





EXISTING CONDITIONS SURVEY

PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER, THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 07 NORTH, RANGE 11 EAST, TOWN OF COTTAGE GROVE, DANE COUNTY, WISCONSIN.



CREATE THE VISION TELL THE STORY

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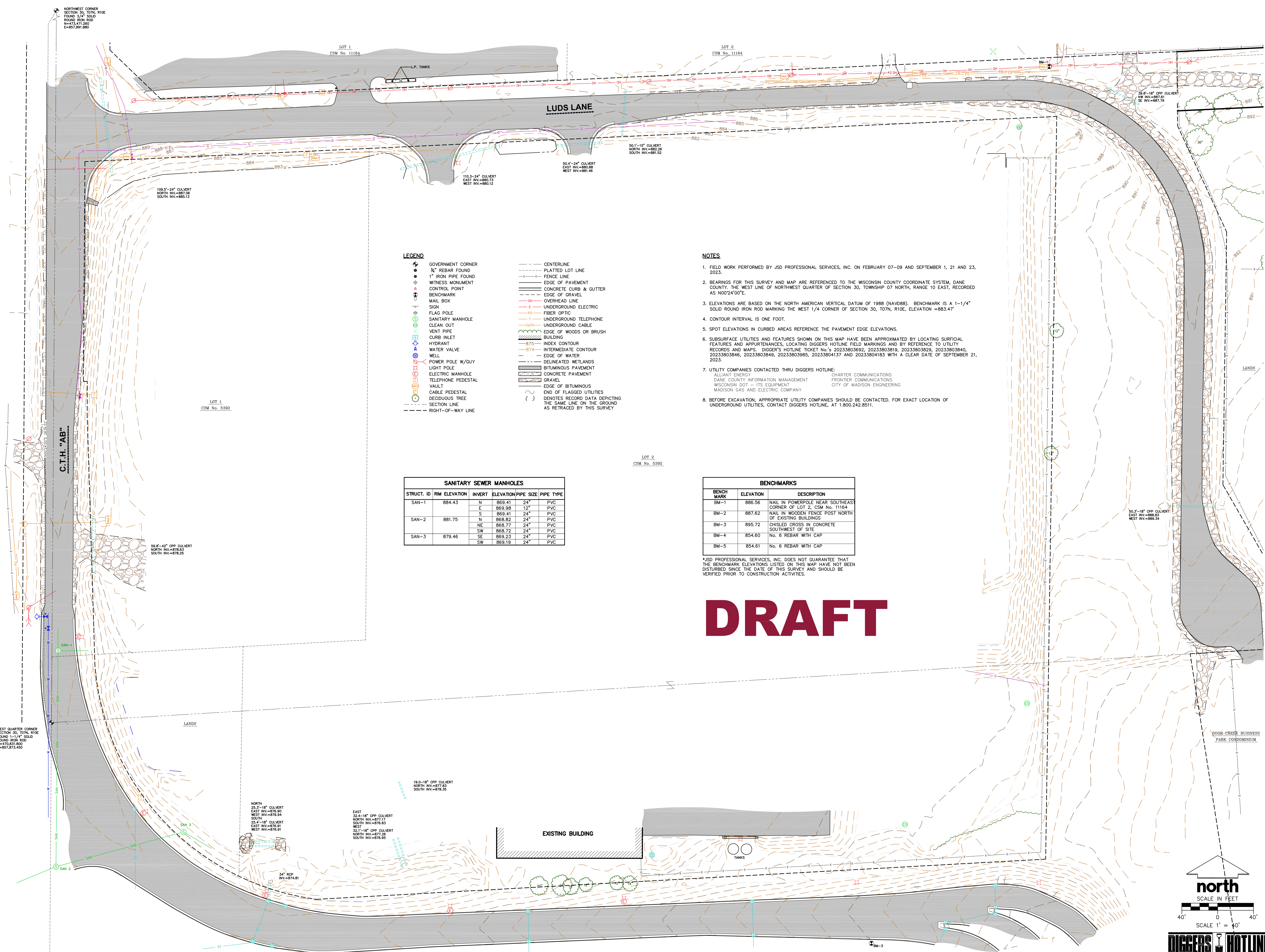
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**DANE COUNTY
PUBLIC WORKS**

CLIENT ADDRESS:
**1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713**

PROJECT:
**EAST DISTRICT
CAMPUS**

PROJECT LOCATION:
**3084 LUDS LANE
COTTAGE GROVE, DANE COUNTY
WISCONSIN, 53527**



LEGEND

●	GOVERNMENT CORNER	---	CENTERLINE
○	3/4" REBAR FOUND	---	PLATTED LOT LINE
○	1" IRON PIPE FOUND	---	FENCE LINE
+	WITNESS MONUMENT	---	EDGE OF PAVEMENT
△	CONTROL POINT	---	CONCRETE CURB & GUTTER
□	BENCHMARK	---	EDGE OF GRAVEL
○	MAIL BOX	---	EDGE OF ASPHALT
○	SIGN	---	OVERHEAD LINE
○	FLAG POLE	---	UNDERGROUND ELECTRIC
○	SANITARY MANHOLE	---	FIBER OPTIC
○	CLEAN OUT	---	UNDERGROUND TELEPHONE
○	VENT PIPE	---	UNDERGROUND CABLE
○	CURB INLET	---	EDGE OF WOODS OR BRUSH BUILDING
○	HYDRANT	---	INDEX CONTOUR
○	WATER VALVE	---	INTERMEDIATE CONTOUR
○	WELL	---	EDGE OF WATER
○	POWER POLE W/GUY	---	DELINEATED WETLANDS
○	LIGHT POLE	---	BITUMINOUS PAVEMENT
○	ELECTRIC MANHOLE	---	CONCRETE PAVEMENT
○	TELEPHONE PEDESTAL	---	GRAVEL
○	VAULT	---	EDGE OF BITUMINOUS
○	CABLE	---	END OF FLAGGED UTILITIES
○	DECIDUOUS TREE	---	DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY
---	SECTION LINE		
---	RIGHT-OF-WAY LINE		

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON FEBRUARY 07-09 AND SEPTEMBER 1, 21 AND 23, 2023.
 - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE WEST LINE OF NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 07 NORTH, RANGE 10 EAST, RECORDED AS 100224002.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A 1-1/4" SOLID ROUND IRON ROD MARKING THE WEST 1/4 CORNER OF SECTION 30, T07N, R10E, ELEVATION = 883.47
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 6 20233803892, 20233803819, 20233803823, 20233803840, 20233803846, 20233803849, 20233803985, 20233804137 AND 20233804183 WITH A CLEAR DATE OF SEPTEMBER 21, 2023.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
ALLIANT ENERGY
DANE COUNTY INFORMATION MANAGEMENT
WISCONSIN DOT - ITS EQUIPMENT
MADISON GAS AND ELECTRIC COMPANY
CHARTER COMMUNICATIONS
FRONTIER COMMUNICATIONS
CITY OF MADISON ENGINEERING
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.

SANITARY SEWER MANHOLES

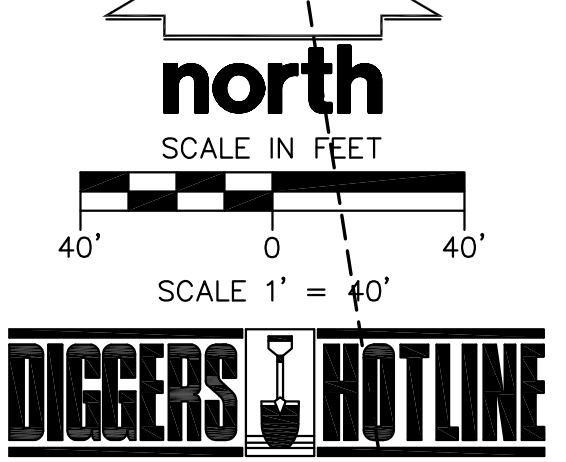
STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	884.43	N 869.41	24"	PVC
		E 869.98	12"	PVC
SAN-2	881.75	S 869.41	24"	PVC
		NE 868.82	24"	PVC
SAN-3	879.46	SE 868.77	24"	PVC
		SW 868.72	24"	PVC
		SW 869.23	24"	PVC
		SW 869.19	24"	PVC

BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	886.56	NAIL IN POWERPOLE NEAR SOUTHEAST CORNER OF LOT 2, CSM No. 11164
BM-2	887.62	NAIL IN WOODEN FENCE POST NORTH OF EXISTING BUILDINGS
BM-3	895.72	CHISELED CROSS IN CONCRETE SOUTHWEST OF SITE
BM-4	854.60	No. 6 REBAR WITH CAP
BM-5	854.61	No. 6 REBAR WITH CAP

*JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

DRAFT



MODIFICATIONS:

#	Date	Description
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Prepared By:
Reviewed By:
Approved By:

**EXISTING
CONDITIONS
SURVEY**

SHEET NUMBER:
1 OF 4

EXISTING CONDITIONS SURVEY

PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 07 NORTH, RANGE 11 EAST, TOWN OF COTTAGE GROVE, DANE COUNTY, WISCONSIN.



CREATE THE VISION TELL THE STORY

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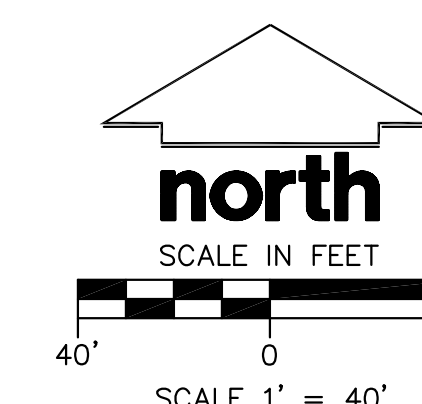
MADISON REGIONAL OFFICE
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PROJECT LOCATION:
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WISCONSIN, 53527**



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#	Date:	Description:
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Prepared By:
Reviewed By:
Approved By:
SHEET TITLE:
**EXISTING
CONDITIONS
SURVEY**

SHEET NUMBER:
2 OF 4

PROJECT NO: 22-110005

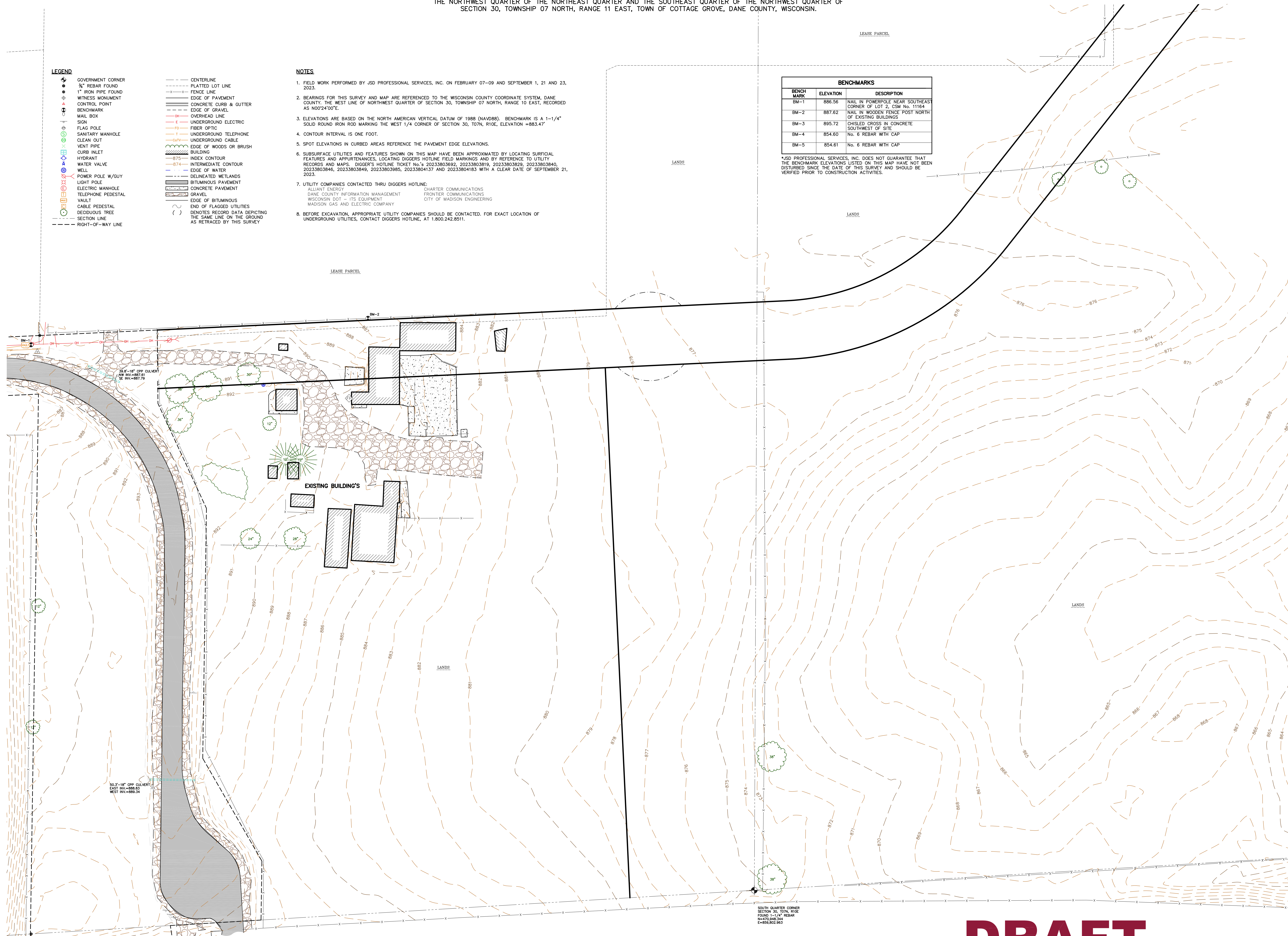
LEGEND	
	GOVERNMENT CORNER
	3/4\" REBAR FOUND
	1\" IRON PIPE FOUND
	WITNESS MONUMENT
	CONTROL POINT
	BENCHMARK
	MAIL BOX
	SIGN
	FLAG POLE
	SANITARY MANHOLE
	CLEAN OUT
	VENT PIPE
	CURB INLET
	HYDRANT
	WATER VALVE
	WELL
	POWER POLE W/GUY
	LIGHT POLE
	ELECTRIC MANHOLE
	TELEPHONE PEDESTAL
	VAULT
	CABLE PEDESTAL
	DECIDUOUS TREE
	SECTION LINE
	RIGHT-OF-WAY LINE
	CENTERLINE
	PLATTED LOT LINE
	FENCE LINE
	EDGE OF PAVEMENT
	CONCRETE CURB & GUTTER
	EDGE OF GRAVEL
	OVERHEAD LINE
	UNDERGROUND ELECTRIC
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	UNDERGROUND CABLE
	EDGE OF WOODS OR BRUSH
	BUILDING
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	EDGE OF WATER
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	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	GRAVEL
	EDGE OF BITUMINOUS
	END OF FLAGGED UTILITIES
	DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

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ALLIANT ENERGY	CHARTER COMMUNICATIONS
DANE COUNTY INFORMATION MANAGEMENT	FRONTIER COMMUNICATIONS
WISCONSIN DOT - ITS EQUIPMENT	CITY OF MADISON ENGINEERING
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DRAFT

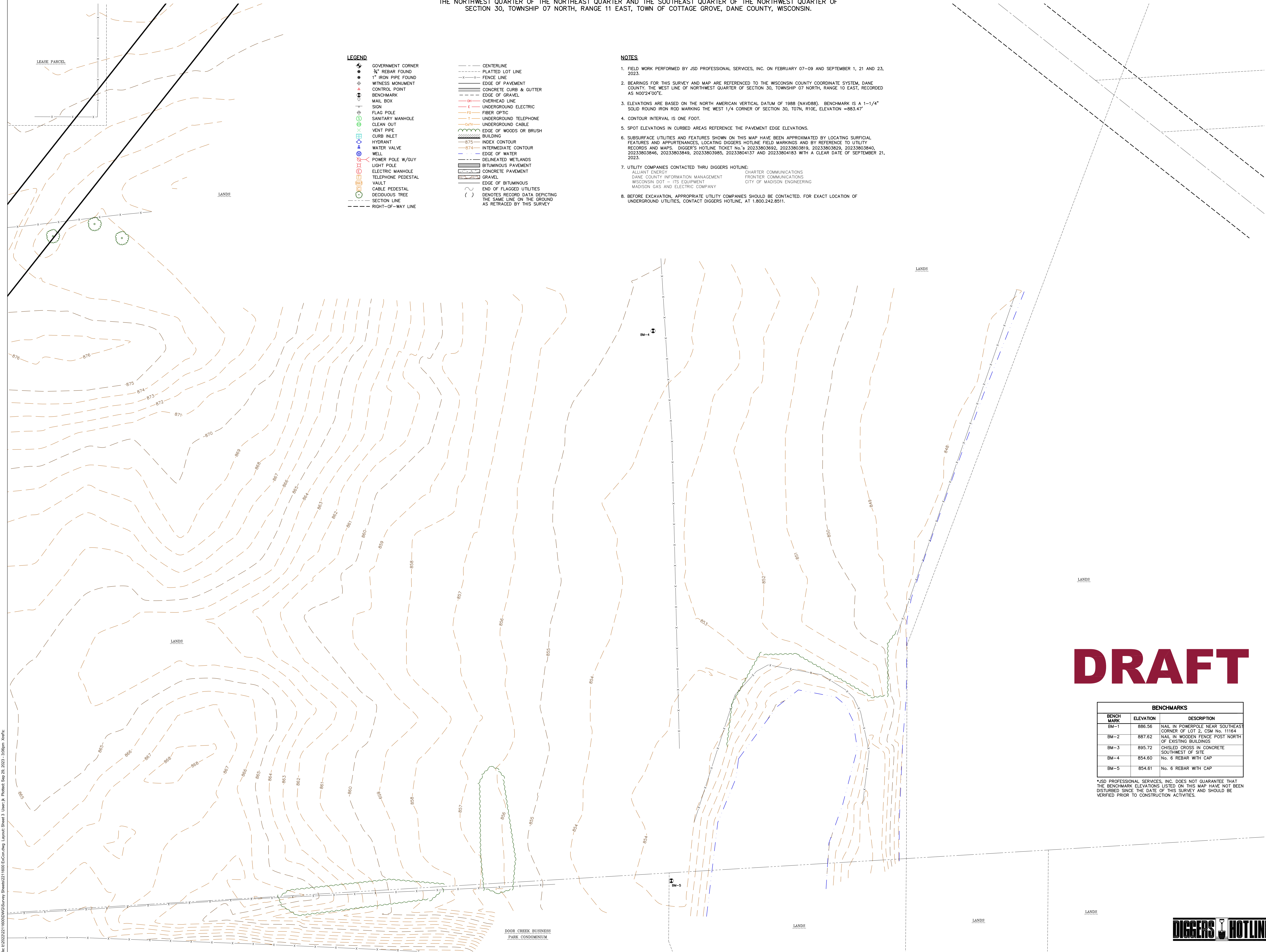


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EXISTING CONDITIONS SURVEY

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- LEGEND**
- CENTERLINE
 - - - PLATTED LOT LINE
 - - - FENCE LINE
 - - - EDGE OF PAVEMENT
 - - - CONCRETE CURB & GUTTER
 - - - EDGE OF GRAVEL
 - - - OVERHEAD LINE
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 - - - INTERMEDIATE CONTOUR
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 - - - BITUMINOUS PAVEMENT
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 - GOVERNMENT CORNER
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 - BENCHMARK
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 - SIGN
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 - CLEAN OUT
 - VENT PIPE
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 - HYDRANT
 - WATER VALVE
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 - POWER POLE W/GUY
 - LIGHT POLE
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 - VAULT
 - CABLE PEDESTAL
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 - UTILITY COMPANIES CONTACTED THRU HOTLINE:

ALLIANT ENERGY	CHARTER COMMUNICATIONS
DANE COUNTY INFORMATION MANAGEMENT	FRONTIER COMMUNICATIONS
WISCONSIN DOT - ITS EQUIPMENT	CITY OF MADISON ENGINEERING
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DRAFT

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CREATE THE VISION TELL THE STORY

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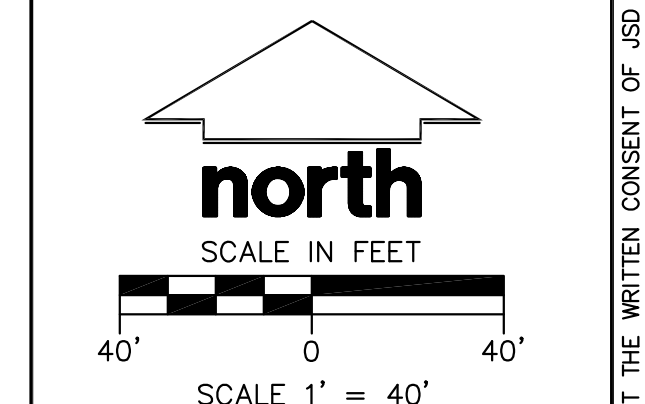
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
DANE COUNTY PUBLIC WORKS

CLIENT ADDRESS:
**1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713**

PROJECT:
EAST DISTRICT CAMPUS

PROJECT LOCATION:
**3084 LUDS LANE
COTTAGE GROVE, DANE COUNTY
WISCONSIN, 53527**



MODIFICATIONS:

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Prepared By:
Reviewed By:
Approved By:

SHEET TITLE:
EXISTING CONDITIONS SURVEY

SHEET NUMBER:
3 OF 4

PROJECT NO: 22-119005

File: I202302110001W03Survey Sheet0251190 ECo.dwg, Layout: Sheet 3, User: JK, Plotted: Sep 29, 2023, 3:06pm, Xref:

DOOR CREEK BUSINESS PARK CONDOMINIUM



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- LEGEND**
- GOVERNMENT CORNER
 - 3/4" REBAR FOUND
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 - WITNESS MONUMENT
 - CONTROL POINT
 - BENCHMARK
 - MAIL BOX
 - SIGN
 - FLAG POLE
 - SANITARY MANHOLE
 - CLEAN OUT
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 - BUILDING
 - 875--- INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - 874--- EDGE OF WATER
 - DELINEATED WETLANDS
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LOT 1
CSM No. 12140



CREATE THE VISION TELL THE STORY

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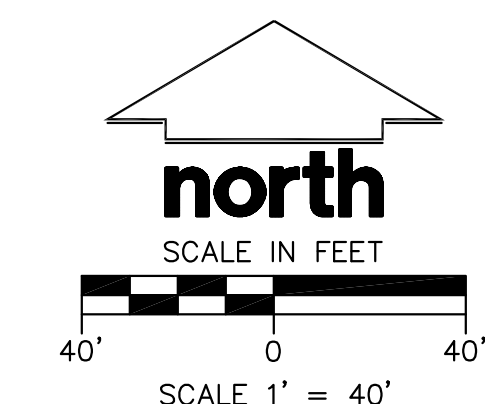
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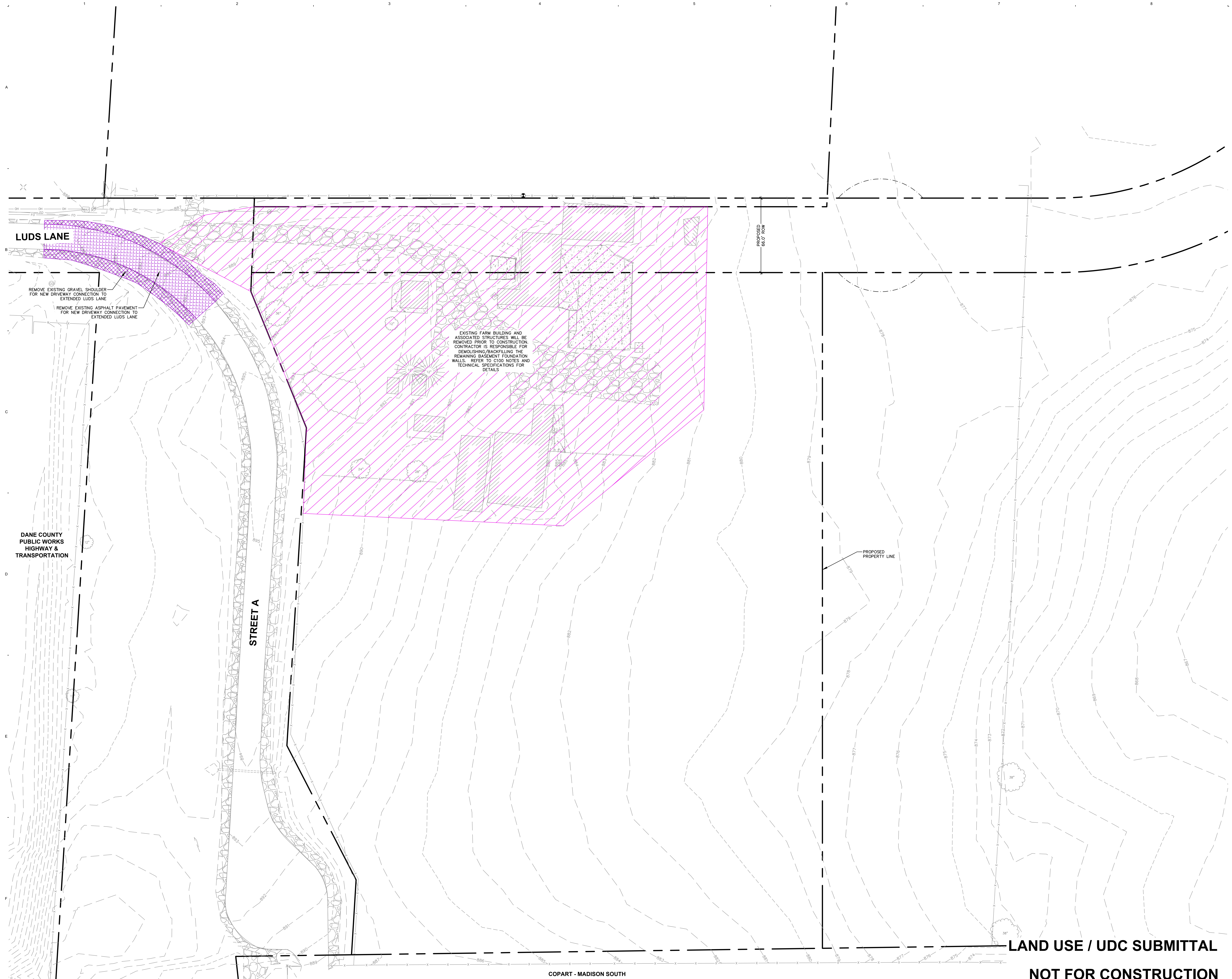
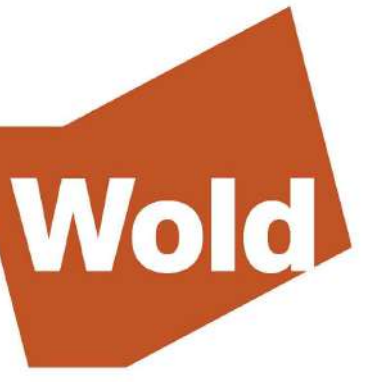
SHEET NUMBER:
4 OF 4

PROJECT NO: 22-116005

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Comm: 22-11600
 Date: OCTOBER 2, 2023
 Drawn: MSS/JRN
 Check: MRH
 North

DEMOLITION PLAN

Scale: 1" = 30'

LAND USE / UDC SUBMITTAL

NOT FOR CONSTRUCTION

C200

NEW PUBLIC SAFETY COMMUNICATIONS FACILITY

3087 Luds Ln
Madison, WI 53558

County of Dane
210 Martin Luther King Jr. Blvd
Madison, Wisconsin



WOLD ARCHITECTS AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldae.com | 651.227.7773



CREATE THE VISION TELL THE STORY

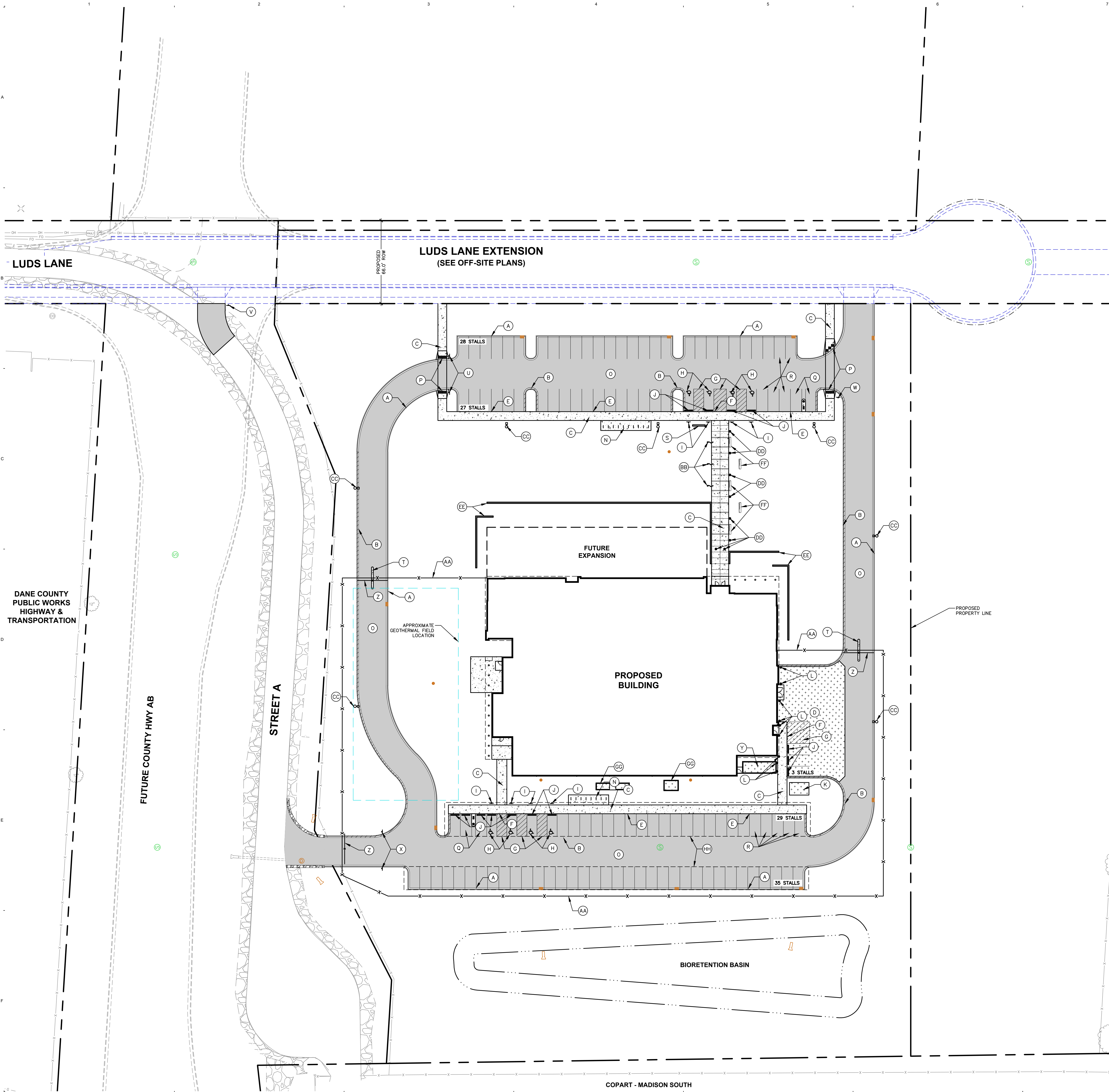
jsdinc.com

MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

SITE INFORMATION BLOCK	
SITE ADDRESS	3087 LUDS LANE, MCFARLAND, WI 53558
PROPERTY ACREAGE	276,882 SF 6.36 ACRES
NUMBER OF BUILDING STORIES	1
TOTAL BUILDING SQUARE FOOTAGE	34,092 SF
NUMBER OF PARKING STALLS	
STANDARD	110
EV CHARGING	4
EV READY (CURRENTLY STANDARD STALLS)	8
ACCESSIBLE	8
TOTAL	122
NUMBER OF BICYCLE STALLS	36
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	12,939 SF
EXISTING PERVIOUS SURFACE AREA	263,943 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.05
PROPOSED IMPERVIOUS SURFACE AREA	106,193 SF
PROPOSED PERVIOUS SURFACE AREA	170,689 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.38

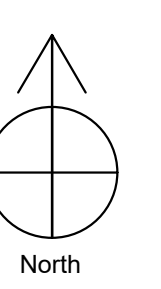
KEY

- (A) STANDARD 18" CURB AND GUTTER
- (B) REJECT 18" CURB AND GUTTER
- (C) CONCRETE SIDEWALK
- (D) HEAVY DUTY CONCRETE
- (E) THICKENED EDGE SIDEWALK
- (F) THICKENED EDGE SIDEWALK - FLUSH WITH PAVEMENT (SEE GRADING PLAN)
- (G) DIAGONAL HATCH - SWSL/4" AT 45° @ 2"-0" O.C.
- (H) ACCESSIBLE PARKING SPACE TYP.
- (I) BOLLARD WITH ACCESSIBLE PARKING SIGN
- (J) RECYCLED RUBBERIZED CURB STOP
- (K) TRANSFORMER PAD (CONTRACTOR SHALL COORDINATE AND CONFIRM FINAL PLACEMENT)
- (L) BOLLARD
- (M) (INTENTIONALLY OMITTED)
- (N) BIKE RACK
- (O) ASPHALT PAVEMENT
- (P) ADA ACCESSIBLE RAMP (SEE DETAIL)
- (Q) EV PARKING STALL AND CHARGING POST (REFER TO ELECTRICAL)
- (R) EV READY PARKING STALL
- (S) MONUMENT SIGN
- (T) GATE KEY CARD ACCESS (REFER TO ELECTRICAL)
- (U) SIGN - DO NOT ENTER
- (V) SIGN - STOP SIGN
- (W) SIGN - DIRECTIONAL
- (X) SIGN - EMERGENCY EXIT ONLY
- (Y) GENERATOR PAD (REFER TO MECHANICAL)
- (Z) FENCE GATE
- (AA) SECURITY FENCE W/ CONCRETE MAINTENANCE STRIP
- (BB) FLAG POLE (REFER TO ARCHITECTURAL/STRUCTURAL)
- (CC) LIGHT POLE (REFER TO ELECTRICAL)
- (DD) LED LIGHT BOLLARD (REFER TO ELECTRICAL)
- (EE) RETAINING WALL
- (FF) LIMESTONE BENCH (REFER TO LANDSCAPE)
- (GG) CONDENSATION UNITS (REFER TO MECHANICAL)
- (HH) COVERED PARKING (LIGHTING PROVIDED UNDER CANOPY) (REFER TO ARCHITECTURAL/STRUCTURAL)

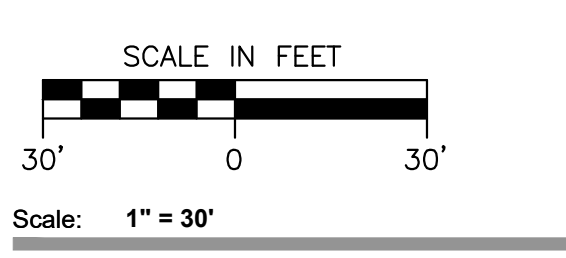


LAND USE / UDC SUBMITTAL
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Comm: 22-11600
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Check: MRH

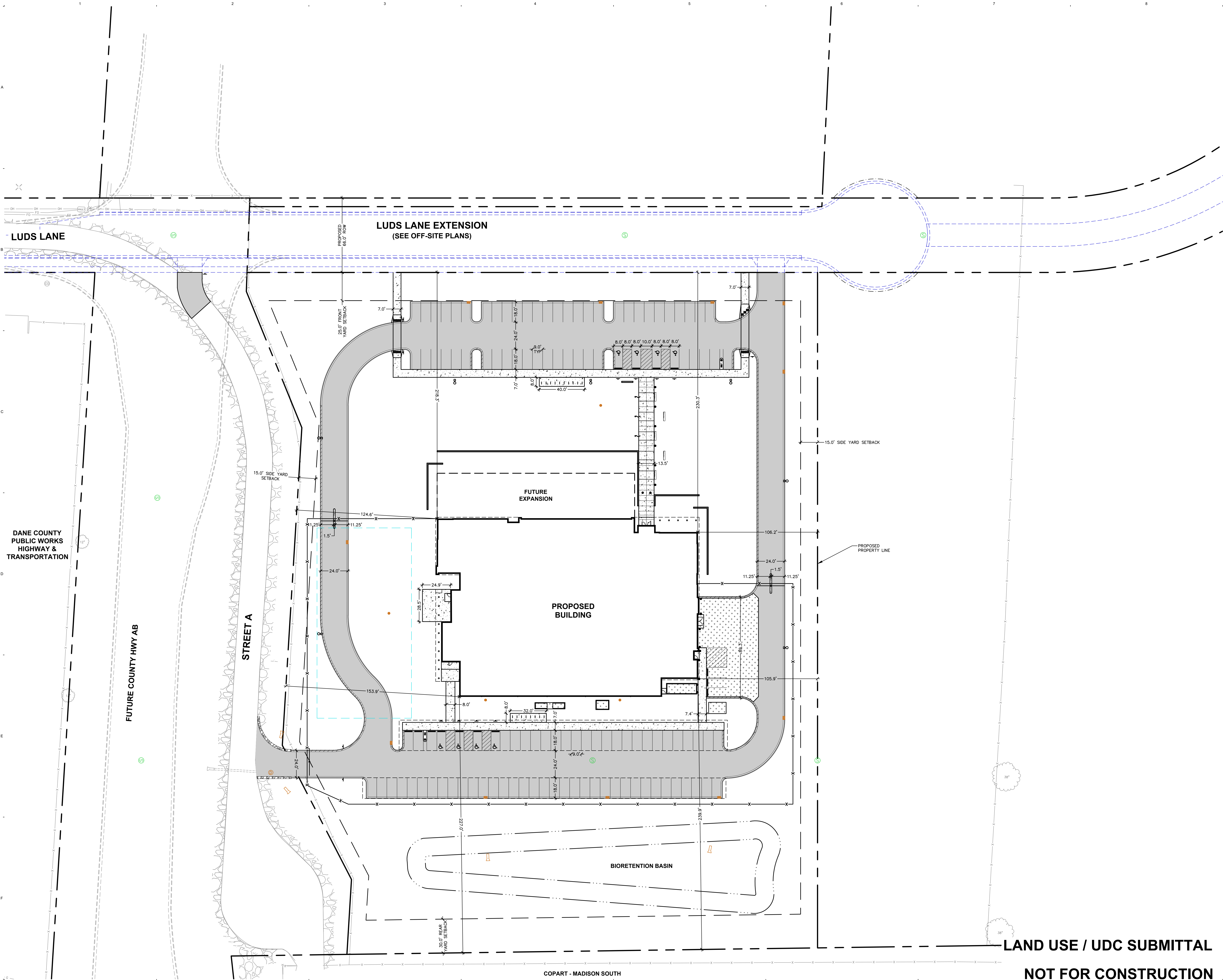
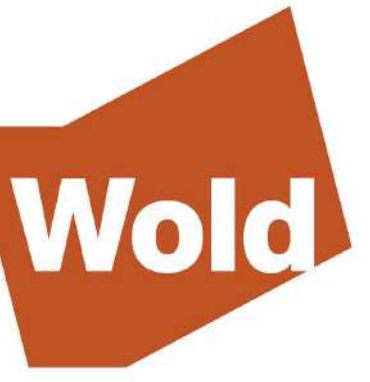


SITE PLAN - ANNOTATED



C300

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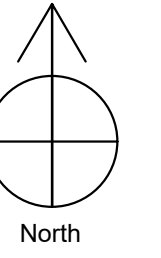
DANE COUNTY PUBLIC WORKS HIGHWAY & TRANSPORTATION

FUTURE COUNTY HWY AB

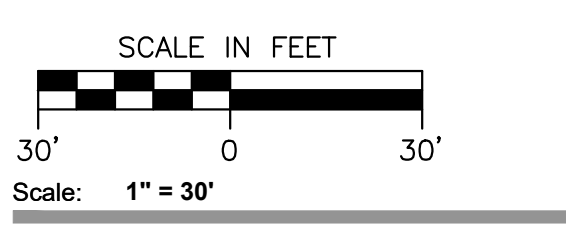
COPART - MADISON SOUTH

LAND USE / UDC SUBMITTAL
NOT FOR CONSTRUCTION

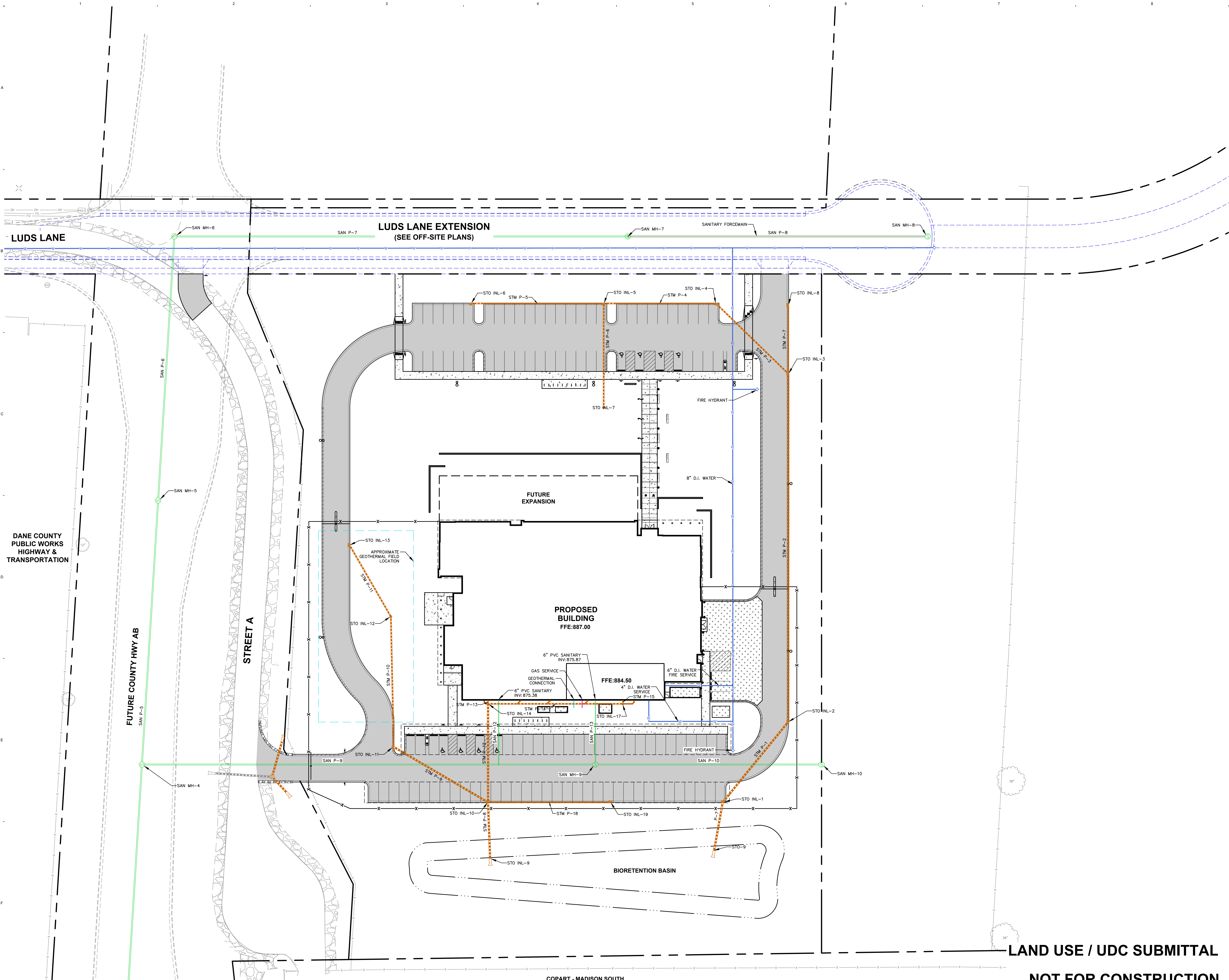
Comm: 22-11600
 Date: OCTOBER 2, 2023
 Drawn: MSS/JRH
 Check: MRH



