

CITY OF MADISON

Proposed Demolition & Rezoning

Location: 601 West Wilson Street
Applicant: Erica Moeser - NCBE/
Doug Hursh - Potter Lawson

From PUD(SIP) District(s)
To Amended PUD(GDP-SIP) District(s)

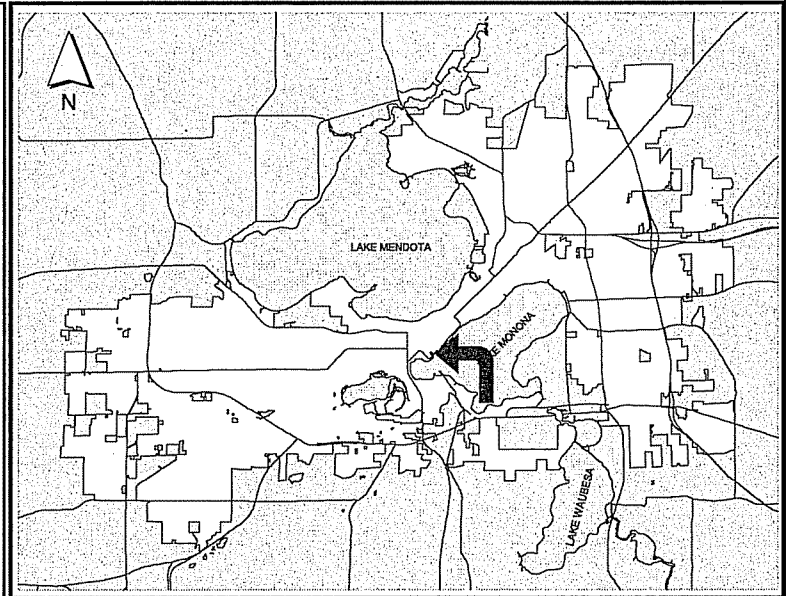
Existing Use: Vacant Commercial Building
Demolish Existing Commercial
Proposed Use: Building & Build 4-Story, 45,000sf
Commercial Building

File No.

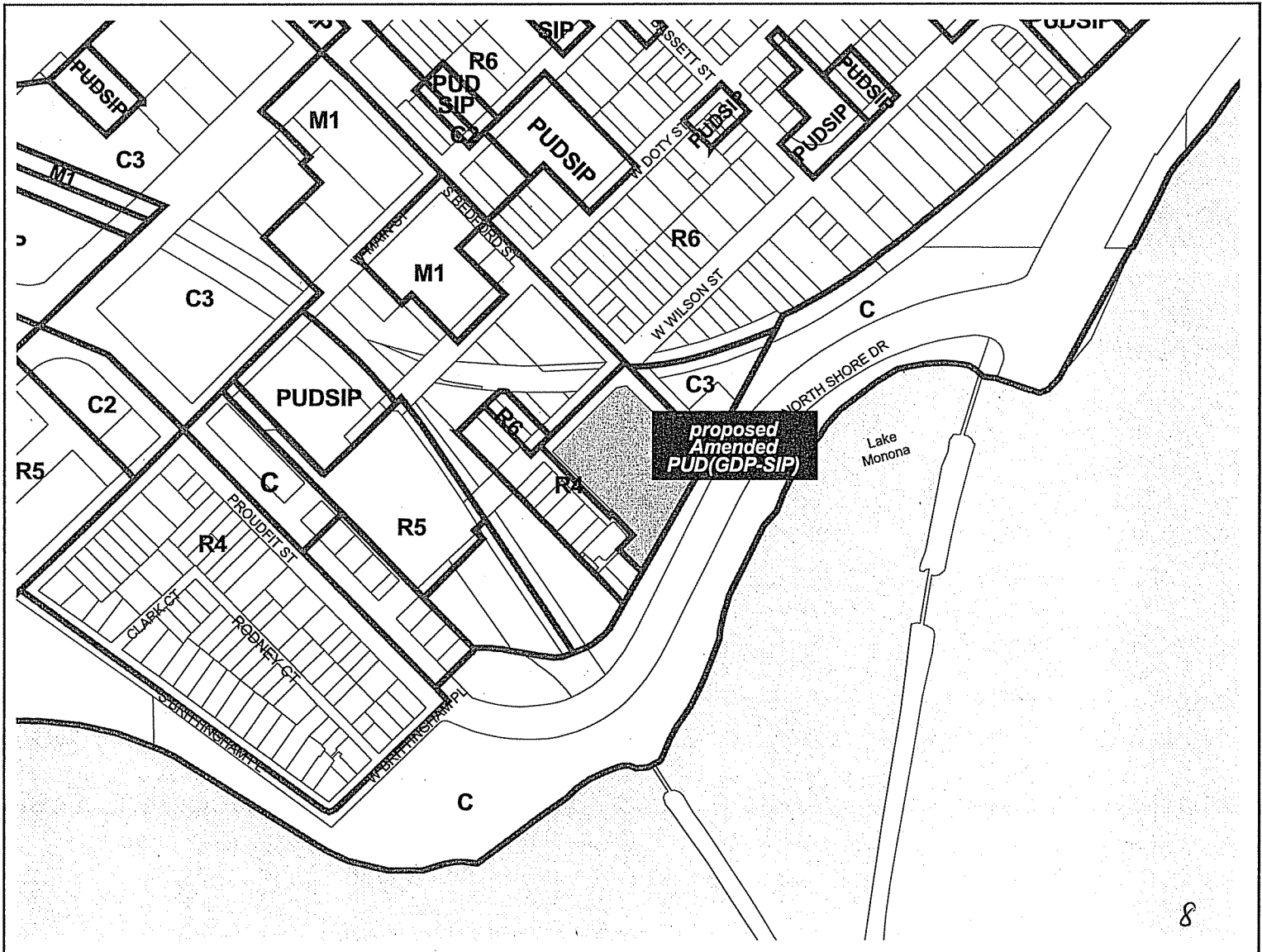
Public Hearing Dates:

Plan Commission 17 April 2006

Common Council 02 May 2006



For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635

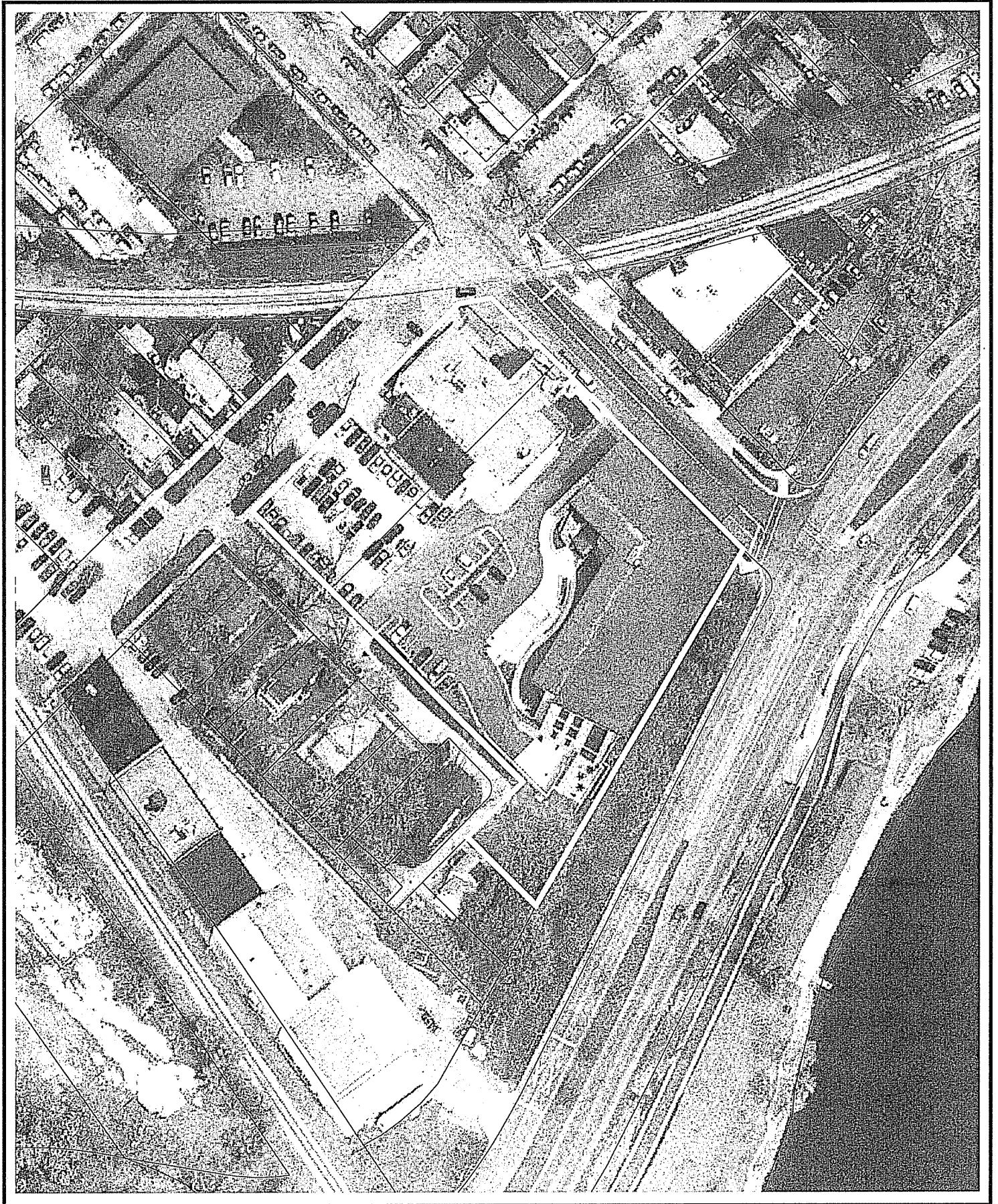


601 West Wilson Street

100 0 100 Feet

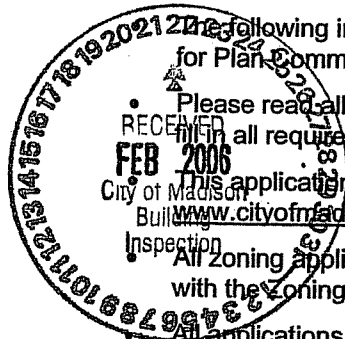


Date of Aerial Photography - April 2003



LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739



The following information is required for all applications for Plan Commission review.

Please read all pages of the application completely and fill in all required fields.

This application form may also be completed online at www.cityofmadison.com/planning/plan.html

All zoning application packages should be filed directly with the Zoning Administrator's desk.

All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid \$1250 Receipt No. 68530
Date Received 2-22-06
Received By KW
Parcel No. 0709-234-0301-1
Aldermanic District 04-Michael Verveen
GQ oh
Zoning District PUDSIP
For Complete Submittal
Application Letter of Intent
IDUP NA Legal Descript.
Plan Sets Zoning Text
Alder Notification Waiver _____
Ngrhd. Assn Not. Waiver _____
Date Sign Issued _____

1. **Project Address:** 601 West Wilson Street **Project Area in Acres:** .76 Acres

Project Title (if any): National Conference of Bar Examiners

2. **This is an application for:** (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from PUD (GDP-SIP) amended PUD GDP to PUD(SIP) Rezoning from _____ to PUD/PCD-SIP

Rezoning from _____ to PUD/PCD-GDP ~~Rezoning from PUD/PCD-GDP to PUD/PCD-SIP~~

Conditional Use Demolition Permit Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Erica Moeser Company: National Conference of Bar Examiners

Street Address: 402 West Wilson Street City/State: Madison / WI Zip: 53703

Telephone: (608) 280-8550 Fax: (608) 280-8552 Email: emoeser@ncbex.org

Project Contact Person: Douglas R. Hursh, AIA Company: Potter Lawson, Inc

Street Address: 15 Ellis Potter Court City/State: Madison / WI Zip: 53711

Telephone: (608) 274-2741 Fax: (608) 274-3674 Email: dough@potterlawson.com

Property Owner (if not applicant): NA

Street Address: NA City/State: NA Zip: NA

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: The proposed development is a four story, 45,000 square foot building with a 29,000 square foot underground parking ramp. It will be classified under a Business occupancy and contain mostly offices and conference rooms. The facility will be occupied exclusively by NCBE.

Development Schedule: Commencement July, 2006 Completion August, 2007

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 1250 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

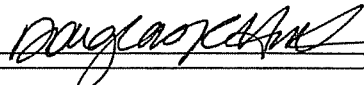
Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:
→ *The site is located within the limits of* Findorff Yards Sub District & Bassett Development *Plan, which recommends:*
Mixed Use, Office/Service, or Multi-Unit Residential with 2-story minimum and 4 story maximum *for this property.*

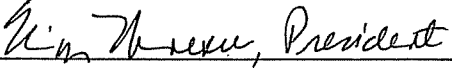
Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
Mike Verveer, The Bassett District Steering Committee, Matt Tucker - Madison Zoning, January 20, 2006
If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
Planner Tim Parks Date 01/26/06 | Zoning Staff Matt Tucker Date 01/26/06

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Douglas R. Hursh, AIA Date 02/22/06

Signature  Relation to Property Owner Architect

Authorizing Signature of Property Owner  Date 2/21/06 8
N C B E

January 20, 2006

Mike Verveer – 4th District Alderperson
district4@cityofmadison.com
210 Martin Luther King, Jr. Blvd, Room 417
Madison, WI 53703

Peter Ostlind – Bassett Neighborhood President
postlind@chartermi.net

Re: The National Conference of Bar Examiners
Project Number 2003.20.02

Cc: Doug Hursh, Potter Lawson, Inc.; Matt Tucker, City of Madison

Dear Alderman Verveer and Peter Ostlind:

I am writing to notify you that the National Conference of Bar Examiners will be submitting a Land Use application to the City Planning Commission for a Specific Implementation Plan (SIP) for their lot at the southern corner of Wilson Street and South Bedford Street.

