



City of Madison

Conditional Use

Location

1010-1018 Mayfair Avenue

Project Name

Madison Mayfair Apartments
Accessory Building

Applicant

Madison Mayfair Apartments LLC /
George and Catherine Knuckey

Existing Use

Apartment

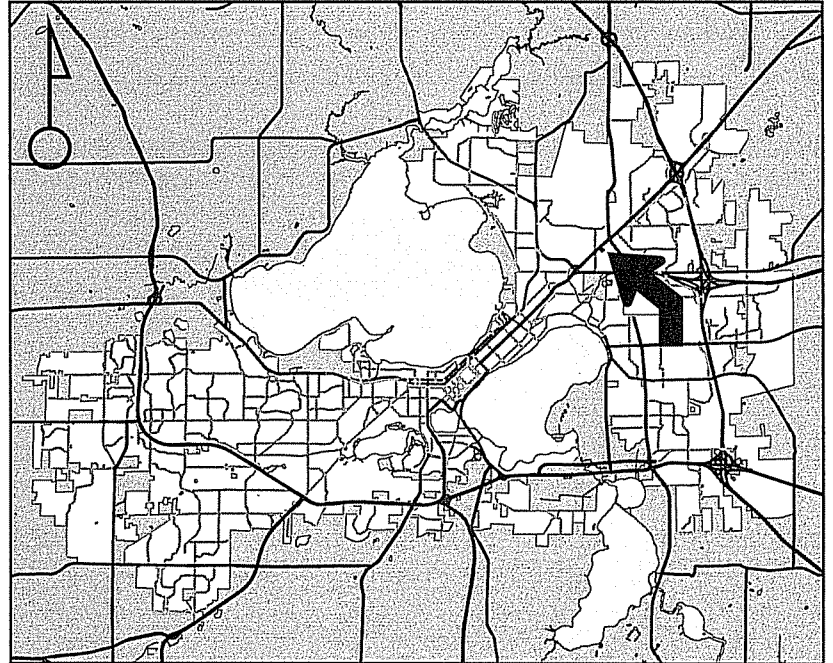
Proposed Use

Construct accessory building for
apartment complex of 800 sqft in
SR-V2 zoning

Public Hearing Date

Plan Commission

16 October 2017

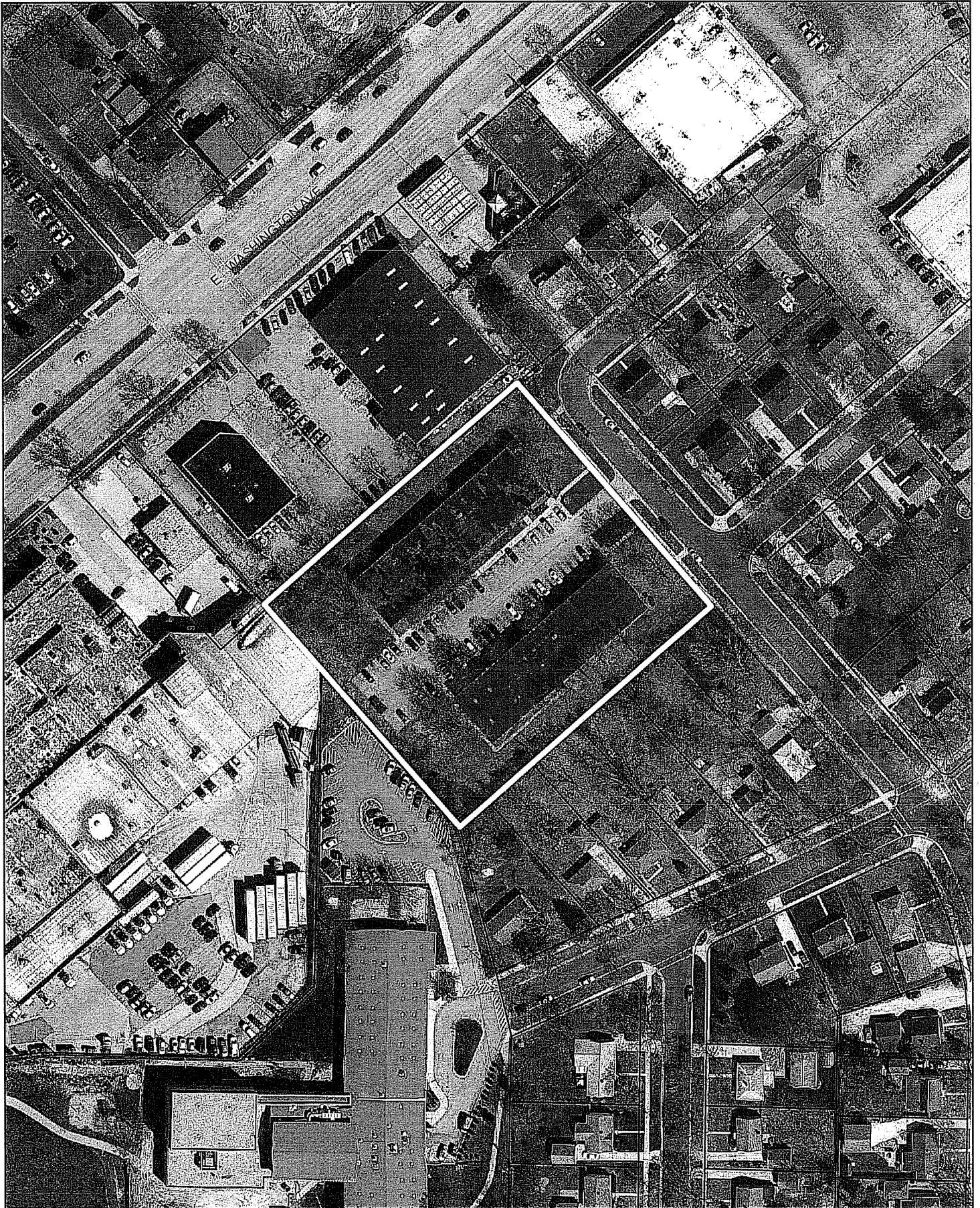


For Questions Contact: Chris Wells at: 261-9135 or cwells@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 9 Oct 2017



LAND USE APPLICATION

LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid \$600 Receipt # 034522-0005
Date received 9/5/17
Received by [signature]
Parcel # 0810-324-0407-2
Aldermanic district 15 - Ahrens
Zoning district SR-V2
Special requirements Near above fuel storage
Review required by
[] UDC [] PC
[] Common Council [] Other
Reviewed By LNDUSE-2017-00098

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 1010 and 1018 Mayfair Avenue, Madison, WI 53714
Title: Madison Mayfair Apartments, LLC

2. This is an application for (check all that apply)

- [] Zoning Map Amendment (rezoning) from ... to ...
[] Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
[] Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
[] Review of Alteration to Planned Development (PD) (by Plan Commission)
[X] Conditional Use or Major Alteration to an Approved Conditional Use
[] Demolition Permit
[] Other requests

3. Applicant, Agent and Property Owner Information

Applicant name George & Catherine Kruckey Company Madison Mayfair Apartment LLC
Street address 2455 Bird St, Apt 10 City/State/Zip Sun Prairie, WI 53590
Telephone 815-297-2579 Email Kruckey.catherine@gmail.com
Project contact person George Kruckey Company Madison Mayfair Apartments, LLC
Street address 245 S. Bird St, Apt 10 City/State/Zip Sun Prairie, WI 53590
Telephone 815-297-2579 Email Kruckey.catherine@gmail.com
Property owner (if not applicant)
Street address
City/State/Zip
Telephone

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Construct Utility Building for lawn and snow removal equipment to help maintain apartment complex

Scheduled start date October, 2017 Planned completion date December, 2017

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checklist of submittal materials including Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, and Electronic Submittal* with handwritten note 'Zoning can do this - Jk'.

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to papplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Handwritten declarations for Planning staff (Jerry Kirchgatter, Date Aug 4, 2017) and Zoning staff (Chris Wells, Date Aug 4, 2017).

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)

- Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request.

Handwritten notification list: David Ahrens (district 15@cityofmadison.com) Aug 5, 2017; Diane Calhoun (diane43@tds.net) Aug 5, 2017; Jackie Shivers (jms098@att.net) Aug 5, 2017.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant George + Catherine Knuckey Relationship to property Owner

Authorizing signature of property owner Catherine Knuckey Date Aug 31, 2017

LETTER OF INTENT – 1010 Mayfair Avenue and 1018 Mayfair Avenue, Madison, WI
George and Catherine Knuckey, Owners of Madison Mayfair Apartments, LLC
August 29, 2017

As owners of 1010 and 1018 Mayfair Avenue, Madison, WI we are seeking to construct a 30' x 40' building that will allow us to keep our lawn mowing equipment, ladders, tools and Skid Steer for snow removal. The layout of our interior apartment buildings do not allow for large items to be stored in the basement. The stairs are narrow and we cannot get ladders for the roof and other larger items into the basement. We have taken apartment 1018 Mayfair Avenue, Apartment 1, Madison, WI as our apartment to use and stay at. We do all of our own work (including repairing apartments and exterior repair and maintenance). We do not hire others for lawn care or snow removal. We own our own equipment and have been storing it at another site. This is costly and very inconvenient.

The existing site for the building is located in the rear of the property on a level yard. There would be very little excavation of the dirt on the job site. Mainly just a little leveling of the existing dirt for the actual building. There should be no need to bring in any dirt. The foundation will be: Foundation and Footings.

The gross square footage of the building is 1,200 sq. ft. (30' x 40'). Mr. David Ahrens has given approval for a conditional use building (storage garage) that is 1,200 sq. ft. - See email that is enclosed. The color of the building will be as close to the color of our existing brick building (tan/cream color) with the trim to be a dark grey. The surrounding neighboring buildings are also this tan/cream color. Our building should blend in with the neighborhood.

Our plan is to start the foundation work in the month of October, 2017. The actual building will be constructed around the 1st week of November, 2017. It is estimated that the actual building construction will take 2 weeks.

We would not be adding any employees. We manage and care for our apartments ourselves along with our Son, Matthew Knuckey.

Building 1010 Mayfair Avenue has 24 apartments and Building 1018 has 26 apartments.

