

CITY OF MADISON

Proposed Demolition and Alteration to Conditional Use

Location: 5501 West Beltline Highway

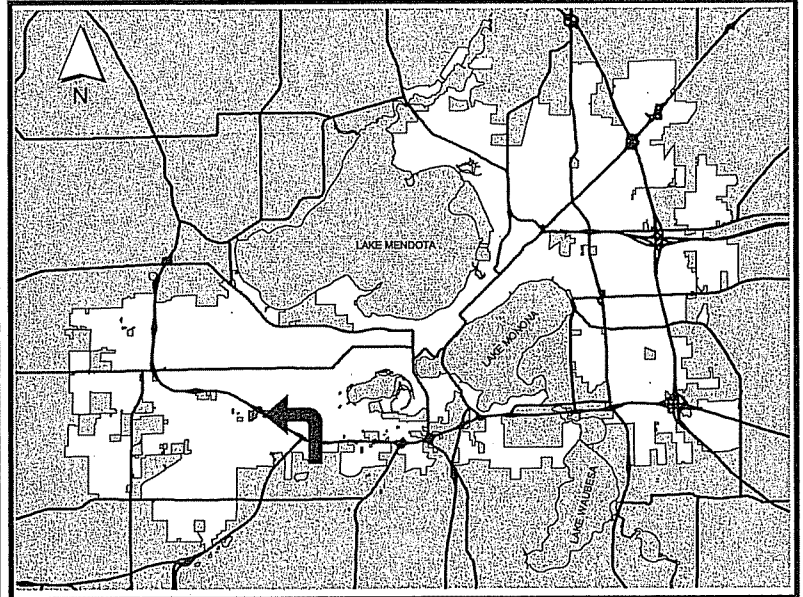
Project Name: Vitense Clubhouse

Applicant: GYV Group, LLC/
Paul Cuta - Engberg Anderson

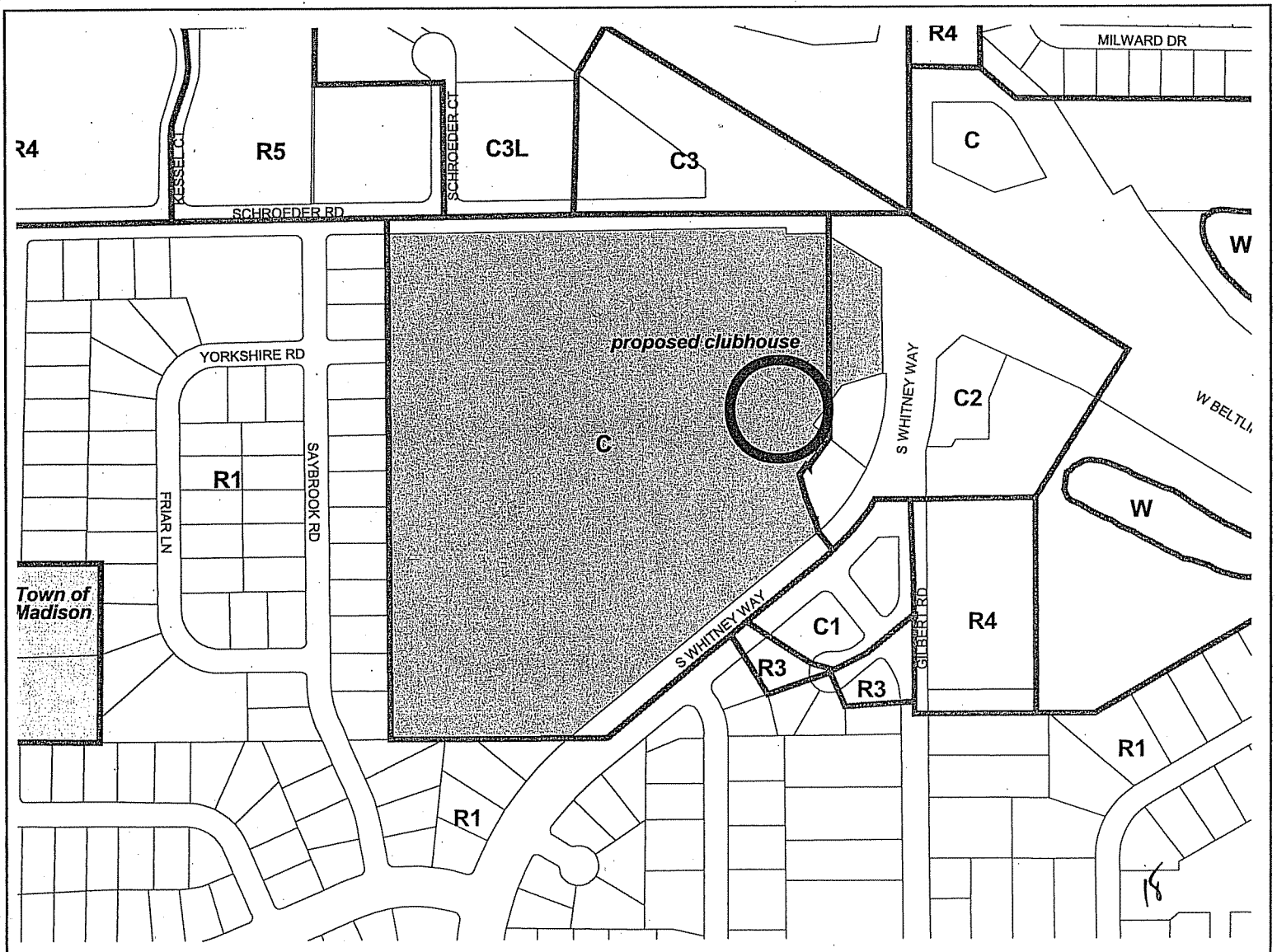
Existing Use: Golf Course Clubhouse

Proposed Use: Demolish Golf Course Clubhouse
& Build New Clubhouse

Public Hearing Date:
Plan Commission 07 November 2005



For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635

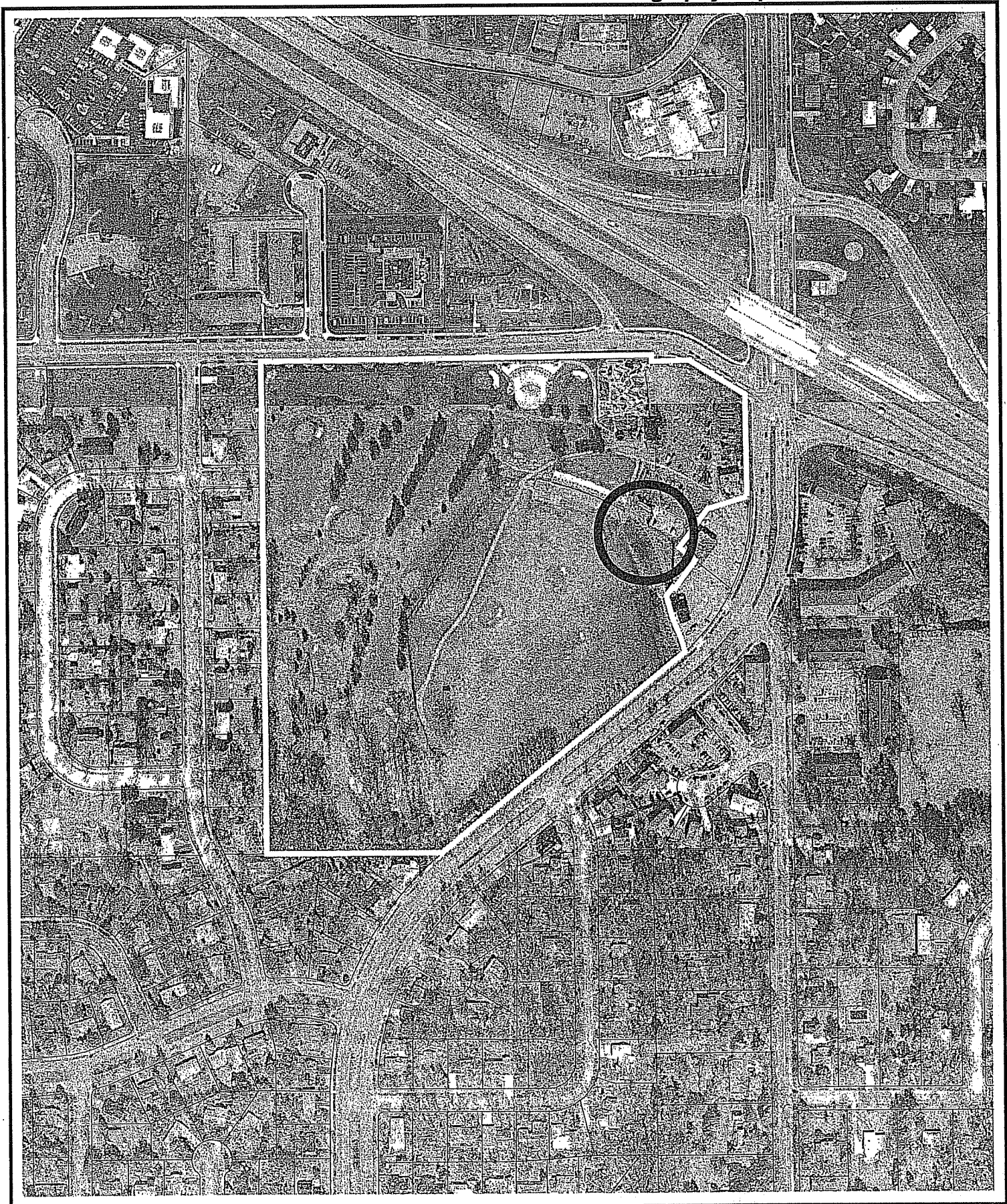


5501 West Beltline Highway

0 100 Feet



Date of Aerial Photography - April 2000



LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:	
Amt. Paid # <u>2450</u>	Receipt No. <u>64799</u>
Date Received <u>9-21-05</u>	
Received By <u>RJT</u>	
Parcel No. <u>0709-312-0124-1</u>	
Aldermanic District <u>1, Jed Sanborn</u>	
GQ <u>Exist. Cond. Use, UDC,</u>	
