



# City of Madison

## Conditional Use

Location  
5251 High Crossing Boulevard

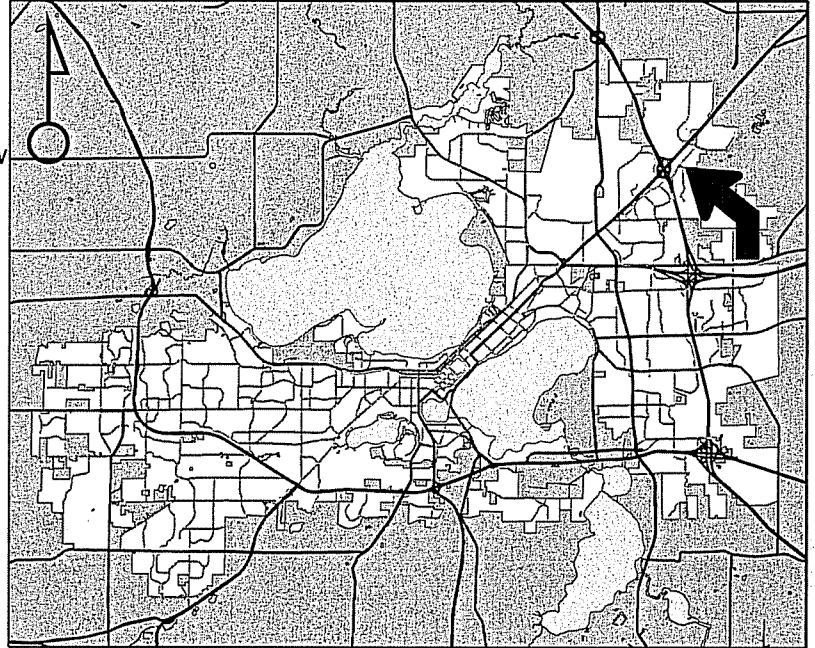
Project Name  
Retail Vehicle Access Sales and Service Window

Applicant  
David Walsh & John Lancaster-Walsh Properties /  
Justin Fraham, ASLA, JSD Professional Services

Existing Use  
Vacant land

Proposed Use  
Construct multi-tenant commercial  
building with vehicle access sales &  
service window

Public Hearing Date  
Plan Commission  
13 June 2016

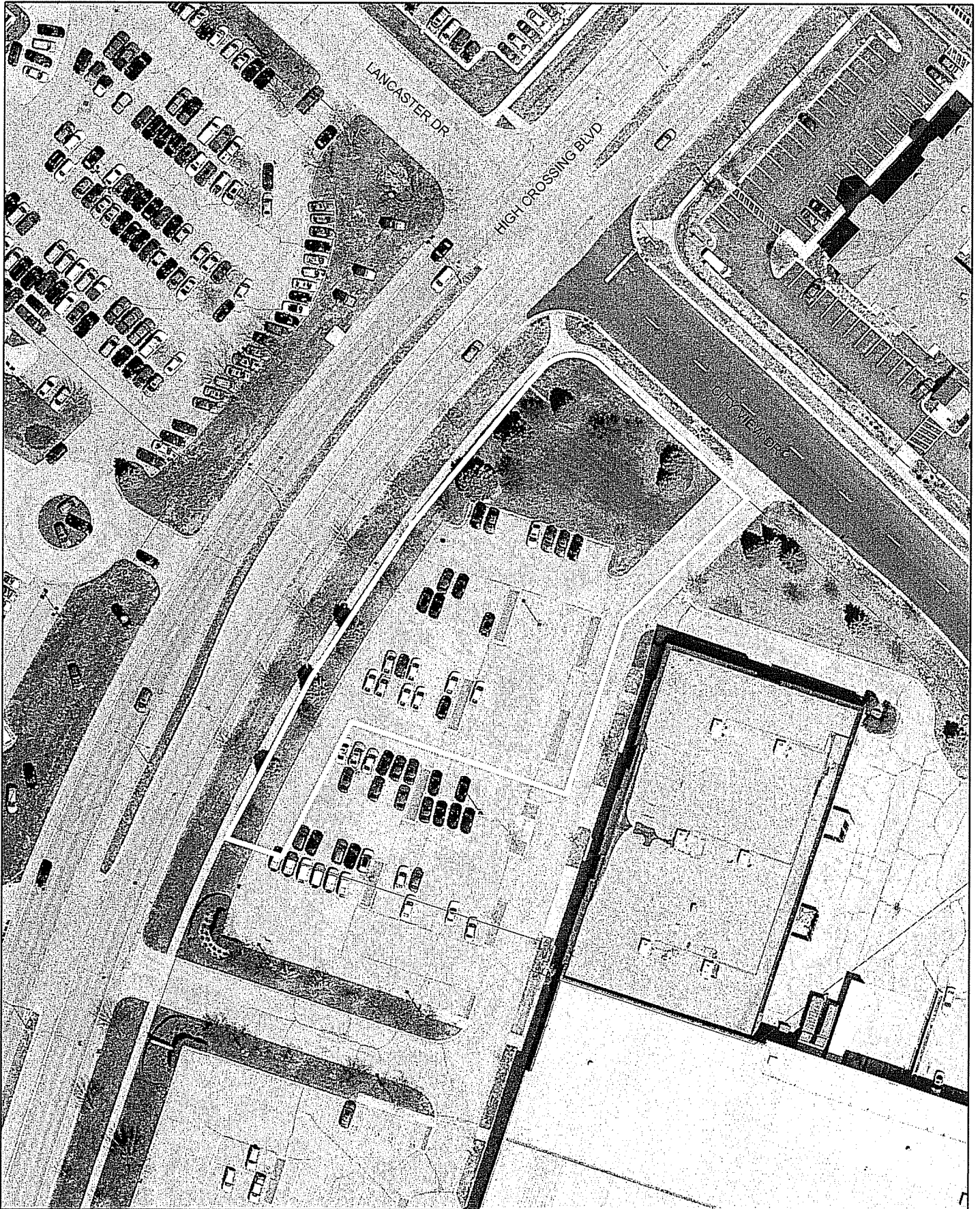


For Questions Contact: Chris Wells at: 261-9135 or cwells@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 06 June 2016





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt. Paid	\$600 Receipt No. 015245-0002
Date Received	4/13/16
Received By	aj
Parcel No.	0810-224-0410-7
Aldermanic District	17-Balden
Zoning District	CC
Special Requirements	EX. CU
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 5251 High Crossing Blvd.  
**Project Title (if any):** High Crossing Blvd. Retail Vehicle Access Sales and Service Window

2. **This is an application for** (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

**Applicant Name:** David Walsh & Jon Lancaster      **Company:** Walsh Properties, LLC  
**Street Address:** PO Box 1497      **City/State:** Madison, WI      **Zip:** 53701  
**Telephone:** (608) 258-4269      **Fax:** ( )      **Email:** dwalsh@foley.com, jonelancaster@gmail.com

**Project Contact Person:** Justin Frahm, ASLA      **Company:** JSD Professional Services, Inc.  
**Street Address:** 161 Horizon Drive Suite 101      **City/State:** Verona, WI      **Zip:** 53593  
**Telephone:** (608) 848-5060      **Fax:** (608) 848-2255      **Email:** justin.frahm@jsdinc.com

**Property Owner (if not applicant):** \_\_\_\_\_  
**Street Address:** \_\_\_\_\_      **City/State:** \_\_\_\_\_      **Zip:** \_\_\_\_\_

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Conditional Use review of incorporation of vehicle access sales and service window for 5251 High Crossing Blvd.

**Development Schedule:** Commencement December 2015      Completion July 2016

**5. Required Submittal Information**

All Land Use applications are required to include the following:

**Project Plans including:\***

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

**6. Applicant Declarations**

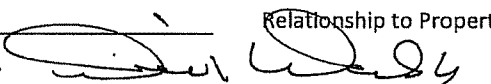
**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Samba Baldeh, District 17 - Waiver of 30-day notice attached

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: 04/09/15 Zoning Staff: Matt Tucker Date: 03/31/16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant David Walsh Relationship to Property: Owner  
Authorizing Signature of Property Owner  Date 04/12/16



# 5251 HIGH CROSSING BOULEVARD COMMERCIAL OUTLET DEVELOPMENT

MADISON, WI 53718

## DRAWING INDEX

SHEET NO.	TITLE
TS1	TITLE SHEET
C0.1	DEMOLITION PLAN
C1.0	SITE PLAN
C2.0	GRADING & EROSION CONTROL PLAN
C3.0	UTILITY PLAN
C4.0	SITE DETAILS
C4.1	EROSION CONTROL & UTILITY DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS, NOTES & SPECIFICATIONS



PROJECT AREA  
N.T.S.