Hours of Operation: Always on Call.



clearly

City Of Madison

Building Plan Approval
Application

Department of Planning & Economic & Community Development
Inspection Division
126 S. Hamilton St.
Madison WI 53703
P.O. Box 2984 (zip code 53701-2984)
(608) 266-4551 Fax (608) 266-6522

Instructions: Fill in all applicable data. Submittal of this plan approval Application form is required with each plan submittal, with a minimum of two sets of plans. **SUBMIT PLUMBING PLANS SEPARATELY, ACCOMPANIED BY AN APPLICATION FORM.**

1. Occupancy type		2. Project information		3. Type of submittal	
Check all that apply <input type="checkbox"/> A. Assembly <input type="checkbox"/> B. Business <input type="checkbox"/> E. Education <input type="checkbox"/> F. Factory <input type="checkbox"/> H. Hazardous <input type="checkbox"/> I. Institutional <input type="checkbox"/> M. Mercantile <input type="checkbox"/> R. Residential <input type="checkbox"/> S. Storage <input checked="" type="checkbox"/> U. Utility	Circle sub use A1 A2 A3 A4 A5 school daycare F1 F2 H1 H2 H3 H4 H5 I1 I2 I3 I4 R1 R2 R3 R4 <input checked="" type="checkbox"/> S1 S2	Project Address 1010 and 1018 Mayfair Ave., Madison, WI Tenant or occupant name Madison Mayfair Apts, LLC - George Knuckey Has a building code variance been applied for? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Variance approval number:	Project type <input checked="" type="checkbox"/> New <input type="checkbox"/> Alteration level 1 2 3 <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Revision to previously approved plan <input type="checkbox"/> Capacity only	Review type <input type="checkbox"/> Foundation only <input type="checkbox"/> Building <input type="checkbox"/> HVAC <input checked="" type="checkbox"/> Truss <input type="checkbox"/> Precast <input type="checkbox"/> Metal building <input type="checkbox"/> Antenna / Tower	

Brief project description

4. Project designer		5. HVAC designer		6. Building owner	
Designer KARL LEMMENES	Reg. #	Designer	Reg. #	Company name Madison Mayfair Apts, LLC	
Design Firm CLEARLY BUILDING CORP		Design Firm		Name George & Catherine Knuckey	
Address PO Box 930220		Address		Address 1018 Mayfair Ave, Apt 1	
City/state/zip code VERONA WI 53703 53593		City/state/zip code		City/state/zip code Madison, WI 53714	
Contact person KARL LEMMENES		Contact person		Contact person George Knuckey	
Telephone Number (608) 845 9700		Telephone Number ()		Telephone Number (815) 297-2579	
email KLEMMENES@GMAIL.COM		email		email Knuckey, Catherine@gmail.com	

7. Class Of Construction	8. Building information
<input type="checkbox"/> IA <input type="checkbox"/> IB <input type="checkbox"/> IIA <input type="checkbox"/> IIB <input type="checkbox"/> IIIA <input type="checkbox"/> IIIB <input type="checkbox"/> IV <input type="checkbox"/> VA <input checked="" type="checkbox"/> VB	Total stories of building above grade <u>1</u> Total floor area for each floor work is done on: Floor: <u>1</u> Area: <u>1200</u> sq. ft. Floor: _____ Area: _____ sq. ft. Floor: _____ Area: _____ sq. ft. Floor: _____ Area: _____ sq. ft. Floor: _____ Area: _____ sq. ft. Floor: _____ Area: _____ sq. ft. Floor: _____ Area: _____ sq. ft.

9. Building permit information	
Building contractor (for building plans)	HVAC Contractor (for HVAC plans)

Estimated Cost: For alterations do not include HVAC, plumbing, or electrical costs

New/addition: (total) \$	Alteration: (no MEP) \$	New Parking Lot: \$
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10. Fees: The area of a new building or addition is the floor area bounded by the exterior surface of the building walls or the outside face of columns where there is no wall. The area includes all floor levels such as basements, ground floors, mezzanines, balconies, lofts, garages, all stories, and all roofed over area including porches.
 The area of alterations includes all areas affected by the alteration on both sides of any new or moved walls.
The minimum fee for any review other than for structural components is \$100.

New Buildings and Additions.

Building Area _____ s.f.--- \$0.03/s.f. \$ _____
 HVAC Area _____ s.f.--- \$0.02/s.f. \$ _____

Alterations to Existing Buildings

Building Area _____ s.f.--- \$0.04/s.f. \$ _____
 HVAC (Separate Submittal only) _____ s.f.--- \$0.03/s.f. \$ _____
 Structural (Separate Submittal only) \$50 per component \$ _____
 Revisions to previously reviewed plans \$100 \$ _____
 State Administrative Fee (see schedule) \$ _____
 Other \$ _____

Total \$ _____ round up to nearest whole dollar

For Office Use Only	
Date	_____
Fees Collected By	
<input type="checkbox"/> C/O Req.	<input type="checkbox"/> Zoning

When applicable

If the total volume of the building is greater than 50,000 cubic feet signatures are required in the proper blanks below and the plans are required to have original seals and signatures by a licensed architect, engineer, or HVAC designer. Per SPS 361.20, 361.31(1) & 361.50 The designer indicated on page 1 of this form is responsible for preparing or supervising the preparation of the plans to the best of his or her knowledge to comply with the applicable codes of the Division of Safety and Buildings for this submittal.

If the total volume of the building is less than 50,000 cubic feet no signatures are required below. The total volume of the building is:
 () less than 50,000 cubic feet () 50,000 cubic feet or greater

Supervising Professionals Signature must be included for Buildings greater than 50,000 cubic feet or the submittal will be rejected.

11. Supervising Professional's Statement: I have been retained by the owner as the **supervising professional** per SPS. 361.40 for the performance or supervision of reasonable on-the-site observations to determine if the construction is in substantial compliance with the approved plans and specifications. Upon completion of construction, I will file a written statement with the City of Madison Neighborhood Preservation Inspection Division certifying that, to the best of my knowledge and belief, construction has or has not been performed in substantial compliance with the approved plans and specifications.

Supervising Professional Signature <u>N/A</u>	() Building () HVAC	Registration # _____
Print Name _____		
Supervising Professional Signature <u>N/A</u>	() Building () HVAC	Registration # _____
Print Name _____		

12. Designer of record to complete this section only for component submittals such as trusses, precast, and manufactured metal buildings. Please submit only one set of plans and calculations for components.

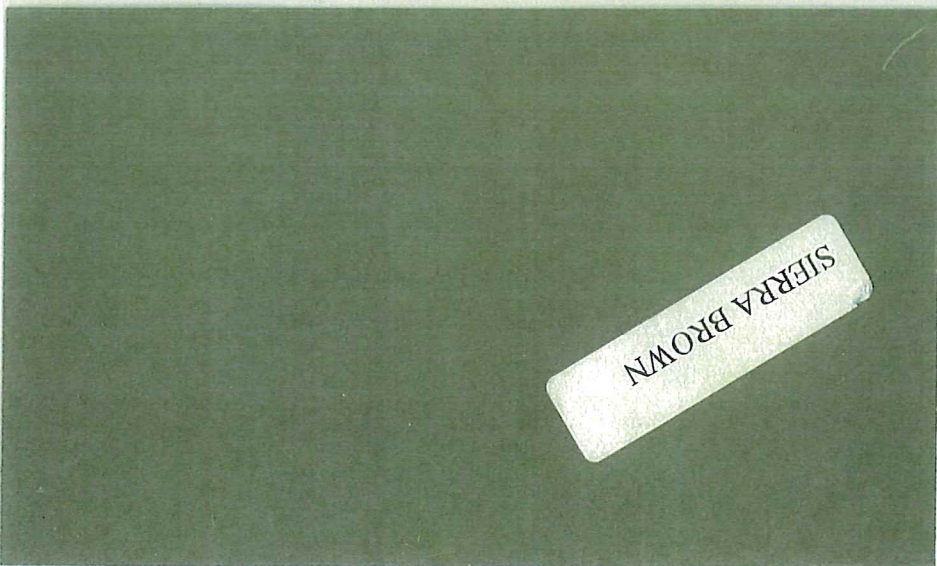
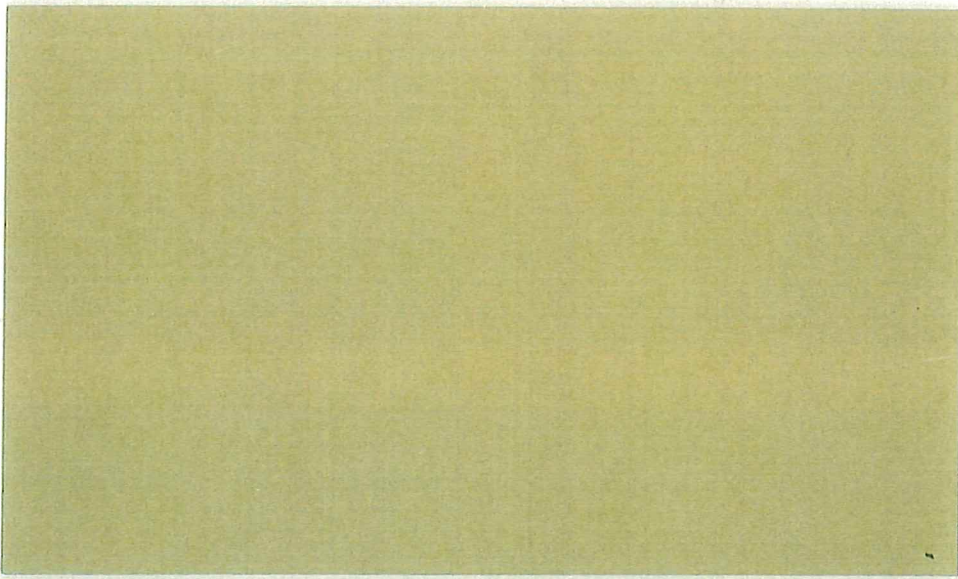
The Department of Safety & Professional Services expects and requires, that the project designer review individual component submittals for compliance with the general design concept. The project designer, and department, will rely on the seal of the component designers for compliance with the codes as they apply to their designs. Components include such things as trusses, precast, and manufactured metal buildings.

Signature of Building Designer of Record

Date Signed

N/A _____

Building
Colors 0



SIERRA BROWN

LETTER OF INTENT – 1010 Mayfair Avenue and 1018 Mayfair Avenue, Madison, WI
George and Catherine Knuckey, Owners of Madison Mayfair Apartments, LLC
August 29, 2017

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Hours of Operation: Always on Call.

Gmail

More

COMPOSE

Automatic reply: 1010 and 1018 Mayfair Avenue, Madison, WI

Inbox

- Inbox (115)
- Starred
- Important
- Sent Mail
- Drafts (22)
- Notes
- More

Catherine

Ahrens, David I will be out of the office until Wednesday, August 8th. I will have only lim...

Aug 5

Catherine Knuckey I tried to find your office last week. I walked around a building that was un...

11:24 AM (18 hours ago)

Ahrens, David

1:33 PM (16 hours ago)

to me

Catherine:

I did not know what you were asking for in the Aug. 5 mail. It was not clear whether you had been in contact with the Buildings Dept, Zoning, etc.

You didn't mention the 30 notification requirement. I agree to waive the requirement. I hope this works out for your plans.