Zoning District <u>C, C2</u>	
For Complete Submittal	
Application <input checked="" type="checkbox"/>	Letter of Intent <input checked="" type="checkbox"/>
IDUP <u>N/A</u>	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets <input checked="" type="checkbox"/>	Zoning Text <u>N/A</u>
Alder Notification <input checked="" type="checkbox"/>	Waiver <input type="checkbox"/>
Ngrbrhd. Assn Not. <input checked="" type="checkbox"/>	Waiver <input type="checkbox"/>
Date Sign Issued <u>9-21-05</u>	

1. Project Address: 5501 W. BELTLINE HIGHWAY Project Area in Acres: 31 ACRES.

Project Title (if any): GEORGE VITENSE GOLFLAND

2. This is an application for: (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: JOEL WEITZ Company: GEORGE VITENSE GOLFLAND
 Street Address: 5501 W. BELTLINE HWY City/State: MADISON, WI Zip: 53711
 Telephone: (608) 271-1411 Fax: (608) 271-1116 Email: jweitz@vitense.com

Project Contact Person: PAUL CUTA Company: ENGBERG ANDERSON
 Street Address: 1 N. PINCKNEY ST. City/State: MADISON, WI Zip: 53703
 Telephone: (608) 250-0100 Fax: (608) 250-0200 Email: pcuta@eadp.com

Property Owner (if not applicant): GYV GROUP, LLC
 Street Address: 201 N. 5TH ST. City/State: MADISON, WI Zip: 53704

4. Project Information:

Provide a general description of the project and all proposed uses of the site: NEW CLUBHOUSE FACILITY & INDOOR MINI-GOLF FOR GEORGE VITENSE GOLFLAND. FACILITY WILL INCLUDE INDOOR MINI-GOLF, PRO-SHOP, TWO COMMUNITY ROOMS, AN INSTRUCTIONAL BAY, FULL KITCHEN, DINING, STORAGE & OFFICES.
 Development Schedule: Commencement NOVEMBER 2005 Completion JUNE 2006

CONTINUE →

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee: \$2,450** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - *The site is located within the limits of _____ Plan, which recommends:*