**JSD Professional Services, Inc.**  
• Engineers • Surveyors • Planners

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608.848.5060 PHONE | 608.848.2255 FAX

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KENOSHA | APPLETON  
www.jsdinc.com

SERVICES PROVIDED TO:  
**WALSH  
PROPERTIES, LLC.**

P.O. BOX 1497  
MADISON, WI 53701

PROJECT:  
**5251 HIGH CROSSING  
BLVD**

PROJECT LOCATION:  
CITY OF MADISON  
DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	PGB	05/22/2015
DRAWN:	PGB	06/22/2015
APPROVED:	BHD	06/23/2015

PLAN MODIFICATIONS:	DATE:
UDC INITIAL - FINAL	05/27/2015
UDC INITIAL - FINAL RESUBMITTAL	06/24/2015
UDC FINAL SUBMITTAL	08/26/2015
SITE PLAN VERIFICATION	08/25/2015
REVISIONS PER COM	11/02/2015
LAND USE UPDATE	05/03/2016

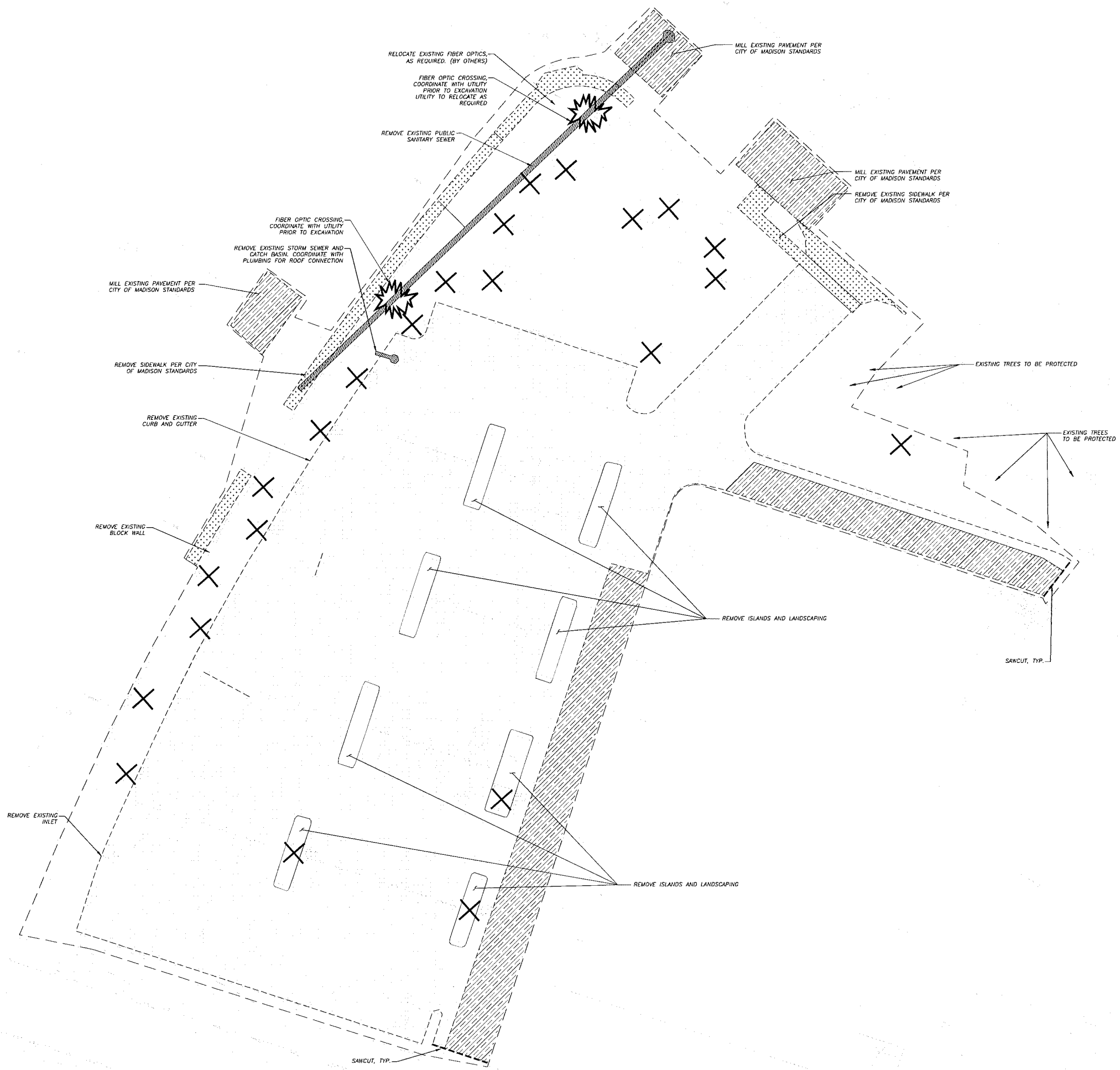
**DIGGERS HOTLINE**

Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

SHEET TITLE:  
**DEMOLITION  
PLAN**

SHEET NUMBER:  
**C0.1**

File: I:\2015\156792\DWG\15-6792\_Construction\_Documents.dwg Layout: C0.1 - Dump Plan User: dmw@jtd.com Plot Date: May 04, 2015 - 4:51pm Xref(s):



**LEGEND (PROPOSED)**

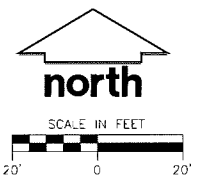
---	PROPERTY LINE
- - - -	LIMITS OF DISTURBANCE
---	SAWCUT
---	ASPHALT/BASE REMOVAL
---	CONCRETE/BASE REMOVAL
---	MILLING ASPHALT
---	UTILITY REMOVAL
X	REMOVE / RELOCATE TREE

**GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON APRIL 27TH & 28TH 2015, BY JSD FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDJR WRAPP PERMIT APPLICATION STANDARDS.

**DEMOLITION NOTES**

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY, RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS. THE OWNER WILL PROVIDE ENVIRONMENTAL DOCUMENTATION AVAILABLE. THIS CONTRACTOR SHALL SUBMIT THE RECYCLING PLAN PER CITY OF MADISON REQUIREMENTS.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL THIS INCLUDES CURB & CUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- THIS SITE IS PART OF A PARCEL THAT HAS IDENTIFIED IN THE BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRIS) 03-13-553975. SEE ENVIRONMENTAL DOCUMENTS PROVIDED BY THE OWNER FOR SPECIFIC REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE UTILITY RELOCATES WITH AFFECTED UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A REUSE AND RECYCLING PLAN IN ACCORDANCE WITH THE CITY OF MADISON ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SANITARY SEWER BY-PASS PUMPING WHILE THE PUBLIC SANITARY SEWER IS BEING REROUTED.
- EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- REMOVE AND REPLACE 3 NEW STREET TREES IN KIND.
- THE CONTRACTOR SHALL CONTACT BRIAN MEYER OF CITY FORESTRY TO MEET ON SITE BEFORE THEY START WORKING NEAR THE TREES. AN ON-SITE MEETING WILL BE REQUIRED PRIOR TO REMOVAL OF ANY TERRACE TREES. ALL REMOVALS SHALL REQUIRE APPROVAL OF CITY FORESTRY PRIOR TO THE WORK BEING DONE. CONTACT BRIAN AT (608) 444-2673 OR (608)266-4890.



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SERVICES PROVIDED TO:  
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P.O. BOX 1497  
 MADISON, WI 53701

PROJECT:  
**5251 HIGH CROSSING BLVD**

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO: 15-6792

SEAL/SIGNATURE:

DESIGN:	PGB	06/22/2015
DRAWN:	PGB	06/22/2015
APPROVED:	BHD	06/23/2015

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DATE	DATE
UDC INITIAL - FINAL	05/27/2015
UDC INITIAL - FINAL RESUBMITTAL	06/24/2015
UDC FINAL SUBMITTAL	08/26/2015
SITE PLAN VERIFICATION	09/25/2015
REVISIONS PER COM	11/02/2015
REVISIONS PER NEW TREES	11/23/2015
ISSUED FOR CONSTRUCTION	12/21/2015

**DIGGERS HOTLINE**

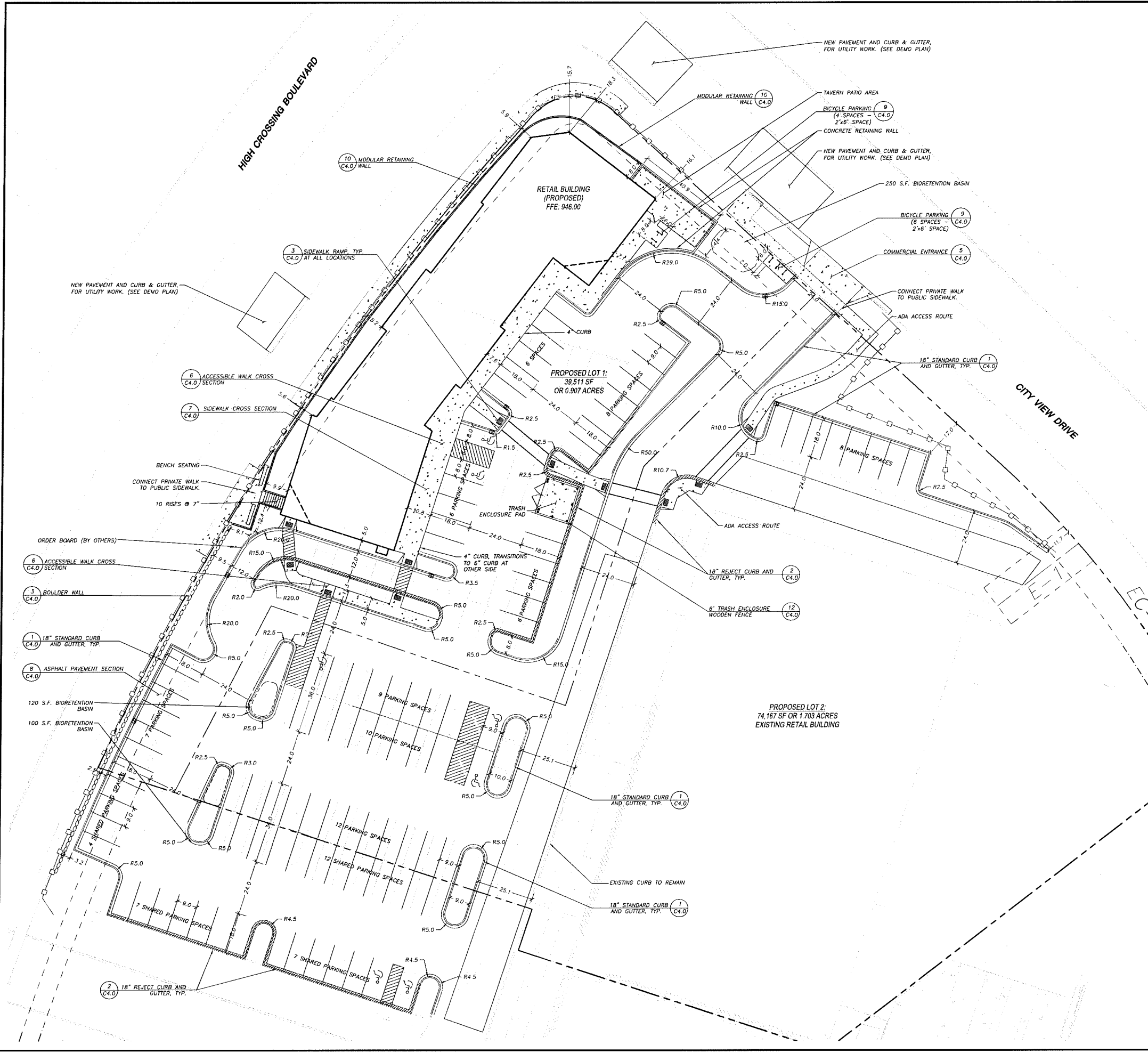
Toll Free (800) 242-8511  
 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersHotline.com