NCBE is currently located at 402 West Wilson Street in Madison. The organization is 75 years old. They are a non-profit organization that works with other agencies to develop a standard of education for admission to the practice of law. NCBE writes and distributes multiple state tests for the Bar exam. They have been in their current location since 2000, when their board moved them from Chicago to Madison. They employ approximately 50 people in their current location. Their goal is to include space for a new testing staff which would bring in about 30 new jobs to the Madison area. They have the potential to house approximately 80 people in the new building.

The proposed development is a four story, 45,000 square foot building with a 29,000 square foot underground parking ramp. It will be classified under a Business occupancy and contain mostly offices and conference rooms. The facility will be occupied only by NCBE with no other tenants or rented spaces. Outside visitors will be minimal on a daily basis.

There will be approximately 78 lower level parking spaces and 20 above ground parking spaces for a total of 98 spaces. The setbacks for the building will be consistent with surrounding office buildings in the area. The South Bedford street façade will be set back to align with the Findorff office building adjacent to it. The site plan will include provisions for vegetation and trees along South Bedford St. and Wilson Street.

There have been four meetings to date with the Bassett Neighborhood. NCBE and Potter Lawson have received input from the neighbors and will continue to work with them throughout the design process. The meetings were:

1. Informal meeting with three members of the neighborhood board at NCBE 12/07/05
2. Presentation to the neighborhood association board at Meriter. 12/12/05
3. Meeting at J.H. Findorff building with members of the neighborhood, Urban Land Interests and Mark Olinger. 1/11/06
4. Meeting with the Bassett District Steering Committee for the NCBE project. 1/18/06

The timeline of events for the city approval process is listed below:

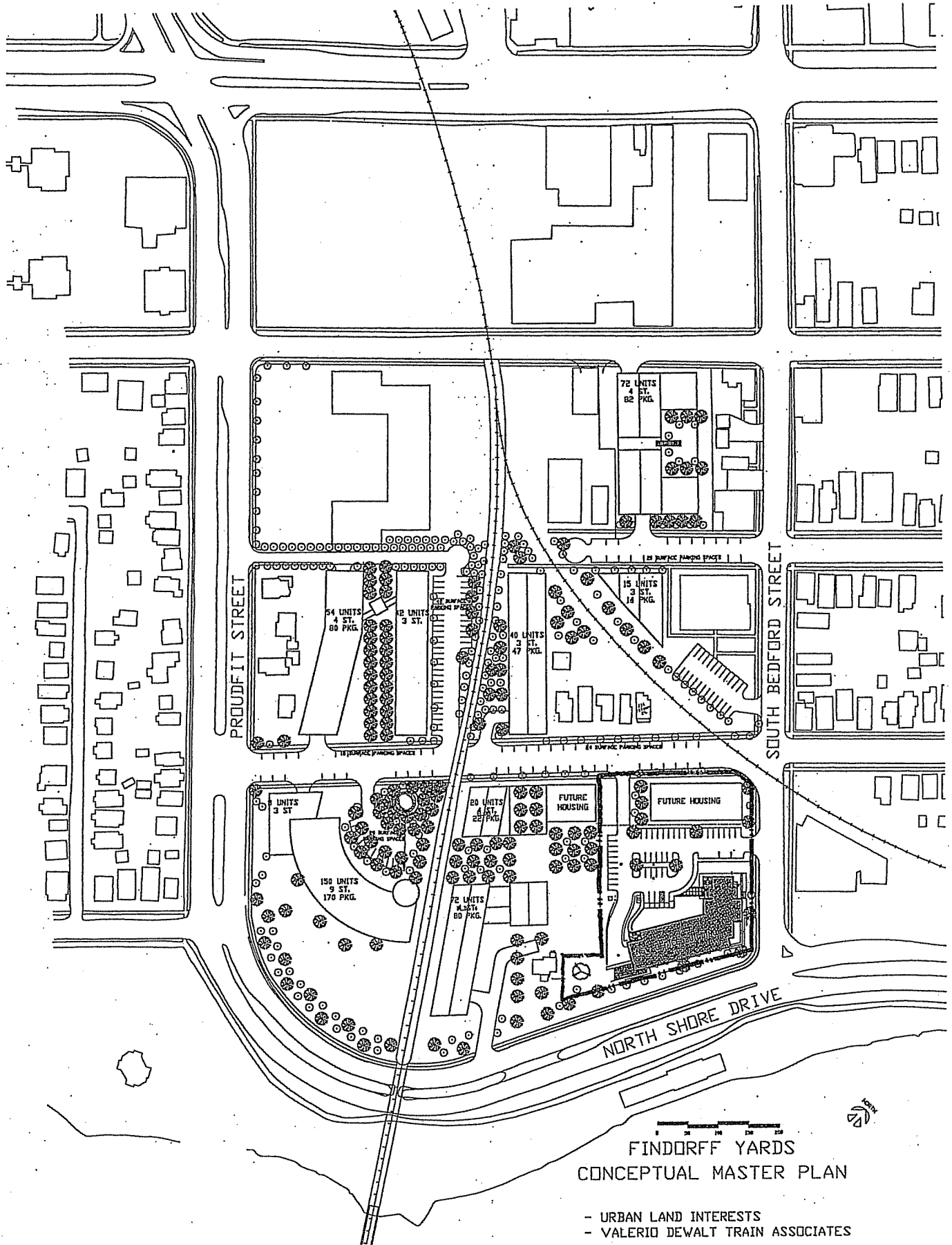
Specific Implementation Plan (SIP) City Review Process		
Item	Date	Completed
1. Design Team meets with city staff, alder, neighborhood association and neighbors	ongoing	
2. Notify alderperson and neighborhood association 30 days prior to submittal	January 22	
3. Submit materials for information meeting with Urban Design Commission (UDC)	February 1	
4. Prepare application for the SIP		
5. Hold information meeting with UDC	February 8	
6. Submit Final SIP Application to City (by noon)	February 22	
7. Submit GDP/SIP application and plans to UDC for initial (final) review	March 1	
8. Attend Initial UDC Review Meeting	March 8	
9. Submit GDP/SIP application and plans to UDC for final review	March 29	
10. Attend Final UDC Review Meeting	April 5	
11. Attend City Interagency Review Meeting	TBD	
12. Post Public Hearing Notice	TBD	
13. Attend Plan Commission Public Hearing	April 17	
14. Attend Common Council Meeting for GDP/SIP Review	May 2	

Please, feel free to contact us if you have any questions. We look forward to working with you on this project.

Sincerely,

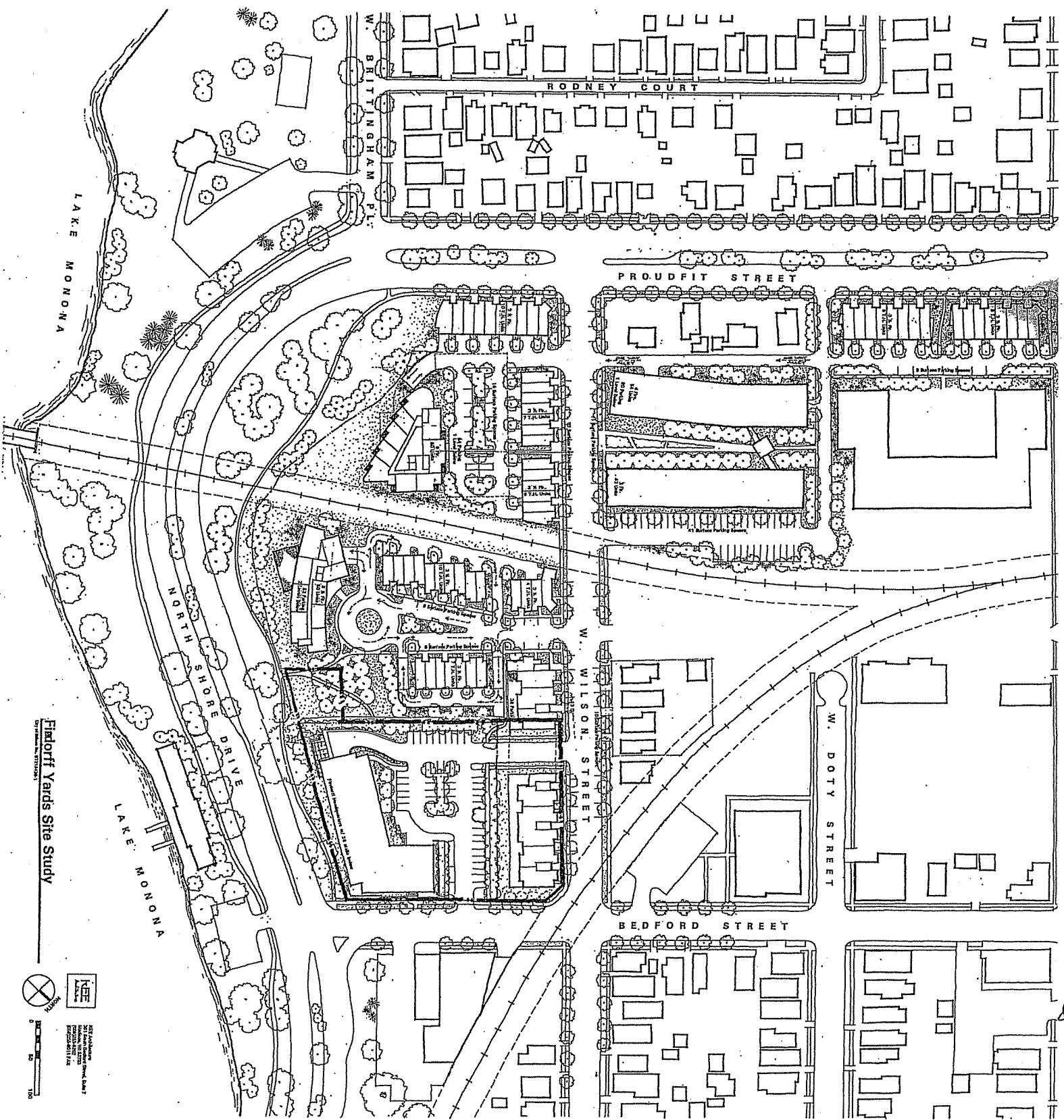
Scott Kammer

POTTER LAWSON, INC.
608.274.2741
scottk@potterlawson.com




FINDORFF YARDS
CONCEPTUAL MASTER PLAN

- URBAN LAND INTERESTS
- VALERIO DEWALT TRAIN ASSOCIATES



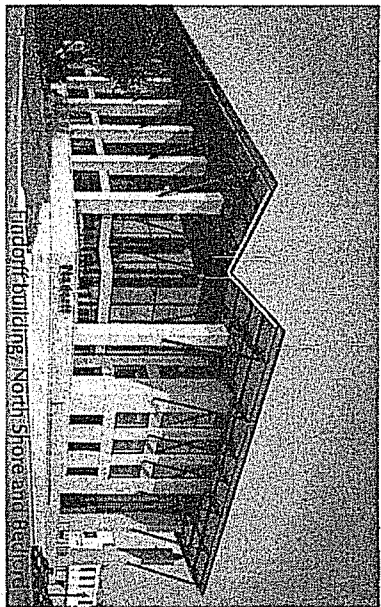
Findorff Yards Site Study



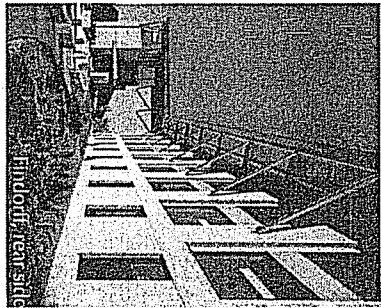
 2024 Findorff Yards Site Study
 Prepared for the City of Monona
 11/2024