_____ for this property.

- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*

• DISTRICT 1, JED SANDERSON - ALDER, MTG. W/ NEIGHBORHOOD ASSOC. ON 9/12/05
 ADJ. DISTRICT 15 DISTRICT 20, CINDY THOMAS - ALDER, MTG. W/ OAKLAND RIDGE ASSOC. ON 8/28/05

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner TIMOTHY PARKS Date 7/21/05 1:30 PM | Zoning Staff KATHY VOECK Date 7/21/05 1:30 PM

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name PAUL CUTZ Date 9/21/05

Signature Paul M. Cutz Relation to Property Owner ARCHITECT

Authorizing Signature of Property Owner [Signature] Date 9/21/05

Madison Plan Commission

September 21, 2005

City of Madison
Department of Planning & Development
Madison Municipal Building, Room LL 100
215 Martin Luther King, Jr. Blvd.
Madison, WI 53701

**Re Letter of Intent
Plan Commission Approval - November 7, 2005
George Vitense Golfland
New Clubhouse and Indoor Mini-golf/Practice Facility
5501 West Beltline Highway
Madison, WI 53711
Engberg Anderson Project No. 051532**

PROJECT NARRATIVE

George Vitense Golfland is planning a new clubhouse and indoor mini-golf/practice facility to be located on their existing property. The new facility will replace the existing building and will consist of approximately 19,960 Gross Square Feet (GSF) - total. The new building is comprised of an 8,500 GSF indoor mini-golf/practice facility located at grade and a 8,360 GSF clubhouse located at or above grade over a 3,100 GSF basement with an exposed end for vehicle access. The proposed building location is at the confluence of the extended facilities activity area that is at the top of the hill and situated between the existing, elevated tee boxes to the South, chipping green to the West, mini golf to the North and parking lot to the East. The existing clubhouse facility will be demolished.

The existing parking lot will remain. The lot will be reconfigured to include 10 new tree islands to replace the existing 4 islands. The reconfiguration will also provide and increase of 8 parking stalls; from 179 to 187 stalls. The addition of "new" stalls at the location of the existing building requires the addition of an oil, grease and sediment filter to the existing catch basin structure.

The existing facility is a conditional use on a large site that has both conservancy and commercial zoning. The proposed project is a major modification to the existing conditional use. The existing restaurant and market buildings located on the site are not modified or altered as part of this proposal and application.

The following information is intended to address the Madison Plan Commission General Requirements:

Project Name	George Vitense Golfland New Clubhouse and Indoor Mini-golf/Practice Facility
Proposed Schedule	The proposed building schedule is for six (6) months of construction. The desired start date is the second week of November, 2005 with

1 North Pinckney Street
Madison, Wisconsin 53703

www eadp.com

Ph 608 250 0100 Fx 608 250 0200

completion anticipated by the end of Spring 2006 or roughly June 1, 2006.

Existing Conditions

The existing facility is a recreational destination providing a variety of outdoor activities including; a major driving range and instructional facility, a par 3 golf course, two 18 hole mini-golf courses, batting cages, a climbing wall, Hi-ball (a trampoline game) and water wars. The existing structures include; a small clubhouse of approximately 3,500 gross square feet that houses the operations for the golf facility including the service, office and a small retail area, a section of tee boxes with cover for use during inclement weather, several outbuildings located on the range for storage of equipment and two open air gazebos.

There are two additional buildings on the site that are leased. These include the Copper Top Restaurant and El Mercadito Market. Their use and facilities remain unchanged in this proposal/submittal

An asphalt parking lot and drive connects the main buildings of the three primary users and includes access off Schroeder Road and an access easement off of Whitey Way.

Project Team

Owner: George Vitense Golfland - Joel Weitz
 Contractor Design Structures - Jim Anderson & Tom Sanford
 Architect Engberg Anderson Design Partnership - Paul Cuta
 Landscape Architect Ken Saiki Design - Bruce Woods
 Civil Eng. Jenkins Survey & Design - Hans Justeson
 Struct. Eng. Graef Anhalt Schloemer - Kevin McGinnity
 Surveyor Williamson Survey - Ron Williamson