SITE PLAN - DIMENSIONED



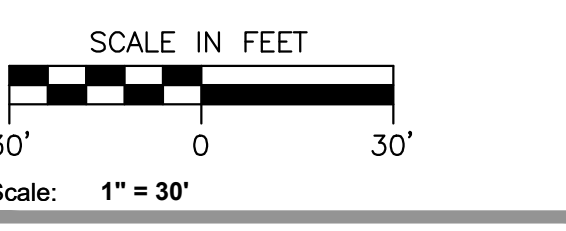
C301



DANE COUNTY PUBLIC WORKS HIGHWAY & TRANSPORTATION

Comm: 22-11600
 Date: OCTOBER 2, 2023
 Drawn: MSS/IRN
 Check: MRH
 North

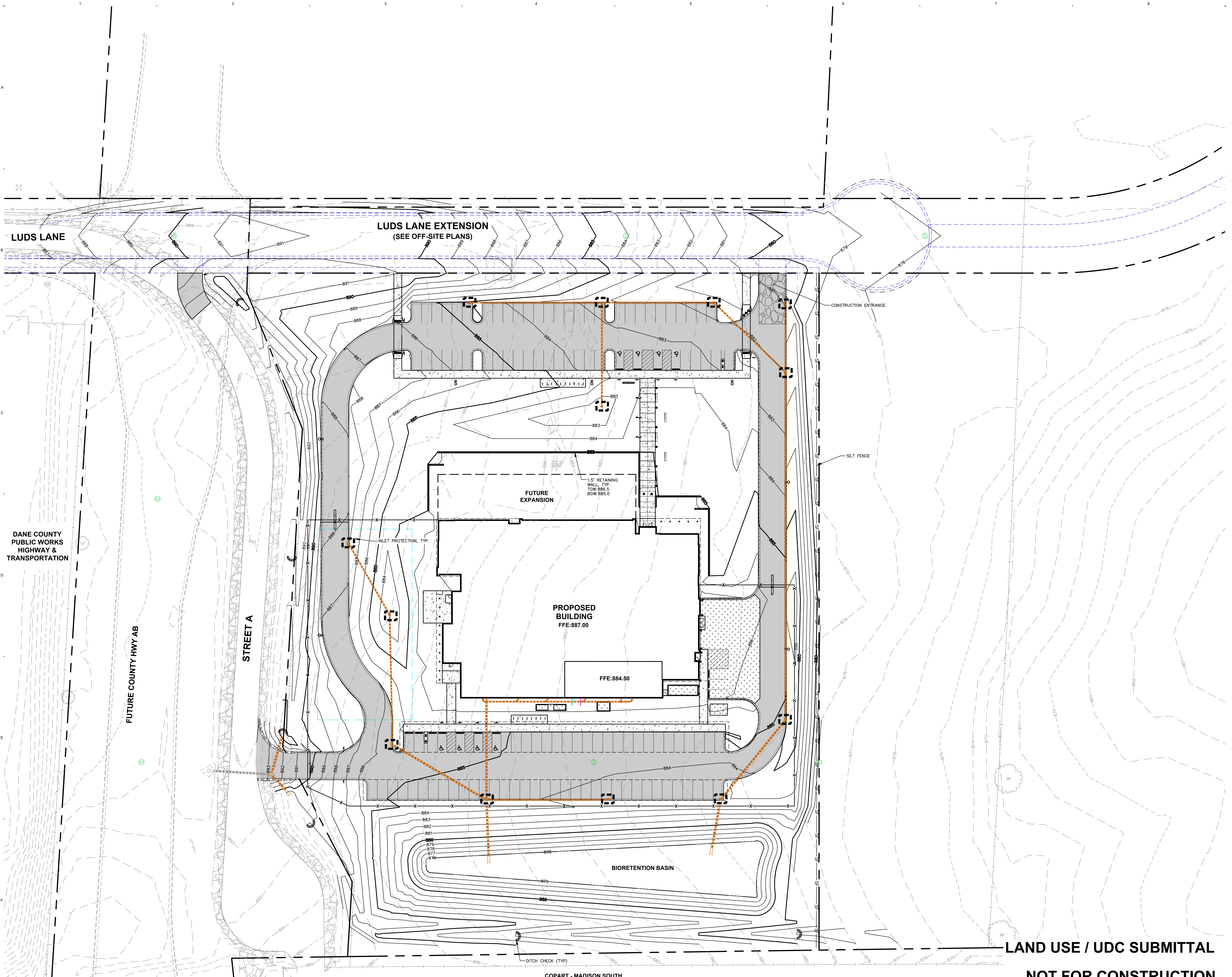
UTILITY PLAN



LAND USE / UDC SUBMITTAL

NOT FOR CONSTRUCTION

C500



DANE COUNTY PUBLIC WORKS HIGHWAY & TRANSPORTATION

FUTURE COUNTY HWY AB

STREET A

LUDS LANE EXTENSION (SEE OFF-SITE PLANS)

PROPOSED BUILDING FFE:887.00

FFE:884.50

FUTURE EXPANSION

BIORETENTION BASIN

CONSTRUCTION ENTRANCE

SILT FENCE

INLET PROTECTION, TYP.

1.5' RETAINING WALL, TYP. TOW: 886.5 BOW: 885.0

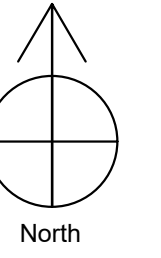
COPART - MADISON SOUTH

DITCH CHECK (TYP)

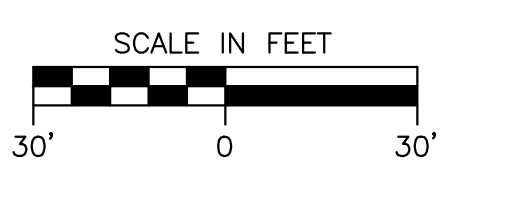
LAND USE / UDC SUBMITTAL

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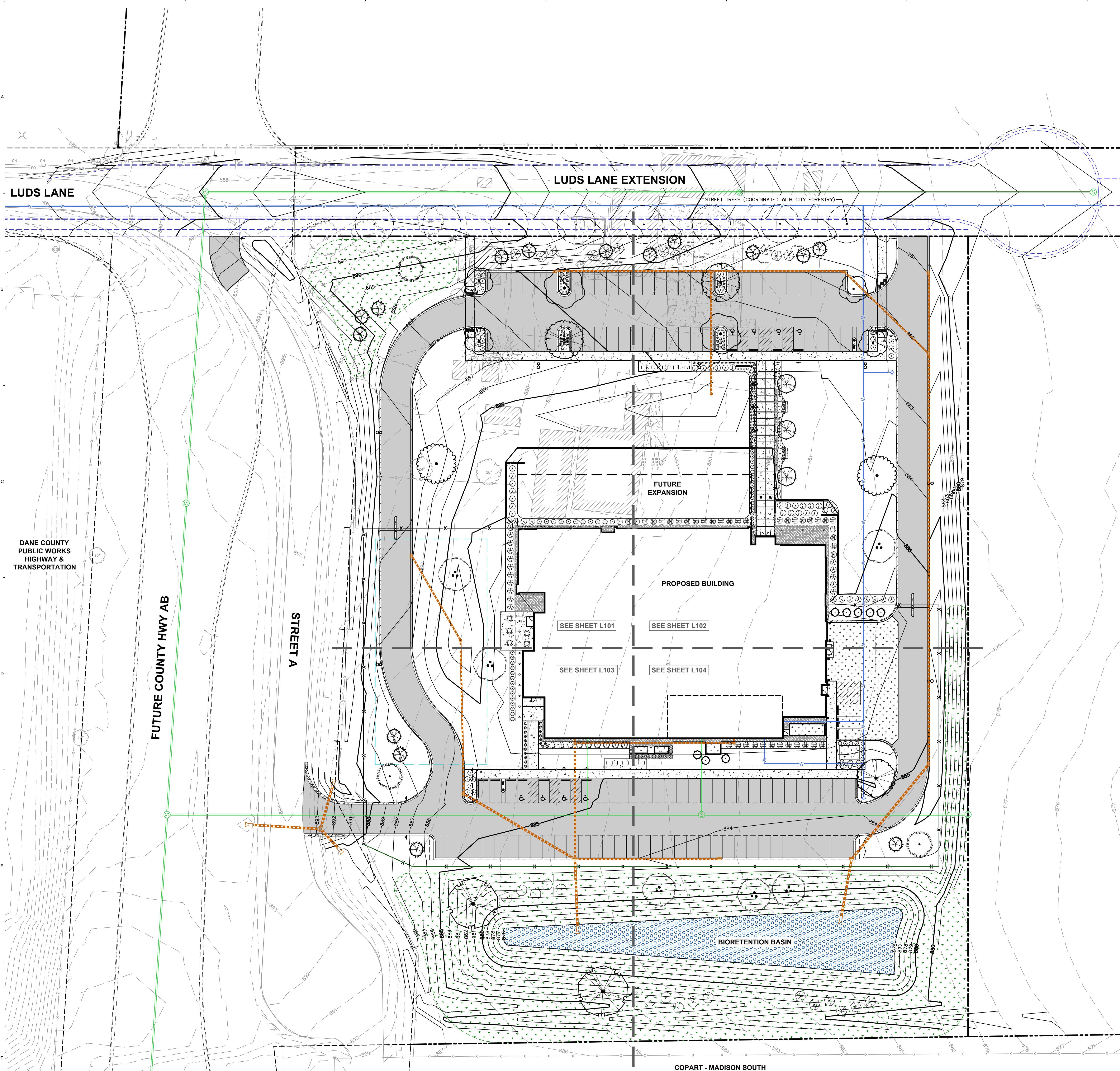


GRADING AND EROSION CONTROL PLAN



Scale: 1" = 30'

C400



LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	EXISTING 1 FOOT CONTOUR
---	EXISTING 5 FOOT CONTOUR
---	STORMWATER MANAGEMENT AREA
---	SANITARY SEWER
---	WATERMAIN
---	STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATERMAIN
---	EXISTING STORM SEWER
---	SEAT/SAFETY WALL
---	FENCE
---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	ADA PARKING SIGN
---	FLAG POLE
---	BOLLARD
---	BIKE RACK
---	ALUMINUM EDGING
---	NATIVE VEGETATIVE MAT
---	PRAIRIE SEED MIX
---	DECORATIVE STONE MULCH

- CONTRACTOR NOTES**
- ALL DISTURBED AREAS TO RECEIVE SEED, FERTILIZER, AND MULCH UNLESS OTHERWISE SPECIFIED.
 - ALL PLANTING AREAS TO RECEIVE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED.

PLANT SCHEDULE

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	PIGLD	<i>Picea glauca</i> 'Densata' Black Hills Spruce
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AMEL	<i>Amelanchier laevis</i> 'JFS-Arb' Spring Flurry® Allegheny Serviceberry
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	BENI	<i>Betula nigra</i> 'BNMTF'™ Dura Heat River Birch
	CEOC	<i>Celtis occidentalis</i> 'Prairie Pride' Prairie Pride Hackberry
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ Autumn Gold Maidenhair Tree
	GLTR	<i>Gleditsia triacanthos inermis</i> 'Shademaster'™ Shademaster Locust
	PTKC	<i>Gymnocladus dioica</i> 'J.C. McDaniel'™ Prairie Titan Kentucky Coffeetree
	QUBI	<i>Quercus bicolor</i> Swamp White Oak
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	JUCHI	<i>Juniperus chinensis</i> 'Iowa' Iowa Juniper
	JIVC	<i>Juniperus virginiana</i> 'Canaertii' Canaertii Eastern Redcedar
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARME	<i>Aronia melanocarpa</i> 'Morton'™ Iroquois Beauty Black Chokeberry
	CEPO	<i>Cephalanthus occidentalis</i> Buttonbush
	CORSE	<i>Cornus sericea</i> Red Twig Dogwood
	DIEL	<i>Diervilla lonicera</i> 'Jewel' Jewel Bush Honeysuckle
	HYPK	<i>Hypericum kalmianum</i> Kalm St. Johnswort
	VIBO	<i>Viburnum dentatum</i> 'KLMseventeen' Little Joe™ Arrowwood Viburnum
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	<i>Buxus</i> x 'Green Velvet' Green Velvet Boxwood
	JUCHK	<i>Juniperus chinensis</i> 'Pflizerana Kallays Compacta' Kally Pflizer Compact Juniper
	PINM	<i>Pinus mugo</i> 'Pumilus' Dwarf Mugo Pine
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	ALSU	<i>Allium</i> x 'Summer Beauty' Summer Beauty Allium
	DALP	<i>Dalea purpurea</i> Purple Prairie Clover
	PAVIN	<i>Panicum virgatum</i> 'Northwind' Northwind Switch Grass
	SCSCB	<i>Schizachyrium scoparium</i> 'MinnblueA' Blue Heaven® Little Bluestem
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed

NEW PUBLIC SAFETY COMMUNICATIONS FACILITY
3087 Luds Ln
Madison, WI 53558

County of Dane
210 Martin Luther King Jr. Blvd
Madison, Wisconsin



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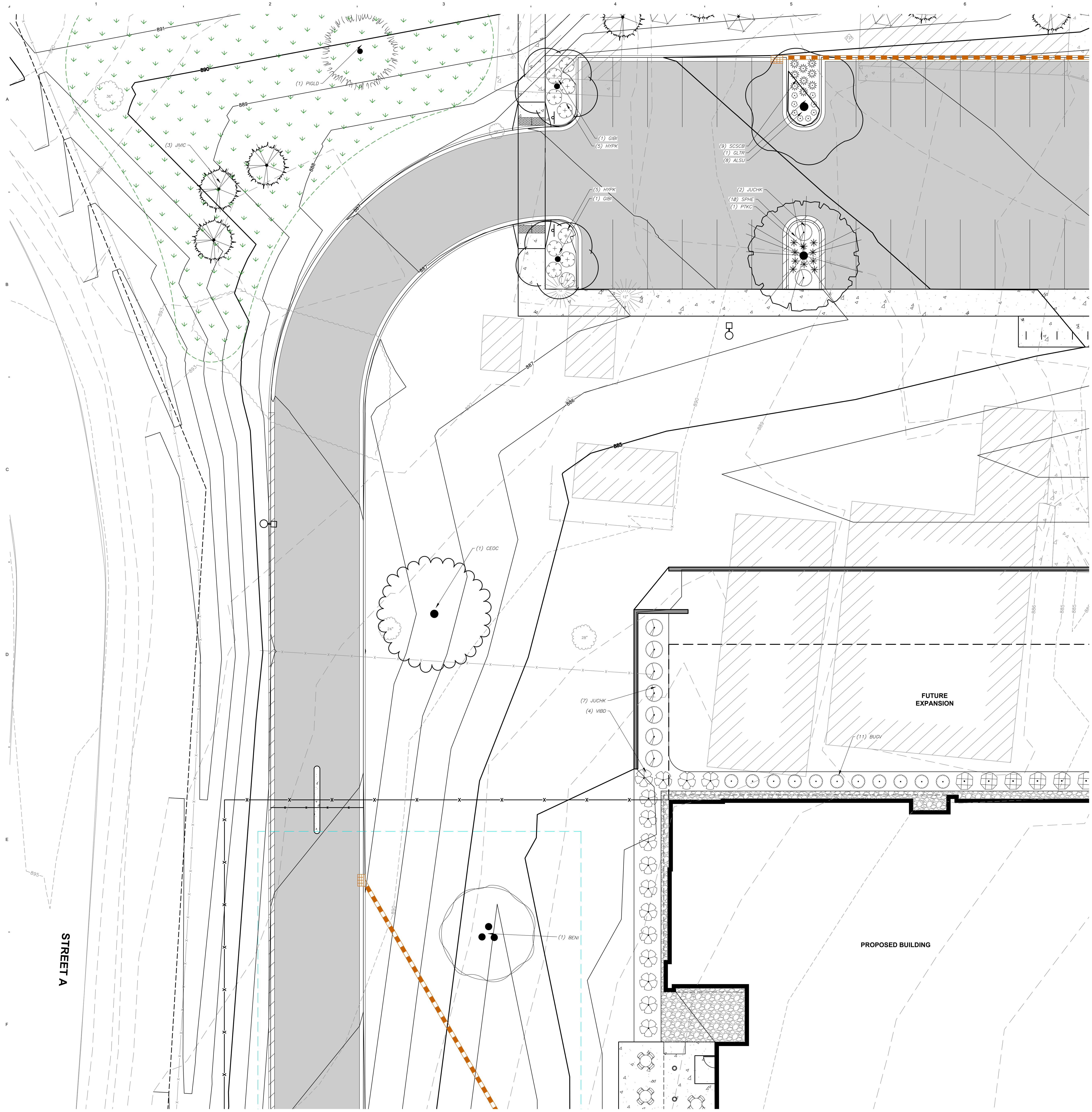
Comm: 22-11600
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OVERALL LANDSCAPE PLAN

Scale: 1" = 30'
L100

LAND USE / UDC SUBMITTAL
NOT FOR CONSTRUCTION

COPART - MADISON SOUTH



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	STORMWATER MANAGEMENT AREA
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	SEAT/SAFETY WALL
	FENCE
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	FLAG POLE
	BOLLARD
	BIKE RACK
	ALUMINUM EDGING
	NATIVE VEGETATIVE MAT
	PRAIRIE SEED MIX
	DECORATIVE STONE MULCH

PLANT SCHEDULE

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	PIGLD	<i>Picea glauca</i> 'Densata' Black Hills Spruce
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AMEL	<i>Amelanchier laevis</i> 'JFS-Arb' Spring Flurry® Allegheny Serviceberry
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	BENI	<i>Betula nigra</i> 'BNMTE'™ Dura Heat River Birch
	CEOC	<i>Celtis occidentalis</i> 'Prairie Pride' Prairie Pride Hackberry
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ Autumn Gold Maidenhair Tree
	GLTR	<i>Gleditsia triacanthos inermis</i> 'Shademaster' Shademaster Locust
	PTKC	<i>Gymnocladus dioica</i> 'J.C. McDaniel'™ Prairie Titan Kentucky Coffeetree
	QUBI	<i>Quercus bicolor</i> Swamp White Oak
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	JUCHI	<i>Juniperus chinensis</i> 'Iowa' Iowa Juniper
	JVIC	<i>Juniperus virginiana</i> 'Canaertii' Canaertii Eastern Redcedar
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARME	<i>Aronia melanocarpa</i> 'Morton' Iroquois Beauty Black Chokeberry
	CEPO	<i>Cephalanthus occidentalis</i> Buttonbush
	CORSE	<i>Cornus sericea</i> Red Twig Dogwood
	DIEL	<i>Diervilla lonicera</i> 'Jewel' Jewel Bush Honeysuckle
	HYPK	<i>Hypericum kalmianum</i> Kalm St. Johnswort
	VIBD	<i>Viburnum dentatum</i> 'KLMsavenetn' Little Joe™ Arrowwood Viburnum
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	<i>Buxus x 'Green Velvet'</i> Green Velvet Boxwood
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper
	PINM	<i>Pinus mugo</i> 'Pumilio' Dwarf Mugo Pine
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	ALSU	<i>Allium x 'Summer Beauty'</i> Summer Beauty Allium
	DALP	<i>Dalea purpurea</i> Purple Prairie Clover
	PAVN	<i>Panicum virgatum</i> 'Northwind' Northwind Switch Grass
	SCSCB	<i>Schizachyrium scaparium</i> 'MinblueA' Blue Heaven® Little Bluestem
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed

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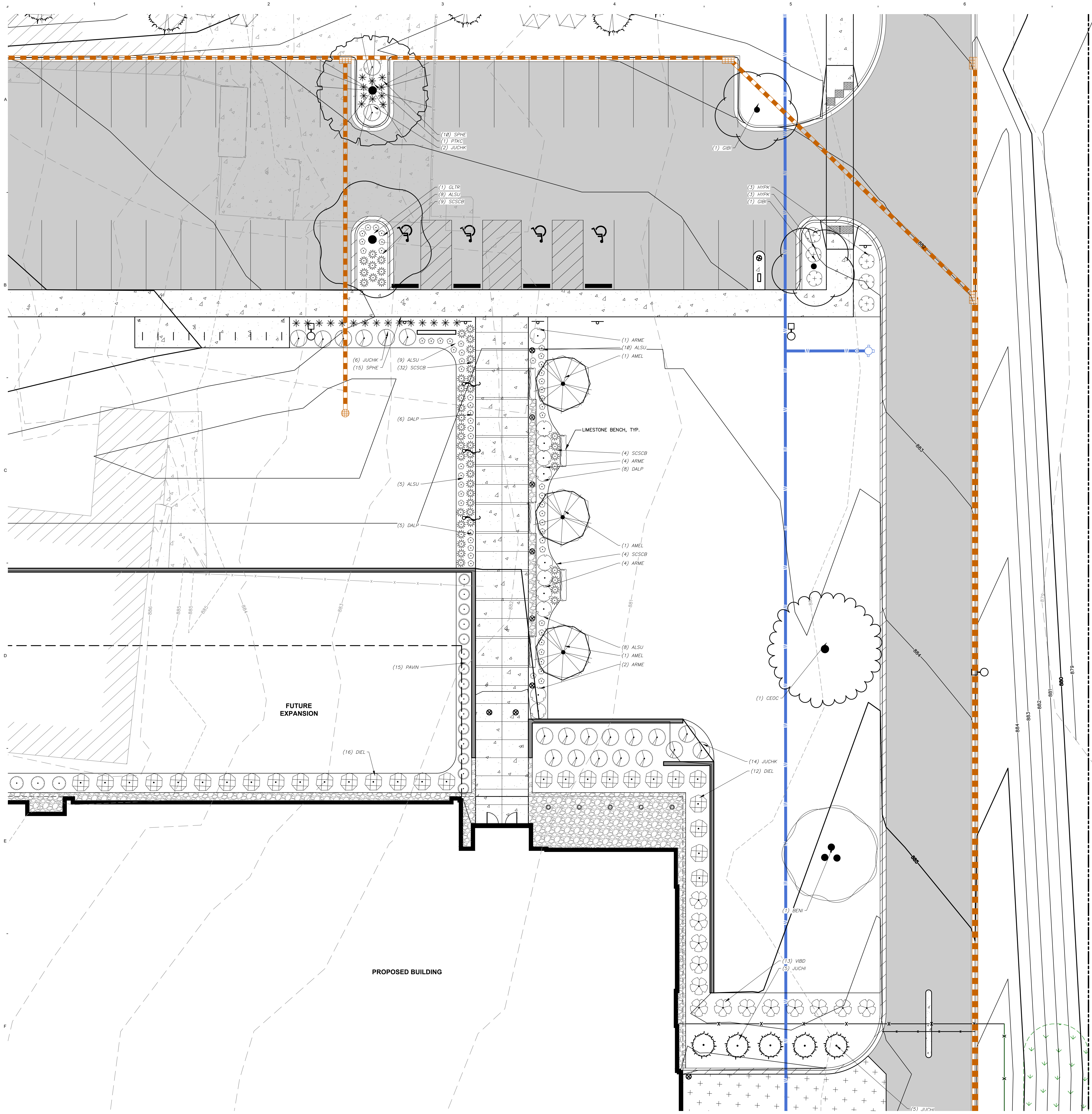
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Date: OCTOBER 2, 2023
Drawn: MRA
Check: KJY
North

NORTHWEST LANDSCAPE PLAN

LAND USE / UDC SUBMITTAL
NOT FOR CONSTRUCTION

Scale: 1" = 10'
L101



LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- - - -	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	EXISTING 1 FOOT CONTOUR
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---	EXISTING WATERMAIN
---	EXISTING STORM SEWER
---	SEAT/SAFETY WALL
---	FENCE
---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	ADA PARKING SIGN
---	FLAG POLE
---	BOLLARD
---	BIKE RACK
---	ALUMINUM EDGING
---	NATIVE VEGETATIVE MAT
---	PRAIRIE SEED MIX
---	DECORATIVE STONE MULCH

PLANT SCHEDULE

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	PIGLD	<i>Picea glauca</i> 'Densata' Black Hills Spruce
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AMEL	<i>Amelanchier laevis</i> 'JFS-Arb' Spring Flurry® Allegheny Serviceberry
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	BENI	<i>Betula nigra</i> 'BNMTF'™ Dura Heat River Birch
	CEOC	<i>Celtis occidentalis</i> 'Prairie Pride' Prairie Pride Hackberry
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ Autumn Gold Maidenhair Tree
	GLTR	<i>Gleditsia triacanthos inermis</i> 'Shademaster'™ Shademaster Locust
	PTKC	<i>Gymnocladus dioica</i> 'J.C. McDaniel'™ Prairie Titan Kentucky Coffeetree
	OUBI	<i>Quercus bicolor</i> Swamp White Oak
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	JUCHI	<i>Juniperus chinensis</i> 'Iowa' Iowa Juniper
	JUVIC	<i>Juniperus virginiana</i> 'Concertii' Concertii Eastern Redcedar
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARME	<i>Aronia melanocarpa</i> 'Morton'™ Iraqois Beauty Black Chokeberry
	CEPO	<i>Cephalanthus occidentalis</i> Buttonbush
	CORSE	<i>Cornus sericea</i> Red Twig Dogwood
	DIEL	<i>Diervilla lonicera</i> 'Jewel' Jewel Bush Honeysuckle
	HYPK	<i>Hypericum kalmianum</i> Kalm St. Johnswort
	VIBD	<i>Viburnum dentatum</i> 'KLMsawteen' Little Joe™ Arrowwood Viburnum
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	<i>Buxus</i> x 'Green Velvet' Green Velvet Boxwood
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper
	PINM	<i>Pinus mugo</i> 'Pumilio' Dwarf Mugo Pine
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	ALSU	<i>Allium</i> x 'Summer Beauty' Summer Beauty Allium
	DALP	<i>Dalea purpurea</i> Purple Prairie Clover
	PAVIN	<i>Panicum virgatum</i> 'Northwind' Northwind Switch Grass
	SCSCB	<i>Schizachyrium scaparium</i> 'MinblueA' Blue Heaven® Little Bluestem
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed

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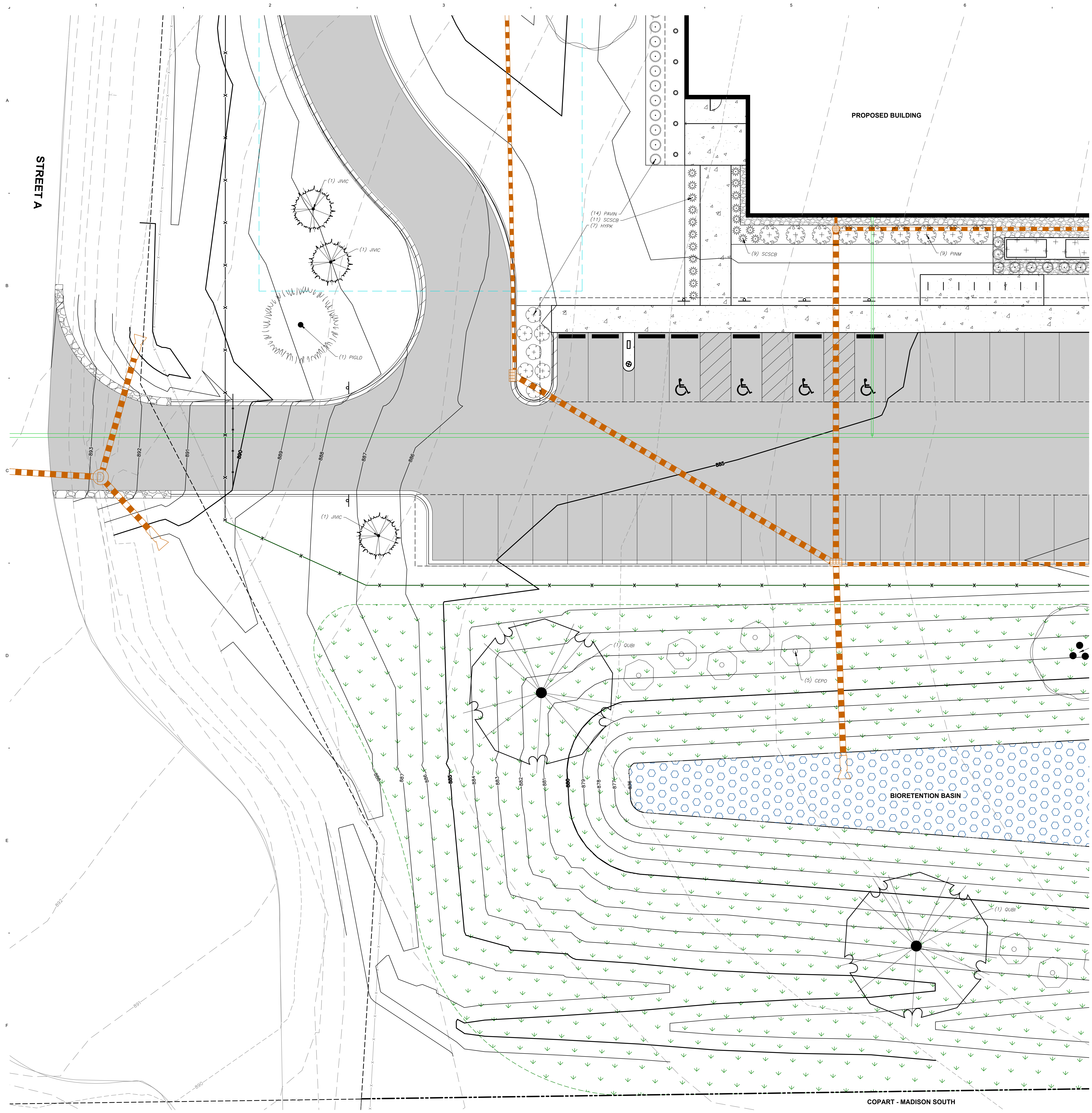
MADISON REGIONAL OFFICE
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VERONA, WISCONSIN 53593
P. 608.848.5060

Comm: 22-11600
Date: OCTOBER 2, 2023
Drawn: MRA
Check: KJY
North

NORTHEAST LANDSCAPE PLAN

LAND USE / UDC SUBMITTAL
NOT FOR CONSTRUCTION

Scale: 1" = 10'
L102



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	STORMWATER MANAGEMENT AREA
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	SEAT/SAFETY WALL
	FENCE
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	FLAG POLE
	BOLLARD
	BIKE RACK
	ALUMINUM EDGING
	NATIVE VEGETATIVE MAT
	PRAIRIE SEED MIX
	DECORATIVE STONE MULCH

PLANT SCHEDULE

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	FIGLD	<i>Picea glauca</i> 'densata' Black Hills Spruce
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AMEL	<i>Amelanchier laevis</i> 'JFS-Arb' Spring Flurry® Allegheny Serviceberry
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	BENI	<i>Betula nigra</i> 'BNMTF'™ Dura Heat River Birch
	CEOC	<i>Celtis occidentalis</i> 'Prairie Pride' Prairie Pride Hackberry
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ Autumn Gold Maidenhair Tree
	GLTR	<i>Gleditsia triacanthos inermis</i> 'Shademaster'™ Shademaster Locust
	PTKC	<i>Gymnocladus dioica</i> 'J.C. McDaniel'™ Prairie Titan Kentucky Coffeetree
	QUBI	<i>Quercus bicolor</i> Swamp White Oak
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	JUCHI	<i>Juniperus chinensis</i> 'Iowa' Iowa Juniper
	JIVC	<i>Juniperus virginiana</i> 'Canoertii' Canoertii Eastern Redcedar
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARME	<i>Aronia melanocarpa</i> 'Morton'™ Iroquois Beauty Black Chokeberry
	CEPO	<i>Cephalanthus occidentalis</i> Buttonbush
	CORSE	<i>Cornus sericea</i> Red Twig Dogwood
	DIEL	<i>Diervilla lonicera</i> 'Jewel' Jewell Bush Honeysuckle
	HYPK	<i>Hypericum kalmianum</i> Kalm St. Johnswort
	VIBD	<i>Viburnum dentatum</i> 'KLMseventeen' Little Joe™ Arrowwood Viburnum
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	<i>Buxus</i> x 'Green Velvet' Green Velvet Boxwood
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper
	PINM	<i>Pinus mugo</i> 'Pumilio' Dwarf Mugo Pine
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	ALSU	<i>Allium</i> x 'Summer Beauty' Summer Beauty Allium
	DALP	<i>Dalea purpurea</i> Purple Prairie Clover
	PAVN	<i>Panicum virgatum</i> 'Northwind' Northwind Switch Grass
	SCSCB	<i>Schizachyrium scaparium</i> 'MinblueA' Blue Heaven® Little Bluestem
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed

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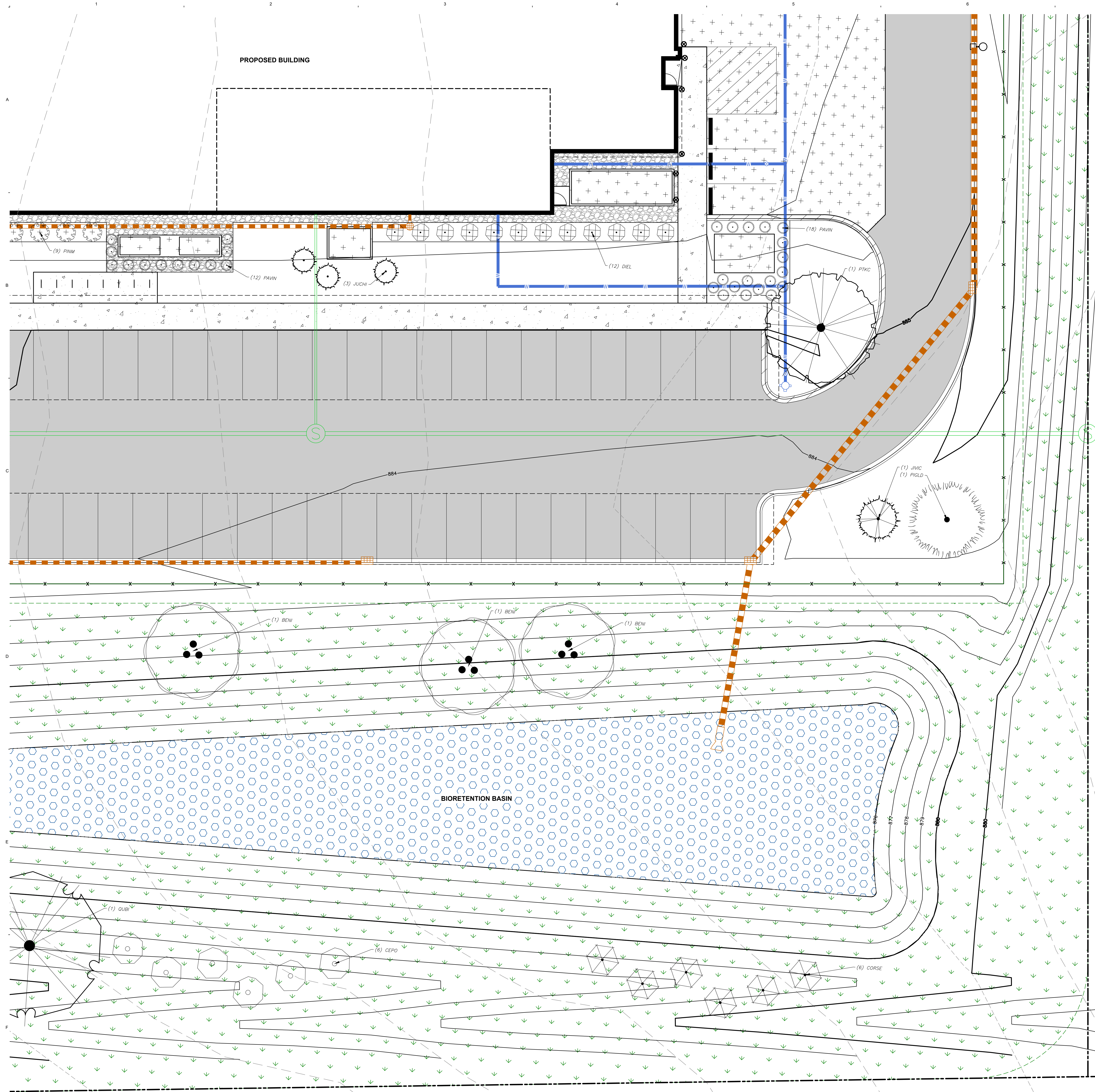
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P. 608.848.5060

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Date: OCTOBER 2, 2023
Drawn: MRA
Check: KJY
North

SOUTHWEST LANDSCAPE PLAN

LAND USE / UDC SUBMITTAL
NOT FOR CONSTRUCTION

Scale: 1" = 10'
L103



LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- - - -	EASEMENT LINE
---	BUILDING OUTLINE
- - - -	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	EXISTING 1 FOOT CONTOUR
---	EXISTING 5 FOOT CONTOUR
---	STORMWATER MANAGEMENT AREA
---	SANITARY SEWER
---	WATERMAIN
---	STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATERMAIN
---	EXISTING STORM SEWER
---	SEAT/SAFETY WALL
---	FENCE
---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	ADA PARKING SIGN
---	FLAG POLE
---	BOLLARD
---	BIKE RACK
---	ALUMINUM EDGING
---	NATIVE VEGETATIVE MAT
---	PRAIRIE SEED MIX
---	DECORATIVE STONE MULCH

PLANT SCHEDULE

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	PIGLD	<i>Picea glauca</i> 'Densata' Black Hills Spruce
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AMEL	<i>Amelanchier laevis</i> 'JFS-Arb' Spring Flurry® Allegheny Serviceberry
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	BENI	<i>Betula nigra</i> 'BNMTF' TM Dura Heat River Birch
	CEOC	<i>Celtis occidentalis</i> 'Prairie Pride' Prairie Pride Hackberry
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold' TM Autumn Gold Maidenhair Tree
	GLTR	<i>Gleditsia triacanthos inermis</i> 'Shademaster' TM Shademaster Locust
	PTKC	<i>Gymnocladus dioica</i> 'J.C. McDaniel' TM Prairie Titan Kentucky Coffeetree
	OUBI	<i>Quercus bicolor</i> Swamp White Oak
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	JUCHI	<i>Juniperus chinensis</i> 'Iowa' Iowa Juniper
	JVIC	<i>Juniperus virginiana</i> 'Canaertii' Canaertii Eastern Redcedar
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARME	<i>Aronia melanocarpa</i> 'Morton' TM Iroquois Beauty Black Chokeberry
	CEPO	<i>Cephalanthus occidentalis</i> Buttonbush
	CORSE	<i>Cornus sericea</i> Red Twig Dogwood
	DIEL	<i>Diervilla lonicera</i> 'Jewel' Jewel Bush Honeysuckle
	HYPK	<i>Hypericum kalmianum</i> Kalm St. Johnswort
	VIBD	<i>Viburnum dentatum</i> 'KLMseventeen' Little Joe™ Arrowwood Viburnum
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	<i>Buxus</i> x 'Green Velvet' Green Velvet Boxwood
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper
	PINM	<i>Pinus mugo</i> 'Pumilio' Dwarf Mugo Pine
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	ALSU	<i>Allium</i> x 'Summer Beauty' Summer Beauty Allium
	DALP	<i>Dalea purpurea</i> Purple Prairie Clover
	PAWN	<i>Panicum virgatum</i> 'Northwind' Northwind Switch Grass
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SOUTHEAST LANDSCAPE PLAN

LAND USE / UDC SUBMITTAL
NOT FOR CONSTRUCTION

Scale: 1" = 10'
L104



FLOOR PLAN KEY NOTES:

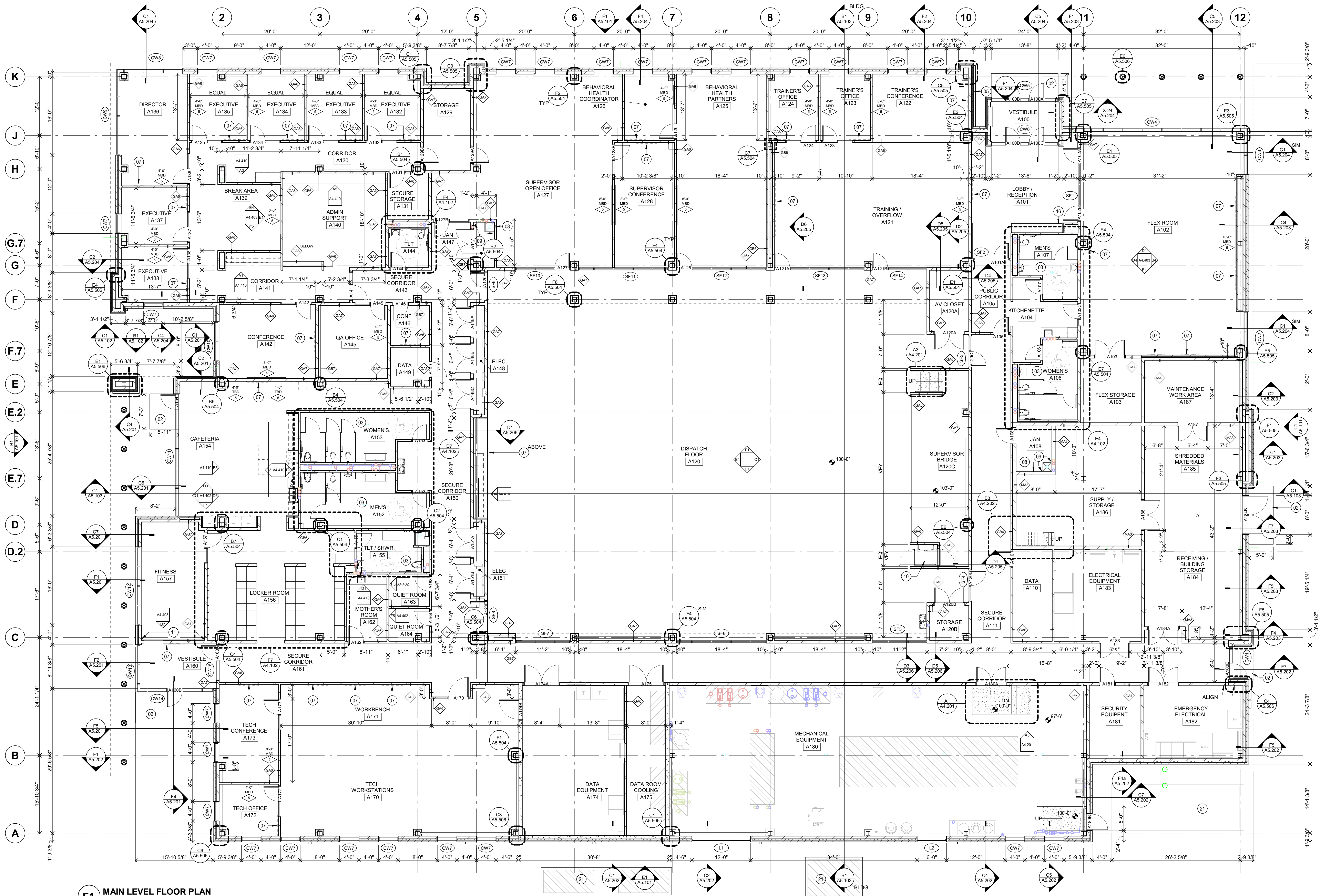
- 01 DOOR ACTUATORS
- 02 CONCRETE STOOP; SEE STRUCTURAL AND DETAIL.
- 03 DEPRESSED CONCRETE SLAB AT RESTROOMS.
- 04 MANUAL ROLLER SHADE; SEE MATERIAL FINISH SCHEDULE.
- 05 FIRE KNOX BOX; SEE SPECIFICATIONS.
- 06 CABINET UNIT HEATER/CONVECTOR; SEE MECHANICAL FOR SPECIFICATIONS, COORDINATE LOCATION WITH MECHANICAL.
- 07 TV, NIC; COORDINATE SIZE, HEIGHT, AND BLOCK REQUIREMENTS WITH ELECTRICAL AND OWNER. SEE DETAIL FS44.101 FOR PLYWOOD INSTALLATION.
- 08 MOP SINK; COORDINATE WITH MECHANICAL.
- 09 FRP 48" A.F.F.; SEE SPECIFICATIONS 06 83.16.
- 10 VERTICAL PLATFORM LIFT
- 11 FULL HEIGHT MIRROR; SEE ELEVATION.
- 12 STEEL LADDER, PAINTED - SEE 61014 & 61025
- 13 EXTERIOR LIGHTING - SEE ELEC.
- 14 CARD READER; SEE TECHNOLOGY.
- 15 MAGNETIC HOLD OPEN; SEE ELECTRICAL.
- 16 DISPLAY CASE; SEE INTERIOR ELEVATION.
- 17 BOLLARD - SEE DETAIL 21001
- 18 WALL HYDRANT/HOSE BIB; SEE MECHANICAL.
- 19 SERVICE SINK; SEE MECHANICAL.
- 20 OVERFLOW DOWNSPOUT / SCUPPER
- 21 CONCRETE EQUIPMENT PAD - COORDINATE SIZE WITH MECHANICAL & ELECTRICAL EQUIPMENT
- 22 MOTORIZED ROLLER SHADES - SEE MATERIAL FINISH SCHEDULE
- 23 CORNER GUARDS (CG) AT GWB LOCATIONS, TYP.; SEE SPECIFICATIONS.
- 24 PROVIDE WALL MOUNTED FIRE EXTINGUISHER PER SPECIFICATIONS.
- 25 PROVIDE RECESSED CABINET AND FIRE EXTINGUISHER PER SPECIFICATIONS.

FLOOR PLAN GENERAL NOTES

1. ALL PLAN DIMENSIONS ARE TO FACE OF WALL. SEE WALL TYPES FOR ACTUAL THICKNESS.
2. ALL INTERIOR PARTITIONS ARE TYPE GB2 UNLESS NOTED OTHERWISE.
3. ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK (NOMINAL) UNLESS NOTED OTHERWISE.
4. COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
5. FIELD VERIFY ALL MILLWORK OPENINGS.
6. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS NOTED OTHERWISE. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
7. COORDINATE LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
8. ALL DOOR / SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
9. ALL INTERIOR GWB / METAL STUD PARTITIONS TO BE CENTERED ON GRID UNLESS NOTED OTHERWISE.
10. FIRE RATED WALLS ARE INDICATED ON CODE PLANS.

MN

A



F1 MAIN LEVEL FLOOR PLAN
1/8" = 1'-0"

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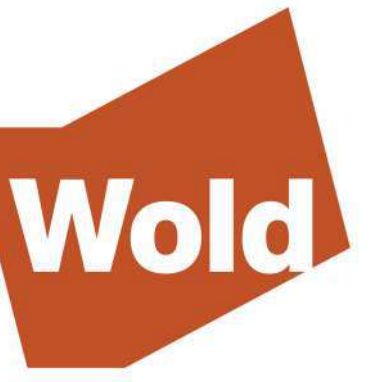
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MAIN LEVEL FLOOR PLAN

Scale: 1/8" = 1'-0"

LAND USE / UDC SUBMITTAL
NOT FOR CONSTRUCTION

A2.01



FLOOR PLAN KEY NOTES:

- 01 DOOR ACTUATORS
- 02 CONCRETE STOOP; SEE STRUCTURAL AND DETAIL.
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- 04 MANUAL ROLLER SHADE; SEE MATERIAL FINISH SCHEDULE
- 05 FIRE KNOX BOX; SEE SPECIFICATIONS.
- 06 CABINET UNIT HEATER/ CONVECTOR; SEE MECHANICAL FOR SPECIFICATIONS. COORDINATE LOCATION WITH MECHANICAL.
- 07 TV, NIC, COORDINATE SIZE, HEIGHT, AND BLOCK REQUIREMENTS WITH ELECTRICAL AND OWNER. SEE DETAIL F3/A4.101 FOR PLYWOOD INSTALLATION.
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- 09 FRP 48" A.F.F.; SEE SPECIFICATIONS 06 83 16.
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- 14 CARD READER; SEE TECHNOLOGY.
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- 18 WALL HYDRANT/ HOSE BIB; SEE MECHANICAL.
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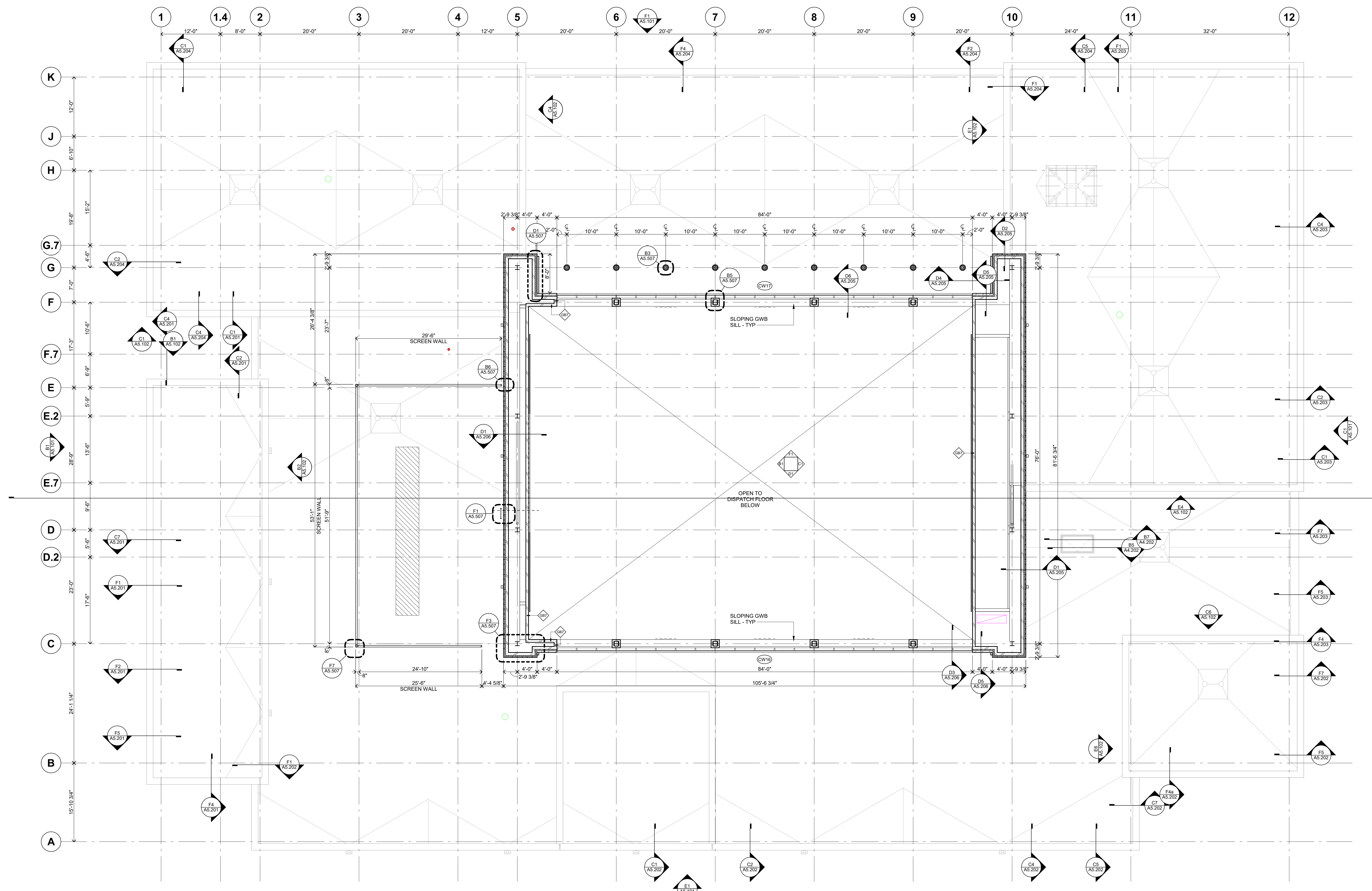
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FLOOR PLAN GENERAL NOTES

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5. FIELD VERIFY ALL MILLWORK OPENINGS.
6. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS NOTED OTHERWISE. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE. MIN. 1/4" PER FOOT.
7. COORDINATE LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
8. ALL DOOR / SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
9. ALL INTERIOR GWB/ METAL STUD PARTITIONS TO BE CENTERED ON GRID UNLESS NOTED OTHERWISE.
10. FIRE RATED WALLS ARE INDICATED ON CODE PLANS.

MN

A



F1 CLERESTORY FLOOR PLAN
1/8" = 1'-0"
0 6 12

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CLERESTORY FLOOR PLAN

LAND USE / UDC SUBMITTAL
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Scale: 1/8" = 1'-0"
A2.02



ROOF PLAN KEY NOTES:

- (01) THRU-WALL SCUPPER WITH GUTTER BOX AND DOWNSPOUT
- (02) ROOF LADDER - REFER TO DETAIL
- (03) EXPANSION JOINT COVER - REFER TO DETAIL
- (04) SLOPE STRUCTURE WHERE HATCHED - SEE STRUCT
- (05) ROOF HATCH - 3'-0"W X 6'-0"L
- (06) AIR HANDLING UNIT - SEE MECH
- (07) LOUVERED SCREEN WALL - SEE ELEVATIONS

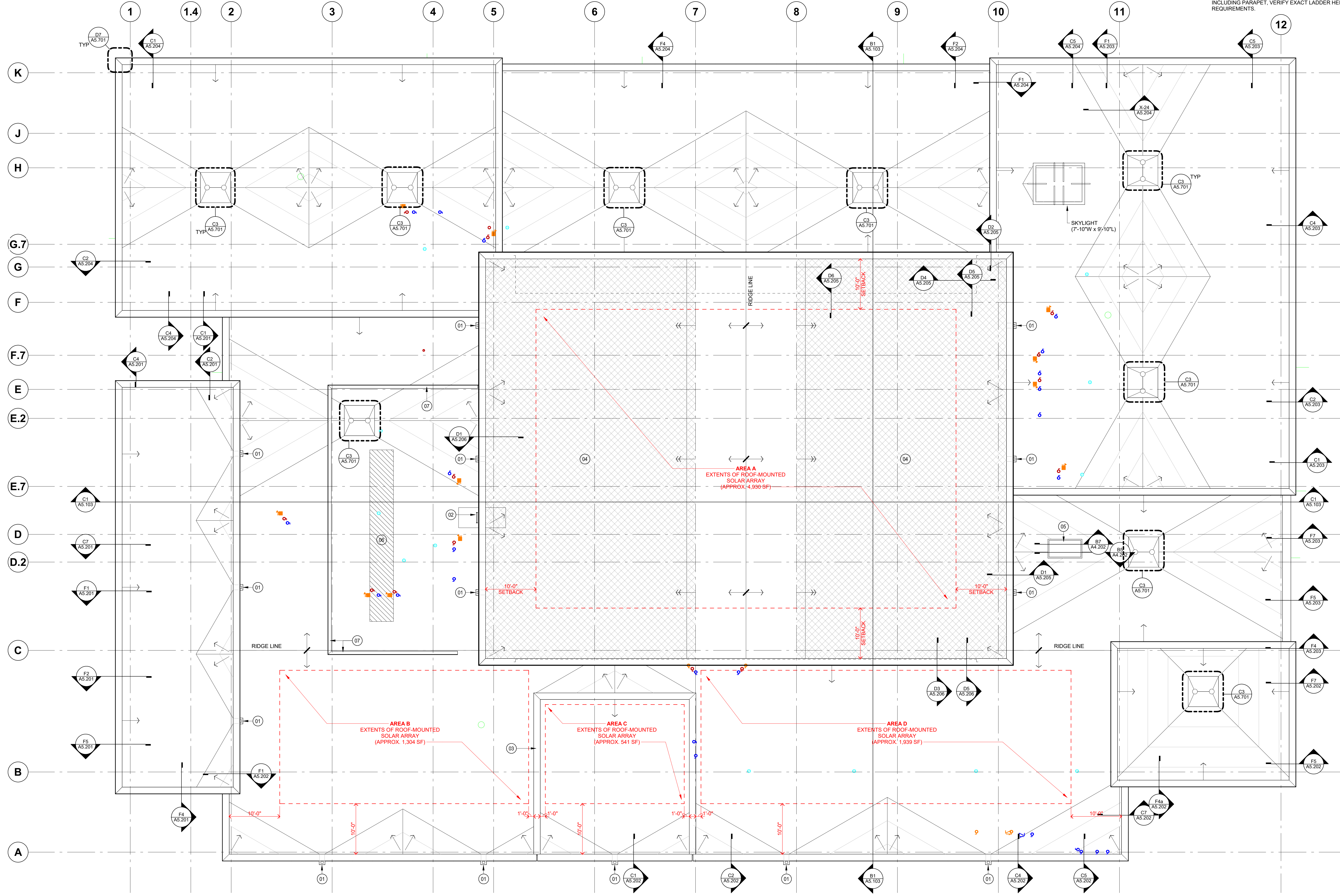
ROOF PLAN LEGEND

- ROOF DRAIN (R.D.)
- OVERFLOW DRAIN (O.R.D.)
- MECH HOOD
- EQUIPMENT CURB AT MECHANICAL EQUIPMENT
- ROOF EXHAUST
- EQUIPMENT CURB SUPPORTING PIPING OR CONDUIT. INSTALL MAXIMUM SPACING OF 6'-0" O.C.
- VENT STACK, PIPE OR CONDUIT
- COMBUSTION STACK
- CRICKET FOR POSITIVE DRAINAGE
- SLOPE OF TAPERED INSULATION
- DIAMOND CRICKET (SEE TYPICAL DETAIL)
- SLOPED STRUCTURE
- ROOF LADDER

ROOF PLAN GENERAL NOTES

1. TAPERED ROOF INSULATION AND CRICKETS SHALL SLOPE AT 1/4" PER 1'-0". THE THICKNESS OF THE BASE INSULATION IS TO BE 5 1/2".
2. SHOP DRAWING DESIGN AND INSTALLATION OF TAPERED INSULATION MUST ACCOUNT FOR CAMBER IN STRUCTURE TO INSURE THAT THE ROOF DRAINS AS DESIGNED.
3. AT MECH. OPENINGS AND CURBS ON ROOF, PROVIDE CRICKETS AS REQUIRED FOR POSITIVE DRAINAGE OR CUT OPENINGS IN FREE-STANDING CURBS AS AN ALTERNATIVE.
4. MECHANICAL ITEM LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO MECH. DRAWINGS FOR EXTENT OF MECH. EQUIP. AND SIZE AND LOCATION OF ALL ROOF PENETRATIONS.
5. ALL MECHANICAL AND ELECTRICAL ROOFTOP EQUIPMENT, PIPING, CONDUIT, ETC. TO BE PAINTED.
6. COORDINATE ROOF AND OVERFLOW DRAIN LOCATIONS WITH STRUCTURAL COMPONENTS TO AVOID LOCATING ROOF OR OVERFLOW DRAINS OVER TOP OF BEAMS OR JOISTS.
7. REFER TO EXTERIOR ELEVATIONS FOR LOCATION OF OVERFLOW SCUPPERS AND OUTFLOWS.
8. AT ALL LADDERS, TOP AND BOTTOM, PROVIDE AND INSTALL A 4'-0" X 4'-0" CONCRETE PAVER LANDING.
9. ROOF LADDERS WITH NUMBER IN PARENTHESIS INDICATE RELATIVE ROOF DECK ELEVATION DIFFERENCES. NOT INCLUDING PARAPET, VERIFY EXACT LADDER HEIGHT REQUIREMENTS.