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C0.1**

THESE PLANS AND DESIGNS ARE COPYRIGHTED AND MAY NOT BE REPRODUCED OR USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2015\56792\DWG\15-6792 Construction Documents.dwg Layout: C1.0 - Site Plan User: akamwaski Plotted: May 10, 2016 - 9:38am Ver: 1



**LEGEND (PROPOSED)**

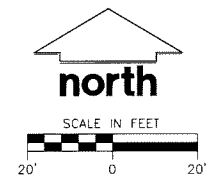
---	PROPERTY LINE
- - -	LOT LINE
- - - -	EASEMENT LINE
---	PROPOSED BUILDING OUTLINE
---	EDGE OF PAVEMENT
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	NEW ASPHALT SURFACE AT MILLED AREA
---	18" STANDARD CURB AND GUTTER
---	18" REJECT CURB AND GUTTER
---	STONE RETAINING WALL
---	MODULAR BLOCK RETAINING WALL

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- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL RADII TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL PRIVATE CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
  - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-260V CONCRETE SEALANT.
  - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
  - BIKE RACKS SHALL BE LOCATED ON A 4" THICK CONCRETE PAD OVER 4" OF AGGREGATE BASE. EACH BIKE PARKING STALL SHALL BE AT LEAST 2'x6'. BIKE RACK SHALL BE APPROVED BY OWNER AND INSTALLED INTEGRAL TO THE CONCRETE PAD.
  - DETAILS OF WALK LAYOUT WILL BE PROVIDED IN ELECTRONIC FORMAT FOR LAYOUT.
  - SEE LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE OF SPECIAL GARDEN AREAS AS NOTED.
  - PROJECT SUBJECT TO A CROSS ACCESS AGREEMENT TO BE RECORDED.

**SITE INFORMATION BLOCK**

Site Location	Madison, WI
Existing Site Acreage (Total)	2.61 ACRES
Disturbed Area	74,220 S.F.
Existing Site Zoning	CC
Proposed use of property: (Proposed Lot 1 & Lot 2)	COMMERCIAL - COMMERCIAL CENTER (CC)
<b>Building Information:</b>	
Number of stories (above grade)	1
Building height	16'
Total square footage of building	9,745 S.F.
<b>Number of surface parking stalls (Lot 1 &amp; 2 Combined):</b>	
Large car	72
Accessible (included in Large car count)	5
<b>Number of shared parking stalls:</b>	
(per agreement with adjacent lot to south)	
Large car	30
Accessible (included in Large car count)	2
<b>Number of bicycle stalls shown:</b>	
Existing Impervious Surface Area (LOT 1)	22,268 S.F.
Existing Pervious Surface Area (LOT 1)	17,243 S.F.
Existing Impervious Surface Area Ratio (LOT 1)	0.564
Proposed Impervious Surface Area (LOT 1)	33,088 S.F.
Proposed Pervious Surface Area (LOT 1)	6,423 S.F.
Proposed Impervious Surface Area Ratio (LOT 1)	0.837
Usable Open Space (LOT 1)	6,423 S.F.
Existing Impervious Surface Area (LOT 2)	61,443 S.F.
Existing Pervious Surface Area (LOT 2)	12,724 S.F.
Existing Impervious Surface Area Ratio (LOT 2)	0.828
Proposed Impervious Surface Area (LOT 2)	63,372 S.F.
Proposed Pervious Surface Area (LOT 2)	10,795 S.F.
Proposed Impervious Surface Area Ratio (LOT 2)	0.850
Usable Open Space (LOT 2)	10,795 S.F.



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**DIGGERS HOTLINE**

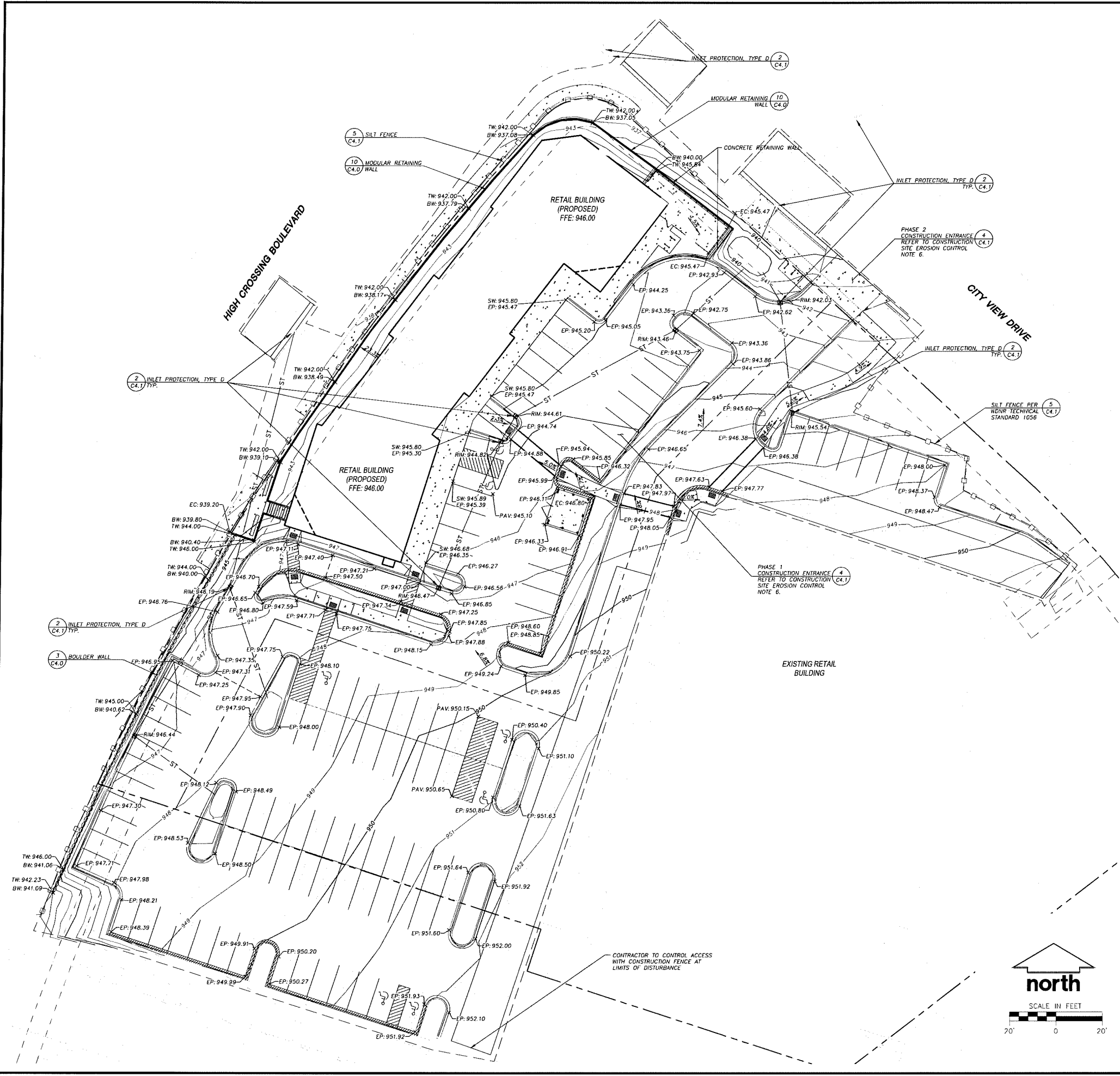
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SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C1.0**

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Fig. 1: 2015156792.DWG 15-6792 Construction Documents.dwg Layout: C2.0 - C&EC Plan User: acanewskl Plotfile: May\_04\_2016 - 4:51pm Xref's:



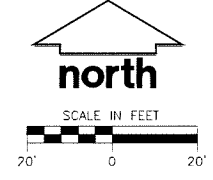
**LEGEND (PROPOSED)**

---	PROPERTY LINE
---	LOT LINE
---	PROPOSED BUILDING OUTLINE
---	LIMITS OF DISTURBANCE
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	PAVEMENT BREAKLINE
---	EDGE OF PAVEMENT
---	SILT FENCE
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	18" STANDARD CURB AND GUTTER
---	18" REJECT CURB & GUTTER
---	STONE RETAINING WALL
---	MODULAR BLOCK RETAINING WALL
---	SPOT ELEVATION
---	BW = BOTTOM OF WALL
---	EP = EDGE OF PAVEMENT
---	EC = EDGE OF CONCRETE
---	PAV = PAVEMENT SURFACE
---	RIM = RIM ELEVATION
---	SW = TOP OF SIDEWALK
---	TW = TOP OF WALL

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON APRIL 27TH & 28TH 2015, BY JSD FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR WRAPP PERMIT APPLICATION STANDARDS.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/Stormwater/techstds.htm>
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE MUNICIPALITY.
  - INSTALL EROSION CONTROLS ON THE DOWNSIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
  - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
  - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
    - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
    - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1081 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
  - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
  - ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WOOD APPROVED POLYMER SOL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROTECT SHOULDER FOR APPROVED SLOPES 1:1 (33%) SHALL BE STABILIZED AS SOON AS PRACTICABLE FOLLOWING GRADING ACTIVITIES ARE COMPLETE.
  - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WISCONSIN SAFETY AND PROFESSIONAL SERVICES REQUIREMENTS.
  - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS REFER TO WDNR TECHNICAL STANDARD 1068.
  - CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM FILTERING THE STORM SEWER SYSTEM.
  - ALL APRON ENDWALLS SHALL BE PROVIDED WITH RIP RAP PER DETAILS.
  - PHASE 1 - BUILDING CONSTRUCTION  
PHASE 2 - PARKING LOT IMPROVEMENTS

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
  - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
  - CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
  - CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
  - CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
  - IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
  - ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. ALL SLOPES 33% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM AS SOON AS PRACTICABLE.
  - WATER FLOWING DIRECTLY INTO BIOTRENTION BASINS OR RAIN GARDENS SHALL BE TEMPORARILY DIVERTED FOR 60 DAYS TO ALLOW FOR PLANTING GROWTH.



