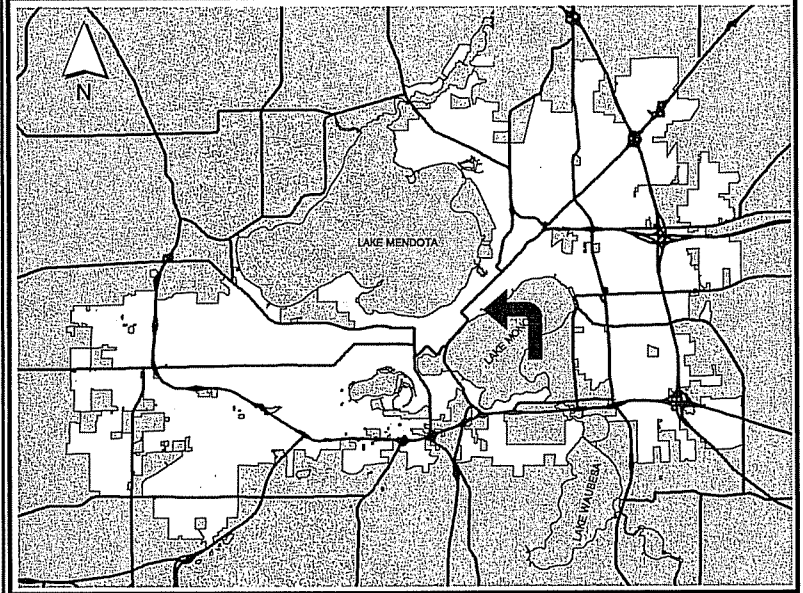


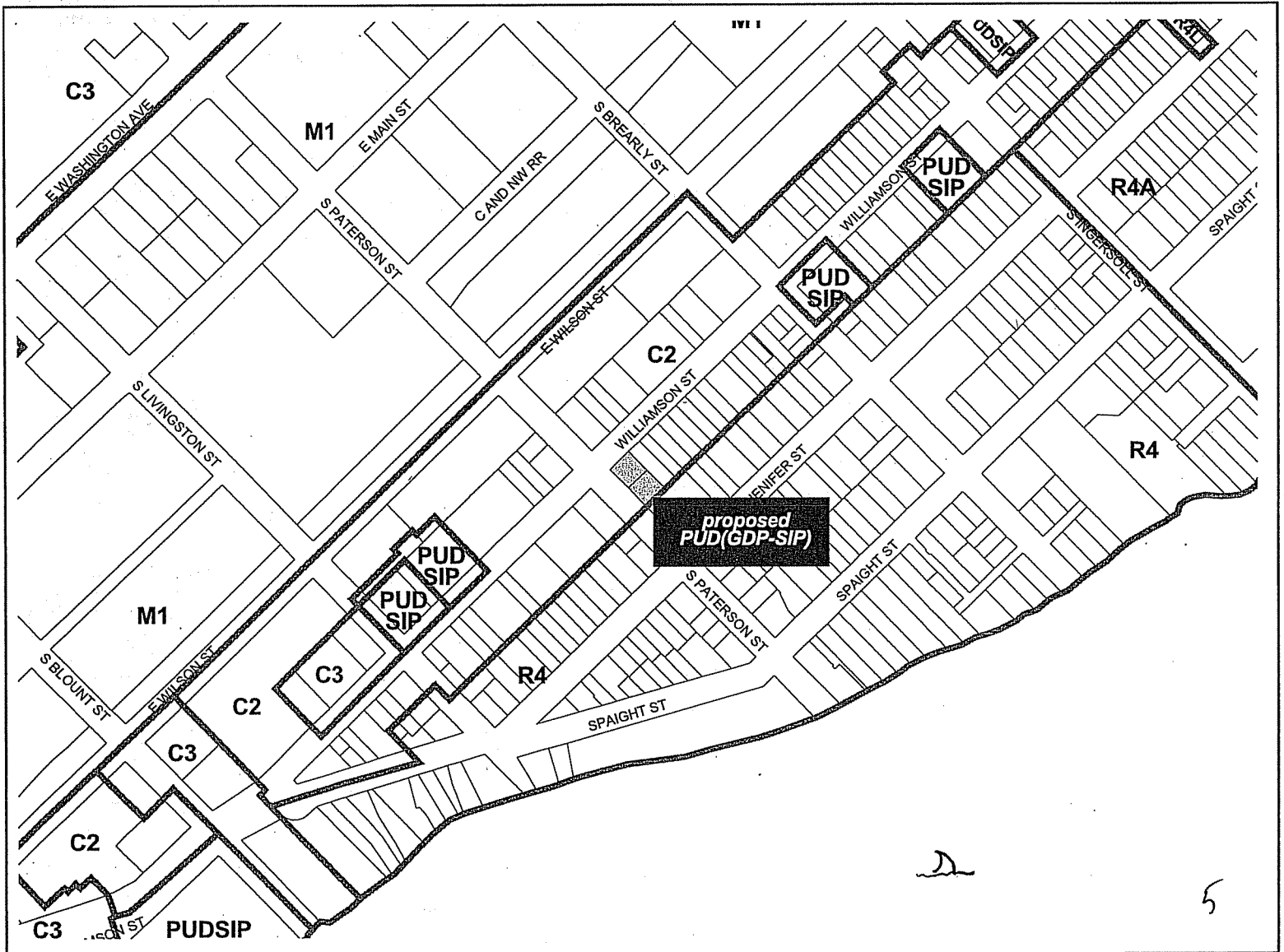
CITY OF MADISON

Proposed Rezoning

Location: 901 Williamson Street/ 407-411 South Paterson Street
Applicant: Scott Lewis - CMI/ Jim Vincent - Designs by Jim Vincent
From C2 **District(s)**
To PUD(GDP-SIP) **District(s)**
Existing Use: Side Yard of 407/411 South Paterson Street
Proposed Use: Relocate House to these Lots
File No. _____
Public Hearing Dates:
Plan Commission 18 April 2005
