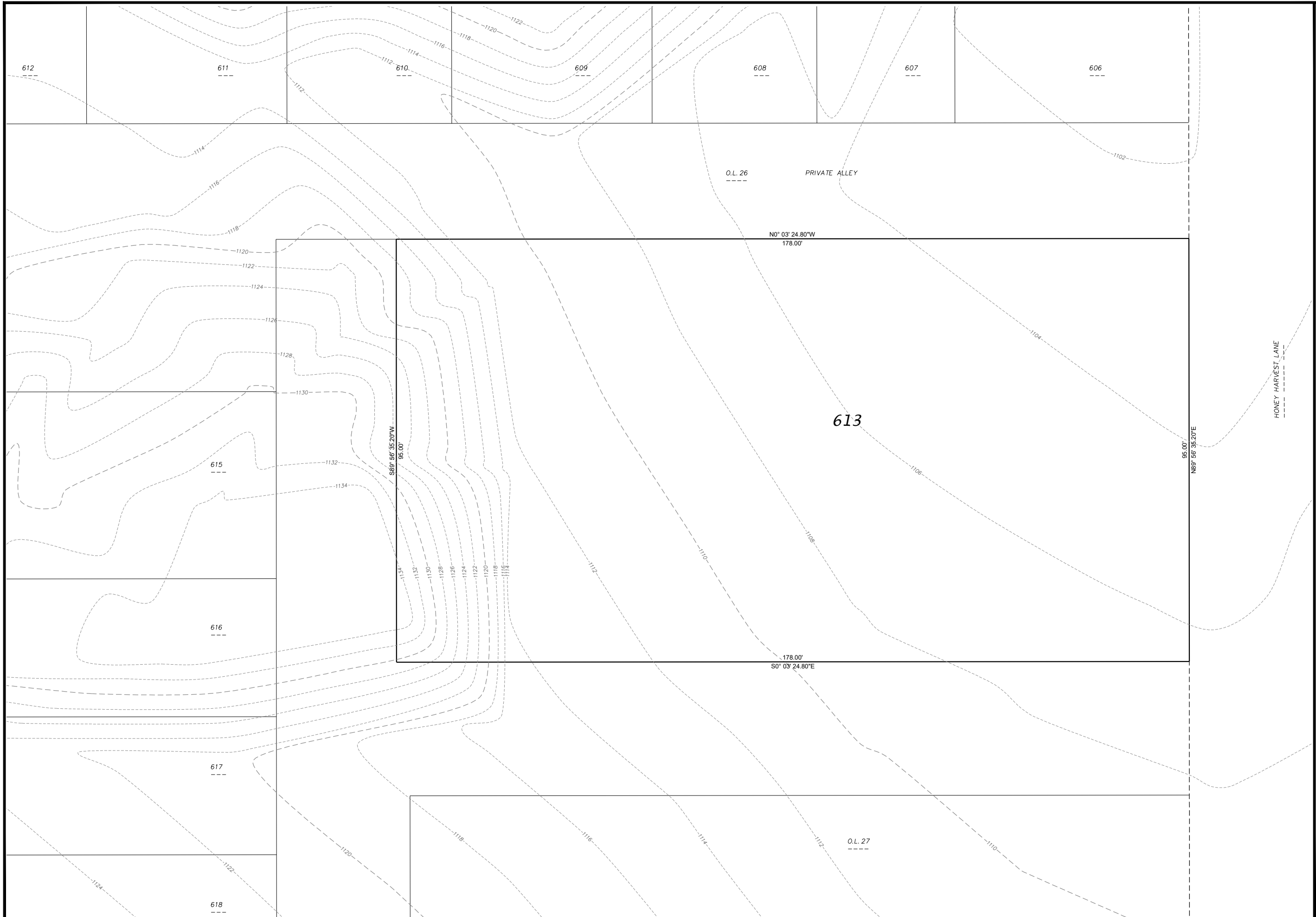
**ACACIA RIDGE NEIGHBORHOOD
MADISON, WISCONSIN**

REVISED : 2.13.23

SCALE : 1" = 300'

**PROPOSED:
ZONING PLAN**







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EXISTING TOPOGRAPHY
PLANNED RESIDENTIAL DEVELOPMENT
ACACIA RIDGE - LOT 613

CITY OF MADISON, DANE COUNTY, WISCONSIN


 SCALE: 1" = 20'
 (PAGE SIZE: 11x17)


DATE: 02-27-23
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 DRAWN BY: JMS
 FN: 23-05-104
 Sheet Number:
C100

GENERAL NOTES






1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.
7. LOTS/BUILDINGS WITHIN THIS DEVELOPMENT ARE SUBJECT TO IMPACT FEES THAT ARE DUE AND PAYABLE AT THE TIME BUILDING PERMIT(S) ARE ISSUED.
8. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET WITHIN THE VISION CORNER.

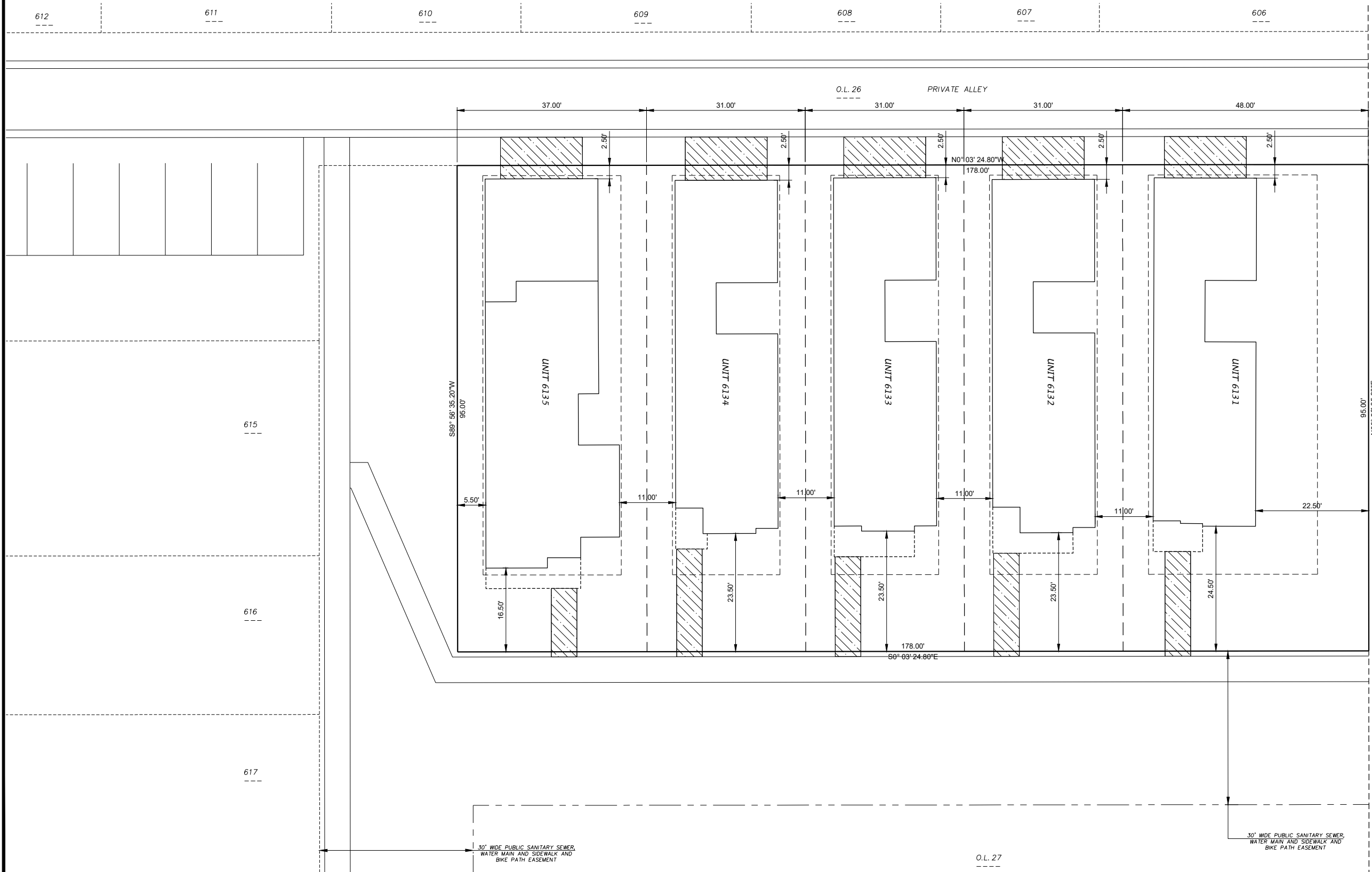
ZONING AND SETBACKS

TR-P DISTRICT: ALL UNITS
 FRONT YARD = 15 FEET
 REAR YARD = 2 FEET
 SIDE YARD = 5 FEET
 SIDE YARD (SECOND) = 10 FEET

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

LEGEND

-  PROPOSED CONCRETE
-  PROJECT BOUNDARY
-  LOT LINE
-  EASEMENT LINE
-  SETBACK LINE



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**PLANNED RESIDENTIAL DEVELOPMENT
 ACACIA RIDGE - LOT 613**

SITE PLAN

CITY OF MADISON, DANE COUNTY, WISCONSIN

PUBLIC IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON UNDER ACACIA RIDGE PHASE 9 DEVELOPMENT PLANS



SCALE: 1" = 20'
 (PAGE SIZE: 11x17)

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Sheet Number:
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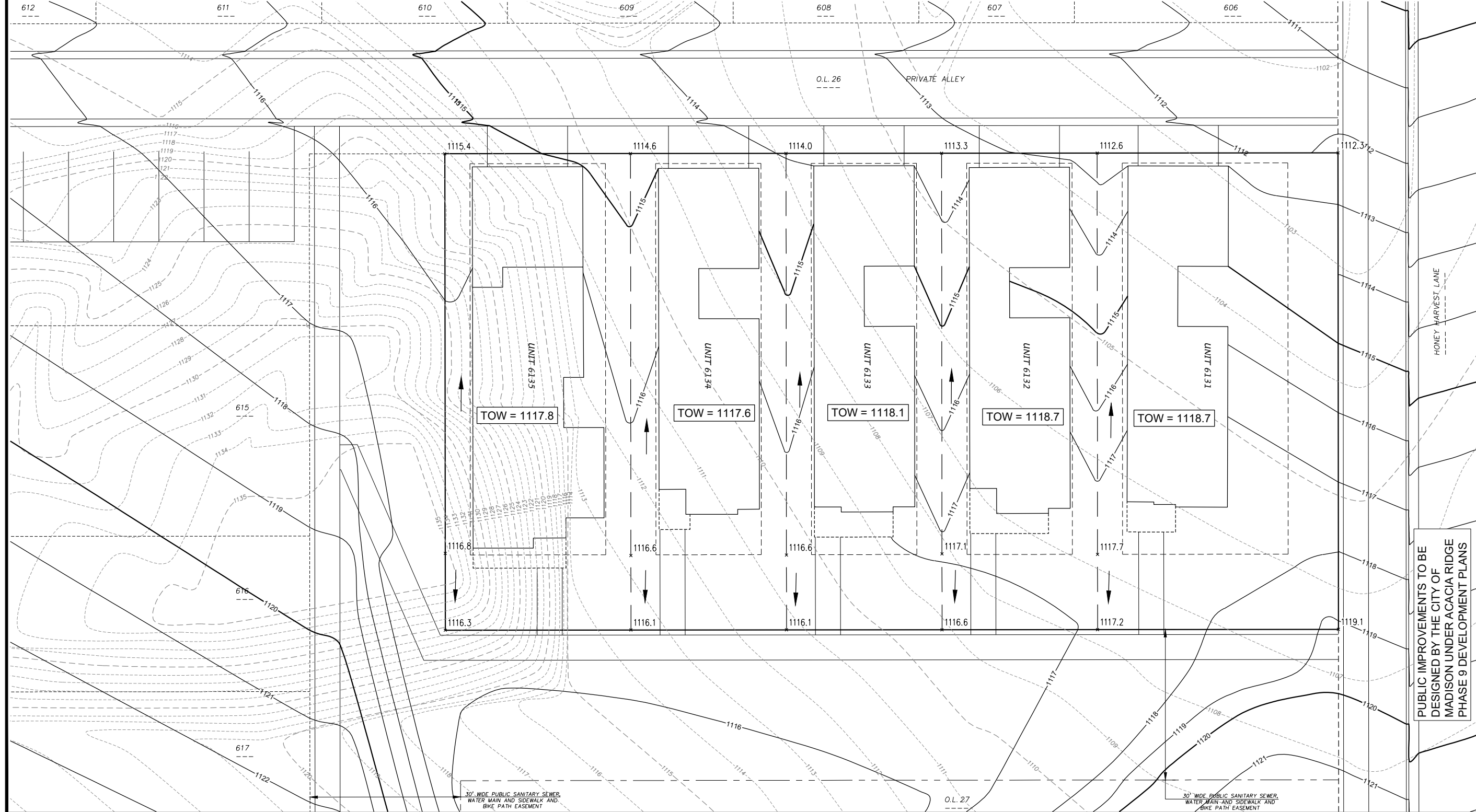
GRADING & EROSION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
- INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. CONTRACTOR SHALL REMOVE THE TYPE D INLET PROTECTION DURING THE TIME PERIOD BETWEEN NOV. 15 AND MARCH 15, AND INSTALL A FRAME TYPE INLET PROTECTION BAG THAT WILL NOT PROJECT ABOVE THE INLET GRATE SUCH AS FLEX STORM BRAND OR EQUIVALENT.

- CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1
- SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
- ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
- ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
- PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
- GROUNDWATER DEWATERING IS NOT ANTICIPATED DURING THE CONSTRUCTION ACTIVITIES. SHOULD DEWATERING BECOME NECESSARY, AN APPROPRIATE DEWATERING SYSTEM AND IMPLEMENTATION PLAN SHALL BE PREPARED AND SUBMITTED TO CITY ENGINEERING PRIOR TO A QUALIFIED CONTRACTOR BEGINNING DEWATERING OPERATIONS.

LEGEND

-----	BUILDING ENVELOPE
- - - - -	EASEMENT
x 900.0	FINAL LOT LINE ELEVATION TO BE MET w/RESTORATION OF HOMESITE
TOW = 967.5	TOP OF FOUNDATION WALL ELEV
←	DRAINAGE ARROW



GRADING PLAN
PLANNED RESIDENTIAL DEVELOPMENT
ACACIA RIDGE - LOT 613

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PUBLIC IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON UNDER ACACIA RIDGE PHASE 9 DEVELOPMENT PLANS







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 DATE: 02-27-23
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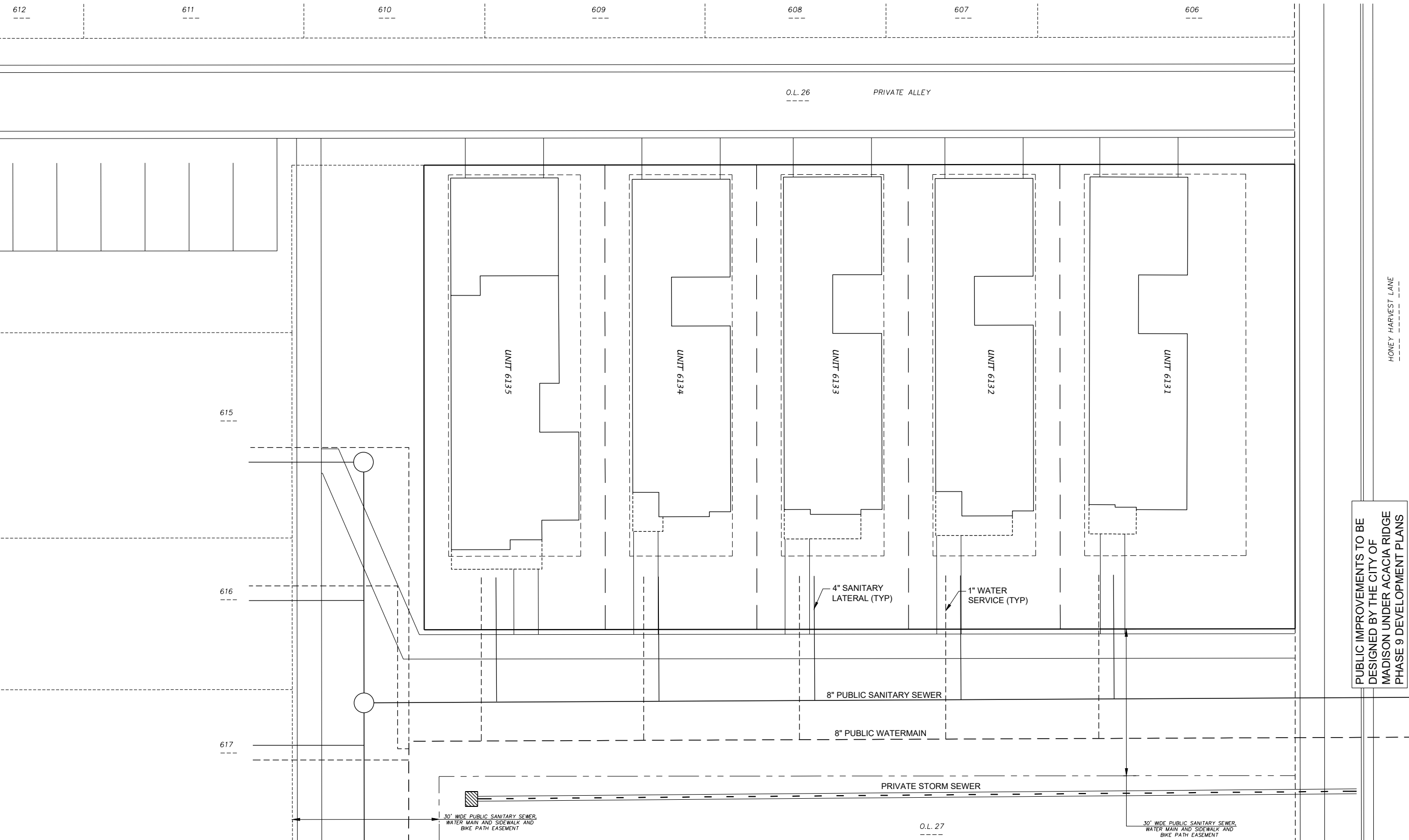
SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
5. WATER MAIN TO BE 4" C900 WITH 1" POLY SERVICE LINES.
6. FLUSH TYPE HYDRANTS TO BE MUELLER® 2-1/8" FLUSH TYPE FIRE HYDRANT WITH 6.5' BURY.
7. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
8. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.

9. INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE UNLESS OTHERWISE NOTED.
10. STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-1550A FRAME WITH SOLID LID UNLESS OTHERWISE NOTED.
11. STORM PIPES IN CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE. ALL OTHER STORM PIPE TO BE N-12 UNLESS OTHERWISE NOTED..
12. ROOF DRAIN STORM PIPES TO BE N-12 @ 1.0% UNLESS OTHERWISE SHOWN.
13. SEWER AND WATER LATERAL LENGTHS SHOWN INTO BUILDINGS INCLUDE A 5 FEET EXTENSION BEYOND OUTSIDE FOUNDATION WALL

LEGEND

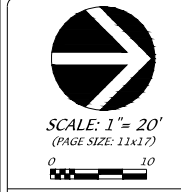
-  STORM SEWER
-  SANITARY SEWER
-  WATER MAIN
-  MUELLER® 2-1/8" FLUSH HYDRANT
-  MANHOLE
-  INLET



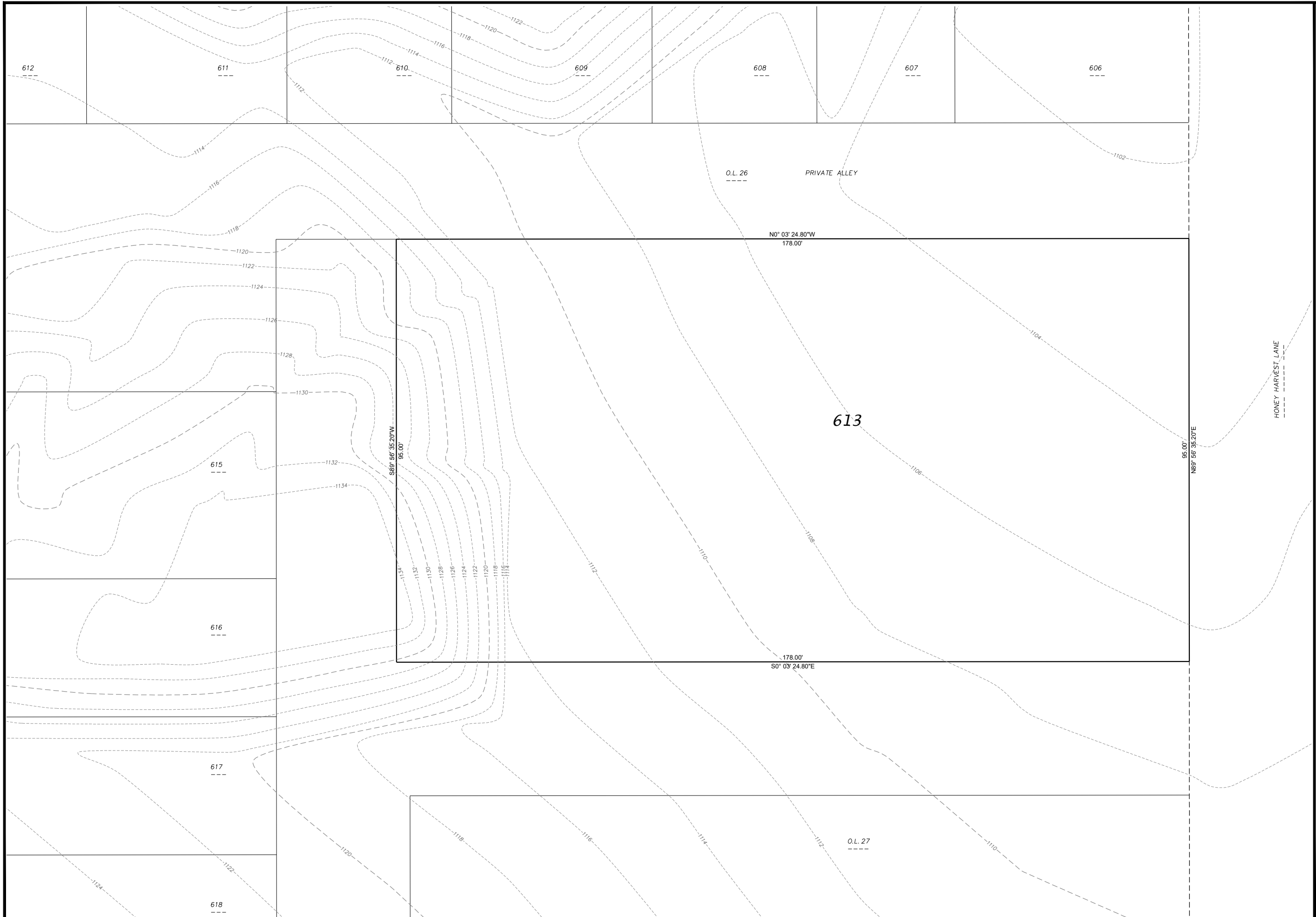
PUBLIC IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON UNDER ACACIA RIDGE PHASE 9 DEVELOPMENT PLANS

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**PLANNED RESIDENTIAL DEVELOPMENT
 ACACIA RIDGE - LOT 613**



DATE: 02-27-23
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EXISTING TOPOGRAPHY

**PLANNED RESIDENTIAL DEVELOPMENT
 ACACIA RIDGE - LOT 613**

CITY OF MADISON, DANE COUNTY, WISCONSIN



SCALE: 1" = 20'
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GENERAL NOTES






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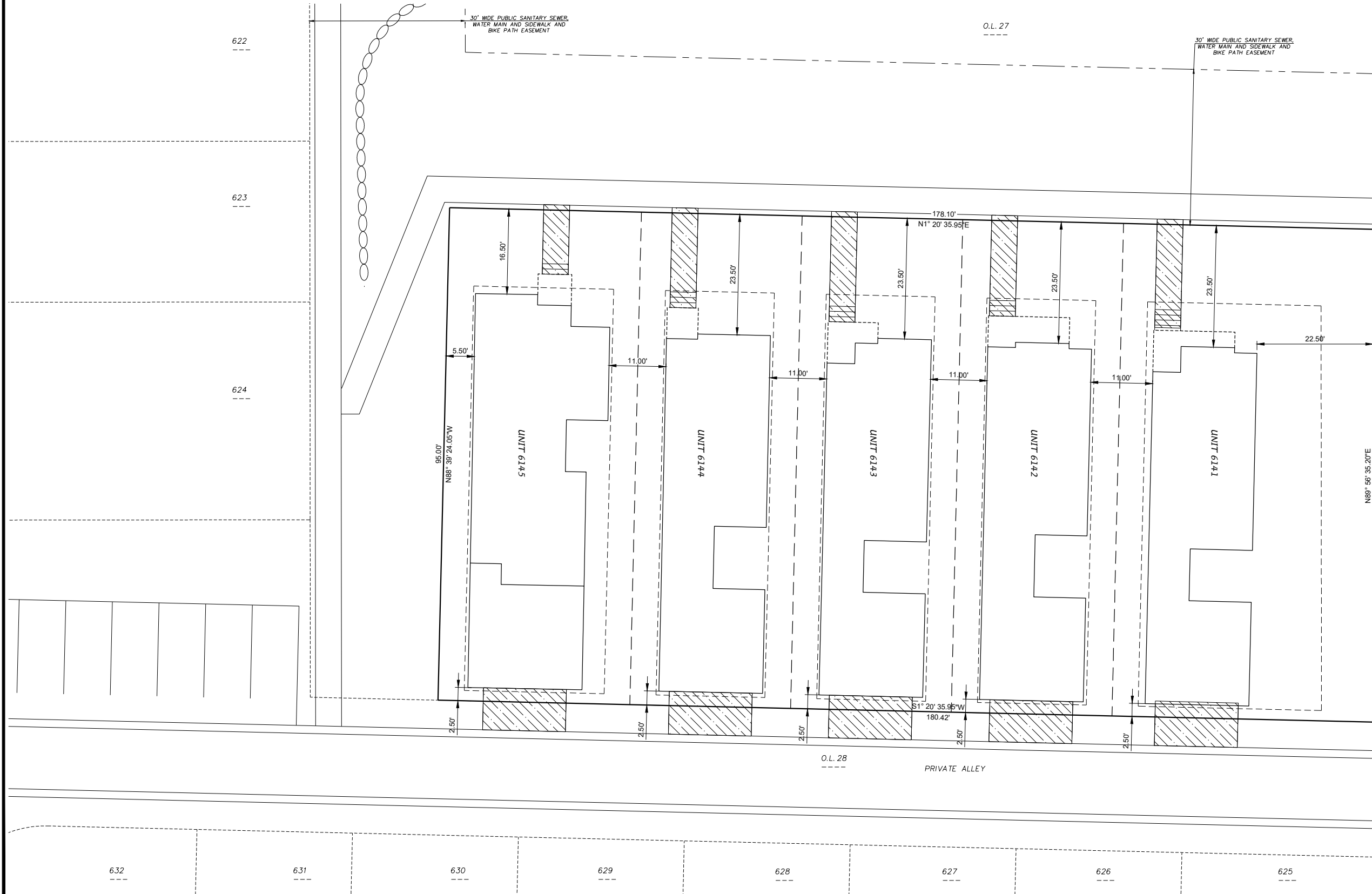
ZONING AND SETBACKS

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LEGEND

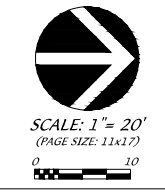
-  PROPOSED CONCRETE
-  PROJECT BOUNDARY
-  LOT LINE
-  EASEMENT LINE
-  SETBACK LINE



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SITE PLAN
PLANNED RESIDENTIAL DEVELOPMENT
ACACIA RIDGE - LOT 614
 CITY OF MADISON, DANE COUNTY, WISCONSIN

PUBLIC IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON UNDER ACACIA RIDGE PHASE 9 DEVELOPMENT PLANS



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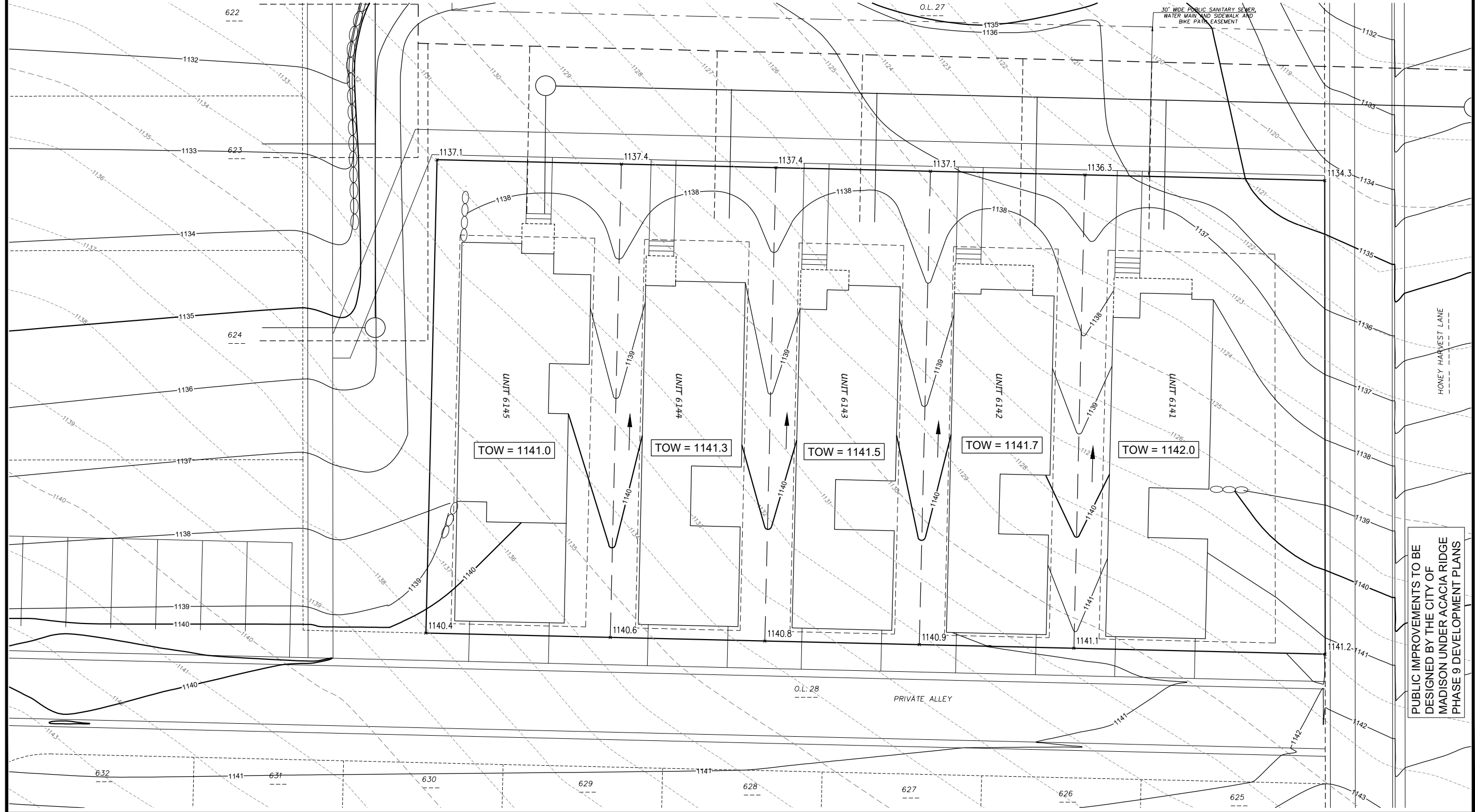
GRADING & EROSION CONTROL NOTES

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3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. CONTRACTOR SHALL REMOVE THE TYPE D INLET PROTECTION DURING THE TIME PERIOD BETWEEN NOV. 15 AND MARCH 15, AND INSTALL A FRAME TYPE INLET PROTECTION BAG THAT WILL NOT PROJECT ABOVE THE INLET GRATE SUCH AS FLEX STORM BRAND OR EQUIVALENT.

9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
15. GROUNDWATER DEWATERING IS NOT ANTICIPATED DURING THE CONSTRUCTION ACTIVITIES. SHOULD DEWATERING BECOME NECESSARY, AN APPROPRIATE DEWATERING SYSTEM AND IMPLEMENTATION PLAN SHALL BE PREPARED AND SUBMITTED TO CITY ENGINEERING PRIOR TO A QUALIFIED CONTRACTOR BEGINNING DEWATERING OPERATIONS.

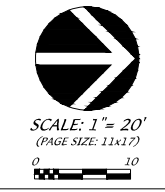
LEGEND

-----	BUILDING ENVELOPE
- - - - -	EASEMENT
x 900.0	FINAL LOT LINE ELEVATION TO BE MET w/RESTORATION OF HOMESITE
TOW = 967.5	TOP OF FOUNDATION WALL ELEV
←	DRAINAGE ARROW



GRADING PLAN
PLANNED RESIDENTIAL DEVELOPMENT
ACACIA RIDGE - LOT 614

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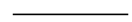
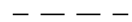



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 DATE: 02-27-23
 REVISED:
 DRAWN BY: JMS
 FN: 23-05-104
 Sheet Number:
C300

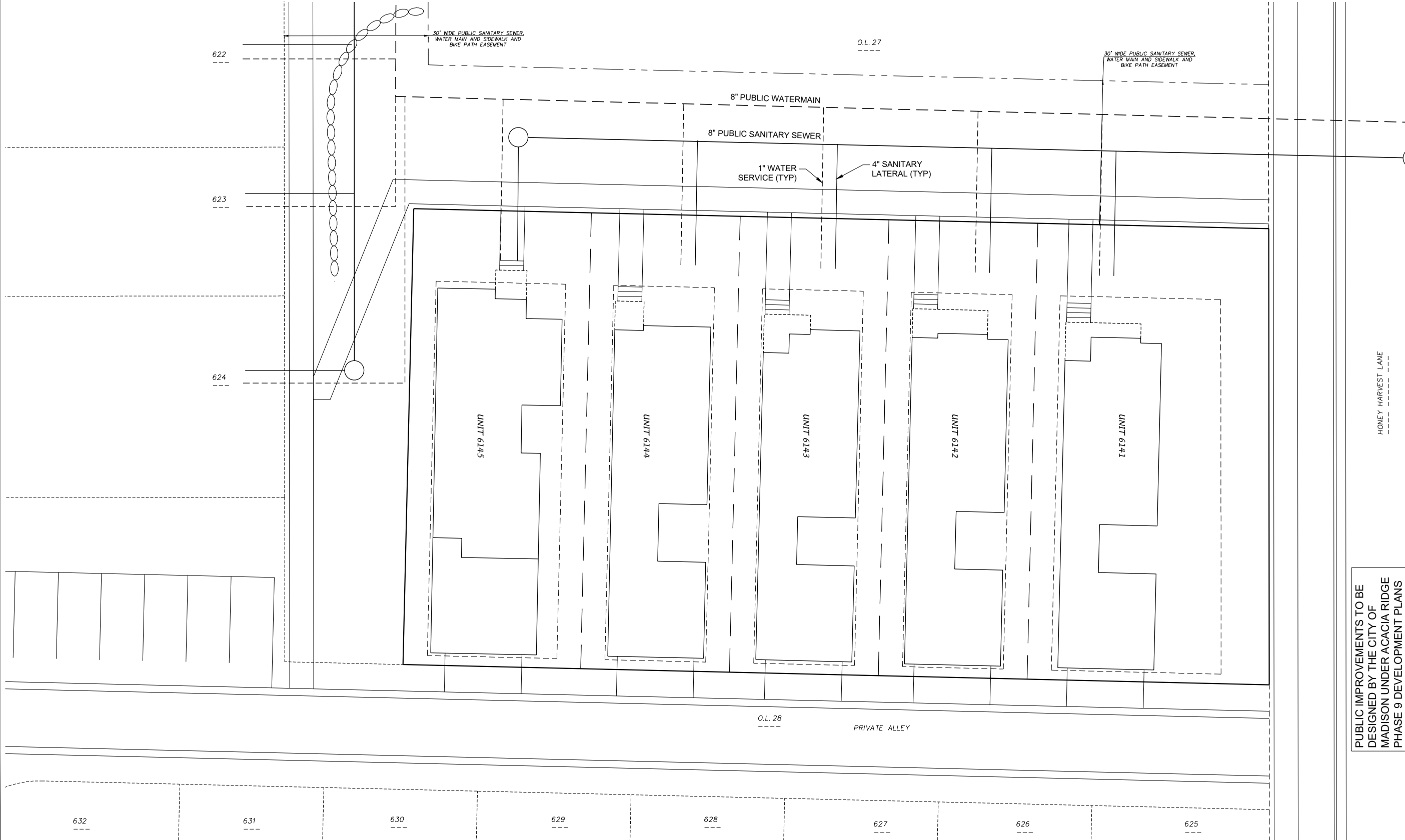
PUBLIC IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON UNDER ACACIA RIDGE PHASE 9 DEVELOPMENT PLANS

SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
5. WATER MAIN TO BE 4" C900 WITH 1" POLY SERVICE LINES.
6. FLUSH TYPE HYDRANTS TO BE MUELLER® 2-1/8" FLUSH TYPE FIRE HYDRANT WITH 6.5' BURY.
7. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
8. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
9. INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE UNLESS OTHERWISE NOTED.
10. STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-1550A FRAME WITH SOLID LID UNLESS OTHERWISE NOTED.
11. STORM PIPES IN CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE. ALL OTHER STORM PIPE TO BE N-12 UNLESS OTHERWISE NOTED..
12. ROOF DRAIN STORM PIPES TO BE N-12 @ 1.0% UNLESS OTHERWISE SHOWN.
13. SEWER AND WATER LATERAL LENGTHS SHOWN INTO BUILDINGS INCLUDE A 5 FEET EXTENSION BEYOND OUTSIDE FOUNDATION WALL

LEGEND

-  STORM SEWER
-  SANITARY SEWER
-  WATER MAIN
-  MUELLER® 2-1/8" FLUSH HYDRANT
-  MANHOLE
-  INLET




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**PLANNED RESIDENTIAL DEVELOPMENT
 ACACIA RIDGE - LOT 614**


UTILITY PLAN

CITY OF MADISON, DANE COUNTY, WISCONSIN

PUBLIC IMPROVEMENTS TO BE
 DESIGNED BY THE CITY OF
 MADISON UNDER ACACIA RIDGE
 PHASE 9 DEVELOPMENT PLANS



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 (PAGE SIZE: 11x17)



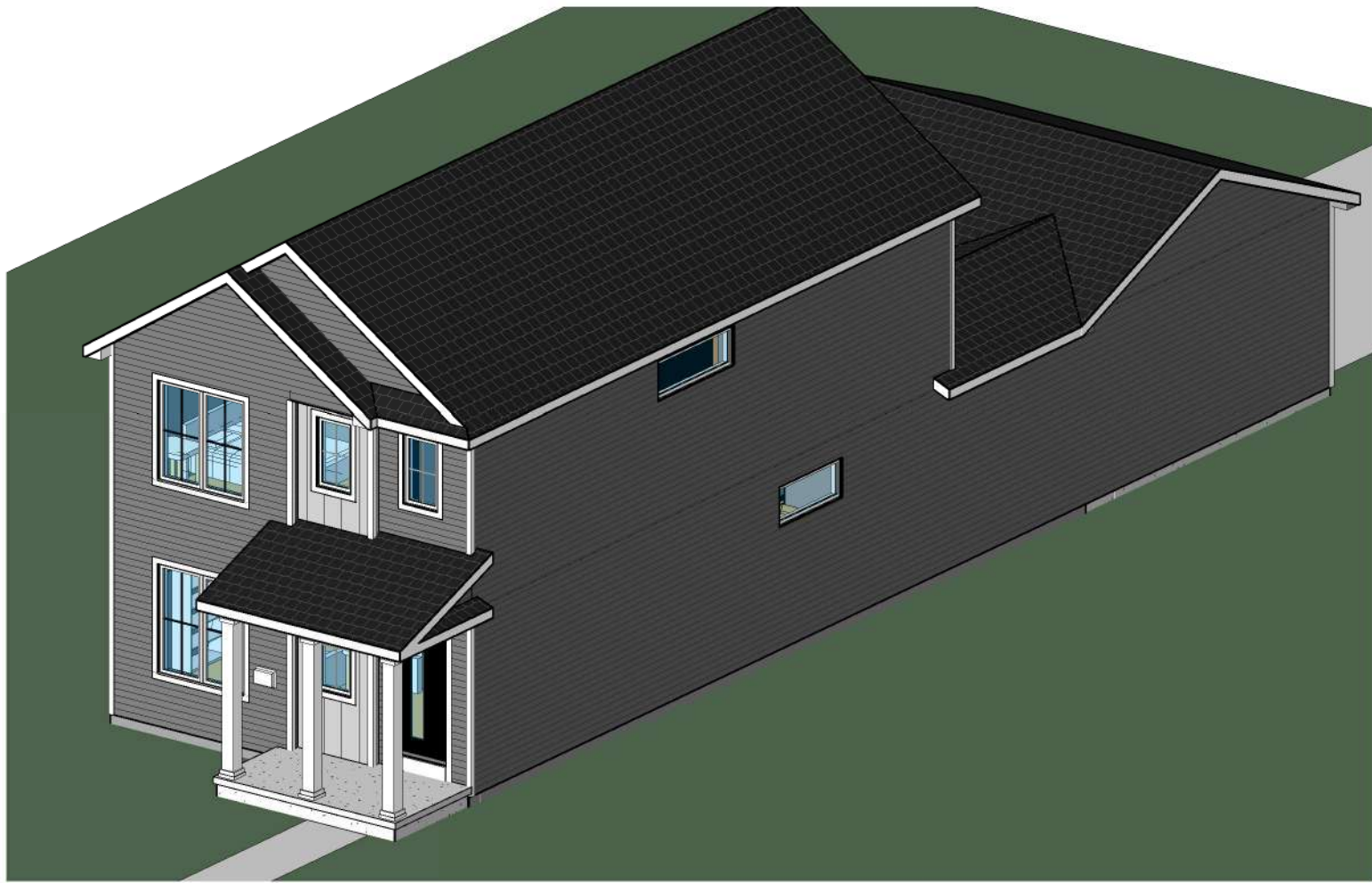
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DRAWN BY: JMS