Best regards,
David

From: Catherine Knuckey [mailto:knuckey.catherine@gmail.com]

Sent: Monday, September 04, 2017 1:25 PM

To: Ahrens, David

Subject: Re: Automatic reply: 1010 and 1018 Mayfair Avenue, Madison, WI

No Hangouts contacts

[Find someone](#)

Click here to Reply or Forward

Gmail

More

COMPOSE

Automatic reply: 1010 and 1018 Mayfair Avenue, Madison, WI

Inbox x

Inbox (115)

Starred

Important

Sent Mail

Drafts (22)

Notes

More

Catherine

Ahrens, David I will be out of the office until Wednesday, August 8th. I will have only lim...

Aug 5

Catherine Knuckey <knuckey.catherine@gmail.com>
to David

11:24 AM (18 hours ago)

I tried to find your office last week. I walked around a building that was under construction and did not see a way into the building. Is this where you are located. I sent a notice to you on August 5, 2017 that indicated that at 1010 and 1018 Mayfair Avenue we would like to construct a utility shed for our lawn care, snow removal skid steer, ladders, etc. I have not heard back from you.. I have the application paperwork ready, but I was told to ask your office for a conditional use for an accessory building (storage garage) 1,200 sq. ft. in size. I would like to submit the application Sept. 6, 2017 for the Oct. 16 Plan Commission meeting. Would you be comfortable waiving the 30 day notification requirement?

Please give me a call at [815-297-5314](tel:815-297-5314) with questions or if you would like to see a copy/print of the building. Thank You for your consideration.
Catherine Knuckey

Ahrens, David Catherine: I did not know what you were asking for in the Aug. 5 mail. It was..

1:33 PM (16 hours ago)

Catherine Knuckey <knuckey.catherine@gmail.com>
to David

5:53 AM (0 minutes ago)

Thank You for your prompt response.

No Hangouts contacts

[Find someone](#)

Click here to [Reply](#) or [Forward](#)



Catherine Knuckey <knuckey.catherine@gmail.com>

1010 and 1018 Mayfair Avenue, Madison, WI

1 message

Catherine Knuckey <knuckey.catherine@gmail.com>

Sat, Aug 5, 2017 at 7:55 AM

To: jsms098@att.net

George and Catherine, owners of 1010 and 1018 Mayfair Avenue, Madison, WI, would like to construct a 30' x 40' utility building on the back portion of this property. The utility building would be used for our skid steer, lawn equipment, ladders, etc. We do not hire outside help to maintain the buildings. We do our own renovations, snow removal, lawn care, etc. and we need a place for our equipment. We are currently almost finished with renovations to 1018 Apartment 1 for our office and home while we are here. Usually Tuesday thru Saturday. Thank You for your consideration.

Catherine Knuckey [815-297-5314](tel:815-297-5314) and George Knuckey [815-297-2579](tel:815-297-2579)



Catherine Knuckey <knuckey.catherine@gmail.com>

1010 and 1018 Mayfair Avenue, Madison, WI

1 message

Catherine Knuckey <knuckey.catherine@gmail.com>

Sat, Aug 5, 2017 at 7:45 AM

To: district15@cityofmadison.com

George and Catherine, owners of Madison Mayfair Apartments, LLC, would like to construct a 30' x 40' commercial garage on the property. This garage would be located in the rear of the property and would store our snow removal equipment (skid steer), lawn mower, ladders, and other tools necessary to maintain the property. Thank You for your consideration. We are currently in the process of completing an apartment (1018-1) that we will be using as our office and home while we are in Madison. Generally we are here Tuesday thru Saturday. I will be forwarding a message to Diane Calhoun and Jackie Shivers.
Catherine Knuckey [815-297-5314](tel:815-297-5314) George Knuckey [815-297-2579](tel:815-297-2579)

Gmail

More

1

COMPOSE

Automatic reply: 1010 and 1018 Mayfair Avenue, Madison, WI

Inbox x

Inbox (113)

- Starred
- Important
- Sent Mail
- Drafts (22)
- Notes
- More

C Catherine +

Ahrens, David
to me

Aug 5 (12 days ago)

I will be out of the office until Wednesday, August 8th. I will have only limited access to email during this period.

If this is important, please contact the Madison Common Council Office at 266.4071.

Thank you,
David Ahrens

Click here to [Reply](#) or [Forward](#)

0.68 GB (4%) of 15 GB used
[Manage](#)

[Terms - Privacy](#)

Last account activity: 12 hours ago
[Details](#)

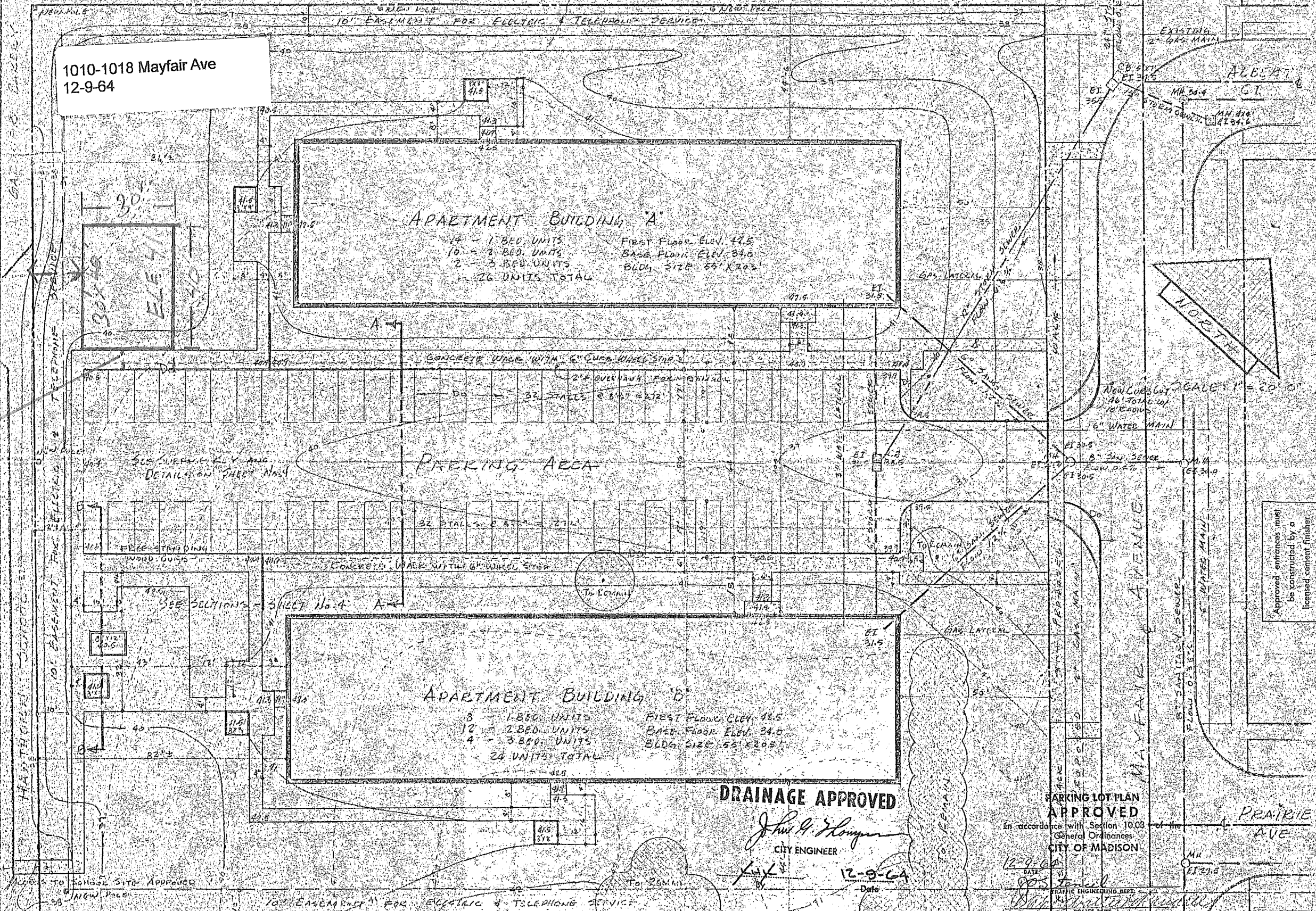
No Hangouts contacts
[Find someone](#)

APPROVED FOR RECORD PER PLANS COMMERCIAL DISTRICT OF 2-24-64

Approved as to general layout
 HARRIS GRASS CO.
 JOHN H. BUNCH, TRAFF. ENR. R. F. BURT, BLDG. INSP. E. E. CLARK, SEVER. CON. JENNO GORDEN, WATER. JOHN G. THOMPSON, CITY ENR.

1010-1018 Mayfair Ave
12-9-64

170'
15' OFF LOT LINE
5' OFF OF BLACKTOP



DRAINAGE APPROVED

John G. Thompson
CITY ENGINEER

12-9-64
Date

PARKING LOT PLAN APPROVED

In accordance with Section 10.08 of the General Ordinances
CITY OF MADISON

12-9-64
Date

John G. Thompson
TRAFFIC ENGINEERING DEPT.
CITY OF MADISON

MAYFAIR APARTMENTS - SITE DEVELOPMENT PLAN - MARGO OLGG INC - MADISON
 KENNETH STELIGA AND ASSOCIATES - LANDSCAPE ARCHITECTS - MADISON, WIS.

COLUMNS:	COLUMN SIZE:	HOLE DEPTH:	HOLE DIAMETER:	FOOTING SIZE:	NUMBER OF COLUMNS REQUIRED:
(A) SIDEWALL	3-PLY 2x6x13'-4"	----	----	ON CONCRETE SLAB (100'+0")	8
(B) CORNER	3-PLY 2x6x13'-4"	----	----	ON CONCRETE SLAB (100'+0")	4
(C) ENDWALL	3-PLY 2x6x15'-10"	----	----	ON CONCRETE SLAB (100'+0")	2
(D) ENDWALL	3-PLY 2x6x16'-8"	----	----	ON CONCRETE SLAB (100'+0")	2

- NOTES:**
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 - ATTACH ALL ROOF, SIDE, END AND GABLE STEEL WITH PAINTED SCREWS
 - ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND SINGLE PLY FROM THERE TO THE ROOF PLANE
 - 2x4 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 - 2x6 JACKBRACING AT ENDWALL COLUMNS AND CENTERED ABOVE 12' OVERHEAD DOORS (SEE DIAPHRAGM ACTION and MISC. DETAILS SHEET)
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES

BUILDING COLORS:

ROOF:	SIERRA
SIDES:	TAN
CABLES:	TAN
SLIDE DOORS:	---
TRIM (TYP.):	SIERRA
F&J TRIM:	TAN
ACCENTS:	---
WAINSCOTING:	SIERRA

BUILDING ACCESSORIES:

ATTACH ROOF STEEL TO PURLINS WITH PAINTED SCREWS IN PAN AREA
(1) CLEARY WEATHERVANE (OWNER LOCATE)
BUILDING ON CONCRETE SLAB WITH DRY-SET BRACKETS
CONCRETE FOAM FILLER ENTIRE BUILDING LESS DOORS
STEEL TO 100'+0" WITH FABRAL BOTTOM TRIM