Common Council 03 May 2005

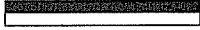


For Questions contact: Pete Olson at: 267-1150 or polson@cityofmadison.com or City Planning at 266-4635

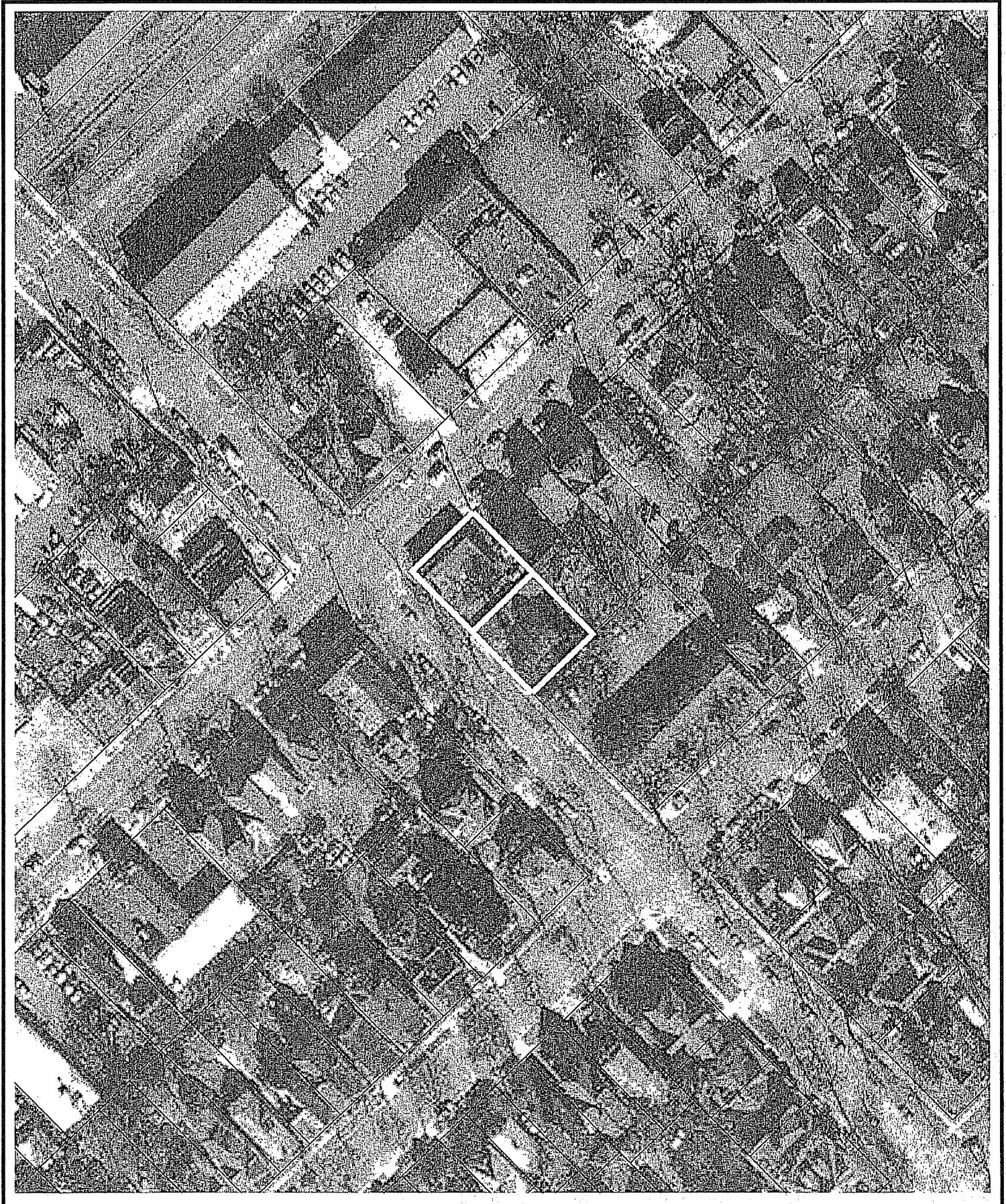


901 Williamson Street/
407-411 South Paterson Street

0 100 Feet



Date of Aerial Photography - April 2000



12:00 P.M. RJT 2-23-05

ZONING APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- Application effective February 18, 2005