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SERVICES PROVIDED TO:  
**WALSH PROPERTIES, LLC.**

P.O. BOX 1497  
 MADISON, WI 53701

PROJECT:  
**5251 HIGH CROSSING BLVD**

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	PGB	06/22/2015
DRAWN:	PGB	06/22/2015
APPROVED:	BHD	06/23/2015
PLAN MODIFICATIONS:	DATE:	
UOC INITIAL - FINAL		05/27/2015
UOC INITIAL - FINAL RESUBMITTAL		06/24/2015
UOC FINAL SUBMITTAL		08/26/2015
SITE PLAN VERIFICATION		08/25/2015
REVISIONS PER COM - ENG		10/15/2015
REVISIONS PER COM - ENV		11/02/2015
REVISIONS PER COM COMMENTS		11/20/2015
LAND USE RESUBMITTAL		04/13/2016
LAND USE UPDATE		05/04/2016

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SHEET TITLE:  
**GRADING AND EROSION CONTROL PLAN**

SHEET NUMBER:  
**C2.0**

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REVISIONS PER COM - ENG	11/02/2015
REVISION PER COM COMMENTS	11/20/2015
REVISIONS PER COM - ENG	12/03/2015
LAND USE RESUBMITTAL	04/13/2016
LAND USE UPDATE	05/04/2016

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SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**C3.0**

**LEGEND (PROPOSED)**

- PROPERTY LINE
- LOT LINE
- BUILDING FIRST FLOOR
- EDGE OF PAVEMENT
- ST --- STORM SEWER
- SAN --- SANITARY SEWER
- WATER SERVICE
- STORM SEWER (BY OTHERS)
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 18" STANDARD CURB AND GUTTER
- 18" RECT. CURB & GUTTER
- STONE RETAINING WALL
- MODULAR BLOCK RETAINING WALL
- BIORETENTION POND

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**UTILITY NOTES**

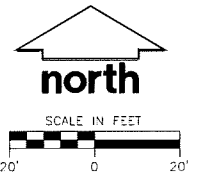
- ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MADISON STANDARD CONSTRUCTION SPECIFICATIONS (STANDARD SPECIFICATIONS).
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- PROVIDE DE-WATERING ACTIVITIES AND PERMITS AS NECESSARY PER WDMR REQUIREMENTS AND WDMR TECHNICAL STANDARD 1061.
- ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WSPS, AND WDMR.
- BEFORE CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND IDENTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- OPEN PICK HOLES IN SANITARY MANHOLE CASTING HOLES ARE PROHIBITED.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 384.40-8 INCLUDING AT LEAST 8" OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

**PROPOSED STORM SEWER PIPE SCHEDULE**

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	STMCB NO 1	STMCB NO 2	75.90	942.66	940.00	3.50%	8" PVC
P-2	STMCB NO 2	EXIST INL	112.56	936.13	930.50	5.00%	10" PVC
P-3	STMCB NO 3	STMCB NO 3A	63.30	942.02	940.75	2.00%	8" HDPE
P-3A	STMCB NO 3	STMCB NO 4	11.90	940.73	940.63	1.00%	8" HDPE
P-4	STMCB NO 4	STMCB NO 5	78.82	940.59	939.80	1.00%	8" HDPE
P-5	STMCB NO 5	BIORETENTION	38.90	938.79	939.50	0.75%	10" HDPE
P-6	STMCB NO 6	STMCB NO 7	46.80	941.15	939.75	3.00%	8" HDPE
P-7	STMCB NO 7	BIORETENTION	15.00	939.54	939.50	0.25%	8" PVC
P-8	BIORETENTION	EXIST INL	19.80	934.99	934.00	5.00%	8" PVC
P-9	BIORETENTION	STMCB NO 1	42.50	944.94	943.93	2.25%	8" PVC
P-10	BIORETENTION	STMCB NO 2	50.71	944.44	942.41	4.00%	6" PVC

**PROPOSED STORM SEWER STRUCTURES SCHEDULE**

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
STMCB NO. 1	942.66	946.44	3.78	48" DIA MANHOLE W/3' SUMP	R-3067, INLET FRAME, TYPE R GRATE
STMCB NO. 2	936.13	946.19	10.06	48" DIA MANHOLE W/3' SUMP	R-3067, INLET FRAME, TYPE R GRATE
STMCB NO. 3	942.02	946.47	4.45	2'x3' BOX	R-3067, INLET FRAME, TYPE R GRATE
STMCB NO. 3A	940.73	944.82	4.09	2'x3' BOX	R-3067, INLET FRAME, TYPE R GRATE
STMCB NO. 4	940.59	944.60	4.01	2'x3' BOX	R-3067, INLET FRAME, TYPE R GRATE
STMCB NO. 5	939.79	943.46	3.67	48" DIA MANHOLE W/3' SUMP	R-3067, INLET FRAME, TYPE R GRATE
STMCB NO. 6	941.15	945.06	3.91	2'x3' BOX	R-3067, INLET FRAME, TYPE R GRATE
STMCB NO. 7	939.54	941.93	2.39	48" DIA MANHOLE W/3' SUMP	R-3067, INLET FRAME, TYPE R GRATE