MN



F1 HIGH ROOF
1/8" = 1'-0"
0 6' 12'

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ROOF PLAN

Scale: As Indicated
A2.095

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EXTERIOR PERSPECTIVES & MATERIALS

Scale: 12" = 1'-0"

A5.100

MN



C1 AERIAL VIEW
NOT TO SCALE



C3 VIEW OF PUBLIC ENTRY
NOT TO SCALE



C6 VIEW FROM NORTHWEST
NOT TO SCALE



D1 VIEW OF WEST ELEVATION
NOT TO SCALE



D3 VIEW OF STAFF ENTRY
NOT TO SCALE



D6 VIEW OF RECEIVING / LOADING AREA
NOT TO SCALE



F3 EXTERIOR MATERIALS
NOT TO SCALE

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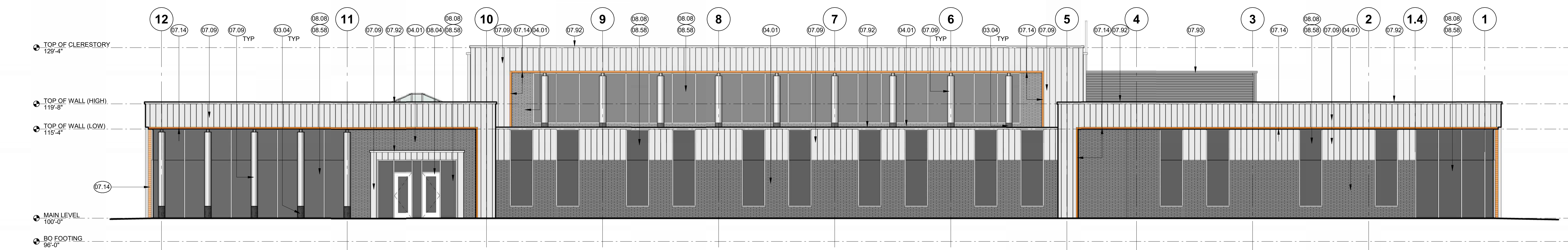
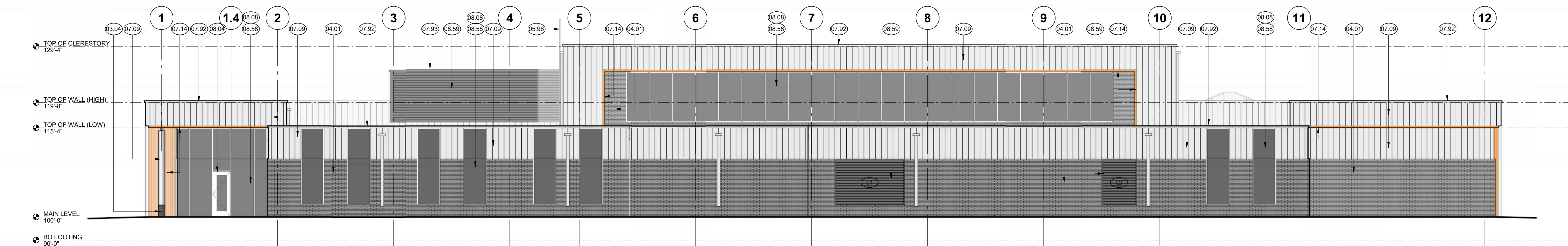
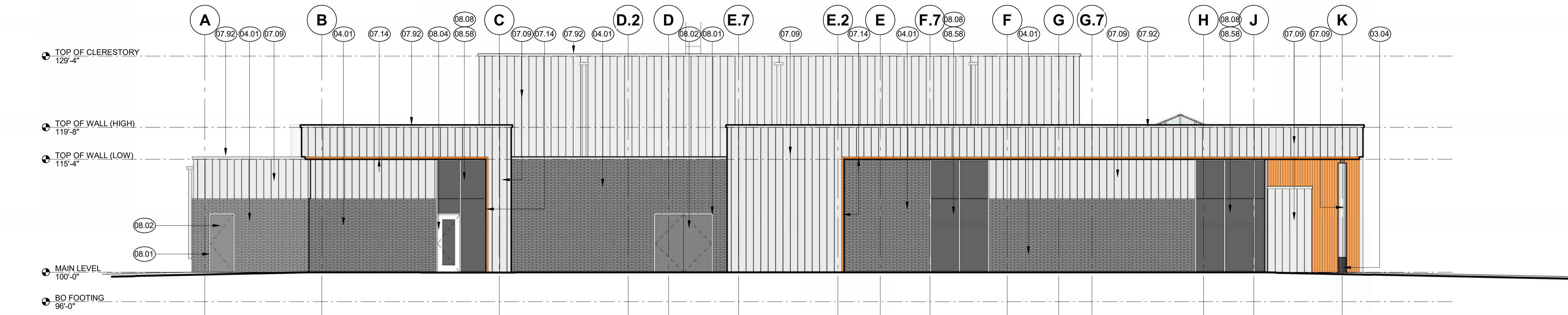
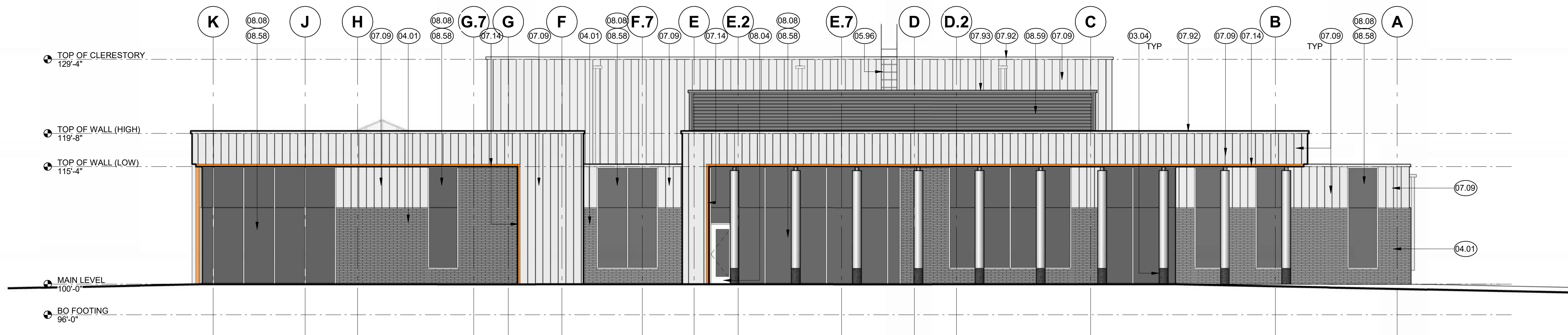
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MATERIALS KEY	
KEY	MATERIAL
03.04	ARCHITECTURAL PRECAST CONCRETE (DARK CHARCOAL WITH SANDBLAST FINISH)
04.01	BRICK 1 (EBONITE VELOUR BRICK)
05.96	ROOF LADDER - PAINT PT-X
07.09	PRE-FORMED PRE-PATINATED ZINC REVEAL RAINSCREEN PANEL
07.14	LINEAR METAL SOFFIT & FASCIA ("COPPER PENNY" LINEAR PANEL)
07.92	PRE-FORMED PRE-PATINATED ZINC COPING
07.93	PRE-FORMED PRE-FINISHED METAL COPING TO MATCH LOUVER
08.01	HOLLOW METAL FRAME - PAINT PT-X
08.02	HOLLOW METAL DOOR - PAINT PT-X
08.04	ANODIZED ALUMINUM DOOR
08.08	ANODIZED ALUMINUM CURTAIN WALL FRAME
08.58	EXTERIOR GLAZING
08.59	PRE-FINISHED METAL LOUVER

MN



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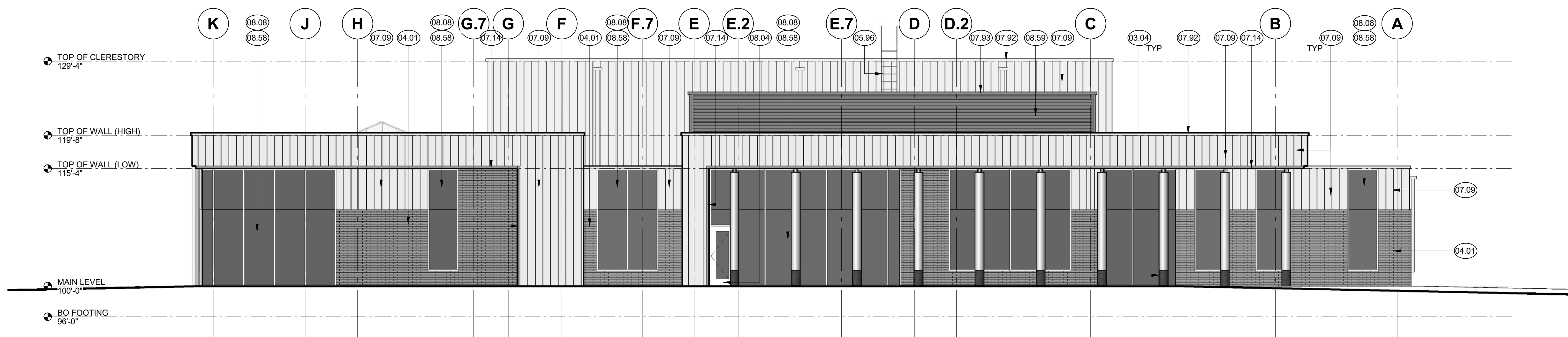
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EXTERIOR ELEVATIONS

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Scale: 1/8" = 1'-0"
A5.101

MN

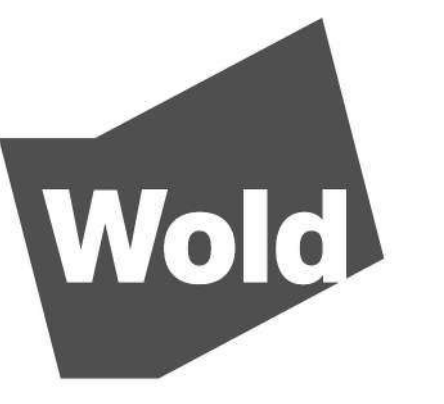


B1 OVERALL WEST ELEVATION
1/8" = 1'-0"
0 6 12

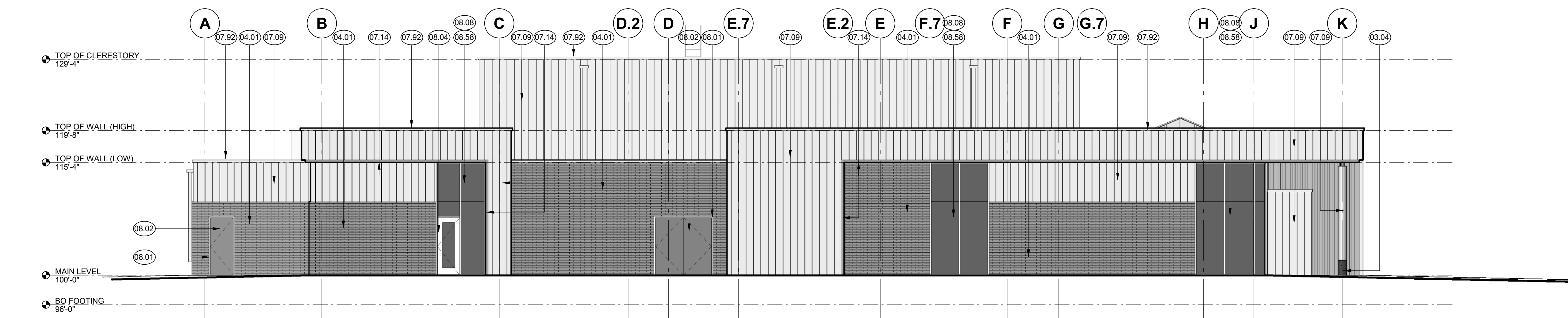
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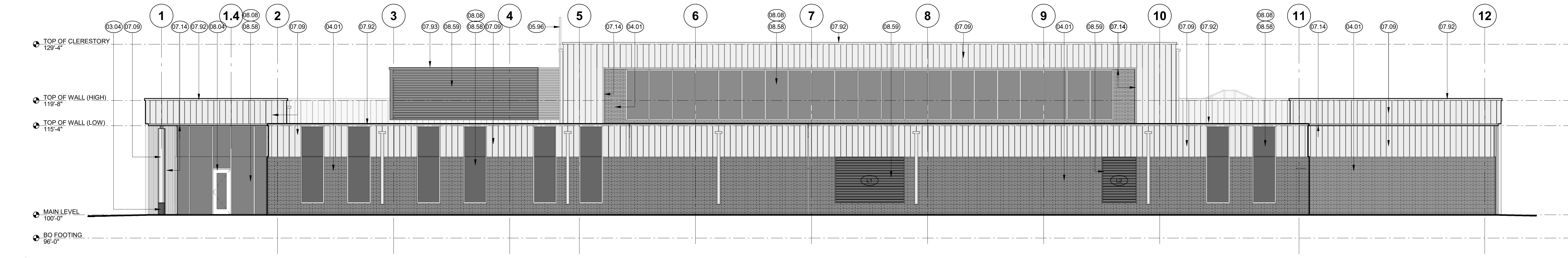
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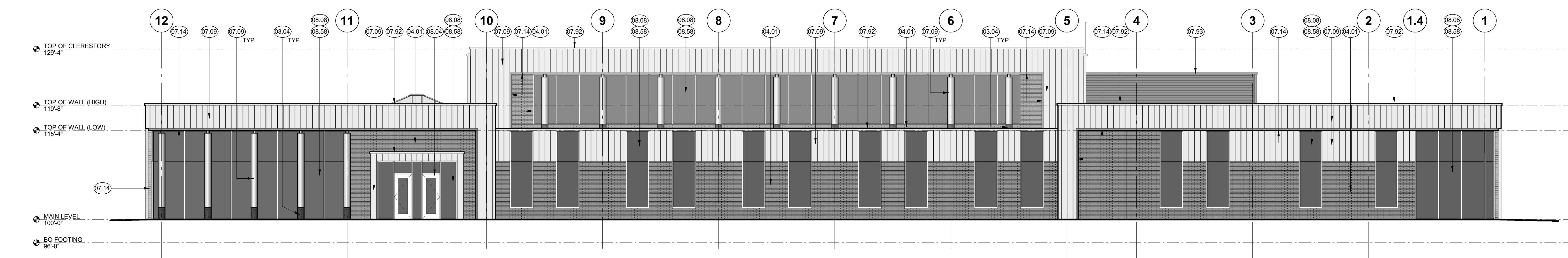
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C1 OVERALL EAST ELEVATION
1/8" = 1'-0"
0 6 12



E1 OVERALL SOUTH ELEVATION
1/8" = 1'-0"
0 6 12



F1 OVERALL NORTH ELEVATION
1/8" = 1'-0"
0 6 12

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EXTERIOR ELEVATIONS

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Scale: 1/8" = 1'-0"
A5.101

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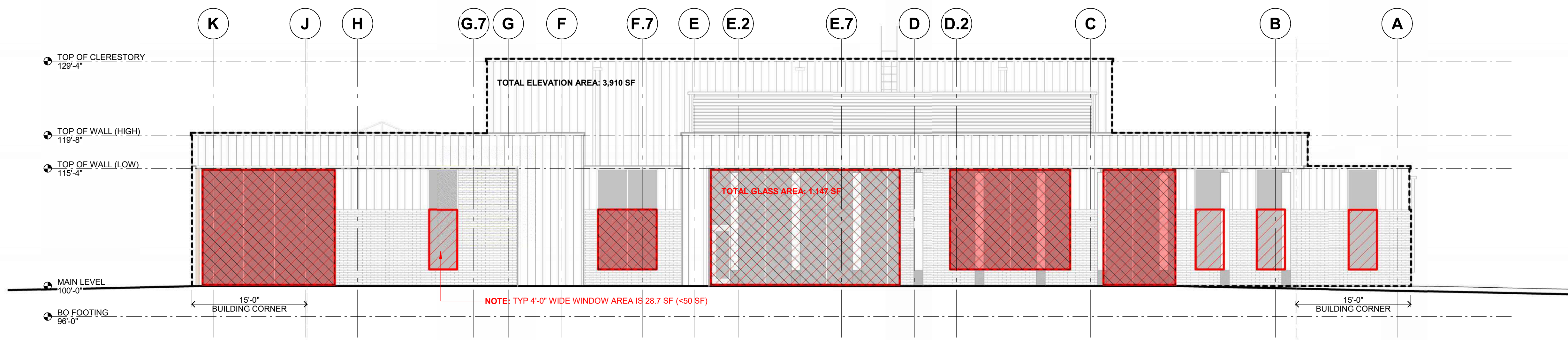


BIRD-SAFE GLASS AREA CALCULATIONS

ELEVATION	TOTAL ELEVATION AREA (SF)	TOTAL GLASS AREA (SF)	% GLASS AREA
WEST	3,910 SF	1,147 SF	29.3%
EAST	3,904 SF	348 SF	8.9%
SOUTH	5,689 SF	1,160 SF	20.4%
NORTH	5,851 SF	1,926 SF	32.9%
TOTAL	19,354 SF	4,582 SF	23.7%

PER SUBCHAPTER 28: GENERAL REQUIREMENTS OF THE CITY OF MADISON ZONING CODE ORDINANCE:
(4)(a),(2) FOR BUILDING FACADES WHERE THE FIRST SIXTY (60) FEET FROM GRADE ARE COMPRISED OF LESS THAN FIFTY PERCENT (50%) GLASS:
a. AT LEAST EIGHTY-FIVE PERCENT (85%) OF THE GLASS ON GLASS AREAS FIFTY (50) SQUARE FEET OR OVER MUST BE TREATED; AND
b. OF ALL GLASS AREAS OVER FIFTY (50) SQUARE FEET, ANY GLASS WITHIN FIFTEEN (15) FEET OF A BUILDING OR CORNER MUST BE TREATED.

- TOTAL SQUARE FEET OF GLASS ON GLASS AREAS FIFTY (50) SF OR OVER = 3,837 SF
- GLASS WITH BIRD-SAFE TREATMENT REQUIRED = 0.85 * 3,837 SF = 3,261 SF REQUIRED GLASS WITH BIRD-SAFE TREATMENT
- GLASS WITH BIRD-SAFE TREATMENT PROVIDED = 3,337 SF PROVIDED



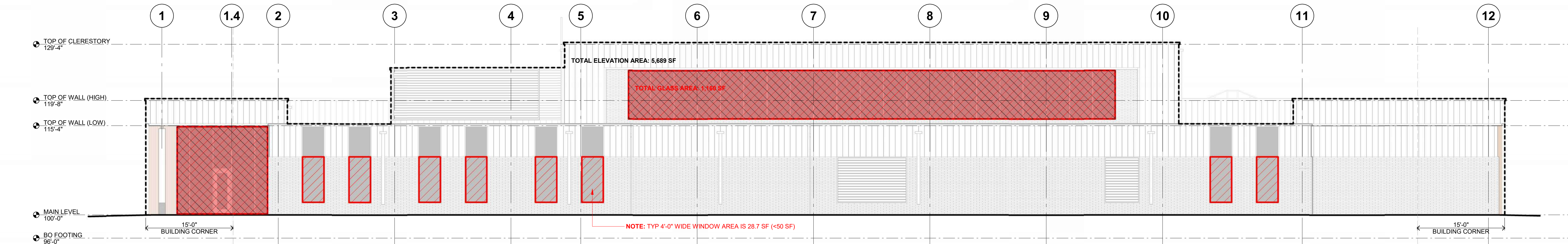
B1 OVERALL WEST ELEVATION - BIRD-SAFE GLASS AREA CALCULATION

1/8" = 1'-0"
0 6 12



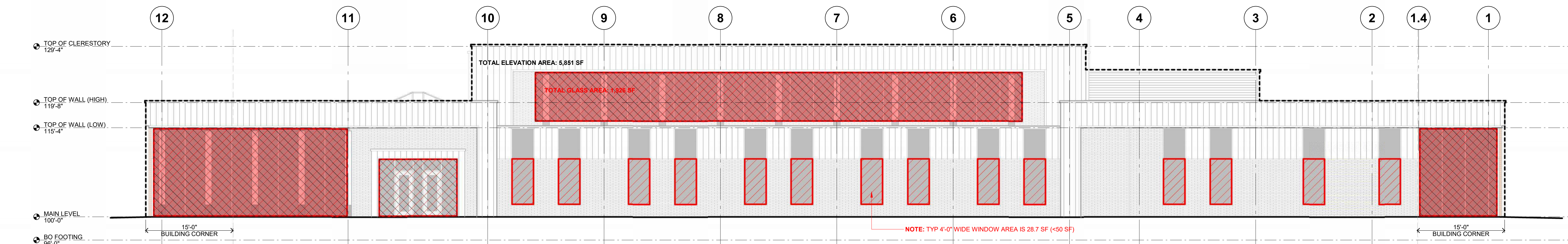
C1 OVERALL EAST ELEVATION - BIRD-SAFE GLASS AREA CALCULATION

1/8" = 1'-0"
0 6 12



E1 OVERALL SOUTH ELEVATION - BIRD-SAFE GLASS AREA CALCULATION

1/8" = 1'-0"
0 6 12



F1 OVERALL NORTH ELEVATION - BIRD-SAFE GLASS AREA CALCULATION

1/8" = 1'-0"
0 6 12

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Arch Name		
License Number	Arch Num	Issue Date
Revisions		
Description	Date	Num

Comm: 223081
Date: October 2, 2023
Drawn: Author
Check: Checker

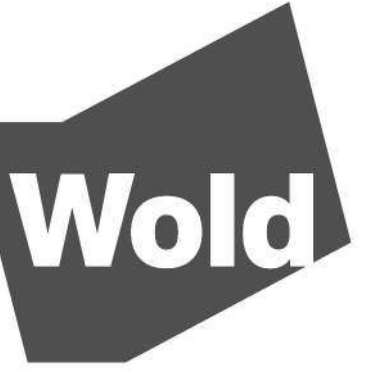
BIRD-SAFE GLASS CALCULATIONS

Scale: 1/8" = 1'-0"