FOR OFFICE USE ONLY:

Amt. Paid \$ 1250 Receipt No. _____
 Date Received _____
 Received By _____
 Parcel No. _____
 Aldermanic District _____
 GQ _____
 Zoning District _____

For Complete Submittal

Application _____ Letter of Intent _____
 IDUP _____ Legal Descript. _____
 Plan Sets _____ Zoning Text _____
 Alder Notification _____ Waiver
 Ngrbrhd. Assn Not. _____ Waiver
 Date Sign Issued _____

1. **Project Address:** 901 Williamson, 407-411 S. Patterson St. **Project Area in Acres:** 9766 sq. ft.
Project Title (if any): House Relocation

2. This is an application for: (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from _____ to _____ Rezoning from C2-His-TL to PUD/PCD-SIP

Rezoning from _____ to PUD/PCD-GDP Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use Demolition Permit Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Scott Lewis Company: CM1
 Street Address: 106 E. Doty St. City/State: Madison Zip: 53703
 Telephone: (608) 256-4200 Fax: (1) 256-4210 Email: CM1scott@charterinternet.net

Project Contact Person: Jim Vincent Company: _____
 Street Address: 5944 FEMINOL CENTER City/State: MADISON Zip: 53711
 Telephone: (608) 213-1665 Fax: (608) 770-0084 Email: biggiogo@charter.net

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: RELOCATION OF AN EXISTING HOUSE WITH THE ADDITION OF A TWO BEDROOM APARTMENT IN THE NEW LOWER LEVEL WITH THE NEW FOUNDATION.

Development Schedule: Commencement APR 13, 2005 Completion AUG 13, 2005

Feb 18, 2005,
Chair City of Madison Plan Commission
City County Building
210 Martin Luther King Jr., Blvd
Madison, WI 53703

Dear Plan Commission Chair and Members,

Please accept this as my letter of intent for the 411-407 South Paterson Street, 909 Williamson Street Re-siting of the 421 West Gorham Street improvements.

The new footings and foundations would be installed at the S.Paterson St. site the beginning of May, 2005. The building on Gorham would be prepared to be moved around the 15th of May with the moving date sometime before June 1.

We are our own contractor. The designer is Jim Vincent and the professional engineer is Richard Severn. Child's Movers will most likely be moving the building.

The house at 421 W Gorham is a single unit with five bedrooms. The intention is to create an apartment with two bedrooms at the lower level upon the construction of the new foundation. There is an existing three unit house with a total of 5 bedrooms on the site currently, as well as a two story commercial building with three apartments on the second floor, which would remain.

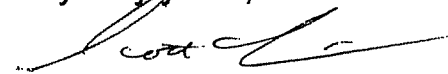
The two buildings combined will have 10,046 square feet of floor space.

Total number of residents will be 18.

The square footage of the site is 8766.

Trash removal will be by city pick up at the curb.

Very truly yours,



Scott Lewis , Scott Lewis Investments

Zoning Text for:

407-411 SOUTH PATERSON STREET
Madison, Wisconsin

Legal Description: The lands subject to this Planned Unit Development District shall include:

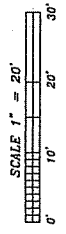
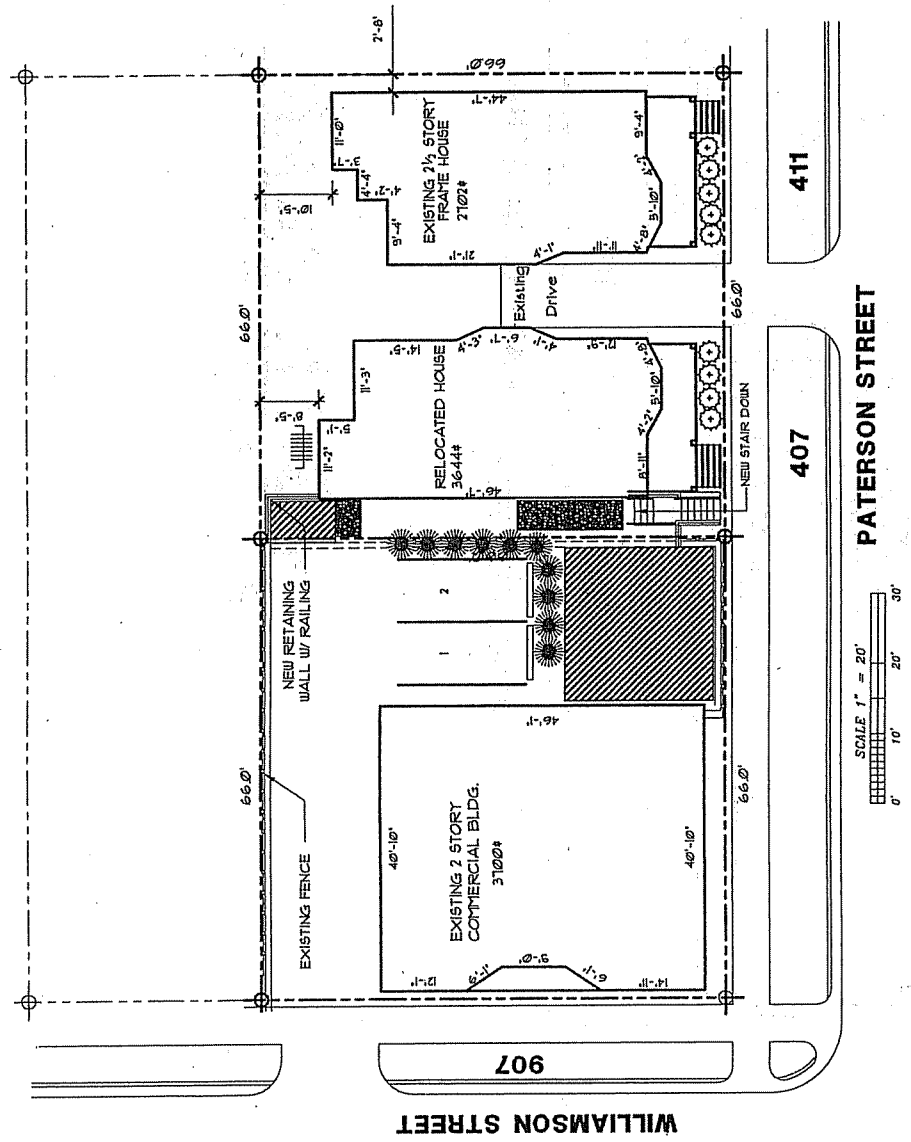
ORIGINAL PLAT, BLK 154, SE 1/2 OF LOT 1 and ORIGINAL PLAT, BLK 154, NW 1/2 OF LOT 1.
ORIGINAL PLAT OF MADISON, according to the recorded plat thereof, in the City of Madison, Dane County,
Wisconsin.

-
- A. *Statement of Purpose:* This zoning district is established to allow for the establishment of
A multi-use property containing a three unit house, a two unit house and a commercial building with three apartments
- B. *Permitted Uses:*
1. Those that are stated as permitted uses in the ^{C-2}HIS-TL zoning district.
 2. Uses accessory to permitted uses listed above.
- C. *Lot Area:* 8766 sq ft
- D. *Floor Area Ratio:*
1. Maximum floor area ratio permitted shall be **6:1**.
 2. Maximum building height shall be THREE stories (37'-6) or as shown on approved plans 53' per city datum.
- E. *Yard Requirements:* Yard areas will be provided as shown on approved plans.
- F. *Landscaping:* Site landscaping will be provided as shown on the approved plans.
- G. *Accessory Off-Street Parking & Loading:* Accessory off-street parking and loading shall be provided as required by Section 28. 11, Madison General Ordinances and as shown on approved plans
- H. *Lighting:* Site lighting will be provided as shown on the approved plans.

- I. *Signage:* Signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared to the P.U.D. district 4, or signage will be provided as approved on the recorded plans.
- J. *Family Definition:* The family definition for this PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the ^{C-2}_{HIS-TL} zoning district.
- K. *Alterations and Revisions:* No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the district Alderperson and are compatible with the concept stated in the underlying General Development Plan approved by the City Plan Commission.

Site Legend

	Existing Major Tree
	Deciduous Tree
	Evergreen Tree, 6-9' height columnar
	Deciduous Shrub
	Evergreen Shrub
	Perennial Bed
	Crushed Aggregate Pavement
	Groundcover
	Decorative Fence
	Masonry Fence Column
	Bicycle Parking
	Concrete Walk



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

HOUSE MOVE FOR SCOTT LEWIS
CAMERON MANAGEMENT INC.
(602) 256-4200

VERN ENGINEERING
Engineering • Building Design • Contract Administration
ENGINEERING CENTER CT, SUITE D MADISON, WI 53711
DNE (608) 270-0085 • FAX (608) 270-0044

Designed by
Jim Vincent

21 SOUTH MIDVALE BLVD.
MADISON, WI 53705
(608) 231-5068 FAX (608) 231-3241

CONCRETE SPECIFICATION

- CONCRETE SHALL BE MIXED USING TYPE I PORTLAND CEMENT AND SAND OR CRUSHED STONE WITH POTABLE WATER TO PROVIDE A WORKABLE MIXTURE AS DESCRIBED TO ACHIEVE THE FOLLOWING 28 DAY STRENGTHS.