Uses & Areas

George Vitense Golfland	Assembly (Recreation)	9,211	GSF
	Assembly (Dining)	720	GSF
	Assembly (Comm. Rms.)	648	GSF
	Merchantile (Pro Shop, etc.)	1,350	GSF
	Office	1,055	GSF
	Storage	2,374	GSF
	Total Area	19,960	GSF
<i>Copper Top *</i>	<i>Restaurant</i>	<i>2,511</i>	<i>GSF (total)</i>
<i>El Mercadito *</i>	<i>Merchantile (Grocery)</i>	<i>3,542</i>	<i>GSF (total)</i>

Capacity

George Vitense Golfland	342	occupants
<i>Copper Top *</i>	80	<i>occupants</i>
<i>El Mercadito *</i>	90	<i>occupants</i>

Parking Stalls	Upper Lot	187
	Lower Lot	22

See attached worksheet for parking lot calculations.

There are three (3) accessible spaces adjacent the new clubhouse building and two (2) accessible stalls at each of the two buildings that remain for seven (7) total spaces.

Loading Spaces	George Vitense Golfland	1
	Copper Top *	1
	El Mercadito *	1
Hours of Operation	George Vitense Golfland	varies , peak season is 7:30 am – 11 pm
	Copper Top *	6 am – 9 pm, Sun. 6 am – 8 pm
	El Mercadito *	9 am – 9 pm
Site Area	31 Acres	
Trash Removal	Trash removal is by contract with weekly pick-up and on-call as needed. Storage is in dumpsters located in a screened enclosure.	
Snow Removal	Snow removal is contracted for the parking areas and public sidewalks.	

** These facilities and uses are not changed from exiting conditions in this proposal/submittal. Only the clubhouse, indoor mini golf and modified existing parking lot are revisions to the existing conditions.*

PMC/pmc

15

George Vitense Golfland

EADP # 051532.00

9/21/2005

Parking Lot Calculations

Location/Use	Factor	Area or Occupancy	Required Parking
A. Copper Kettle	30% of occup.	80	24.0
B. Ethnic Grocery	1/ 300 GSF	3,542	11.8
C. Existing Golfland			
Ext. Mini-Golf	10% of occup.	288	28.8
Driving Range	10% of occup.	80	8.0
Par 3 Course (1.5 fac)	10% of occup.	110	11.0
Batting Cages	10% of occup.	10	1.0
Water Wars	10% of occup.	6	0.6
Climbing Wall	10% of occup.	6	0.6
Hi-Ball	10% of occup.	6	0.6
		Sub Total	86.4
D. New Facility			
Dining	30% of occup.	48	14.4
Community Rooms	30% of occup.	43	12.9
Office	1/ 300 GSF	1,055	3.5
Retail	1/ 300 GSF	1,350	4.5
Interior Mini-Golf	10% of occup.	144	14.4
Arcade	10% of occup.	13	1.3
E. Total			137.4
F. Accessible Parking Stalls	(1 Van Accessible)		5.0