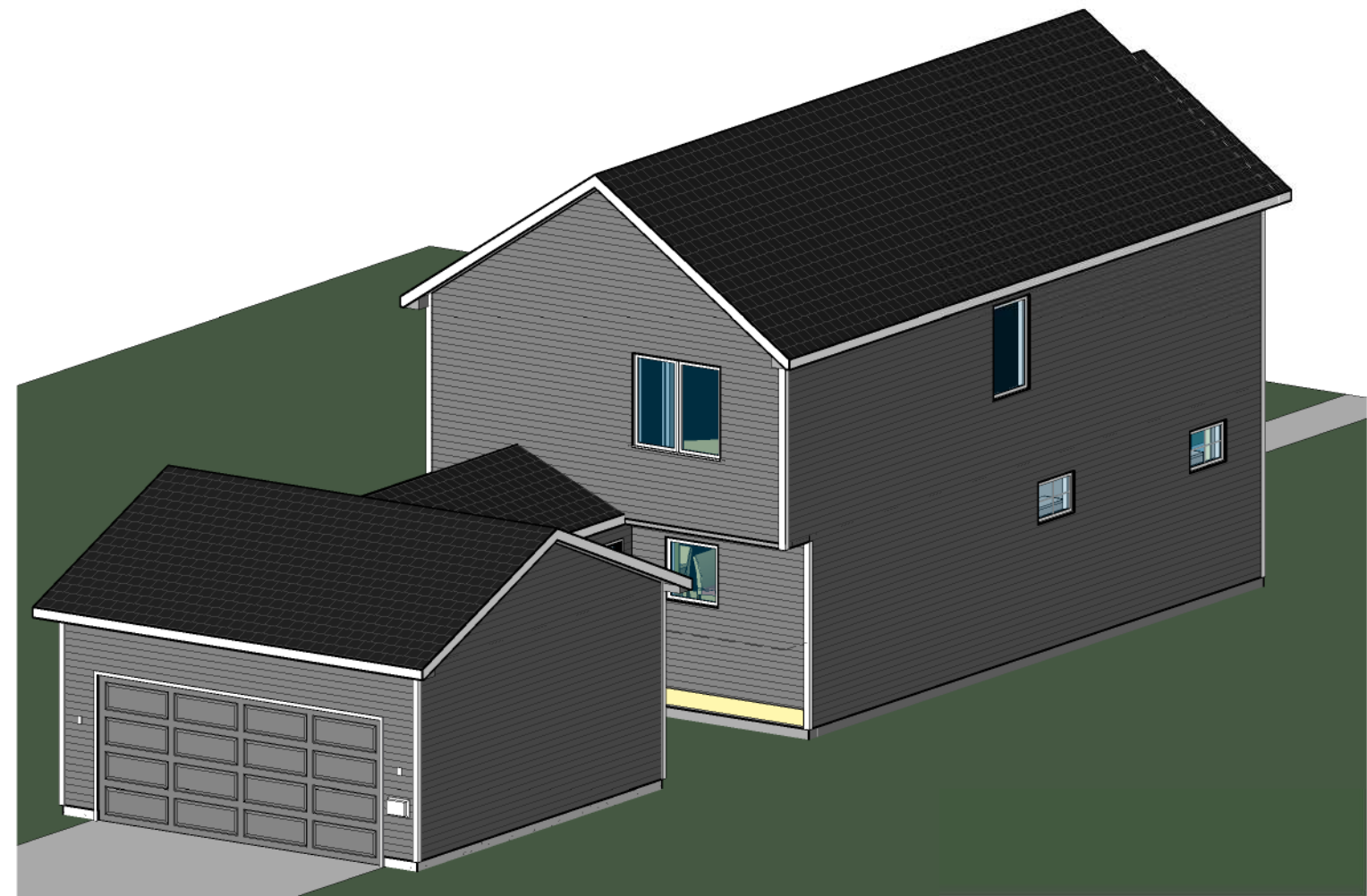
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Sheet Number:
C400

Unit 6131



3D - Modern G



3D - Modern G Rear

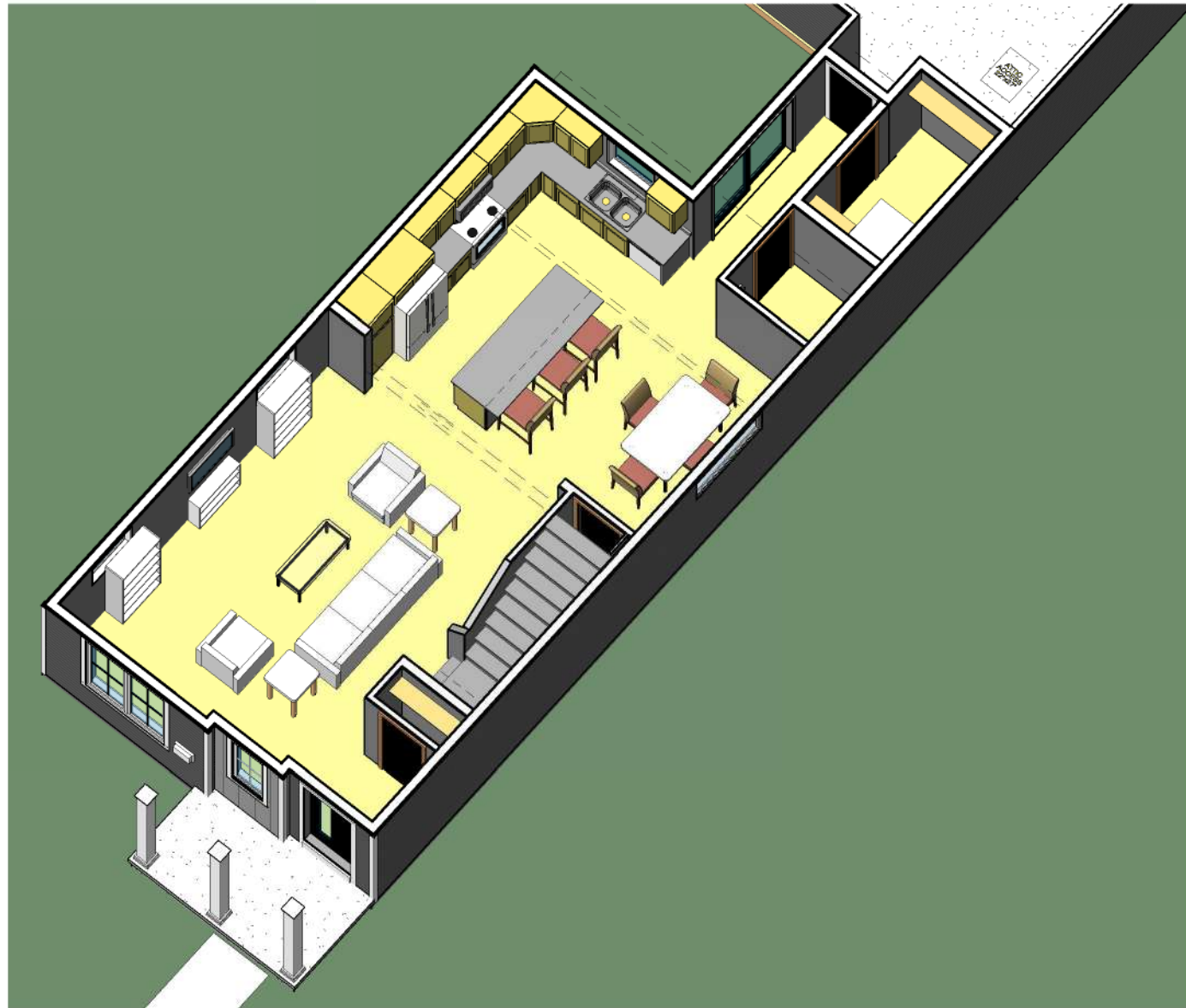
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

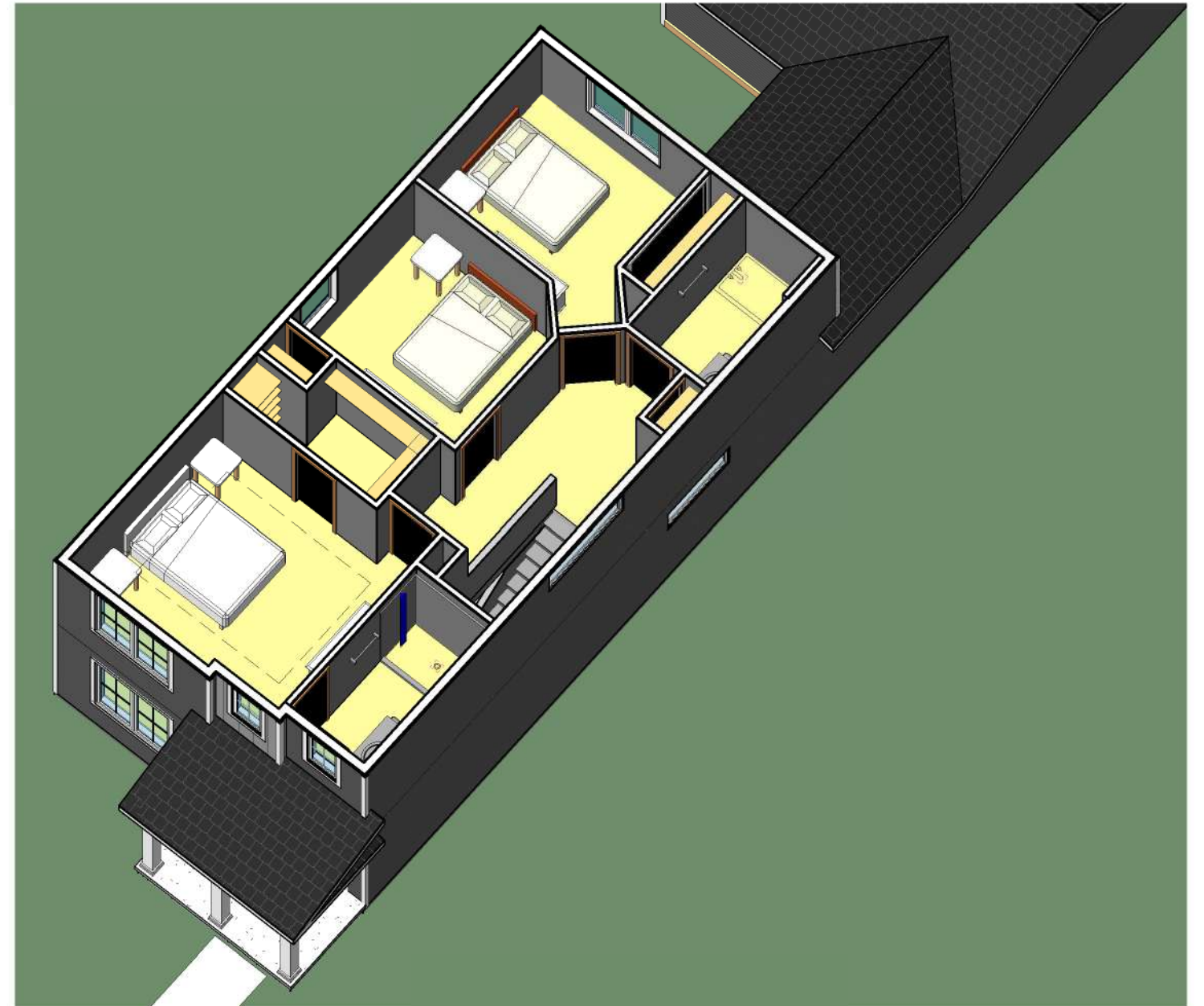
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			Revisions:


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3D - Modern G First Floor



3D - Modern G Second Floor

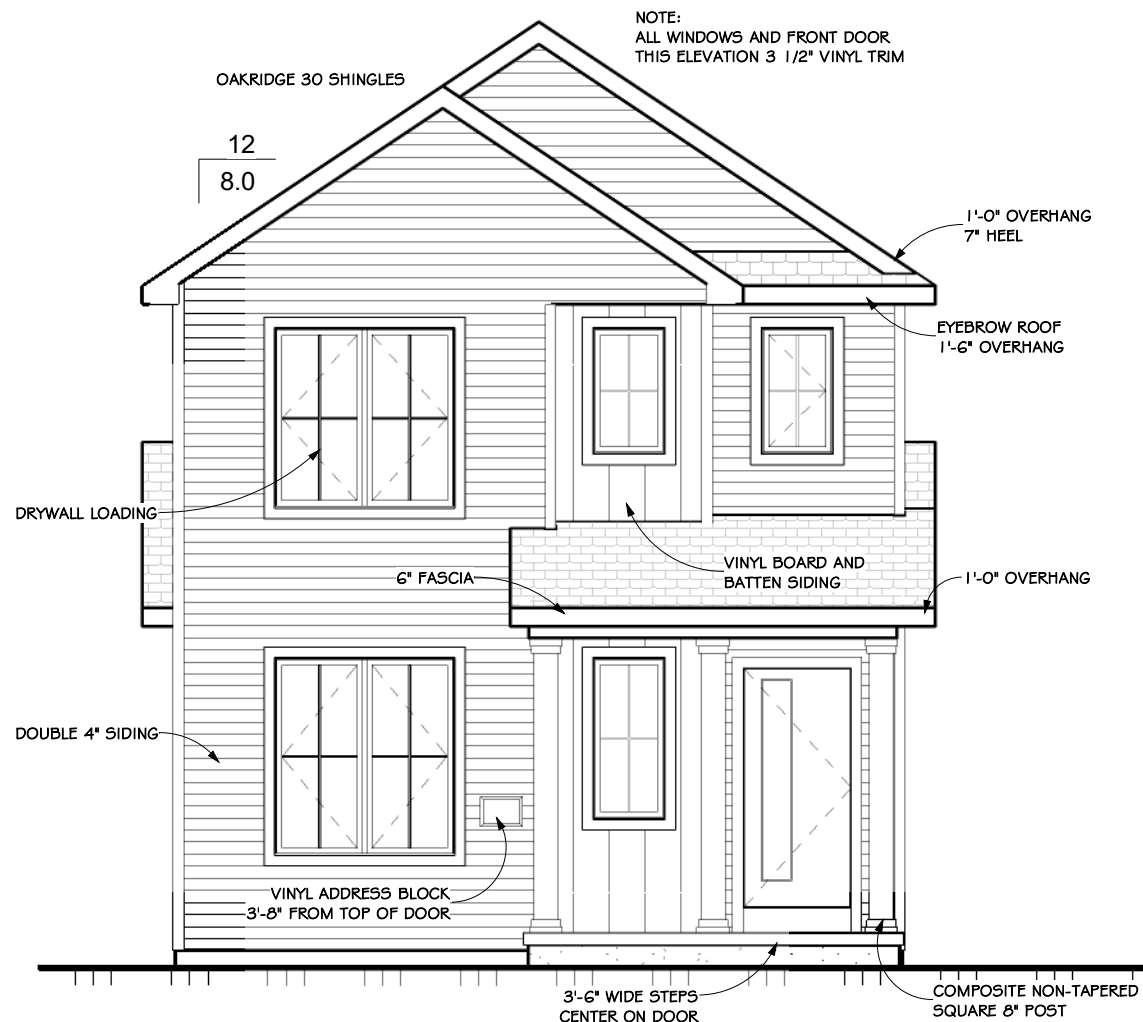
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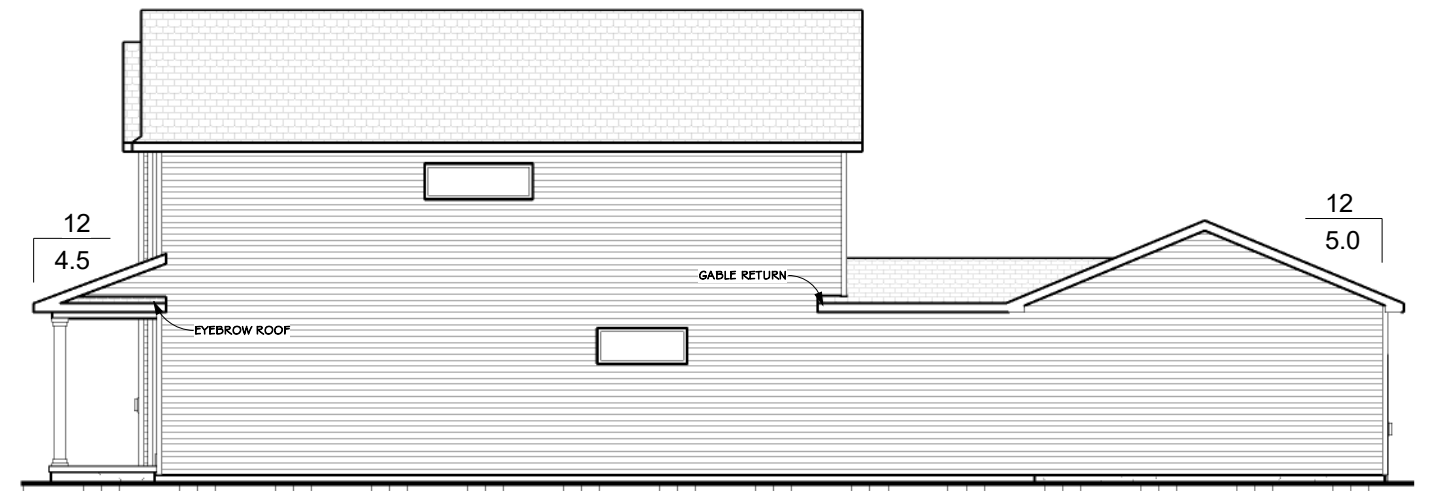

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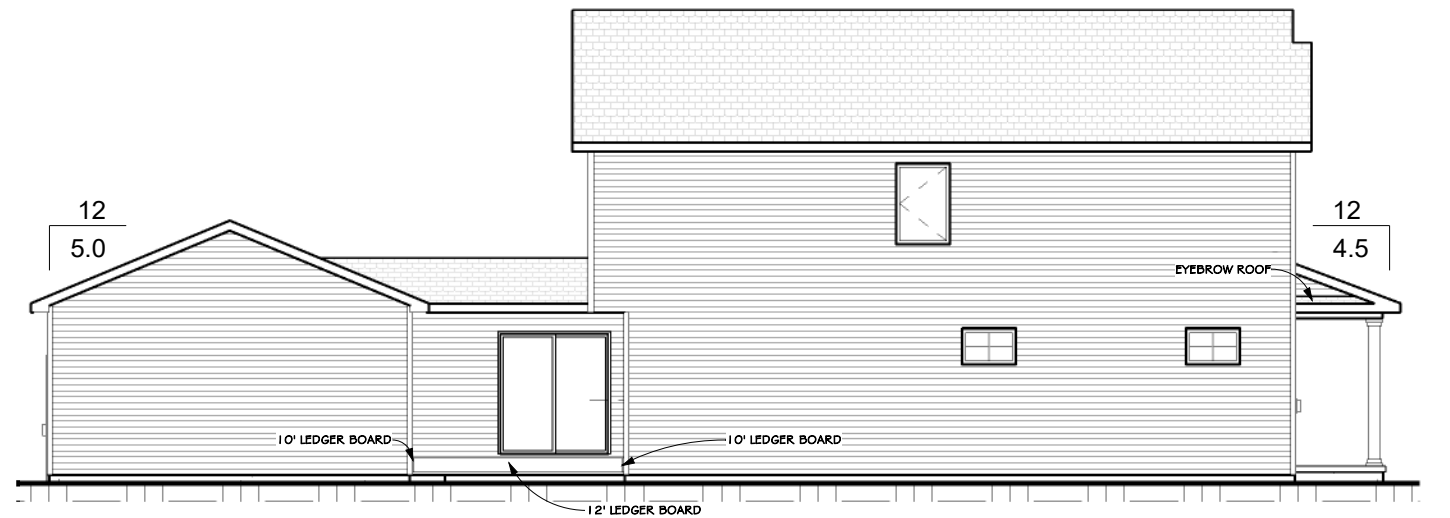
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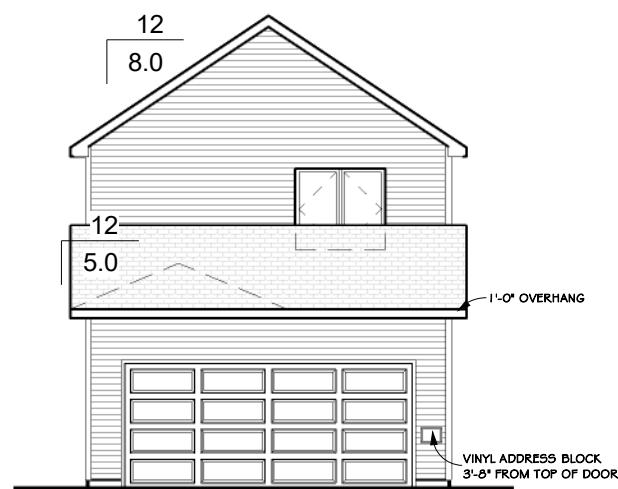
Front Elevation - Modern G
3/16" = 1'-0"



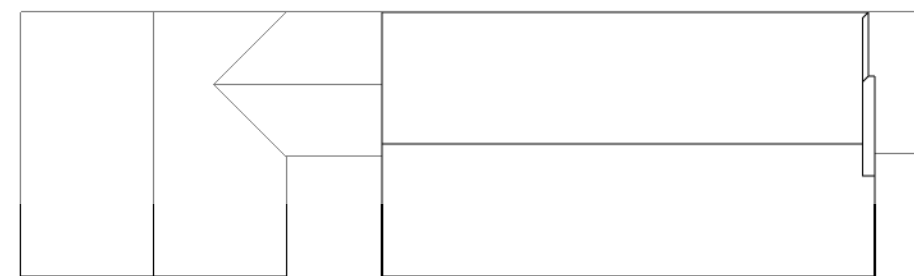
Right Elevation - Modern G
3/32" = 1'-0"



Left Elevation - Modern G
3/32" = 1'-0"



Rear Elevation - Modern G
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

NOTE:
ALL WINDOWS AND FRONT DOOR
THIS ELEVATION 3 1/2" VINYL TRIM

Note: All dimensions are stud to stud **Do Not Scale**

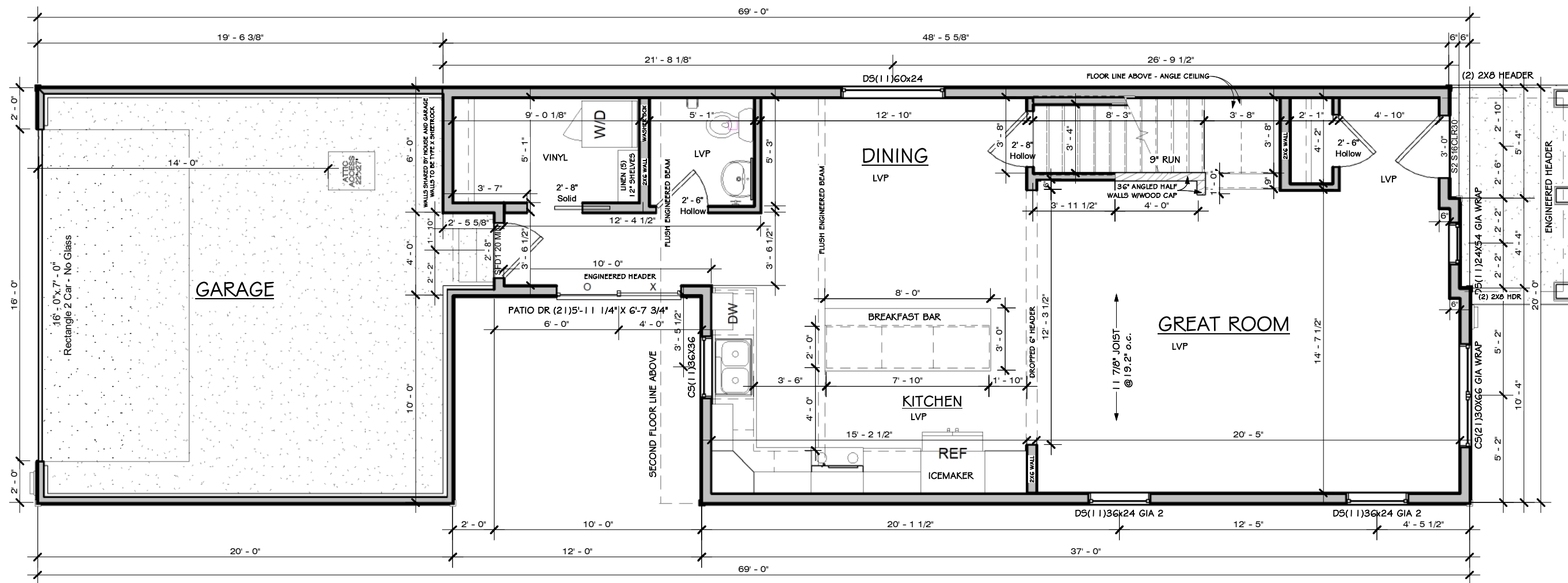
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



NOTE:
 9' FIRST FLOOR CEILING NOT AVAILABLE
 NO STRUCTURAL CHANGES TO FRONT ELEVATION

Area Schedule (Modern G)	
Name	Area
First Floor	847 SF
Second Floor	773 SF
	1620 SF

First Floor - Modern G
 3/16" = 1'-0"

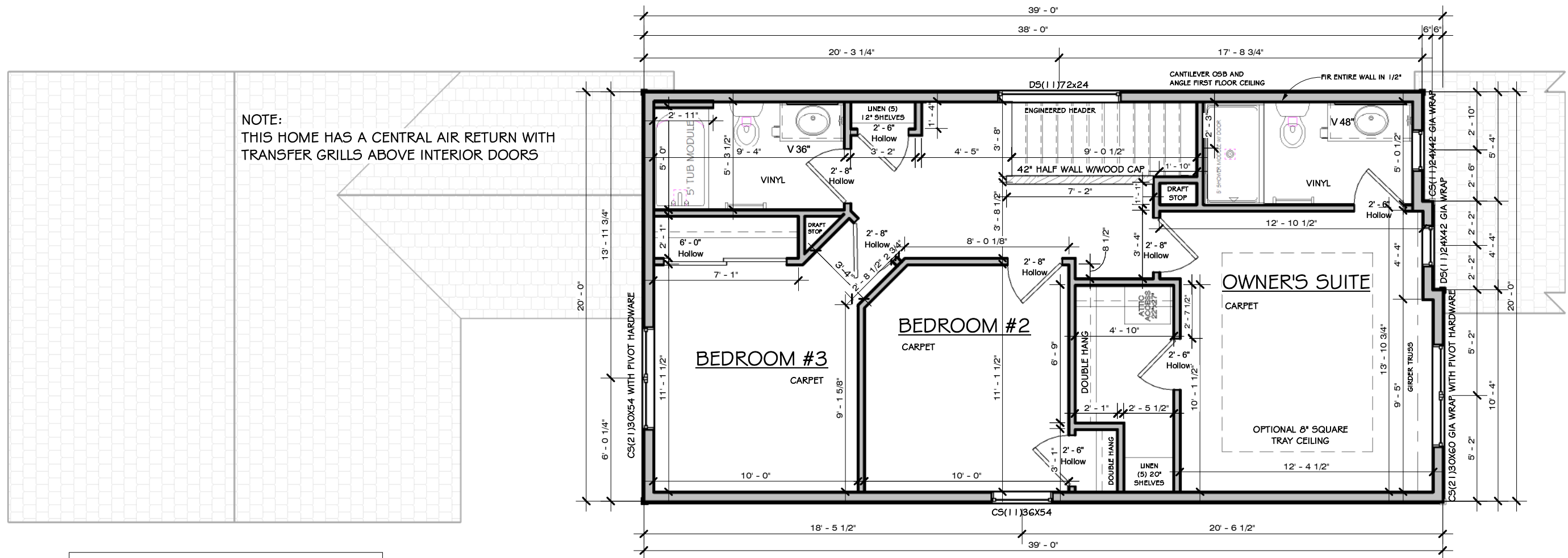
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Note: All dimensions are stud to stud **Do Not Scale**

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NOTE:
THIS HOME HAS A CENTRAL AIR RETURN WITH
TRANSFER GRILLS ABOVE INTERIOR DOORS

Area Schedule (Modern G)	
Name	Area
First Floor	847 SF
Second Floor	773 SF
	1620 SF

Second Floor - Modern G
3/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

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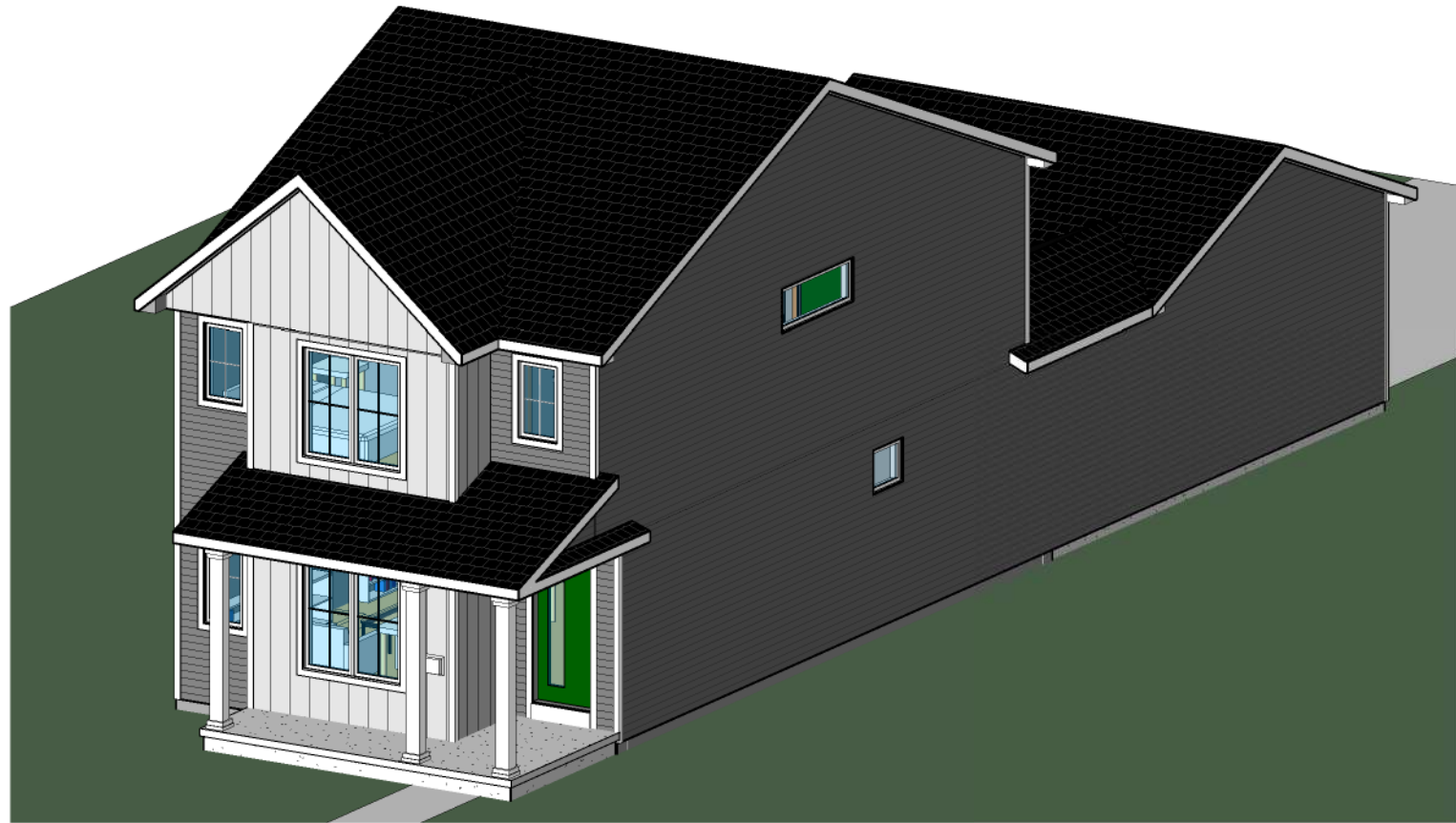
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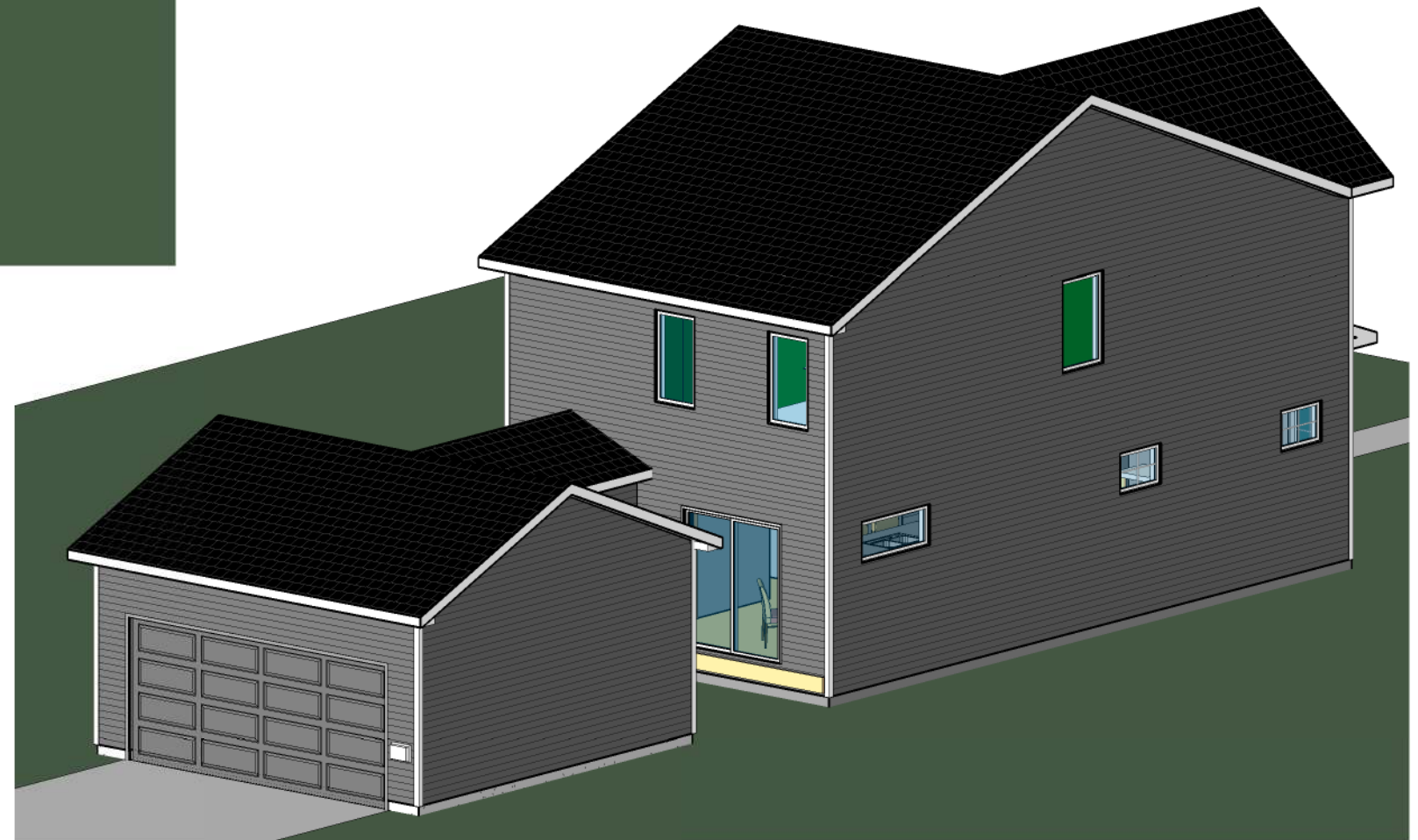
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Unit 6132



3D - Modern D



3D - Modern D Rear

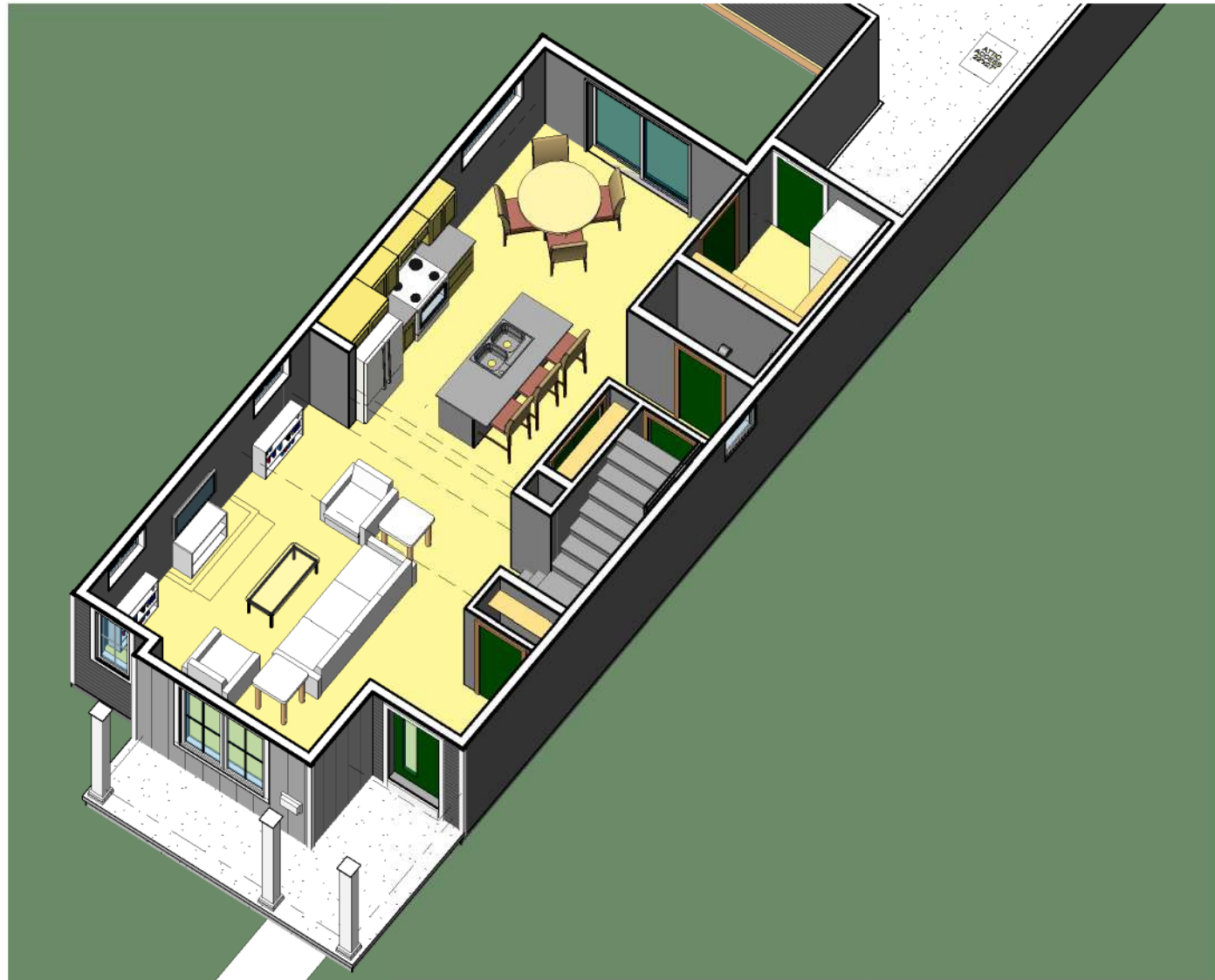
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3D - Modern D First Floor



3D - Modern D Second Floor

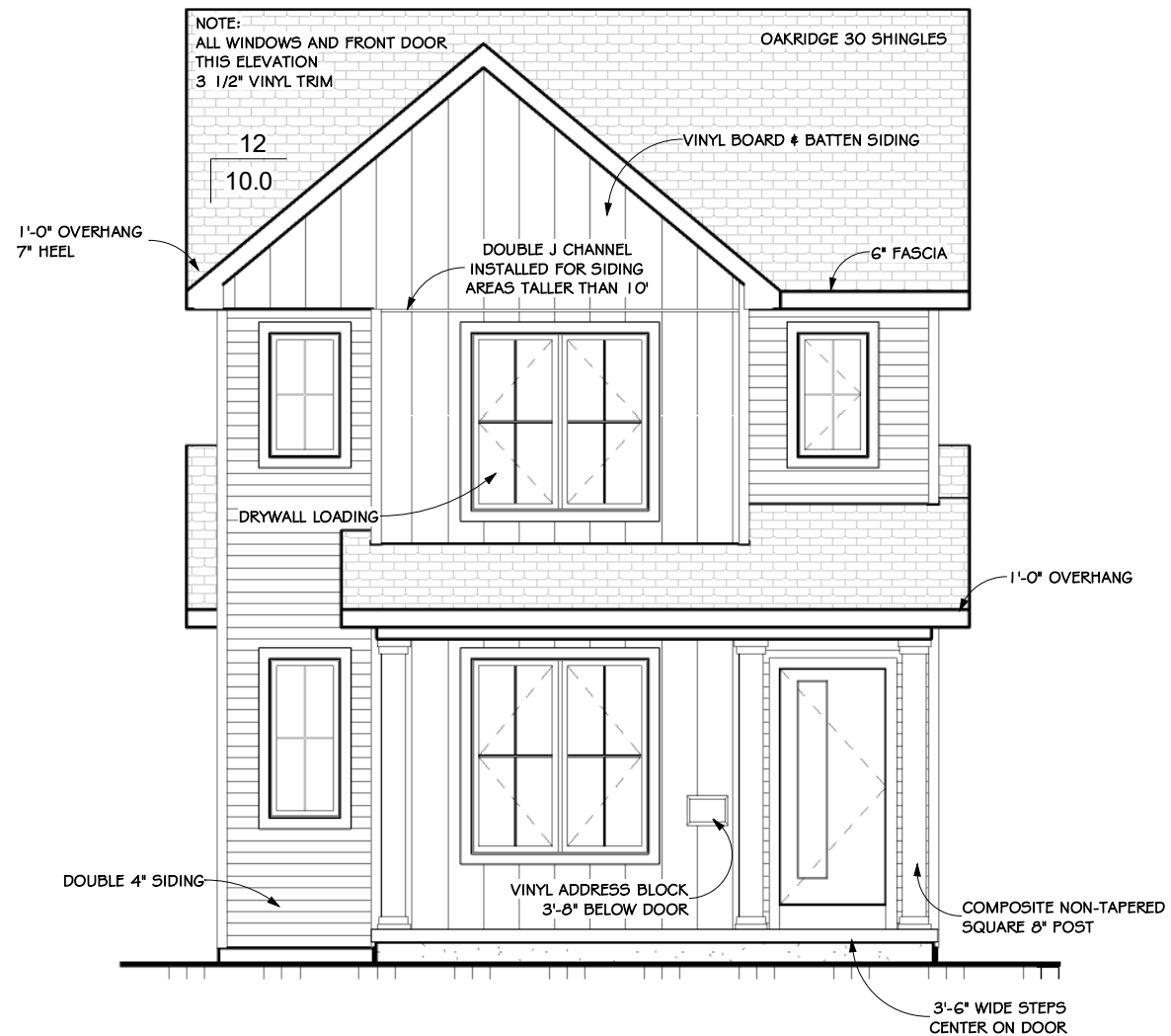
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