USE	70 DAY STRENGTH (PSI)	SUPLY CENTER (IN)	MAX. AGG. (IN)
FOOTINGS	3000	5/8	3/4
WALLS	3000	5/8	3/4
WALLS	3000	5/8	3/4
EXTER. WALLS	3500	5/8	3/4

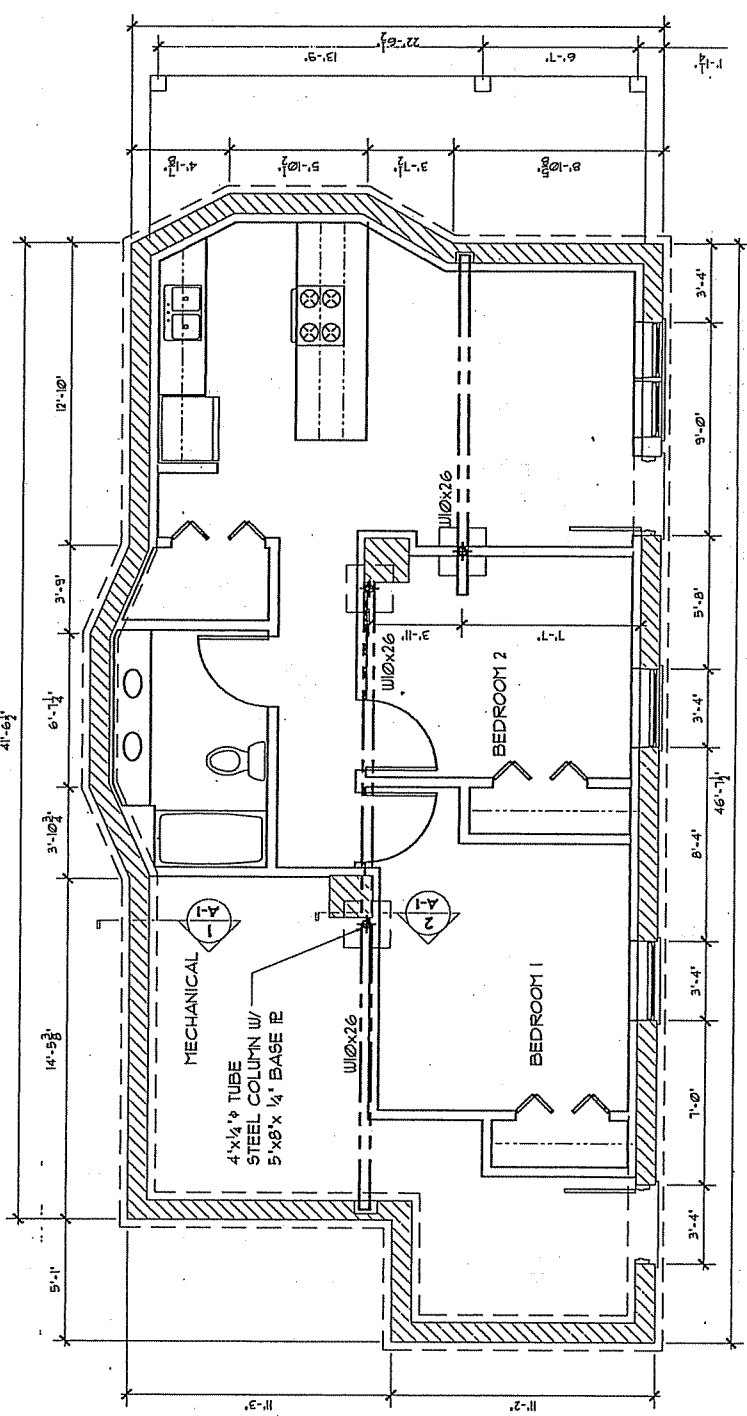
- NO CALCIUM CHLORIDE SHALL BE USED!
- DELIVERY TICKETS FOR EACH LOAD OF CONCRETE DELIVERED TO THE JOB SITE SHALL BE FURNISHED UPON REQUEST OF THE CONTRACTOR. TICKETS SHALL INCLUDE ALL PERTINENT INFORMATION INCLUDING THE PERCENT OF WATER-ADDED AT THE JOB SITE IF ANY.
- FLOOR SLABS SHALL RECEIVE A SMOOTH TROBEL FINISH!
- ONE COAT OF CURING SEALER.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-666, A-667, AND A-668.
- NOTIFY ENGINEER OF ANY UNUSUAL SOIL AND/OR SUBSURFACE CONDITIONS ENCOUNTERED. FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 3000 PSF.
- CONCRETE SHALL BE PROTECTED FROM WEATHER, FOOTING, BOTTOM AND SIPS.
- FLOOR SLAB REINFORCING SHALL BE #4 @ 18" O.C.
- WELDED WIRE MESH CONFORMING TO ASTM A-95.

