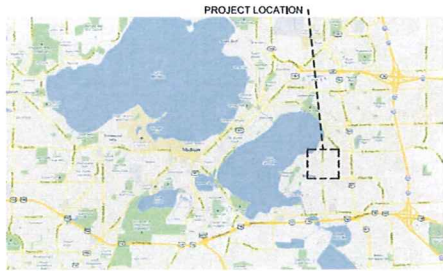


# Stop-N-Go of Madison

MADISON, WISCONSIN  
SITE PLAN REVIEW

## SITE LOCATION



### SHEET INDEX

- A0.1 EXISTING SITE DEMOLITION PLAN/ SITE PHOTOS
- A1.0 SITE PLAN AND NOTES
- A1.1 SITE PLAN - AUTOTURN DIAGRAM
- A2.0 FLOOR PLAN AND DETAILS
- A3.0 BUILDING ELEVATIONS
- C200 GRADING PLAN
- C201 EROSION CONTROL PLAN
- C300 UTILITY PLAN
- L1.0 LANDSCAPE PLAN AND SCHEDULES
- ES1.0 SITE LIGHTING PLAN

## EXISTING PHOTOS

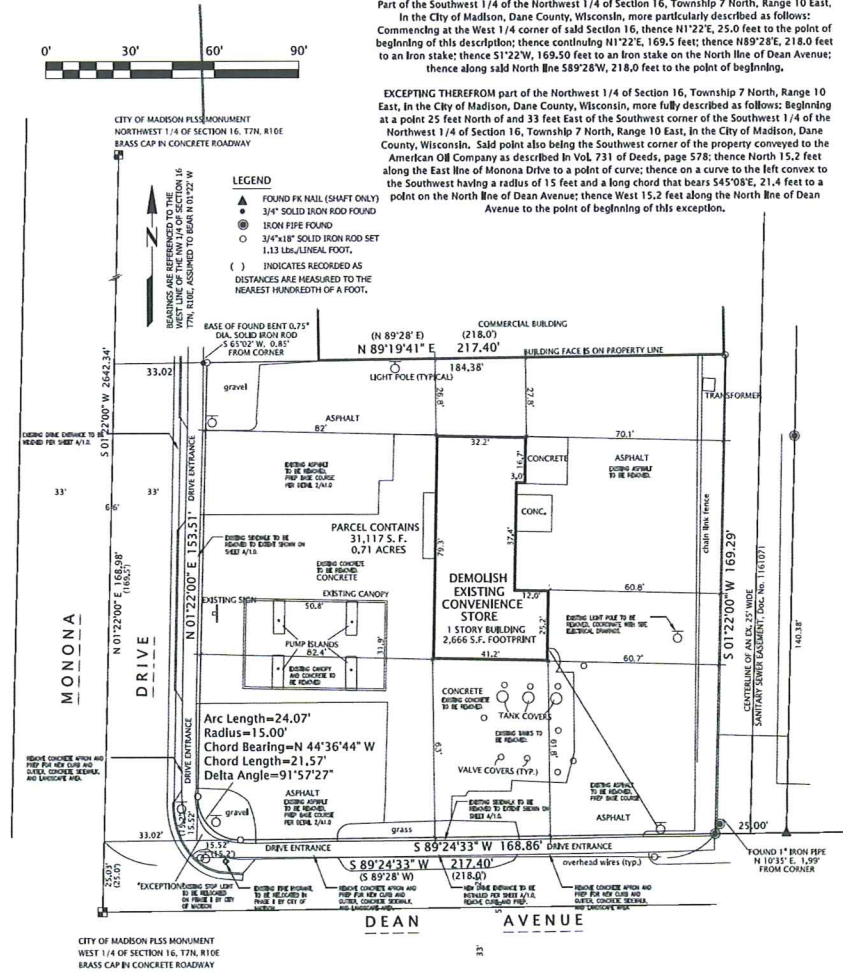


## Plat of Survey

### DESCRIPTION:

Part of the Southwest 1/4 of the Northwest 1/4 of Section 16, Township 7 North, Range 10 East, in the City of Madison, Dane County, Wisconsin, more particularly described as follows: Commencing at the West 1/4 corner of said Section 16, thence N1°22'E, 25.0 feet to the point of beginning; thence continuing N1°22'E, 169.5 feet; thence N89°28'E, 218.0 feet to an iron stake; thence S1°22'W, 169.50 feet to an iron stake on the North line of Dean Avenue; thence along said North line S89°28'W, 218.0 feet to the point of beginning.

EXCEPTING THEREFROM part of the Northwest 1/4 of Section 16, Township 7 North, Range 10 East, in the City of Madison, Dane County, Wisconsin, more fully described as follows: Beginning at a point 25 feet North of and 33 feet East of the Southwest corner of the Southwest 1/4 of the Northwest 1/4 of Section 16, Township 7 North, Range 10 East, in the City of Madison, Dane County, Wisconsin. Said point also being the Southwest corner of the property conveyed to the American Oil Company as described in Vol. 731 of Deeds, page 578; thence North 15.2 feet along the East line of Monona Drive to a point of curve; thence on a curve to the left convex to the Southwest having a radius of 15 feet and a long chord that bears S45°08'E, 21.4 feet to a point on the North line of Dean Avenue; thence West 15.2 feet along the North line of Dean Avenue to the point of beginning of this exception.



### 1 DEMOLITION PLAN

SCALE: 1" = 20'-0"

STOP-N-GO

EXISTING SITE PHOTOS  
SITE DEMOLITION PLAN

01.24.11  
DAT REVIEW  
03.16.11  
PLAN COMM

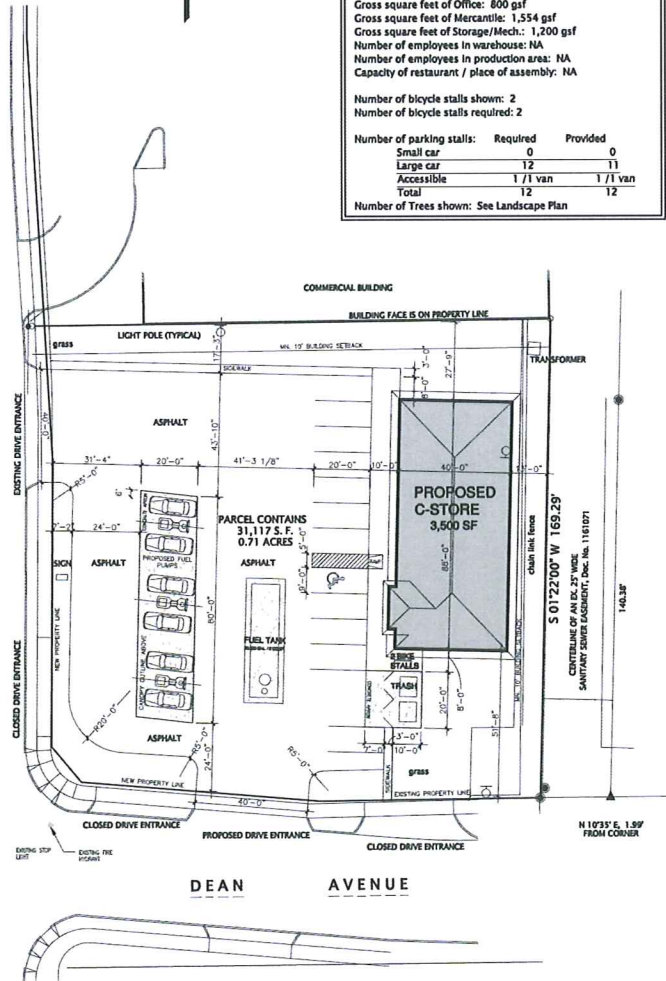
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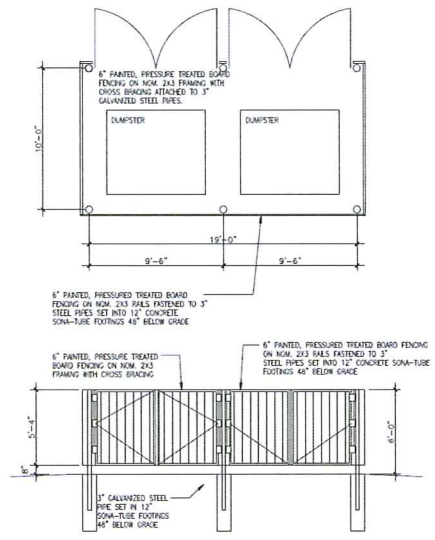
4624 MONONA DRIVE  
MADISON, WI 53716