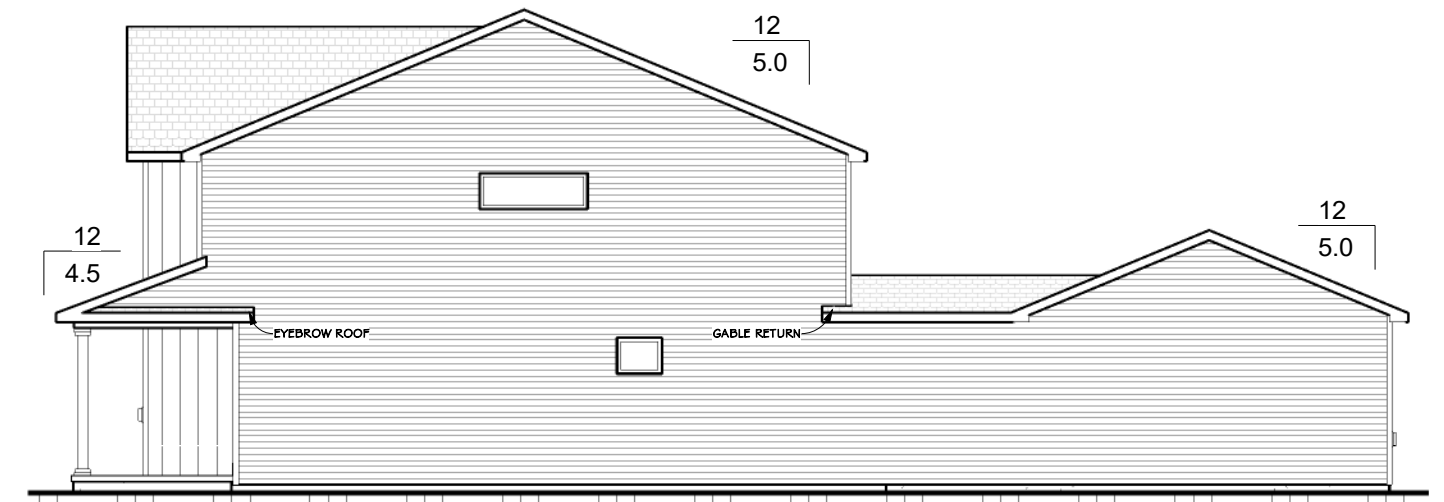
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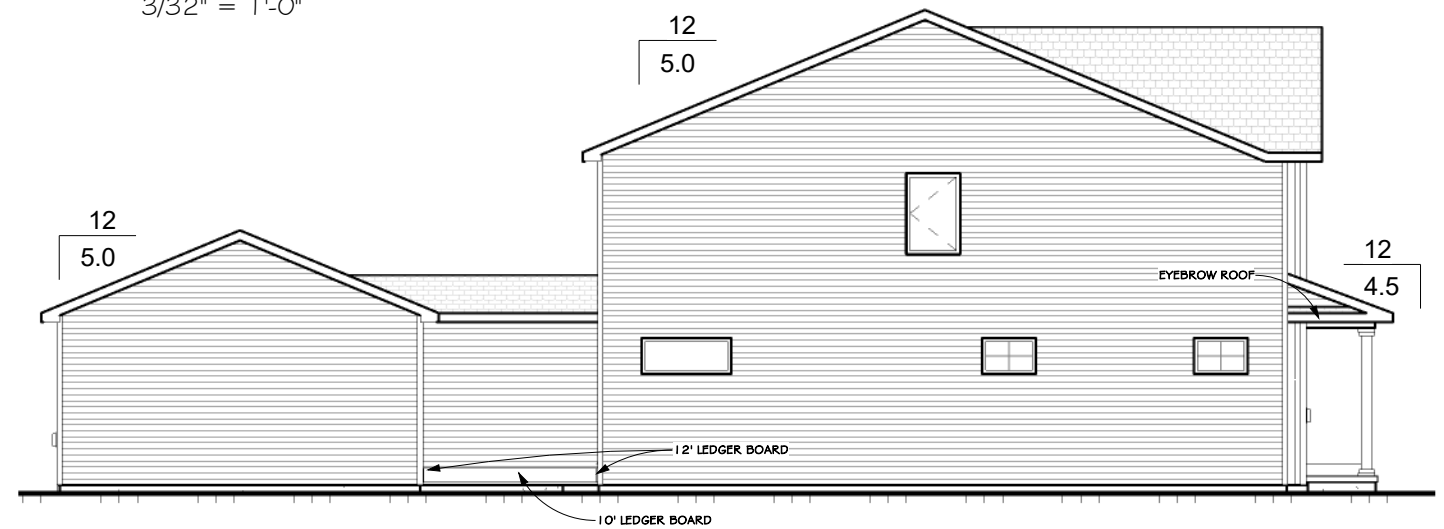
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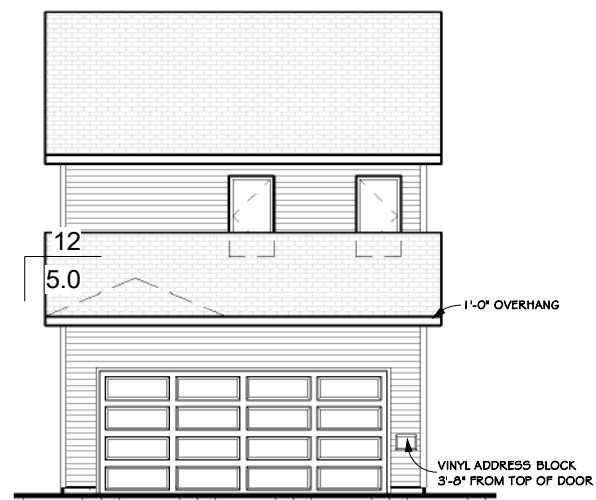
Front Elevation - Modern D
3/16" = 1'-0"



Right Elevation - Modern D
3/32" = 1'-0"

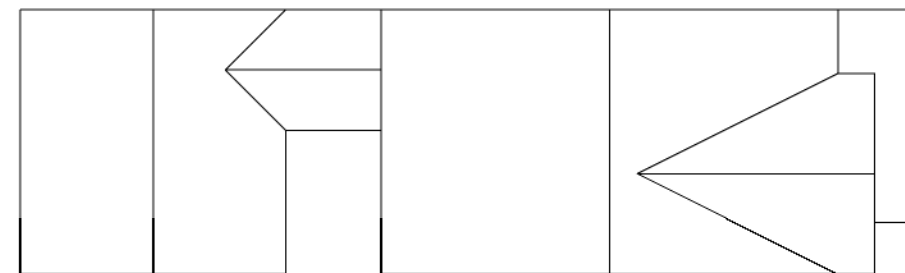


Left Elevation - Modern D
3/32" = 1'-0"



Rear Elevation - Modern D
3/32" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



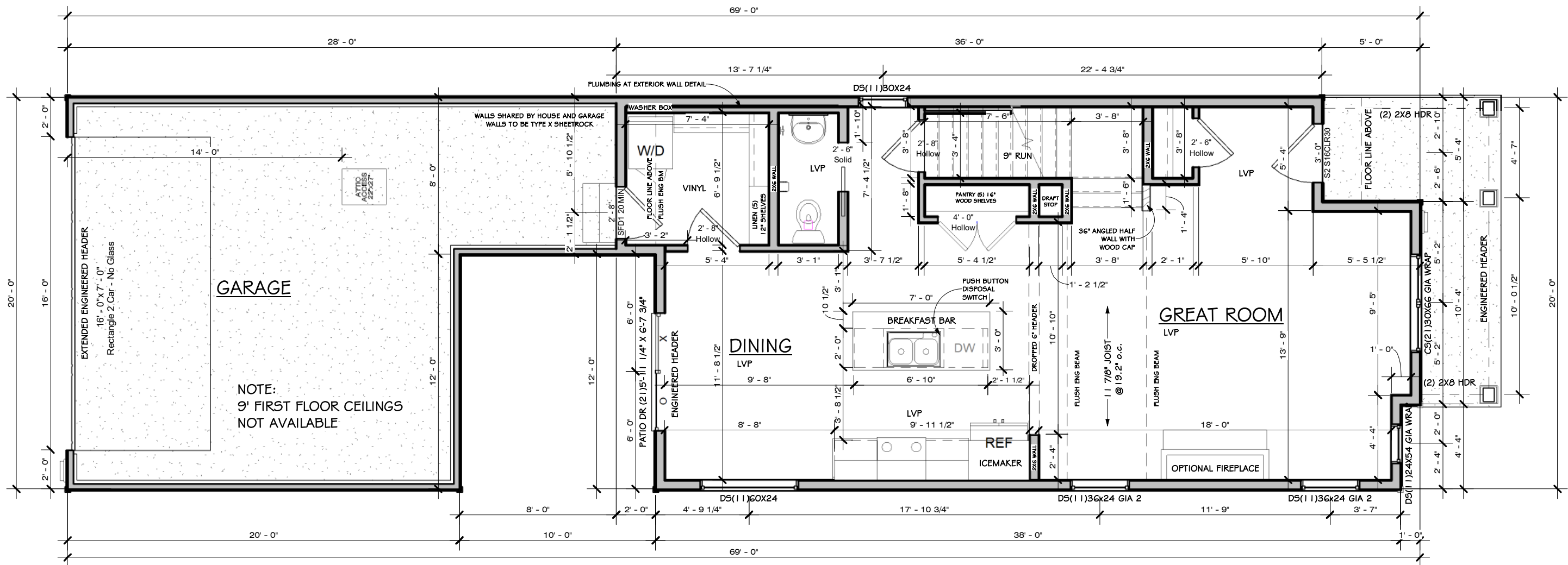
Roof Plan
1/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

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First Floor - Modern D

3/16" = 1'-0"

Area Schedule (Modern D)

Name	Area
------	------

First Floor	765 SF
Second Floor	760 SF
	1525 SF

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

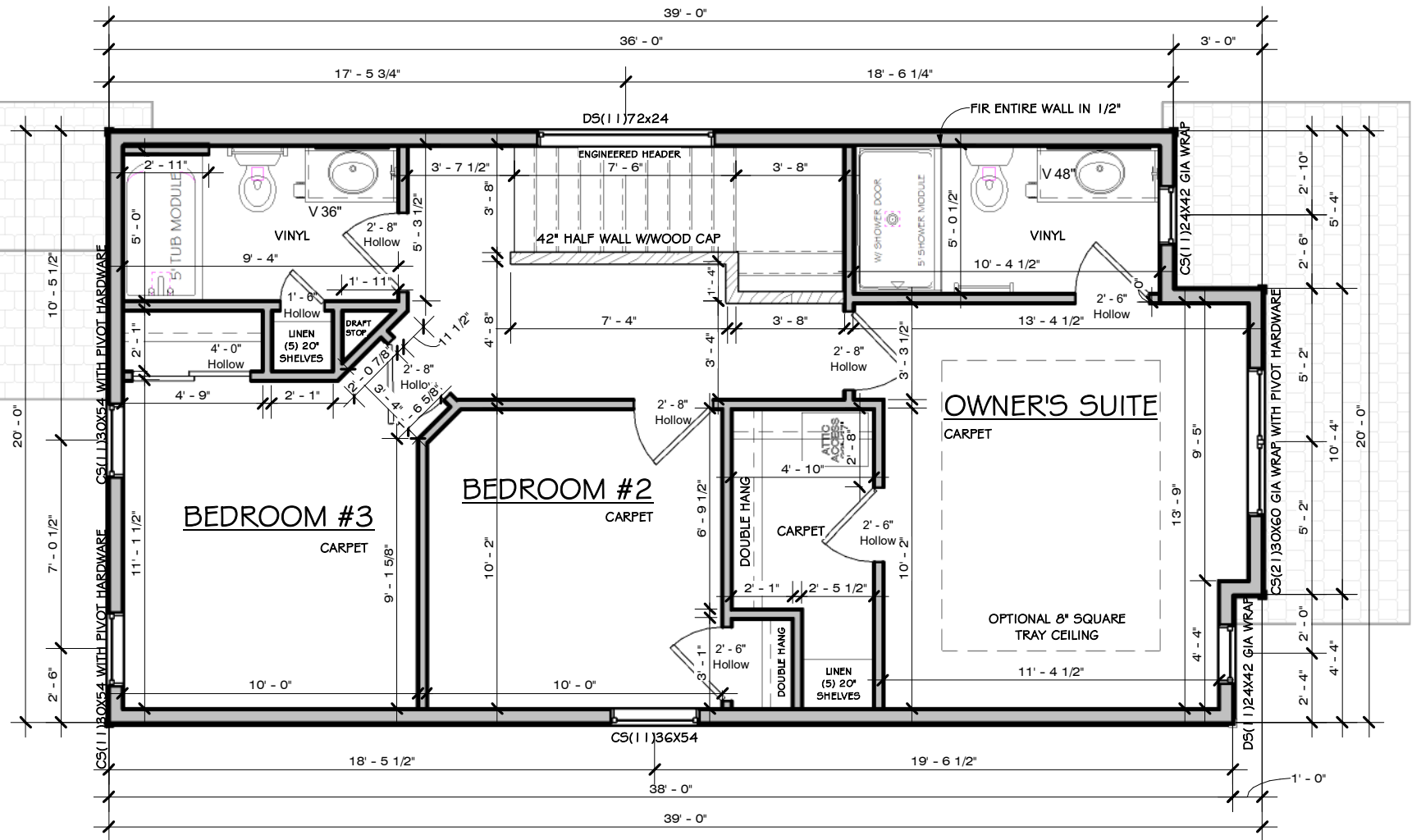
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NOTE:
THIS HOME HAS A CENTRAL AIR RETURN WITH
TRANSFER GRILLS ABOVE INTERIOR DOORS



Second Floor - Modern D

3/16" = 1'-0"

Area Schedule (Modern D)	
Name	Area

First Floor	765 SF
Second Floor	760 SF
1525 SF	

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

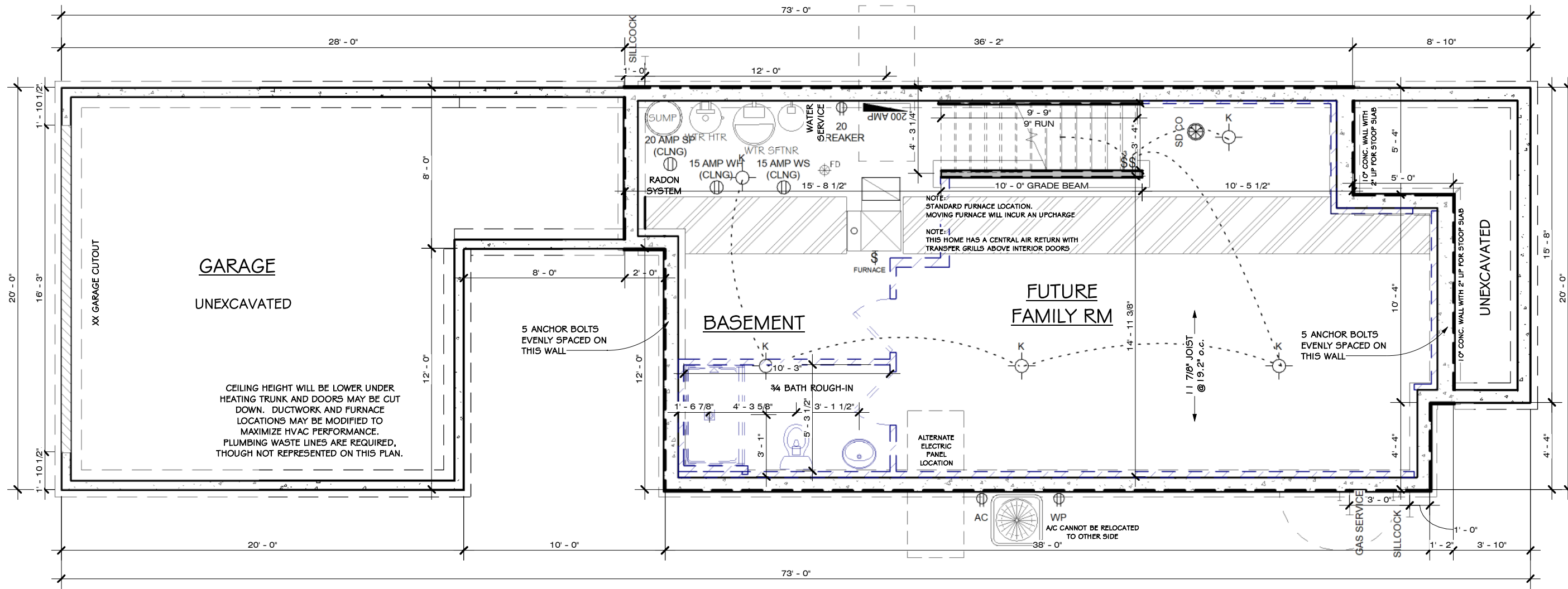
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Foundation Plan
 3/16" = 1'-0"

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Note: All dimensions are stud to stud **Do Not Scale**

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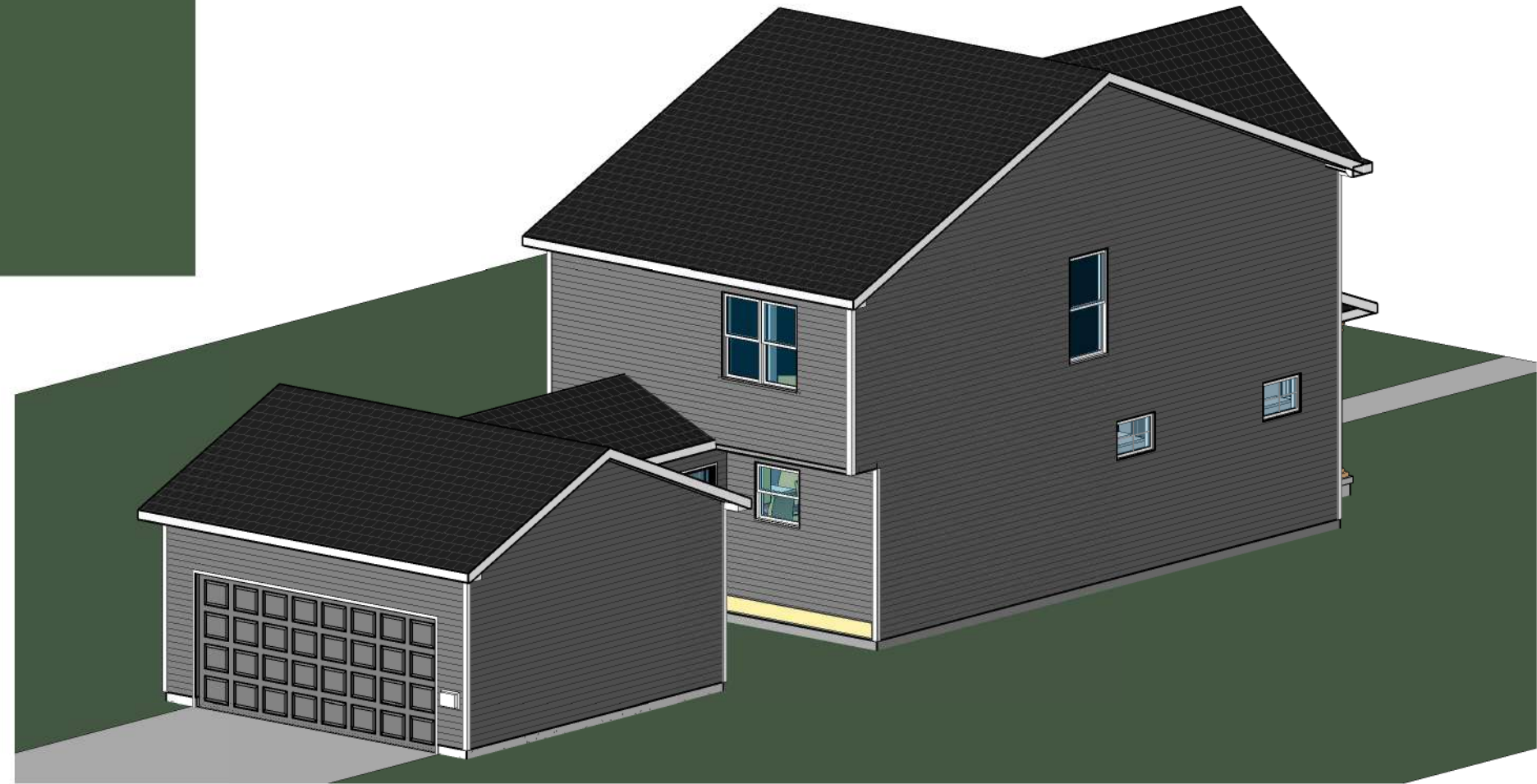
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Unit 6133



3D - Cottage



3D - Cottage Rear

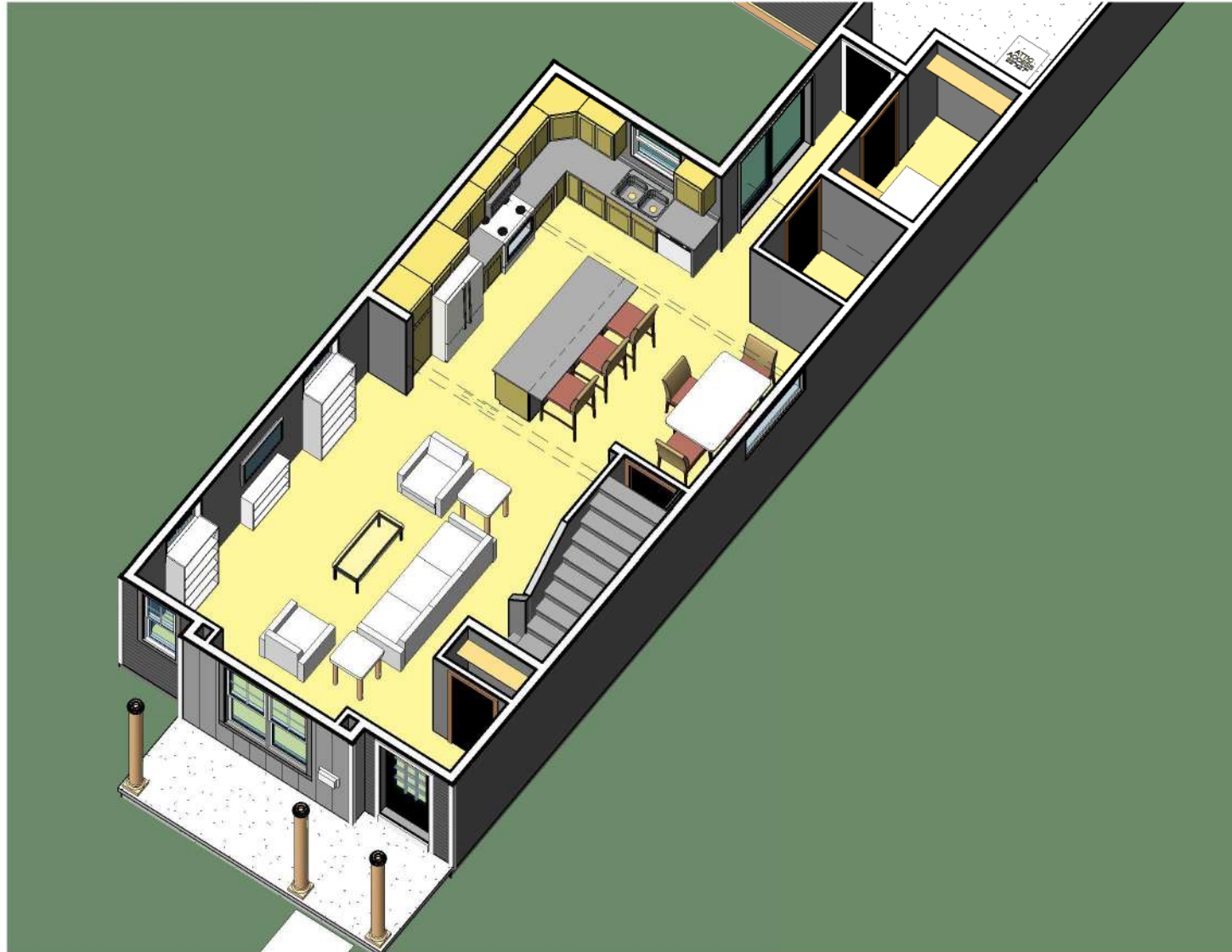
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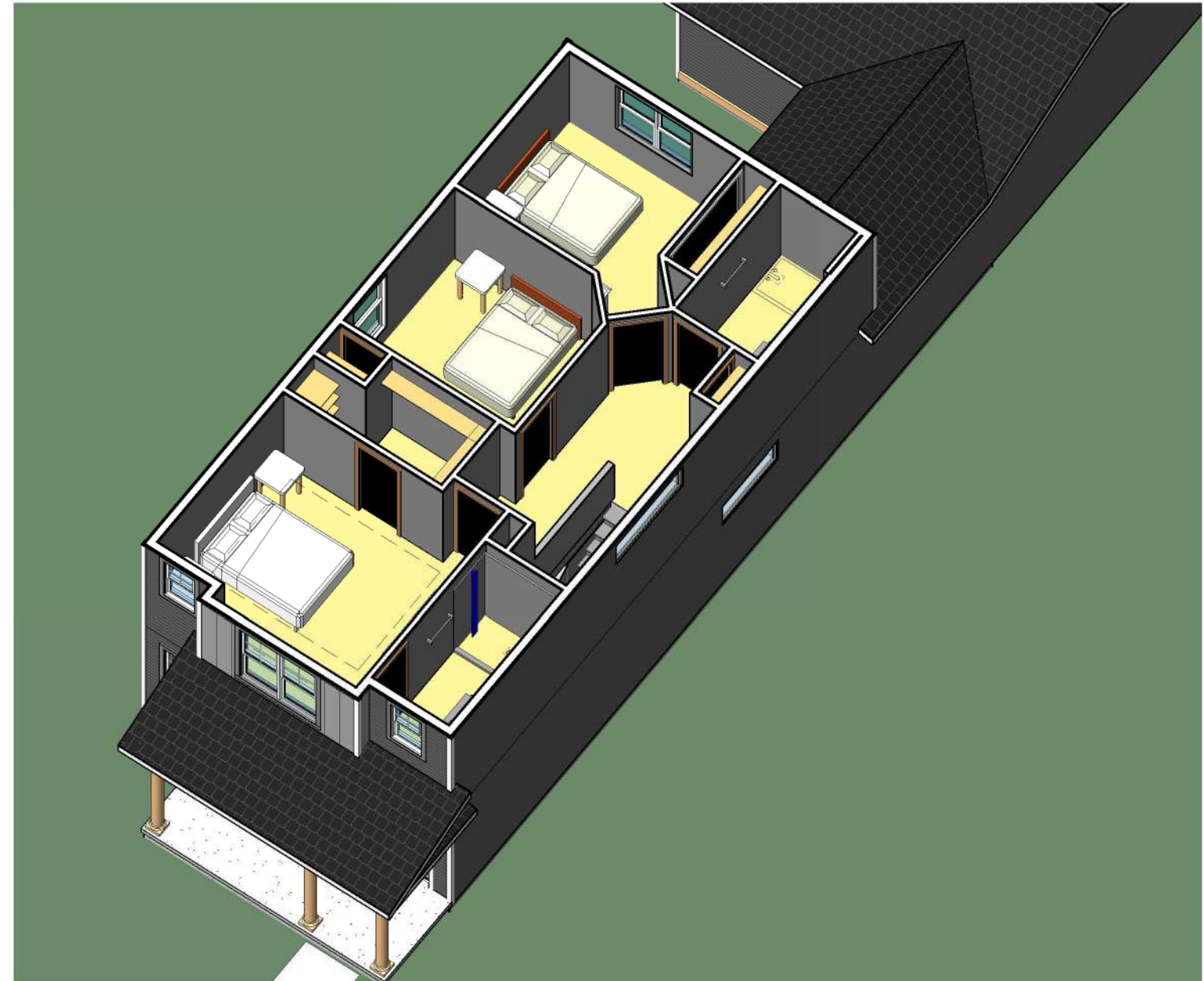

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3D - Cottage First Floor



3D - Cottage Second Floor

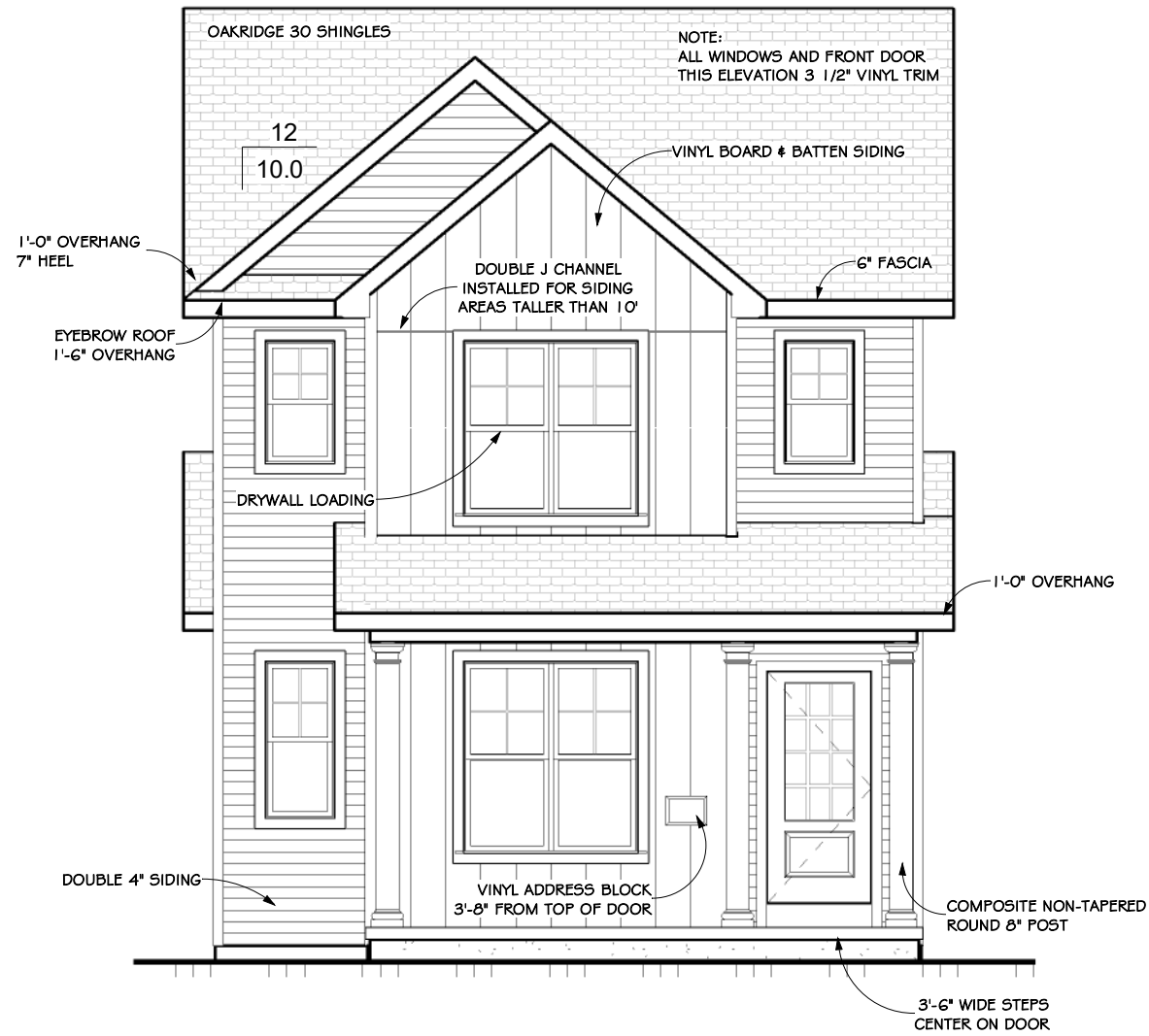
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

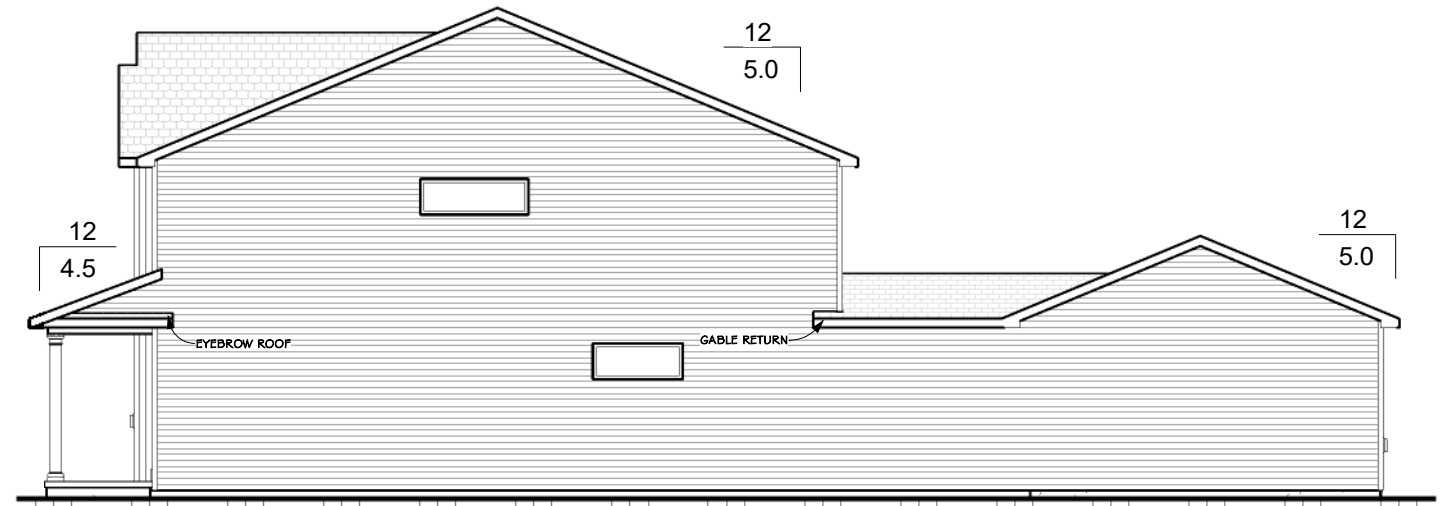
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COO.1	2/20/2023	Elevation: Cottage
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		Revisions:


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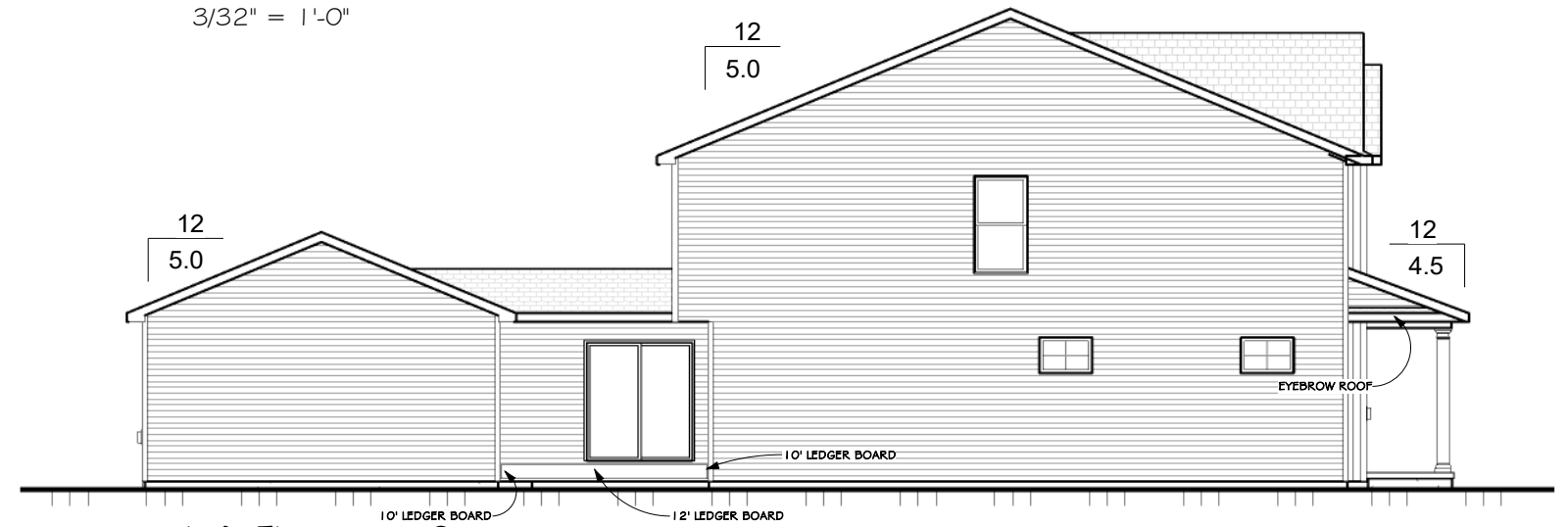
Custom Designed For:	Owner
Homesite / Neighborhood:	Project Number
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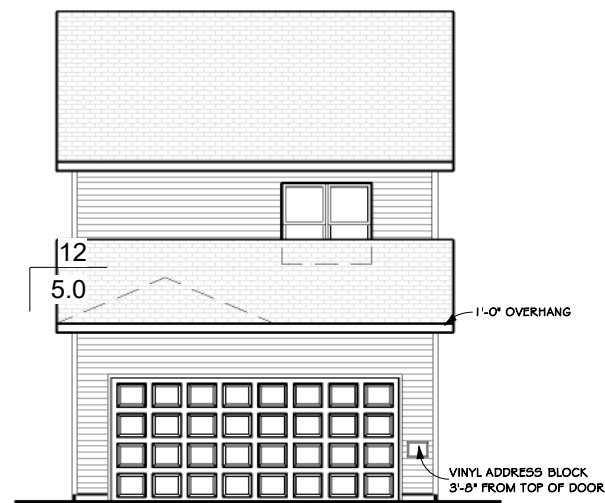
Front Elevation - Cottage
3/16" = 1'-0"



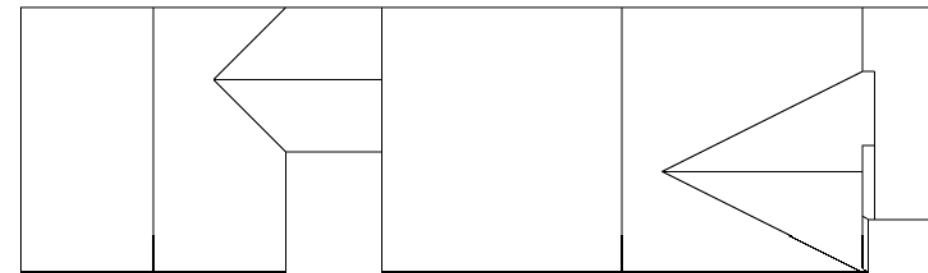
Right Elevation - Cottage
3/32" = 1'-0"



Left Elevation - Cottage
3/32" = 1'-0"



Rear Elevation - Cottage
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

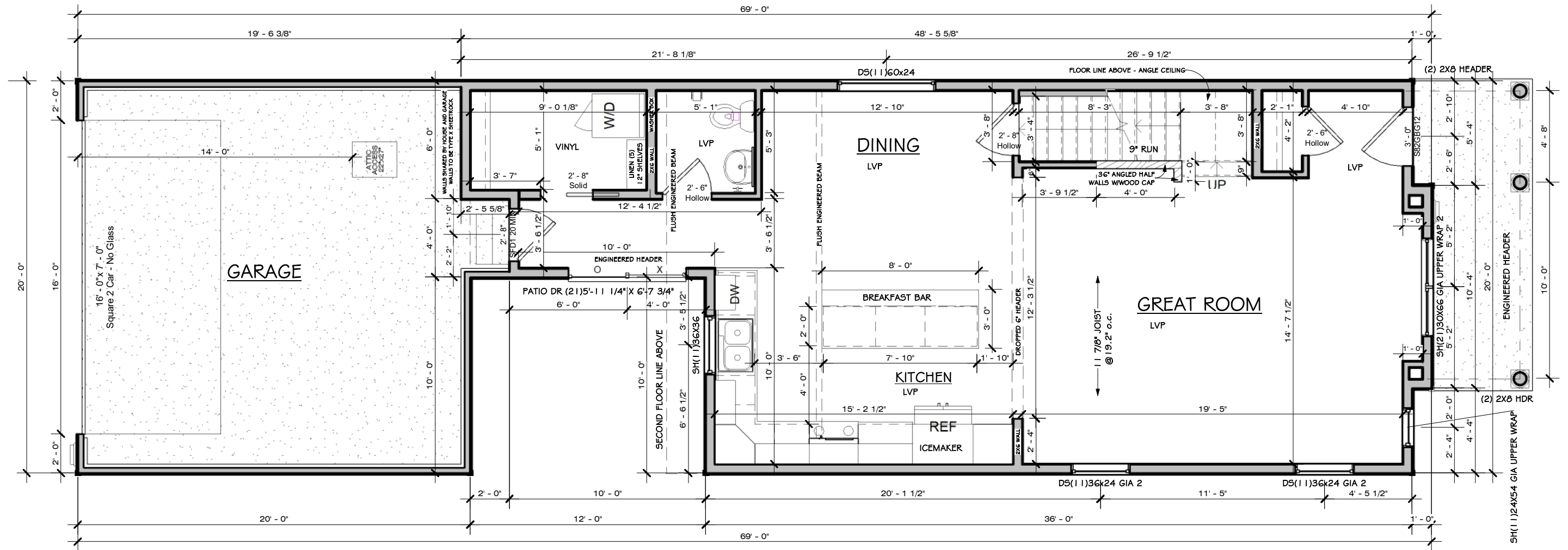
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

Drawing No.	Print Date	Model: Gramercy
CO2	2/20/2023	Elevation: Cottage
	4:48:45 PM	Drawn By: Author Date: Issue Date
		Revisions:

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NOTE:
 9' FIRST FLOOR CEILING NOT AVAILABLE
 NO STRUCTURAL CHANGES TO FRONT ELEVATION

First Floor - Cottage
 3/16" = 1'-0"

Area Schedule (Cottage)	
Name	Area
FIRST FLOOR	845 SF
SECOND FLOOR	770 SF
	1615 SF