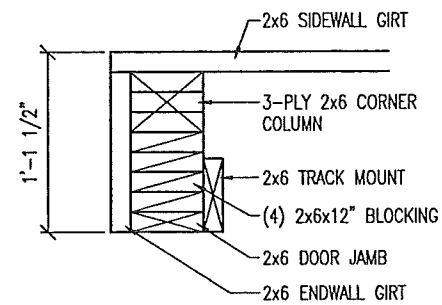
CLEARY BUILDING CORP.
 190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA
DATE DRAWN: 8/22/17

PLAN REVISIONS:

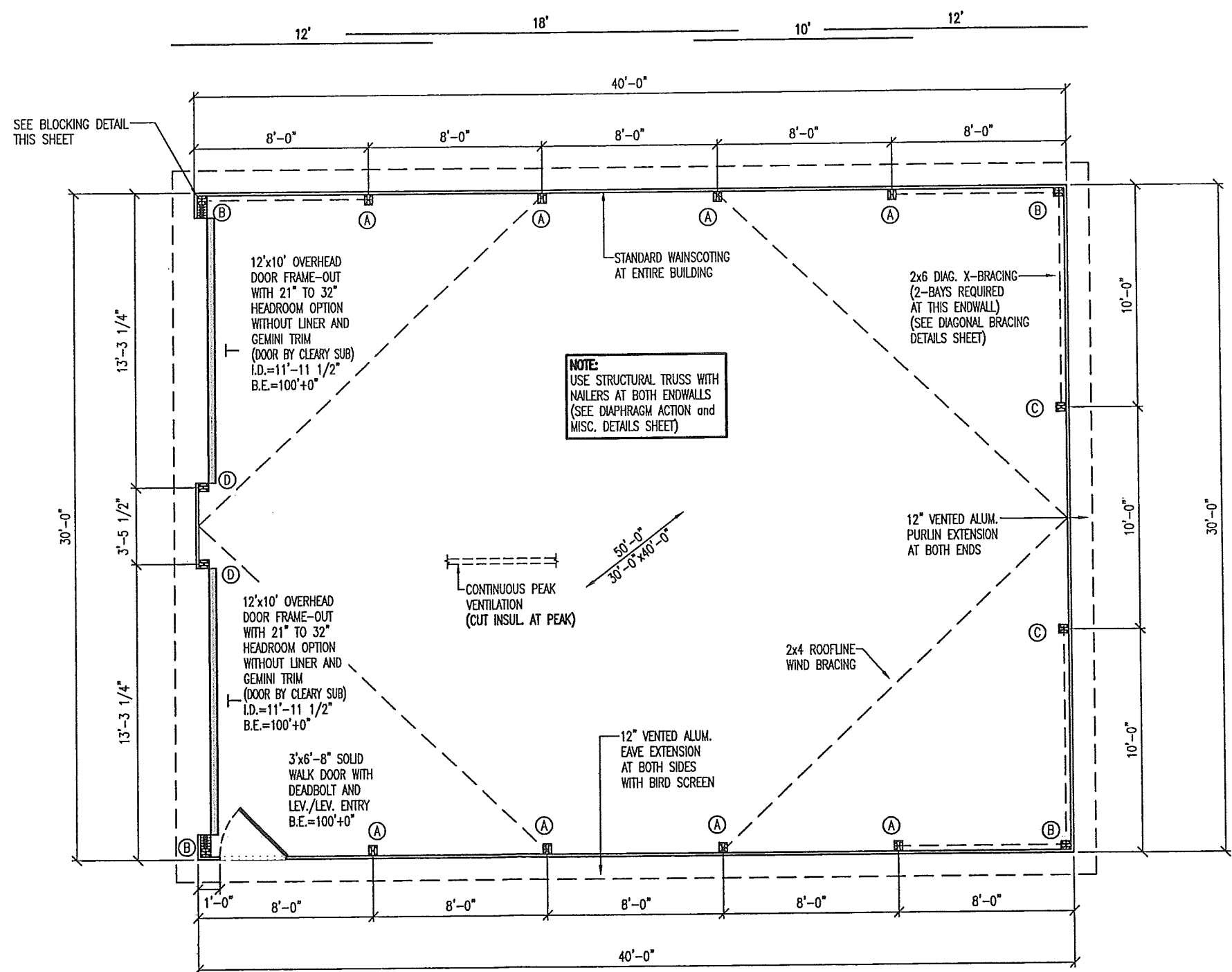
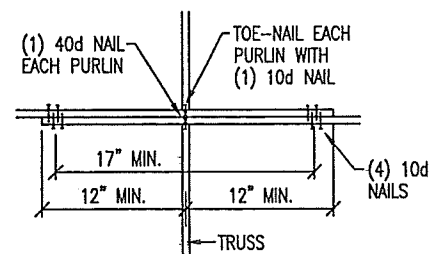
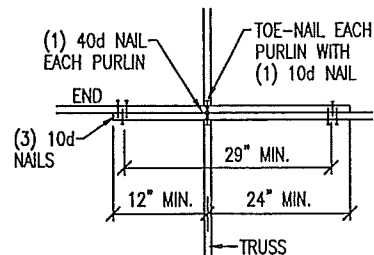
NUMBER	DATE	BY
1		
2		
3		
4		

PURLIN LAYOUT



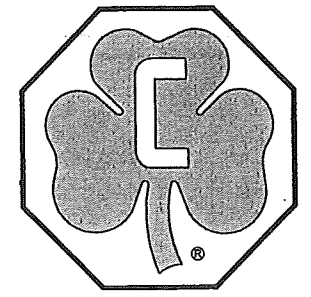
CONT. PURLIN DESIGN

CONSTRUCTION FOREMAN NOTE:
 BE SURE TO MAINTAIN THE OVERALL LAP DISTANCE AND THE SPACING FROM PURLIN END TO CENTER OF TRUSS AS SHOWN



PROJECT NAME: KNUCKEY, GEORGE
PROJECT SITE ADDRESS: 1018 MAYFAIR AVE APT 1
 MADISON, WI - DANE COUNTY
BUILDING SIZE: 30'x40'x13'-4" PRIVATE GARAGE
SHEET NAME: FLOOR PLAN

PROJECT NUMBER: 2017104856
SHEET NUMBER: 120
SHEET SCALE: NONE





190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

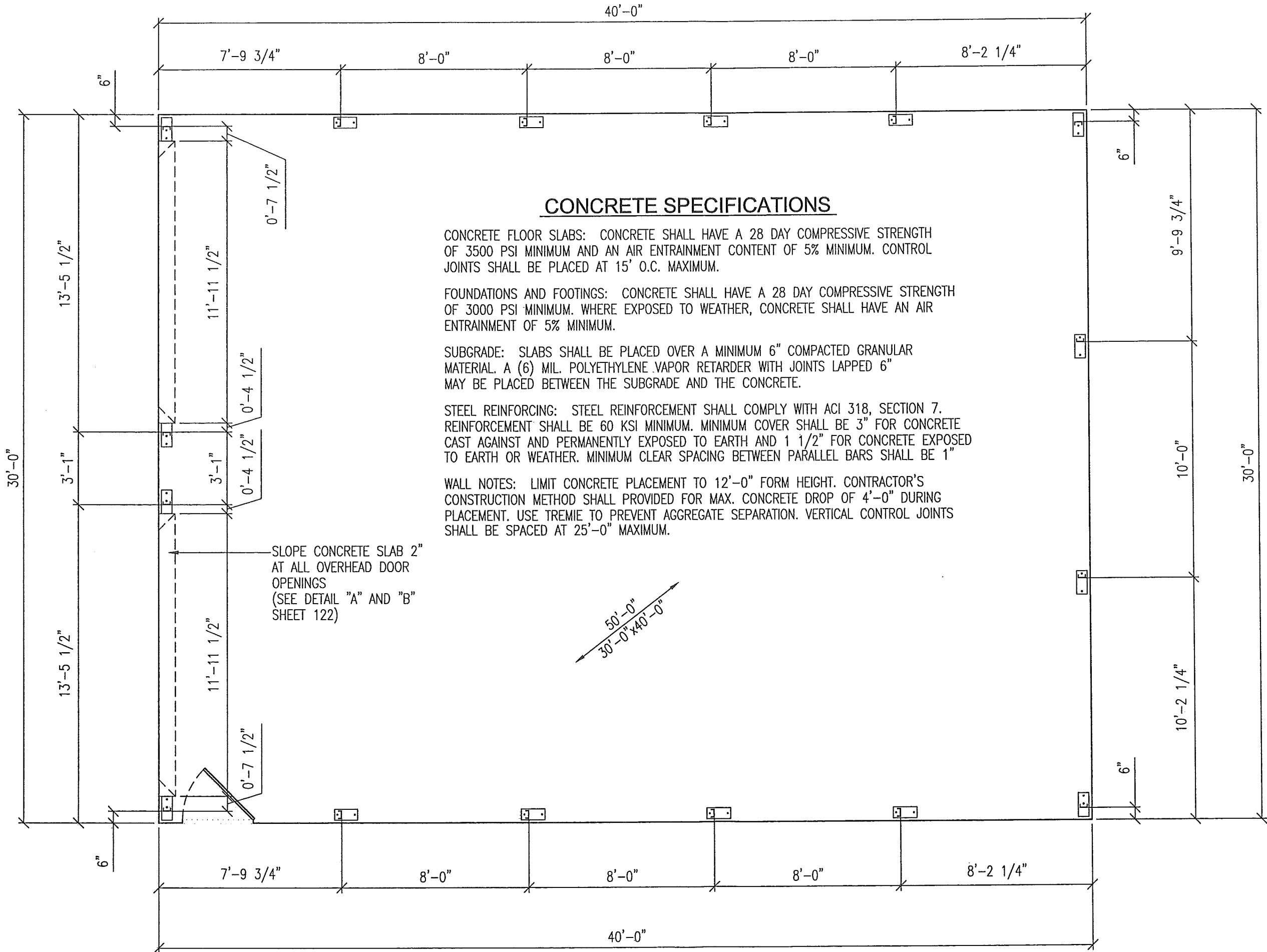
DRAWN BY: WALDERA

DATE DRAWN: 8/22/17

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

← NORTH



CONCRETE SPECIFICATIONS

CONCRETE FLOOR SLABS: CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI MINIMUM AND AN AIR ENTRAINMENT CONTENT OF 5% MINIMUM. CONTROL JOINTS SHALL BE PLACED AT 15' O.C. MAXIMUM.

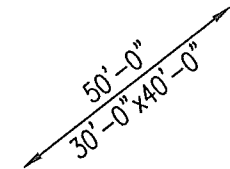
FOUNDATIONS AND FOOTINGS: CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI MINIMUM. WHERE EXPOSED TO WEATHER, CONCRETE SHALL HAVE AN AIR ENTRAINMENT OF 5% MINIMUM.