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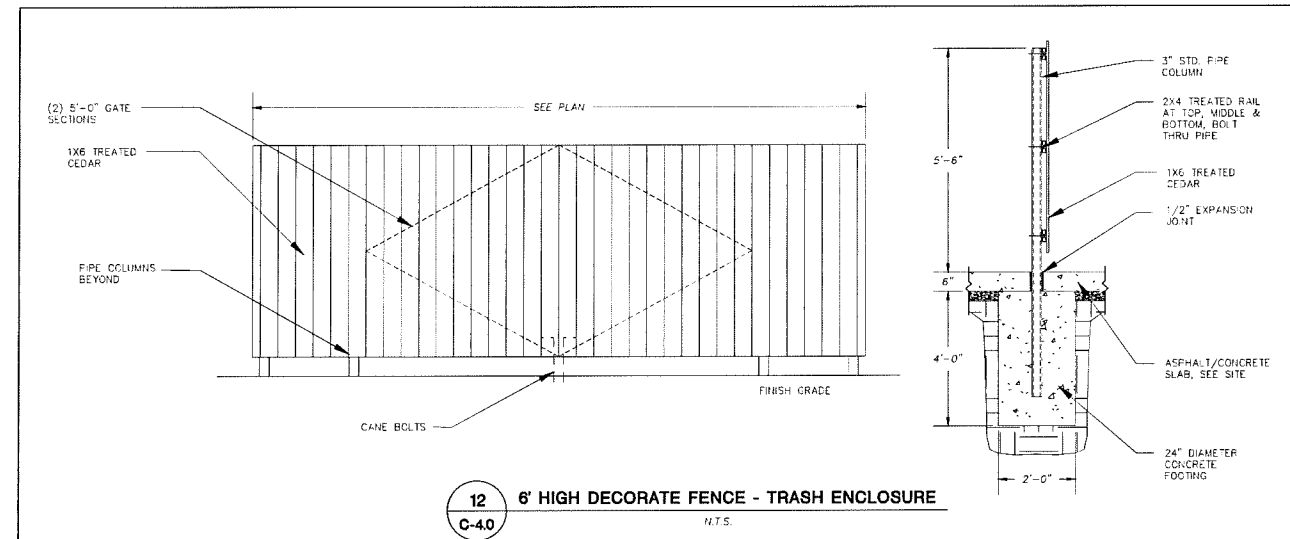
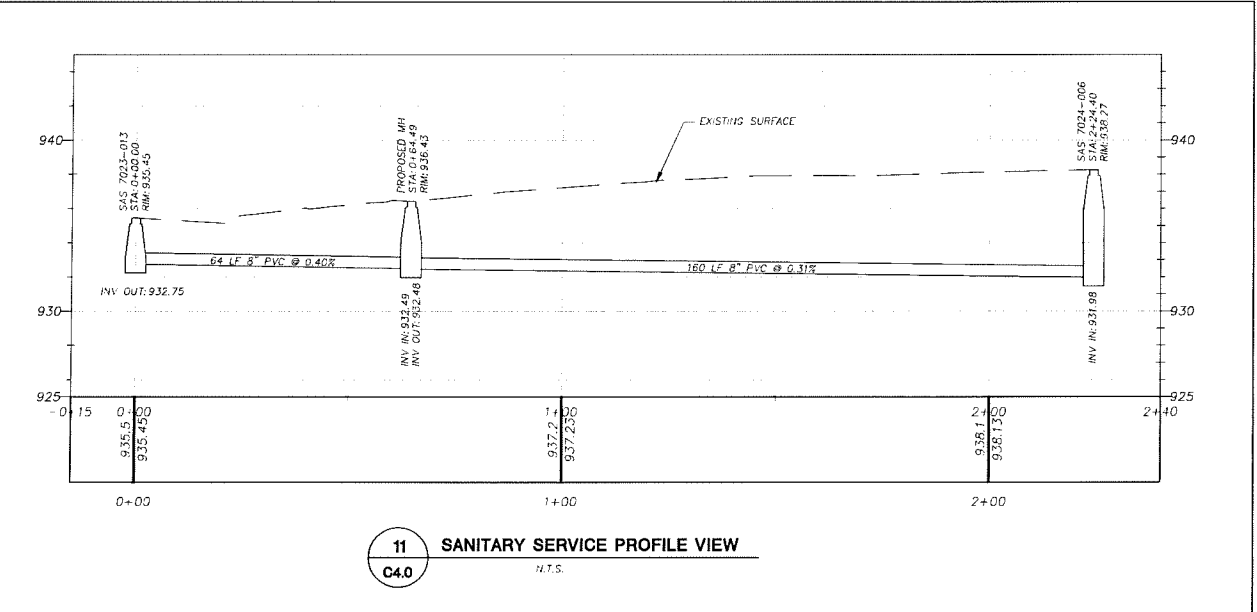
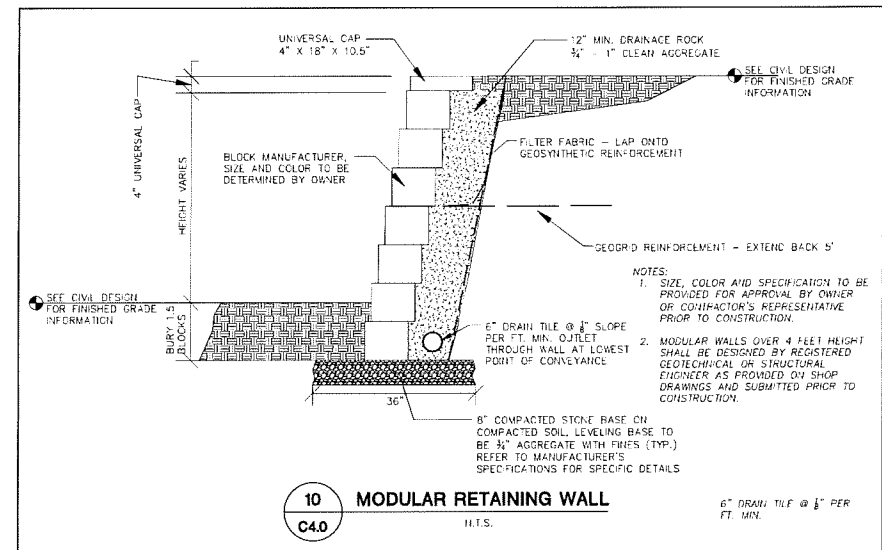
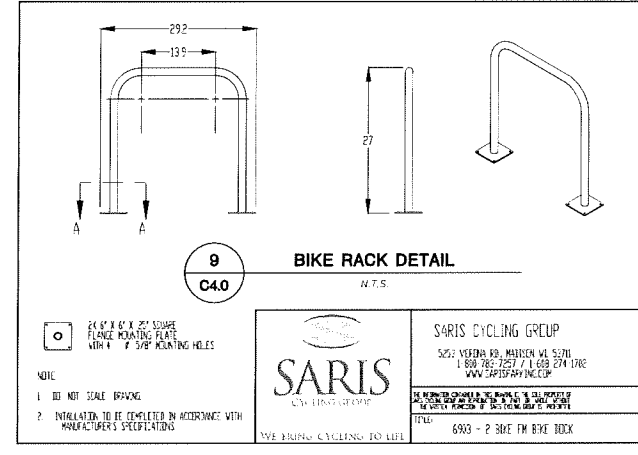
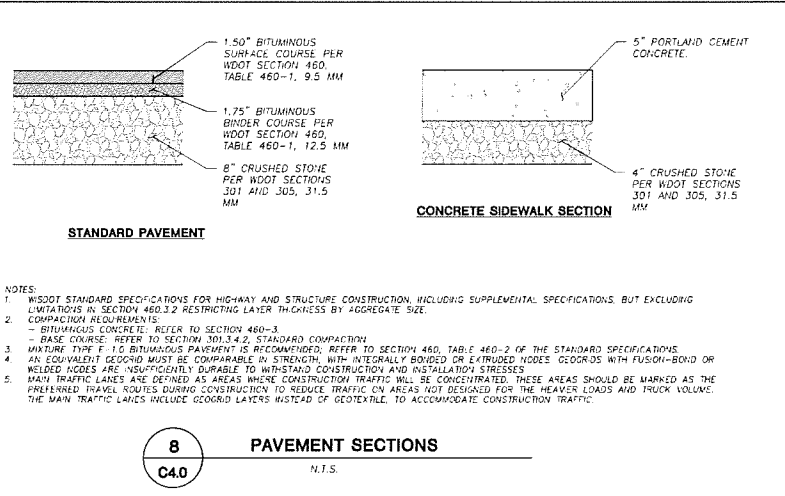
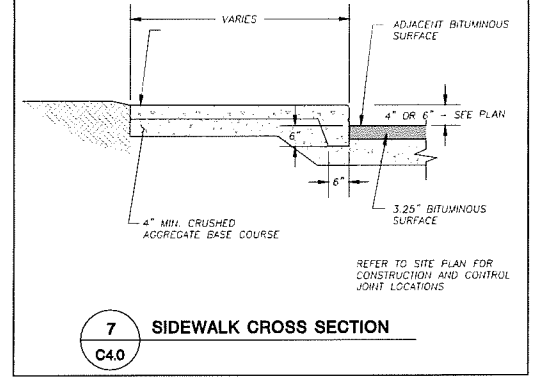
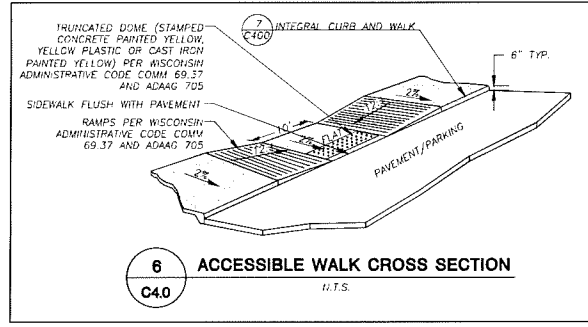
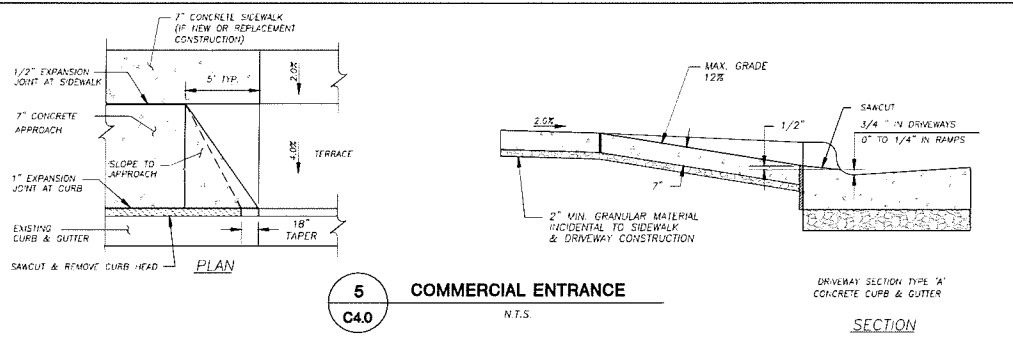
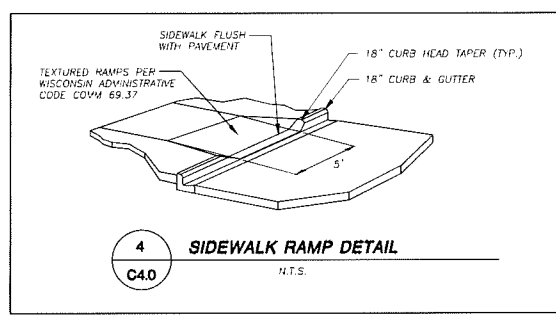
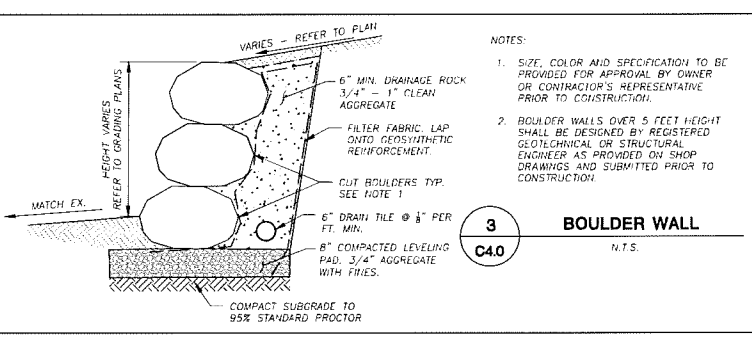
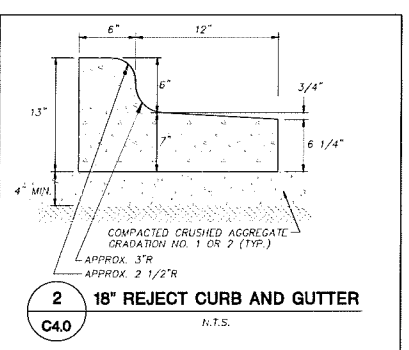
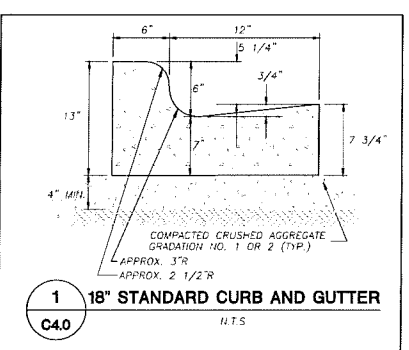
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DRAWN:	PGB	06/22/2015
APPROVED:	BHD	06/23/2015
<b>PLAN MODIFICATIONS:</b>		
UOC INITIAL - FINAL		05/27/2015
UOC INITIAL - FINAL RESUBMITTAL		05/24/2015
UOC FINAL SUBMITTAL		05/26/2015
SITE PLAN VERIFICATION		09/25/2015
REVISIONS PER COM		11/02/2015
REVISIONS PER COM COMMENTS		11/20/2015
ISSUED FOR CONSTRUCTION		12/21/2015

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 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
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SHEET TITLE:  
**SITE DETAILS**