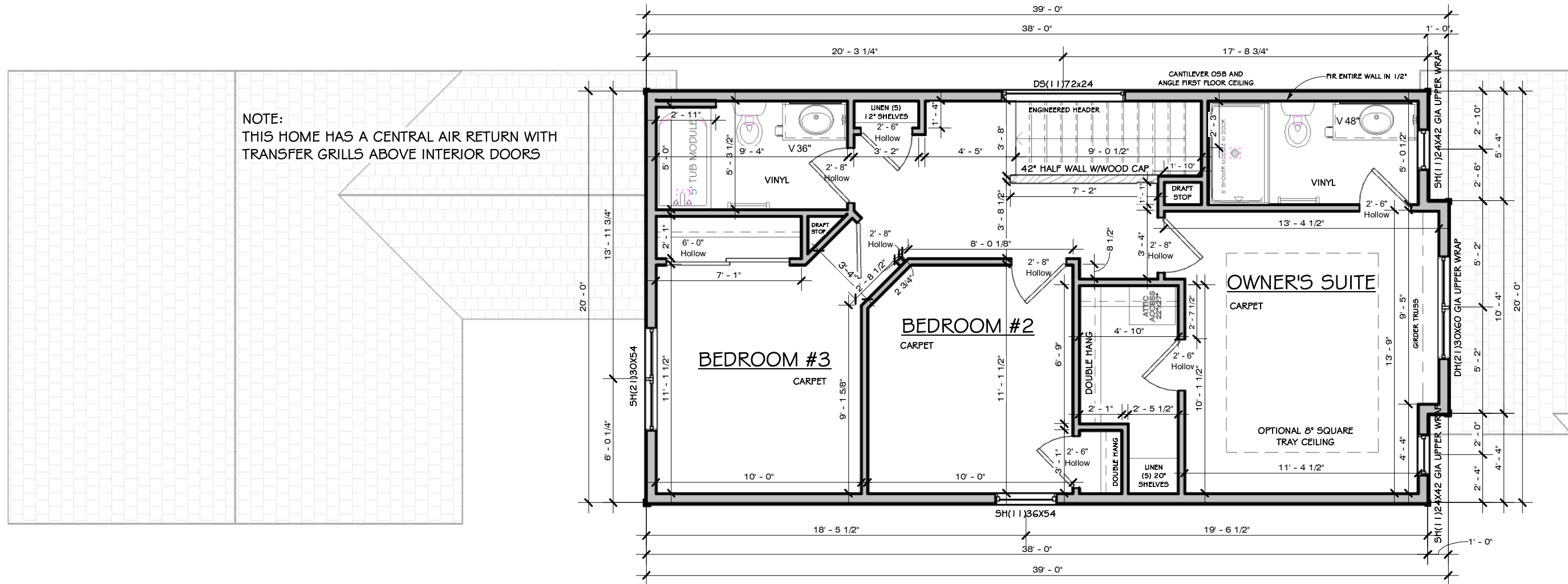
Note: All dimensions are stud to stud **Do Not Scale**

CO3	Drawing No.	Print Date	Model: Gramercy
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			Drawn By: Author Date: Issue Date
			Revisions:


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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



Second Floor - Cottage
 3/16" = 1'-0"

Area Schedule (Cottage)	
Name	Area

FIRST FLOOR	845 SF
SECOND FLOOR	770 SF
	1615 SF

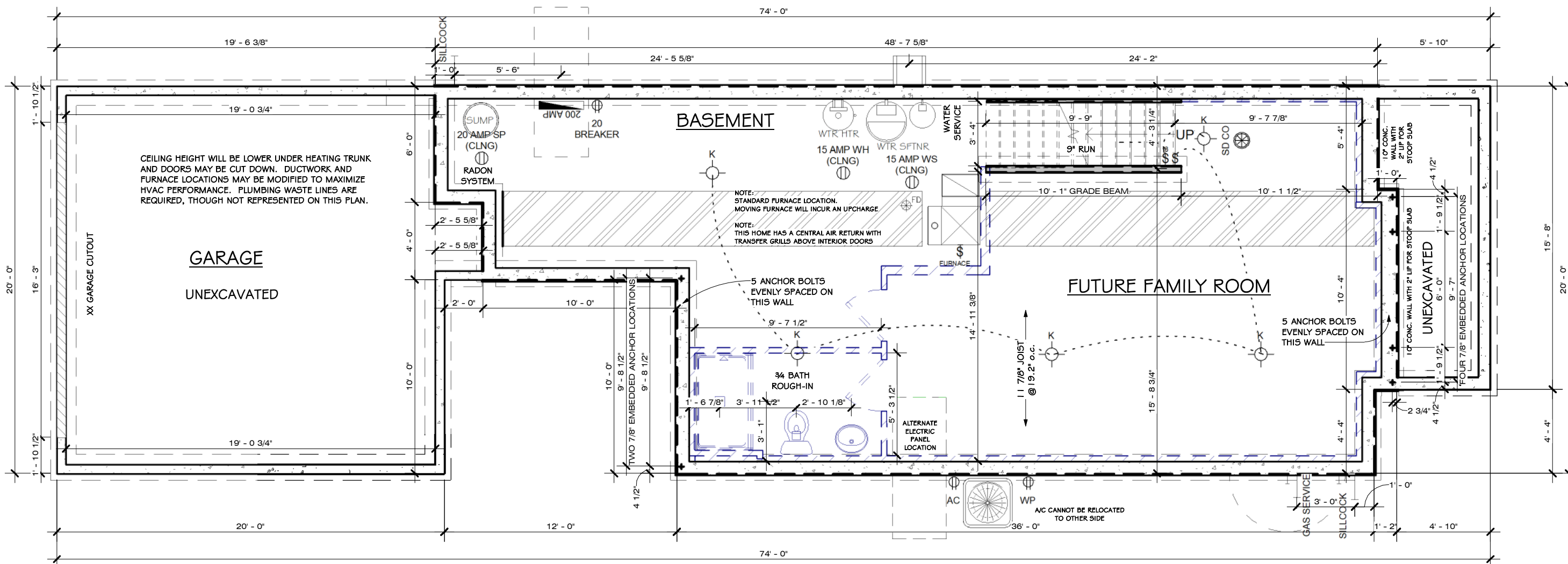
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. C05	Print Date	Model: Gramercy
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		Drawn By: Author Date: Issue Date
		Revisions:

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Foundation Plan
3/16" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

C07	Drawing No.	Model: Gramercy
	Print Date	Elevation: Cottage
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		Revisions:

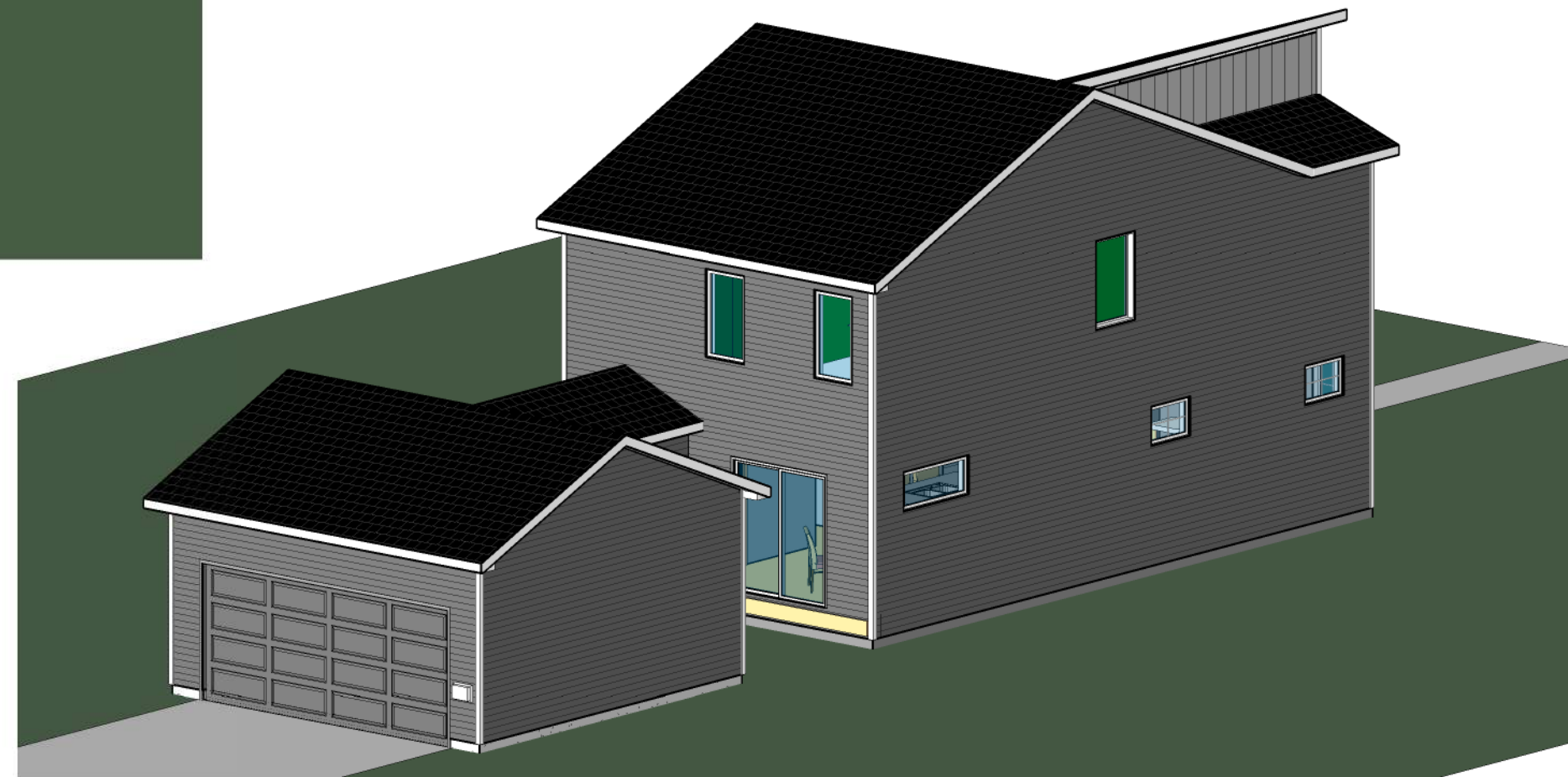

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Unit 6134



3D - Modern C



3D - Modern C Rear

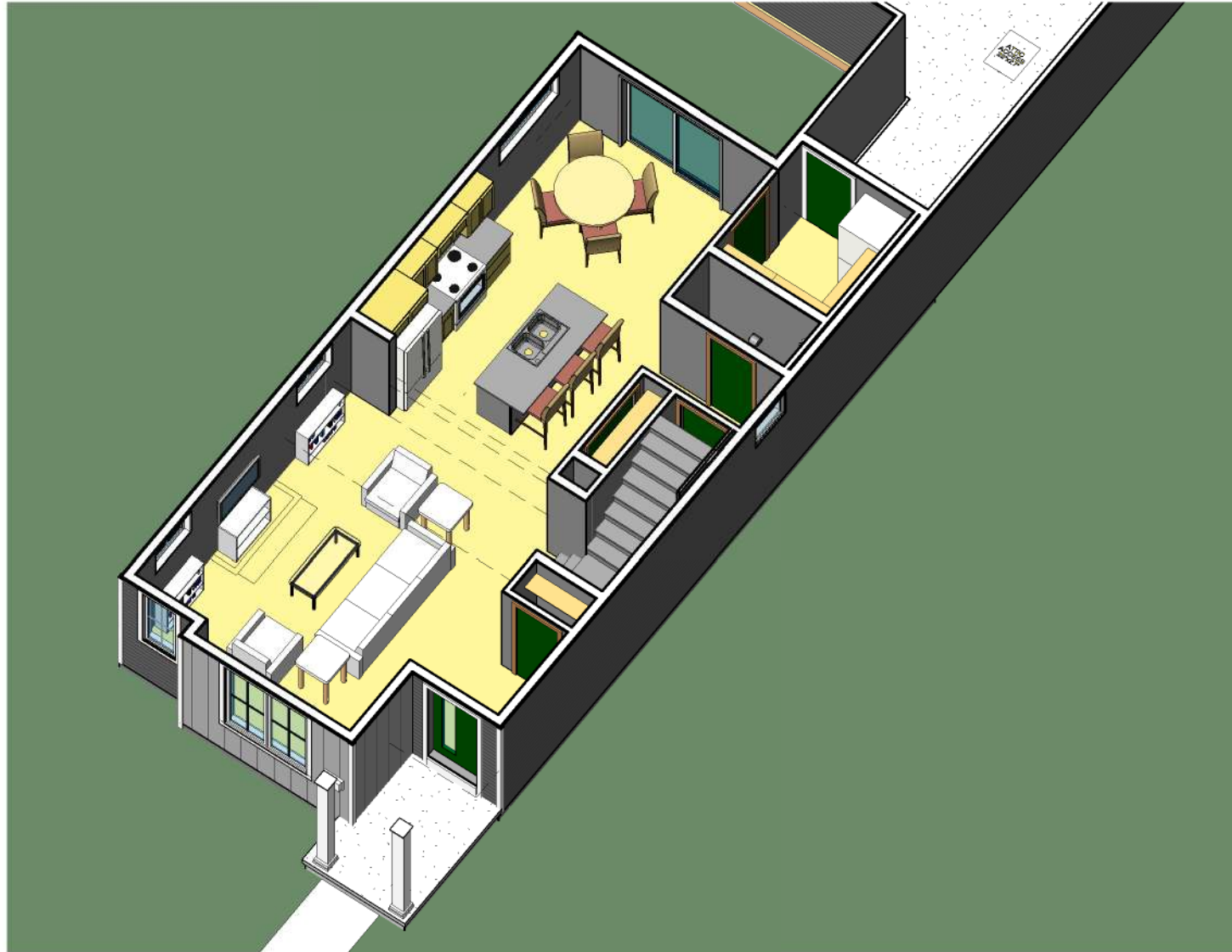
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. CO	Print Date	Model: Tribeca
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		Drawn By: Author Date: Issue Date
		Revisions:


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3D - Modern C First Floor



3D - Modern C Second Floor

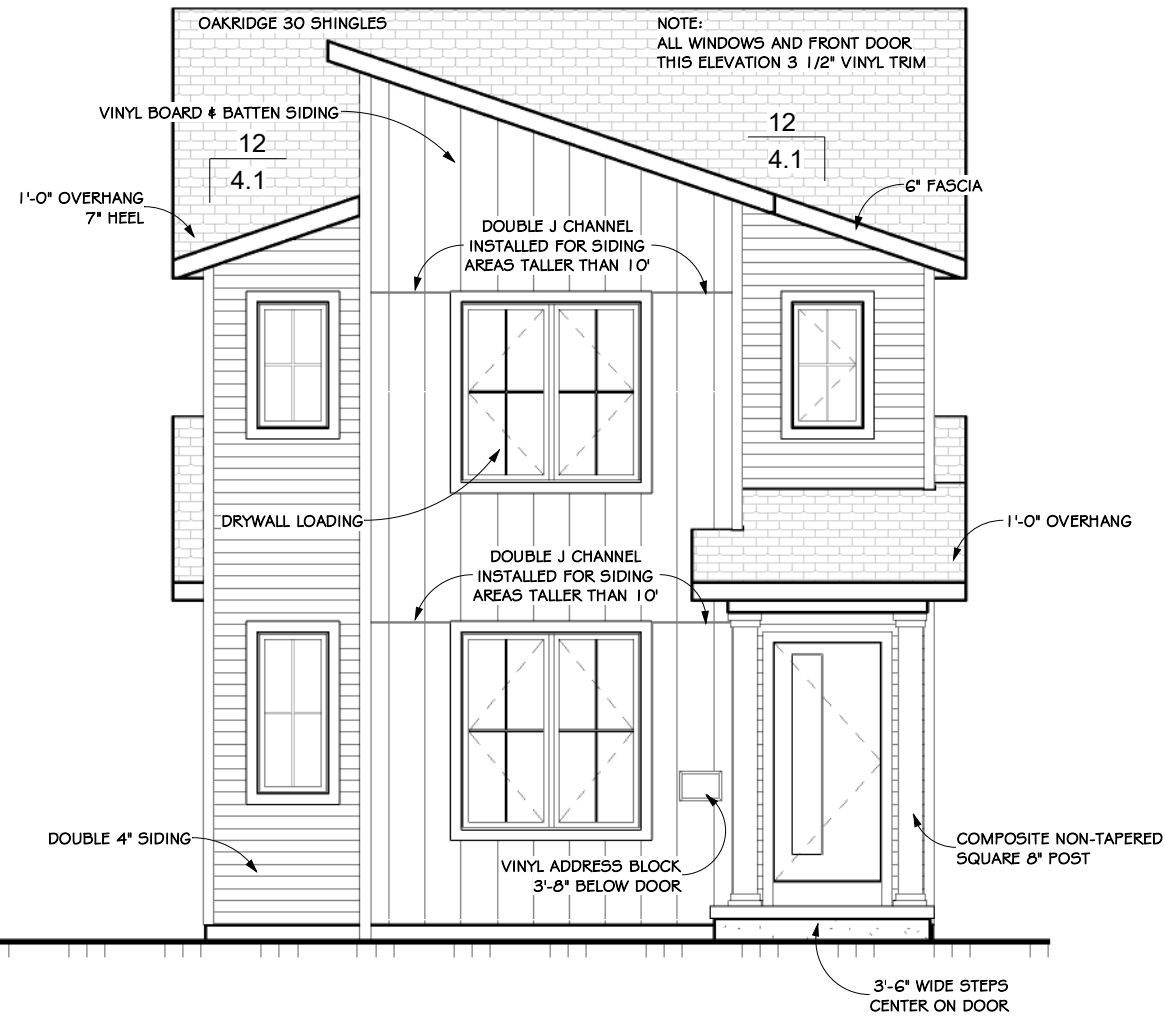
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

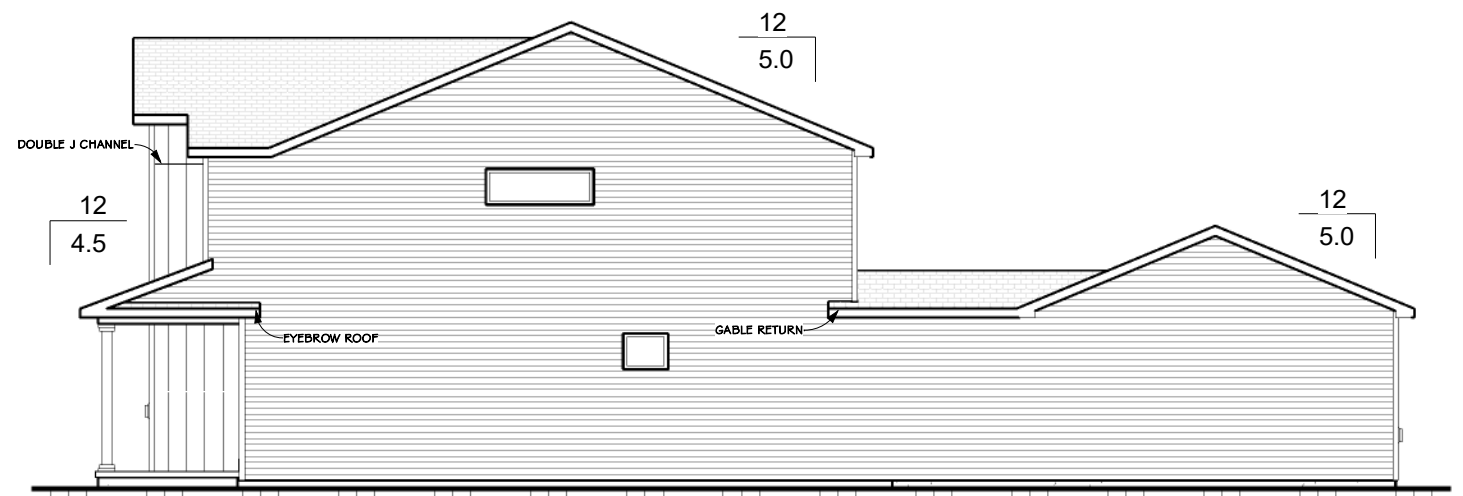
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		Drawn By: Author Date: Issue Date
		Revisions:


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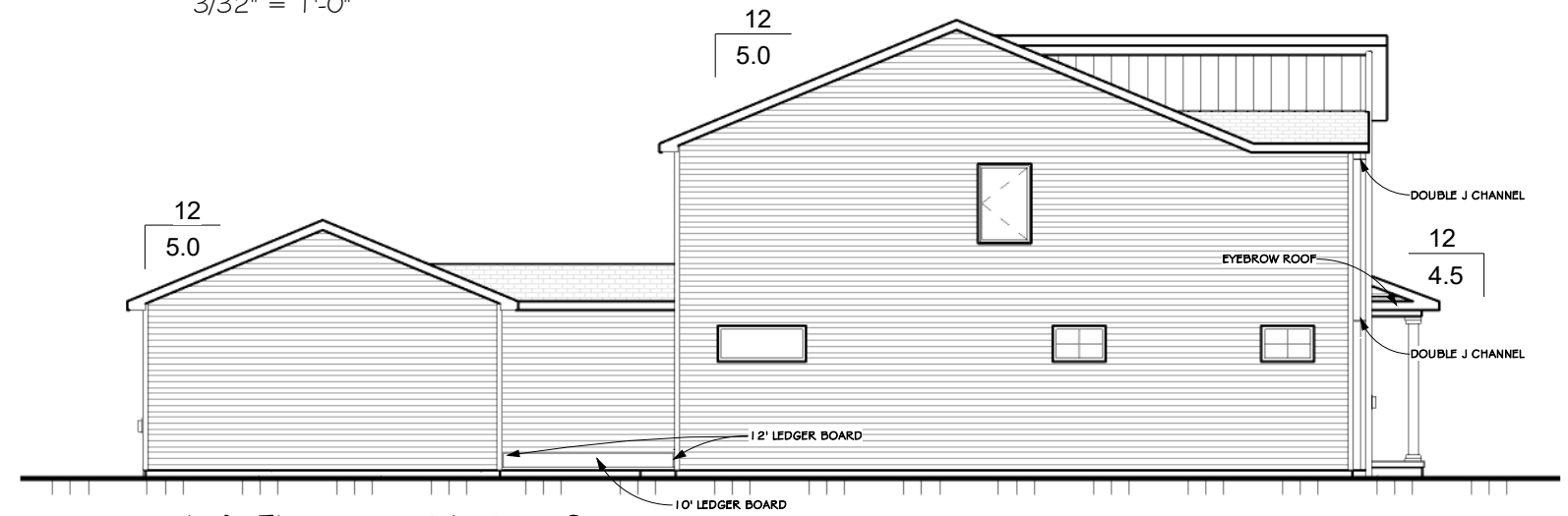
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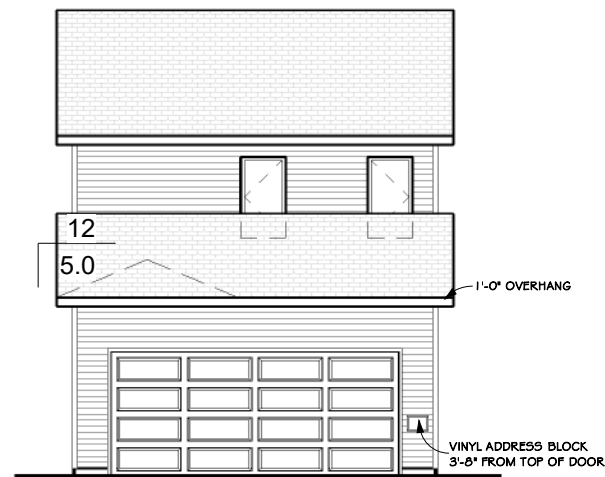
Front Elevation - Modern C
3/16" = 1'-0"



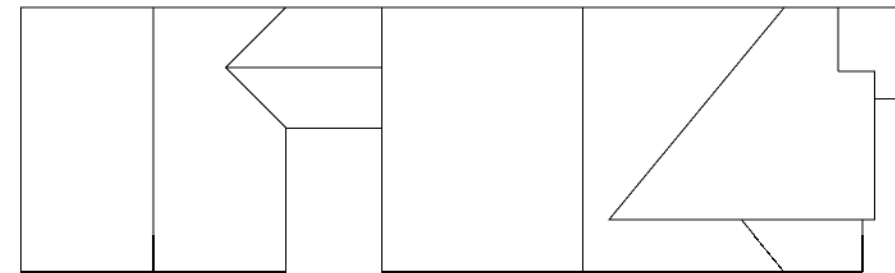
Right Elevation - Modern C
3/32" = 1'-0"



Left Elevation - Modern C
3/32" = 1'-0"



Rear Elevation - Modern C
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

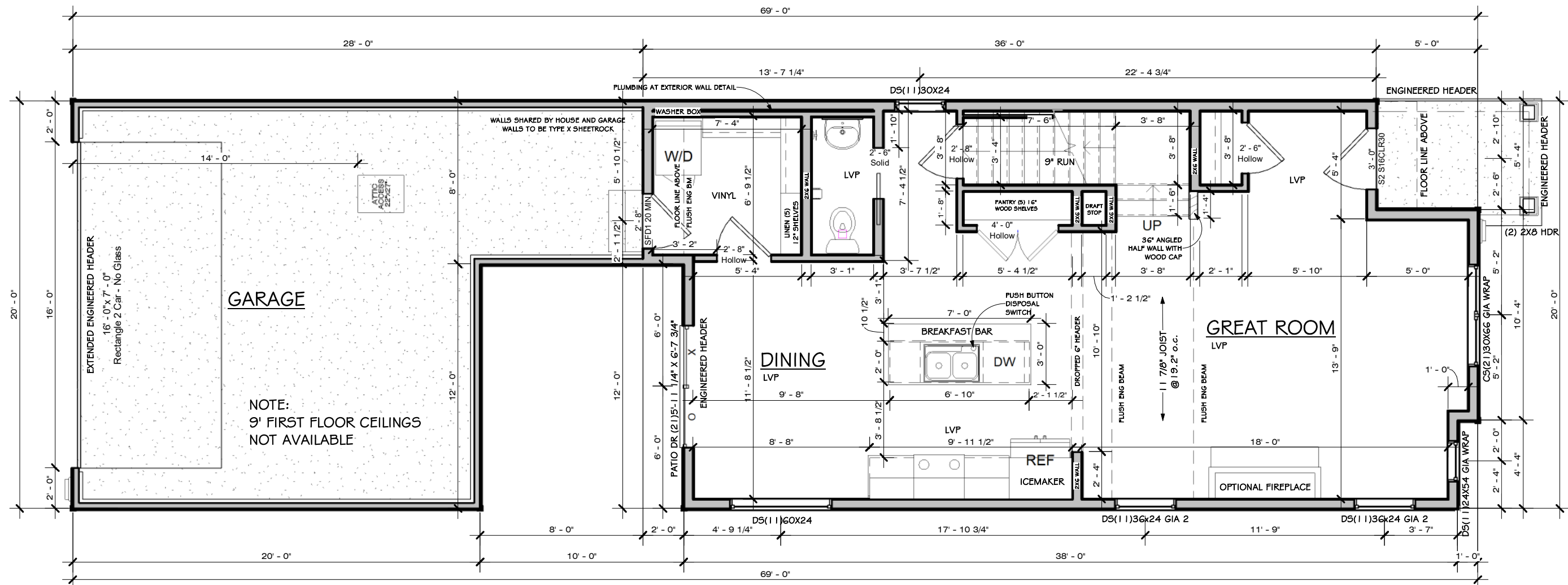
Note: All dimensions are stud to stud **Do Not Scale**

C2	Drawing No.	Print Date	Model: Tribeca
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			Revisions:


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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



First Floor - Modern C

3/16" = 1'-0"

Area Schedule (Modern C)	
Name	Area

FIRST FLOOR	765 SF
SECOND FLOOR	760 SF
	1525 SF

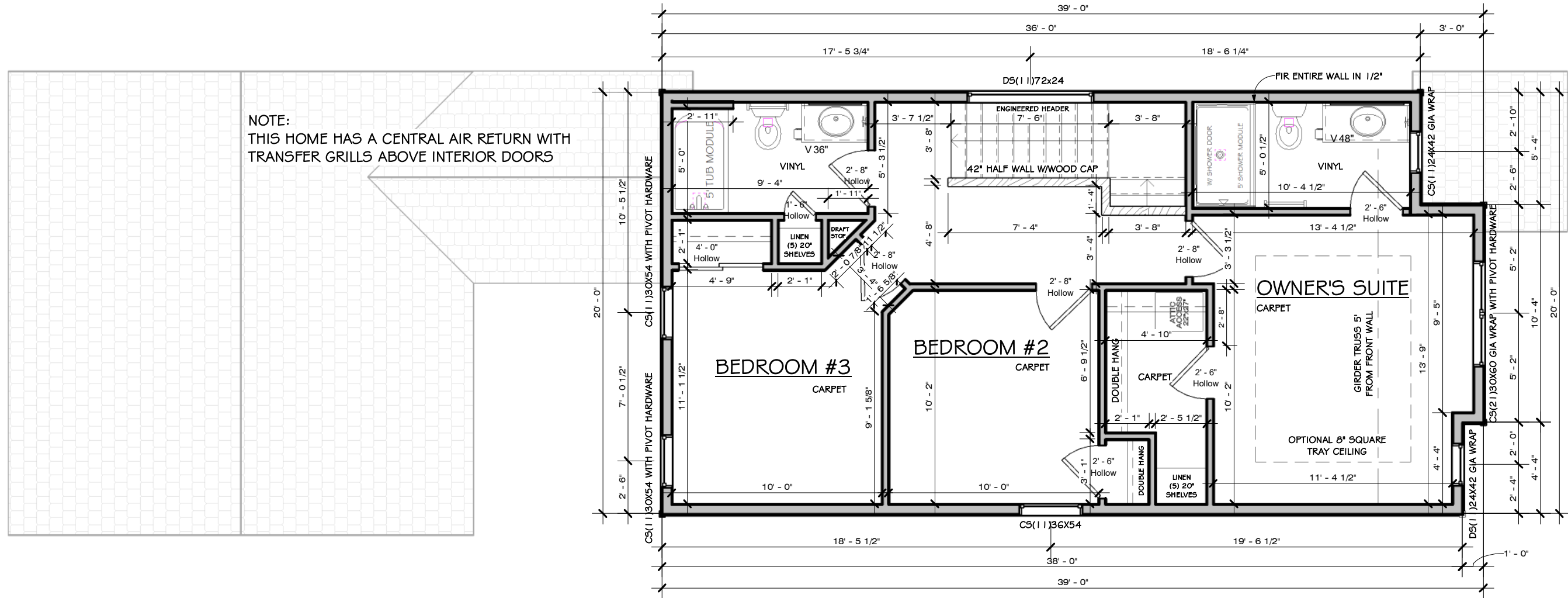
Note: All dimensions are stud to stud **Do Not Scale**

C3	Drawing No.	Model: Tribeca
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	2/17/2023 8:16:27 AM	Drawn By: Author Date: Issue Date
		Revisions:


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Second Floor - Modern C
 3/16" = 1'-0"

Area Schedule (Modern C)	
Name	Area
FIRST FLOOR	765 SF
SECOND FLOOR	760 SF
	1525 SF

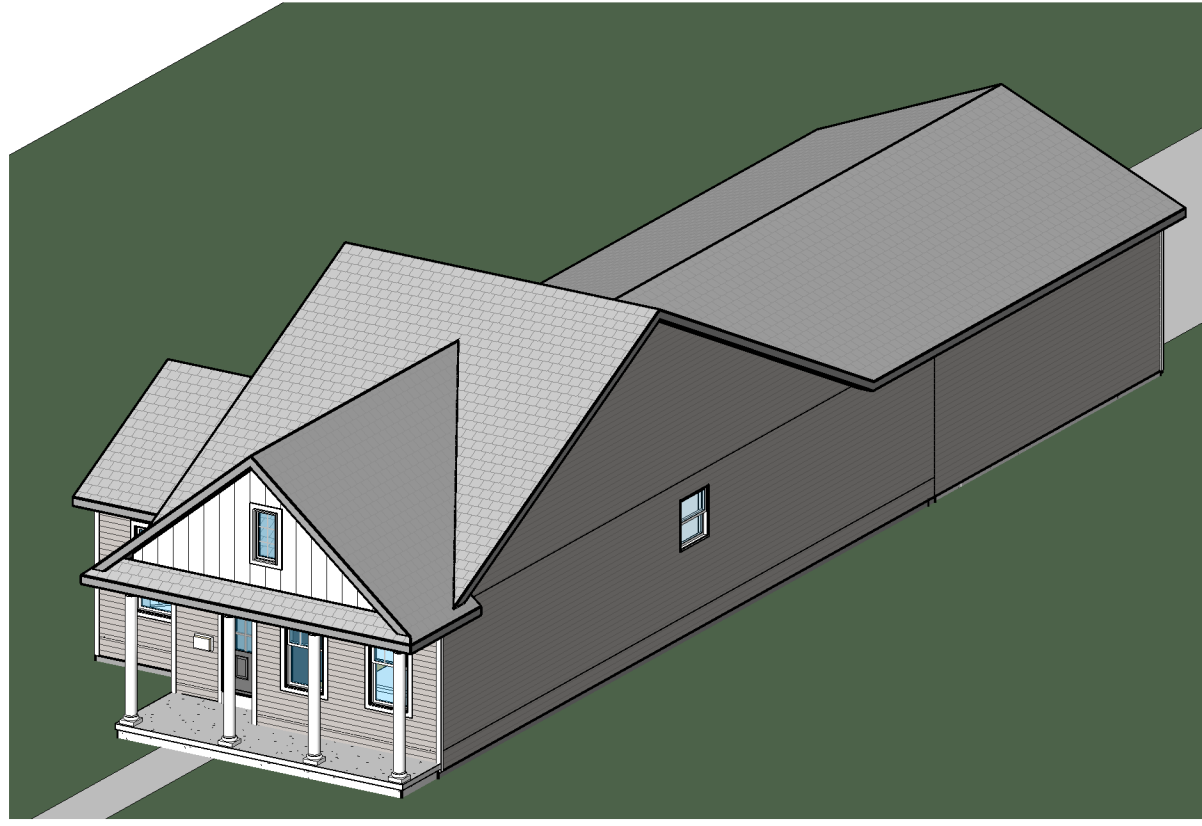
Note: All dimensions are stud to stud **Do Not Scale**

C5	Drawing No.	Model: Tribeca
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		Revisions:


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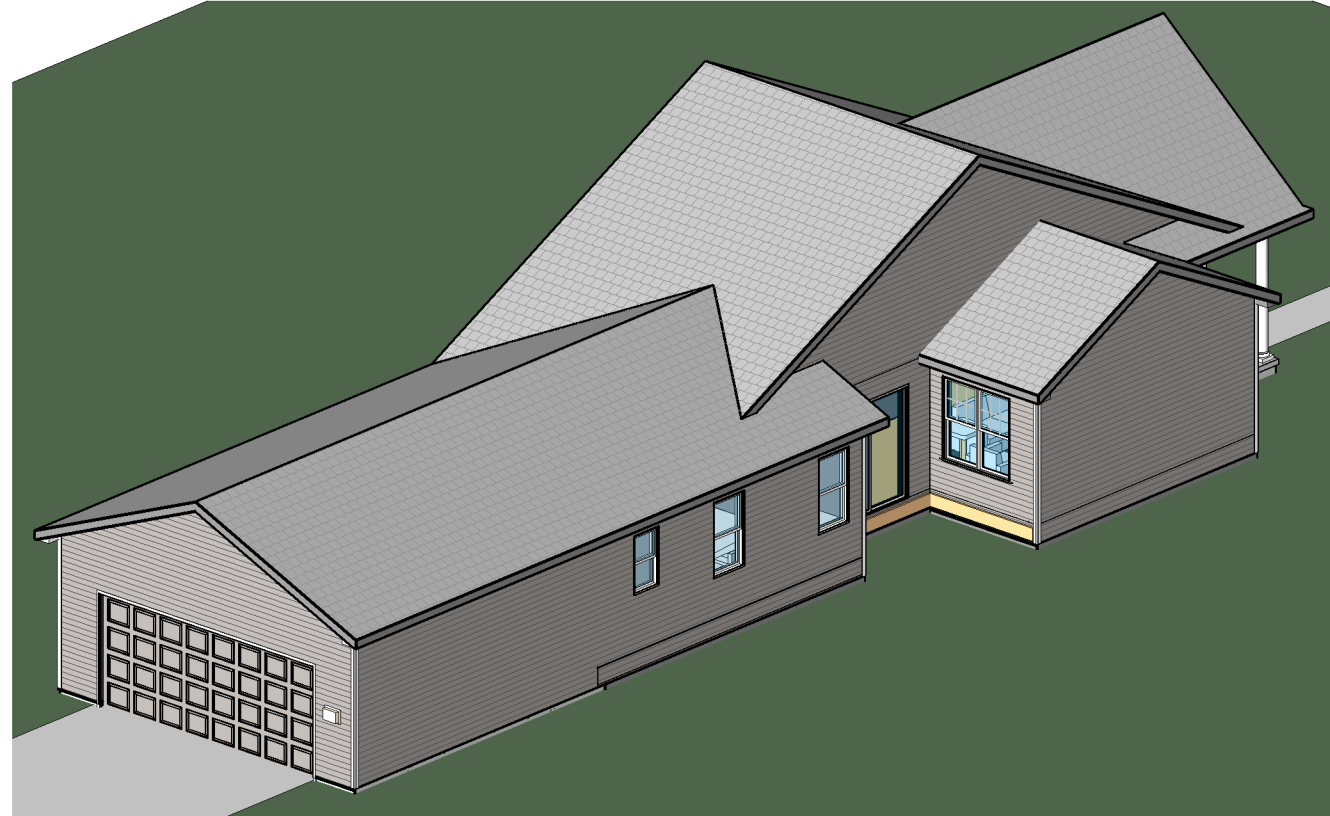
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



3D - Southern Traditional

Unit 6135



3D - Southern Traditional Rear

Do Not Scale Note: All dimensions are stud to stud
 Actual floor plans & exterior styles may differ from these shown based on
 modifications, options & improvements to the plans by the builder.
 Room dimensions, features & actual square footage vary by exterior style and options.

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Model: COLLETTE
 Elevation: Southern Traditional
 Drawn By: Author Date: Issue Date
 Print Date:
 1/3/2023
 12:35:06 PM

Drawing No.:
STO

Customer Approval:
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3D 1st Floor Southern Traditional

Do Not Scale Note: All dimensions are stud to stud
 Actual floor plans & exterior styles may differ from these shown based on
 modifications, options & improvements to the plans by the builder.
 Room dimensions, features & actual square footage vary by exterior style and options.