SUBGRADE: SLABS SHALL BE PLACED OVER A MINIMUM 6" COMPACTED GRANULAR MATERIAL. A (6) MIL. POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED 6" MAY BE PLACED BETWEEN THE SUBGRADE AND THE CONCRETE.

STEEL REINFORCING: STEEL REINFORCEMENT SHALL COMPLY WITH ACI 318, SECTION 7. REINFORCEMENT SHALL BE 60 KSI MINIMUM. MINIMUM COVER SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH AND 1 1/2" FOR CONCRETE EXPOSED TO EARTH OR WEATHER. MINIMUM CLEAR SPACING BETWEEN PARALLEL BARS SHALL BE 1"

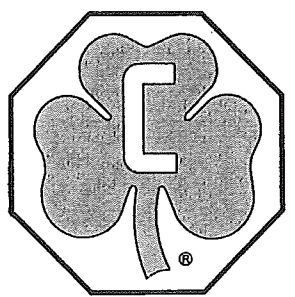
WALL NOTES: LIMIT CONCRETE PLACEMENT TO 12'-0" FORM HEIGHT. CONTRACTOR'S CONSTRUCTION METHOD SHALL PROVIDED FOR MAX. CONCRETE DROP OF 4'-0" DURING PLACEMENT. USE TREMIE TO PREVENT AGGREGATE SEPARATION. VERTICAL CONTROL JOINTS SHALL BE SPACED AT 25'-0" MAXIMUM.

SLOPE CONCRETE SLAB 2" AT ALL OVERHEAD DOOR OPENINGS (SEE DETAIL "A" AND "B" SHEET 122)

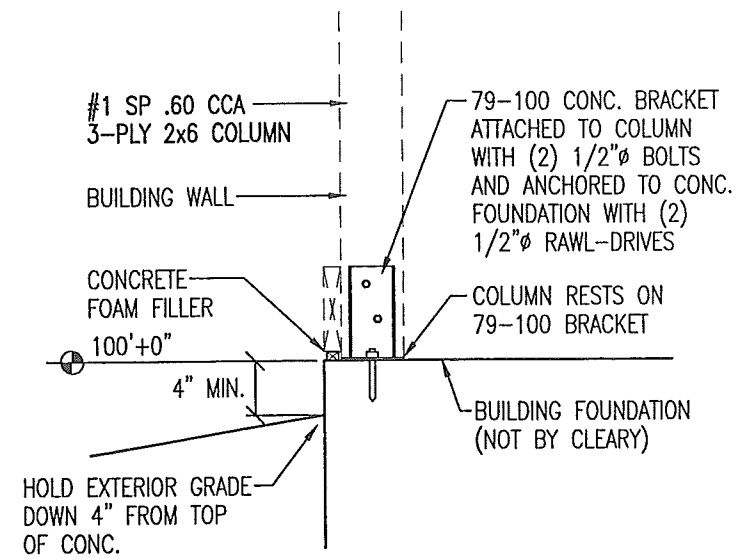


PROJECT NAME: **KNUCKEY, GEORGE**
 PROJECT SITE ADDRESS: 1018 MAYFAIR AVE APT 1
 MADISON, WI - DANE COUNTY
 BUILDING SIZE: 30'x40'x13'-4" PRIVATE GARAGE
 SHEET NAME: CONCRETE BRACKET LAYOUT PLAN