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McFarland, WI 53558

County of Dane
210 Martin Luther King Jr. Blvd
Madison, Wisconsin

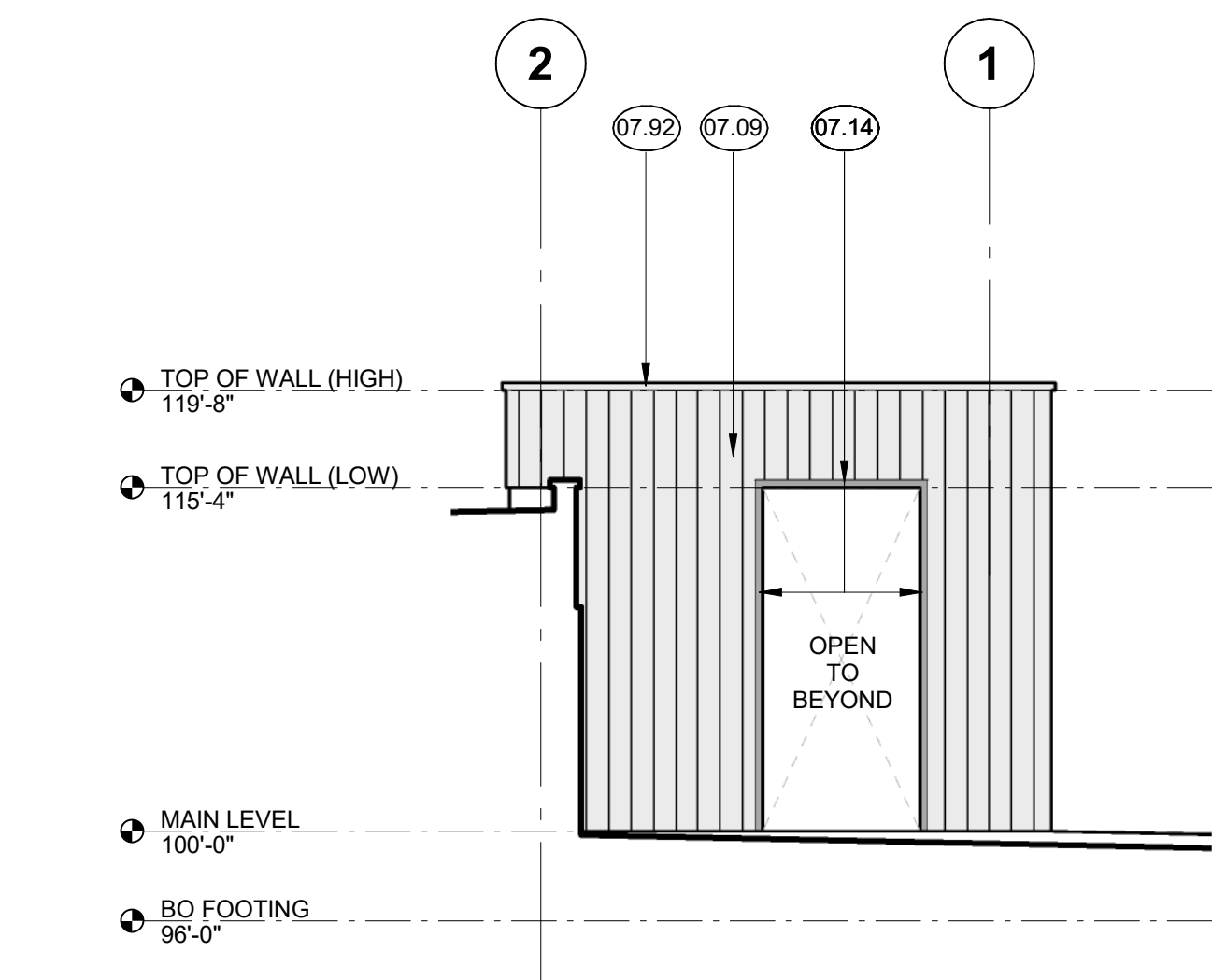


WOLD ARCHITECTS AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

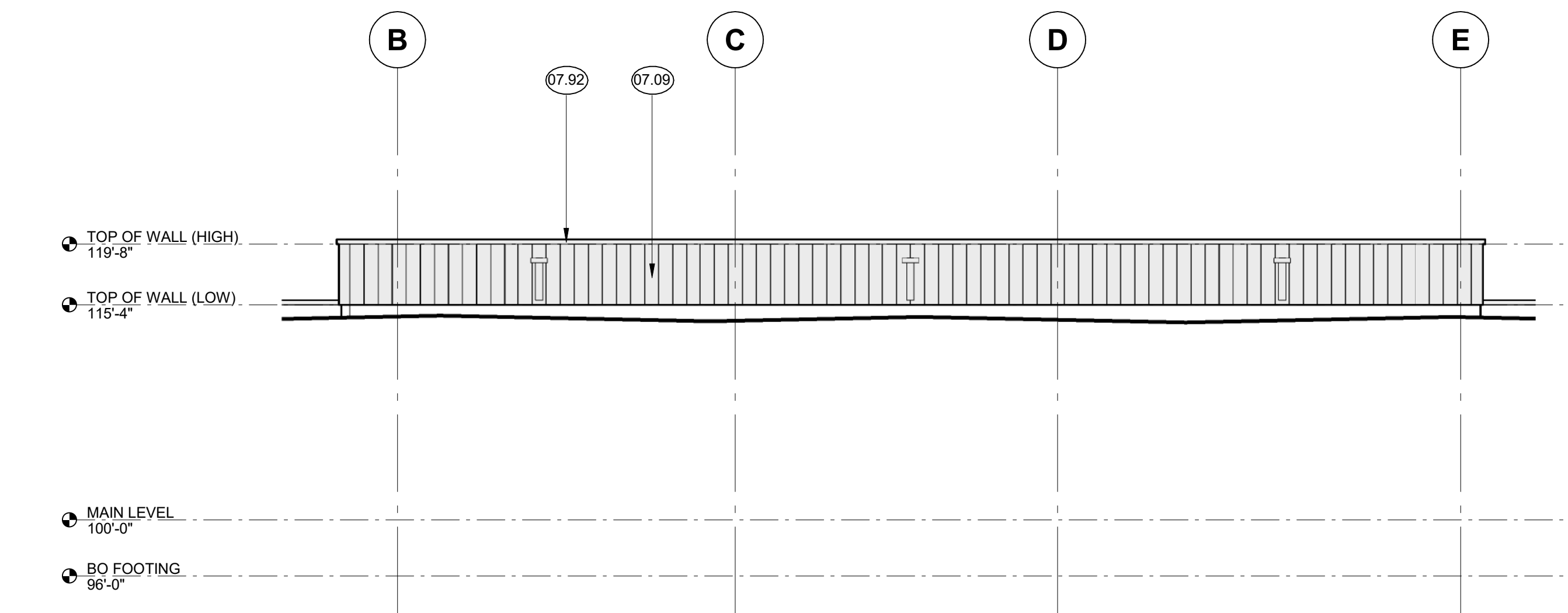
woldac.com | 651.227.7773

MATERIALS KEY	
KEY	MATERIAL
04.01	BRICK 1 (EBONITE VELOUR BRICK)
07.09	PRE-FORMED PRE-PATINATED ZINC REVEAL RAINSCREEN PANEL
07.14	LINEAR METAL SOFFIT & FASCIA "COOPER PENNY" LINEAR PANEL
07.92	PRE-FORMED PRE-PATINATED ZINC COPING
08.08	ANODIZED ALUMINUM CURTAIN WALL FRAME
08.58	EXTERIOR GLAZING

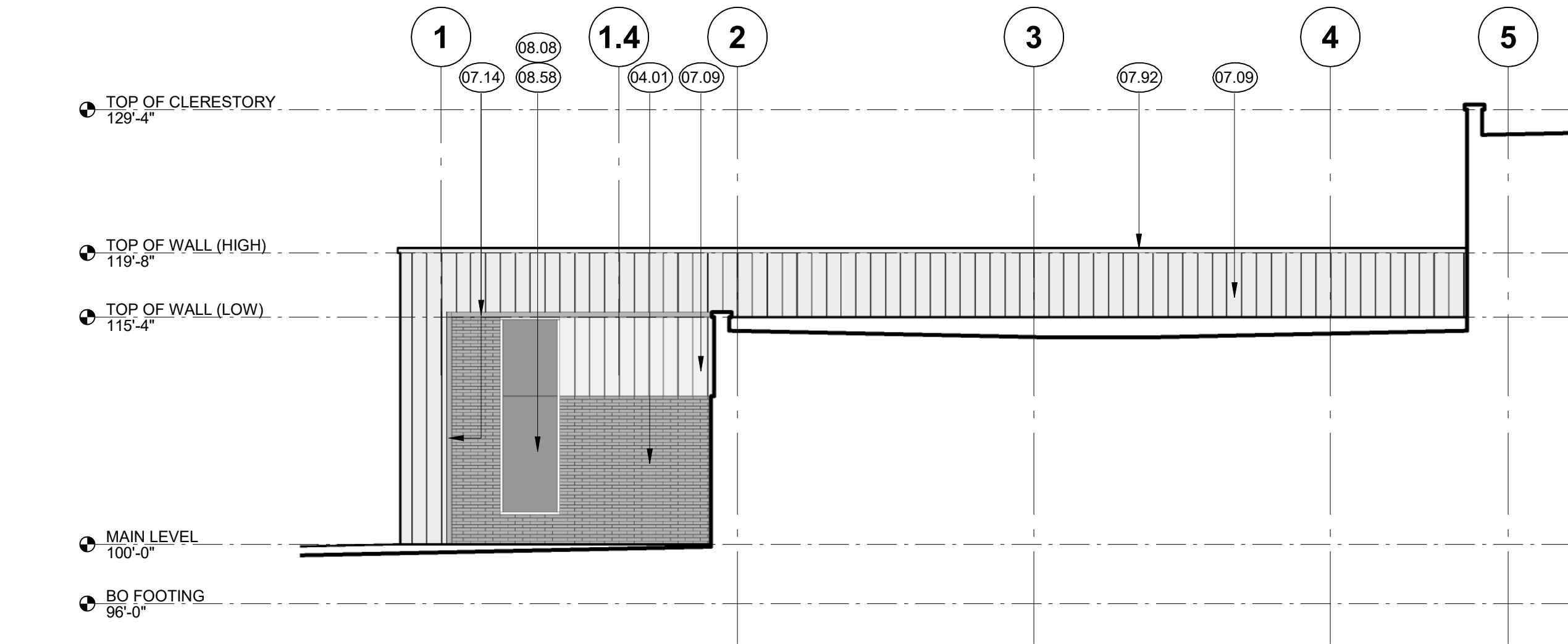
MN



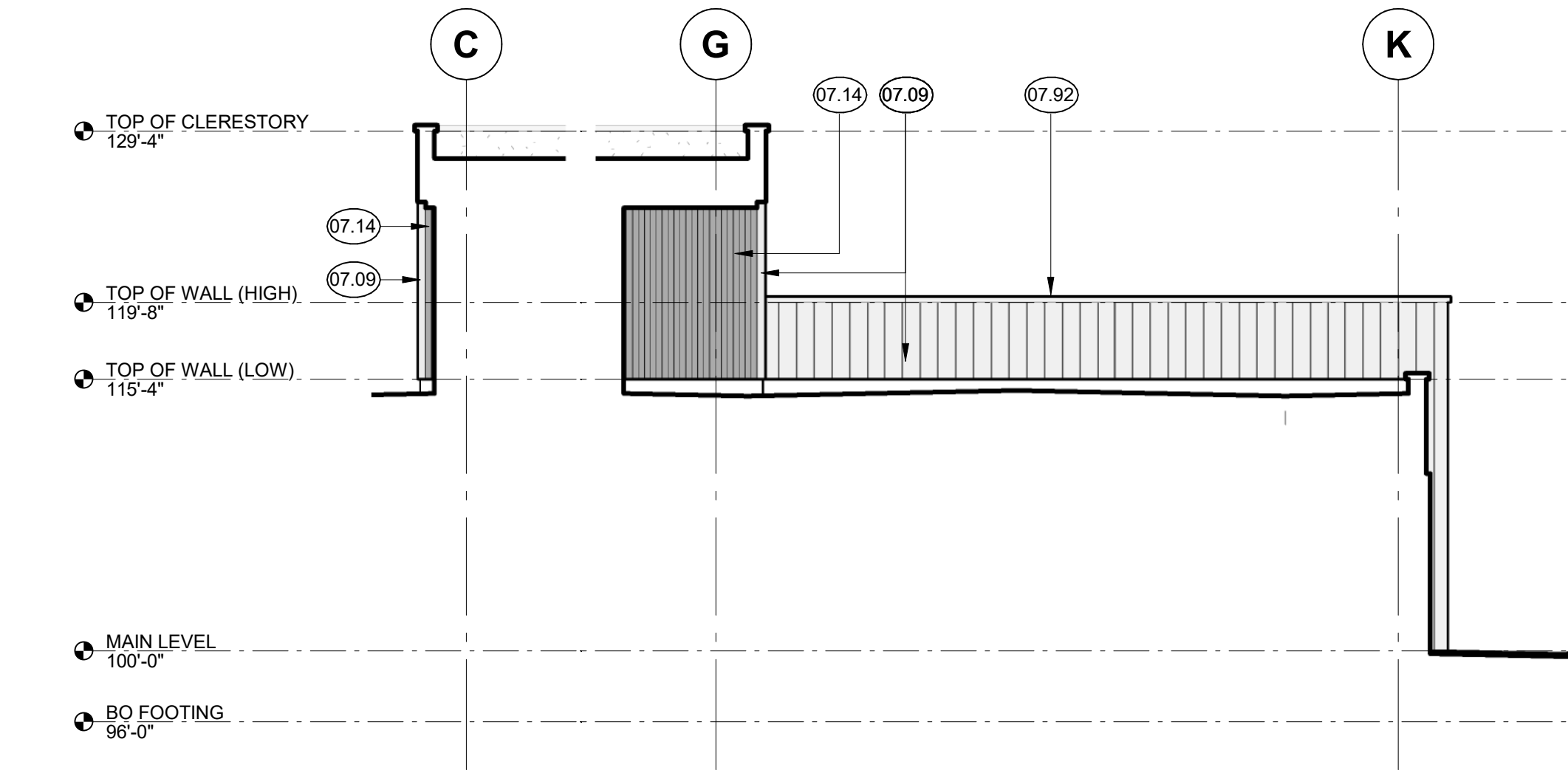
B1 PARTIAL NORTH ELEVATION AT OUTDOOR PATIO
1/8" = 1'-0"
0 6' 12'



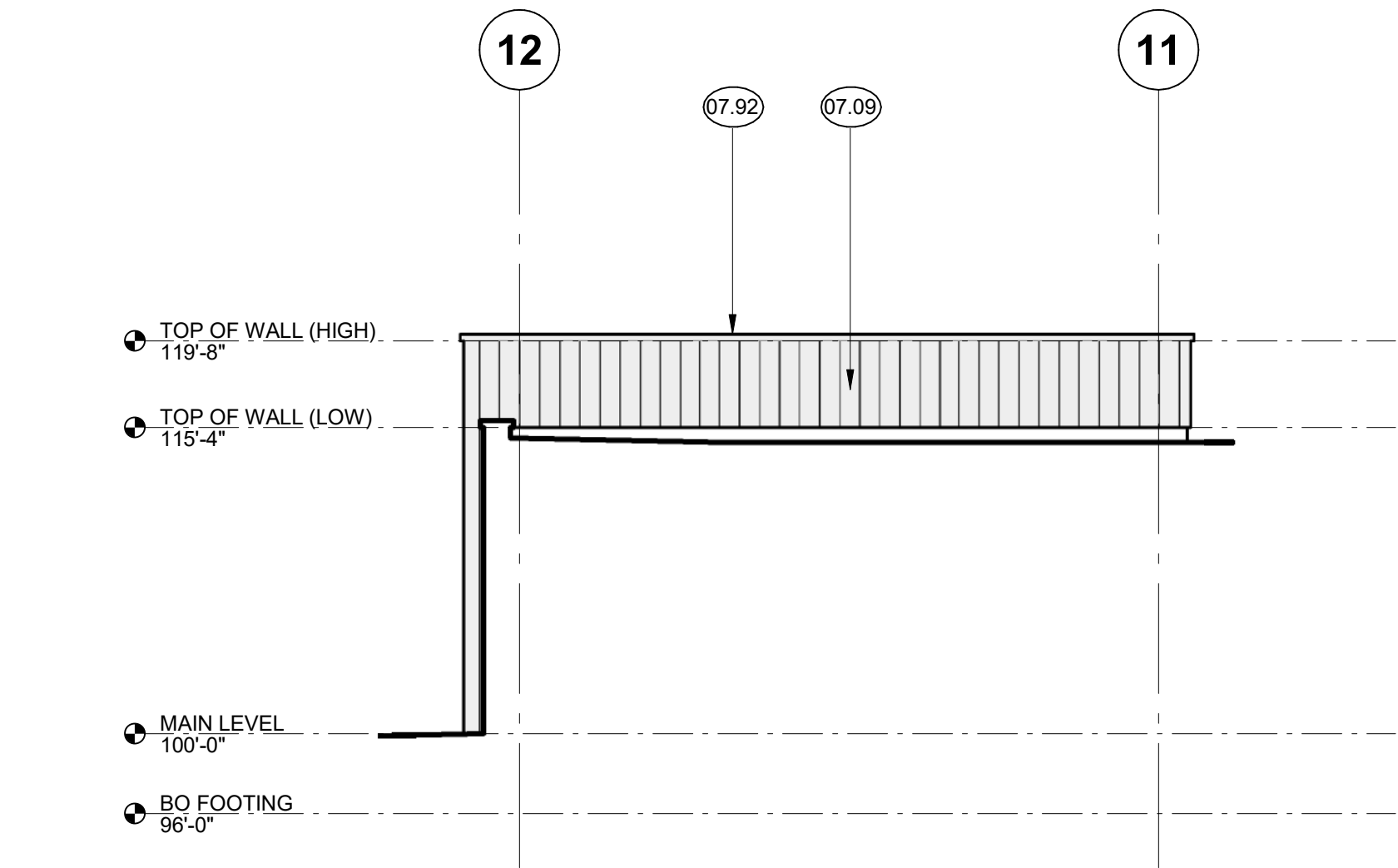
B2 PARTIAL EAST ELEVATION AT STAFF ENTRANCE
1/8" = 1'-0"
0 6' 12'



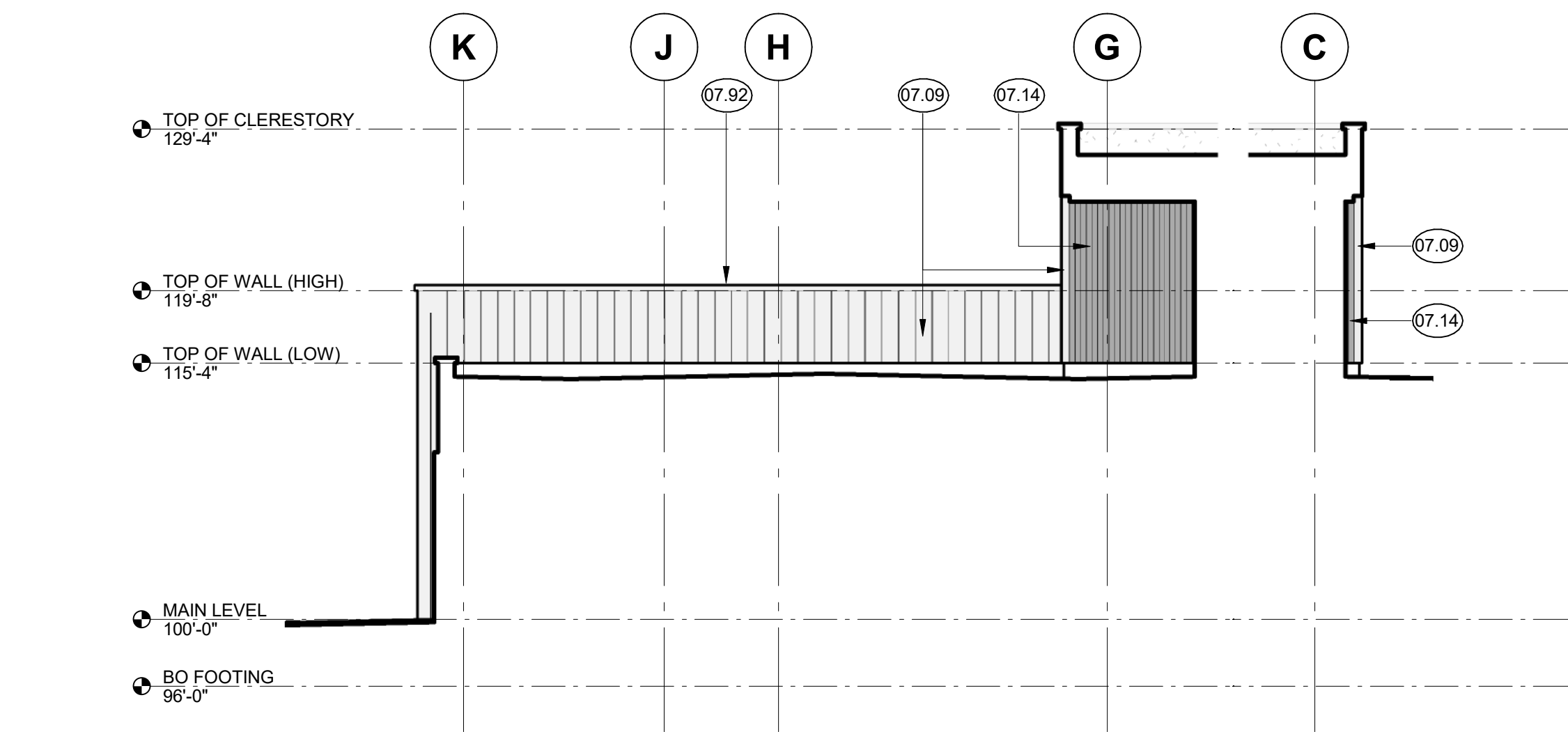
C1 PARTIAL WEST ELEVATION AT ADMIN
1/8" = 1'-0"
0 6' 12'