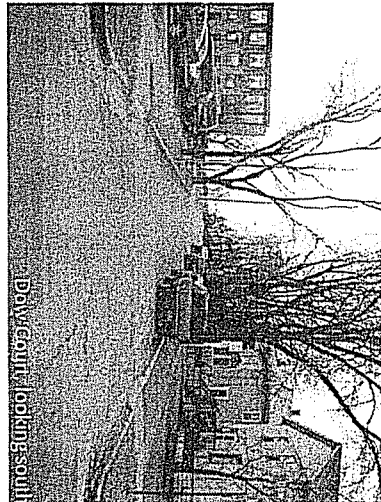
Site Context Photos



Findorff building, North Shore and Bedford



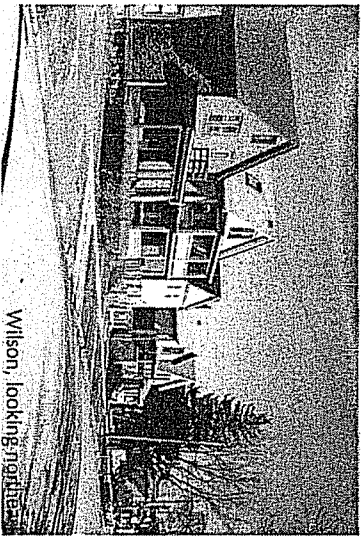
Findorff, rear side



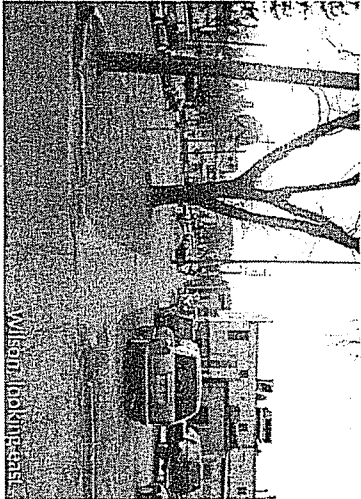
Delaware, looking south



Wilson, looking west across railroad



Wilson, looking northeast



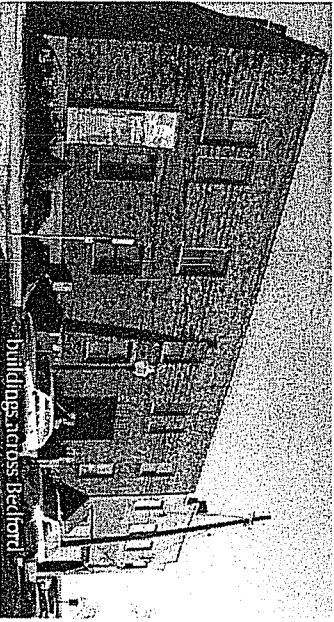
Wilson, looking east



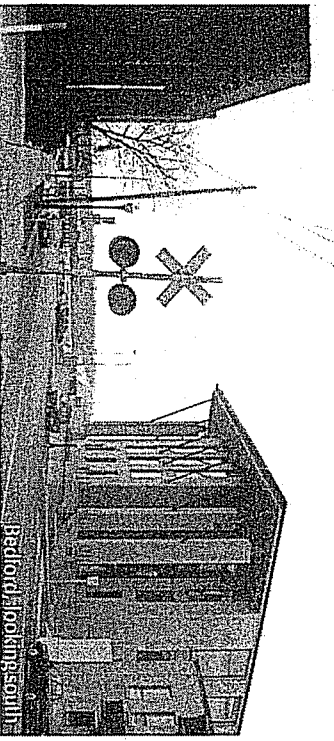
Wilson and Bedford, looking west



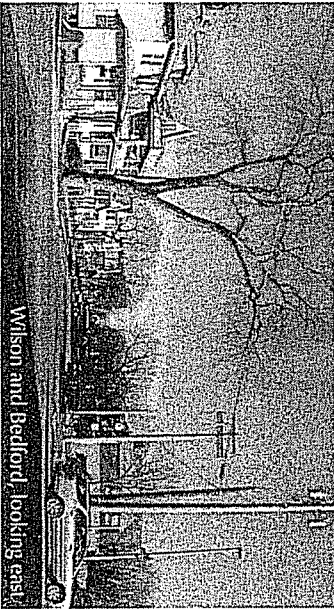
corner of Wilson and Bedford, looking west



buildings across Bedford

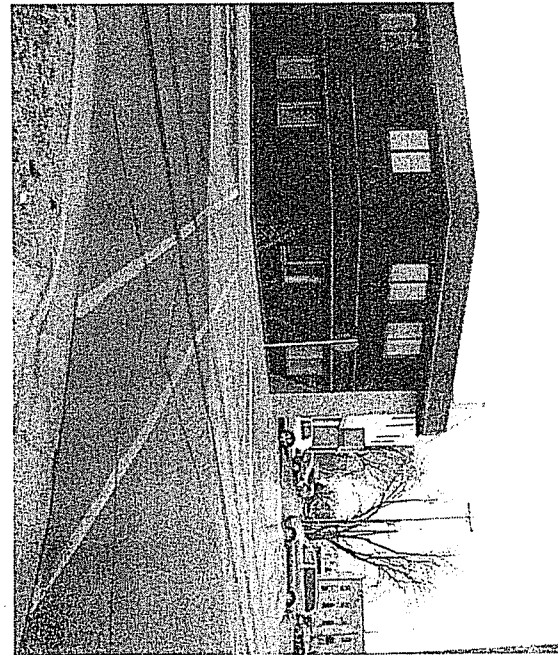
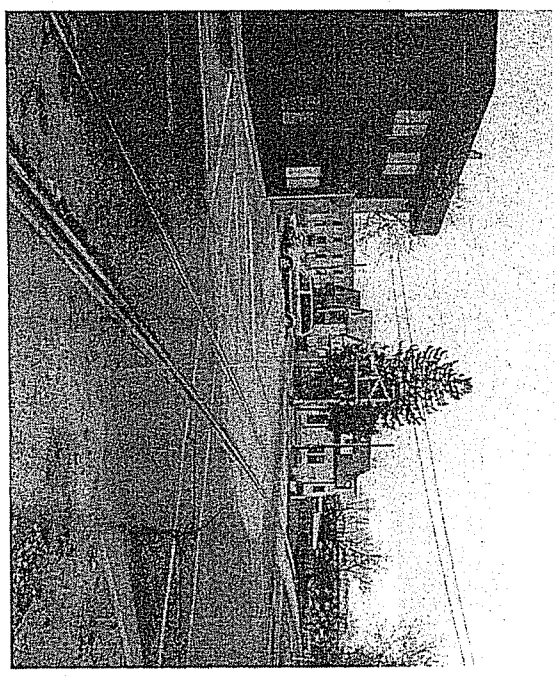
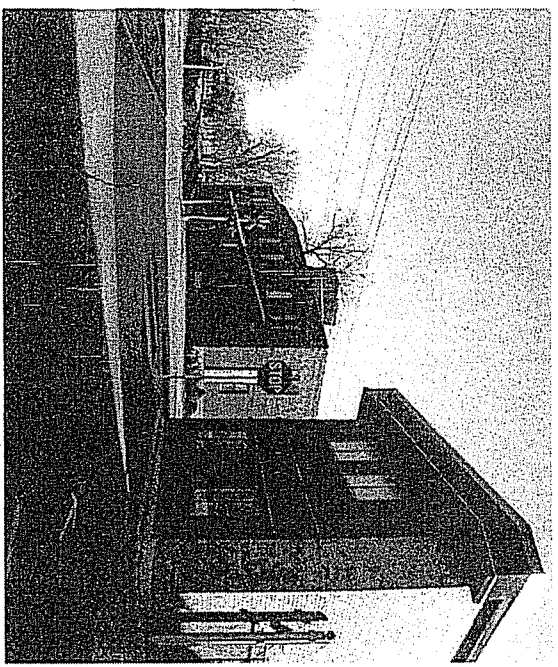
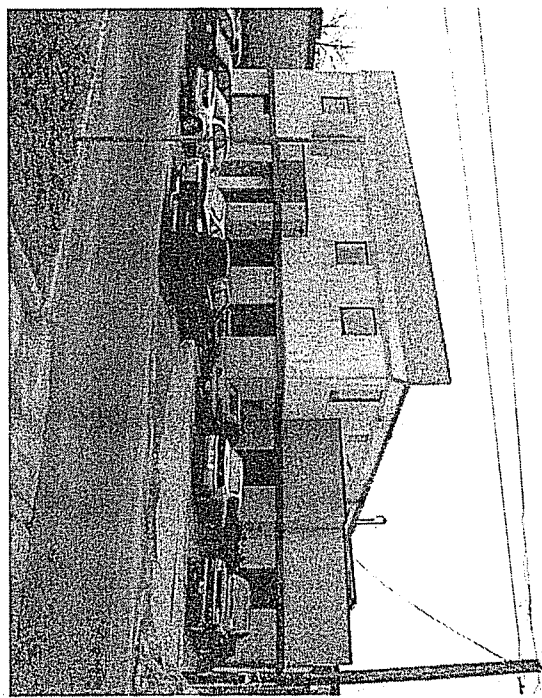
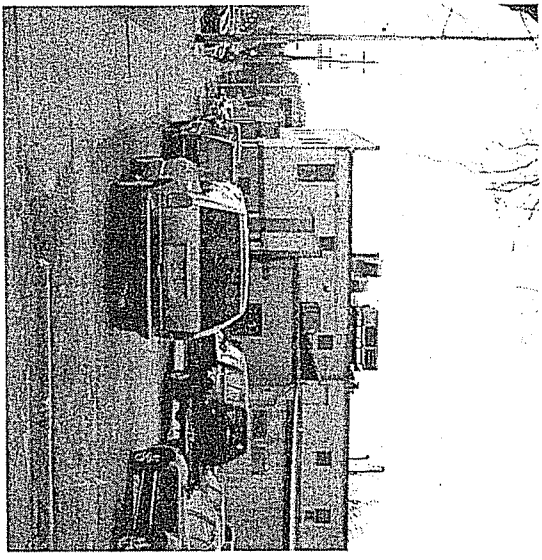