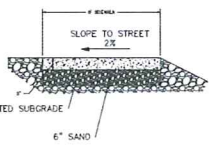
| PARKING LOT PLAN SITE INFORMATION                   |                            |
|---|----------------------------|
| Site address:                                       | 4624 Monona Drive          |
| Site acreage (total):                               | 0.71 acres                 |
| Number of building stories (above grade):           | 1 stories                  |
| Building Height:                                    | 24 feet                    |
| Type of construction (new structures or additions): | Type VB                    |
| Total square footage of building:                   | 3,554 gsf                  |
| Use of property:                                    | Commercial (Mercantile)    |
| Gross square feet of Office:                        | 800 gsf                    |
| Gross square feet of Mercantile:                    | 1,554 gsf                  |
| Gross square feet of Storage/Mech.:                 | 1,200 gsf                  |
| Number of employees in warehouse:                   | NA                         |
| Number of employees in production area:             | NA                         |
| Capacity of restaurant / place of assembly:         | NA                         |
| Number of bicycle stalls shown:                     | 2                          |
| Number of bicycle stalls required:                  | 2                          |
| Number of parking stalls:                           | Required    Provided       |
| Small car   | 0                    0     |
| Large car   | 12                  11     |
| Accessible  | 1 / 1 van        1 / 1 van |
| Total   | 12                  12     |
| Number of Trees shown:                              | See Landscape Plan         |



1 SITE PLAN (SHOWN WITH PHASE II PROPERTY LINES)  
1" = 20'-0"

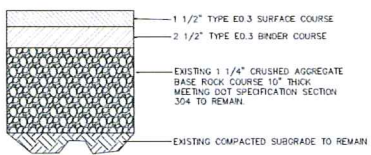


4 TRASH ENCLOSURE DETAIL  
SCALE: 1/4"=1'-0"



- NOTES:
1. ALL CONCRETE SHALL COMPLY WITH ARTICLE 501 "CONCRETE" OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION OF THE STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION.
  2. CONCRETE SHALL BE A 6 BAG MIX WITH A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, 7% AIR ENTRAINMENT (+/- 1.5%), AND A SLUMP RANGE OF 2" MIN. TO 4" MAX.
  3. SIDEWALK PANELS TO BE SQUARE (6' LONG x 5' WIDE TYP.)
  4. EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, CURB RAMPS, AND/OR POINTS OF TANGENCY IN CURB AS SHOWN ON THE STANDARD DRAWINGS FOR SIDEWALK RAMPS, AND AT SPACING NOT TO EXCEED 45'.
  5. FOR SIDEWALKS ADJACENT TO THE CURB AND FURRED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MINIMUM R/2 RADIUS.
  6. SIDEWALKS SHALL HAVE A MINIMUM THICKNESS OF 7" IF MOUNTABLE CURB IS USED, OR IF SIDEWALK IS INTENDED AS PORTION OF DRIVEWAY, OTHERWISE SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 5".
  7. CONCRETE SHALL HAVE A BROOM FINISH, ALL JOINTS SHALL BE EGGED.
  8. IN THE EVENT THAT CONCRETE SIDEWALK, DRIVES OR CURB AND GUTTER ARE PLACED IN COLD WEATHER, "COLD WEATHER PROTECTION" SHALL BE APPLIED.

3 SIDEWALK DETAIL  
N.T.S.



2 BITUMINOUS PAVEMENT SECTION - CAR TRAFFIC  
N.T.S.



STOP-N-GO

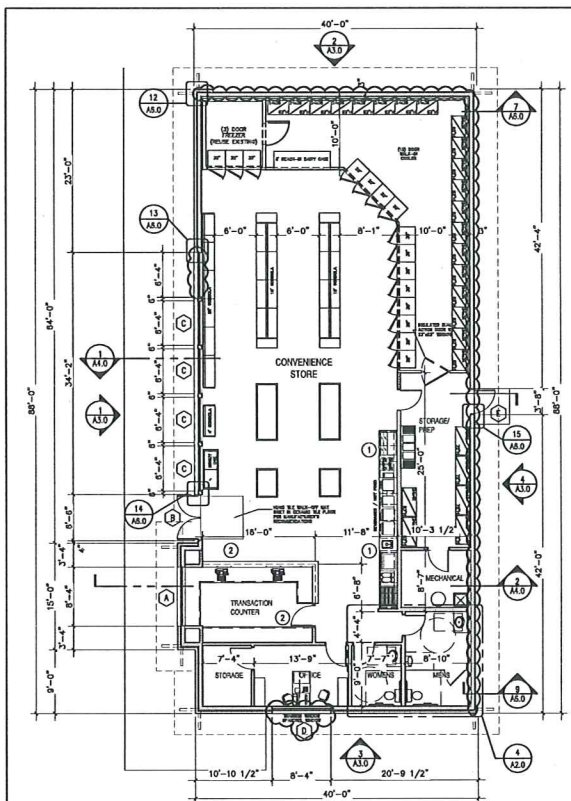
ARCHITECTURAL SITE PLAN

- 01.14.11 REVIEW
- 01.19.11 SITE REVIEW #2
- 01.24.11 DAT REVIEW
- 01.31.11 SITE REVIEW #3
- 02.01.11 SITE REVIEW #4
- 02.14.11 SITE REVIEW #5
- 03.16.11 PLAN COMM

A1.0

ORIGINAL SITE PLAN





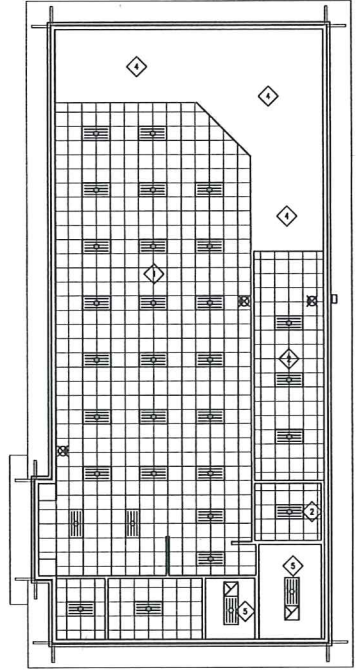
1 FLOOR PLAN  
1/8"=1'-0"

- KEYED PLAN NOTES:**
- CONVENIENCE STORE EQUIPMENT BY OTHERS - GENERAL CONTRACTOR TO COORDINATE WITH CONTRACTOR AND OWNER
  - TRANSACTION COUNTER CASEWORK AND EQUIPMENT BY OTHERS - COORDINATE EQUIPMENT LOCATION AND REQUIREMENTS WITH GENERAL CONTRACTOR AND OWNER  
- ALL CASEWORK TO BE 3/4" AFF TO TOP OF COUNTER. PROVIDE 2" BACKPLASH IF AVAILABLE WHERE REQUIRED. PROVIDE 4" BRUSHED CHROME WIRE PULLS THROUGHOUT.

- PARTITION NOTES:**
- TYPICAL INTERIOR PARTITION WALLS TO BE 1/2" CWB ON NOM. 2x4 WOOD STUDS.
  - PLUMBING WALLS AS NOTED IN ENLARGED FLOOR PLAN 4/A2.0 TO BE ON NOM. 2x8 WOOD STUDS.
  - EXTEND ALL PARTITION WALL FRAMING AND WALL SUBSTRATE TO UNDERSIDE OF ROOF DECK.
  - PROVIDE MOISTURE RESISTANT CWB OR CEMENT BOARD AT WET WALL LOCATIONS AND TILE FINISHES.

- GENERAL NOTES:**
- ALL WALLS SHALL EXTEND TO ROOF TRUSS BEARING HEIGHT, UNLESS OTHERWISE NOTED.
  - PROVIDE BLOCKING FOR ALL TOILET ACCESSORIES, MIRRORS, SHELVING AND CASEWORK SHOW. COORDINATE FINAL LOCATIONS AND INSTALLATION WITH OWNER.
  - COORDINATE FINISH SELECTIONS WITH OWNER AND GENERAL CONTRACTOR.
  - ALL EXTERIOR MATERIALS SHALL BE SELECTED AND APPROVED BY OWNER/ARCHITECT.
  - ENSURE ALL COMPONENTS OF EXTERIOR ENVELOPE MEET MINIMUM STATED REQUIREMENTS OF ARCHITECT'S ENVELOPE PERFORMANCE CALCULATIONS, AS SUBMITTED TO THE STATE OF WISCONSIN.
  - PROVIDE FULL HEIGHT, SMOOTH ALMOND COLOR FRP ON ALL RESTROOM, BACKROOM/STORAGE AND KITCHEN PREP WALLS.