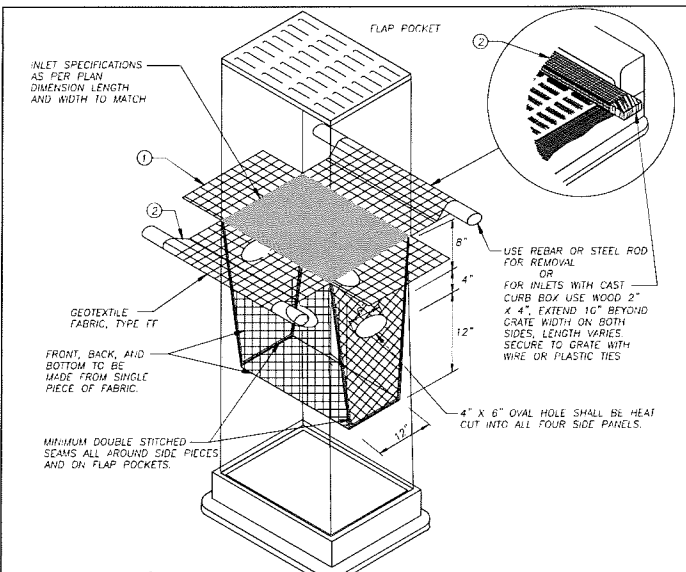
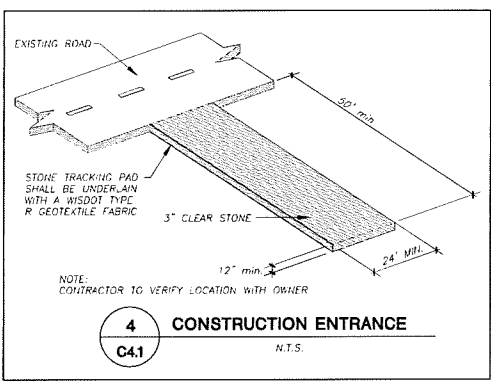
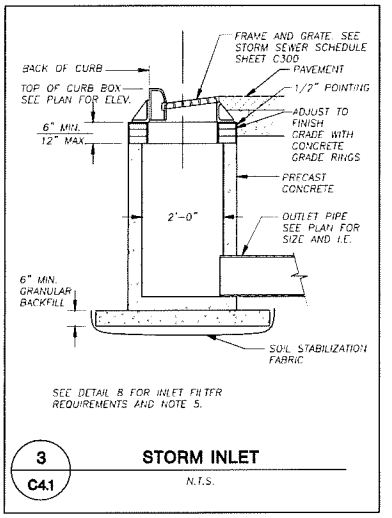
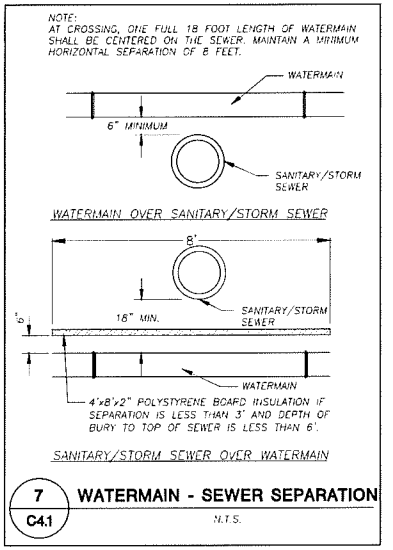
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DESIGN:	PGB	06/22/2015
DRAWN:	PGB	06/22/2015
APPROVED:	BHD	06/23/2015
<b>PLAN MODIFICATIONS:</b>		
LOC INITIAL - FINAL		05/27/2015
LOC INITIAL - FINAL RESUBMITTAL		05/24/2015
LOC FINAL SUBMITTAL		05/26/2015
SITE PLAN VERIFICATION		05/25/2015
REVISIONS PER COM		10/15/2015
REVISIONS PER COM - ENG		12/03/2015
ISSUED FOR CONSTRUCTION		12/21/2015



**GENERAL NOTES**  
 INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.  
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

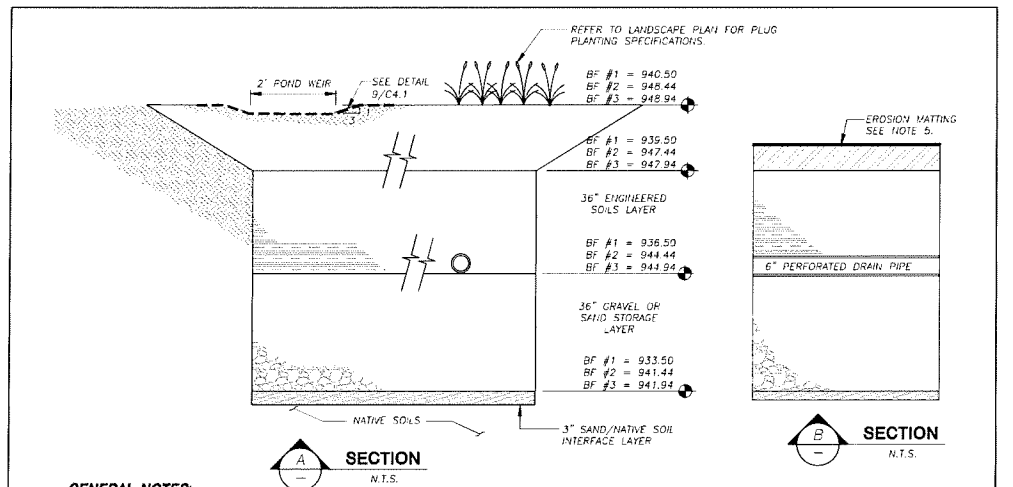
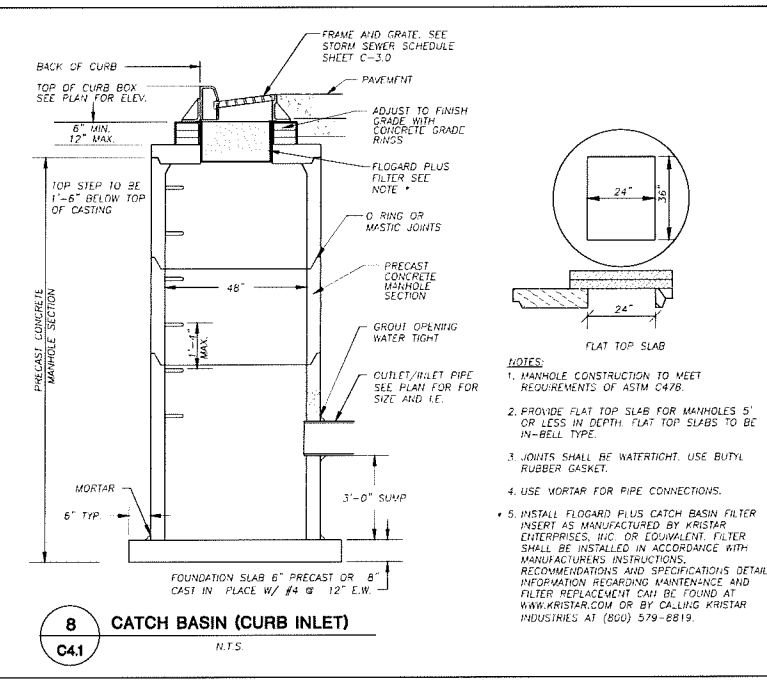
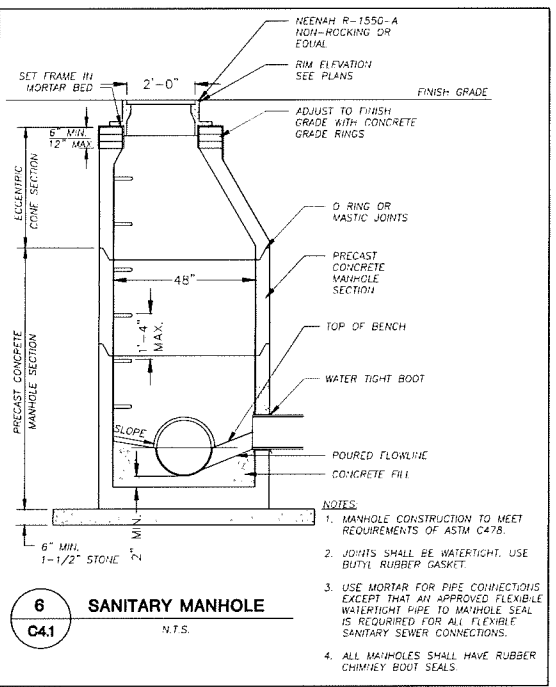
1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

2 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

**INSTALLATION NOTES**  
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3" WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

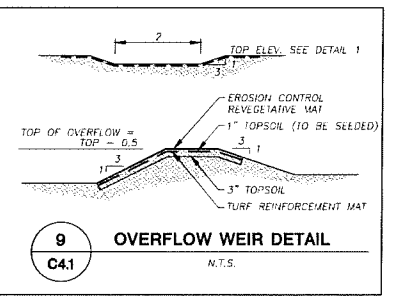
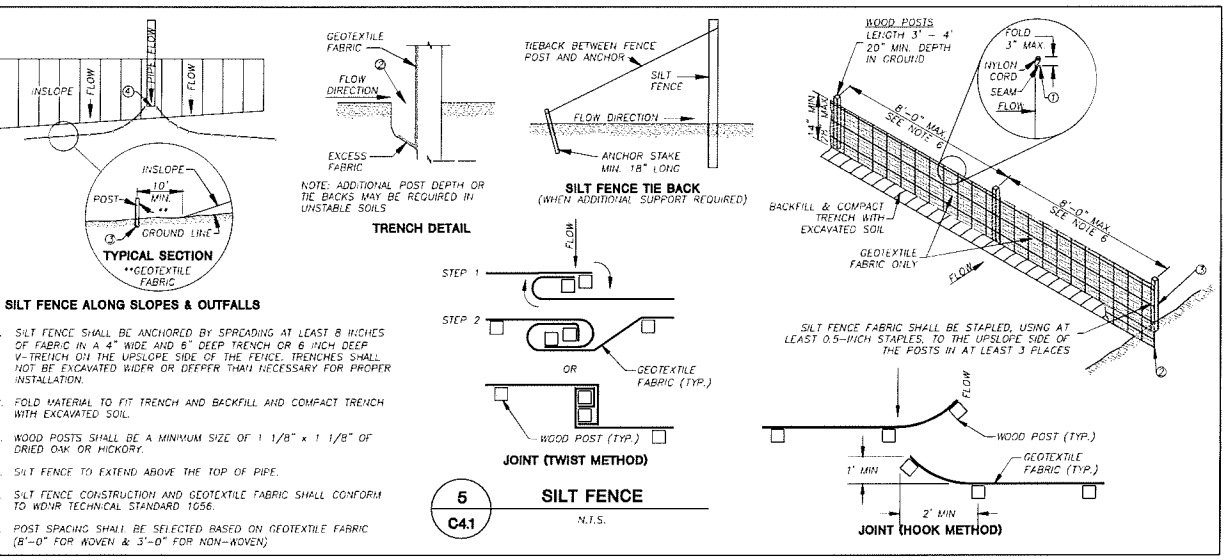