Bedford, looking south

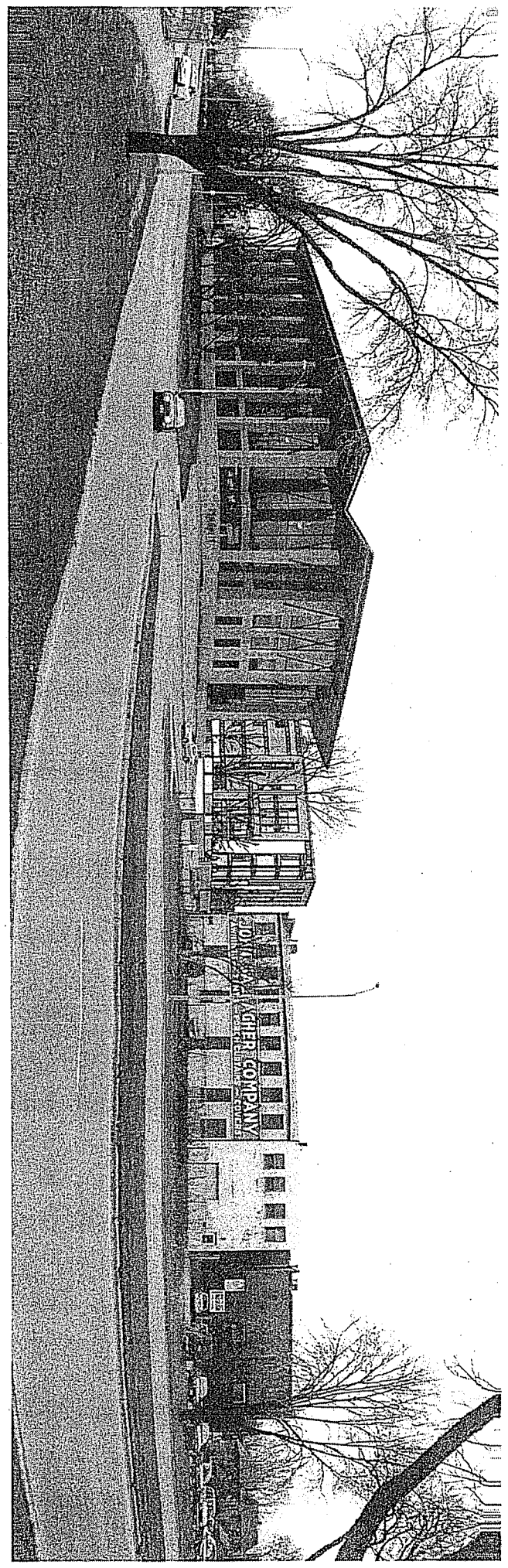


Wilson and Bedford, looking east

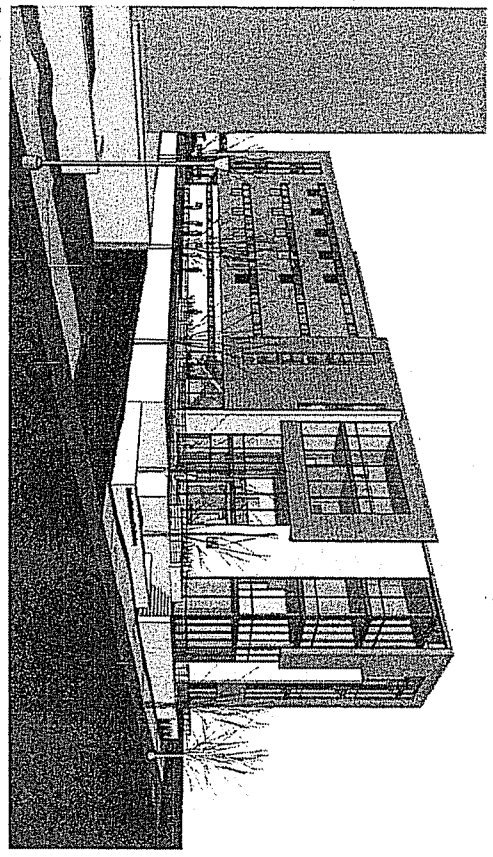
Existing Abandoned Findorff Building



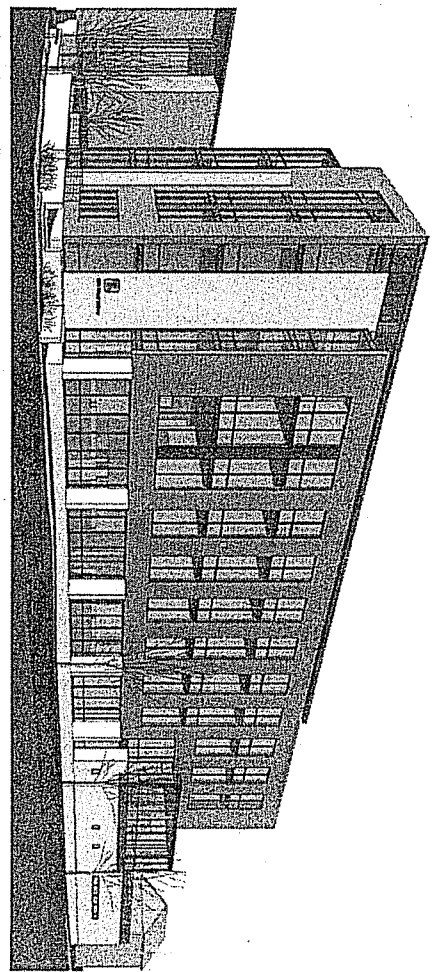
Existing Conditions



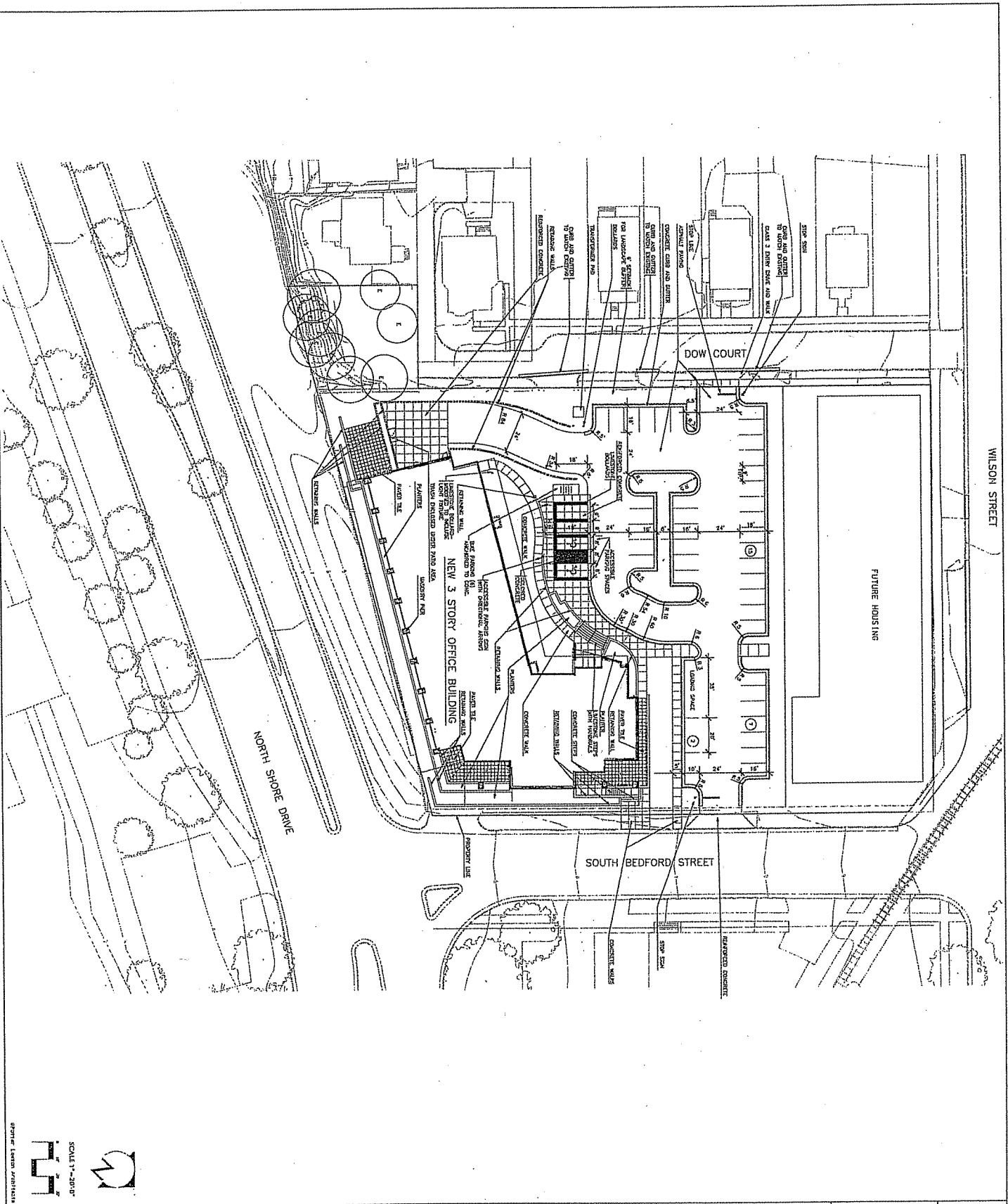
Perspective Renderings



Southeast Perspective

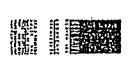


Northeast Perspective



Potter Lawson

Consultants



Historic

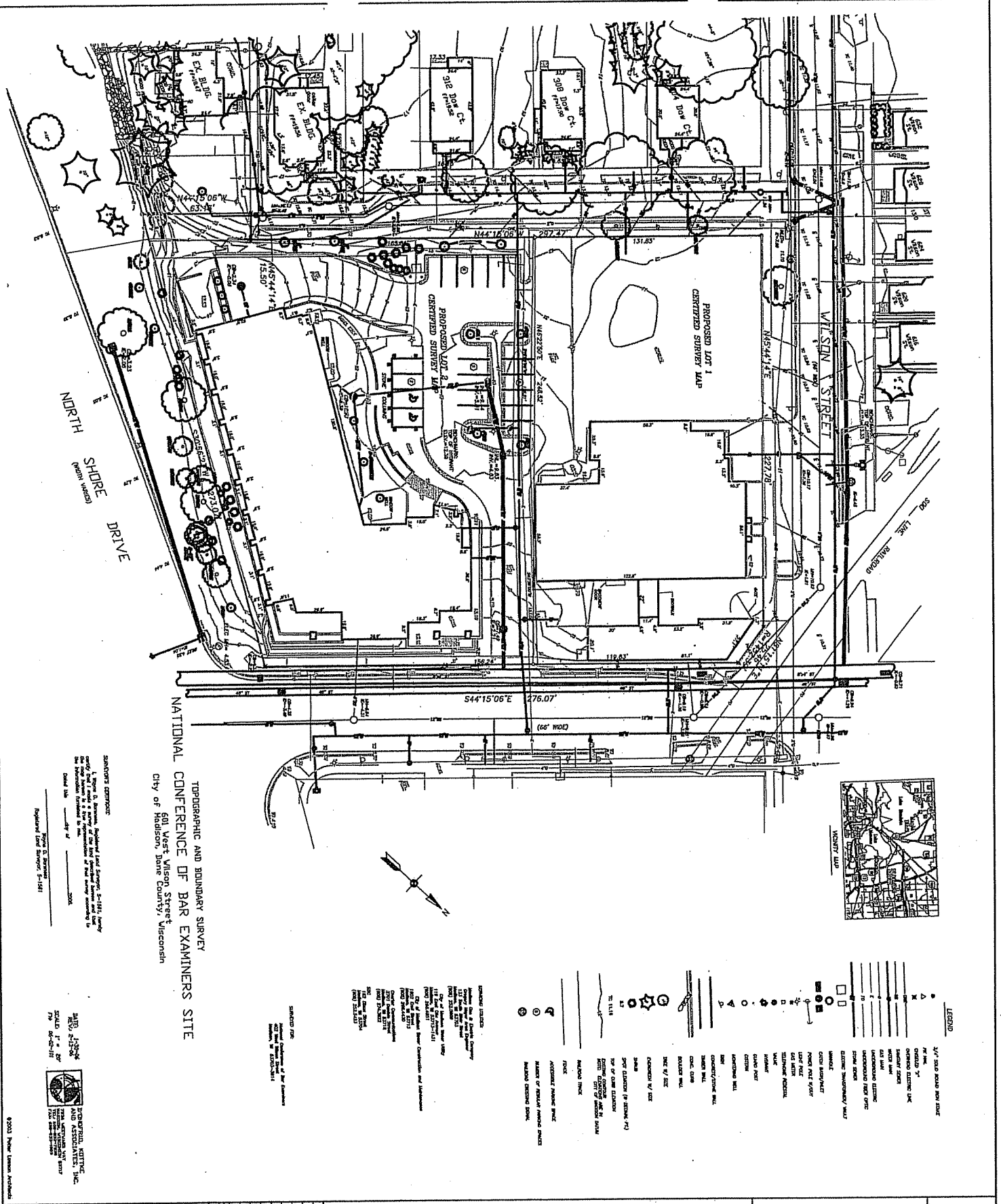
Date	Description	By	Checked
1/11/09	PRELIMINARY LAYOUT SUBMITTAL	J.H. FINDORFF	J.H. FINDORFF
2/2/09	FINAL SUBMITTAL	J.H. FINDORFF	J.H. FINDORFF
2/2/09	FINAL SUBMITTAL	J.H. FINDORFF	J.H. FINDORFF
2/2/09	FINAL SUBMITTAL	J.H. FINDORFF	J.H. FINDORFF

J.H. FINDORFF & SON
HEADQUARTERS
 J.H. FINDORFF & SON, INC.
 MADISON, WISCONSIN

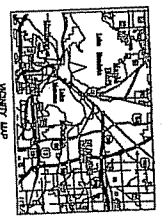


ARCHITECTURAL SITE PLAN
 PHASE 3: FUTURE MAJOR
 SUBMISSION
 C101

OFFICE: 608.261.1111
 FAX: 608.261.1112
 WWW.POTTERLAWSON.COM



TOPOGRAPHIC AND BOUNDARY SURVEY
 NATIONAL CONFERENCE OF BAR EXAMINERS SITE
 601 West Wisconsin Street
 City of Madison, Dane County, Wisconsin



- LEGEND**
- 1/4" ROAD GRADE AND ELEVATION
 - 2" ROAD GRADE AND ELEVATION
 - 3" ROAD GRADE AND ELEVATION
 - 4" ROAD GRADE AND ELEVATION
 - 5" ROAD GRADE AND ELEVATION
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 - 98" ROAD GRADE AND ELEVATION
 - 99" ROAD GRADE AND ELEVATION
 - 100" ROAD GRADE AND ELEVATION

EXISTING UTILITIES

Showing the location of existing utilities as shown on the utility maps of the City of Madison, Wisconsin, and as shown on the utility maps of the City of Madison, Wisconsin, and as shown on the utility maps of the City of Madison, Wisconsin.

STANDARD

Showing the location of the standard as shown on the utility maps of the City of Madison, Wisconsin, and as shown on the utility maps of the City of Madison, Wisconsin, and as shown on the utility maps of the City of Madison, Wisconsin.

SURVEY CERTIFICATE

I, Robert D. Johnson, Registered Land Surveyor No. 1141, do hereby certify that the foregoing is a true and correct copy of the original survey map as shown on the utility maps of the City of Madison, Wisconsin, and as shown on the utility maps of the City of Madison, Wisconsin, and as shown on the utility maps of the City of Madison, Wisconsin.

Robert D. Johnson
 Registered Land Surveyor No. 1141

PROFESSIONAL NOTICE

LANDSCAPE ARCHITECTS

Potter Lawson



KANSASKI
 DESIGN INC
 LANDSCAPE ARCHITECTS

THE NATIONAL CONFERENCE OF BAR EXAMINERS






SITE SURVEY

L0000

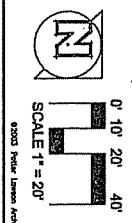
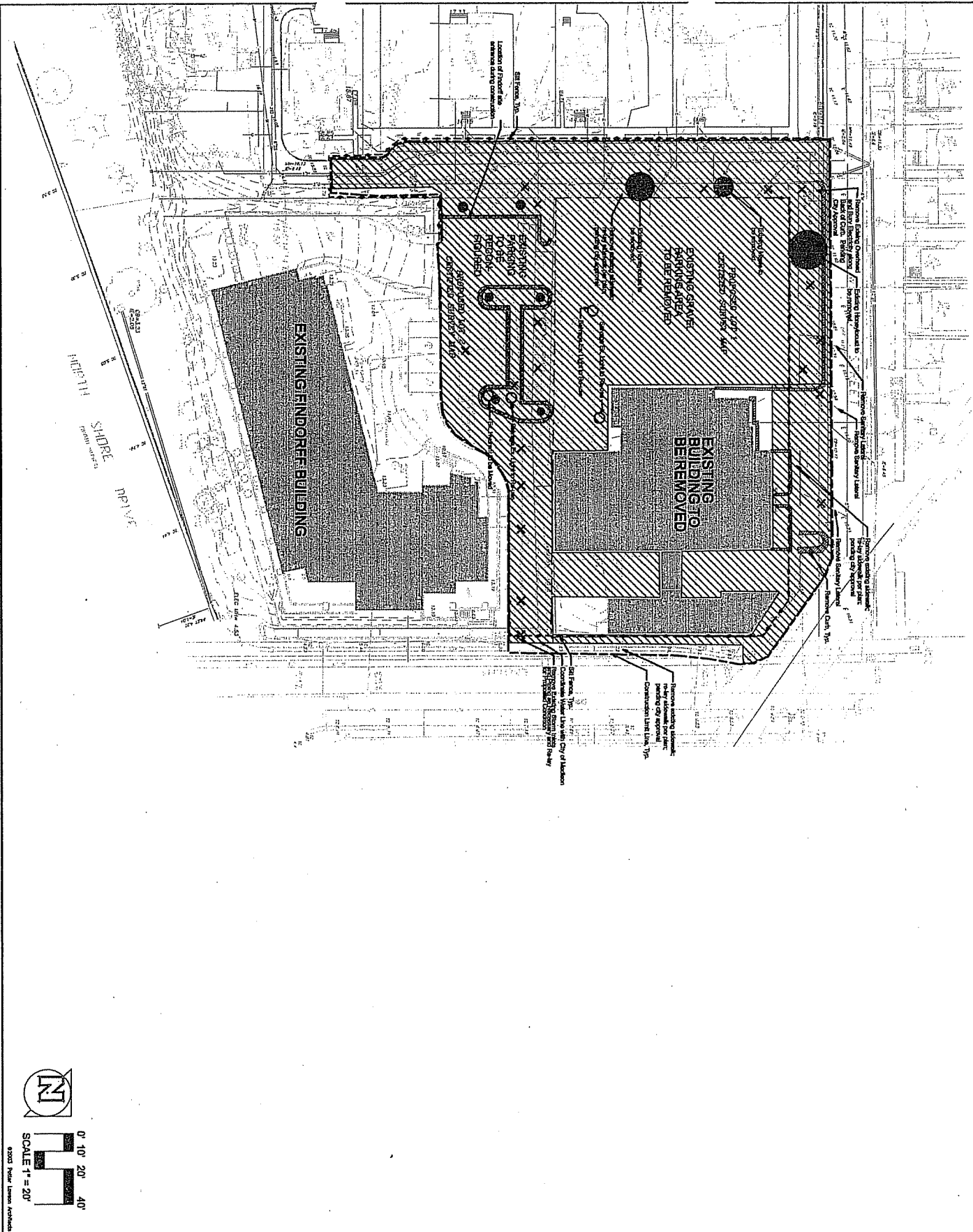
Potter Lawson