*Designed by
Wm. Vincent*

SEVERN ENGINEERING
Structural Engineering • Building Design • Contract Administration
6944 ERMINGHAM CENTER CT, SUITE D MADISON, WI 53711
PHONE (608) 270-0063 • FAX (608) 270-0064

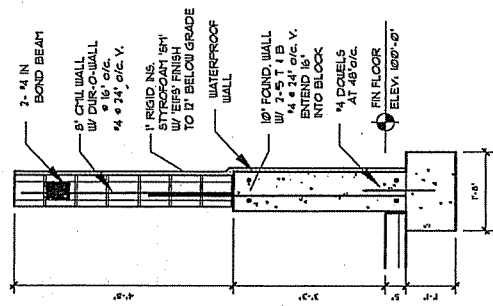
DESIGNED BY:	WV
CHECKED BY:	WV
DRAWING STATUS:	ISSUED
DATE:	11/20/05
PROJECT:	HOUSE MOVE FOR SCOTT LEWIS
REVISION:	
APPROVED:	
DATE:	

DATE: 11/20/05
PROJECT: HOUSE MOVE FOR SCOTT LEWIS
SHEET NUMBER: A-1

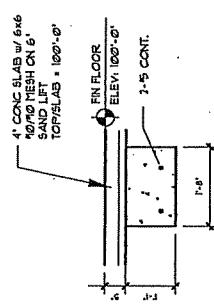


LOWER LEVEL PLAN W/ FOOTINGS

SCALE: 3/16" = 1'-0"



1 FDN WALL SECT.
A-1 3/8" = 1'-0"



2 INT. FTG. SECT.
A-1 3/8" = 1'-0"

**HOUSE MOVE FOR SCOTT LEWIS
KLUND APARTMENT RENTALS**

(608) 222-1881

A-1

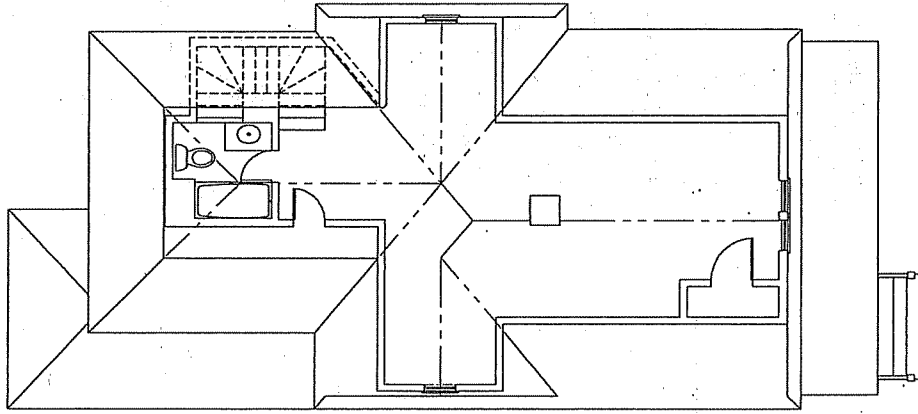
21 SOUTH BRIDGEMAN BLVD.
 FARMINGTON, CT 06030
 (860) 270-1000 FAX (860) 270-0064

Designed by
Van Vincent

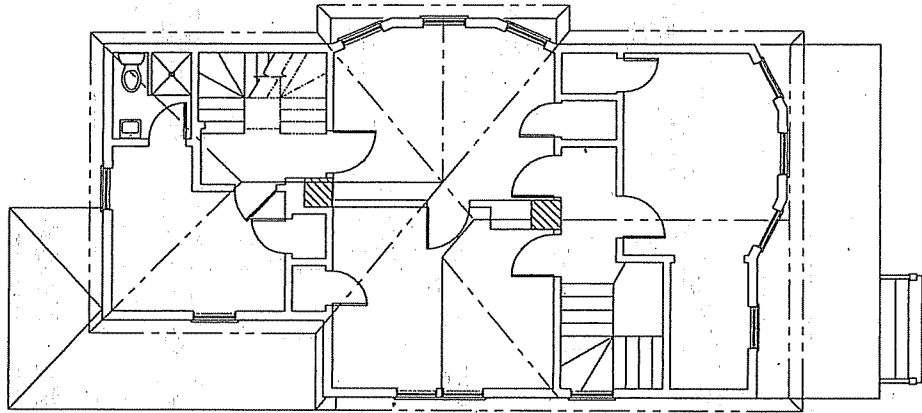
SEVERN ENGINEERING
 Structural Engineering • Building Design • Contract Administration
 6944 SEMPOLE CENTER CT, SUITE D MADISON, WI 53711
 7900 - 0000 • FAX (608) 270 - 0064 • 6944 PHONE (608) 270 - 0063

DATE:	REV:
PROJECT:	NO.:
DESCRIPTION:	DATE:
DESIGNED BY:	CHECKED BY:
DATE:	DATE:
PROJECT:	NO.:
DESCRIPTION:	DATE:
DESIGNED BY:	CHECKED BY:
DATE:	DATE:

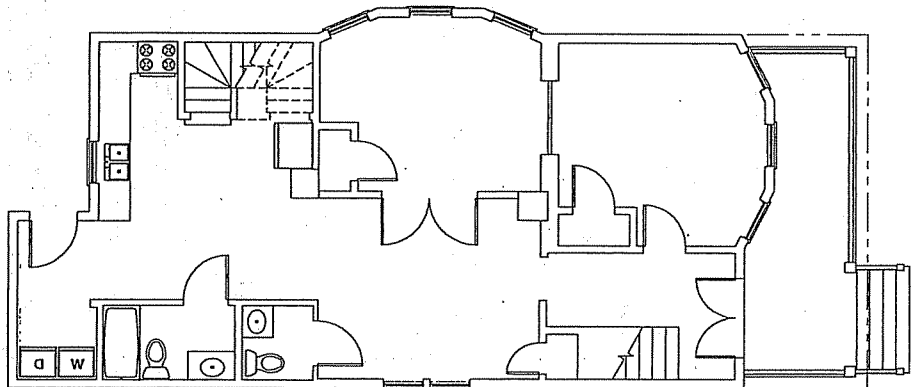
A-2



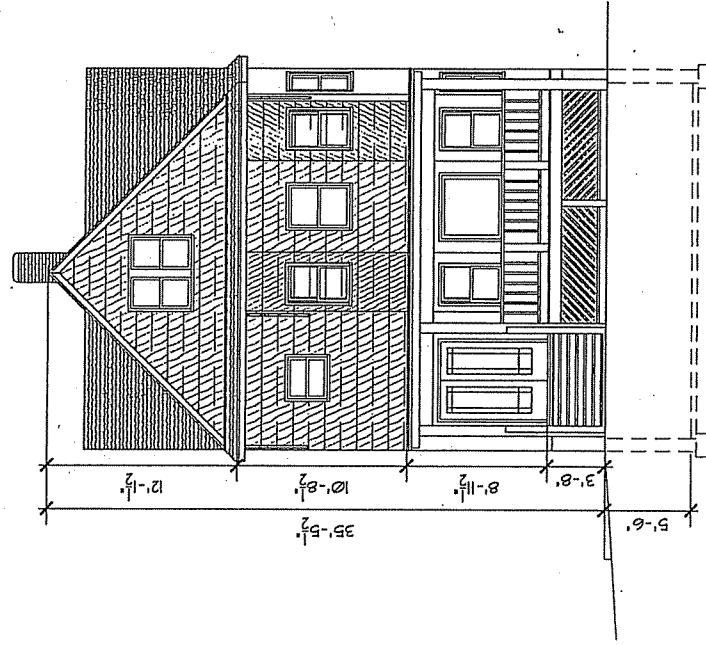
THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

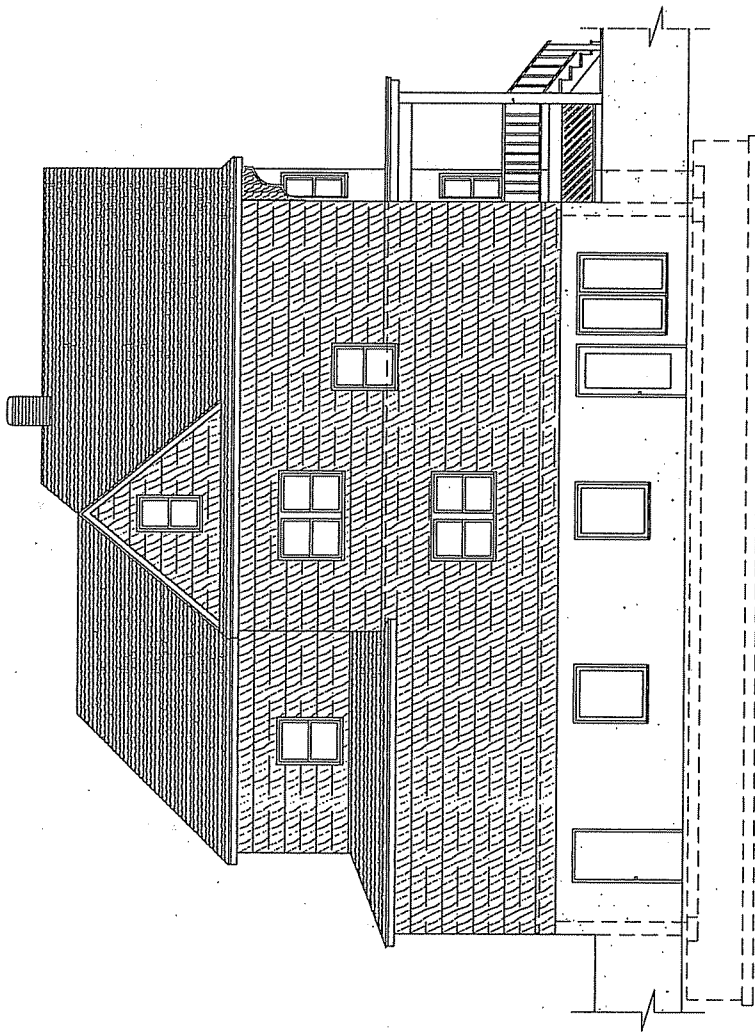


FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



S/W ELEVATION

SCALE: 1" = 8'-0"



N/W ELEVATION

SCALE: 1" = 8'-0"

HOUSE MOVE FOR SCOTT LEWIS
CAMERON MANAGEMENT INC.