- HVAC NOTES:**
- PROVIDE COMPLETE DESIGN/BUILD DELIVERY METHOD
  - INCLUDE ALL PERMITS AND DESIGN SUBMITTALS FOR COMPLETE INSTALLATION
  - VERIFY SIZE OF EXISTING WATER AND SEWER SERVICE
  - PROVIDE 8 IN. SODA SLEEVE FROM STORAGE TO FOUNTAIN LOCATION
  - PROVIDE SENSOR FAUCETS IN RESTROOMS
  - PROVIDE 3 OPEN SITE DRAINS IN FOOD SERVICE COUNTERTOP
  - PROVIDE (1) OPEN SITE DRAIN AT BIB LOCATION
  - PROVIDE (1) OPEN SITE DRAIN FOR FREEZER CONDENSATE
  - PROVIDE (1) OPEN SITE DRAIN FOR COOLER CONDENSATE
  - PROVIDE (1) FLOOR DRAIN EACH IN RESTROOM(S)
  - PROVIDE WATER SOFTNER
  - PROVIDE WATER FILTRATION SYSTEM FOR SODA AND COFFEE DISPENSERS
  - PROVIDE CONNECTION OF ALL OWNER FURNISHED EQUIPMENT
  - PROVIDE BACKFLOW PREVENTOR FOR BAIT ROOM SUPPLY.
- PLUMBING NOTES:**
- PROVIDE COMPLETE DESIGN/BUILD DELIVERY METHOD
  - INCLUDE ALL PERMITS AND DESIGN SUBMITTALS FOR COMPLETE INSTALLATION
  - PROVIDE (1) 20 AMP CIRCUIT PER FOOD SERVICE ITEM
  - PROVIDE ALL DATA & LOW VOLTAGE WIRING AND TERMINATIONS
  - PROVIDE ALL HVAC, PLUMBING, AND RETROFITTING ELECTRICAL INSTALLATION CONNECTIONS
  - PROVIDE DOOR BUZZER AT ENTRANCE DOORS.
  - PROVIDE ALL EGRESS LIGHTING AND EMERGENCY LIGHTING
  - EXCLUDE PETROLEUM WIRING AT THIS TIME, PRICE AS ALTERNATE IF DESIRED.
- ELECTRIC NOTES:**
- PROVIDE COMPLETE DESIGN/BUILD DELIVERY METHOD
  - INCLUDE ALL PERMITS AND DESIGN SUBMITTALS FOR COMPLETE INSTALLATION
  - PROVIDE (1) 20 AMP CIRCUIT PER FOOD SERVICE ITEM
  - PROVIDE ALL DATA & LOW VOLTAGE WIRING AND TERMINATIONS
  - PROVIDE ALL HVAC, PLUMBING, AND RETROFITTING ELECTRICAL INSTALLATION CONNECTIONS
  - PROVIDE DOOR BUZZER AT ENTRANCE DOORS.
  - PROVIDE ALL EGRESS LIGHTING AND EMERGENCY LIGHTING
  - EXCLUDE PETROLEUM WIRING AT THIS TIME, PRICE AS ALTERNATE IF DESIRED.



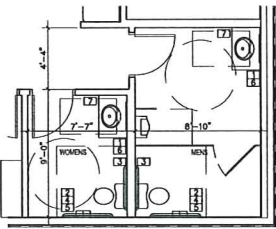
2 REFLECTED CEILING PLAN  
1/8"=1'-0"

- KEYED CEILING PLAN NOTES:**
- 1 2x2 ACOUSTICAL TILE CEILING (REVEAL REQUIRED), SUSPENDED FROM ROOF TRUSS AT 10'-0" AFF
  - 2 2x2 VINYL ACOUSTICAL TILE CEILING, SUSPENDED FROM ROOF TRUSS 9'-0" AFF
  - 3 CWB SOFFIT, 1" BELOW SURROUNDING ACT GRD CEILING & LIGHTING INTEGRAL WITH WALK-IN FREEZER/COOLER
  - 4 CWB CEILING, TAPED AND FINISHED.

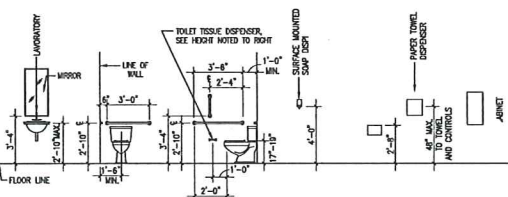
- CEILING PLAN GENERAL NOTES:**
- CENTER CEILING GRID IN ROOM, LEAVING A MINIMUM TILE DIMENSION OF NOT LESS THAN 1'-0" (UNLESS NOTED OTHERWISE).
  - COORDINATE HVAC SUPPLY AND RETURN DIFFUSERS, TRANSFER GRILLES, EXHAUST GRILLES AND ANY OTHER FIXTURE WITH ARCHITECT PRIOR TO INSTALLATION.
  - COORDINATE LIGHTING LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
  - PROVIDE EXHAUST FAN IN EACH RESTROOM AND BAIT ROOM, VENTED TO EXTERIOR.

- LIGHTING & CEILING SYMBOLS KEY:**
- 2x4x4, T-8 AGRIC 4 TUBE LAY-IN FLUORESCENT FIXTURE, DUAL SWITCHED (2/4 LAMPS)
  - EXIT LIGHT
  - EXTERIOR WALL PACK LIGHT FIXTURE
  - HVAC EXHAUST DRILL
- NOTE: ELECTRICAL LIGHTING PLAN TO BE BY ELECTRICAL DB CONTRACTOR

- WINDOW & DOOR NOTES:**
- EXTERIOR DOORS TO BE 3'-0" x 7'-0" TYP.
  - INTERIOR WOOD DOORS TO BE 3'-0" x 7'-0" CLEAR STAINED BIRCH WITH PAINTED HOLLOW METAL FRAMES
  - PROVIDE SAFETY GLAZING PER CODE IN ALL DOORS AND FRAMES
  - PROVIDE INSULATED GLAZING IN EXTERIOR DOORS AND FRAMES
  - GC TO VERIFY ALL MATERIAL SPECIFICATIONS
  - ALL EXTERIOR HOLLOW METAL DOORS TO BE INSULATED CORES, GALVANIZED.
  - ALL EXTERIOR HOLLOW METAL FRAMES TO BE GALVANIZED.
  - GC TO VERIFY ALL HARDWARE WITH OWNER/ARCHITECT.
  - PROVIDE REINFORCING IN ALL DOORS AND FRAMES FOR HARDWARE SELECTIONS.
  - GL-1: 1" CLEAR LOW-E EXTERIOR GLAZING
  - GL-2: 1" CLEAR TEMPERED LOW-E EXTERIOR GLAZING
  - GL-3: 1" CLEAR TEMPERED LOW-E EXTERIOR GLAZING
  - NEAR EXIT DOOR TO HAVE DETEX SYSTEM INSTALLED.
  - GL-2, 1" LOW-E WITH SPANDREL PANEL ON INTERIOR FACE



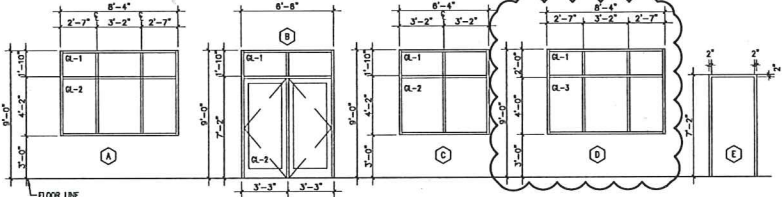
4 ENLARGED PLAN  
1/4"=1'-0"



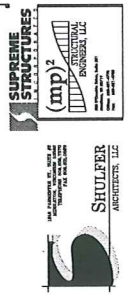
5 FIXTURE MOUNTING HEIGHTS  
1/4"=1'-0"

**TOILET ROOM ACCESSORIES SCHEDULE**

|   |   |
|---|---|
| 1 | WALL MOUNTED LIQUID SOAP DISPENSER                  |
| 2 | DOUBLE ROLL SURFACE MOUNTED TOILET TISSUE DISPENSER |
| 3 | 36" LONG GRAB BAR HORIZONTAL                        |
| 4 | 42" LONG GRAB BAR HORIZONTAL                        |
| 5 | 18" LONG GRAB BAR VERTICAL                          |
| 6 | WALL MOUNTED MIRROR                                 |
| 7 | PAPER TOWEL DISPENSER                               |