KENSAW
LANDSCAPE
ARCHITECTS

Consultants:

-  Remove Pavement
-  Remove Curb
-  Remove Existing Tree
-  Remove Utility
-  Sill Fence

1. Site will be excavated to restore underground parking structures
2. Wood chips from existing trees to be removed should be recycled and re-used on-site.
3. Provide silt filter on any pumping operation for the lower level parking grading.
4. Stabilized construction entrance to be provided at all access points to the site from surrounding roadways.



Project Name	THE NATIONAL CONFERENCE OF BAR EXAMINERS
Location	MADISON, WISCONSIN
Project Type	SITE PREPARATION AND EROSION CONTROL
Scale	1" = 20'
Sheet No.	L100

8

Porter Lawson

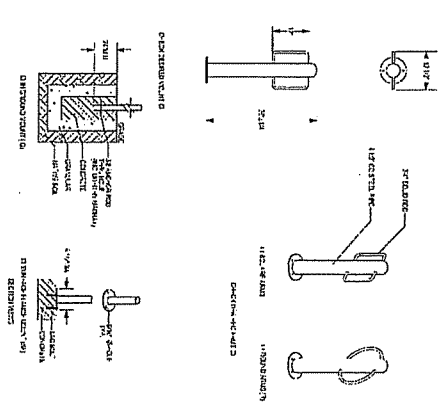


KENSINK
DESIGN INC
LANDSCAPE
ARCHITECTS

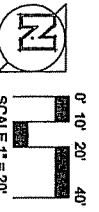
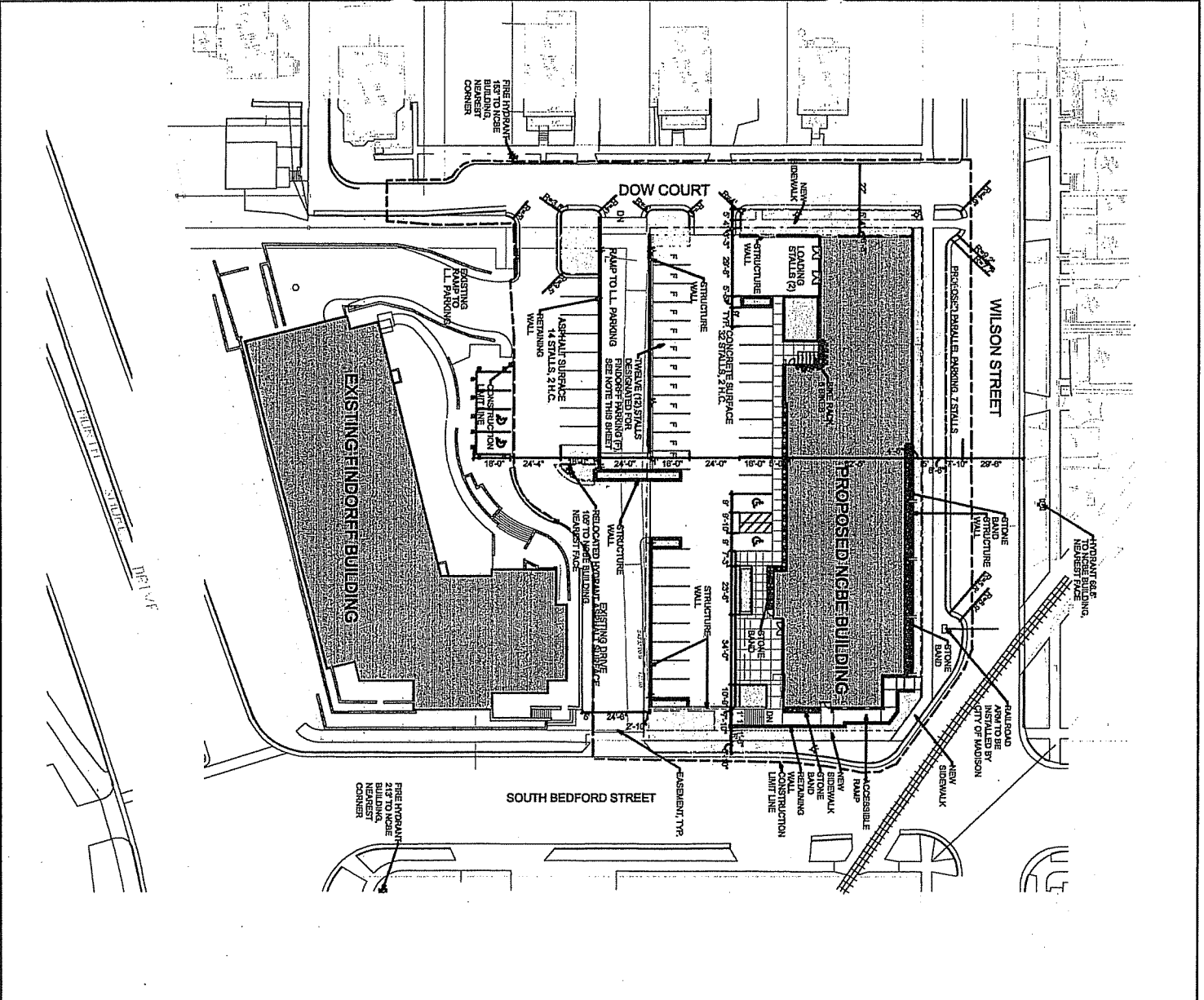
Notes:

1. Structure walls are located where below-grade parking structure is located. Above-grade to form wall for surface parking. Structure walls along public sidewalks will be veneered with stone to match existing Findorff walls.
2. Retainment walls to be cast-in-place concrete with stone Findorff building.
3. Exterior Bicycle Racks will be from Madrax, Middleton, WI. Will be attached to concrete structure.
4. NOBE must provide 17 stalls for 17 vehicles. 12 are provided in underground parking structure.
5. As per plan, 12 vehicle stalls on the NCBE surface parking lot will be designated for Findorff employee/visitor use. These stalls are designated with an "F" on this sheet.

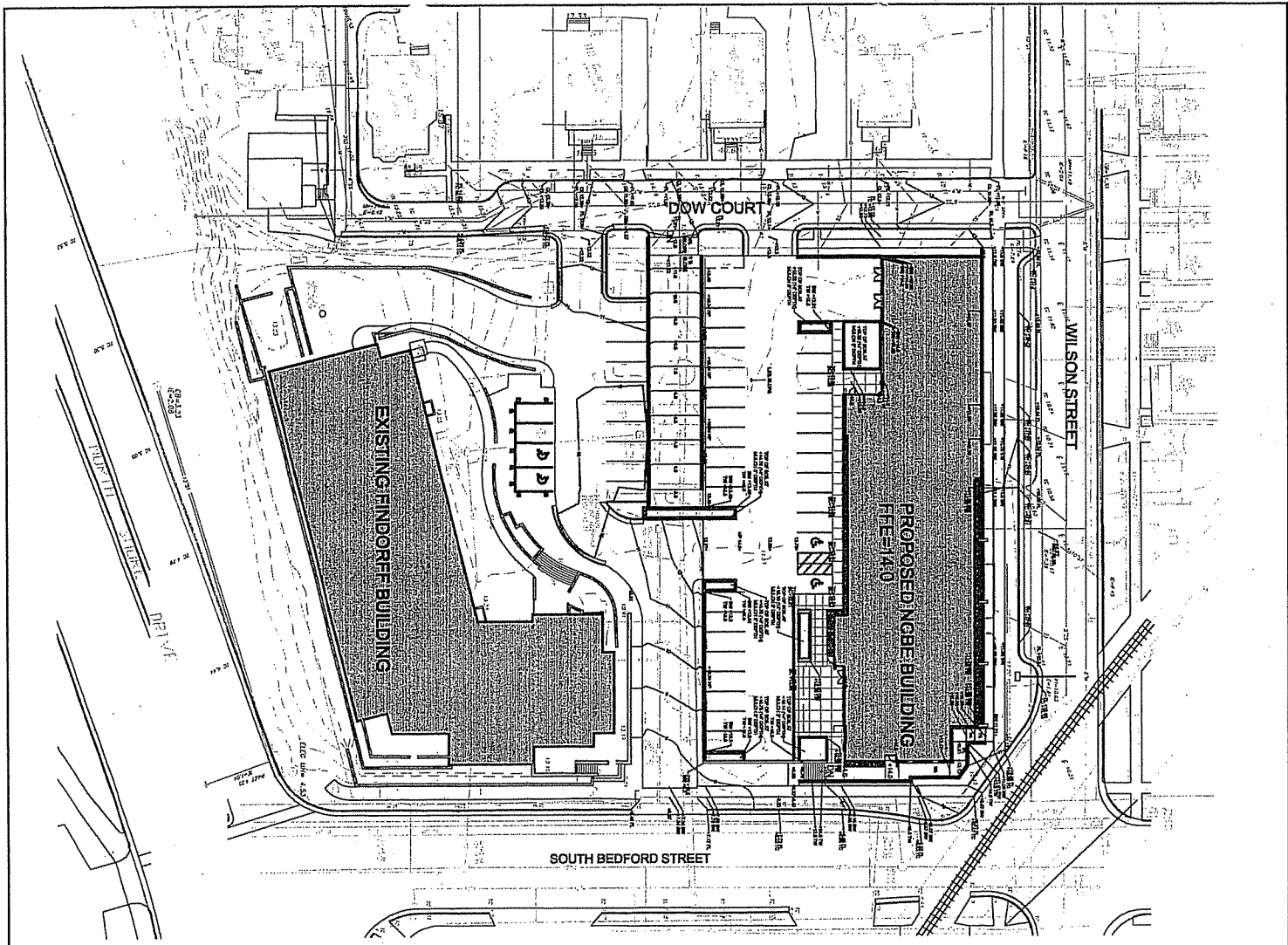
DATE: 01/23/2024
DRAWN BY: J. KENSINK
CHECKED BY: J. KENSINK
SCALE: 1" = 20'



CUT SHEET FOR EXTERIOR PARKING BY MADRAX, MIDDLETON, WI



<p>THE NATIONAL CONFERENCE OF BAR EXAMINERS</p> <p>MADISON, WISCONSIN</p>	
<p>LAYOUT PLAN</p>	<p>L101</p>



0' 10' 20' 40'
 SCALE 1" = 20'
 ©2003 Peter Larson Architects

Peter Larson

KENSALM
 DESIGN INC
 LANDSCAPE
 ARCHITECTS

Notes
 EL = ELOW LINE
 TC = TOP OF CURB
 BC = BOTTOM OF CURB
 TW = TOP OF WALL
 BW = BOTTOM OF WALL
 SW = SIDEWALK ELEVATION
 HP = HIGH POINT