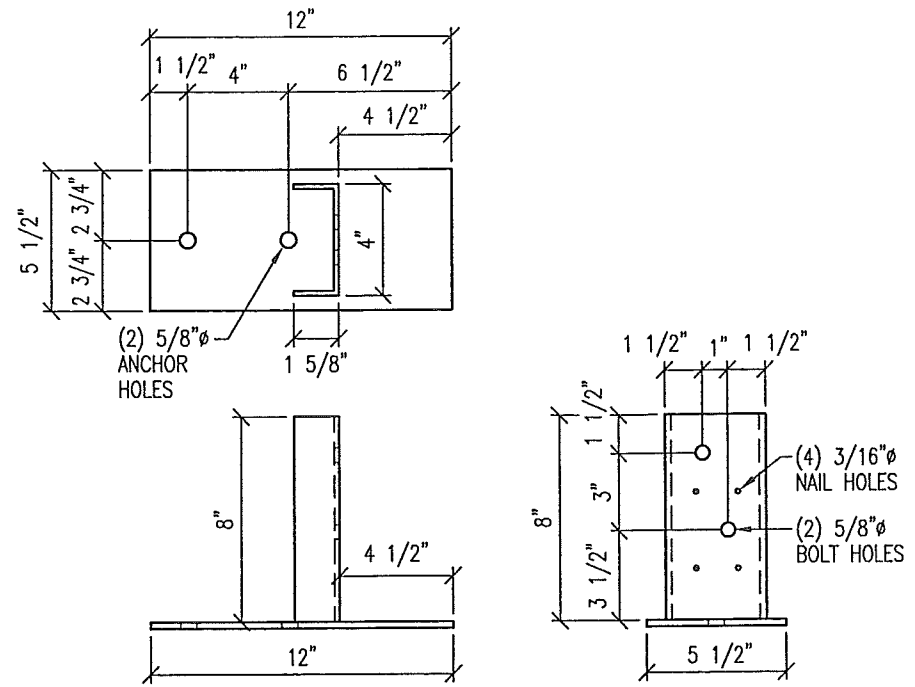
PROJECT NUMBER: **2017104856**
 SHEET NUMBER: **121**
 SHEET SCALE: NONE



NUMBER	DATE	BY
1		
2		
3		
4		

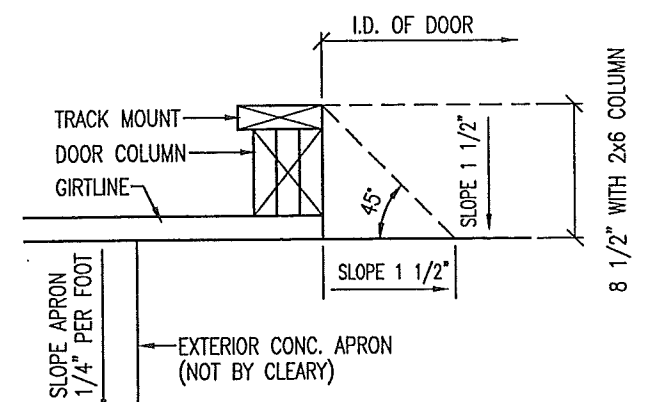


CONCRETE BRACKET PLACEMENT DETAIL

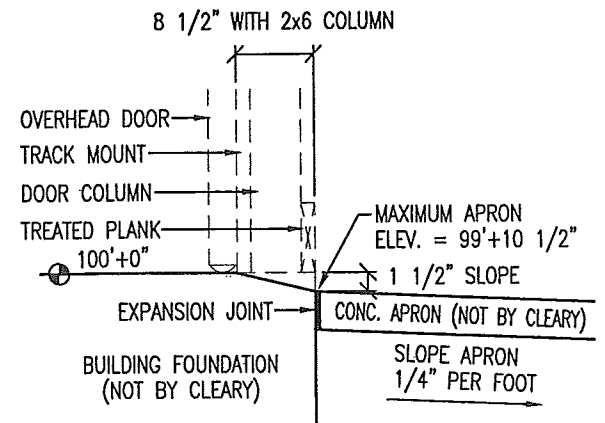


STANDARD 79-100 CONCRETE BRACKET DETAIL AT DOOR AND CORNER COLUMNS

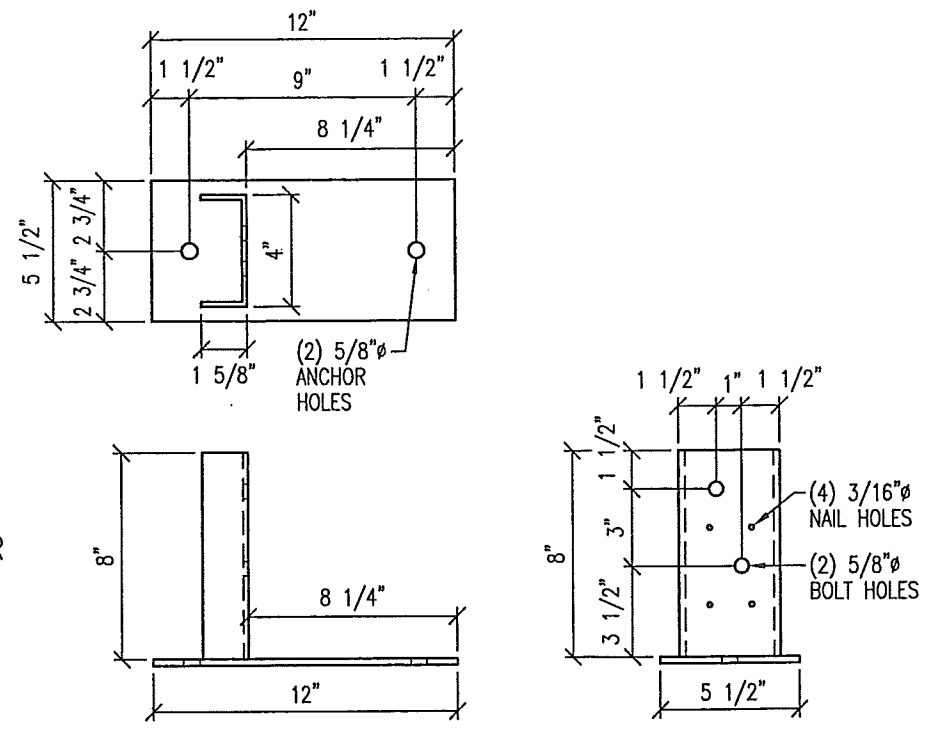
RECOMMENDED DETAILS WHEN EXTERIOR CONC. APRON IS PRESENT



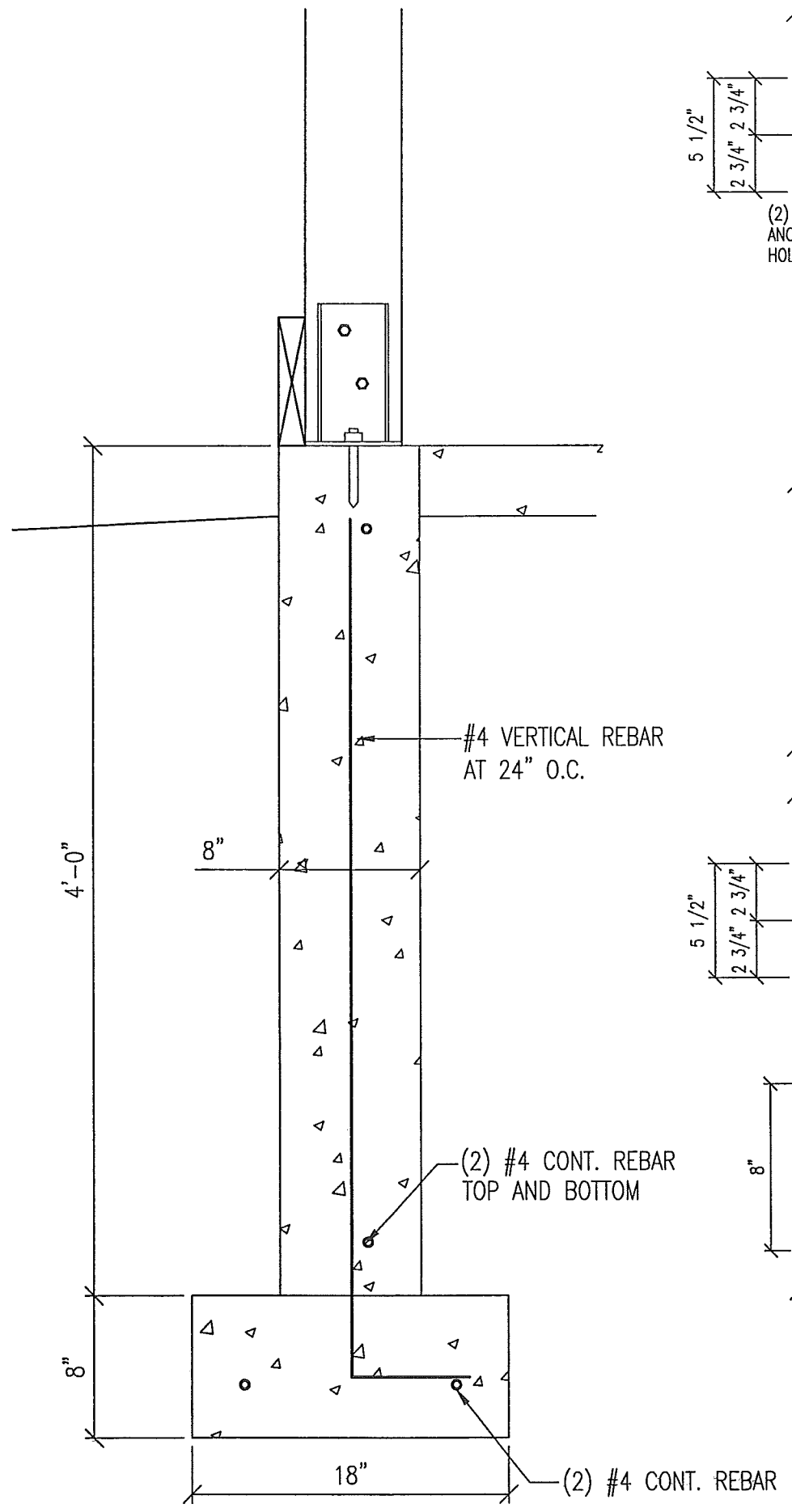
DETAIL "A" AT OVERHEAD DOOR



DETAIL "B" AT OVERHEAD DOOR

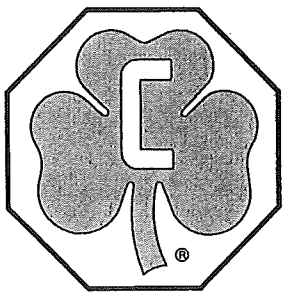


STANDARD 79-100 CONCRETE BRACKET DETAIL AT SIDEWALL AND ENDWALL COLUMNS

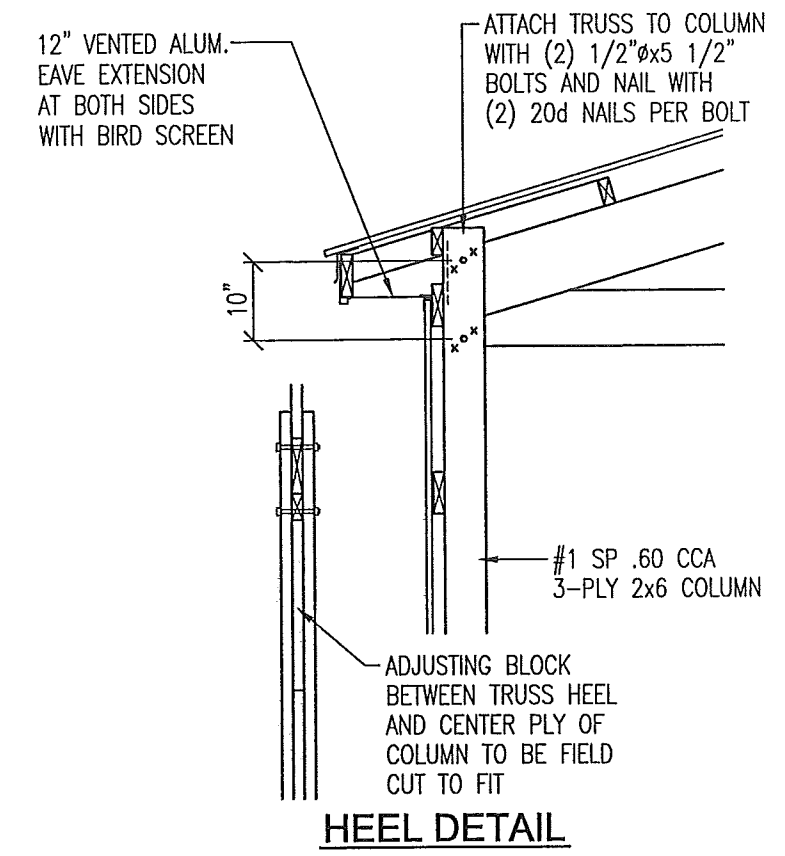
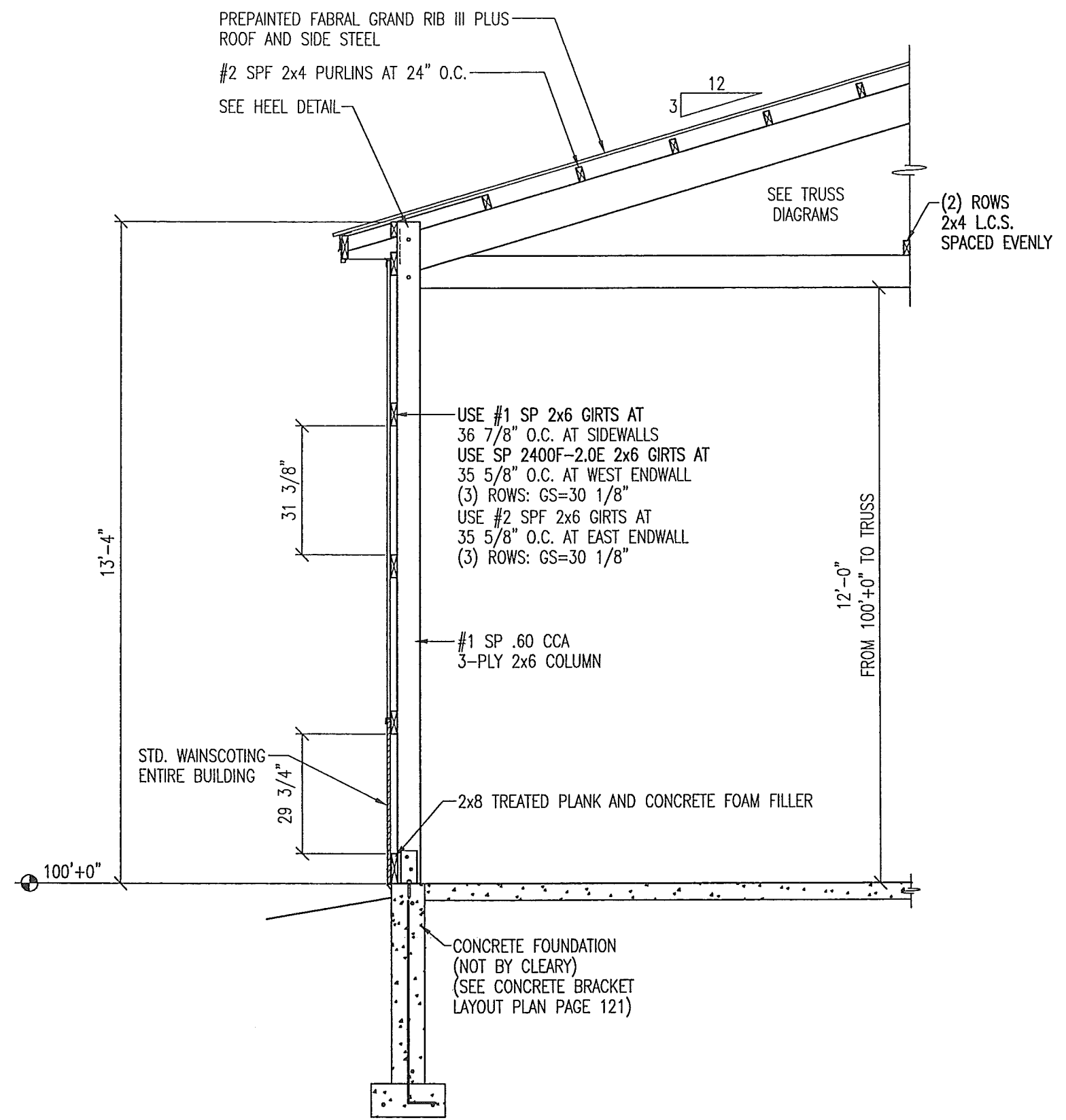


PROJECT NAME: **KNUCKEY, GEORGE**
PROJECT SITE ADDRESS: 1018 MAYFAIR AVE APT 1
MADISON, WI - DANE COUNTY
BUILDING SIZE: 30'x40'x13'-4" PRIVATE GARAGE
SHEET NAME: CONCRETE DETAILS

PROJECT NUMBER: **2017104856**
SHEET NUMBER: **122**
SHEET SCALE: NONE

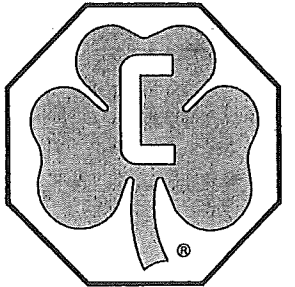


NUMBER	DATE	BY
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PROJECT NAME: **KNUCKEY, GEORGE**
 PROJECT SITE ADDRESS: **1018 MAYFAIR AVE APT 1**
MADISON, WI - DANE COUNTY
 BUILDING SIZE: **30'x40'x13'-4\"/>**

PROJECT NUMBER: **2017104856**
 SHEET NUMBER: **130**
 SHEET SCALE: **NONE**



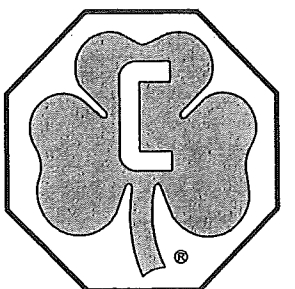
NUMBER	DATE	BY
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2		
3		
4		