6 WINDOW/DOOR SCHEDULE  
1/4"=1'-0"



**Stop-N-Go**  
Convenience Store - Monona Drive  
4624 MONONA DRIVE  
MADISON, WI 53718

FLOOR PLAN, CEILING PLAN  
SCHEDULES AND NOTES

03.08.11 CONCEPT REVIEW  
03.16.11 PLAN COMM  
04.12.11 Owner Review  
04/22/2011 REVIEW  
05/02/2011 BID SET  
05/10/2011 REVISIONS

A2.0

*\* REVISED FLOOR PLAN*

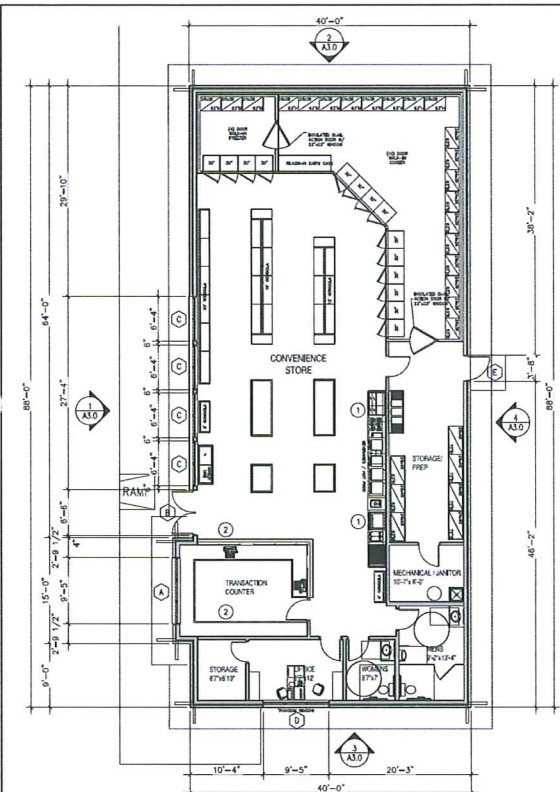


STOP-N-GO  
4624 HUSKMAN DRIVE  
MADISON, WI 53716

CONCEPT FLOOR PLAN

03.08.11  
CONCEPT REVIEW  
03.16.11  
PLAN COMM

A2.0

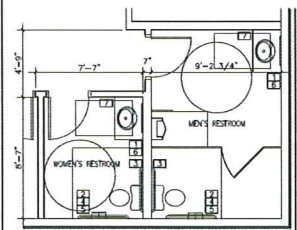


1 FLOOR PLAN  
1/8"=1'-0"

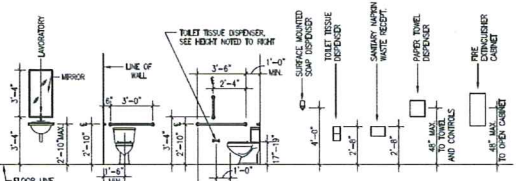
- KEYED PLAN NOTES:**
- CONVENIENCE STORE EQUIPMENT BY OTHERS - GENERAL CONTRACTOR TO COORDINATE WITH CONTRACTOR AND OWNER
  - TRANSACTION COUNTER CASEWORK AND EQUIPMENT BY OTHERS - COORDINATE EQUIPMENT LOCATION AND REQUIREMENTS WITH GENERAL CONTRACTOR AND OWNER - ALL CASEWORK TO BE 3/4" AFF TO TOP OF COUNTER. PROVIDE 2" BACKLASH IF AVAILABLE WHERE REQUIRED. PROVIDE 4" BRUSHED CHROME WIRE PULLS THROUGHOUT.

- PARTITION NOTES:**
- TYPICAL INTERIOR PARTITION WALLS TO BE 1/2" GIB ON NOM. 2x4 WOOD STUDS.
  - PLUMBING WALLS AS NOTED IN ENLARGED FLOOR PLAN 4/A2.0 TO BE ON NOM. 2x6 WOOD STUDS.
  - EXTEND ALL PARTITION WALL FINISHING AND WALL SUBSTRATE TO UNDOSE OF ROOF DECK.
  - PROVIDE MOISTURE RESISTANT GIB OR GYPSUM BOARD AT WALL LOCATIONS AND TILE FINISHES.

- GENERAL NOTES:**
- ALL WALLS SHALL EXTEND TO ROOF TRUSS BEARING HEIGHT, UNLESS OTHERWISE NOTED.
  - PROVIDE BLOCKING FOR ALL TOILET ACCESSORIES, MIRRORS, SHAVING AND CASEWORK SHOWN. COORDINATE FINAL LOCATIONS AND INSTALLATION WITH OWNER.
  - COORDINATE FINISH SELECTIONS WITH OWNER AND GENERAL CONTRACTOR.
  - ALL EXTERIOR MATERIALS SHALL BE SELECTED AND APPROVED BY OWNER/ARCHITECT.
  - DISVISE ALL COMPONENTS OF EXTERIOR ENVELOPE MEET MINIMUM STATED REQUIREMENTS OF ARCHITECT'S DEVELOPED PERFORMANCE CALCULATIONS, AS SUBMITTED TO THE STATE OF WISCONSIN.
  - PROVIDE FRP ON ALL BACKROOM/STORAGE AND KITCHEN PREP WALLS.



4 ENLARGED PLAN  
1/4"=1'-0"



5 FIXTURE MOUNTING HEIGHTS  
1/4"=1'-0"

**TOILET ROOM ACCESSORIES SCHEDULE**

|    |  |
|----|--|
| 01 | WALL MOUNTED LEAD SOAP DISPENSER                   |
| 02 | WISSEL ROLL SHOWER MOUNTED TOILET TISSUE DISPENSER |
| 03 | 36" LONG GRAB BAR HORIZONTAL                       |
| 04 | 42" LONG GRAB BAR HORIZONTAL                       |
| 05 | 18" LONG GRAB BAR VERTICAL                         |
| 06 | WALL MOUNTED MIRROR                                |
| 07 | PAPER TOWEL DISPENSER                              |

- ACCESSORIES SHALL BE IDENTIFIED WITH THE OWNER & CONTRACTORS SELECTED MANUFACTURER.
- PROVIDE BRASS OR BRONZE WALLS TO SUPPORT ACCESSORIES & HEIGHTS INDICATED.

2 REFLECTED CEILING PLAN  
1/8"=1'-0"

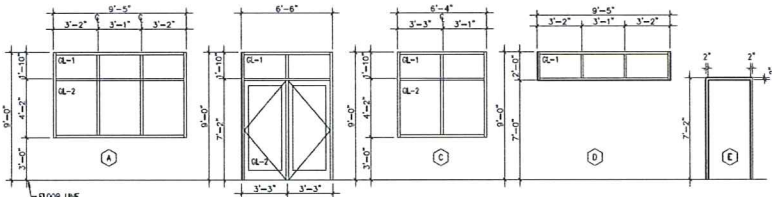
- KEYED CEILING PLAN NOTES:**
- 2x2 ACOUSTICAL TILE CEILING (SEENAL FINISHED), SUSPENDED FROM ROOF TRUSS AT 10'-0" AFF.
  - 2x2 VINYL ACOUSTICAL TILE CEILING, SUSPENDED FROM ROOF TRUSS 9'-0" AFF.
  - CHB SORFITE, 1" BELOW SURROUNDING ACT GRID.
  - CEILING & LIGHTING INTEGRAL WITH WALK-IN FREEZER/COOLER.
  - CHB CEILING, TAPED AND FINISHED.

- CEILING PLAN GENERAL NOTES:**
- COVER CEILING GRID IN ROOM, LEAVING A MINIMUM TILE DIMENSION OF NOT LESS THAN 1'-0" (UNLESS NOTED OTHERWISE).
  - COORDINATE HVAC SUPPLY AND RETURN DIFFUSERS, TRANSFER GRILLES, EXHAUST GRILLES AND ANY OTHER FINISHES WITH ARCHITECT PRIOR TO INSTALLATION.
  - COORDINATE LIGHTING LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
  - PROVIDE EXHAUST FAN IN EACH RESTROOM AND BATH ROOM, VENTED TO EXTERIOR.