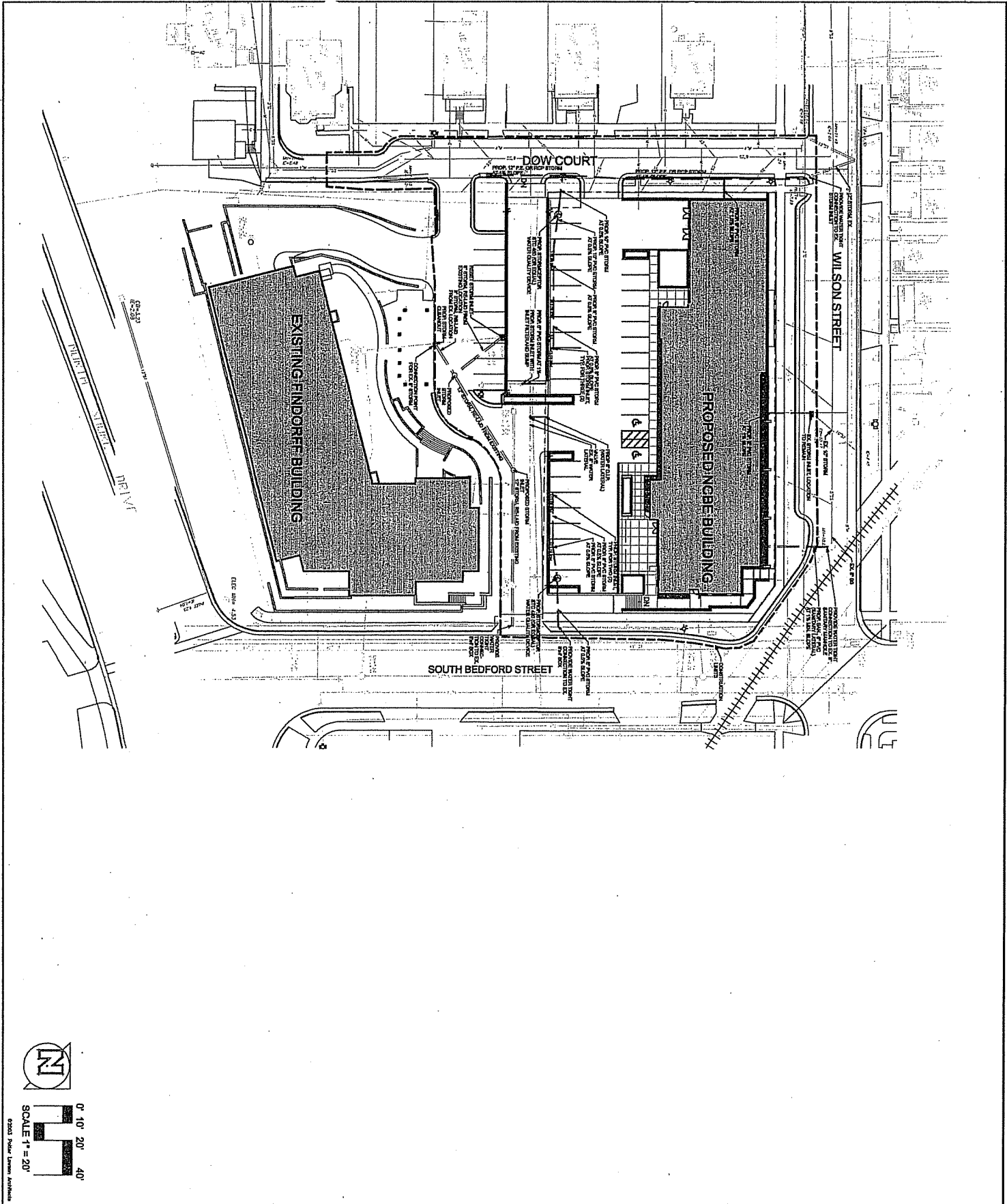
**THE NATIONAL
 CONFERENCE OF BAR
 EXAMINERS**

MILWAUKEE, WISCONSIN

GRADING PLAN

L102

80



0' 10' 20' 40'
SCALE 1" = 20'

<p>THE NATIONAL CONFERENCE OF BAR EXAMINERS MADISON, WISCONSIN</p>		<p>LANDSCAPE ARCHITECTS</p>	
<p>SITE UTILITIES PLAN</p>		<p>PROJECT NO. L103</p>	

PLANT SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE AT PLANTING	ROOT COUNT	QUANTITY
TREES					
1	DECIDUOUS TREES				
1A	<i>Quercus macrocarpa</i>	White Oak	2 1/2" Cal.	BB	6
1B	<i>Quercus prinus</i>	Principle Pin Oak	2 1/2" Cal.	BB	4
1C	<i>Quercus alba</i>	White Oak	2 1/2" Cal.	BB	2
1D	<i>Quercus rubra</i>	Red Oak	2 1/2" Cal.	BB	2
1E	<i>Quercus falcata</i>	Swamp White Oak	2 1/2" Cal.	BB	2
1F	<i>Quercus laevis</i>	Water Oak	2 1/2" Cal.	BB	2
1G	<i>Quercus coccinea</i>	Scarlet Oak	2 1/2" Cal.	BB	2
1H	<i>Quercus prinus</i>	Principle Pin Oak	2 1/2" Cal.	BB	2
1I	<i>Quercus macrocarpa</i>	White Oak	2 1/2" Cal.	BB	2
1J	<i>Quercus alba</i>	White Oak	2 1/2" Cal.	BB	2
1K	<i>Quercus rubra</i>	Red Oak	2 1/2" Cal.	BB	2
1L	<i>Quercus falcata</i>	Swamp White Oak	2 1/2" Cal.	BB	2
1M	<i>Quercus laevis</i>	Water Oak	2 1/2" Cal.	BB	2
1N	<i>Quercus coccinea</i>	Scarlet Oak	2 1/2" Cal.	BB	2
1O	<i>Quercus prinus</i>	Principle Pin Oak	2 1/2" Cal.	BB	2
1P	<i>Quercus macrocarpa</i>	White Oak	2 1/2" Cal.	BB	2
1Q	<i>Quercus alba</i>	White Oak	2 1/2" Cal.	BB	2
1R	<i>Quercus rubra</i>	Red Oak	2 1/2" Cal.	BB	2
1S	<i>Quercus falcata</i>	Swamp White Oak	2 1/2" Cal.	BB	2
1T	<i>Quercus laevis</i>	Water Oak	2 1/2" Cal.	BB	2
1U	<i>Quercus coccinea</i>	Scarlet Oak	2 1/2" Cal.	BB	2
1V	<i>Quercus prinus</i>	Principle Pin Oak	2 1/2" Cal.	BB	2
1W	<i>Quercus macrocarpa</i>	White Oak	2 1/2" Cal.	BB	2
1X	<i>Quercus alba</i>	White Oak	2 1/2" Cal.	BB	2
1Y	<i>Quercus rubra</i>	Red Oak	2 1/2" Cal.	BB	2
1Z	<i>Quercus falcata</i>	Swamp White Oak	2 1/2" Cal.	BB	2
2	EVERGREEN SHRUBS				
2A	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	8
2B	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	8
2C	<i>Yucca filamentosa</i>	Adam's Needle	18" Shr.	GG	20
2D	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	6
2E	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	6
2F	<i>Yucca filamentosa</i>	Adam's Needle	18" Shr.	GG	18
2G	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	18
2H	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	18
2I	<i>Yucca filamentosa</i>	Adam's Needle	18" Shr.	GG	18
2J	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	18
2K	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	18
2L	<i>Yucca filamentosa</i>	Adam's Needle	18" Shr.	GG	18
2M	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	18
2N	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	18
2O	<i>Yucca filamentosa</i>	Adam's Needle	18" Shr.	GG	18
2P	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	18
2Q	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	18
2R	<i>Yucca filamentosa</i>	Adam's Needle	18" Shr.	GG	18
2S	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	18
2T	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	18
2U	<i>Yucca filamentosa</i>	Adam's Needle	18" Shr.	GG	18
2V	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	18
2W	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	18
2X	<i>Yucca filamentosa</i>	Adam's Needle	18" Shr.	GG	18
2Y	<i>Thuja occidentalis</i>	Green Garden Juniper	18" Shr.	GG	18
2Z	<i>Juniperus horizontalis</i>	Creeping Juniper	18" Shr.	GG	18
3	PERENNIALS				
3A	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	8
3B	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3C	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3D	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3E	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3F	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3G	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3H	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3I	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3J	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3K	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3L	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3M	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3N	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3O	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3P	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3Q	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3R	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3S	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3T	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3U	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3V	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3W	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3X	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3Y	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
3Z	<i>Hosta plantaginea</i>	Plantain Leaf	4 1/2" Pot	CONT.	12
4	GRASSES				
4A	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	11
4B	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4C	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4D	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4E	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4F	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4G	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4H	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4I	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4J	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4K	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4L	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4M	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4N	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4O	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4P	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4Q	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4R	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4S	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4T	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4U	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4V	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4W	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4X	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4Y	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14
4Z	<i>Panicum virgatum</i>	Switchgrass	1 Gal.	CONT.	14

NOTES:

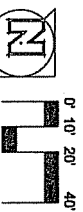
- 1. REQUIRED TREES PER CITY OF MADISON LANDSCAPE POINT SYSTEM HAVE LABELS IN SQUARES ON THE PLAN.
- 2. PLANTS USED TOWARD POINTS IN LANDSCAPE WORKSHEET HAVE CIRCLED LABELS ON THE PLAN.

NCBE LANDSCAPE POINTS

LANDSCAPE ELEMENT	POINT VALUE	POINT ASSESSED
3A CANOPY TREES REQUIRED FOR 41 PARKING SPACES		
3B PARKING SPACES REQUIRE 1650 POINTS OF LANDSCAPE ELEMENTS		
LANDSCAPE ELEMENTS		
ELEMENT	QUANTITY	POINT ASSESSED
DECIDUOUS SHrub	22	44
EVERGREEN SHrub	34	102
ORNAMENTAL TREE	3	45
TOTAL POINTS		191

FINDORFF LANDSCAPE POINTS

LANDSCAPE ELEMENTS	POINT VALUE	POINT ASSESSED
1 CANOPY TREES REQUIRED FOR 41 PARKING SPACES		
2 PARKING SPACES REQUIRE 600 POINTS OF LANDSCAPE ELEMENTS		
LANDSCAPE ELEMENTS		
ELEMENT	QUANTITY	POINT ASSESSED
DECIDUOUS SHrub	1	20
EVERGREEN SHrub	3	18
ORNAMENTAL TREE	7	21
TOTAL POINTS		59



SCALE 1" = 20'

THE NATIONAL CONFERENCE OF BAR EXAMINERS

MADISON, WISCONSIN

PLANTING PLAN

L104

Robert Lawson

LANDSCAPE ARCHITECTS

DESIGN INC

1100 UNIVERSITY AVENUE, SUITE 100, MADISON, WI 53706

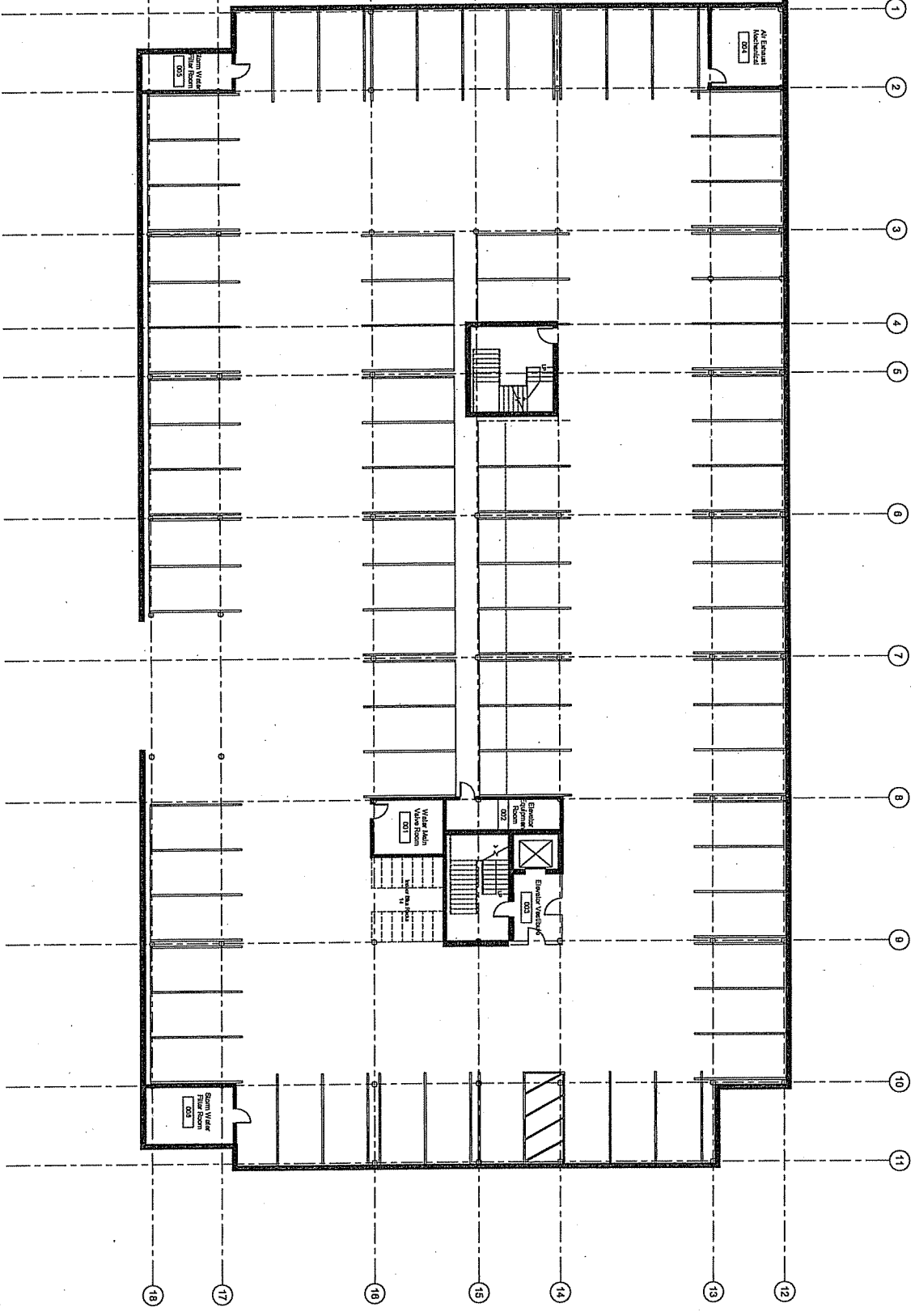
TEL: 608.261.1100

WWW.RLAWSON.COM

Potter Lawson

CONTRACT:

Notes:



Lower Level Parking
Fig. A-101

**National Conference
of Bar Examiners**
KCBE

William and Susan Rodgers Esq.
Attorneys at Law
KCBE

Lower Level Parking

Project No. 200120
Date: 1/14
A101

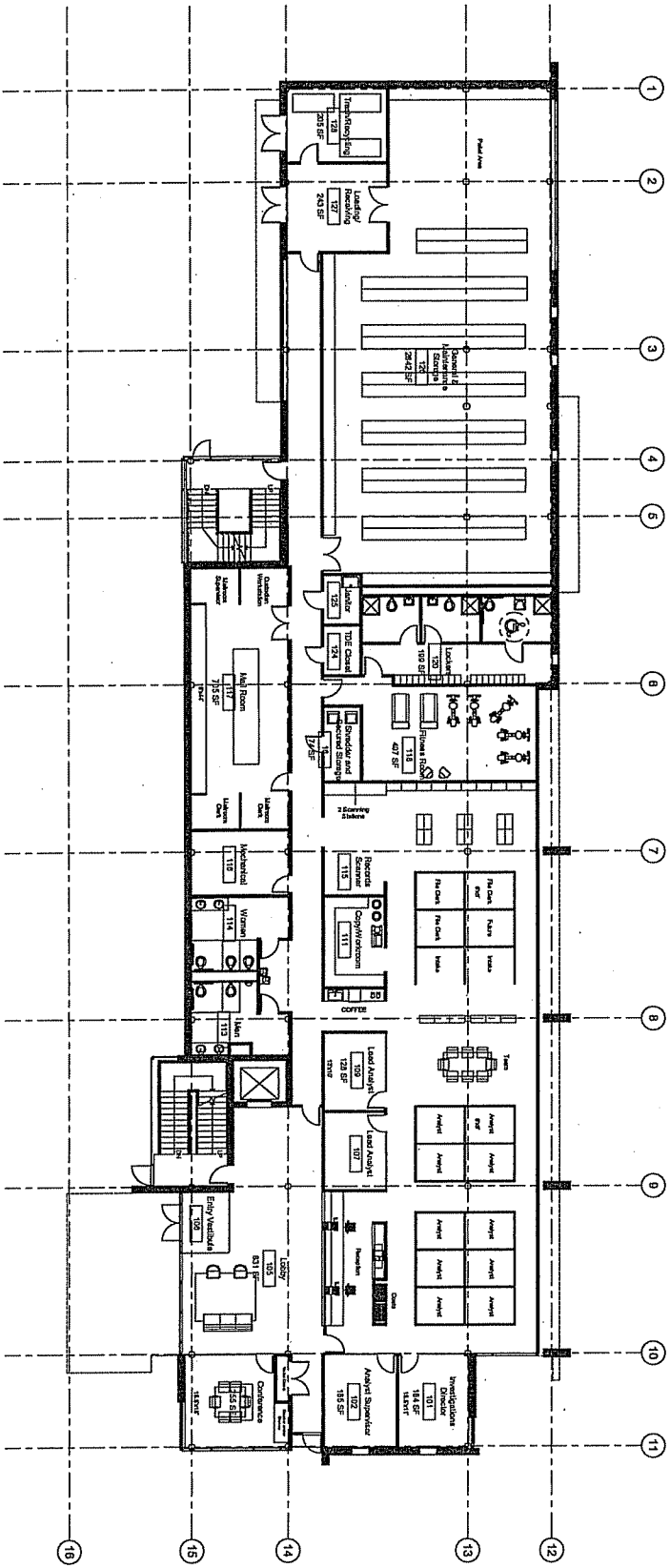
02231 SHAR - JAMES K. STEVENS

8

Potter Lawson

CONTRACT:

NOISE:



① First Floor
NSP-170

**National Conference
of Bar Examiners**
NCEBE

Wilson and Eckstut Bedford St.
Madison Wisconsin

First Floor

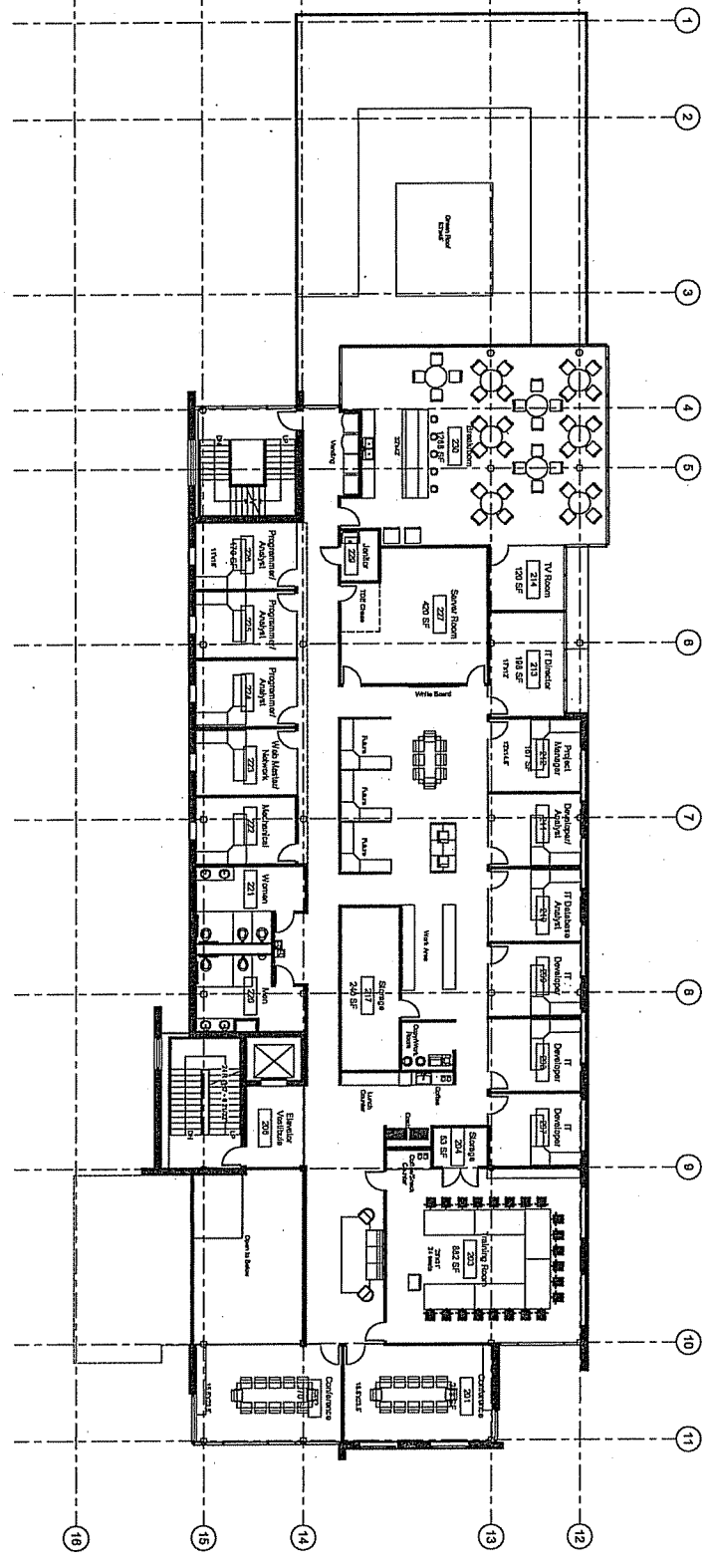
A102

0220 3441-4033 REVISED

Potter Lawson

CHAIRMAN:

NOTES:



Second Floor
1/8" = 1'-0"

National Conference of Bar Examiners
NCBE

Wilson and Smith-Bridges & Anderson, Wisconsin

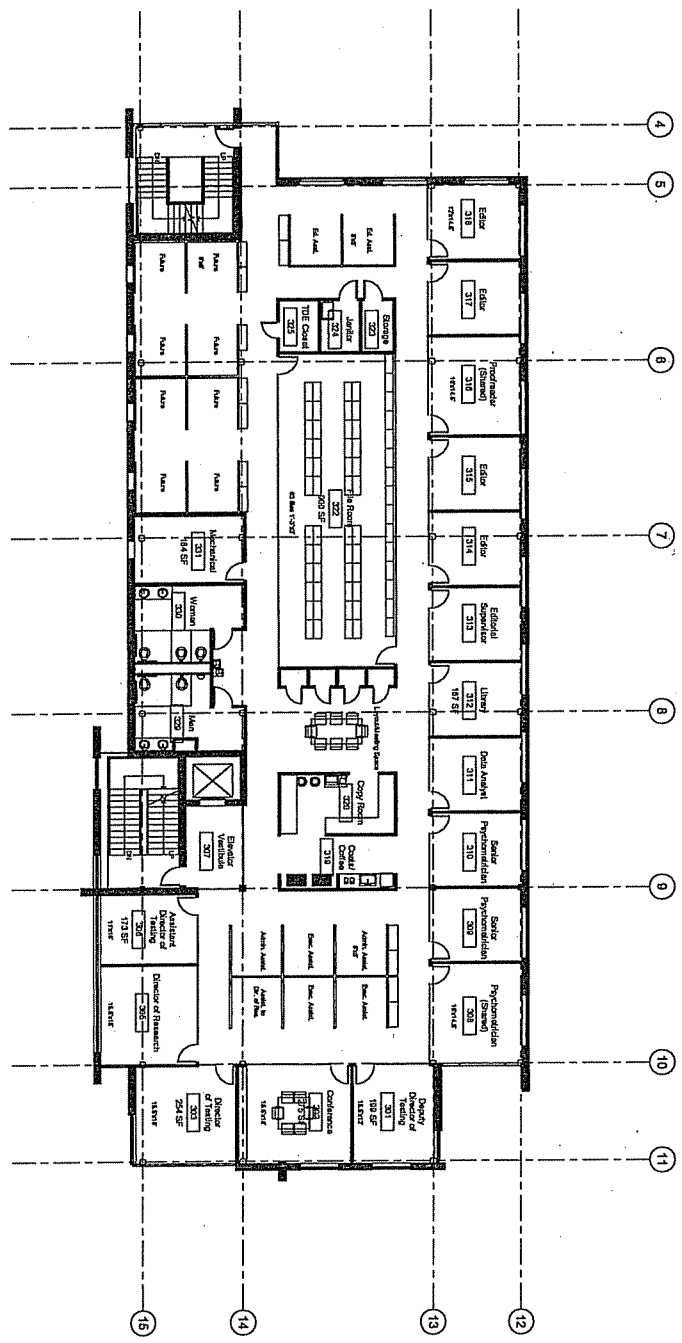
Second Floor

A103

Potter Lawson

Contract:

Notes:



Third Floor
10-1-79

Room No.	Room Name	Area (SF)	Notes
318	Editor		
317	Editor		
315	Editor		
314	Editor		
313	Editor Supervisor		
312	Editor Supervisor		
311	Data Analyst		
310	Senior Psychometrist		
309	Psychometrist		
308	Psychometrist		
307	Senior Psychometrist		
306	Psychometrist		
305	Psychometrist		
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National Conference of Bar Examiners
NCBE

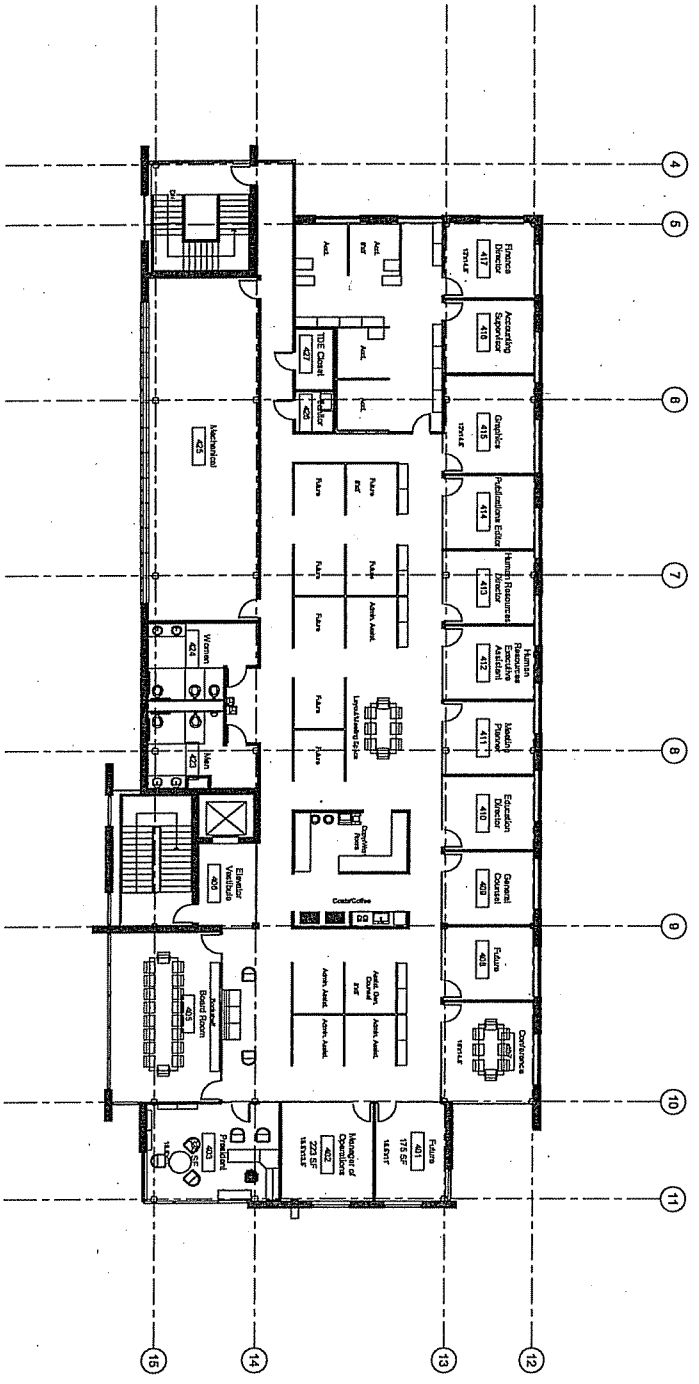
William and Sarah Borders Sr.
Madison, Wisconsin