Model: COLLETTE
 Elevation: Southern Traditional
 Drawn By: Author Date: Issue Date
 Print Date:
 1/3/2023
 12:35:13 PM
 Drawing No.:
STO.2



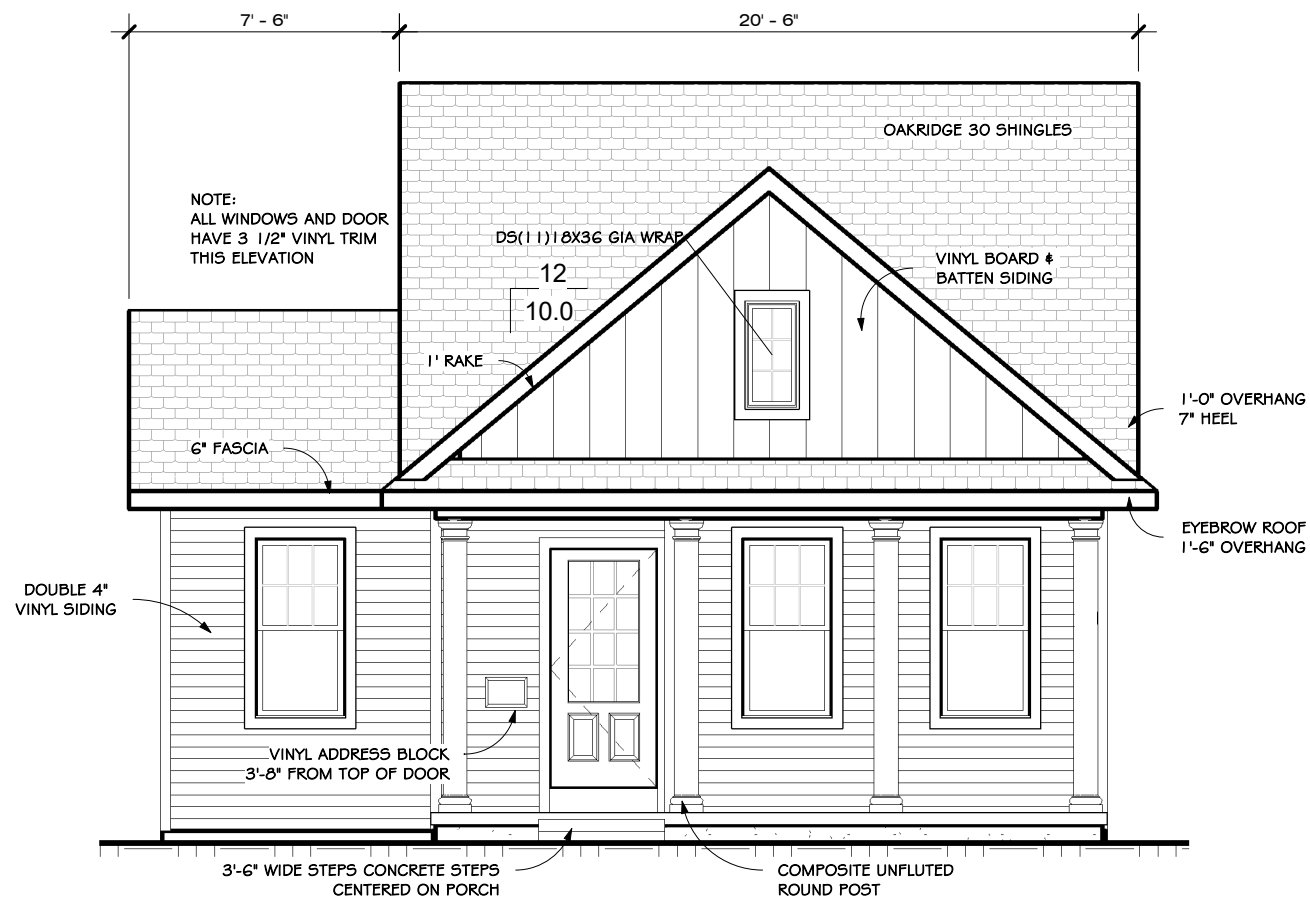
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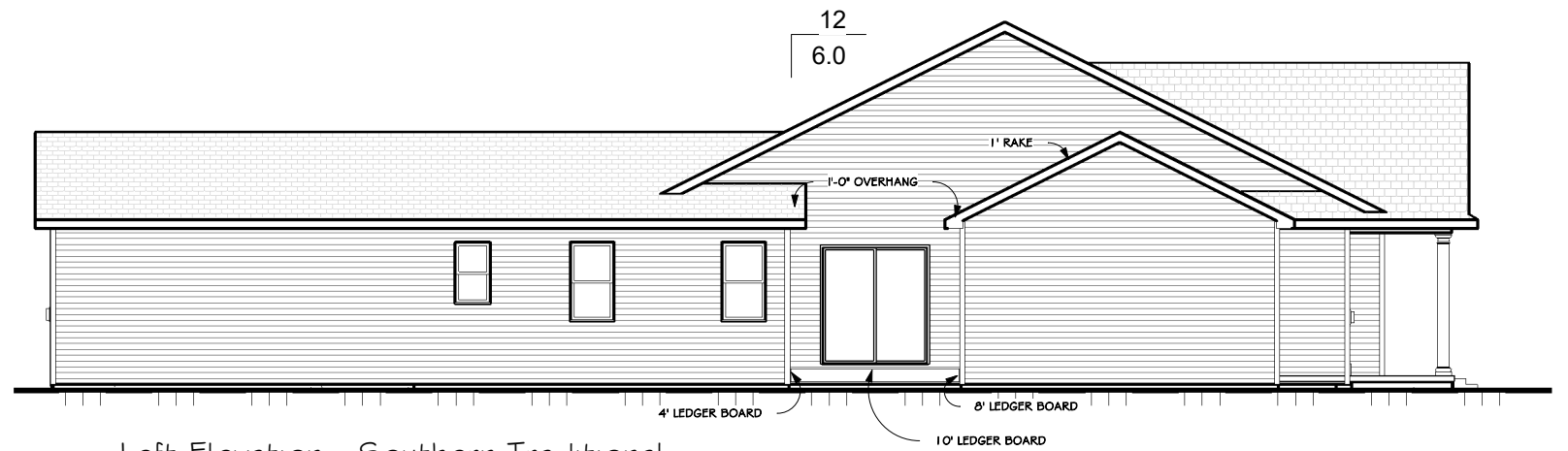
Custom Designed For: Owner
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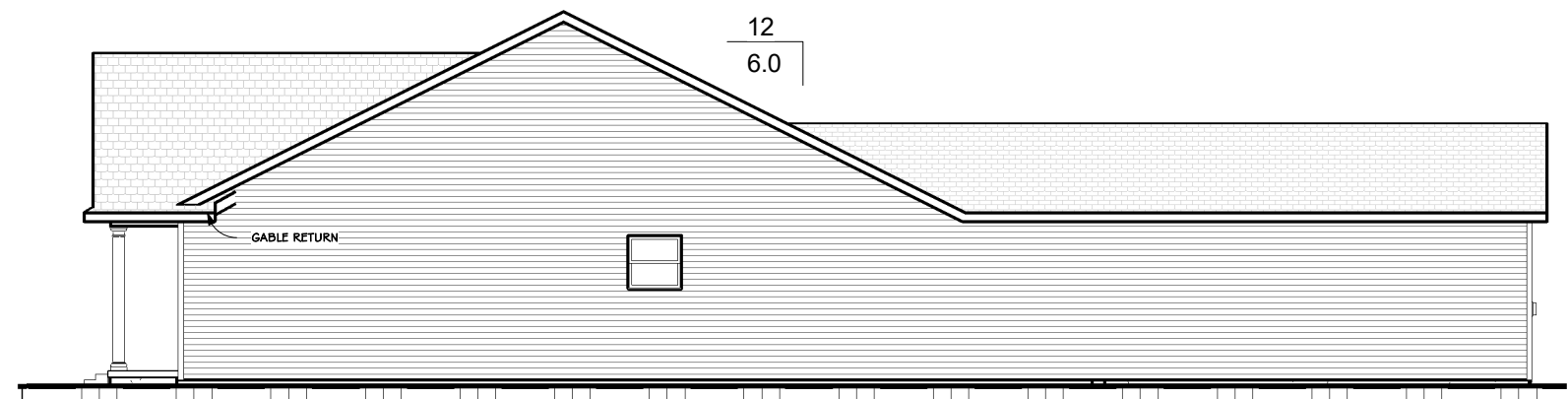
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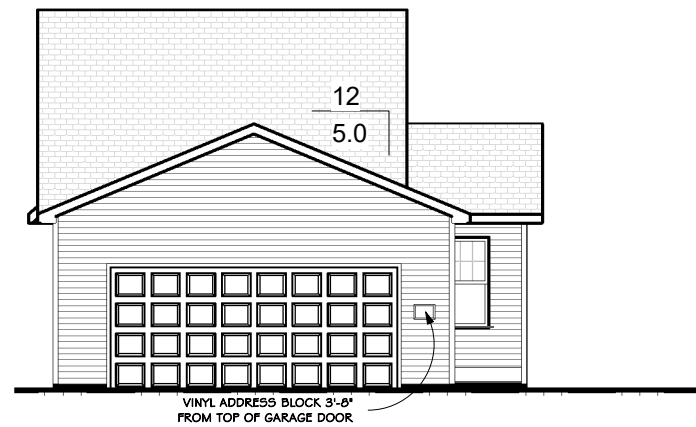
Front Elevation - Southern Traditional
3/16" = 1'-0"



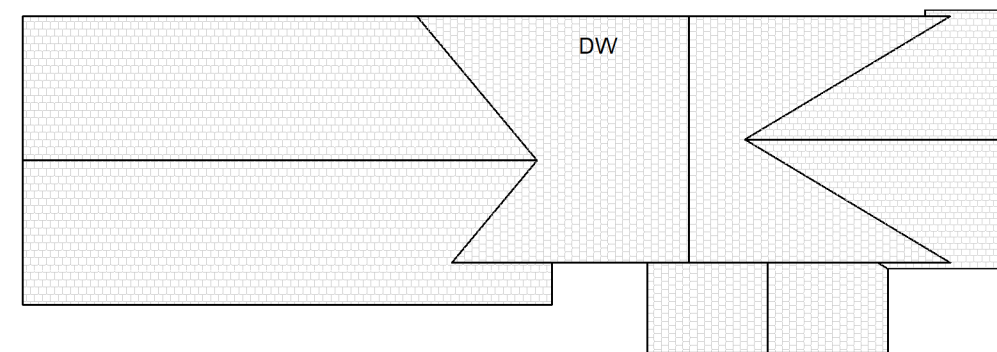
Left Elevation - Southern Traditional
3/32" = 1'-0"



Right Elevation - Southern Traditional
3/32" = 1'-0"



Rear Elevation - Southern Traditional
3/32" = 1'-0"



Roof - Southern Traditional
1/16" = 1'-0"

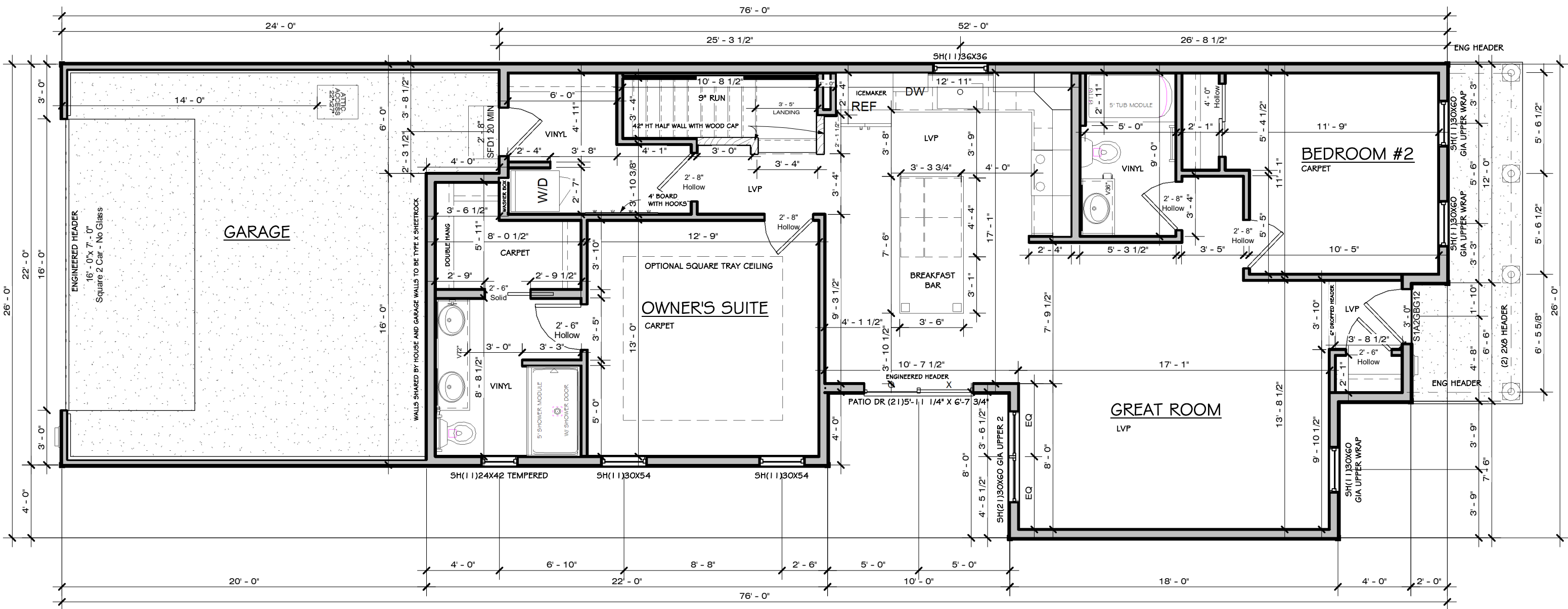
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. ST2	Print Date	Model: COLLETTE
	1/3/2023 12:35:17 PM	Elevation: Southern Traditional
	Drawn By: Author	Date: Issue Date
	Revisions:	

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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



First Floor - Southern Traditional
 3/16" = 1'-0"

Area Schedule (Southern Traditional)	
Name	Area
FIRST FLOOR	1206 SF 1206 SF

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
 Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

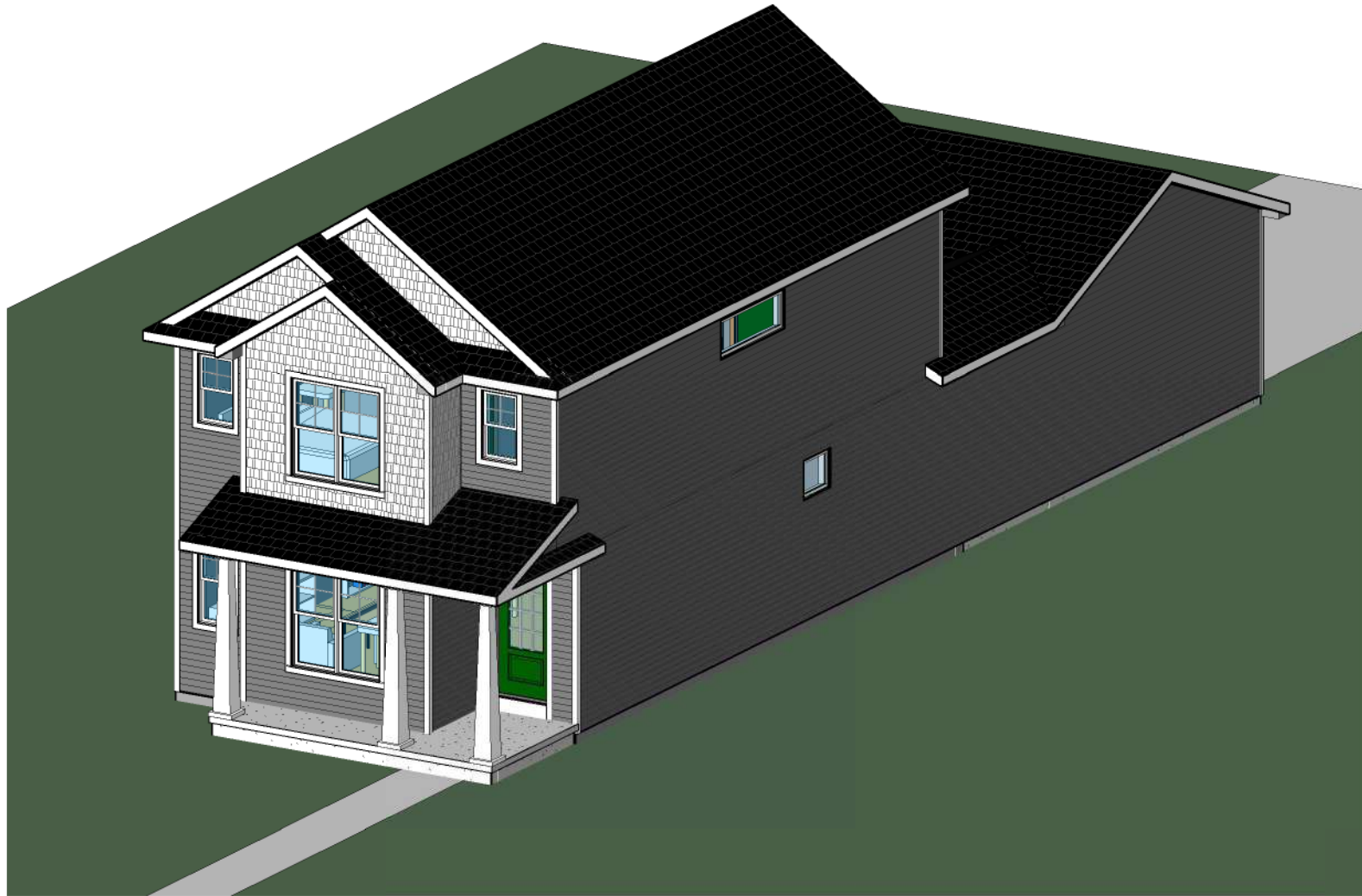
ST3	Drawing No.	Print Date	Model: COLLETTE
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			Revisions:

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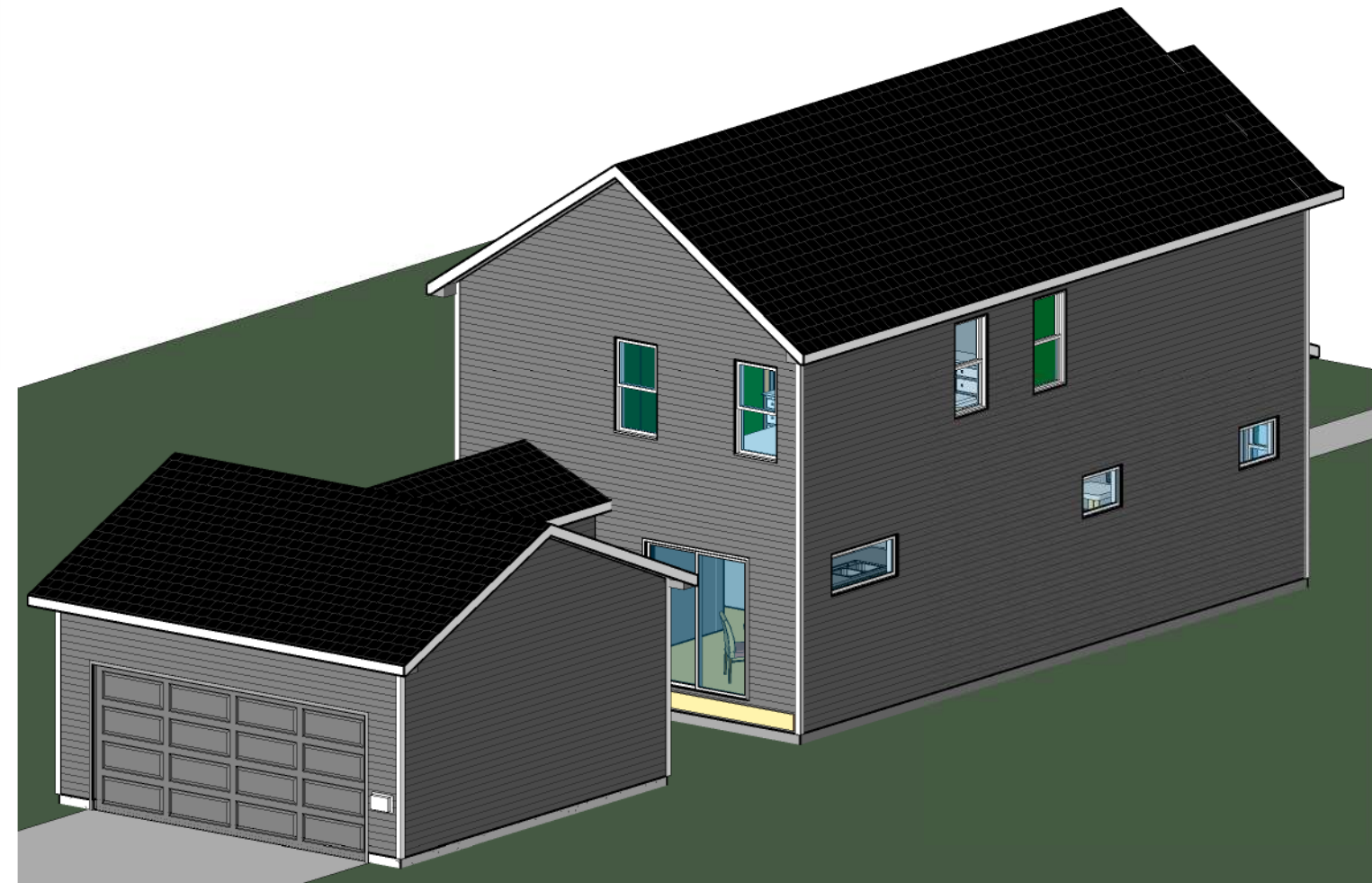
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Unit 6141



3D - Cottage



3D - Cottage Rear

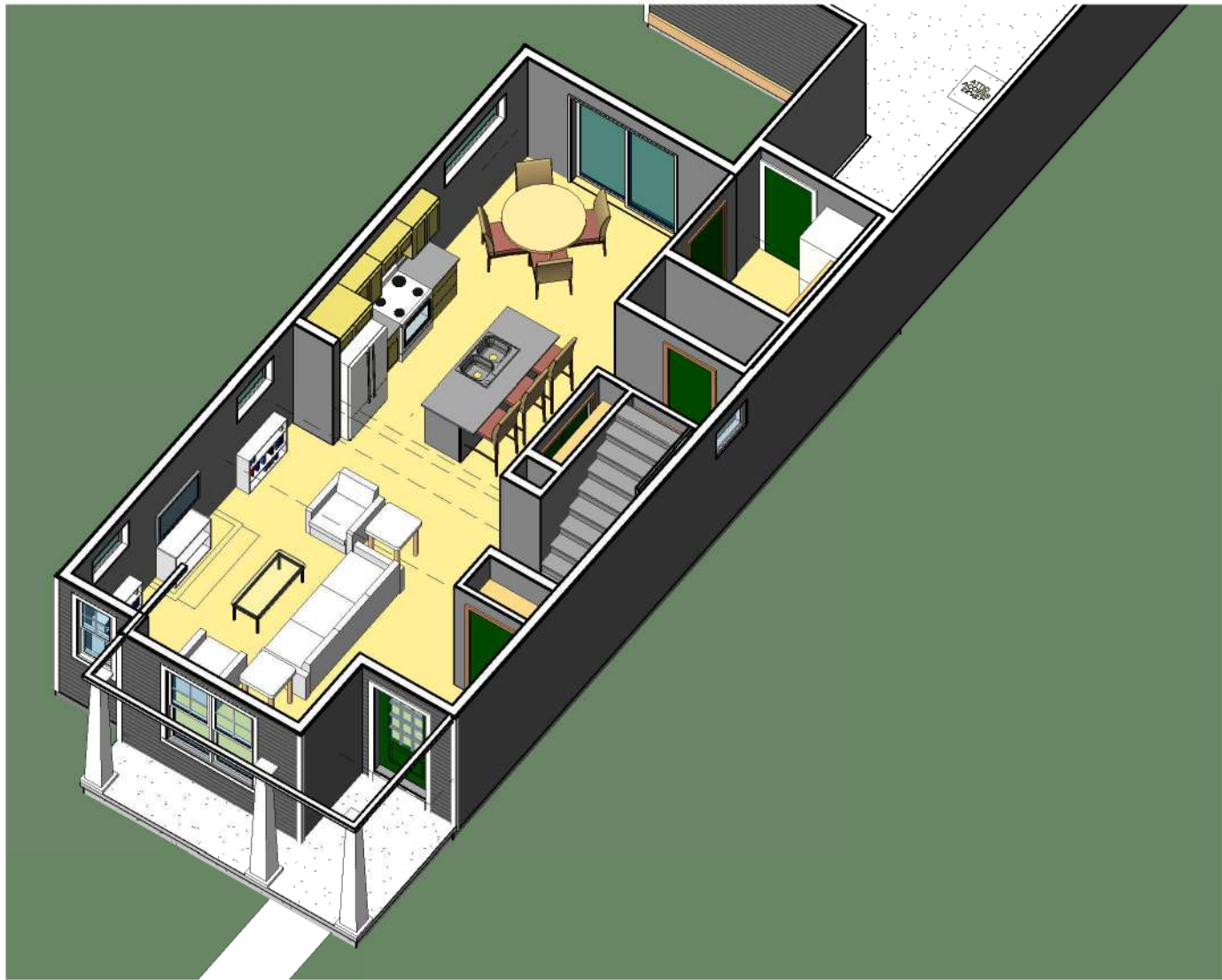
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. COO	Print Date	Model: Tribeca
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	Drawn By: Author	Date: Issue Date
	Revisions:	

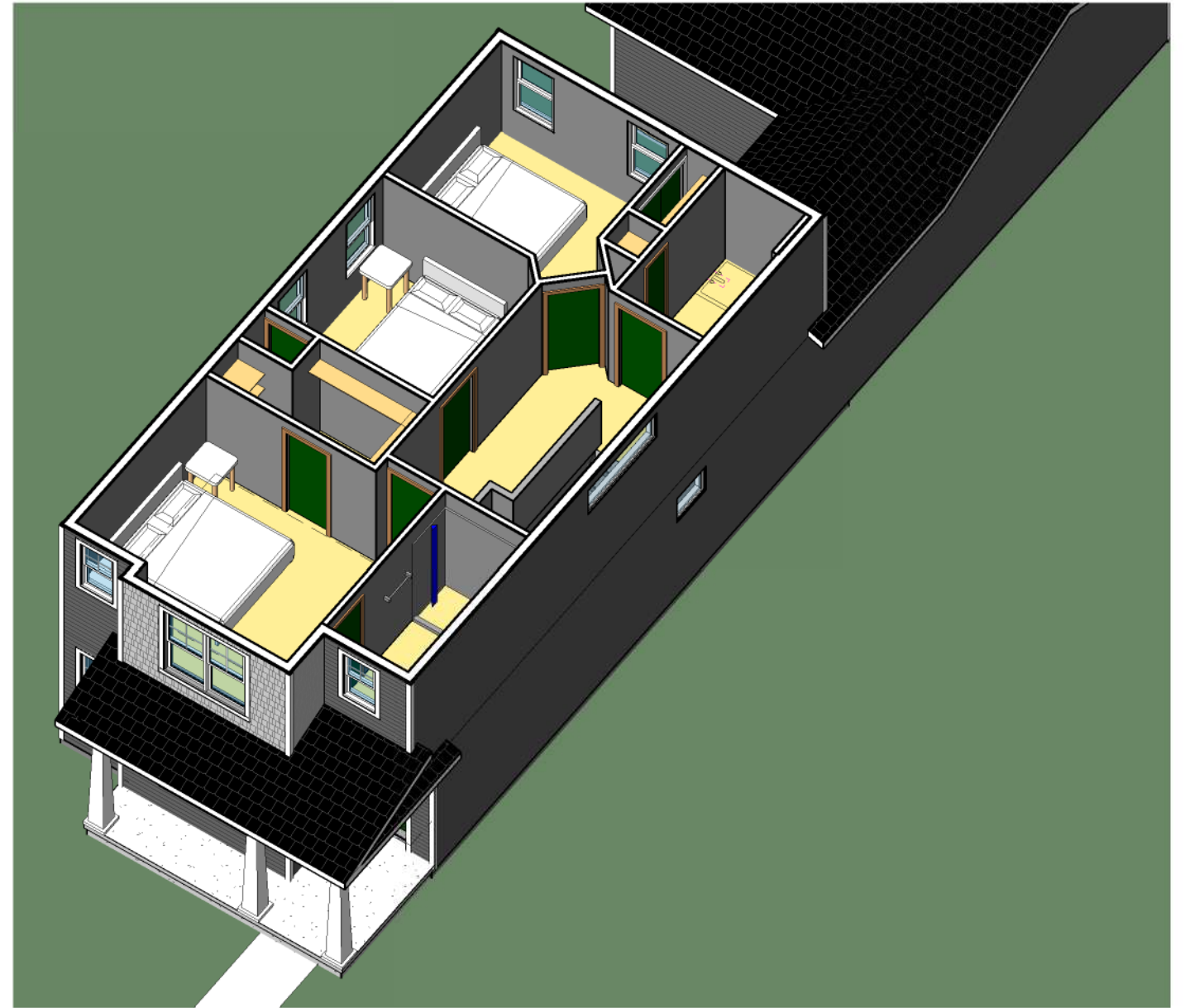

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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



3D First Floor - Cottage



3D Second Floor - Cottage

Note: All dimensions are stud to stud **Do Not Scale**

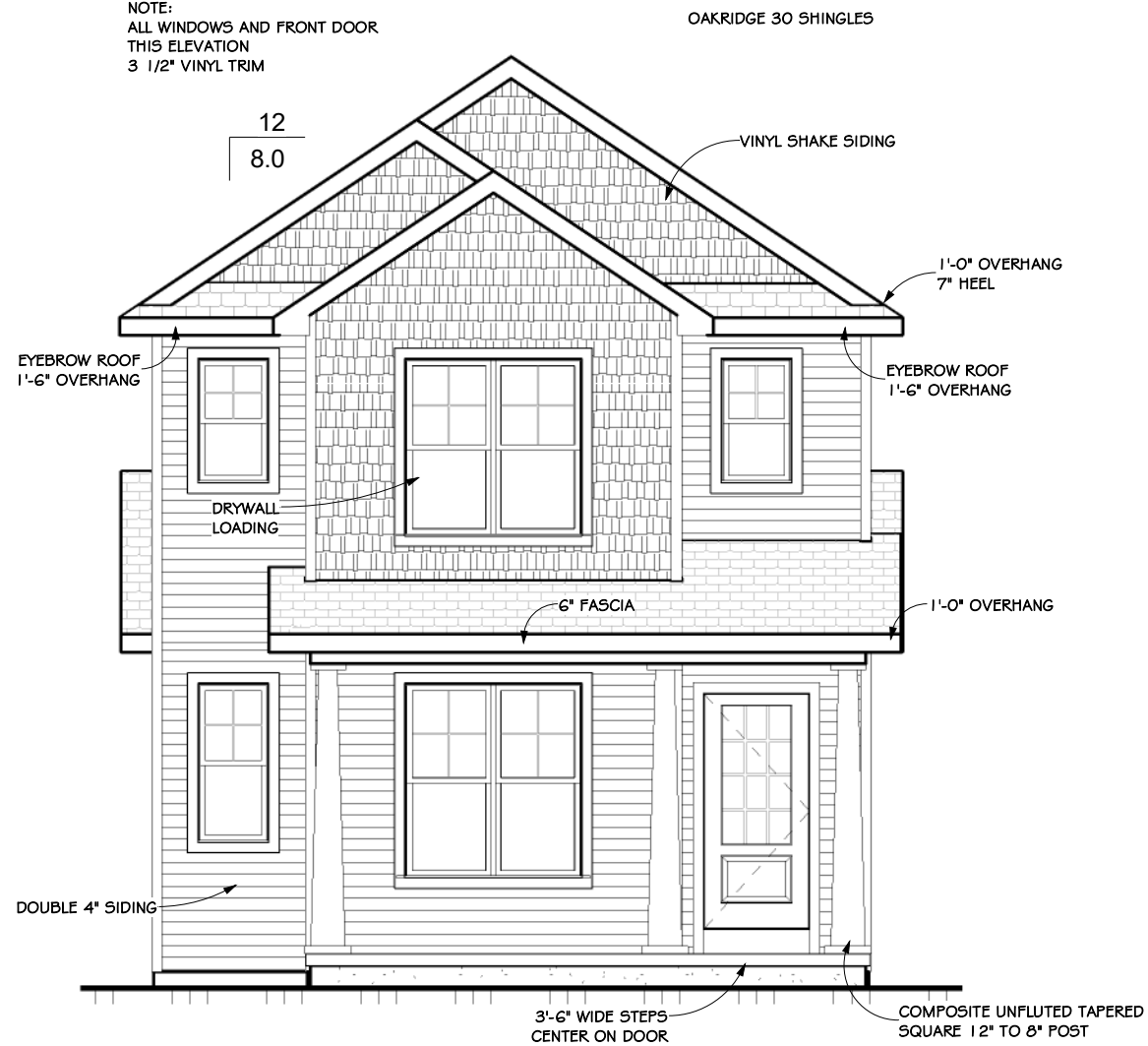
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Drawing No. COO.1	Print Date	Model: Tribeca
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		Drawn By: Author Date: Issue Date
		Revisions:


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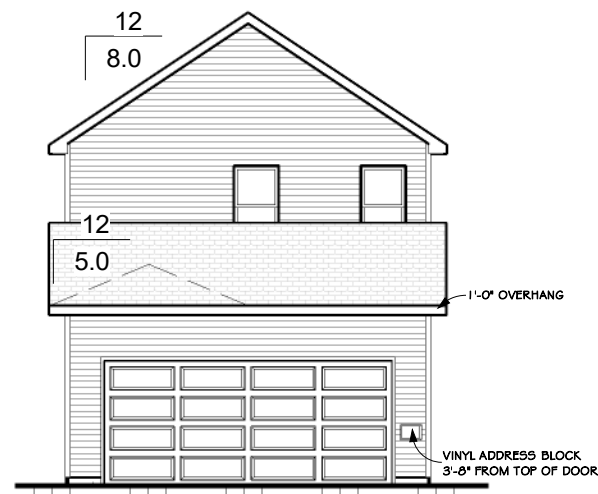
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NOTE:
ALL WINDOWS AND FRONT DOOR
THIS ELEVATION
3 1/2" VINYL TRIM



Front Elevation - Cottage

3/16" = 1'-0"



Rear Elevation - Cottage

3/32" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

OAKRIDGE 30 SHINGLES

VINYL SHAKE SIDING

1'-0" OVERHANG
7" HEEL

EYEBROW ROOF
1'-6" OVERHANG

DRYWALL
LOADING

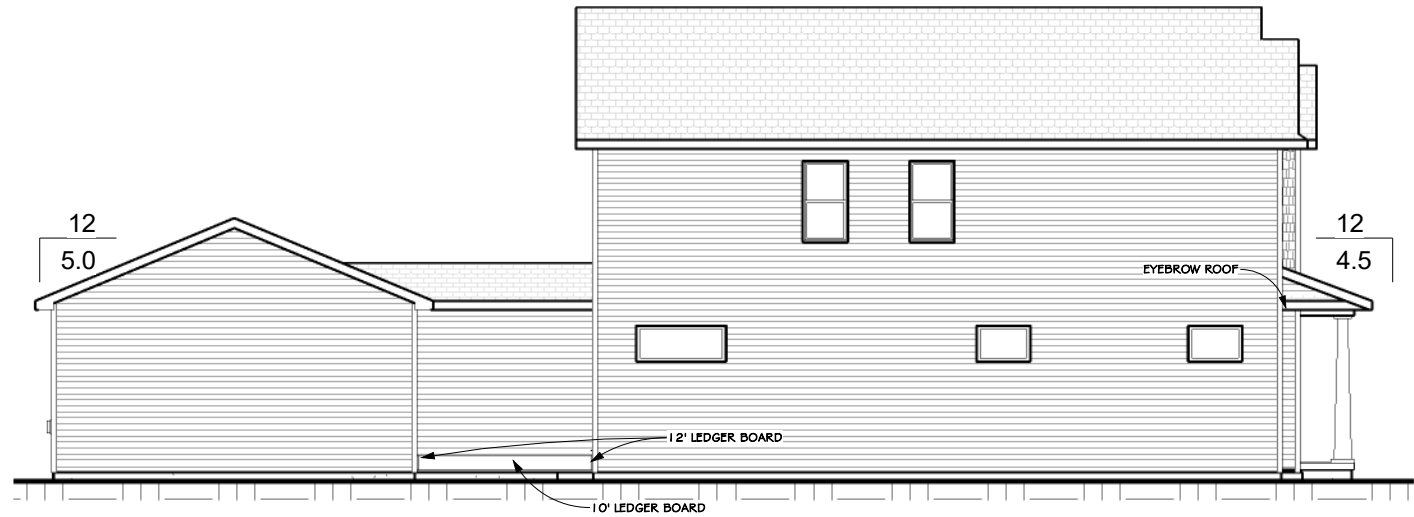
6" FASCIA

1'-0" OVERHANG

DOUBLE 4" SIDING

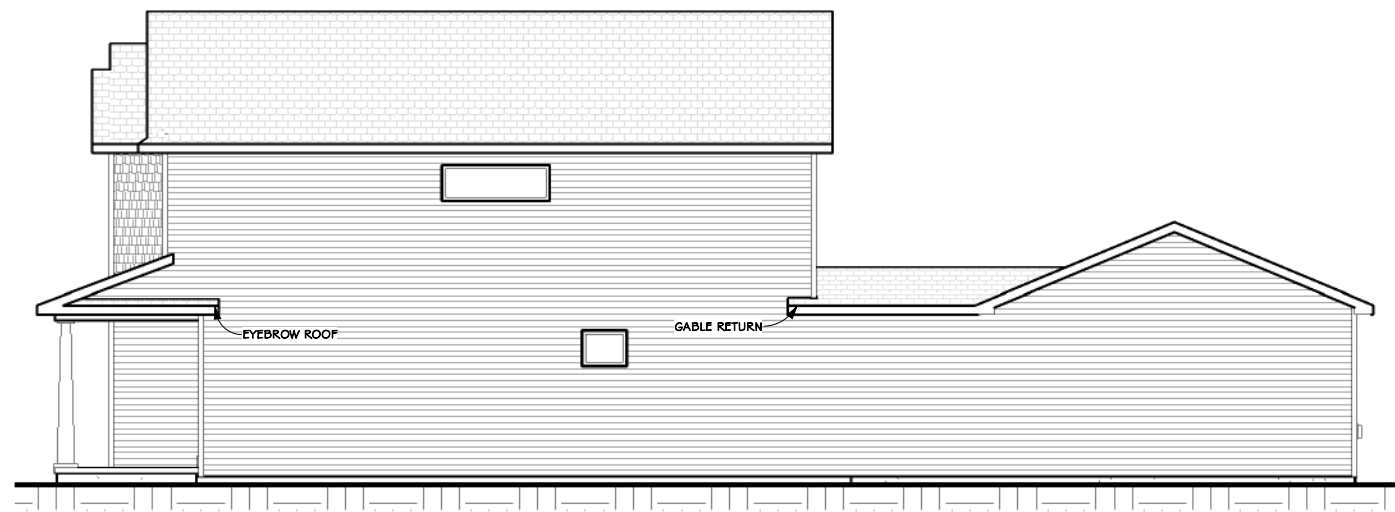
3'-6" WIDE STEPS
CENTER ON DOOR

COMPOSITE UNFLUTED TAPERED
SQUARE 1 2" TO 8" POST



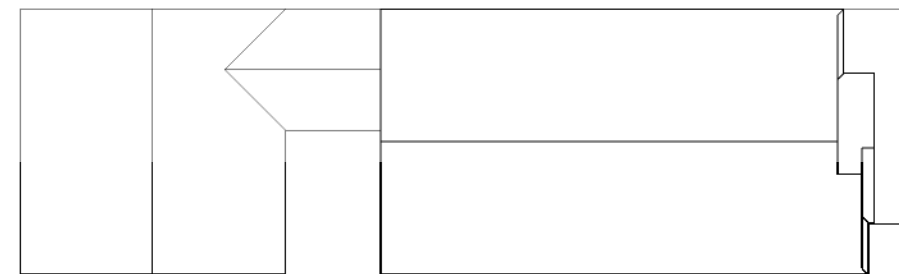
Left Elevation - Cottage

3/32" = 1'-0"



Right Elevation - Cottage

3/32" = 1'-0"



Roof Plan

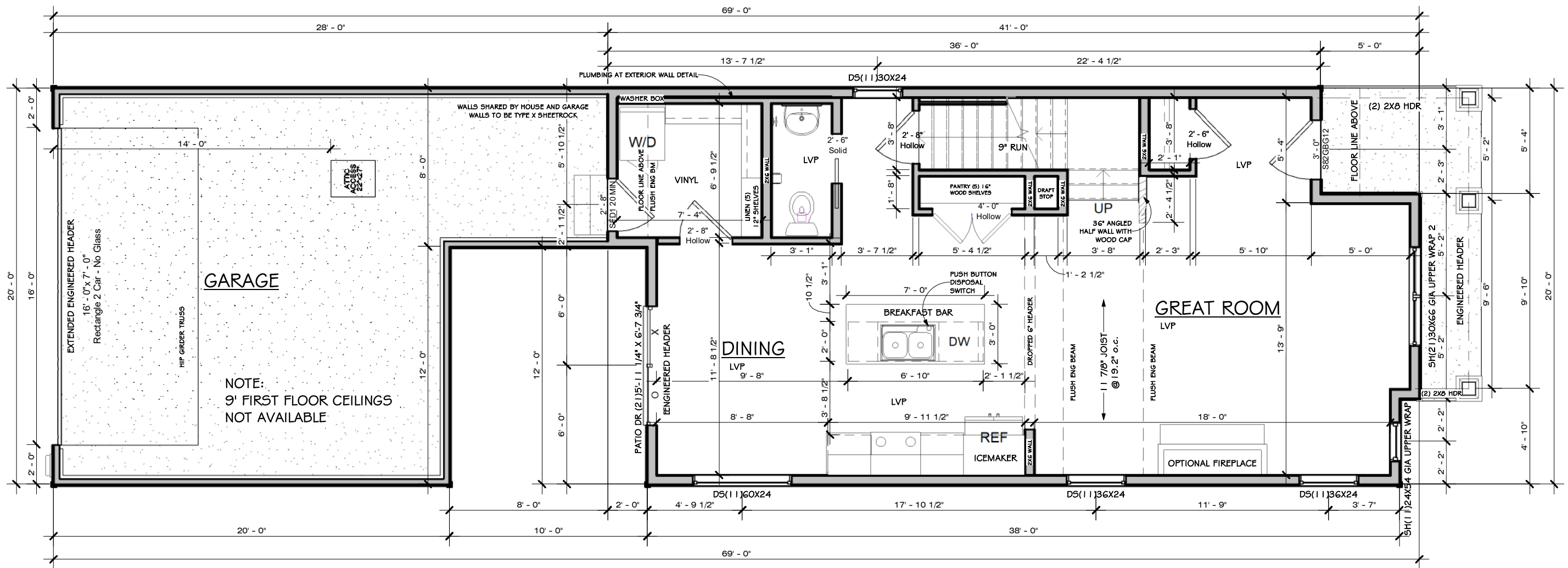
1/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

Drawing No.	Print Date	Model: Tribeca
CO2	2/17/2023	Elevation: Cottage
	8:15:11 AM	Drawn By: Author Date: Issue Date
		Revisions:

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First Floor - Cottage

3/16" = 1'-0"

Area Schedule (Cottage)	
Name	Area

First Floor	765 SF
Second Floor	760 SF
	1525 SF

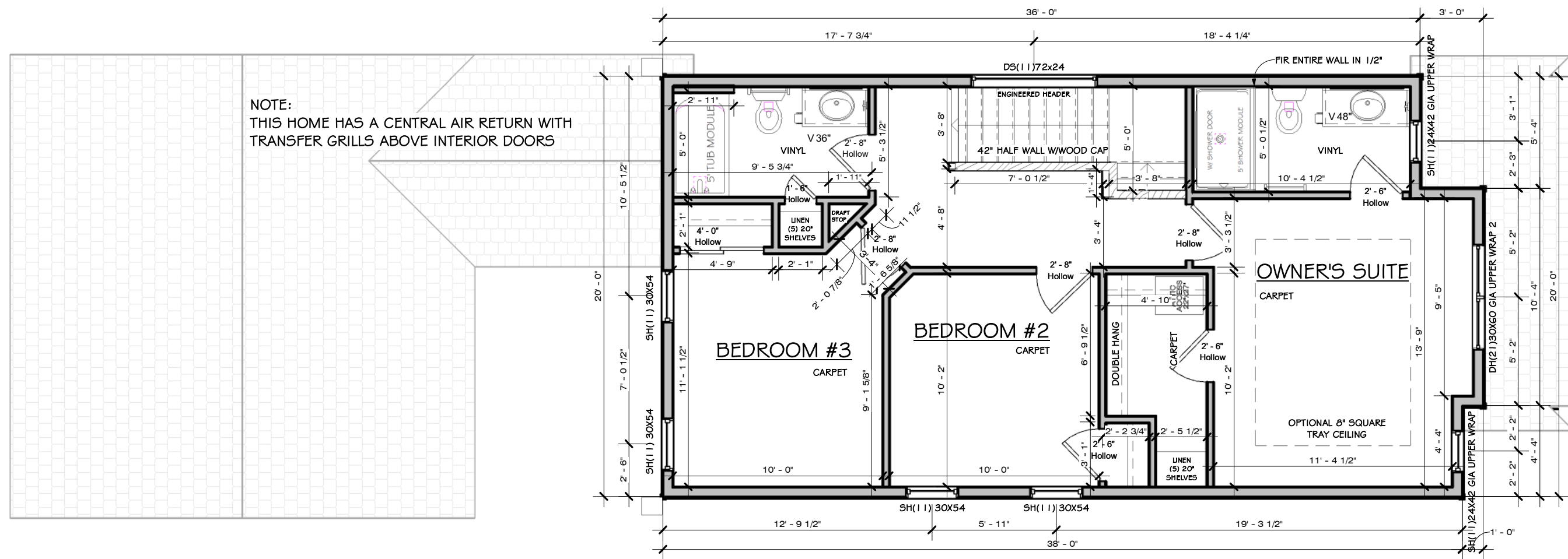
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. CO3	Print Date	Model: Tribeca
	2/17/2023	Elevation: Cottage
	8:15:12 AM	Drawn By: Author Date: Issue Date
		Revisions:

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Second Floor - Cottage

3/16" = 1'-0"