3 ROOF PLAN  
1/8"=1'-0"

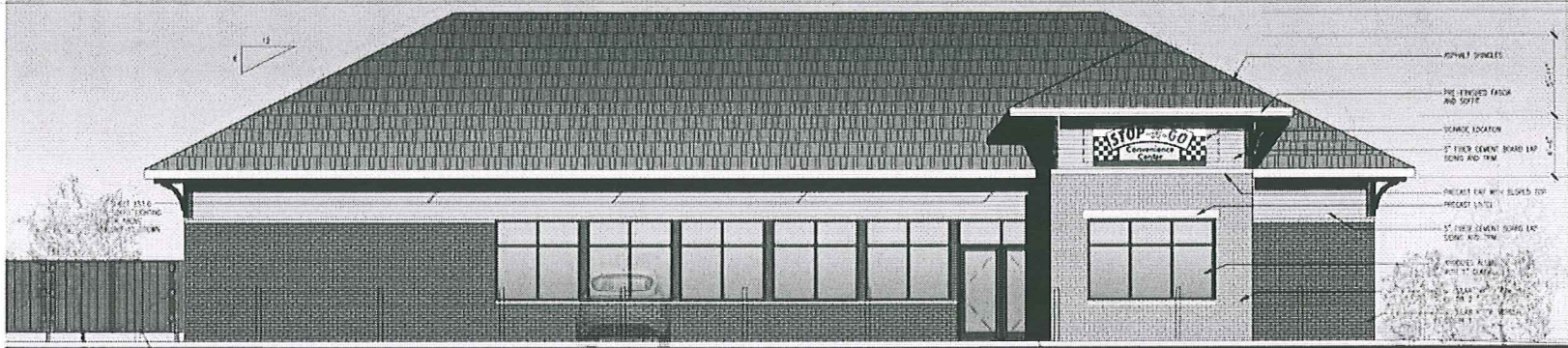
- LIGHTING & CEILING SYMBOLS KEY:**
- 2x4, 3-8 ACRYLIC 4 PIPE LATHING FLUORESCENT FIXTURE, DUAL SWITCHED (2/4 LAMP/S)
  - EXIT LIGHT
  - EXTERIOR WALL PACK LIGHT FIXTURE
- NOTE: ELECTRICAL LIGHTING PLAN TO BE BY ELECTRICAL CB CONTRACTOR

- WINDOW & DOOR NOTES:**
- EXTERIOR DOORS TO BE 3'-0" x 7'-0" TYP.
  - INTERIOR WOOD DOORS TO BE 3'-0" x 6'-8" CLEAR STAINED BIRCH WITH PAINTED HOLLOW METAL FRAMES.
  - PROVIDE SAFETY GLAZING PER CODE IN ALL DOORS AND FRAMES.
  - PROVIDE INSULATED GLAZING IN EXTERIOR DOORS AND FRAMES.
  - GC TO VERIFY ALL MATERIAL SPECIFICATIONS.
  - ALL EXTERIOR HOLLOW METAL DOORS TO BE INSULATED CORES, GALVANIZED.
  - ALL EXTERIOR HOLLOW METAL FRAMES TO BE GALVANIZED.
  - GC TO VERIFY ALL HARDWARE WITH OWNER/ARCHITECT.
  - PROVIDE REINFORCING IN ALL DOORS AND FRAMES FOR HARDWARE SELECTIONS.
  - GL-1 1" CLEAR LOW-E EXTERIOR GLAZING
  - GL-2 1/2" 1" CLEAR TINTED LOW-E EXTERIOR GLAZING
  - REAR (SOUTH) EXIT DOOR TO HAVE DETEX SYSTEM INSTALLED.



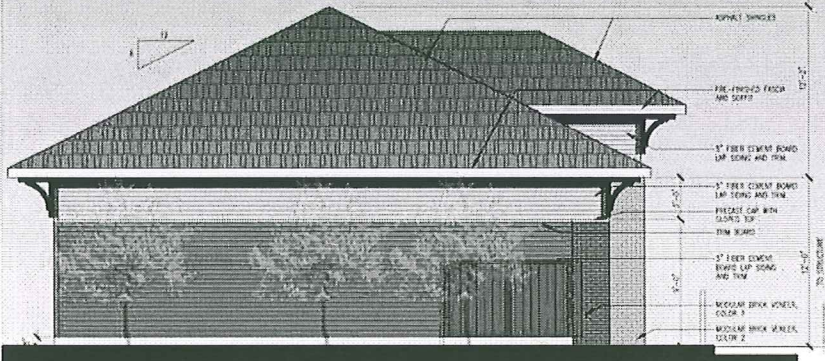
6 WINDOW/DOOR SCHEDULE  
1/4"=1'-0"

ORIGINAL FLOOR PLAN



1 WEST ELEVATION

SCALE: 1/4"=1'-0"



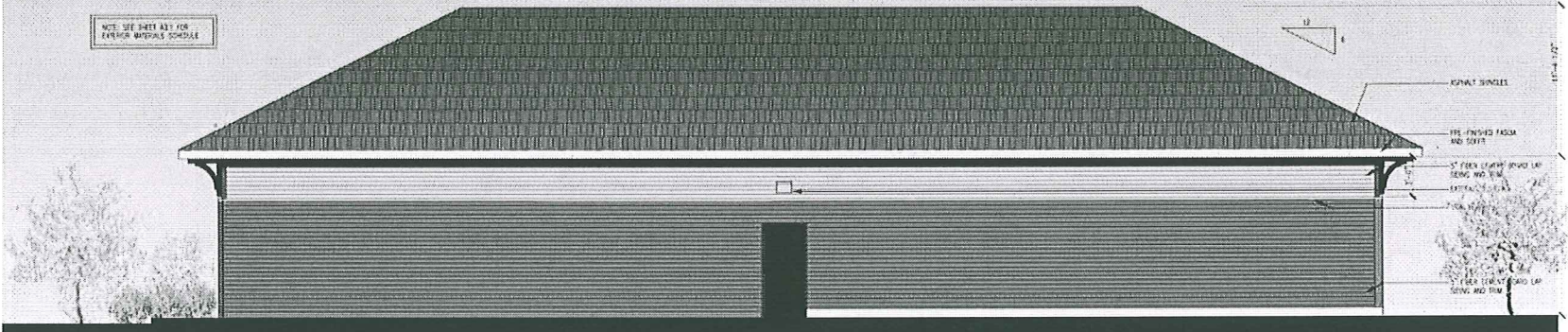
2 NORTH ELEVATION

SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



4 EAST ELEVATION

SCALE: 1/4"=1'-0"

**Stop-N-Go**  
 Convenience Store - Monona Drive  
 4624 MONONA DRIVE  
 MADISON, WI 53716

BUILDING ELEVATIONS

- 01.17.11 CONCEPT REVIEW
- 03.08.11 Owner Review
- 03.16.11 PLAN COMMENT
- 04.22.2011 REVIEW
- 05.02.11 BID SET
- 05.10.2011 REVISIONS