Third Floor

A104

CHALLENGER

FLOOR:



④ Fourth Floor
10-1-83

NO.	MARKET/REVISION	DATE

National Conference
of Bar Examiners
K&B/E
William and South Baker St.
Madison, Wisconsin

Fourth Floor

20113
A105

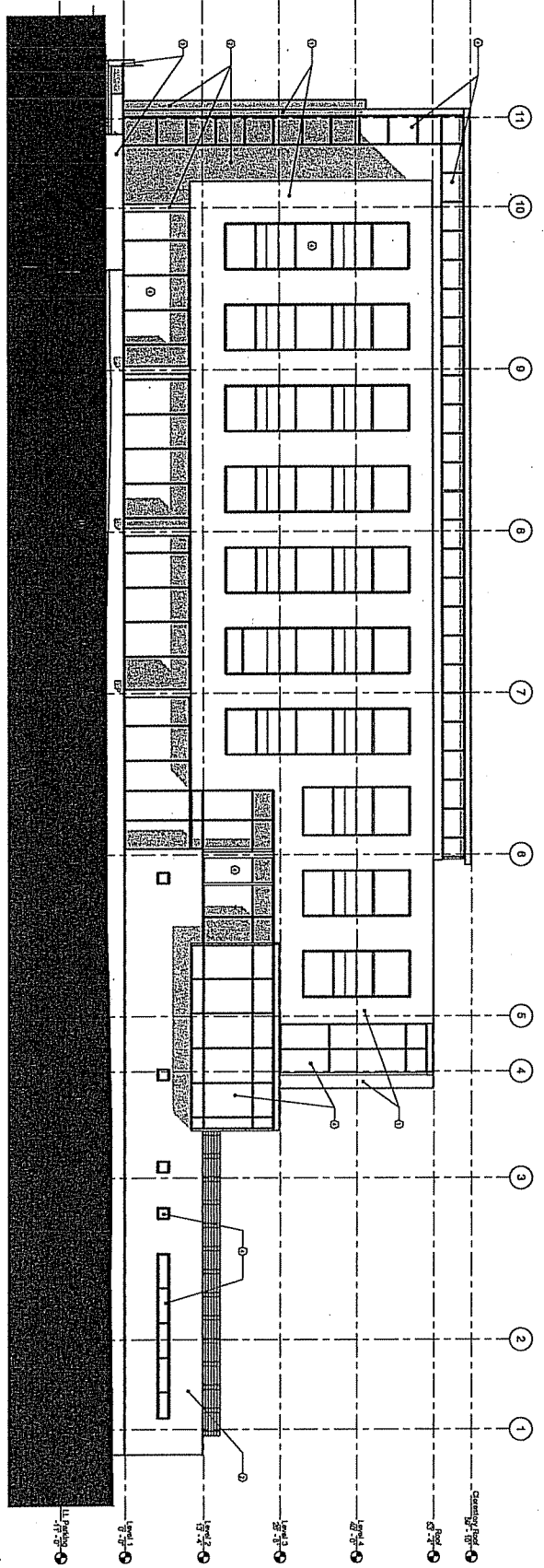
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8

CONTINUOUS

Notes:

- ① brick
- ② concrete
- ③ masonry
- ④ aluminum
- ⑤ cedar panel
- ⑥ medium density fiberboard
- ⑦ insulation



North Elevation
Scale 1/4" = 1'-0"

SH	DATE/REVISION	BY

National Conference of Bar Examiners
NCBE

William and South Bedford St.
Madison Wisconsin

North Elevation

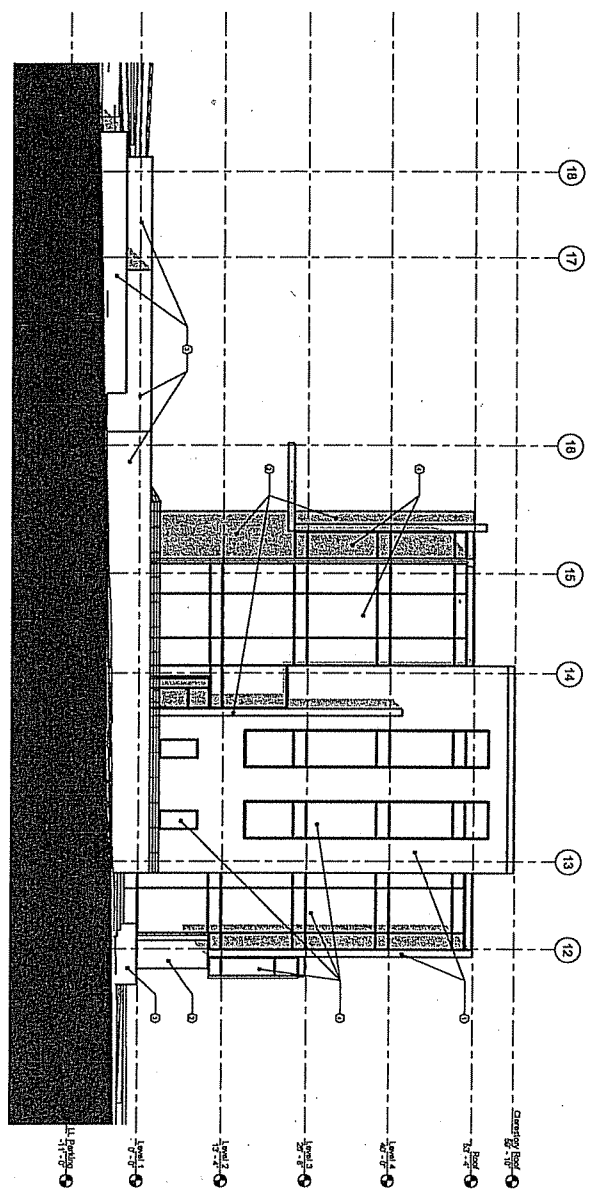
8

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CONTRACT:

DATE:

- BRICK
- CONCRETE
- EXTERIOR
- FINISH
- FLOORING
- GLASS
- ROOFING
- SITES
- STRUCTURE
- UTILITIES
- WALLS
- WINDOWS
- YARDWORK



East Elevation
1/2" = 1'-0"

NO.	DATE	REVISION

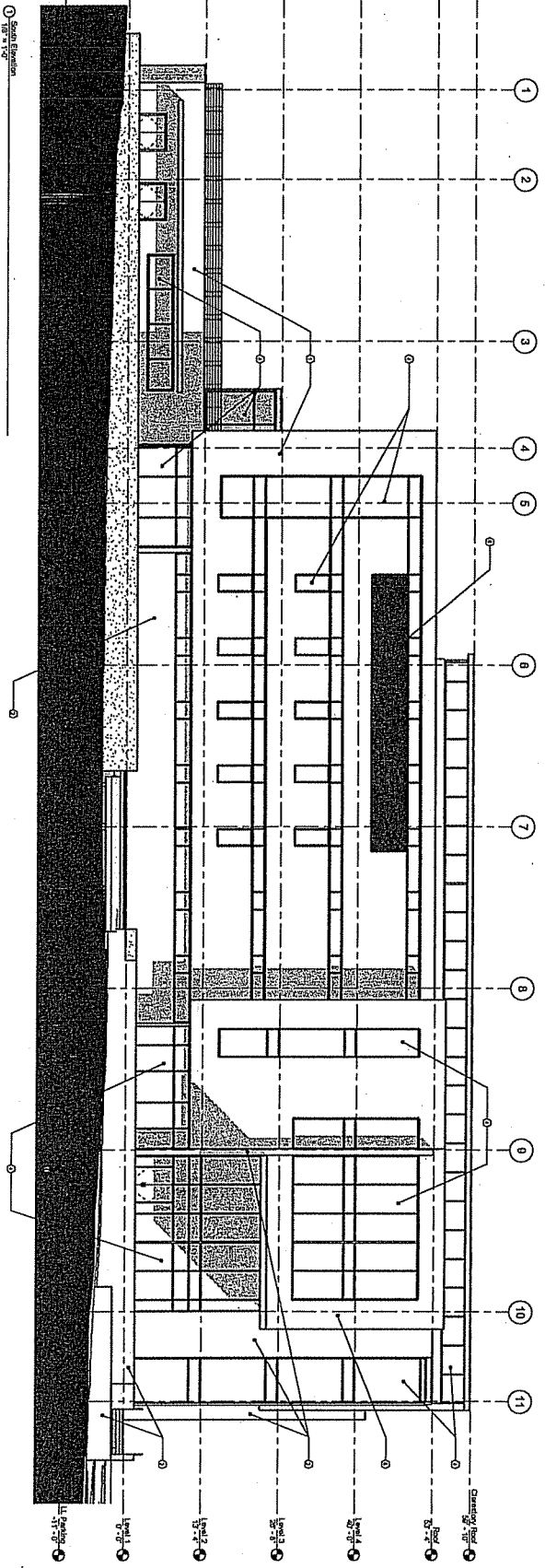
National Conference of Bar Examiners
MEMBER

Wilson and South, Bedford &
Madison, Wisconsin

East Elevation

Notes:

- 1 BRICK
- 2 CONCRETE
- 3 ASPHALT
- 4 ALUMINUM/CLAD
- 5 EXTERIOR FINISH
- 6 INSULATION
- 7 FLOOR FINISH



South Elevation

No.	Description	Quantity

National Conference of Bar Examiners
MOBILE

Wilson and Smith Bedford St.
Madison, Wisconsin

South Elevation

2

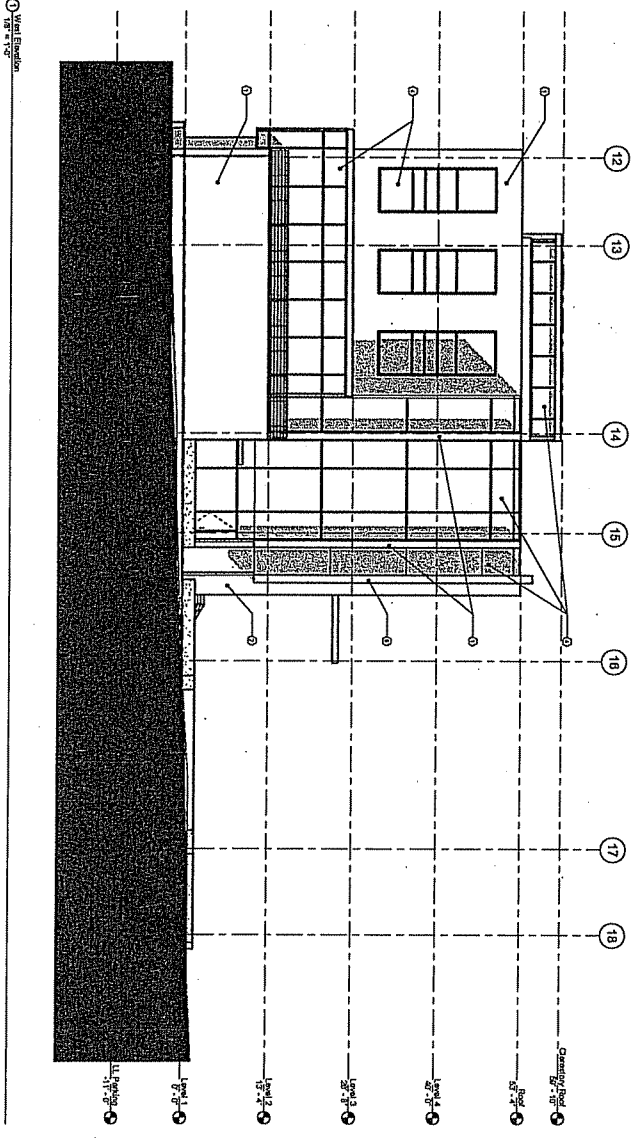
2

Potter Lawson

Contractor:

Notes:

- ① None
- ② Asphalt
- ③ Acoustical
- ④ Insulation
- ⑤ Drywall
- ⑥ Gypsum Board
- ⑦ Concrete
- ⑧ Masonry
- ⑨ Cast-in-Place
- ⑩ Cast-in-Place
- ⑪ Cast-in-Place
- ⑫ Cast-in-Place
- ⑬ Cast-in-Place
- ⑭ Cast-in-Place
- ⑮ Cast-in-Place
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West Elevation

National Conference
of Bar Examiners

Wilson and Paul Builders
Madison, Wisconsin

West Elevation

A204