G. Existing Parking

Upper Lot	179.0
Lower Lot	22.0

Total **201.0**

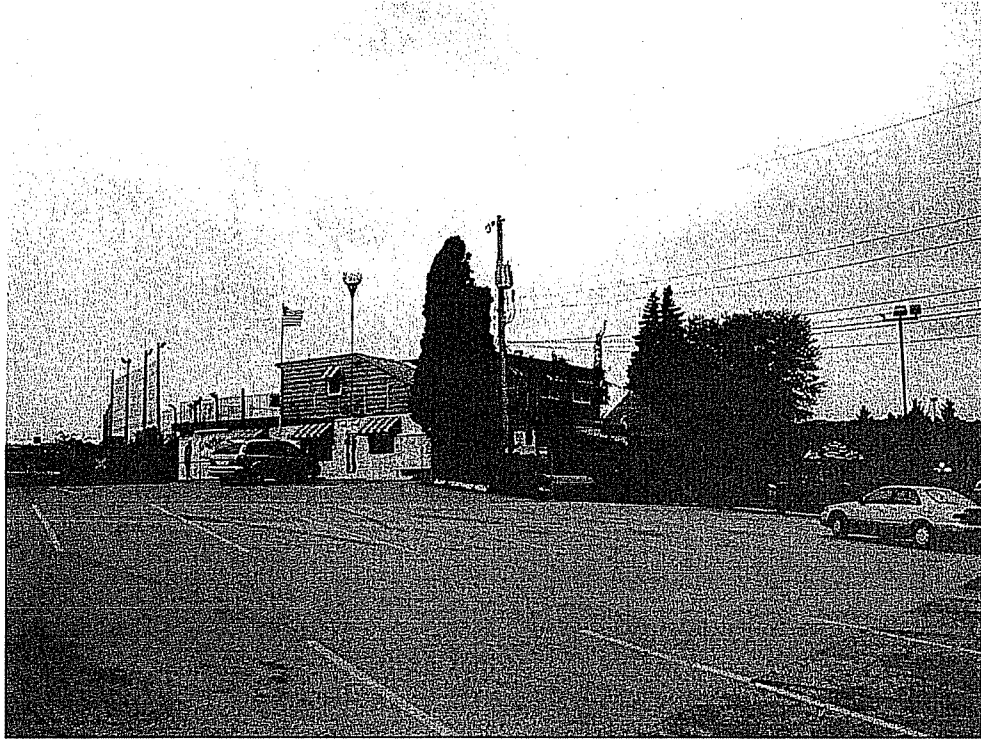
H. Proposed Parking

Upper Lot	187.0
Lower Lot	22.0

Total **209.0**

Accessible Parking Stalls (1 Van Accessible) 7.0

18



Existing Vitense Building to be Demolished



Existing Vitense Building to be Demolished

George Vitense Golfand

Madison, Wisconsin

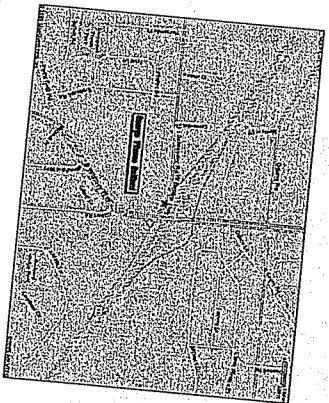


Engineering
 124 West
 Madison, WI 53711

George Vitense

No.	Description	Date
01	Site Plan	07-01
02	Site Plan	07-01
03	Site Plan	07-01
04	Site Plan	07-01
05	Site Plan	07-01
06	Site Plan	07-01
07	Site Plan	07-01
08	Site Plan	07-01
09	Site Plan	07-01
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11	Site Plan	07-01
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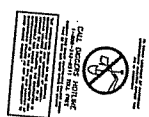
- Civil**
 - Johns Army & Design Inc. 811 Madison Dr., Suite 201, Verona, WI 53593. Ph: 608-844-9000, Fax: 608-844-2552
 - Kon Saki Design, Inc. 303 S. Sherman, Suite One, Madison, WI 53713. Ph: 608-251-8600, Fax: 608-251-2330
- Landscaping**
- Architectural**
 - Engberg Anderson 1 North Peachtree Street, Madison, WI 53713. Ph: 608-255-0100, Fax: 608-255-0200
- Structural**
 - Garrif Anhalt Schommer & Associates 322 West Terrace Ave, Madison, WI 53713. Ph: 608-244-5500
- Plumbing**
 - Perizon II Plumbing & Heating 602 John Street, Madison, WI 53713. Ph: Private Number
- Mechanical**
 - American Heating and Air Conditioning, Inc. P.O. Box 42223, Madison, WI 53742-0223. Ph: 608-831-4517, Fax: 608-832-4511
- Electrical**
 - Schultz Electric, Inc. 6427 Harper Drive, Madison, WI 53722. Ph: 608-835-7172, Fax: 608-835-7159



Planning Commission Review

REVIEW SET - NOT FOR CONSTRUCTION

Drawn By
 Checked By
 1321.11-09g



S-1.0

EXISTING
CONDITIONS
MAP

Drawn by: MJE
Checked by: JLD
Date: 08/11/11
Scale: AS SHOWN ON DRAWING

REVIEW SET - NOT FOR
CONSTRUCTION

JSD
JSD Engineering & Survey
Professional Surveyors & Engineers, P.C.