A3.0

*\* REVISED ELEVATIONS*

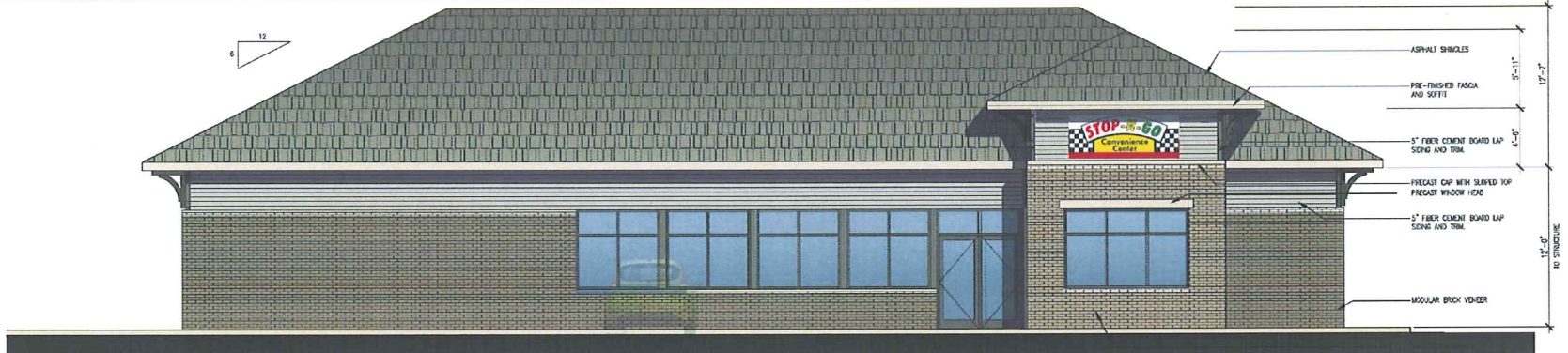


STOP-N-GO  
4624 MONONA DRIVE  
MADISON, WI 53716

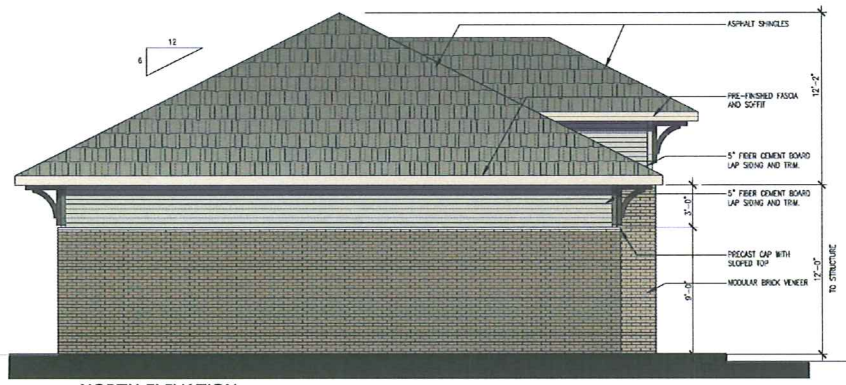
BUILDING ELEVATIONS

01.17.11  
CONCEPT REVIEW  
03.08.11  
Owner Review  
03.16.11  
PLAN COMM

A3.0



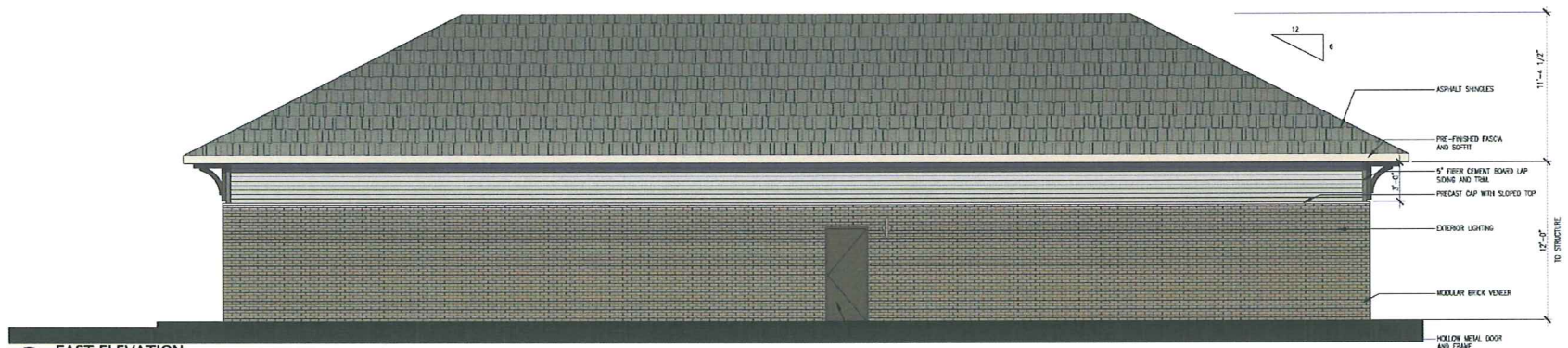
1 WEST ELEVATION  
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

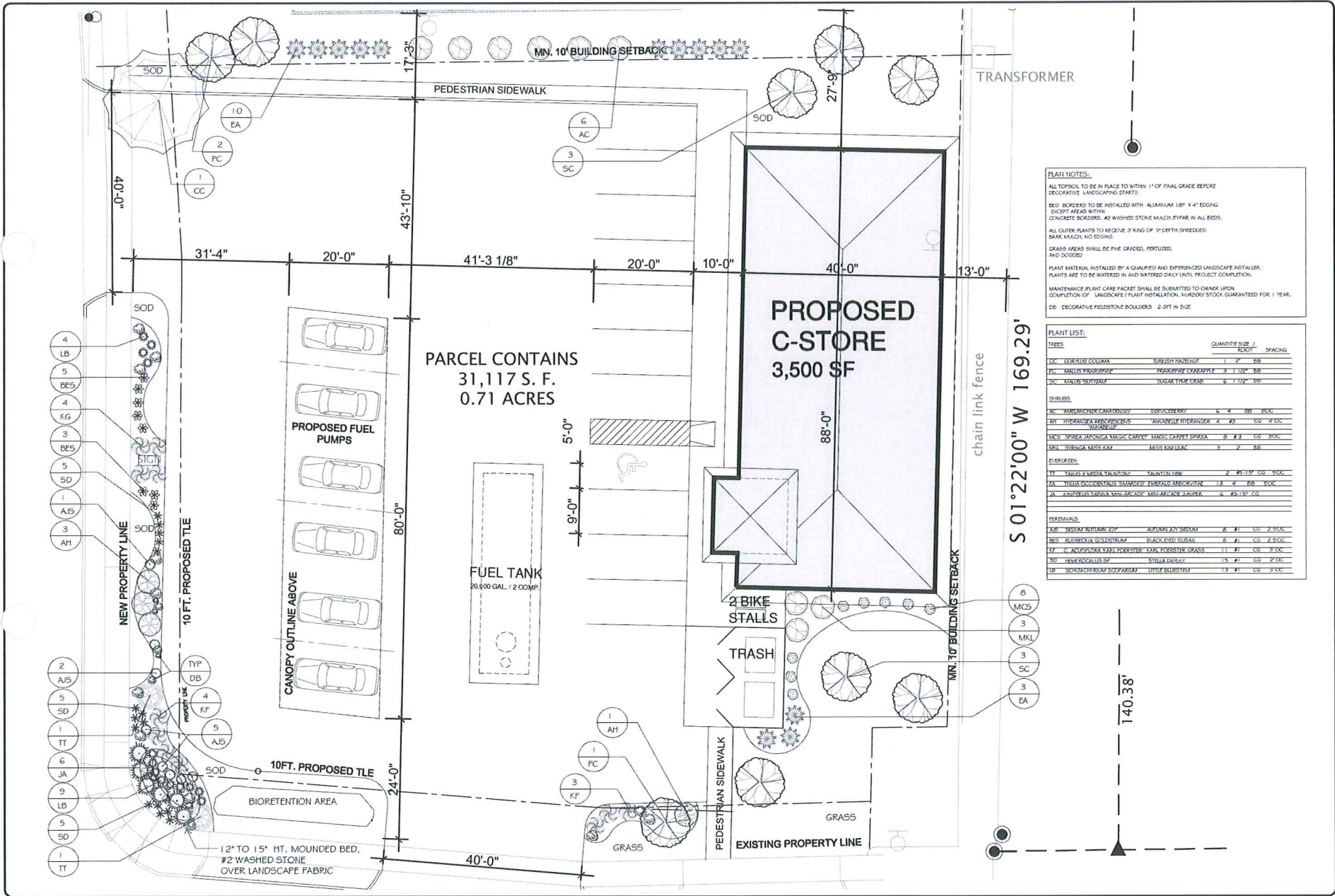


4 EAST ELEVATION  
SCALE: 1/8"=1'-0"

ORIGINAL  
ELEVATIONS







**PLAN NOTES:**

ALL TOPSOIL TO BE IN PLACE TO WITHIN 1" OF FINAL GRADE BEFORE DECORATIVE LANDSCAPING STARTS

BED BORDERS TO BE INSTALLED WITH ALUMINUM 1/8" X 4" EDGING EXCEPT AREAS WITH CONCRETE BORDERS. #2 WASHED STONE MATCH PLYTH IN ALL BEDS.

ALL CUTTER PLANTS TO RECEIVE 3" KING OF 3" DEPTH SHREDED BARK MULCH, NO EDGING.

GRASS AREAS SHALL BE FINE GRADED, FERTILIZED, AND SOODED.

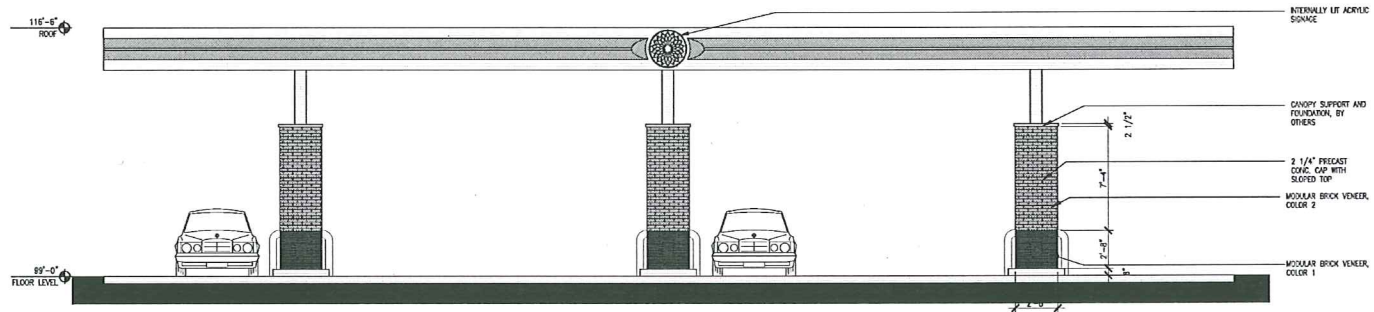
PLANT MATERIAL INSTALLED BY A QUALIFIED AND EXPERIENCED LANDSCAPE INSTALLER. PLANTS ARE TO BE WATERED IN AND WATERED DAILY UNTIL PROJECT COMPLETION.