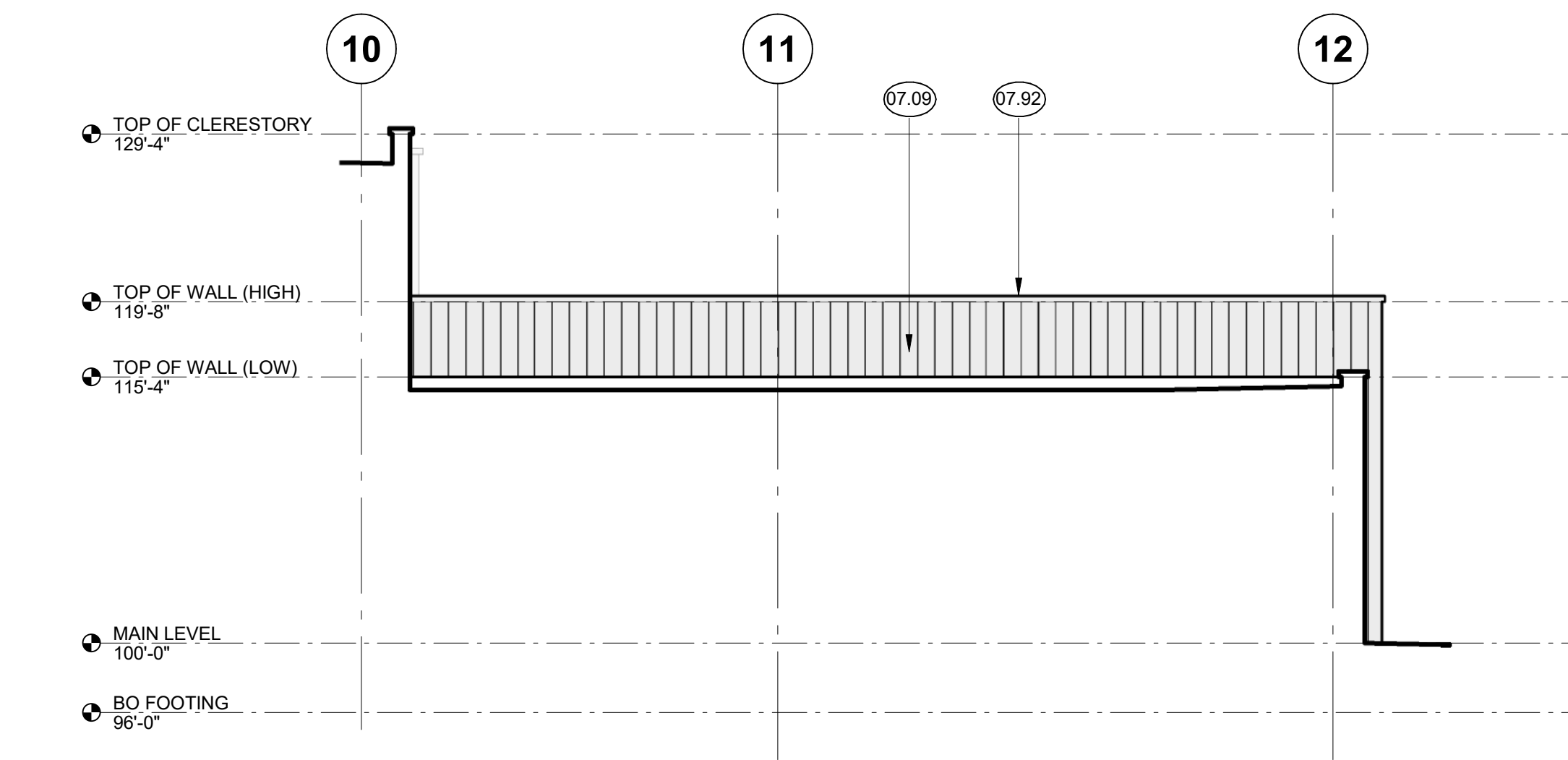
C4 PARTIAL EAST ELEVATION AT ADMIN / DISPATCH CLERESTORY
1/8" = 1'-0"
0 6' 12'



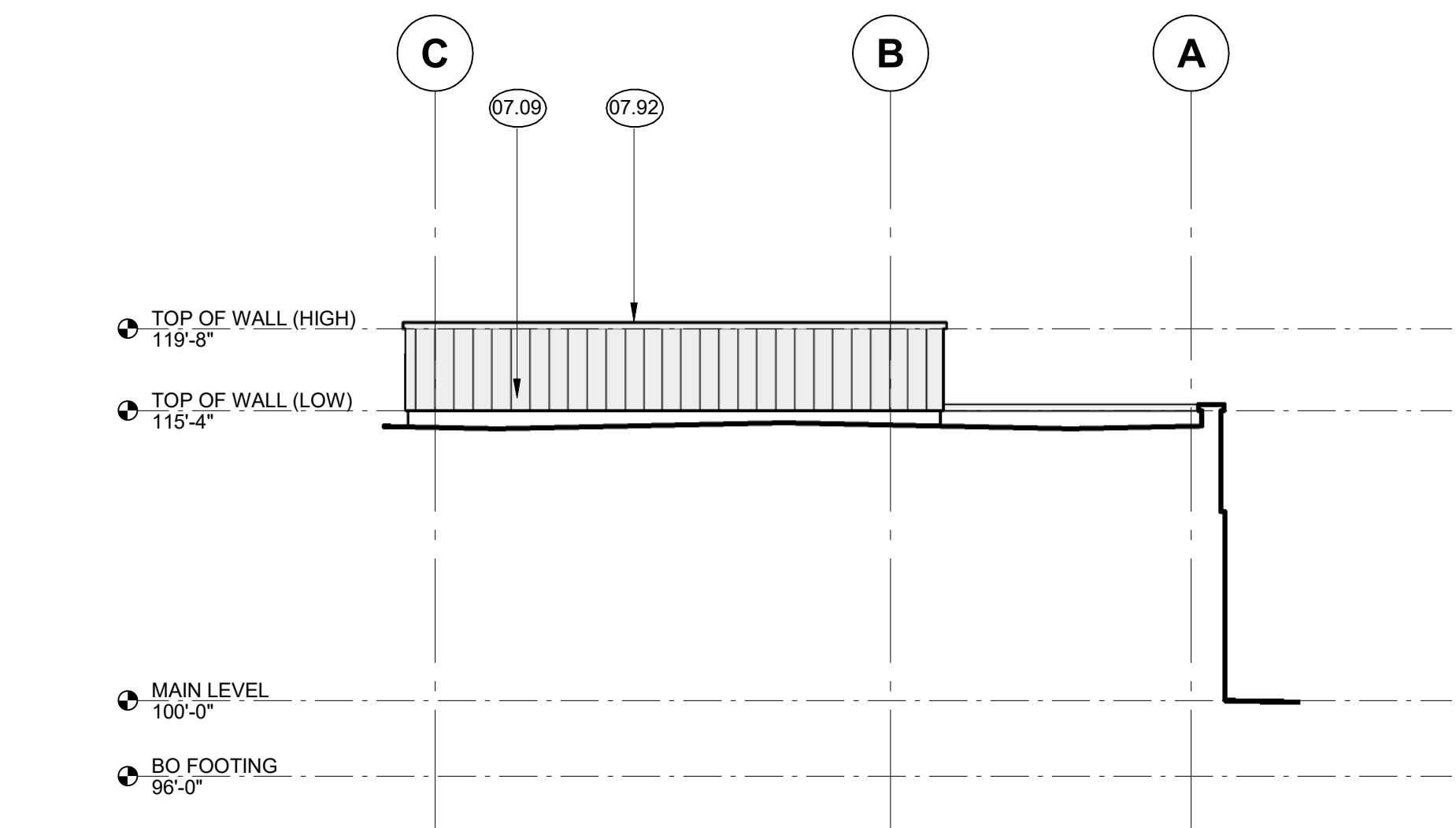
C6 PARTIAL NORTH ELEVATION AT GENERATOR ENCLOSURE
1/8" = 1'-0"
0 6' 12'



E1 PARTIAL WEST ELEVATION AT PUBLIC ENTRY / DISPATCH CLERESTORY
1/8" = 1'-0"
0 6' 12'



E4 PARTIAL SOUTH ELEVATION AT PUBLIC ENTRY
1/8" = 1'-0"
0 6' 12'



E6 PARTIAL WEST ELEVATION AT GENERATOR ENCLOSURE
1/8" = 1'-0"
0 6' 12'

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	Date	Num

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EXTERIOR ELEVATIONS

LAND USE / UDC SUBMITTAL
NOT FOR CONSTRUCTION

Scale: 1/8" = 1'-0"

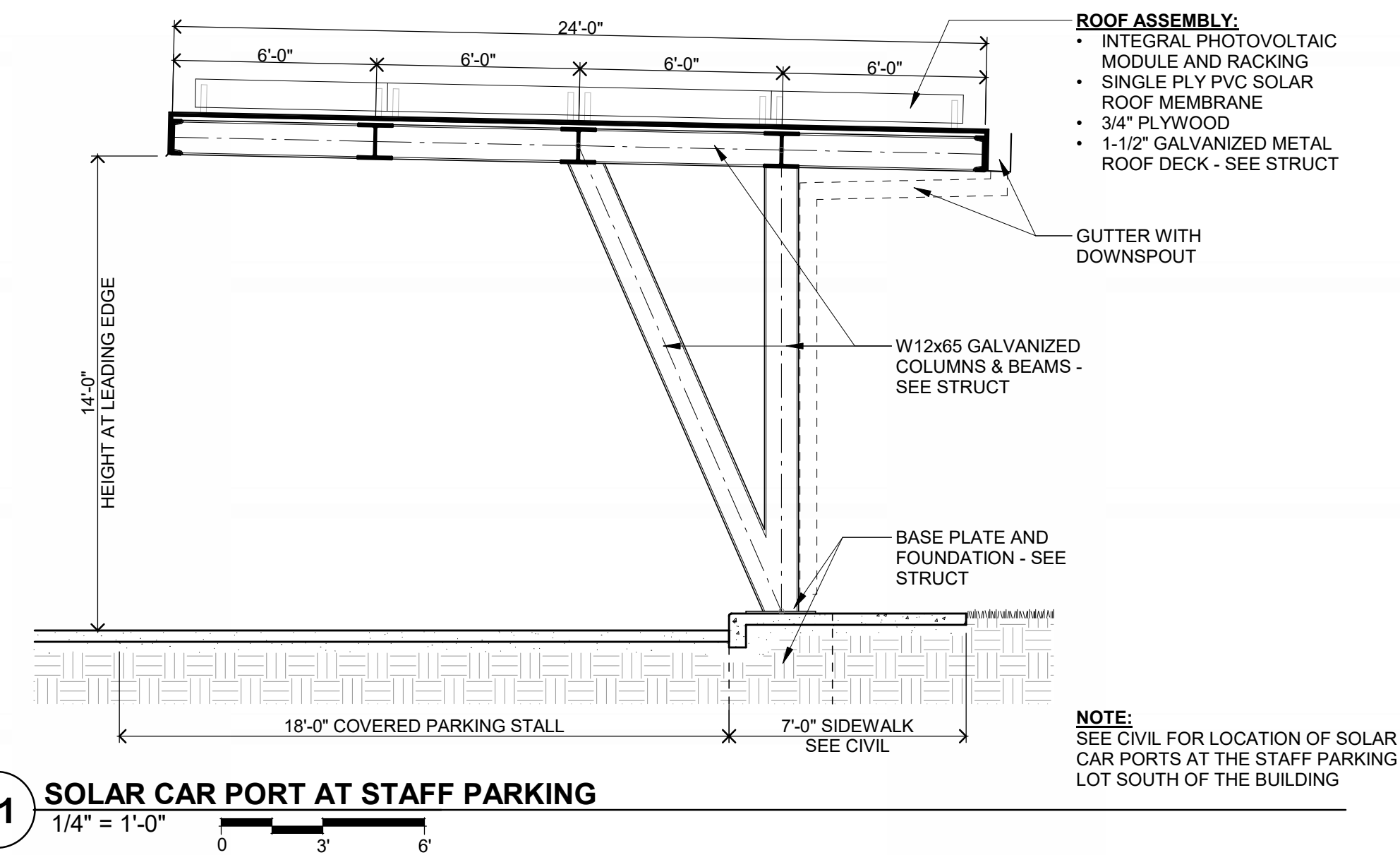
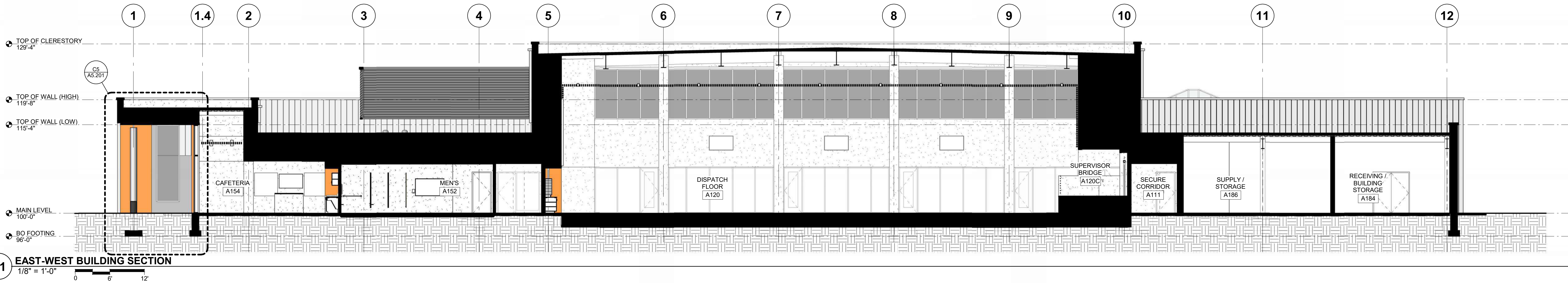
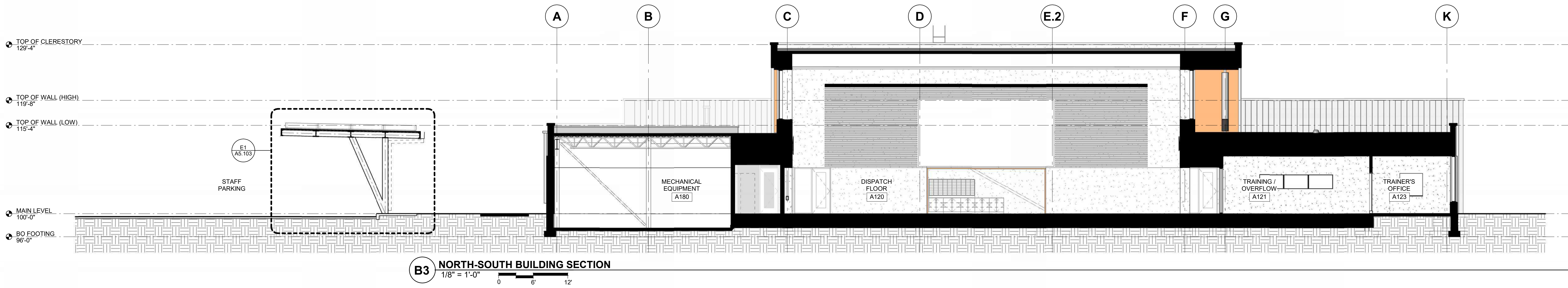
A5.102

A

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 License No. 0100000000, Exp. 12/31/2024
 Project No. 2023081, Date Issued 10/02/2023
 10/02/2023 10:12:29 AM



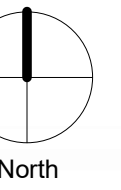
MN



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BUILDING SECTIONS

Scale: As indicated

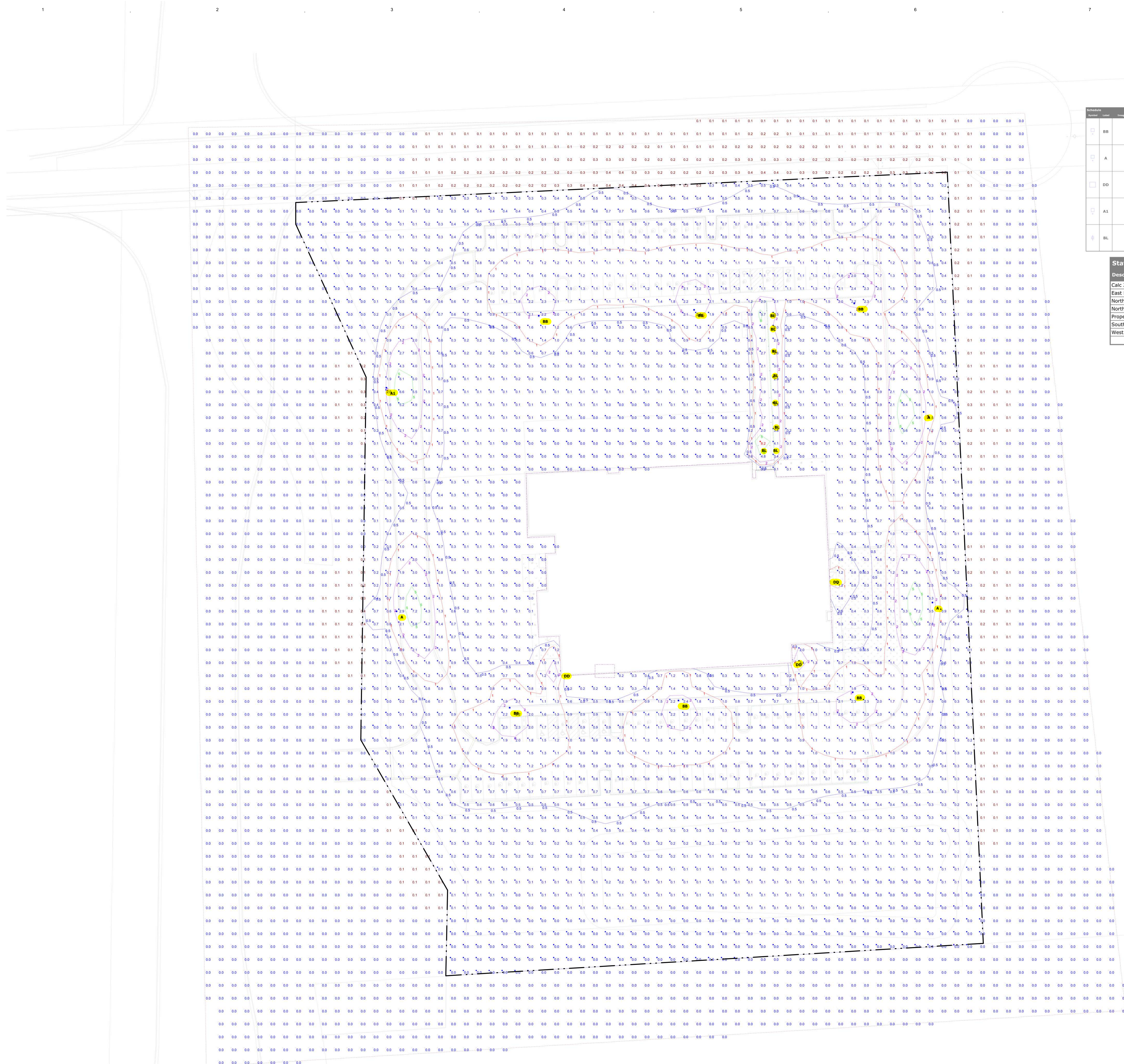
**LAND USE / UDC SUBMITTAL
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A5.103

A

MN

E



Symbol	Layer	Color	Width	Description	Quantity	Area	Perimeter	Material	Notes
BB	0	Blue	2	Boundary Line	1	100.0	100.0	Blue	
A	1	Green	2	Area Line	1	100.0	100.0	Green	
DD	2	Red	2	Driveway Line	1	100.0	100.0	Red	
A1	3	Blue	2	Area Line	1	100.0	100.0	Blue	
BL	4	Black	2	Boundary Line	1	100.0	100.0	Black	

Description	Avg	Max	Min	Max/Min	Avg/Min	Symbol
Calc Zone #1	0.4 fc	8.2 fc	0.0 fc	N/A	N/A	+
East Driveway at Grade	2.0 fc	7.2 fc	0.5 fc	14.4:1	4.0:1	X
North Lot at Grade	1.2 fc	2.4 fc	0.6 fc	4.0:1	2.0:1	+
North Walkway at Grade	3.1 fc	8.2 fc	0.1 fc	82.0:1	31.0:1	+
Property at Grade	0.7 fc	8.2 fc	0.0 fc	N/A	N/A	■
South Lot at Grade	1.1 fc	2.3 fc	0.5 fc	4.6:1	2.2:1	+
West Driveway at Grade	1.6 fc	7.2 fc	0.1 fc	72.0:1	16.0:1	X
	3.0 fc	8.2 fc	0.1 fc	82.0:1	30.0:1	X

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License Number: **BRADLEY R. JOHANSEN** 38976-006 Date: **6-9-2023**

Description	Revisions	
	Date	Num

Comm: 223081
 Date: October 2, 2023
 Drawn: N.DEFRANCESCO
 Check: B.JOHANSEN

SITE PHOTOMETRICS

Scale: N.T.S.
E1.01

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SITE PHOTOMETRICS
 N.T.S.

Plan View
 Scale - 1" = 30'