PROJECT NAME:
KNUCKEY, GEORGE
PROJECT SITE ADDRESS:
1018 MAYFAIR AVE APT 1
MADISON, WI - DANE COUNTY
BUILDING SIZE:
30'x40'x13'-4" PRIVATE GARAGE
SHEET NAME:
DIAGONAL BRACING DETAILS

PROJECT NUMBER:
2017104856

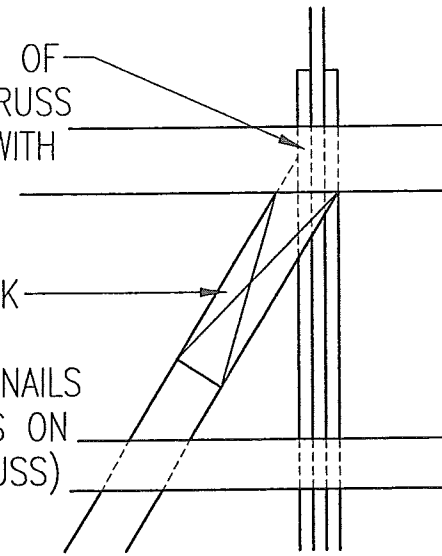
SHEET NUMBER:
140

SHEET SCALE: NONE



ATTACH BOTTOM CHORD OF
CLEARSPAN ENDWALL TRUSS
TO BUILDING COLUMN WITH
(7) 20d NAILS

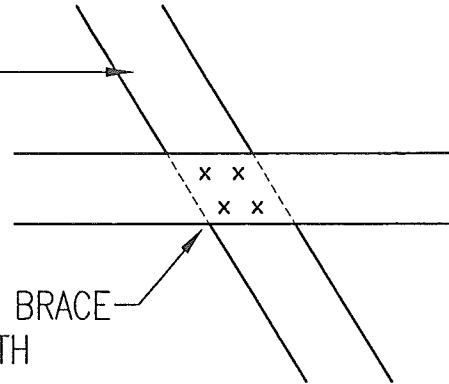
2x6x24" BEARING BLOCK
ATTACHED TO DIAGONAL
BRACE WITH (11) 10d NAILS
(BEARING BLOCK BEARS ON
BOTTOM CHORD OF TRUSS)



BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN

#2 SPF 2x6
DIAGONAL BRACE

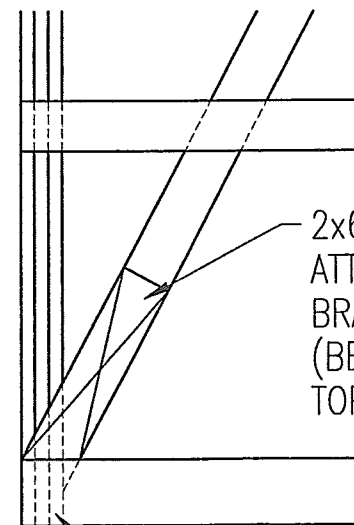
ATTACH DIAGONAL BRACE
TO EACH GIRT WITH
(4) 10d NAILS



BRACE TO GIRT CONNECTION DETAIL

2x6x24" BEARING BLOCK
ATTACHED TO DIAGONAL
BRACE WITH (11) 10d NAILS
(BEARING BLOCK BEARS ON
TOP OF TREATED PLANK)

ATTACH 2x8 TREATED PLANK TO
BUILDING COLUMN WITH (7) 20d NAILS

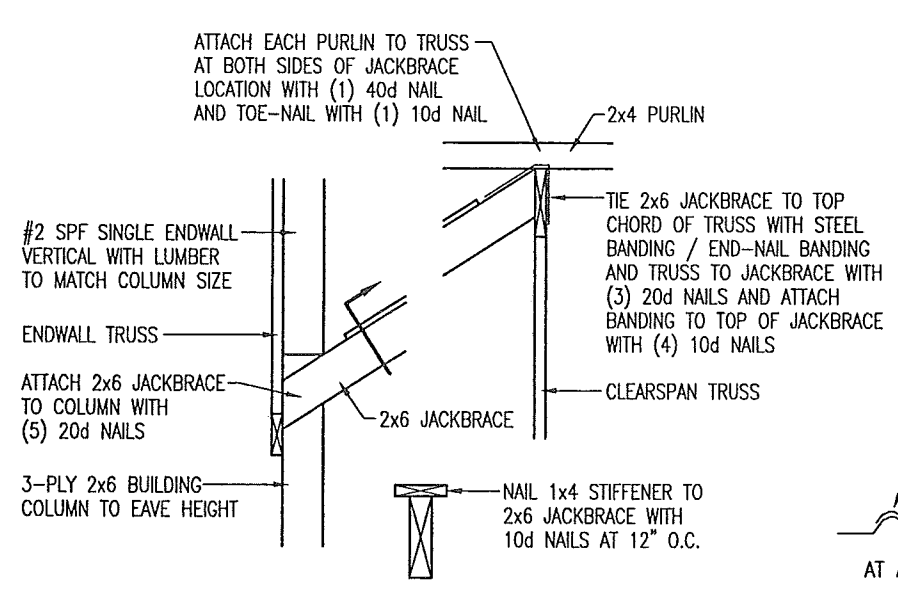


BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

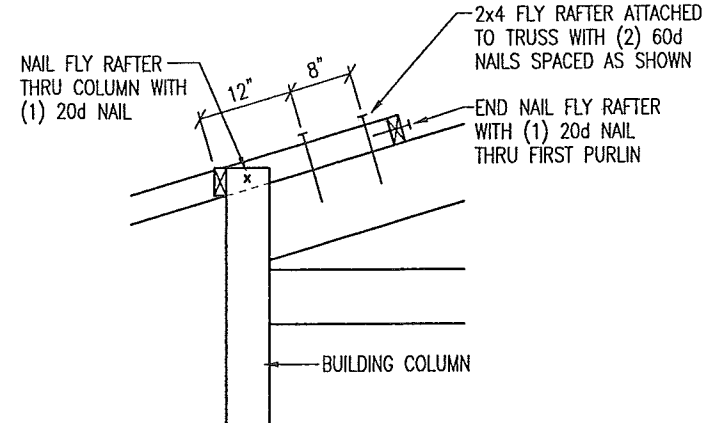
ENDWALL DIAGONAL X-BRACING DETAIL
AT WEST ENDWALL

PLAN REVISIONS:

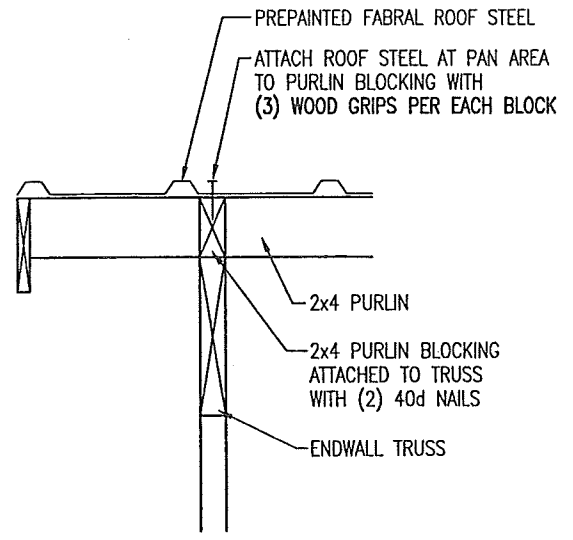
NUMBER	DATE	BY
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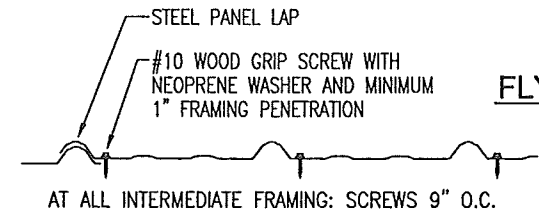
JACKBRACE DETAIL AT ENDWALL COLUMNS



FLY-RAFTER CONNECTION DETAIL

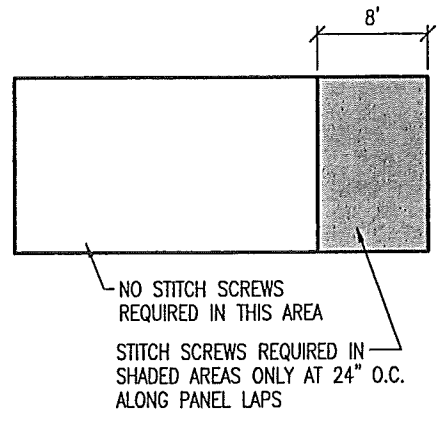
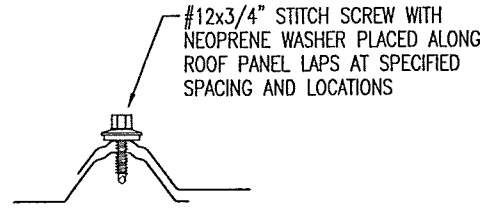


GABLE DETAIL WITH PURLIN EXTENSION



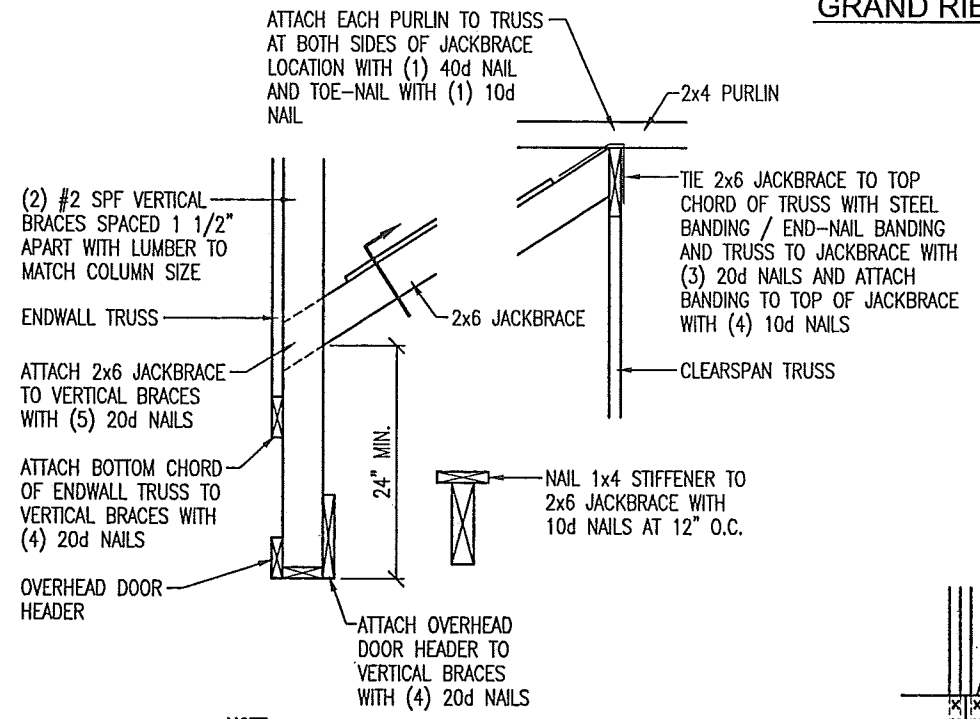
NOTE: PAN NAILS MAY BE SUBSTITUTED FOR PANEL END FASTENERS WHEN CONCEALED BY FLASHING