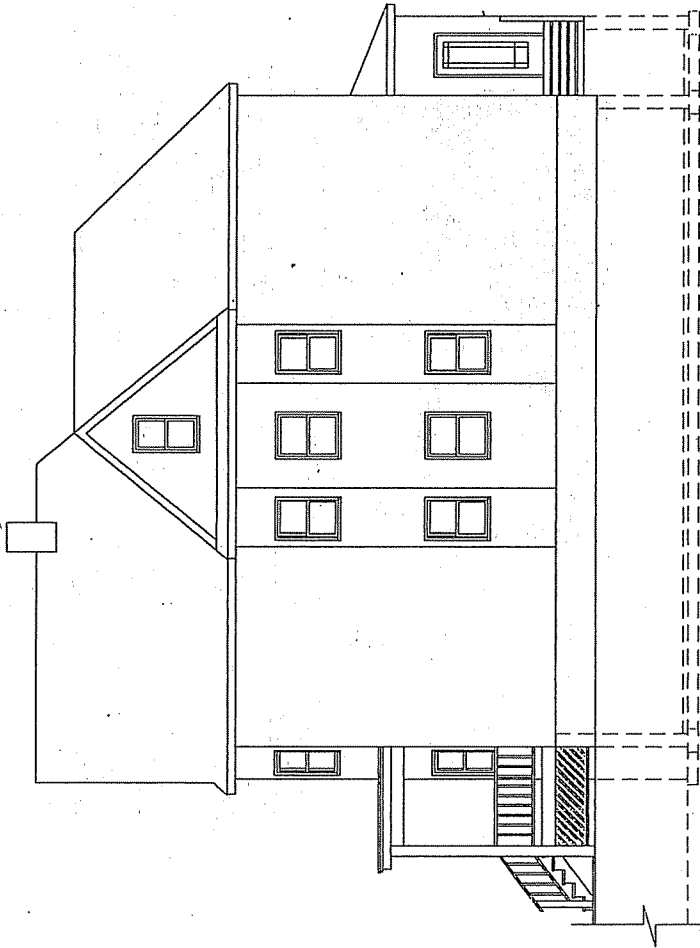
(608) 256-4200

271 SOUTH PEAVALE BLVD.
MADISON, WI 53705
(608) 256-6655 FAX (608) 270-0000

*Designed by
The Weaver*

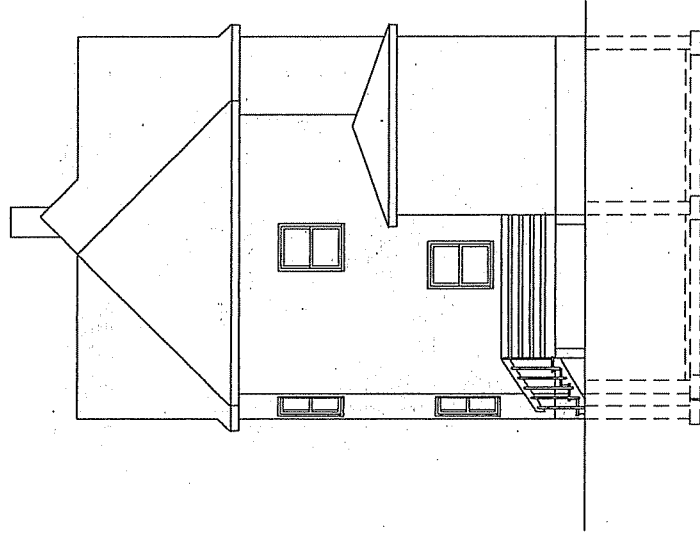
SEVERN ENGINEERING
Structural Engineering • Building Design • Contract Administration
6944 SEMINOLE CENTER CT, SUITE D MADISON, WI 53711
PHONE (608) 270 - 0063 • FAX (608) 270 - 0064

DATE	REV.	BY
PROJ. NO.	DATE	BY
PROGRESS	REVISION	DATE
RESUBMIT	DATE	
CHECKED BY		
APPROVED BY		
SHEET NUMBER		



S/E ELEVATION

SCALE: 1" = 8'-0"



N/E ELEVATION

SCALE: 1" = 8'-0"

HOUSE MOVE FOR SCOTT LEWIS
CAMERON MANAGEMENT INC.

(608) 256-4200

5

DESIGNED BY:	DATE:	FEEL 4, 05
DRAWN BY:	PROJECT NO.:	0210505
CHECKED BY:	SHEET NUMBER:	
APPROVED BY:		
REVISION DATE:		

A-4

SEVERN ENGINEERING
Structural Engineering • Building Design • Contract Administration
8944 SERRAVALLO CENTER CT, SUITE D MADISON, WI 53711
PHONE (608) 270-0063 • FAX (608) 270-0064

*Designed by
Mr. Vincent*
221 SOUTH PEWALE BLVD.
MADISON, WI 53705
TEL: (608) 270-0063 FAX: (608) 270-0064