**GENERAL NOTES:**

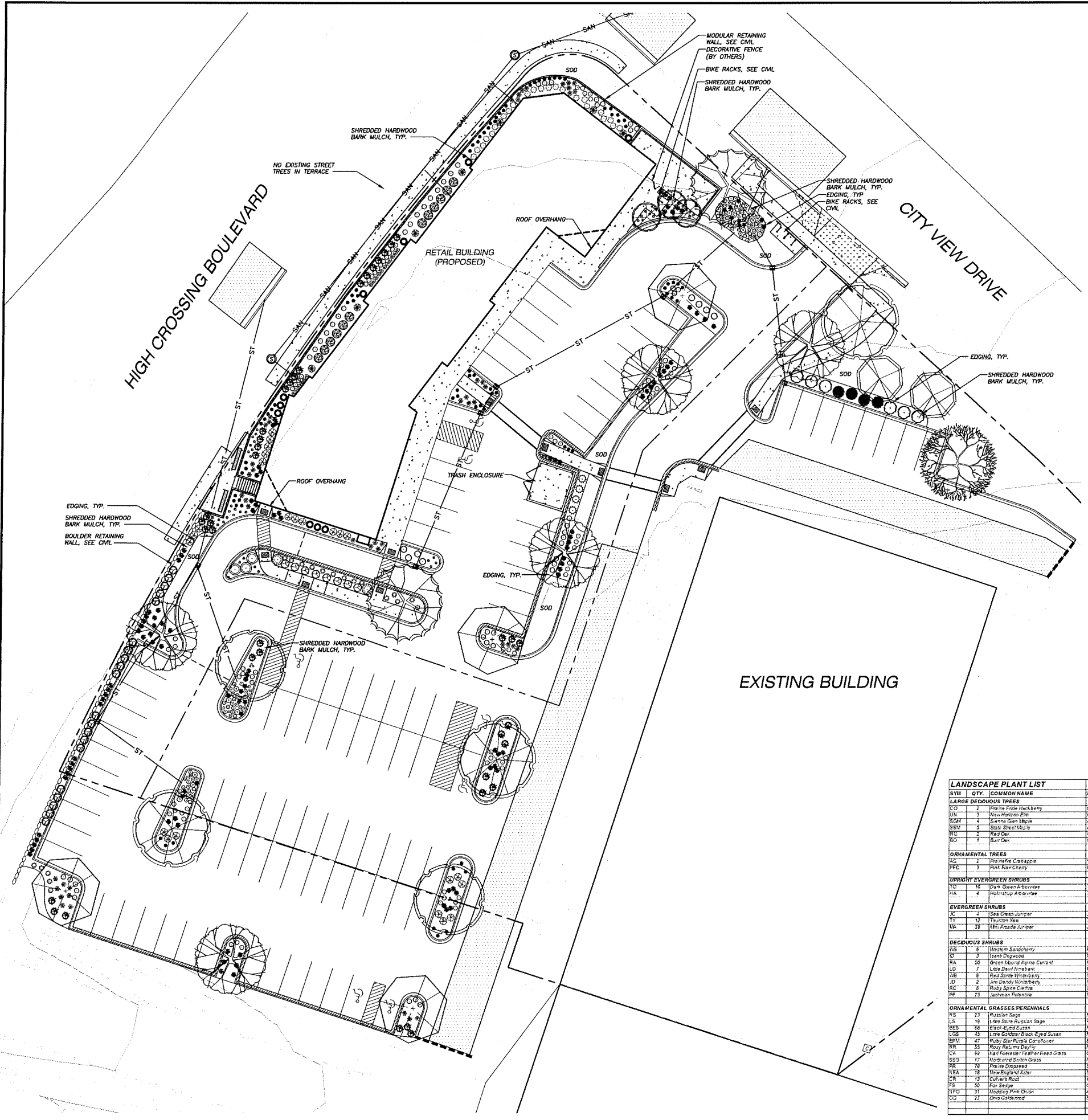
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
- CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL CONSISTING OF: 85% ASTM C33 SAND AND 15% CERTIFIED COMPOST.
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- ASTM C33 SAND OR WASHED STONE SHALL BE PLACED IN THE FIRST 36" BELOW THE PERFORATED PIPE. SOILS SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO BACKFILLING.
- INSTALL EROSION MATTING ON TOP OF 4-INCH TOPSOIL LAYER FOLLOWING SEEDING OF THE BOTTOM OF THE BIORETENTION BASIN TO PROVIDE SOIL STABILIZATION PRIOR TO MATURE VEGETATION COVER.
- ANNUAL RYE GRASS SHALL BE SEEDING AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL. WHEN BASIN IS BROUGHT ON-LINE, DIVERSE PRAIRIE FOR MEDIUM SOILS SEED MIX AS PROVIDED BY PRAIRIE NURSERY SHALL BE USED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN. REFER TO AREA DELINEATED ON SHEET L100 FOR PLANTING AREA. IT SHALL BE THE OWNERS/OWNERS CONTRACT REPRESENTATIVE'S RESPONSIBILITY TO DETERMINE TYPE OF VEGETATIVE COVER AT THE INVERT OF THE BIORETENTION BASIN. REFER TO DETAIL 1/401 AND 1(A1)/401 FOR VEGETATION TYPE OPTIONS FOR BIORETENTION BASIN.
- RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (E.G. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPARISON MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

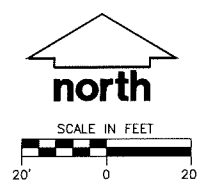


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**LEGEND (PROPOSED)**

- PROPERTY LINE
- EASEMENT LINE
- FUTURE BUILDING ADDITION
- EDGE OF PAVEMENT
- SAWCUT
- ST --- STORM SEWER
- SAN --- SANITARY SEWER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- NEW ASPHALT SURFACE AT MILLED AREA
- 18" STANDARD CURB AND GUTTER
- 18" REJECT CURB AND GUTTER
- BOULDER RETAINING WALL
- MODULAR BLOCK RETAINING WALL



**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. ALL PATIOS ON PLAN TO BE INSTALLED BY OTHERS
8. ALL RETAINING WALL EXTENSIONS FOR PROPOSED PATIOS TO BE INSTALLED BY OTHERS

**LEGEND (PROPOSED)**

**LARGE DECIDUOUS TREES**

- Prairie Pride Hackberry
- New Horizon Elm
- Sienna Glen Maple
- State Street Maple
- Red Oak
- Burr Oak

**ORNAMENTAL TREES**

- Prairie Fire Crabapple
- Pink Flair Cherry

**UPRIGHT EVERGREEN SHRUB**

- Dark Green Arborvitae
- Holmstrup Arborvitae

**EVERGREEN SHRUBS**

- Sea Green Juniper
- Tounton Yew
- Mini Arcade Juniper

**DECIDUOUS SHRUBS**

- Western Sandcherry
- Isanti Dogwood
- Green Mound Alpine Currant
- Little Devil Ninebark
- Red Sprite Winterberry
- Ruby Spice Clethra
- Jim Dandy Winterberry
- Jackman Potentilla

**ORNAMENTAL GRASSES/PERENNIALS**

- Little Spire Russian Sage
- Black-Eyed Susan
- Little Goldstar Black-Eyed Susan
- Ruby Star Coneflower Purple Coneflower
- Rosy Returns Daylily
- Karl Foerster Feather Reed Grass
- Northwind Switch Grass
- Prairie Dropseed
- New England Aster
- Culver's Root
- Fox Sedge
- Nodding Pink Onion
- Ohio Goldenrod