Area Schedule (Cottage)	
Name	Area

First Floor	765 SF
Second Floor	760 SF
	1525 SF

Note: All dimensions are stud to stud **Do Not Scale**

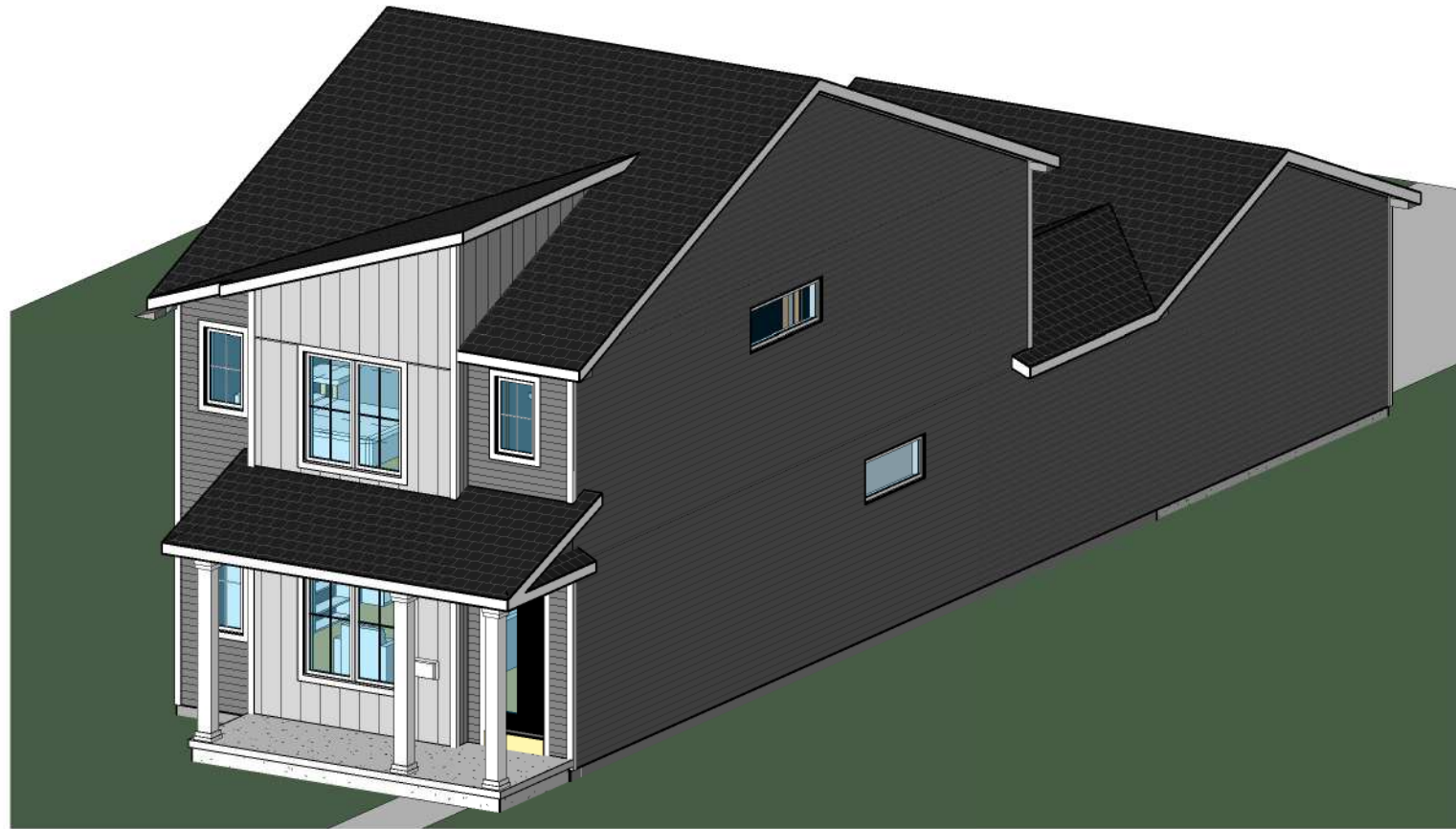
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		Drawn By: Author Date: Issue Date
		Revisions:

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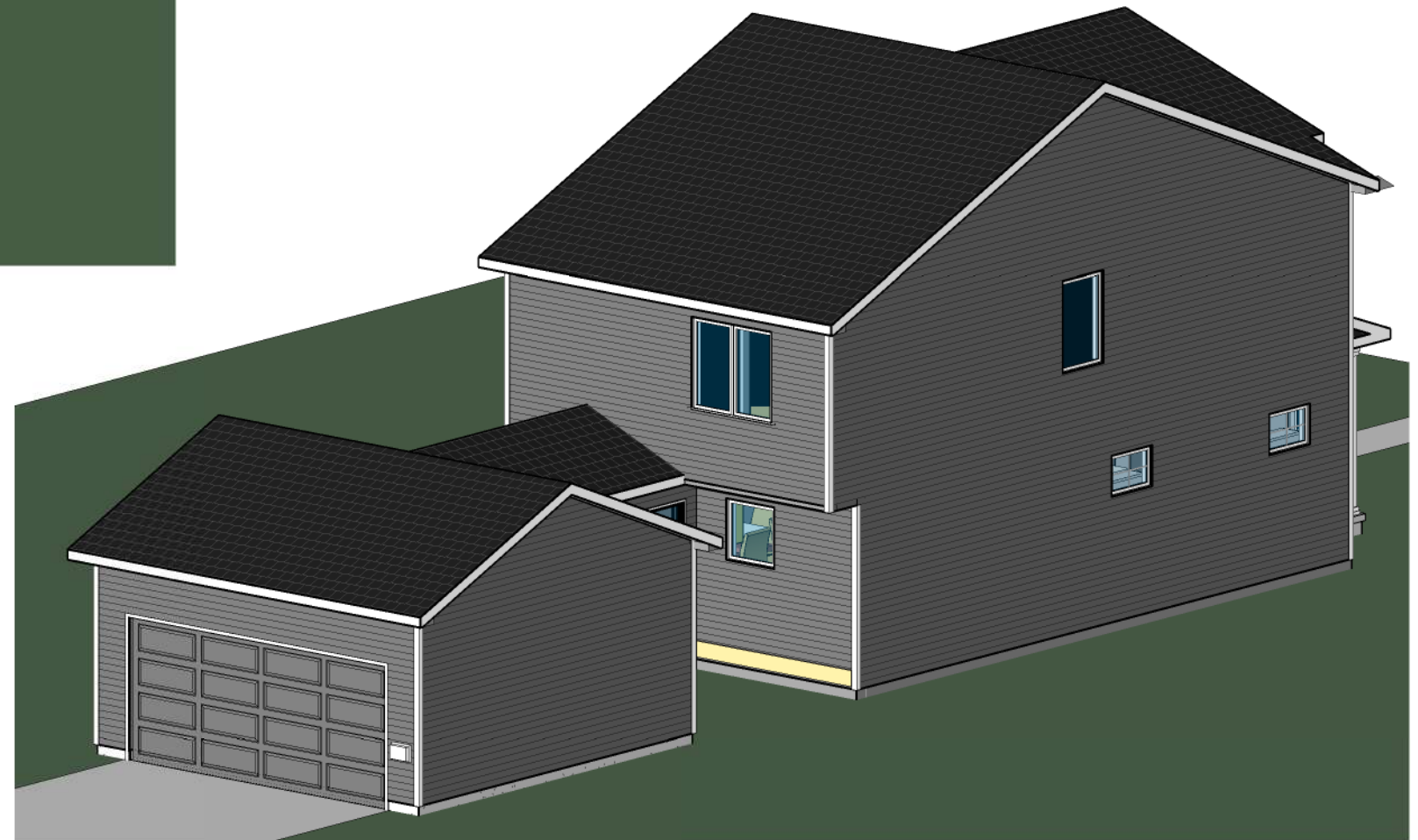
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Unit 6142



3D - Modern B



3D - Modern B Rear

Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. BO	Print Date	Model: Gramercy
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		Drawn By: Author Date: Issue Date
		Revisions:

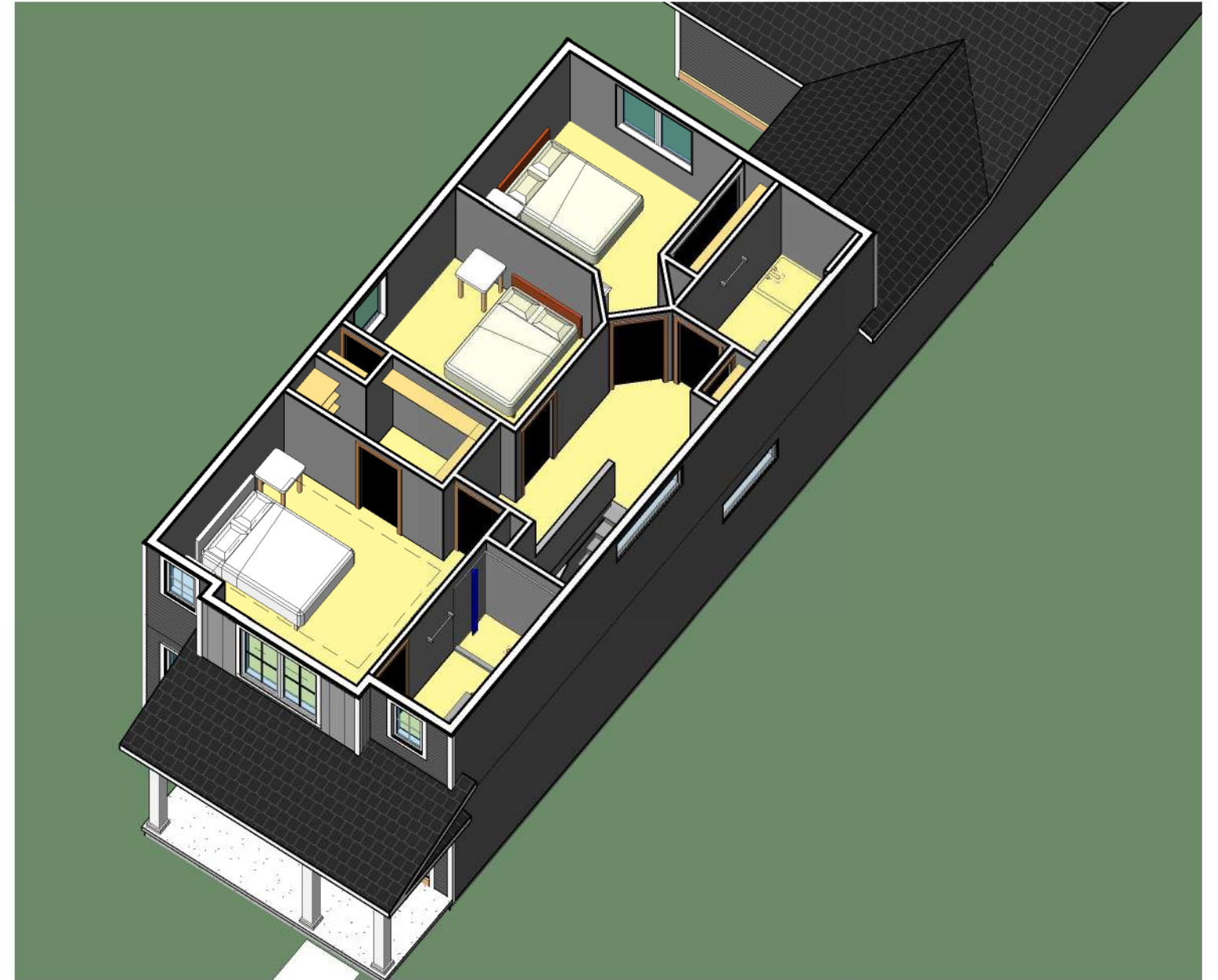

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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



3D - Modern B First Floor



3D - Modern B Second Floor

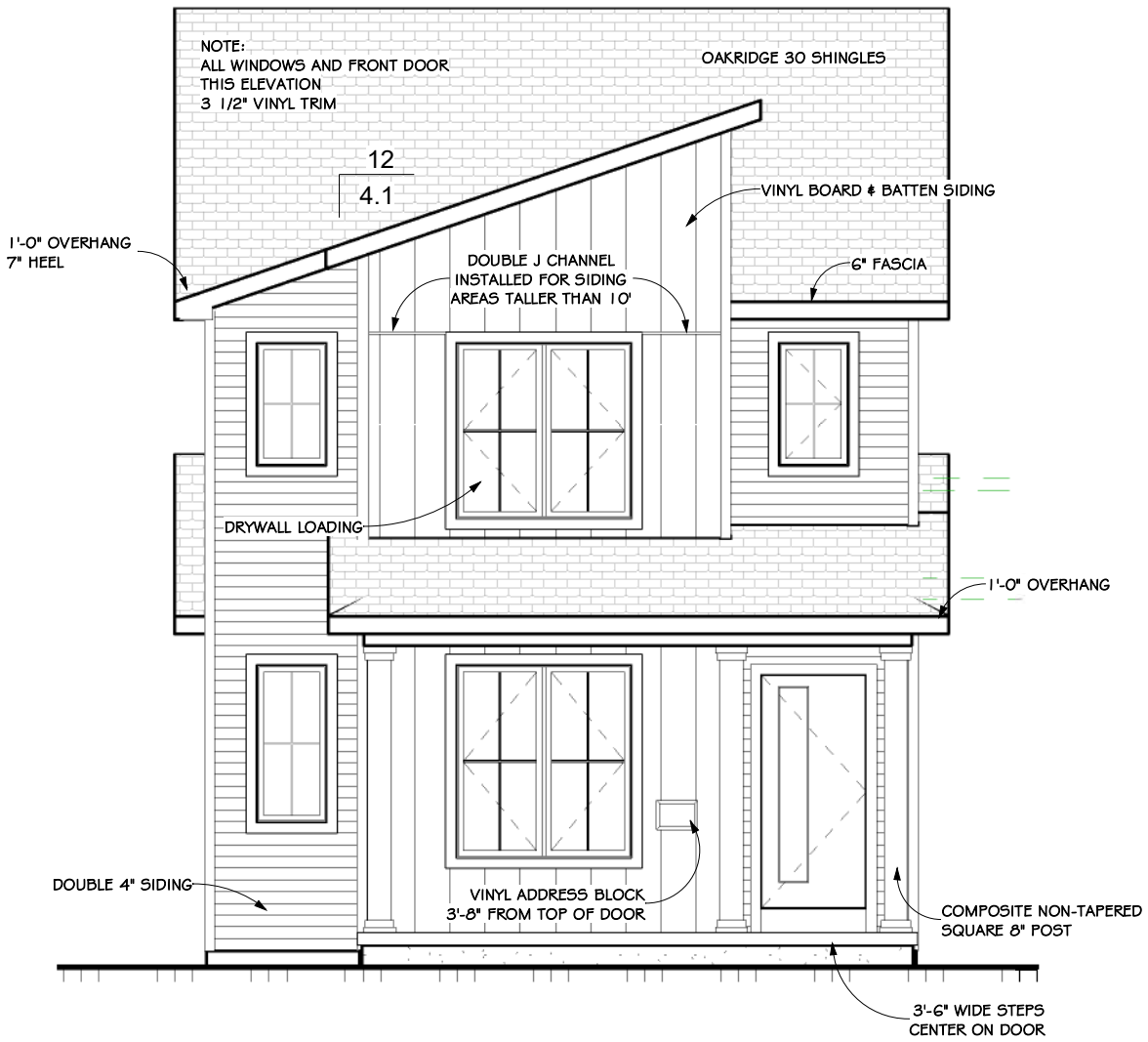
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No.	Print Date	Model: Gramercy
BO.1	2/20/2023 4:50:58 PM	Elevation: Modern B
		Drawn By: Author Date: Issue Date
		Revisions:

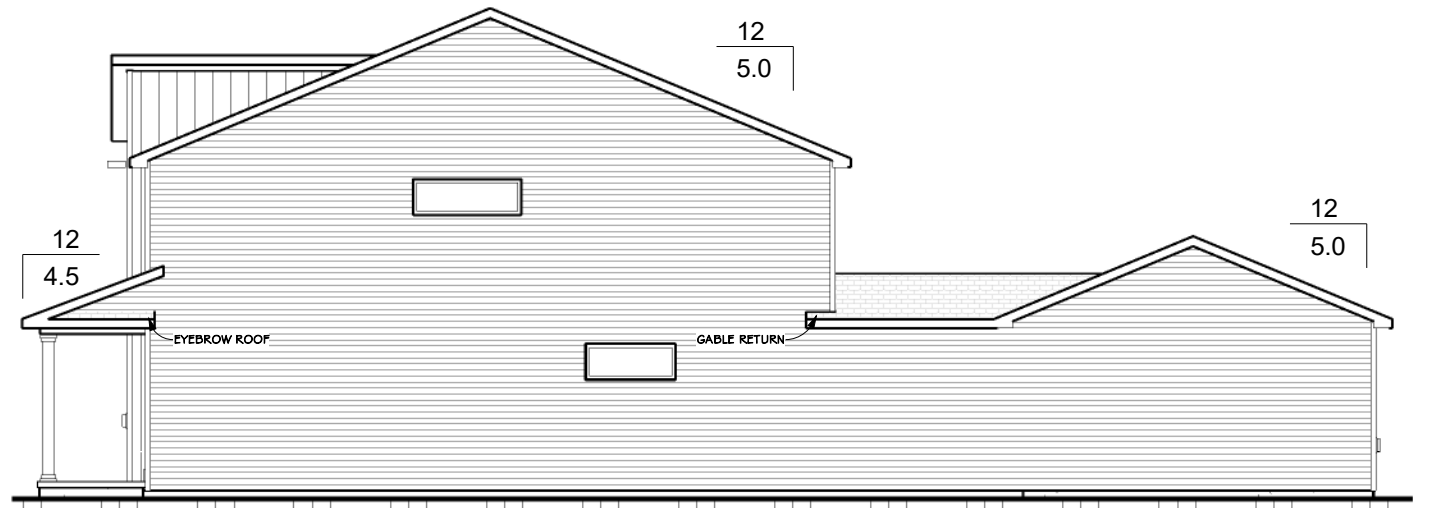

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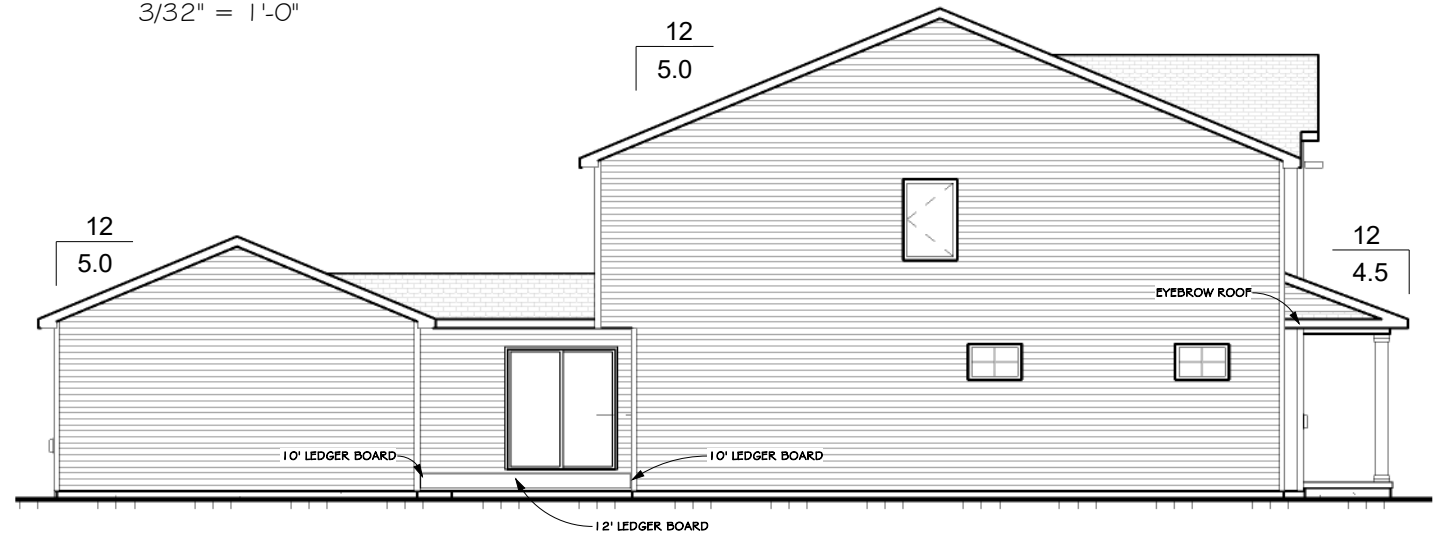
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



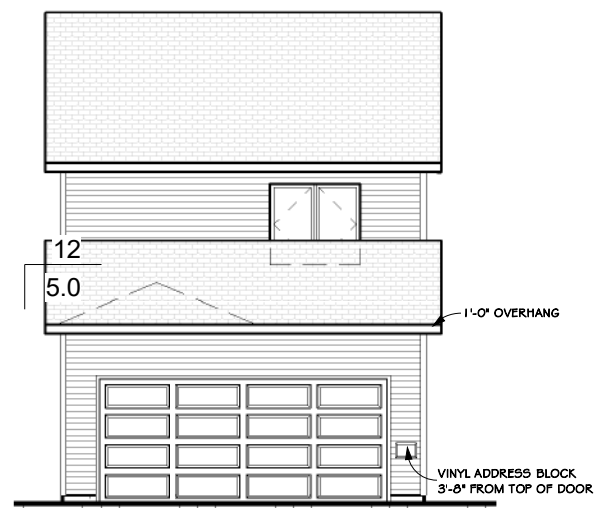
Front Elevation - Modern B
3/16" = 1'-0"



Right Elevation - Modern B
3/32" = 1'-0"

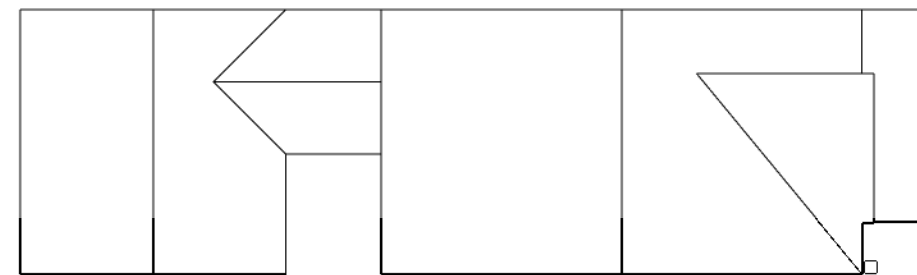


Left Elevation - Modern B
3/32" = 1'-0"



Rear Elevation - Modern B
3/32" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



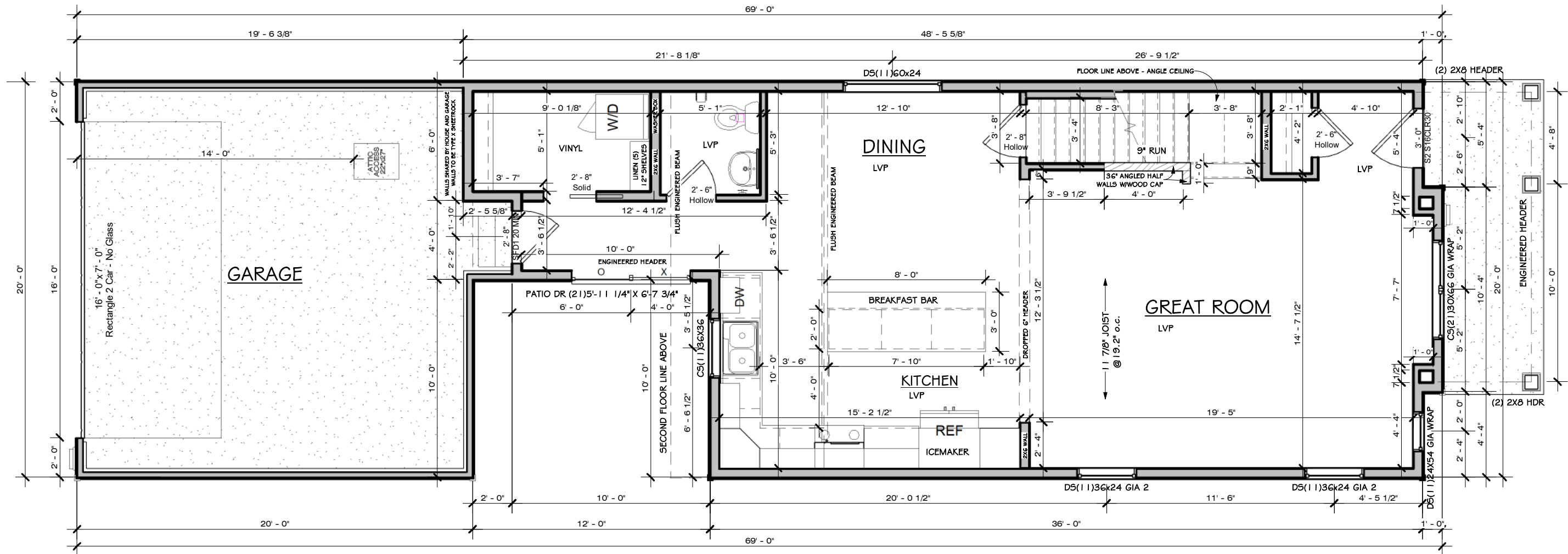
Roof Plan
1/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

B2	Drawing No.	Print Date	Model: Gramercy
		2/20/2023 4:51:00 PM	Elevation: Modern B
			Drawn By: Author Date: Issue Date
			Revisions:


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First Floor - Modern B

3/16" = 1'-0"

NOTE:
9' FIRST FLOOR CEILING NOT AVAILABLE
NO STRUCTURAL CHANGES TO FRONT ELEVATION

Area Schedule (Modern B)	
Name	Area

First Floor	845 SF
Second Floor	770 SF
	1615 SF

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

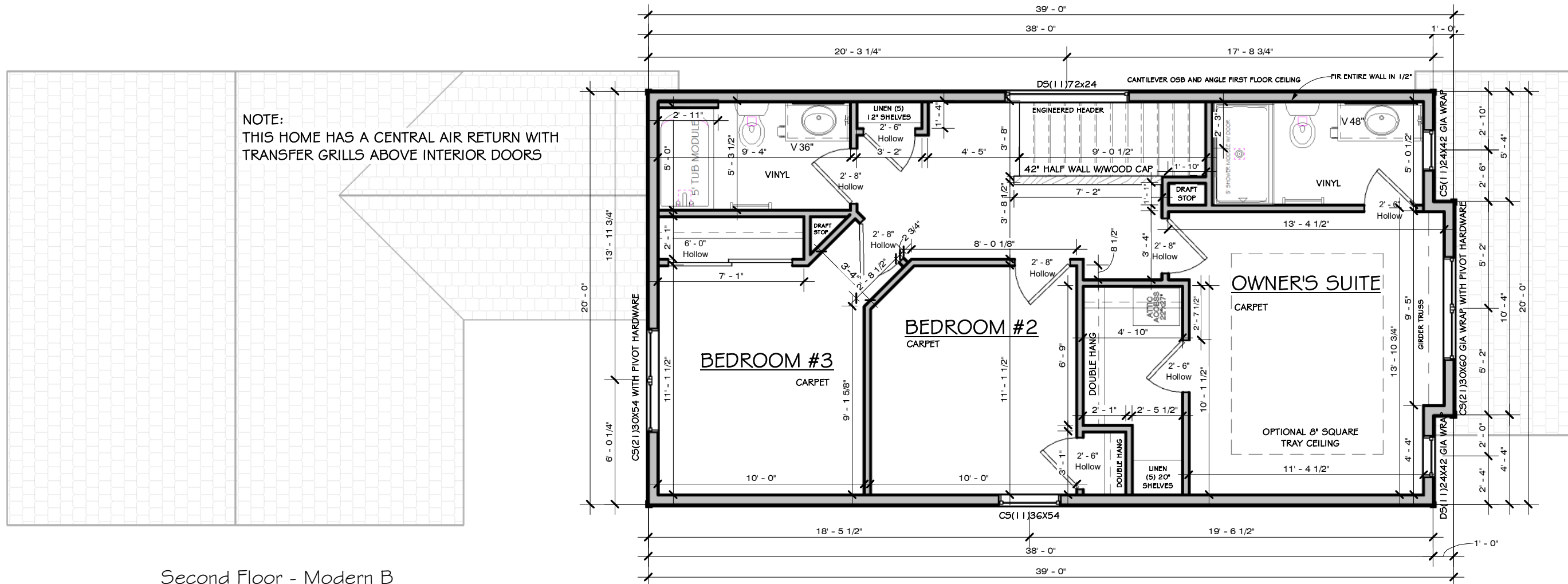
Note: All dimensions are stud to stud **Do Not Scale**

B3	Drawing No.	Print Date	Model: Gramercy
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			Drawn By: Author Date: Issue Date
			Revisions:

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NOTE:
THIS HOME HAS A CENTRAL AIR RETURN WITH
TRANSFER GRILLS ABOVE INTERIOR DOORS

Second Floor - Modern B
3/16" = 1'-0"

Area Schedule (Modern B)	
Name	Area

First Floor	845 SF
Second Floor	770 SF
	1615 SF

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

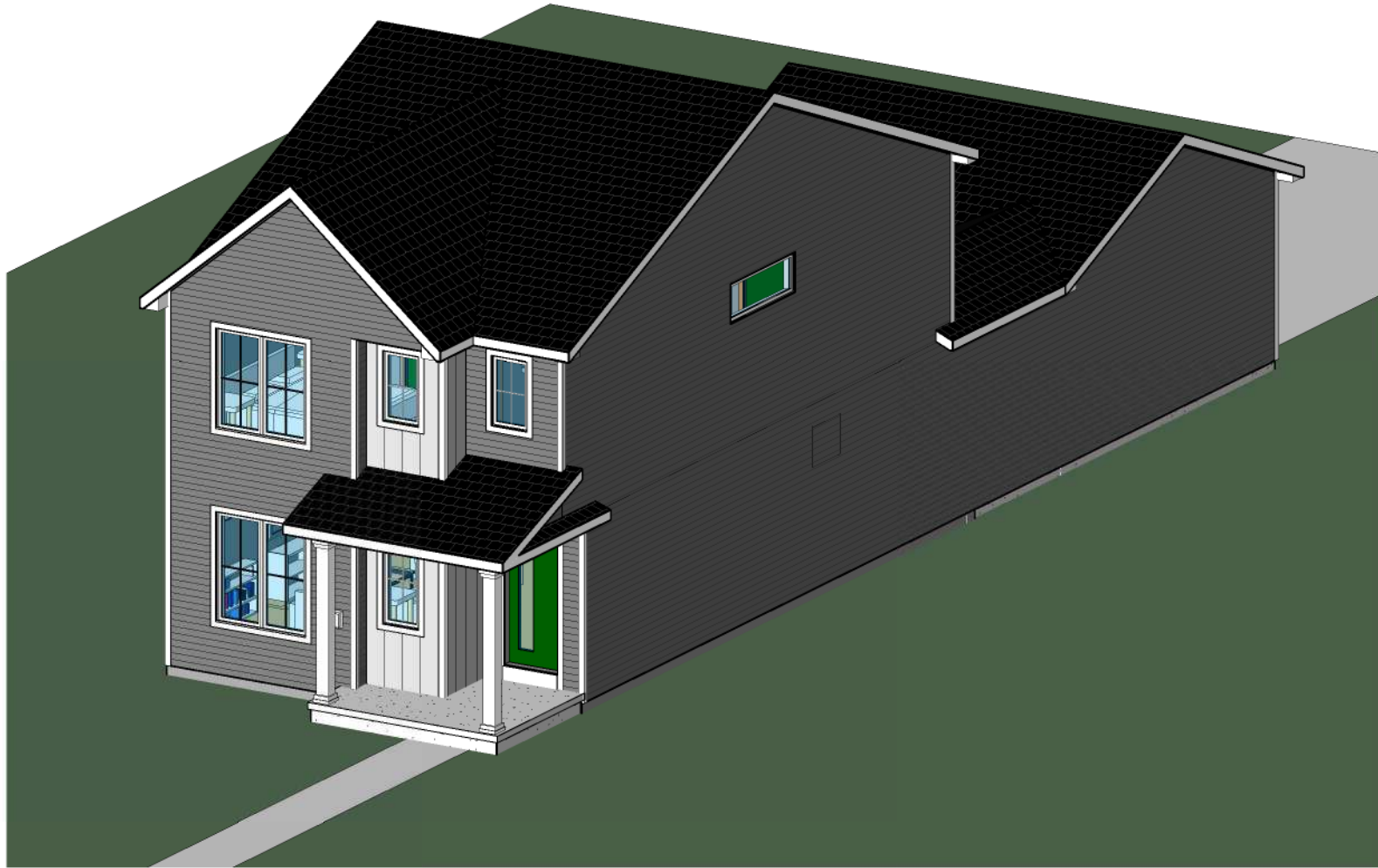
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. B5	Print Date	Model: Gramercy
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		Revisions:

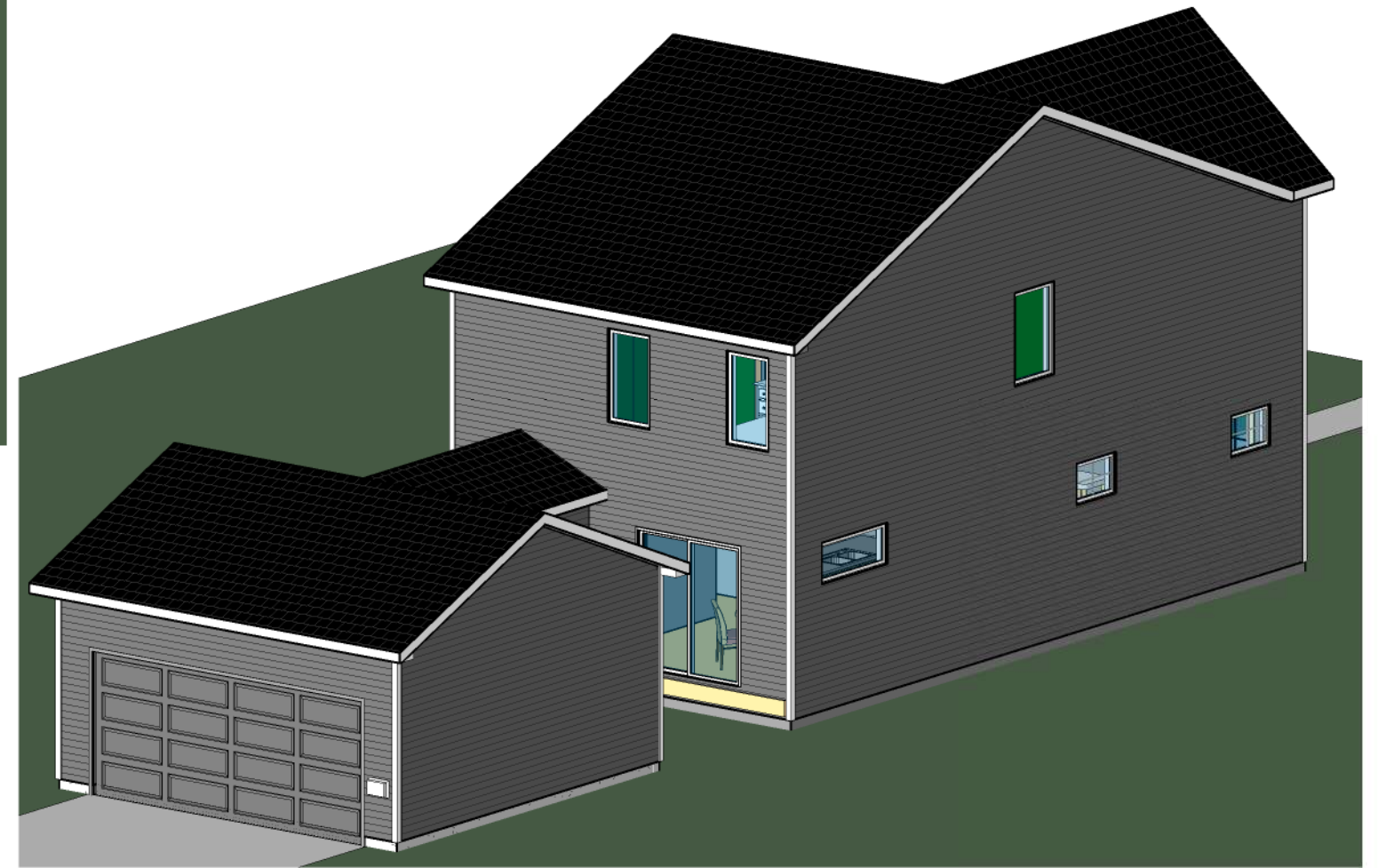
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Unit 6143



3D - Modern F



3D - Modern F Rear

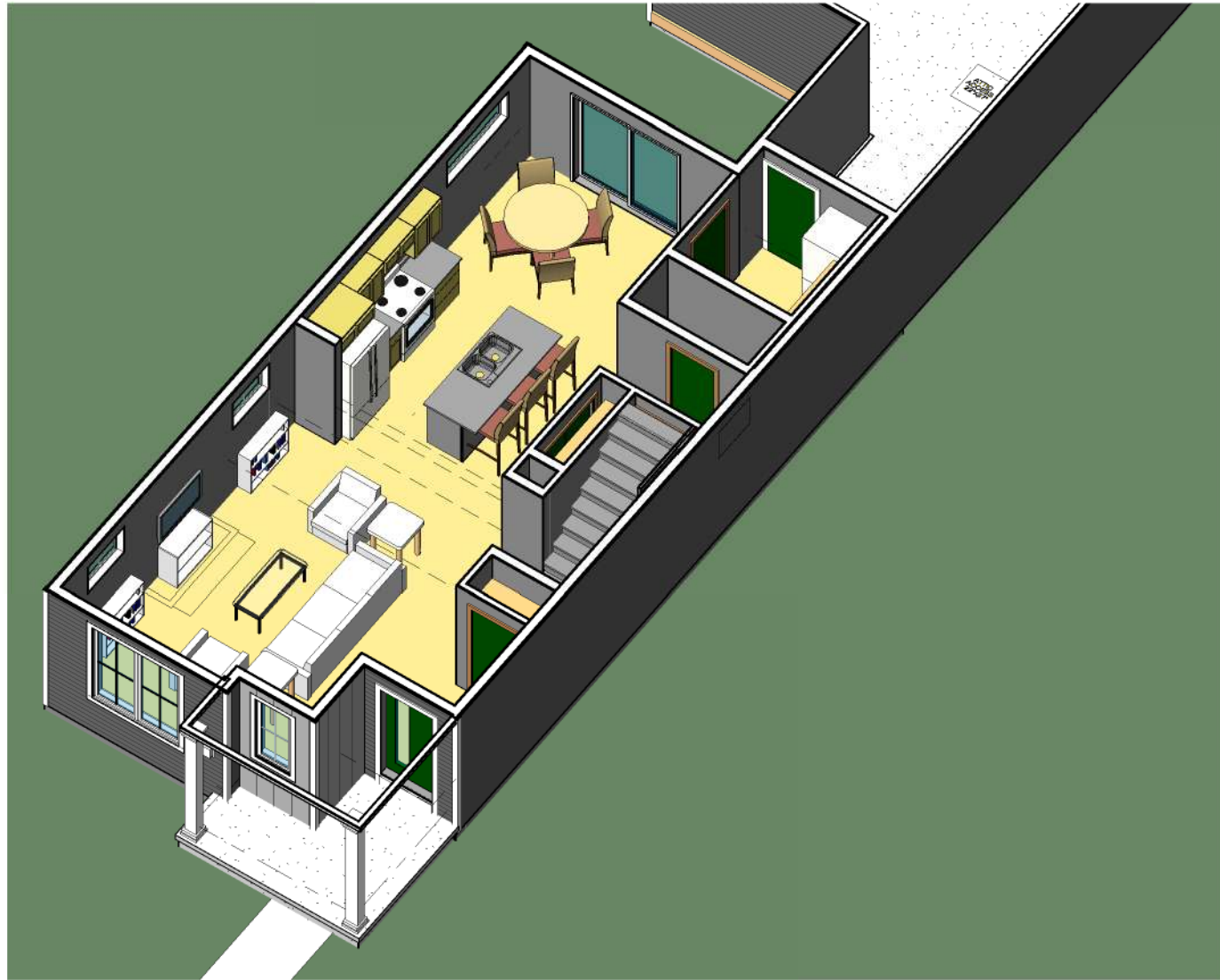
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. FO	Print Date	Model: Tribeca
	2/17/2023 8:18:39 AM	Elevation: Modern F
		Drawn By: Author Date: Issue Date
		Revisions:


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3D First Floor - Modern F



3D Second Floor - Modern F

Note: All dimensions are stud to stud **Do Not Scale**

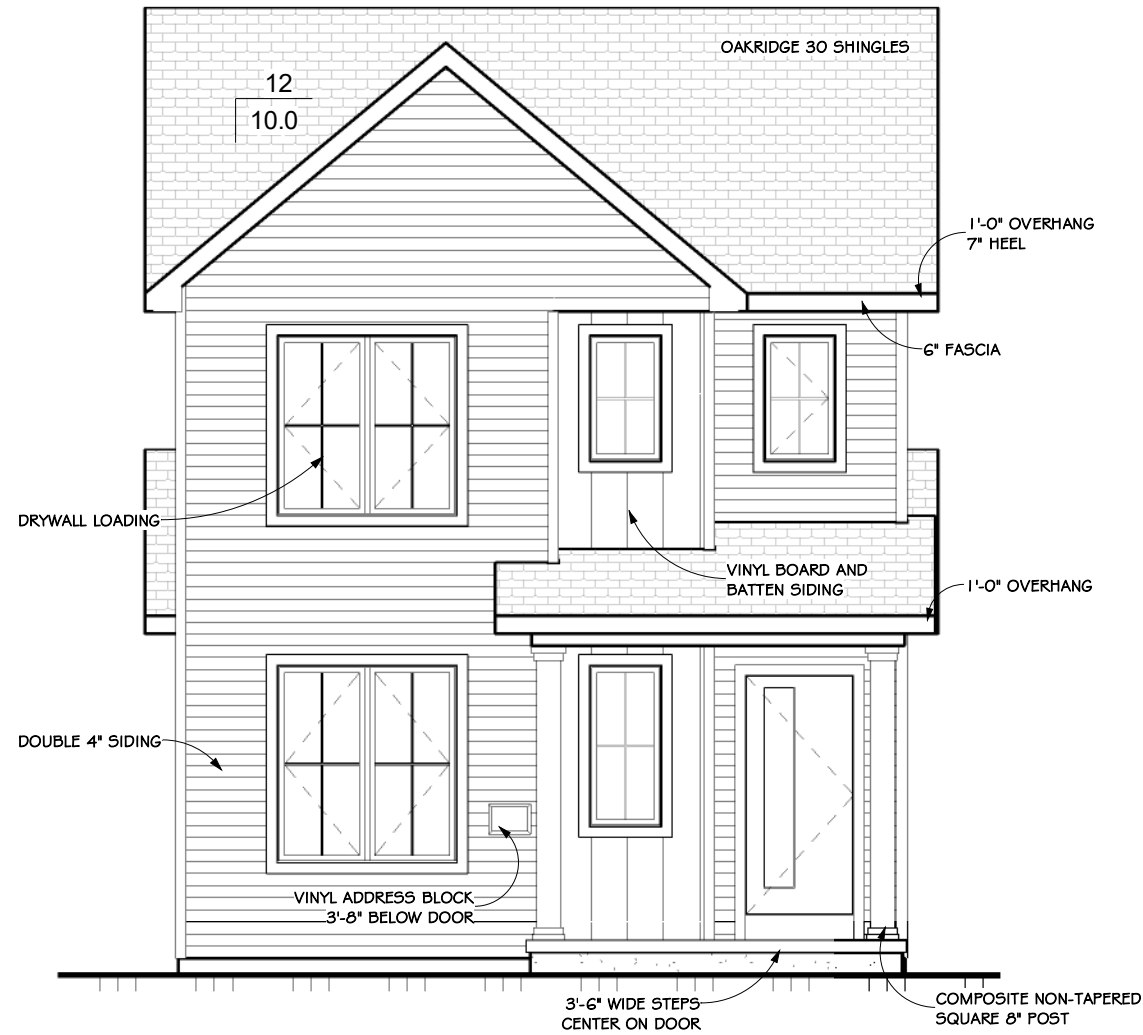
Drawing No. FO.1	Print Date	Model: Tribeca
	2/17/2023 8:18:40 AM	Elevation: Modern F
		Drawn By: Author Date: Issue Date
		Revisions:


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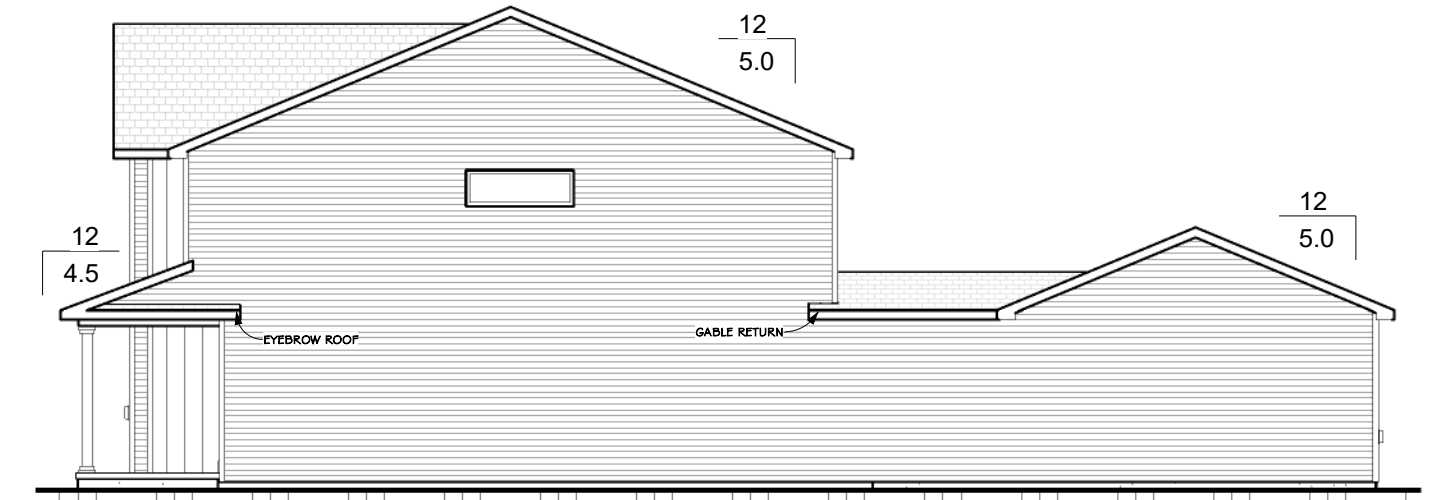
Custom Designed For:	Owner
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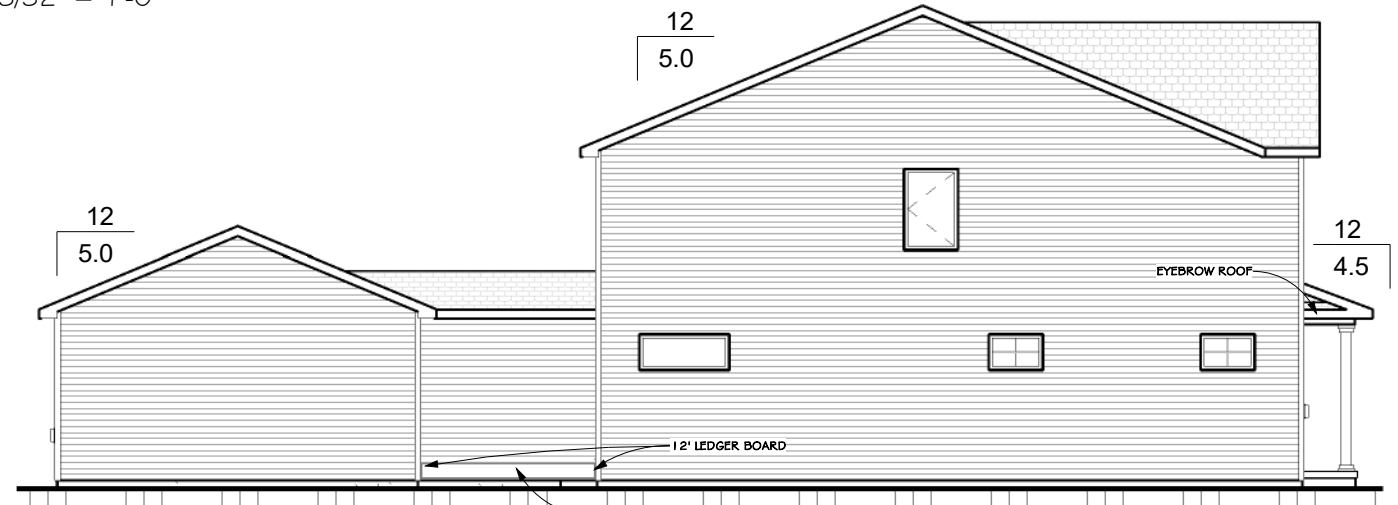
NOTE:
ALL WINDOWS AND FRONT DOOR
THIS ELEVATION
3 1/2" VINYL TRIM



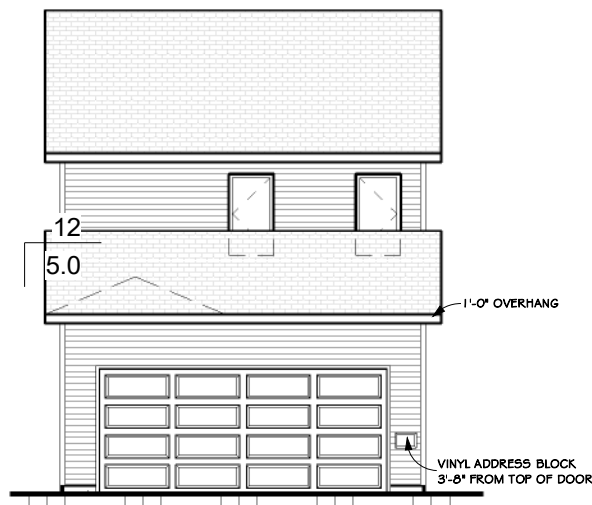
Front Elevation - Modern F
3/16" = 1'-0"



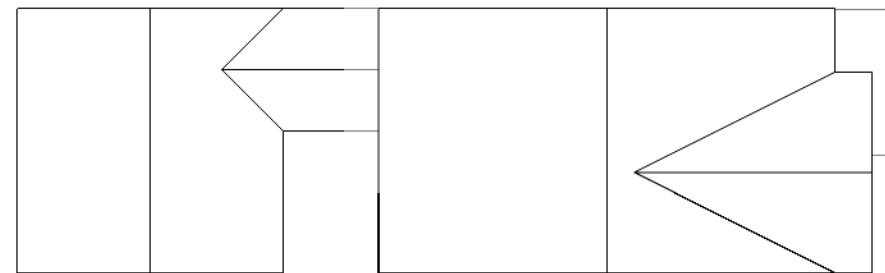
Right Elevation - Modern F
3/32" = 1'-0"



Left Elevation - Modern F
3/32" = 1'-0"



Rear Elevation - Modern F
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

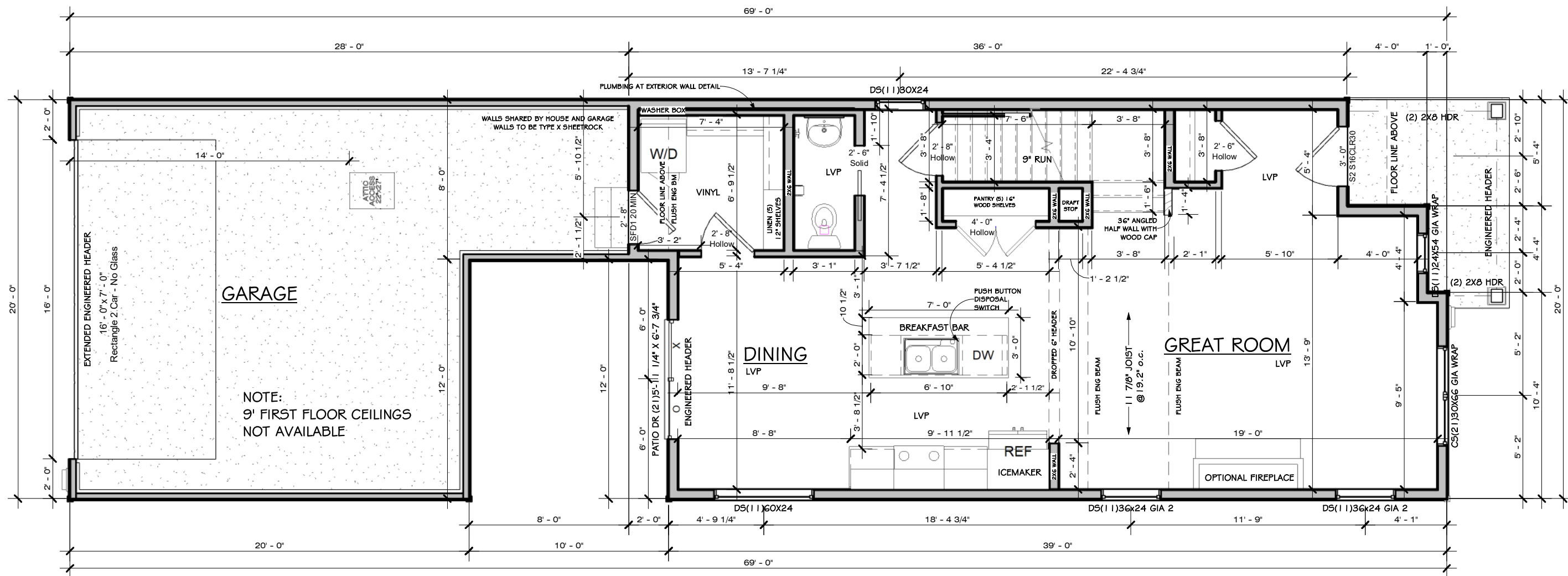
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. F2	Print Date	Model: Tribeca
	2/17/2023 8:18:42 AM	Elevation: Modern F
	Drawn By: Author	Date: Issue Date
	Revisions:	

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First Floor - Modern F

3/16" = 1'-0"

Area Schedule (Modern F)	
Name	Area

FIRST FLOOR	765 SF
SECOND FLOOR	760 SF
1525 SF	

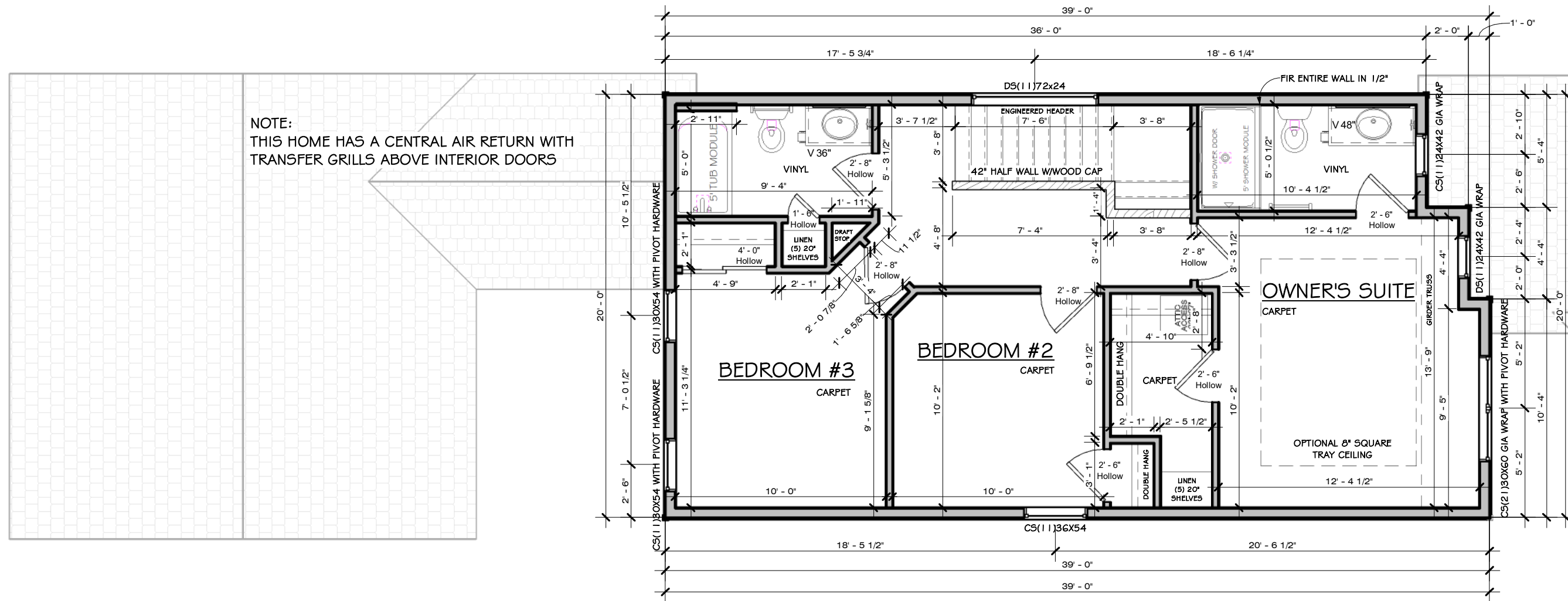
Note: All dimensions are stud to stud **Do Not Scale**

F3	Drawing No.	Model: Tribeca
	Print Date	Elevation: Modern F
	2/17/2023 8:18:43 AM	Drawn By: Author Date: Issue Date
		Revisions:


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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



NOTE:
THIS HOME HAS A CENTRAL AIR RETURN WITH
TRANSFER GRILLS ABOVE INTERIOR DOORS

Second Floor - Modern F
3/16" = 1'-0"

Area Schedule (Modern F)	
Name	Area

FIRST FLOOR	765 SF
SECOND FLOOR	760 SF
	1525 SF

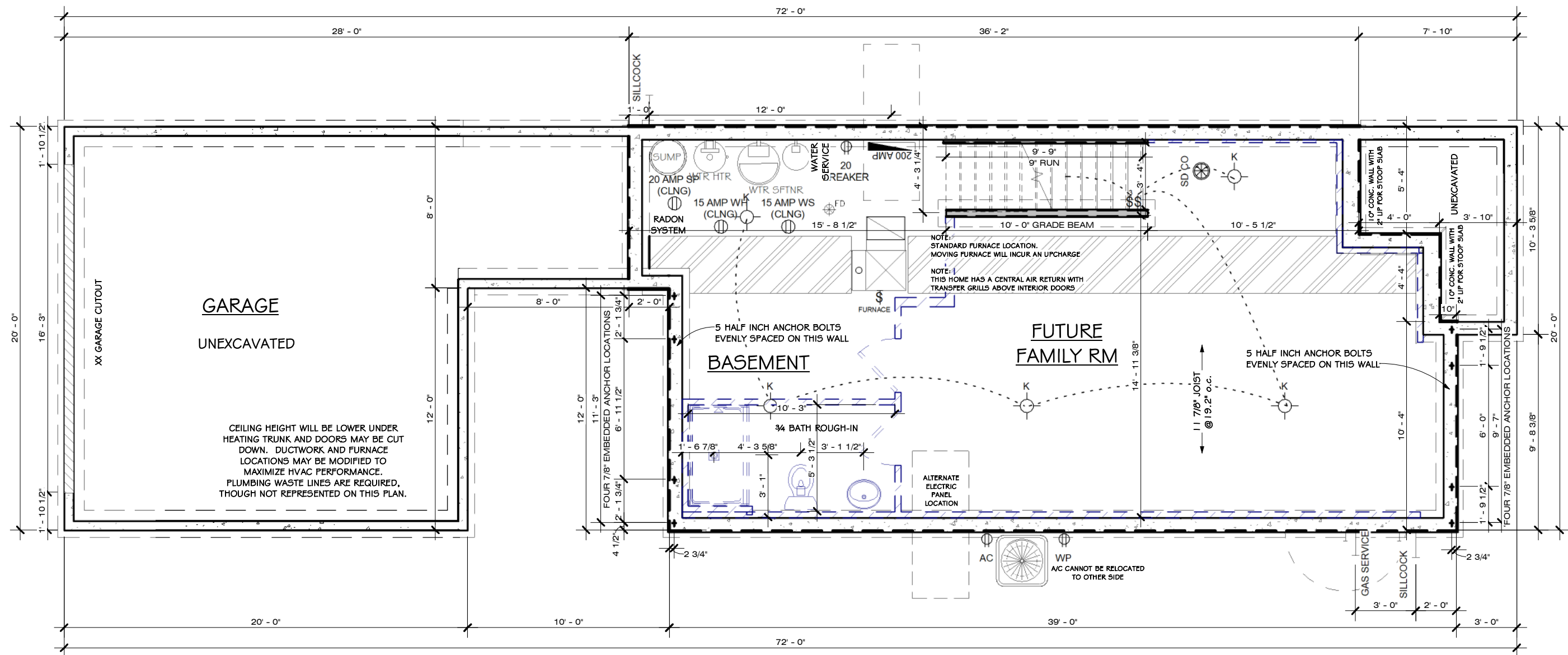
Note: All dimensions are stud to stud **Do Not Scale**

F5	Drawing No.	Model: Tribeca
	Print Date	Elevation: Modern F
	2/17/2023 8:18:45 AM	Drawn By: Author Date: Issue Date
		Revisions:


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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



Foundation Plan
 3/16" = 1'-0"

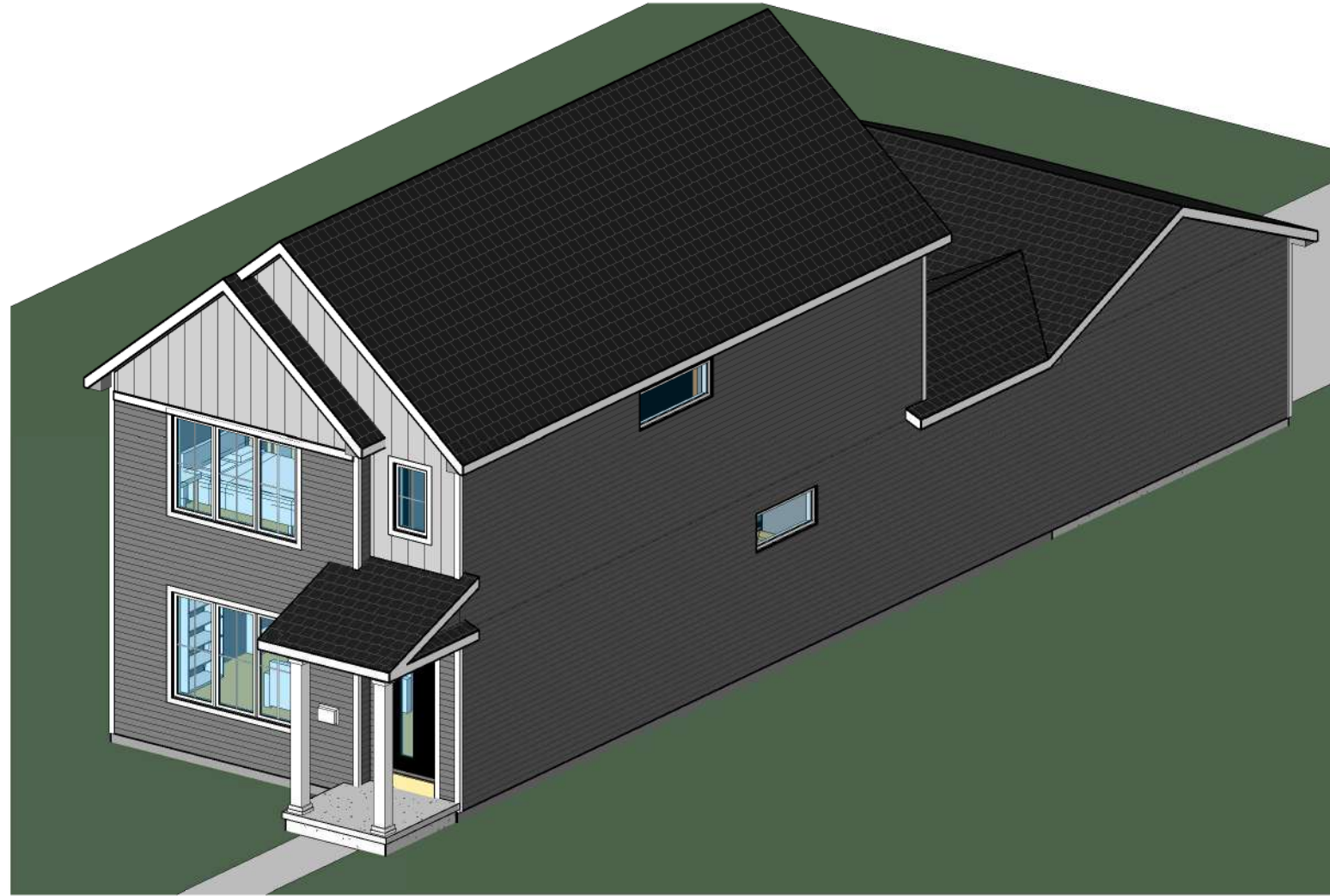
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. F7	Print Date	Model: Tribeca
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	Drawn By: Author	Date: Issue Date
	Revisions:	

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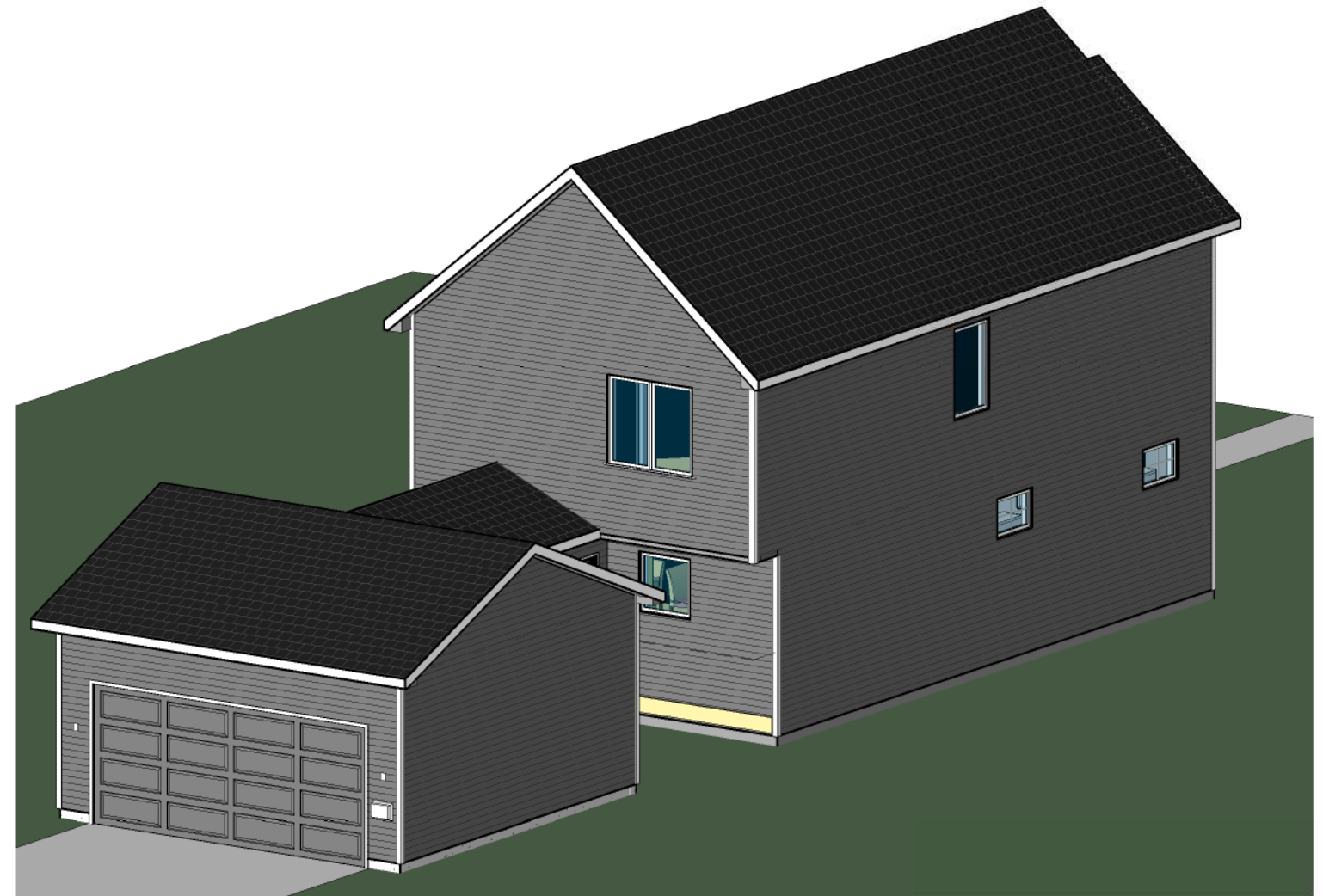
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3D - Modern H

Unit 6144



3D - Rear Modern H

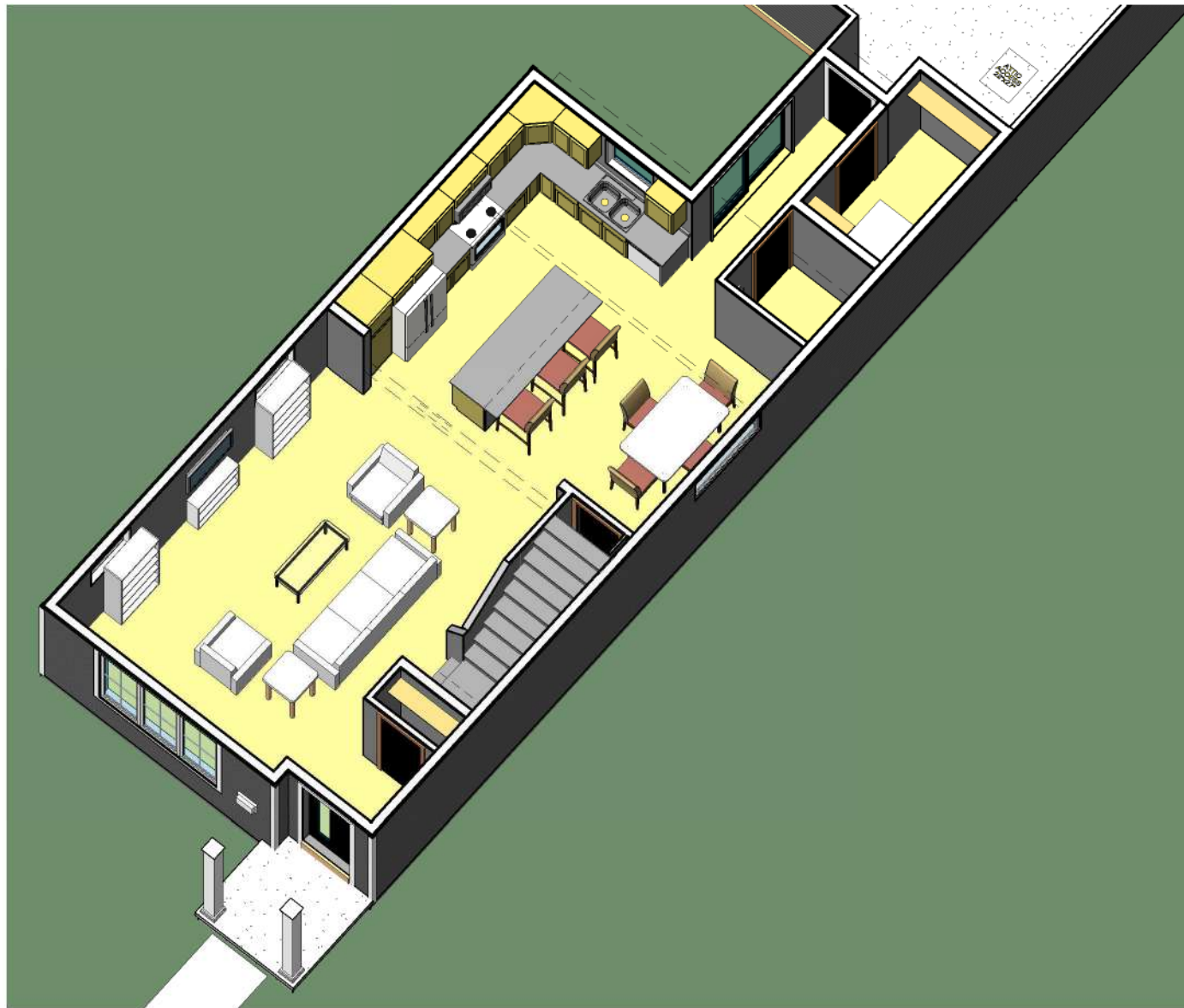
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. HO	Print Date	Model: Gramercy
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		Revisions:

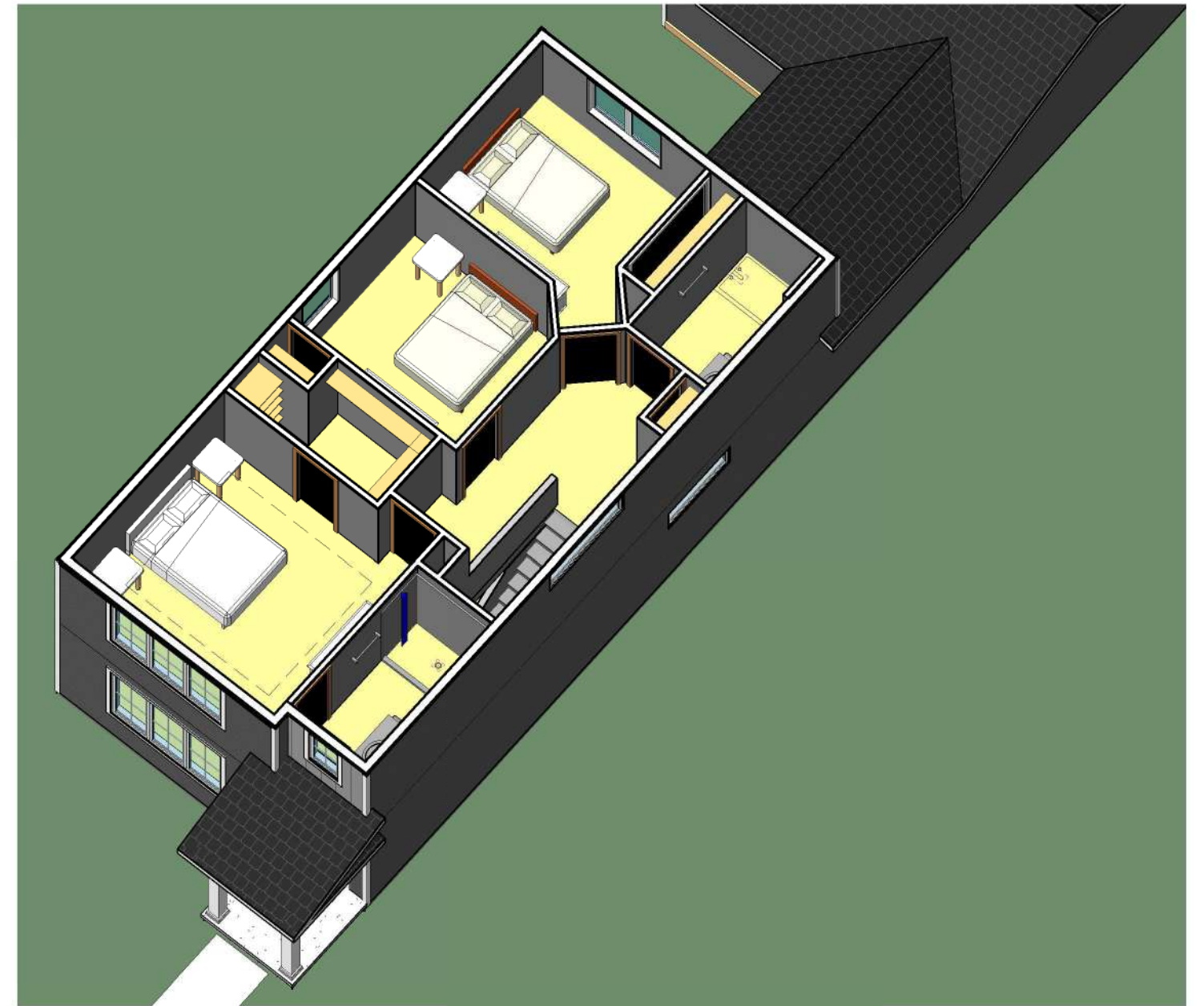

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3D - First Floor Modern H



3D - Second Floor Modern H

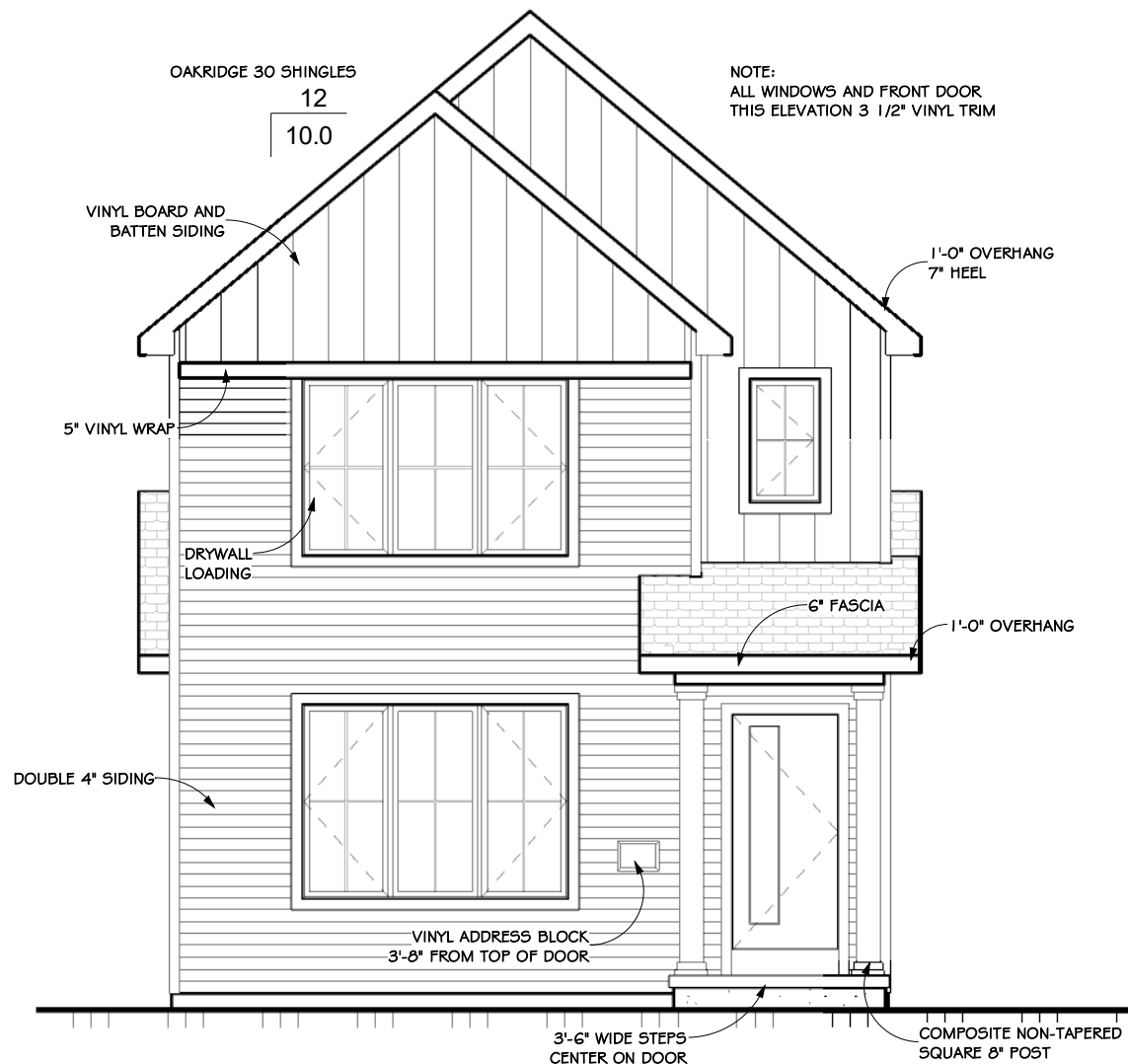
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. HO.1	Print Date	Model: Gramercy
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		Drawn By: Author Date: Issue Date
		Revisions:

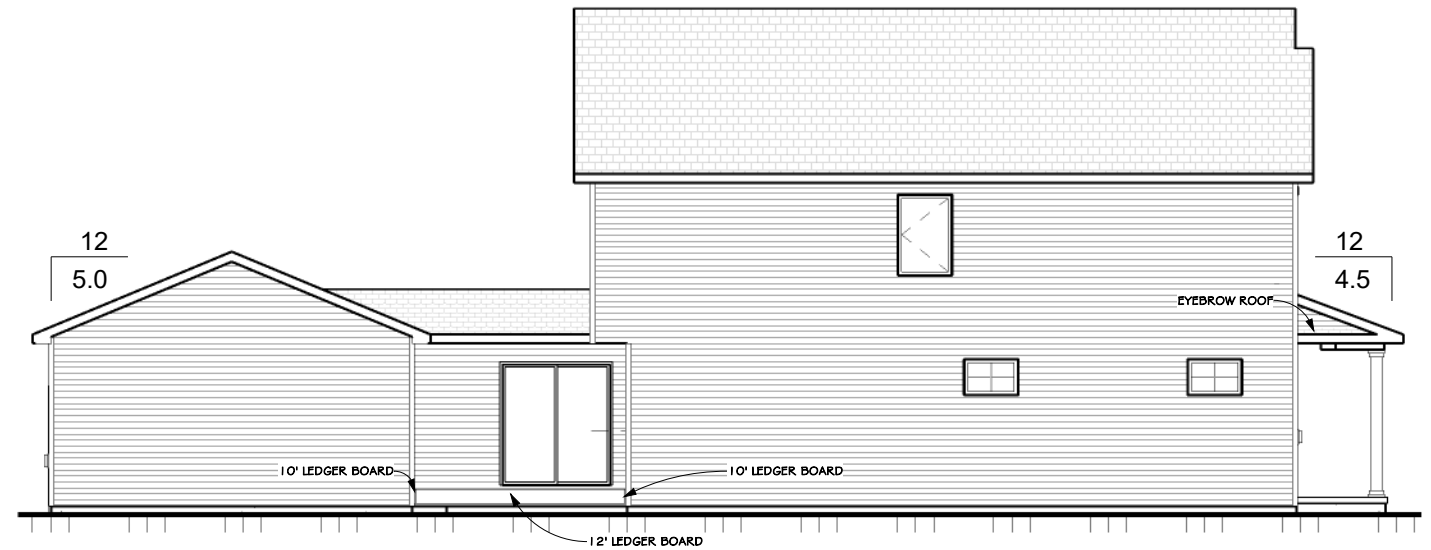

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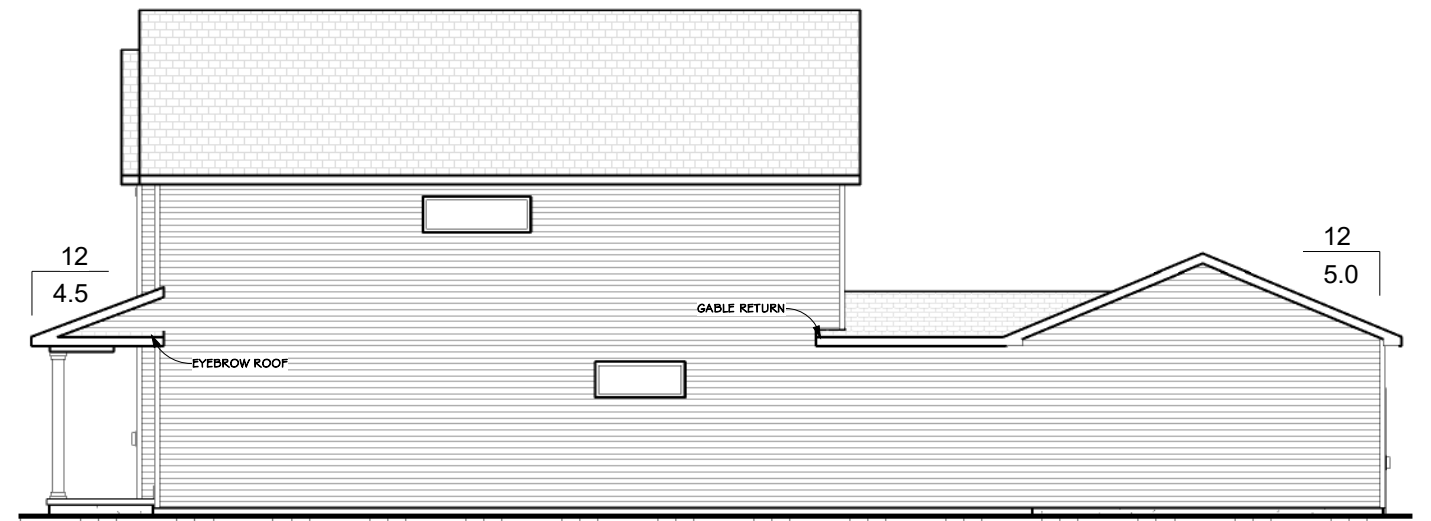
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



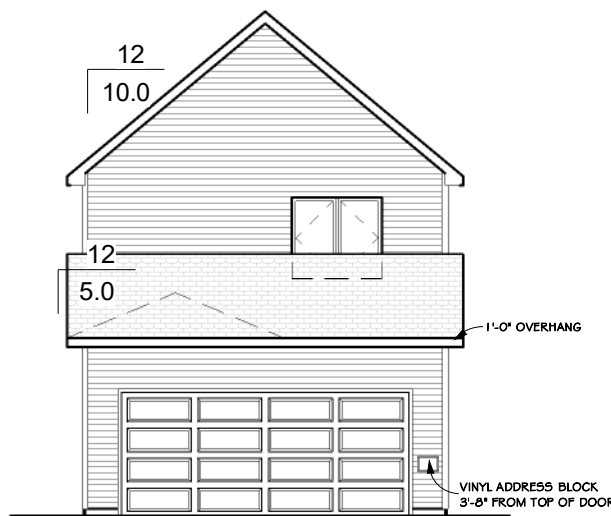
Front Elevation - Modern H
3/16" = 1'-0"



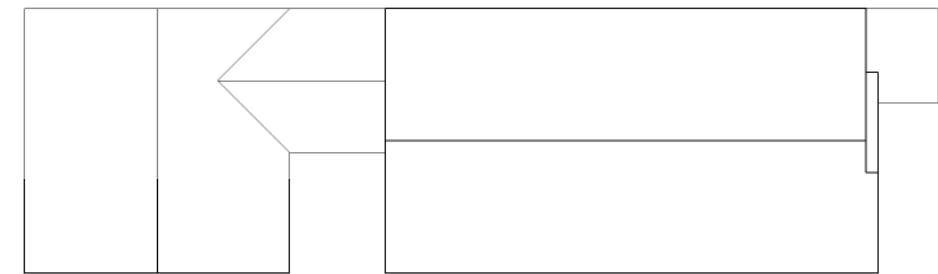
Left Elevation - Modern H
3/32" = 1'-0"



Right Elevation - Modern H
3/32" = 1'-0"