MAINTENANCE / PLANT CARE PACKET SHALL BE SUBMITTED TO OWNER UPON COMPLETION OF LANDSCAPE / PLANT INSTALLATION. NURSERY STOCK GUARANTEED FOR 1 YEAR.

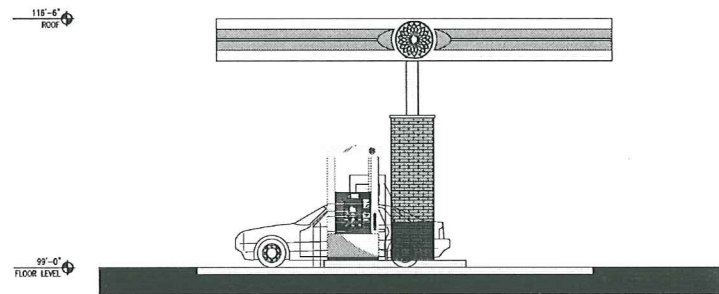
ED: DECORATIVE FIELDSTONE BORDERS - 2-3FT IN SIZE

**PLANT LIST:**

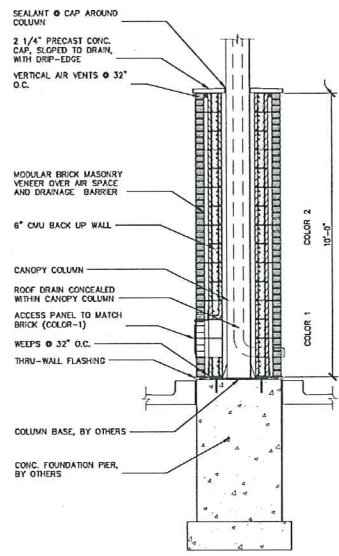
| TREES                       | QUANTITY | SIZE / ROOT | SPACING |
|-----------------------------|----------|-------------|---------|
| CC - CORALBEE COLUMBA       | 1        | 2"          | DB      |
| EA - MALVA FRAGRANS         | 3        | 1 1/2"      | DB      |
| SC - MELALEUCA LEUCADENDRON | 6        | 1 1/2"      | DB      |
| <b>SHRUBS</b>               |          |             |         |
| AC - VIBURNUM CANTONENSE    | 6        | 4"          | DB      |
| AE - HYDRANGEA ARBORESCENS  | 4        | #3          | CG      |
| AK - SPYEA JAPONICA         | 2        | #3          | CG      |
| AL - SPYEA JAPONICA         | 2        | #3          | CG      |
| AM - SPYEA JAPONICA         | 2        | #3          | CG      |
| AN - SPYEA JAPONICA         | 2        | #3          | CG      |
| AO - SPYEA JAPONICA         | 2        | #3          | CG      |
| AP - SPYEA JAPONICA         | 2        | #3          | CG      |
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| AV - SPYEA JAPONICA         | 2        | #3          | CG      |
| AW - SPYEA JAPONICA         | 2        | #3          | CG      |
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| BH - SPYEA JAPONICA         | 2        | #3          | CG      |
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| BP - SPYEA JAPONICA         | 2        | #3          | CG      |
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1 GAS CANOPY FRONT ELEVATION  
SCALE: 1/8"=1'-0"



2 GAS CANOPY SIDE ELEVATION  
SCALE: 1/8"=1'-0"



3 SECTION @ PIER  
SCALE: 1/2"=1'-0"

Stop-N-Go  
Convenience Store - Monona Drive  
4824 MONONA DRIVE  
MADISON, WI 53716

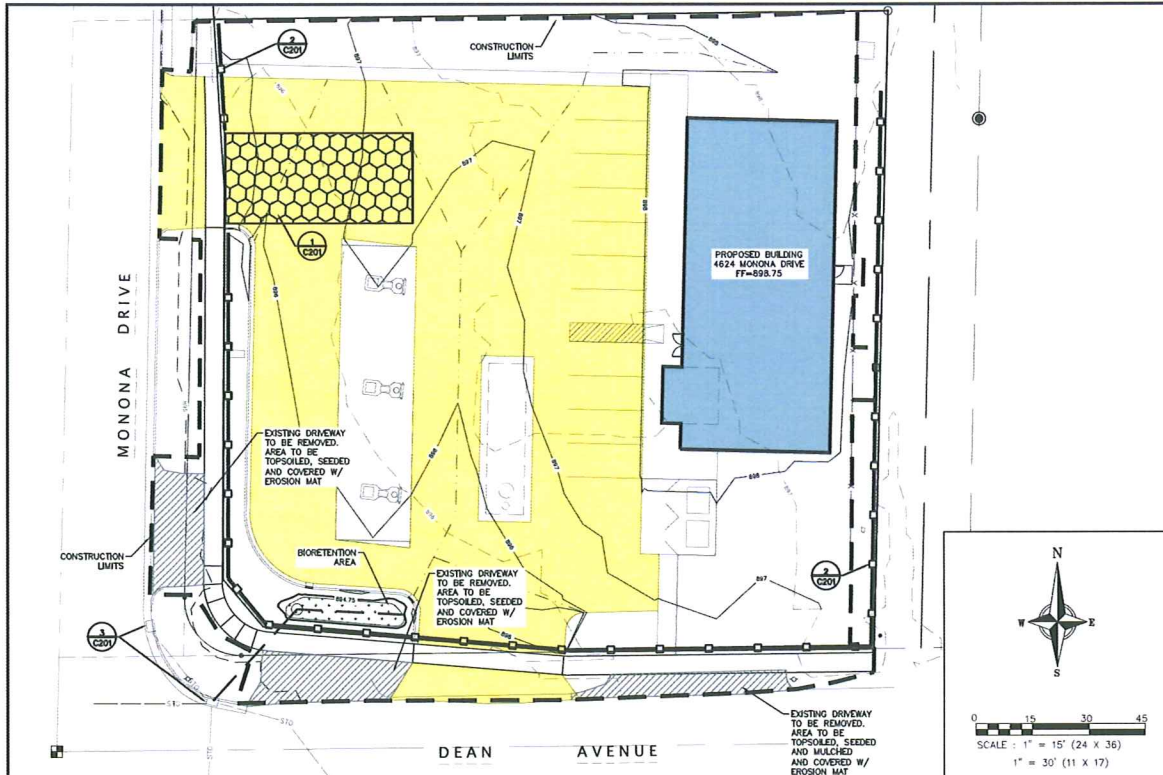
CANOPY ELEVATIONS

04/22/2011  
REVIEW  
05.02.11  
BID SET

A3.1

*REVIS*



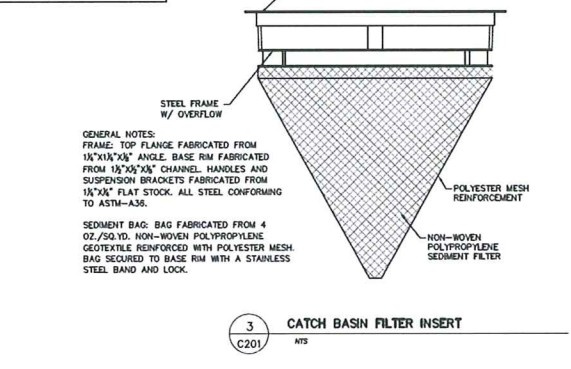
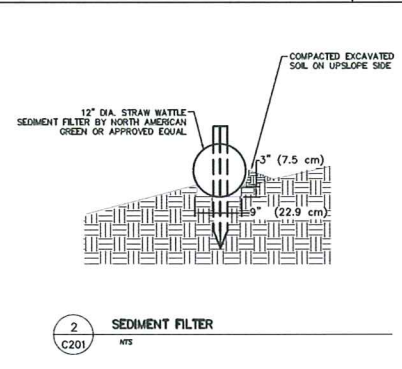
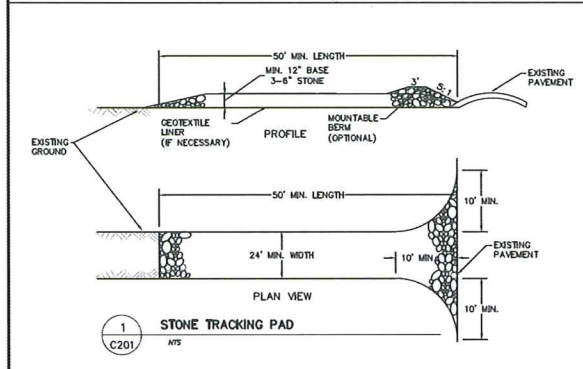