SYU	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS	
<b>LARGE DECIDUOUS TREES</b>								
CO	2	Prairie Pride Hackberry	CORNUS pennsylvanica 'Prairie Pride'	2 1/2" Cal	EEB	35	70	
DN	3	New Horizon Elm	ULMUS americana 'New Horizon'	2 1/2" Cal	EEB	35	105	
SGM	4	Sienna Glen Maple	ACER glaberrimum 'Sienna Glen'	2 1/2" Cal	EEB	35	140	
SSM	5	State Street Maple	ACER nyctagineum 'State Street'	2 1/2" Cal	EEB	35	175	
RO	2	Red Oak	QUERCUS rubra	2 1/2" Cal	EEB	35	70	
BO	1	Burr Oak	QUERCUS macrocarpa	2 1/2" Cal	EEB	35	35	
<b>ORNAMENTAL TREES</b>								
CS	2	Prairie Fire Crabapple	MALUS pennsylvanica	1 1/2" Cal	EEB	15	30	
PC	3	Pink Flair Cherry	PRUNUS pennsylvanica 'Pink Flair'	1 1/2" Cal	EEB	15	45	
<b>UPRIGHT EVERGREEN SHRUBS</b>								
YO	10	Dark Green Arborvitae	THUJA occidentalis 'Smaragd'	3-4' Ht	EEB	10	100	
HA	4	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3-4' Ht	EEB	10	40	
<b>EVERGREEN SHRUBS</b>								
JC	4	Sea Green Juniper	JUNIPERUS horizontalis 'Sea Green'	12-24" Ht	#3 Cont	4	16	
YH	12	Tounton Yew	TAXUS media 'Tounton'	12-24" Ht	#3 Cont	4	48	
MA	28	Mini Arcade Juniper	JUNIPERUS horizontalis 'Mini Arcade'	12-24" Ht	#3 Cont	4	112	
<b>DECIDUOUS SHRUBS</b>								
WS	6	Western Sandcherry	PRUNUS serotina	12-24" Ht	#3 Cont	3	18	
IS	3	Isanti Dogwood	CORNUS rugosa 'Isanti'	12-24" Ht	#3 Cont	2	6	
RA	20	Green Mound Alpine Currant	RIBES alpinum 'Green Mound'	12-24" Ht	#3 Cont	3	60	
LD	7	Little Devil Ninebark	PHYLLICARPUS opulifolius 'Little Devil'	12-24" Ht	#3 Cont	3	21	
RS	8	Red Sprite Winterberry	ILEX verticillata 'Red Sprite'	12-24" Ht	#3 Cont	3	24	
JD	2	Jim Dandy Winterberry	ILEX verticillata 'Jim Dandy'	12-24" Ht	#3 Cont	3	6	
RS	8	Ruby Spice Clethra	CLETHRA alnifolia 'Ruby Spice'	12-24" Ht	#3 Cont	3	24	
JM	23	Jackman Potentilla	POTENTILLA fruticosa 'Jackman'	12-24" Ht	#3 Cont	3	69	
<b>ORNAMENTAL GRASSES/PERENNIALS</b>								
RS	25	Russian Sage	PEROVSKIA atrorubra	10-12" Ht	#1 Cont	2	50	
LS	18	Little Spire Russian Sage	PEROVSKIA atrorubra 'Little Spire'	10-12" Ht	#1 Cont	2	36	
BS	68	Black-Eyed Susan	RUDBECKIA hirta 'Black-Eyed Susan'	10-12" Ht	#1 Cont	2	136	
LS	12	Little Goldstar Black-Eyed Susan	RUDBECKIA hirta 'Little Goldstar'	10-12" Ht	#1 Cont	2	24	
EPH	47	Ruby Star Coneflower Purple Coneflower	ECHINACEA purpurea 'Ruby Star'	10-12" Ht	#1 Cont	2	94	
NR	35	Rosy Returns Daylily	HELIOPSIS scabra 'Rosy Returns'	10-12" Ht	#1 Cont	2	110	
CA	59	Karl Foerster Feather Reed Grass	CALAMAGROSTIS canadensis 'Karl Foerster'	10-12" Ht	#1 Cont	2	118	
SSG	17	Prairie Dropseed	SPARGANGLUM angustifolium	10-12" Ht	#1 Cont	2	34	
NEA	78	New England Aster	SPARGANGLUM angustifolium	10-12" Ht	#1 Cont	2	156	
NSA	18	Nodding Pink Onion	SPARGANGLUM angustifolium	10-12" Ht	#1 Cont	2	36	
CR	13	Culver's Root	VERGOCASYTRUM vulgatum	10-12" Ht	#1 Cont	2	26	
FS	30	Fox Sedge	CAREX lasiocarpa	10-12" Ht	#1 Cont	2	180	
NO	37	Nodding Pink Onion	MELICAMPUS	10-12" Ht	#1 Cont	2	74	
OG	23	Ohio Goldenrod	SOENOPUS	10-12" Ht	#1 Cont	2	46	
							<b>TOTAL</b>	<b>3719</b>

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 VERONA, WISCONSIN 53593  
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 MADISON, WI 53701

PROJECT:  
**5235 HIGH CROSSING BLVD**

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:

DESIGN: K.J. ABK 06/23/2015  
 DRAWN: K.J. ABK 06/23/2015  
 APPROVED: JLF 06/23/2015

PLAN MODIFICATIONS:	DATE:
LOC INSTAL - FINAL	05/27/2015
LOC INSTAL - FINAL RESUBMITTAL	06/24/2015
LOC FINAL RESUBMITTAL	08/26/2015
SITE PLAN VERIFICATION	09/23/2015
SITE PLAN VERIFICATION RESUBMITTAL	03/31/2016
SITE PLAN VERIFICATION RESUBMITTAL	04/13/2016
LAND USE UPDATE	05/04/2016

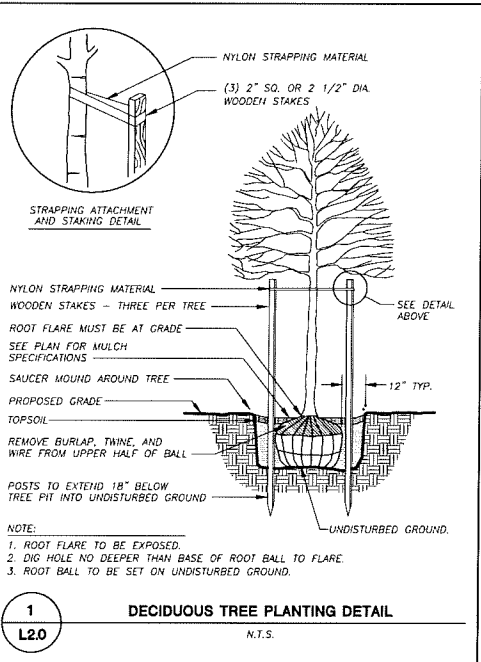
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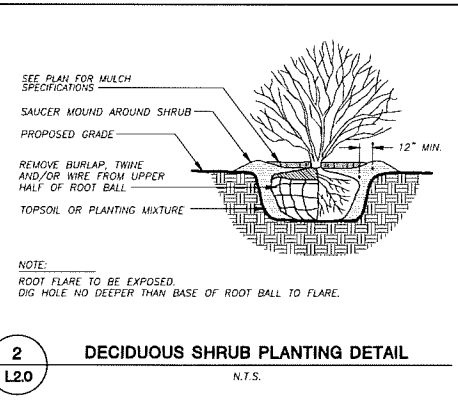
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**LANDSCAPE PLAN**

SHEET NUMBER:  
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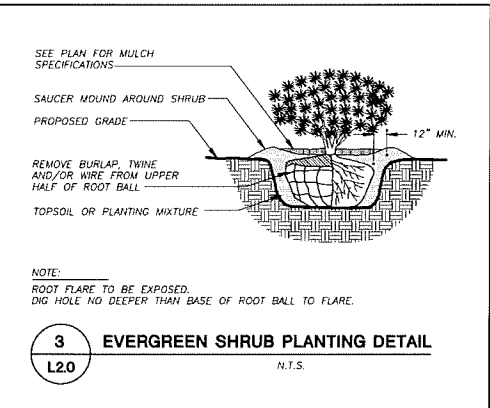
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**1**  
L2.0  
**DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.



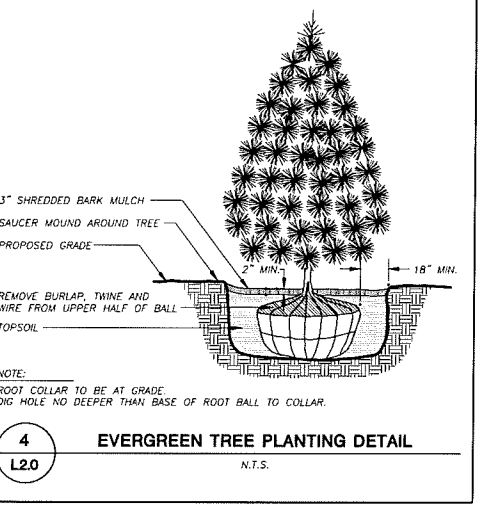
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L2.0  
**DECIDUOUS SHRUB PLANTING DETAIL**  
N.T.S.



**3**  
L2.0  
**EVERGREEN SHRUB PLANTING DETAIL**  
N.T.S.

**LANDSCAPE NOTES AND SPECIFICATIONS**

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-362-5644 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWTH STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIAGED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PURVE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
  1. PLANTING AREAS = 2" ±
  2. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOWNS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.**
- MATERIALS - ALL PLANTING AREAS SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.**
- MATERIALS - TREE RINGS:** ALL TREES PLANTED IN SODDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF THREE INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS:** SOD ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPORTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOPED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 60 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



**4**  
L2.0  
**EVERGREEN TREE PLANTING DETAIL**  
N.T.S.

**CITY OF MADISON**  
**LANDSCAPE WORKSHEET**  
Section 28.142 Madison General Ordinance

Project Location / Address: 2906 MARKETPLACE DRIVE, MADISON, WI 53719  
 Name of Project: 5235 HIGH CROSSING BLVD.  
 Owner / Contact: WALSH PROPERTIES, LLC.  
 Contact Phone: (608) 848-5060 Contact Email: JUSTIN.FRAHM@JSDINC.COM

\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\*

**Annexability:**  
 The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution:**  
 Registered landscaper areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and decking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.	Total square footage of developed area	49,993
	Total landscape points required	833
(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.	Total square footage of developed area	
	Five (5) acres = 217,800 square feet	
	First five (5) developed acres = 3,630 points	
	Remainder of developed area	
	Total landscape points required	
(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.	Total square footage of developed area	
	Total landscape points required	

10-2013 1

**Tabulation of Points and Credits:**  
 Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			17	595
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			5	75
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			14	140
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			77	231
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			54	216
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			586	1172
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. * Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
<b>Sub Totals</b>						2429

Total Number of Points Provided: 2429  
 \* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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SERVICES PROVIDED TO:  
**WALSH PROPERTIES, LLC.**  
 P.O. BOX 1497  
 MADISON, WI 53701

PROJECT:  
**5235 HIGH CROSSING BLVD**  
 PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:  
 ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: K.J. ABK	06/23/2015
DRAWN: K.J. ABK	06/23/2015
APPROVED: J.F.	06/23/2015
<b>PLAN MODIFICATIONS:</b>	
UDC INITIAL - FINAL	05/27/2015
UDC INITIAL - FINAL RESUBMITTAL	06/24/2015
UDC FINAL RESUBMITTAL	06/26/2015
SITE PLAN VERIFICATION	09/22/2015
SITE PLAN VERIFICATION RESUBMITTAL	04/13/2016
LAND USE UPDATE	05/04/2016

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SHEET TITLE:  
**LANDSCAPE DETAILS, NOTES AND SPECIFICATIONS**

SHEET NUMBER:  
**L2.0**