Rear Elevation - Modern H
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

NOTE:
ALL WINDOWS AND FRONT DOOR
THIS ELEVATION 3 1/2" VINYL TRIM

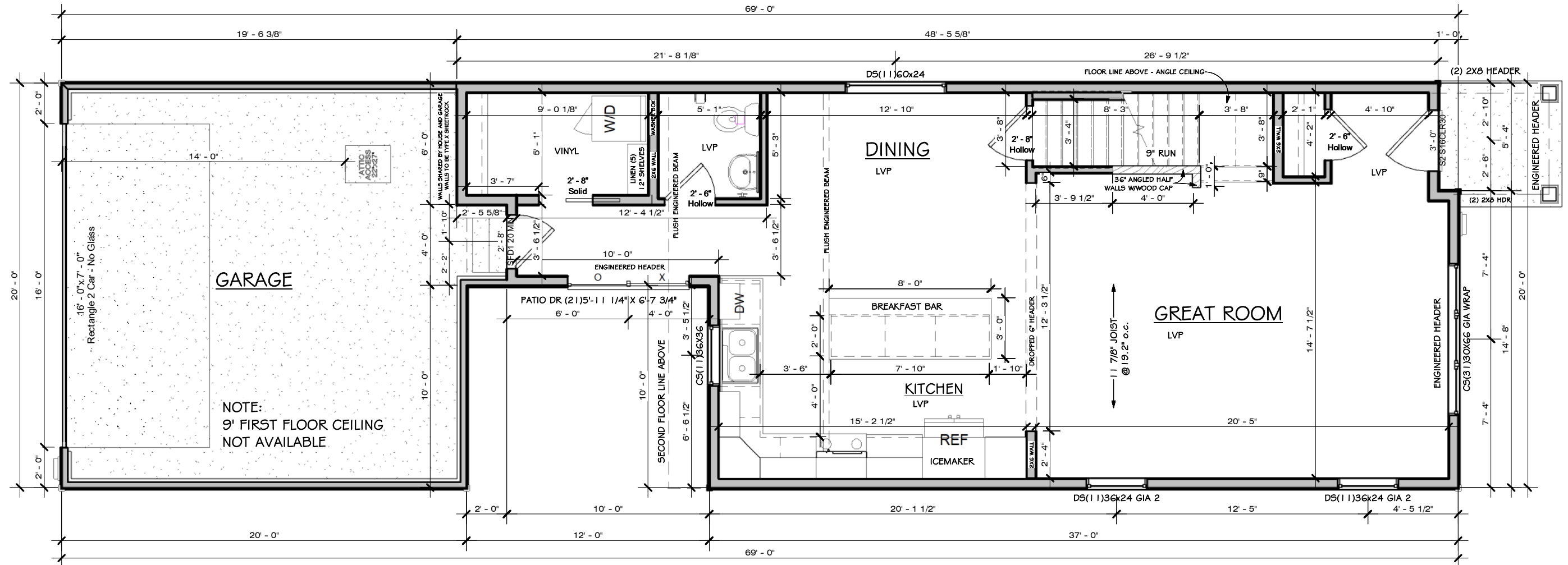
Note: All dimensions are stud to stud **Do Not Scale**

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Drawing No. H2	Print Date	Model: Gramercy
	2/20/2023 4:53:54 PM	Elevation: Modern H
		Drawn By: Author Date: Issue Date
		Revisions:

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First Floor - Modern H
3/16" = 1'-0"

NOTE:
9' FIRST FLOOR CEILING NOT AVAILABLE
NO STRUCTURAL CHANGES TO FRONT ELEVATION

Area Schedule (Modern H)	
Name	Area

First Floor	849 SF
Second Floor	775 SF
	1624 SF

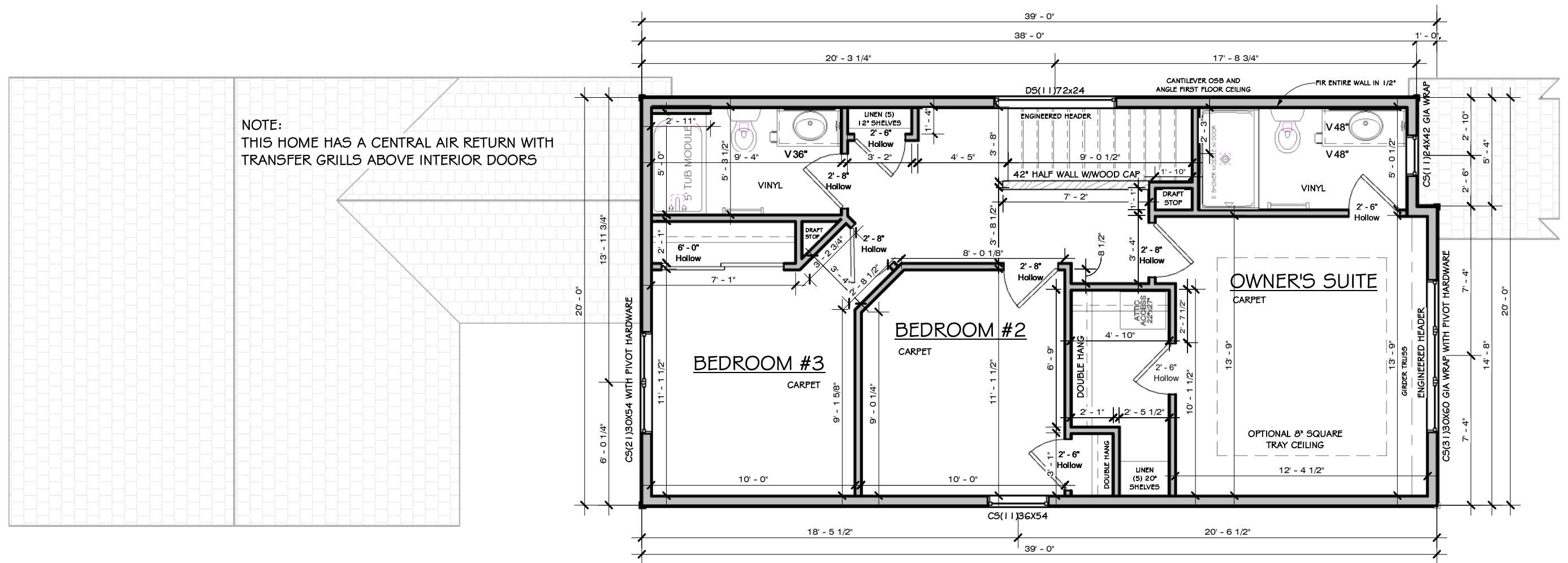
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

H3	Drawing No.	Print Date	Model: Gramercy
		2/20/2023 4:53:56 PM	Elevation: Modern H
			Drawn By: Author Date: Issue Date
			Revisions:


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NOTE:
THIS HOME HAS A CENTRAL AIR RETURN WITH
TRANSFER GRILLS ABOVE INTERIOR DOORS

Second Floor - Modern H
3/16" = 1'-0"

Area Schedule (Modern H)	
Name	Area
First Floor	849 SF
Second Floor	775 SF
	1624 SF

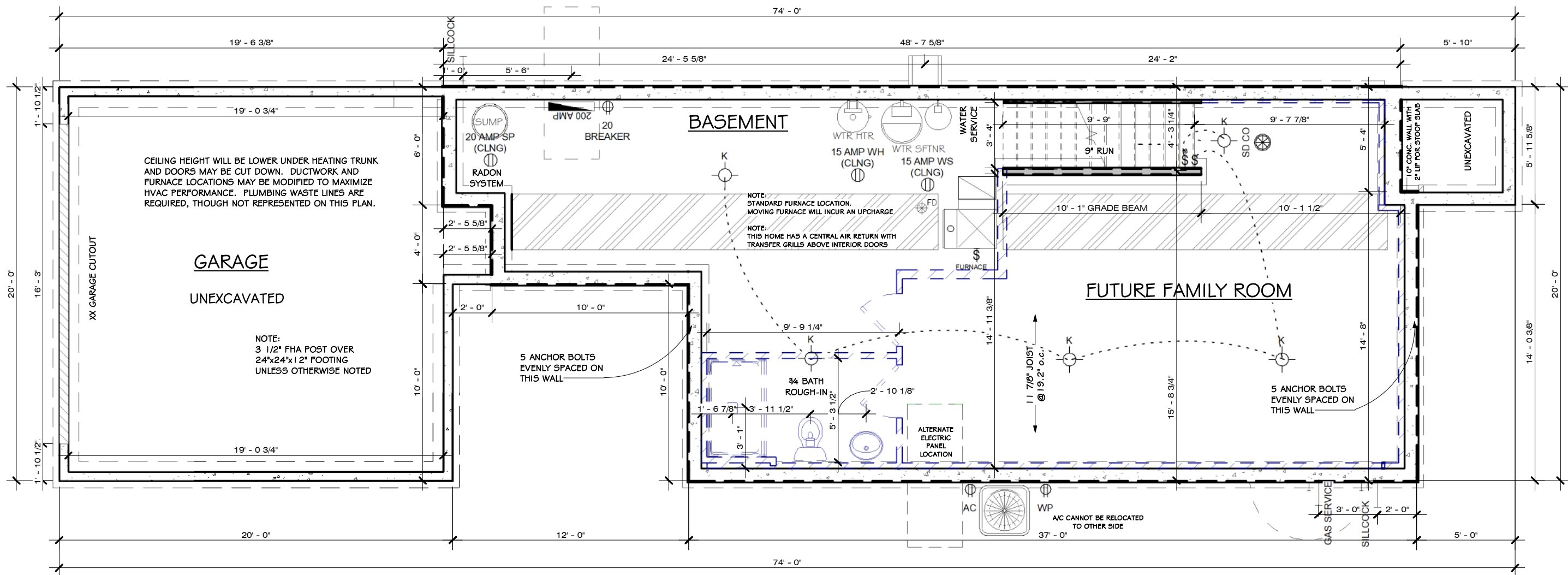
Note: All dimensions are stud to stud **Do Not Scale**

H5	Drawing No.	Print Date	Model: Gramercy
		2/20/2023 4:54:00 PM	Elevation: Modern H
			Drawn By: Author Date: Issue Date
			Revisions:


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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



Foundation Plan
3/16" = 1'-0"

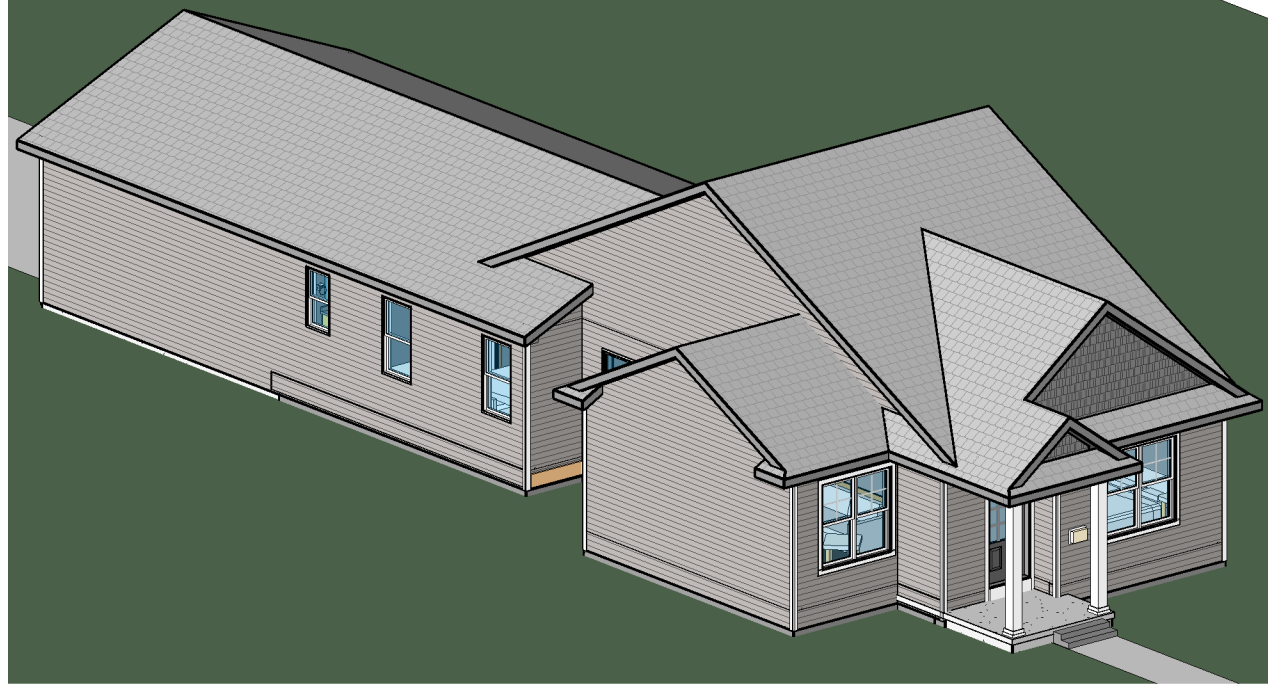
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. H7	Print Date	Model: Gramercy
	2/20/2023 4:54:02 PM	Elevation: Modern H
	Drawn By: Author Date: Issue Date	
	Revisions:	

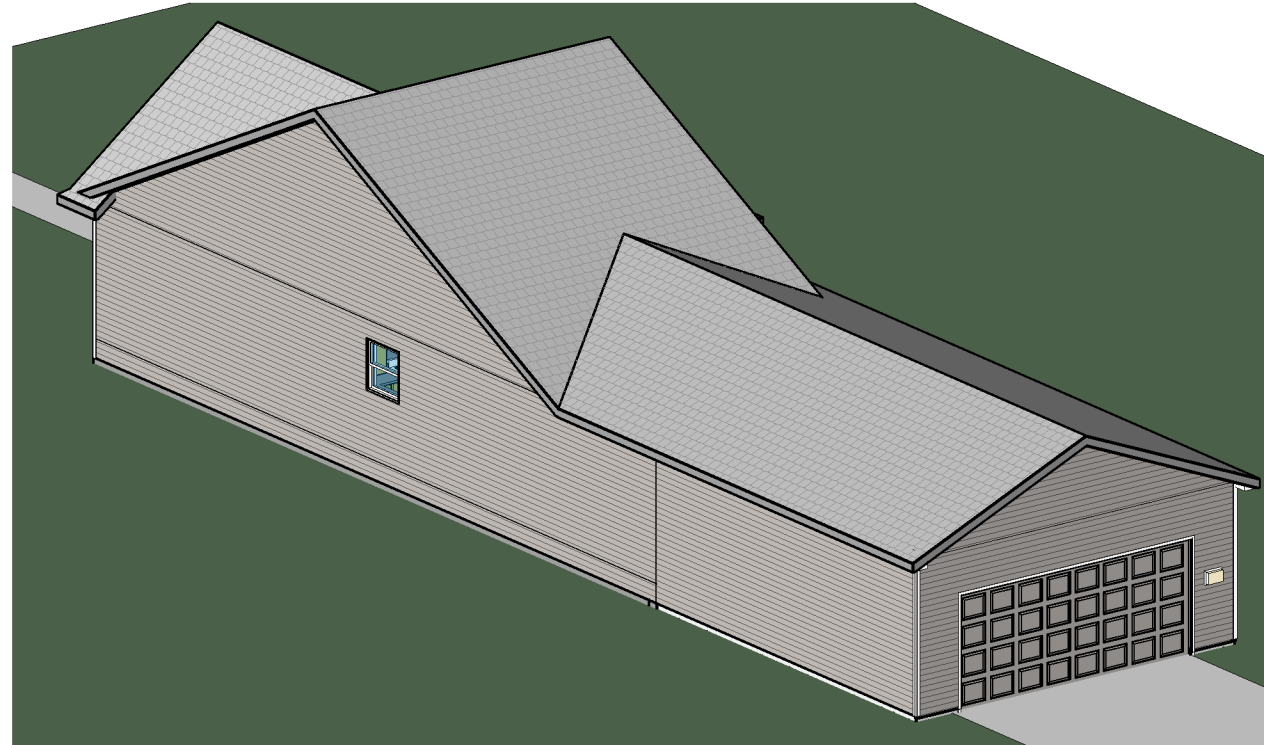
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3D - Cottage



3D - Cottage Rear

Unit 6145

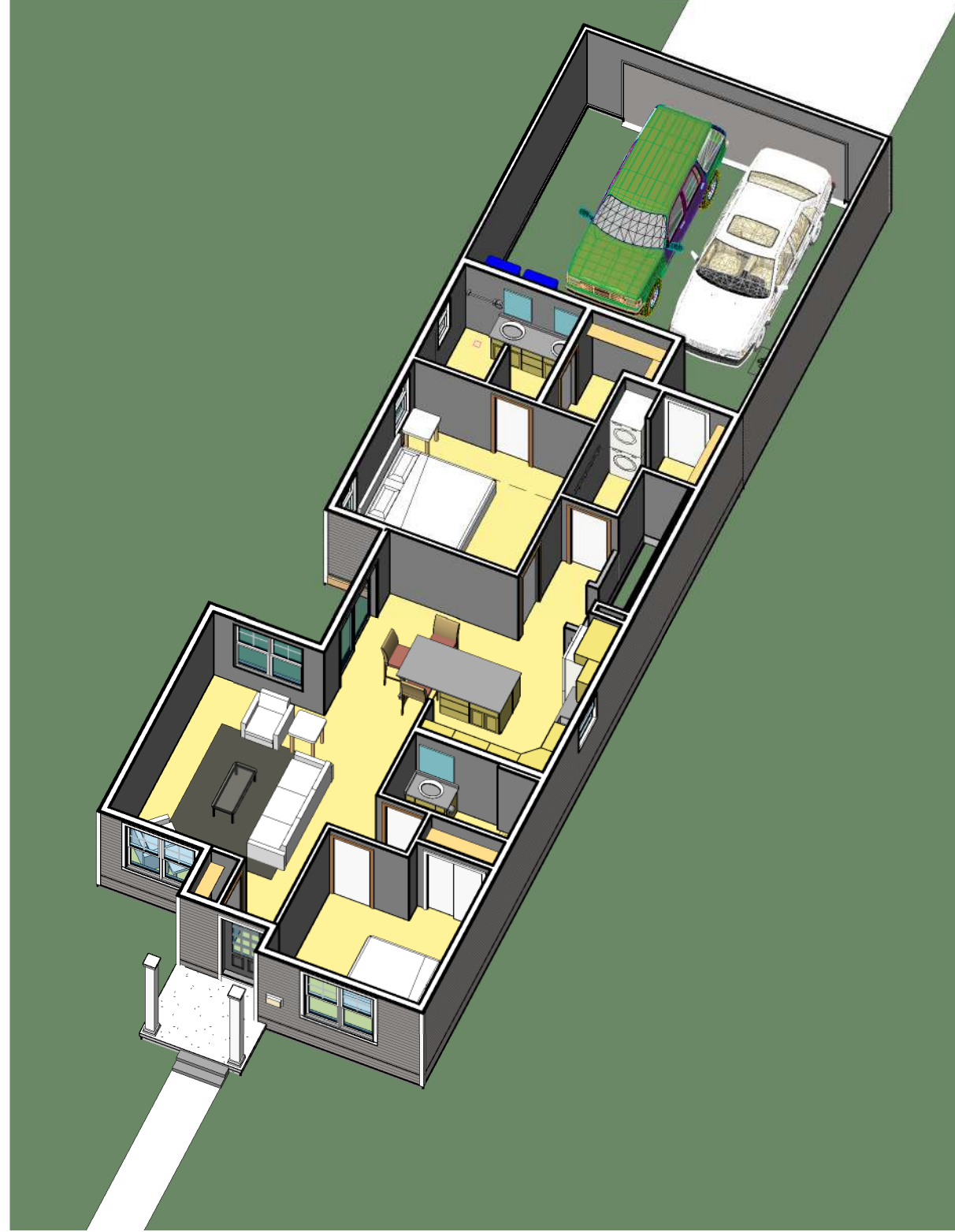
Do Not Scale Note: All dimensions are stud to stud
 Actual floor plans & exterior styles may differ from these shown based on
 modifications, options & improvements to the plans by the builder.
 Room dimensions, features & actual square footage vary by exterior style and options.

Model: COLLETTE
 Elevation: Cottage
 Drawn By: Author Date: Issue Date
 Print Date:
 1/23/2022
 4:06:00 PM
 Drawing No.:
CO

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3D - First Floor Cottage

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
 Room dimensions, features & actual square footage vary by exterior style and options.

Print Date:
12/30/2022
4:06:03 PM

Drawing No.:
CO.2

Model: COLLETTE
 Elevation: Cottage
 Drawn By: Author Date: Issue Date



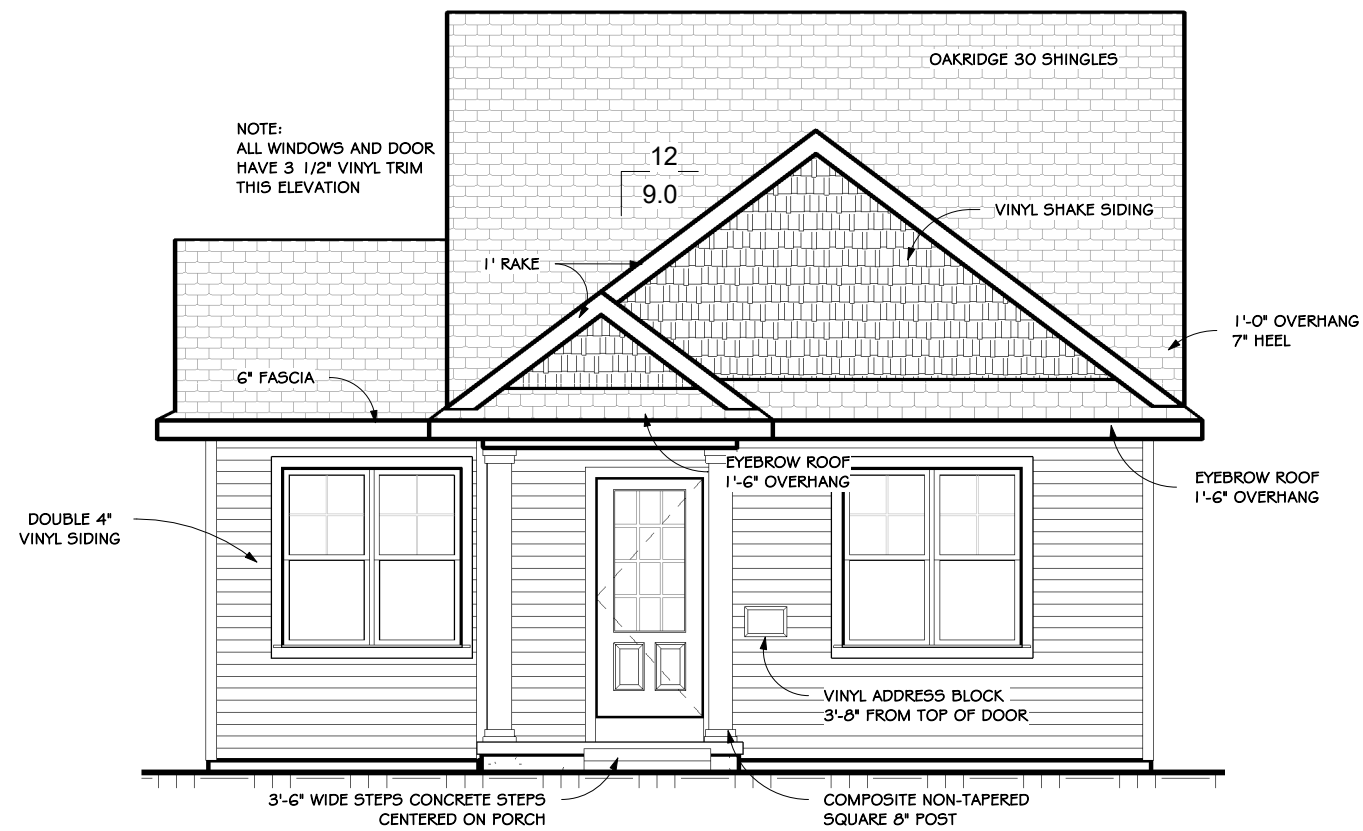
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 Homesite / Neighborhood: Project Number
 Address: Enter address here

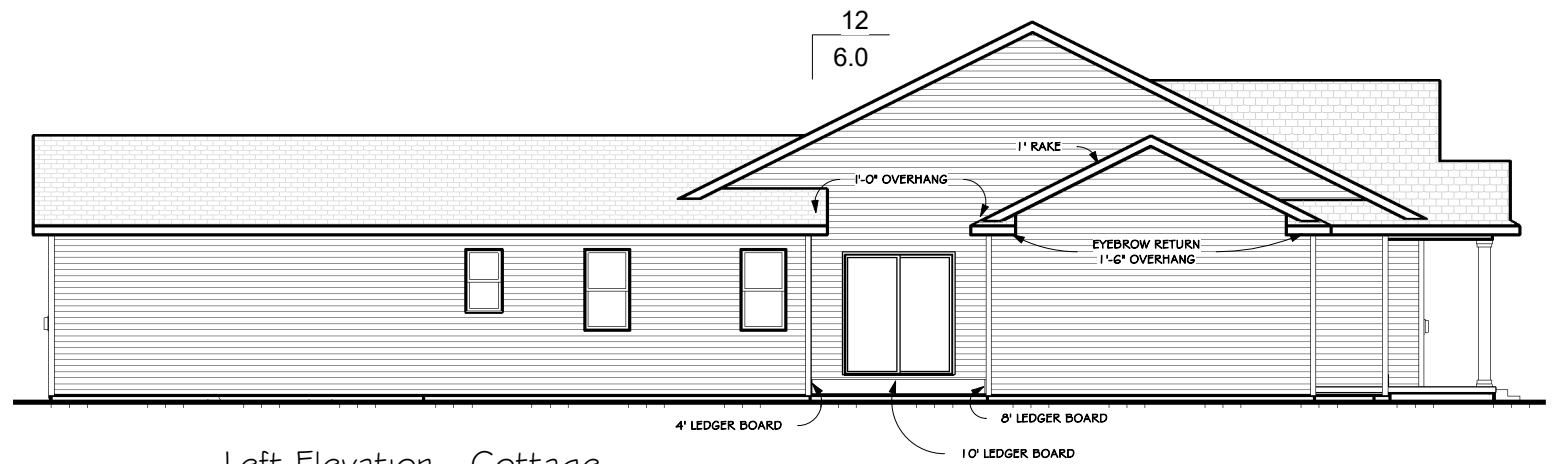
Customer Approval:

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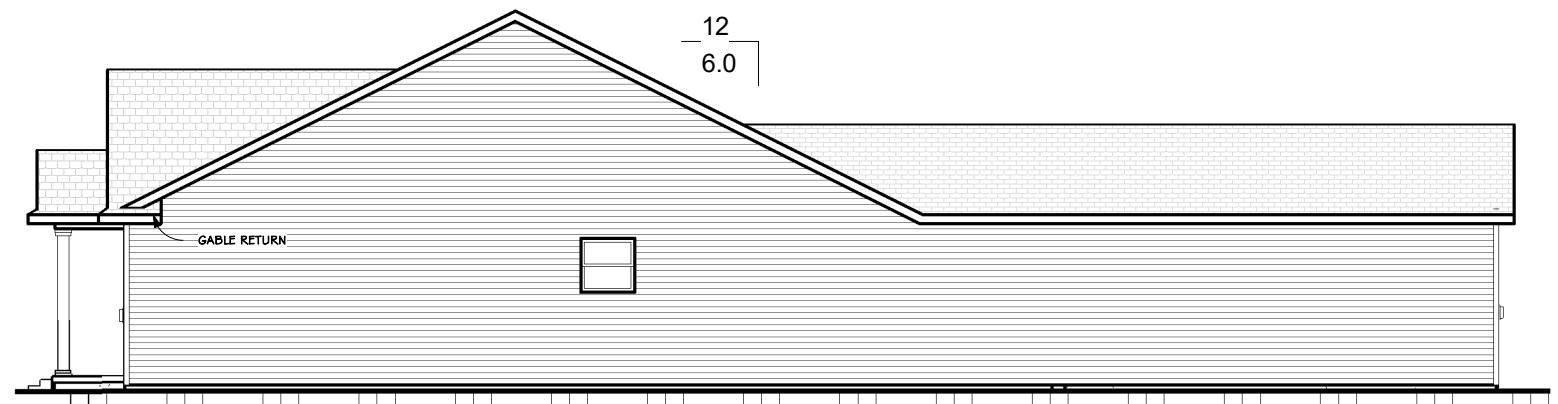
Front Elevation - Cottage

3/16" = 1'-0"



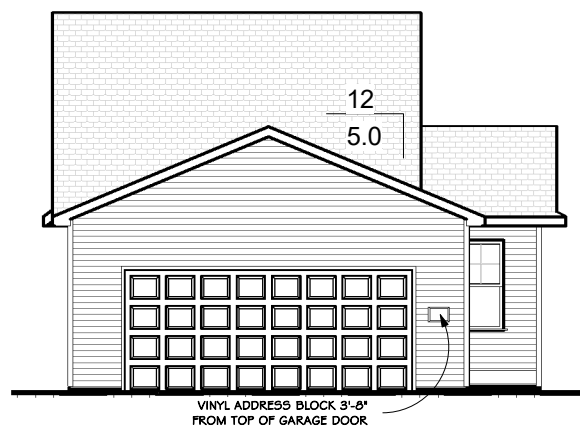
Left Elevation - Cottage

3/32" = 1'-0"



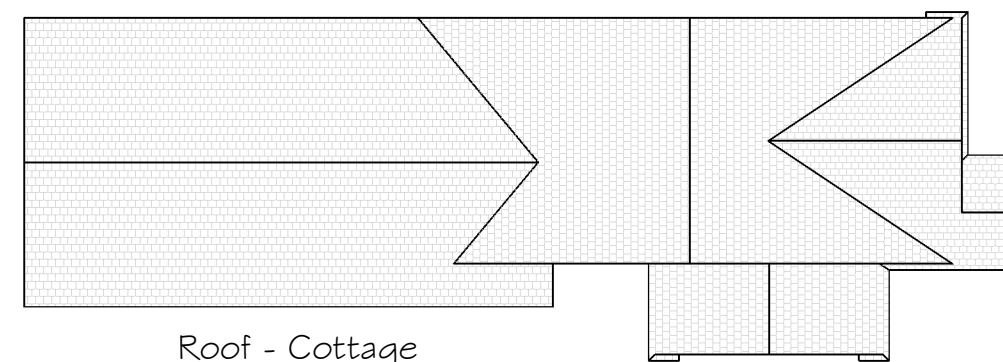
Right Elevation - Cottage

3/32" = 1'-0"



Rear Elevation - Cottage

3/32" = 1'-0"



Roof - Cottage

1/16" = 1'-0"

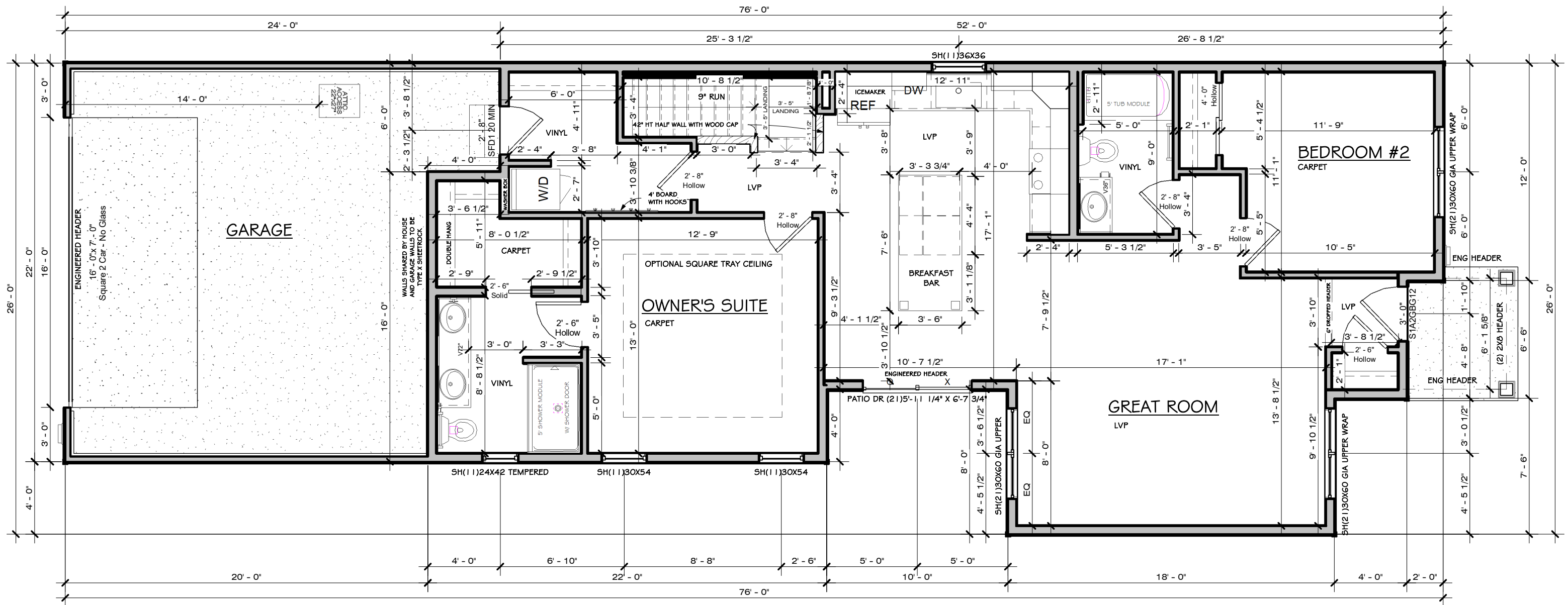
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. C2	Print Date	Model: COLLETTE
	12/30/2022 4:06:07 PM	Elevation: Cottage
		Drawn By: Author Date: Issue Date
		Revisions:

VERIDIAN HOMES
 6801 South Towne Drive
 Madison, WI 53713
 Phone 608.226.3100
 Fax 608.226.0600

Custom Designed For:	Owner
Homesite / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



First Floor - Cottage
 3/16" = 1'-0"

Area Schedule (Cottage)

Name	Area
------	------

First Floor	1206 SF
-------------	---------

Note: All dimensions are stud to stud **Do Not Scale**

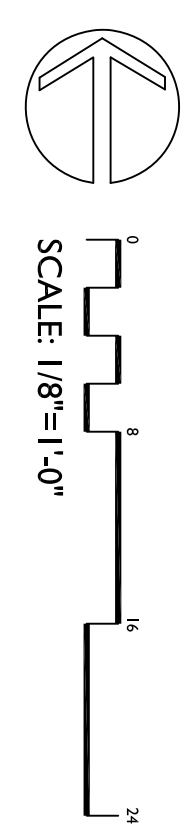
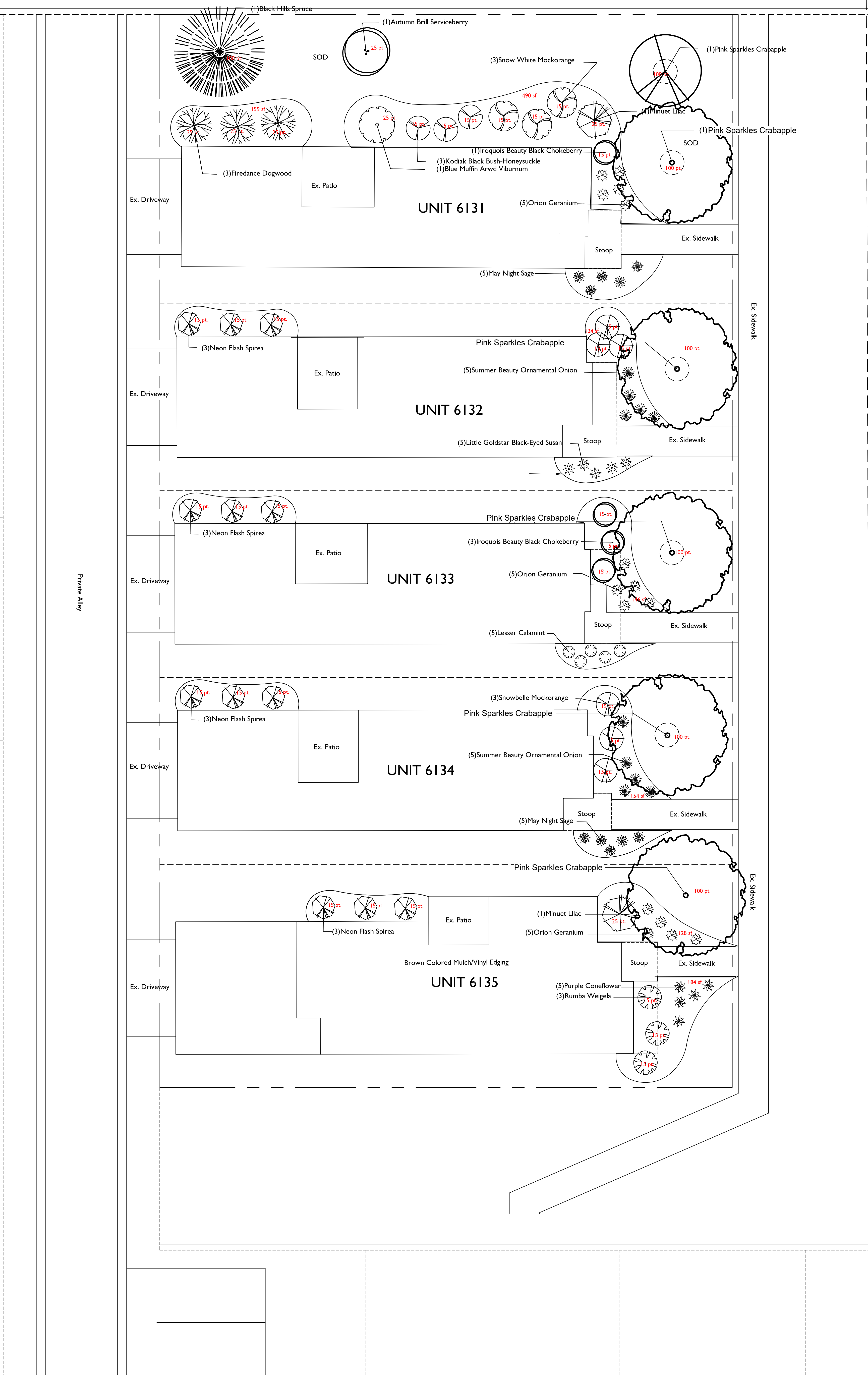
C3	Drawing No.	Print Date	Model: COLLETTE
		12/30/2022	Elevation: Cottage
		4:06:10 PM	Drawn By: Author Date: Issue Date
			Revisions:


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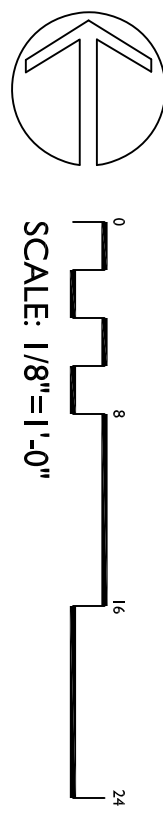
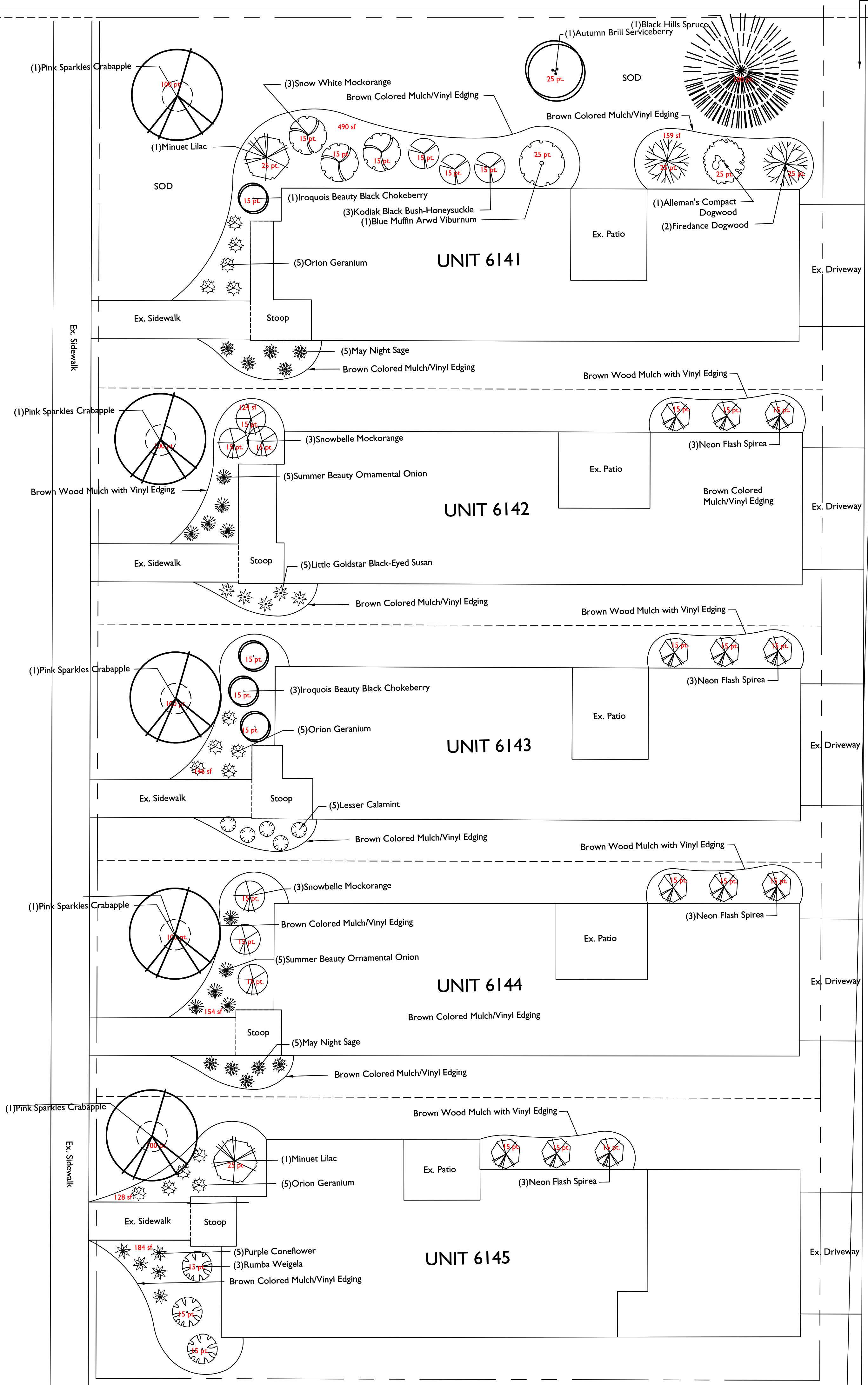
HONEY HARVEST LANE



Checked By: ---
 Drawn By: CP
 02-23-23

ACACIA RIDGE CONDOS
 Street Address
 Madison, WI 00000

the price company
 LANDSCAPE ARCHITECTS
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 2839 PARKVIEW STREET
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 Drawn By: CP
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