**EROSION CONTROL NOTES**

- (1) THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- (3) CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH MORNING DAY.
- (4) RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
- (5) INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL ENTERED INTO THE CITY EROSION CONTROL PERMIT TRACKING WEBSITE AND SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- (6) STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-8 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
- (7) INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH A CATCH BASIN FILTER INSERT MANUFACTURED BY MARATHON MATERIALS OR APPROVED EQUAL. A STANDARD SEDIMENT BAG SHALL BE USED DURING CONSTRUCTION. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- (8) EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, TYPE B, EROSION MAT.
- (9) TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- (10) STABILIZATION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS SPECIFIED WITHIN 14 WORKING DAYS OF FINAL GRADING.
- (11) TOPSOIL. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SOODED.
- (12) SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1,000 SF OF AREA.
- (13) STOCKPILES. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

|  |          |
|--|----------|
| DATE   | 03-14-11 |
| DESIGNED BY  |          |
| CHECKED BY   |          |
| PLAN COMMISSION  |          |
| 816 N. Mendota/cock LN<br>Wausau, WI 54987<br>phone (608) 848-9378<br>fax (608) 237-2129 |          |

**PROFESSIONAL ENGINEERING LLC**



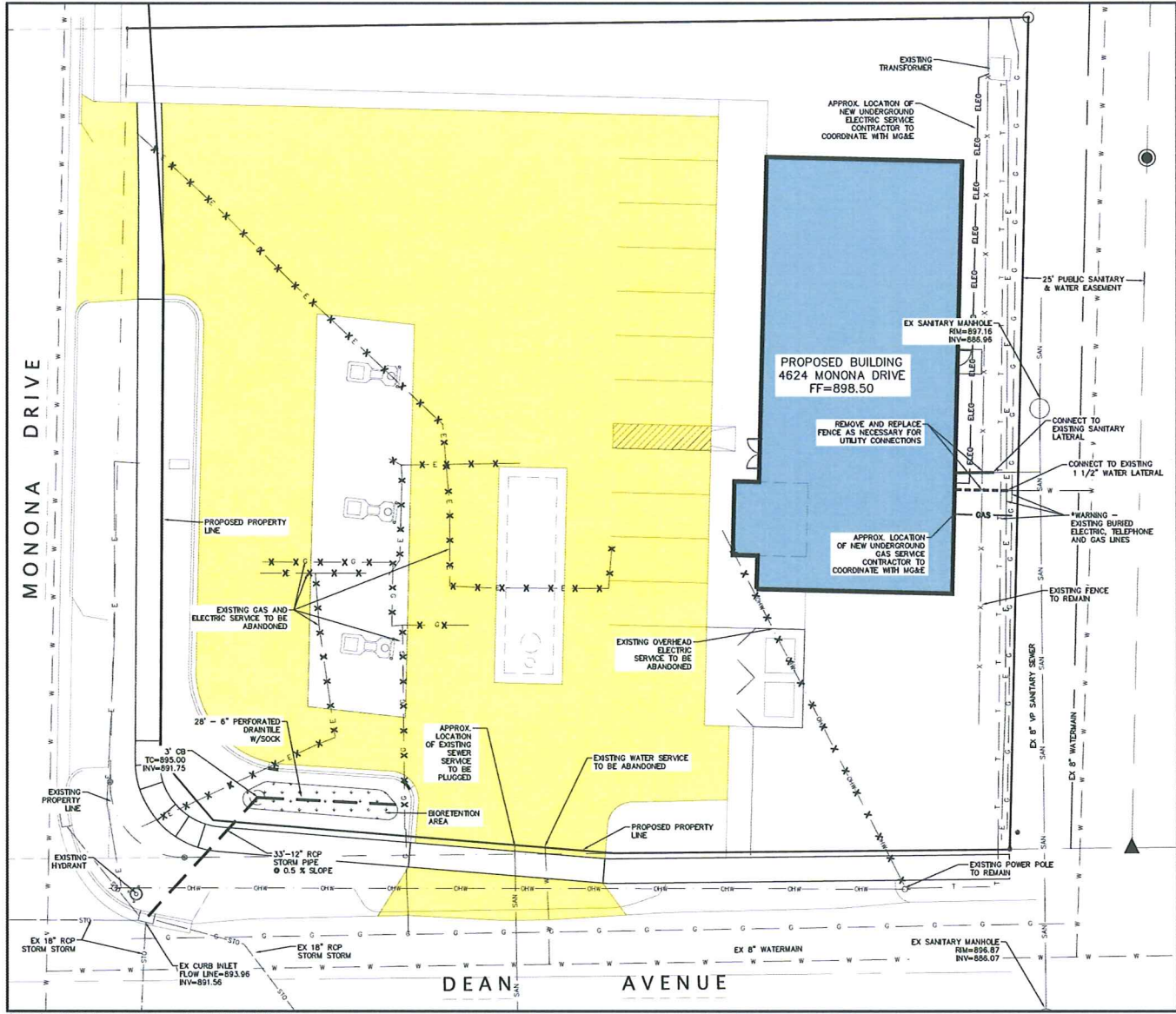
GENERAL NOTES:  
FRAME: TOP FLANGE FABRICATED FROM 1/2"X1/2"X1/4" ANGLE. BASE RIM FABRICATED FROM 1/2"X1/2"X1/4" CHANNEL. HANDLES AND SUSPENSION BRACKETS FABRICATED FROM 1/2"X1/2" FLAT STOCK. ALL STEEL CONFORMING TO ASTM-A36.  
SEDIMENT BAG: BAG FABRICATED FROM 4 OZ./SQ. YD. NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH. BAG SECURED TO BASE RIM WITH A STAINLESS STEEL BAND AND LOCK.

**STOP-N-GO  
EROSION CONTROL PLAN**

4624 MONONA DRIVE  
MADISON, WISCONSIN

**C201**

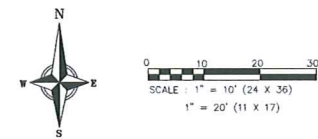
EROSION CONTROL PLAN - NO CHANGES PROPOSED



- ### UTILITY NOTES
- CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.  
UTILITIES MARKED BY DIGGERS HOTLINE INCLUDE:  
-CITY OF MADISON - SOC  
-MADISON GAS & ELECTRIC - CHARTER  
-CITY OF MONONA
  - ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKERS PLACED BY THE UTILITY COMPANIES OR THEIR AGENT. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
  - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
  - RESTORATION OF PAVEMENT, CURB & OUTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
  - ALL STORM SEWER PIPE 12" DIA. OR LARGER IN DIAMETER TO BE ADS-112 PIPE OR RCP CLASS II REINFORCED CONCRETE WITH RUBBER GASKETS AS NOTED.
  - WATER SERVICE SHALL BE TYPE "K" COPPER.
  - SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
  - ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
  - CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
  - UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED TO WITHIN 5 FEET OF THE PROPOSED BUILDING(S) AND MARKED WITH A 4"x4" HARDWOOD POST.
  - ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
  - STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
  - BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

### LEGEND

|               |                         |
|---------------|-------------------------|
| — T — T — T — | EX TELEPHONE            |
| — SAN —       | EX SANITARY SEWER       |
| — OHW — OHW — | EX OVERHEAD ELECTRIC    |
| — E — E — E — | EX ELECTRIC UNDERGROUND |
| — W — W — W — | EX WATER                |
| — G — G — G — | EX GAS UNDERGROUND      |
| — STD — STD — | EX STORM SEWER          |



|  |          |
|--|----------|
| DATE   | 03-14-11 |
| ISSUANCE/REVISION  |          |
| PLAN COMMISSION  |          |
| 816 N. Madison Street, Ltd.<br>Wisconsin, WI 53597<br>phone (608) 848-9378<br>fax (608) 237-2125 |          |
| <b>PROFESSIONAL ENGINEERING LLC</b>  |          |
| <b>STOP-N-GO UTILITY PLAN</b><br>4624 MONONA DRIVE<br>MADISON, WISCONSIN                         |          |
| <b>C300</b>  |          |

UTILITY PLAN - NO CHANGES PROPOSED