GRAND RIB 3 STEEL ATTACHMENT DETAIL



CONSTRUCTION FORMAN NOTE:
STITCH SCREW TO NEXT STEEL LAP BEYOND REQUIRED DISTANCE FROM ENDWALL OF BUILDING

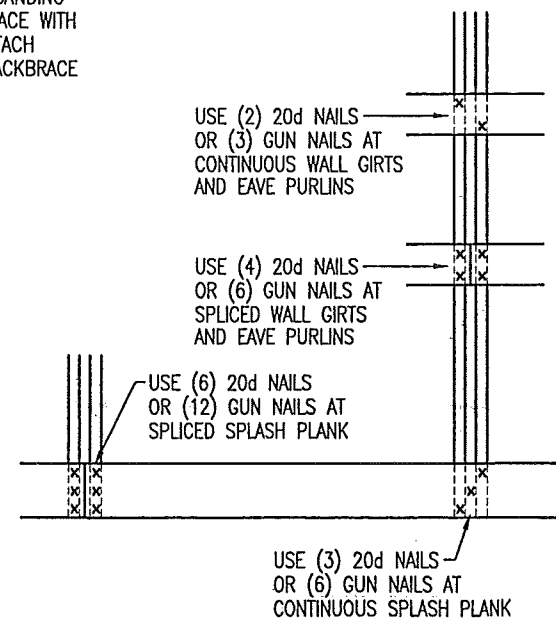
STITCH SCREW DETAIL AT ROOF STEEL



NOTE: WHEN INSTALLING JACKBRACE UNITS OVER AN OVERHEAD DOOR FRAME-OUT, HOLD JACKBRACE UNIT UP 24" ABOVE DOOR WHALER

NOTE: CENTER ONE JACKBRACE UNIT FOR OVERHEAD DOORS WIDER THAN 12' UP TO AND INCLUDING 20' WIDE, EVENLY SPACE TWO JACKBRACE UNITS FOR OVERHEAD DOORS MORE THAN 20' WIDE

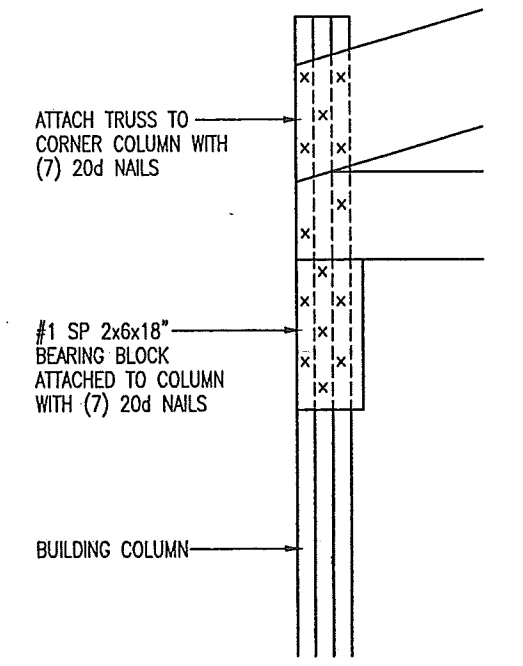
JACKBRACE DETAIL AT OVERHEAD DOOR



NOTE: 20d NAILS TO BE RING SHANK HOT DIPPED GALVANIZED
GUN NAIL ALTERNATE = 0.131x3 1/2 RS-TLN

NOTE: SPLASH PLANK AT BRACING LOCATIONS REQUIRE ADDITIONAL FASTENERS (SEE BRACING DETAIL SHEET)

STANDARD WALL FRAMING NAILING



CLEARSPAN ENDWALL TRUSS TO COLUMN CONNECTION DETAIL AT BOTH ENDWALLS

PROJECT NAME: **KNUCKEY, GEORGE**

PROJECT SITE ADDRESS: 1018 MAYFAIR AVE APT 1
MADISON, WI - DANE COUNTY

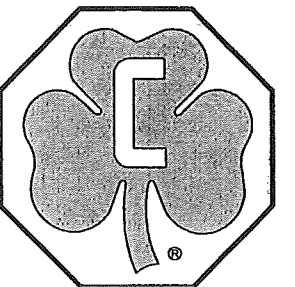
BUILDING SIZE: 30'x40'x13'-4" PRIVATE GARAGE

SHEET NAME: DIAPHRAGM ACTION and MISC. DETAILS

PROJECT NUMBER: **2017104856**

SHEET NUMBER: **150**

SHEET SCALE: NONE





190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA

DATE DRAWN: 8/22/17

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

TRUSS CHECK
(CHECK BOX AND INITIAL)

- TRUSS SIZE MW
- ROOF PITCH MW
- BAY SPACING MW
- SLC / RLC MW
- DESIGN LOADS MW
- OVERHANGS MW

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(2017104856---, ** - 29-9EMSC30STST80C3trussIBC)

Value Set: 13B (Effective 6/1/2013)

Top chord 2x8 SP 2400f-2.0E
Bot chord 2x8 SP 2400f-2.0E
Webs 2x4 SP #2
:Lt Wedge 2x4 SP #2 :Rt Wedge 2x4 SP #2:

Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

Special loads

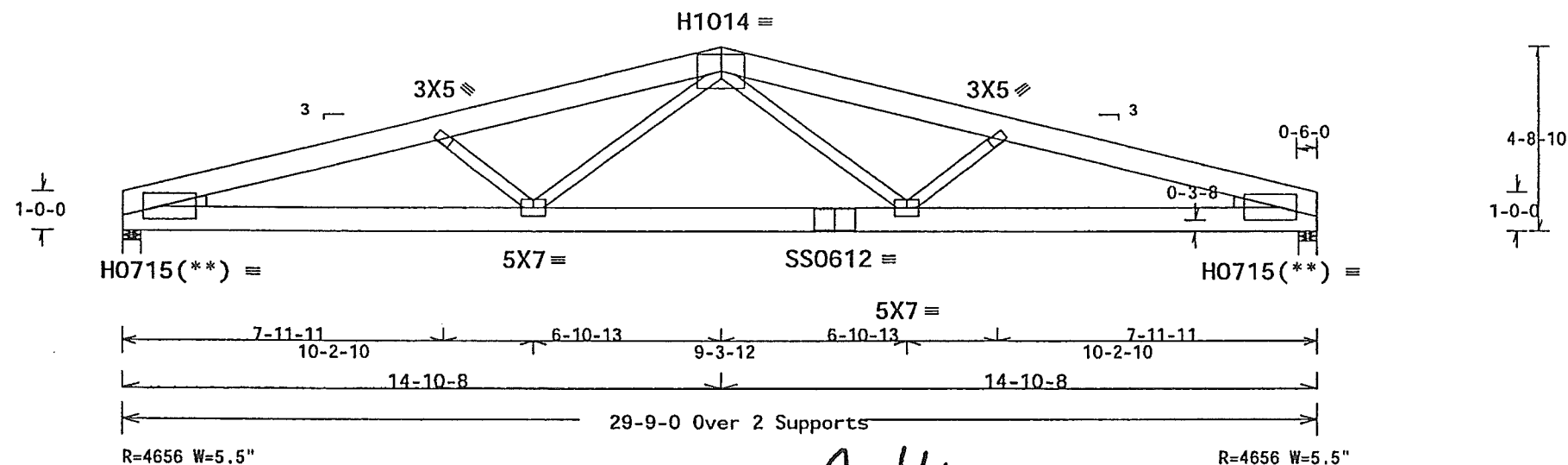
----- (Lumber Dur.Fac.=1.15 / Plate Dur.Fac.=1.15)
TC- From 93 plf at 0.00 to 93 plf at 14.88
TC- From 318 plf at 14.88 to 318 plf at 21.08
TC- From 235 plf at 21.08 to 235 plf at 29.75
BC- From 40 plf at 0.00 to 40 plf at 17.75
BC- From 40 plf at 17.75 to 40 plf at 29.75

Trusses to be spaced at 96.0" oc maximum.

Truss designed for unbalanced load using 0.25/0.84 windward/leeward factors.

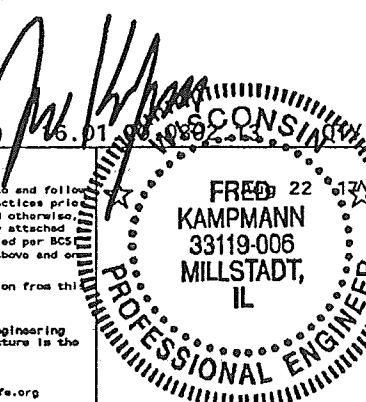
See Cleary Building Corp. drawing for bearing attachment and bottom chord bracing details. This designs applies to both open wall and enclosed wall buildings.

In lieu of structural panels or rigid ceiling use purlins to brace TC @ 24" OC.



PLT TYP. 20 Gauge HS, 18 Gauge HS, Wave

Design Crit: CUSTOM/TPI-2014(STD)
FT/RT=20%(20%)/10(10)



TC LL	30.0 PSF	REF R7054- 99815
TC DL	4.0 PSF	DATE 08/22/17
BC DL	5.0 PSF	DRW MOUSR7054 17234006
BC LL	0.0 PSF	MO-ENG FK/FK
TOT. LD.	39.0 PSF	
DUR.FAC.	1.15	FROM MJS
SPACING	96.0"	JREF- 1W3L7054Z05

13723 Riverport Dr, Suite 200
Maryland Heights, MO 63043
WICOA #2902-011

****WARNING!** READ AND FOLLOW ALL NOTES ON THIS DRAWING!**
****IMPORTANT** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.**
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and WCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions.
Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses.
A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.
For more information see this job's general notes page and these web sites:
ALPINE: www.alpineitw.com; TPI: www.tpinst.org; WCA: www.sbcindustry.com; ICC: www.iccsafe.org

PROJECT NAME: **KNUCKEY, GEORGE**
PROJECT SITE ADDRESS: 1018 MAYFAIR AVE APT 1
MADISON, WI - DANE COUNTY
BUILDING SIZE: 30'x40'x13'-4" PRIVATE GARAGE
SHEET NAME: TRUSS DIAGRAMS

PROJECT NUMBER: **2017104856**
SHEET NUMBER: **160**
SHEET SCALE: NONE