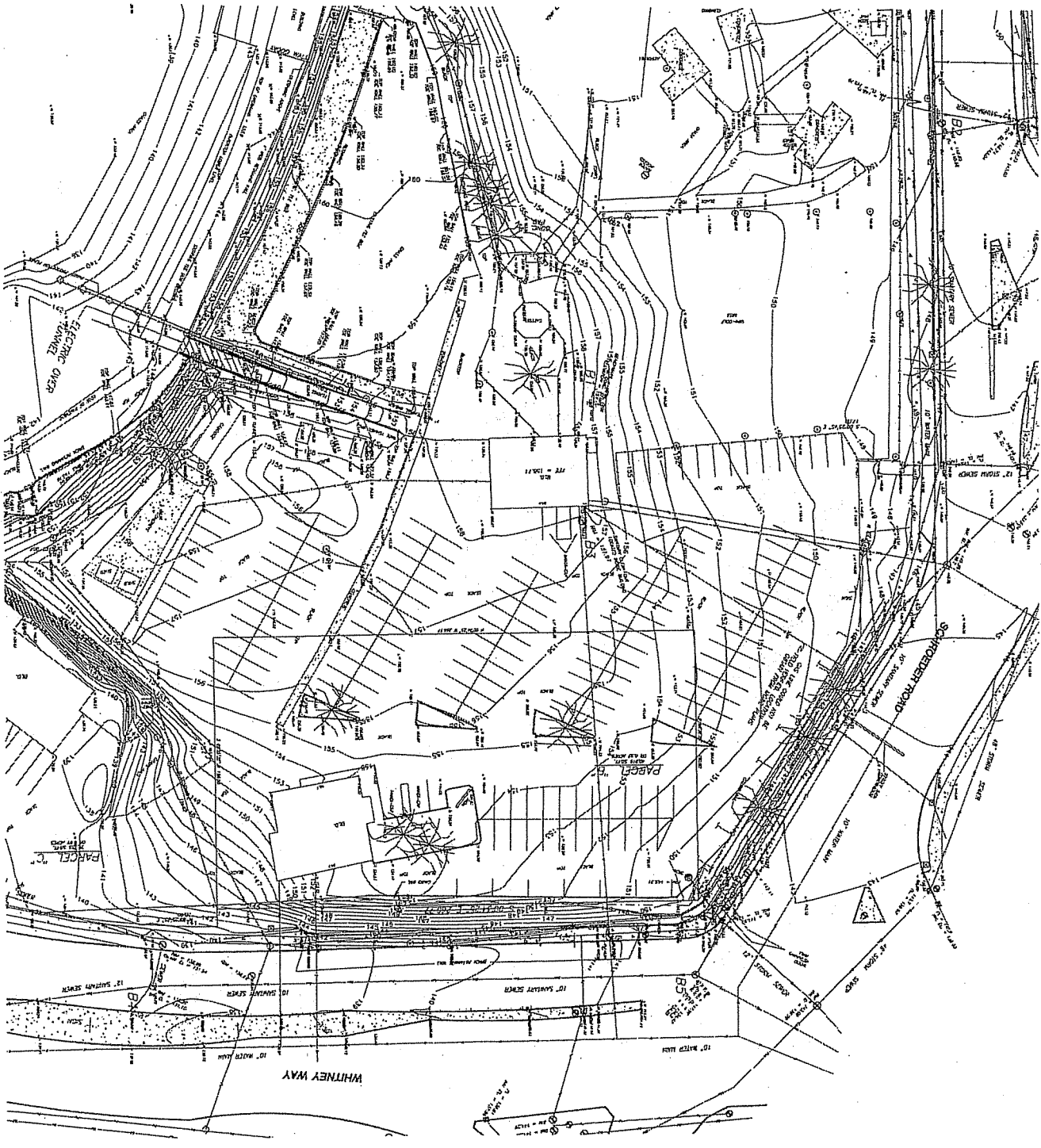
Project No. 081020
Sheet No. 081020-1
Date: 08-11-11

Owner:
3501 West Bendon Highway
Madison, WI 53711
Project: 081020

George Vilsene
Columbia

Engineering Associates, Inc.
4111 South Highway
Madison, WI 53711
Tel: 608/278-1111
Fax: 608/278-1112





Engineering Associates/University, Inc.
 411 East Madison
 Madison, WI 53703
 Tel: 608/255-1100 or 608/255-1102

George Wlense
 Gollford

5501 West Badger Avenue
 Madison, WI 53711

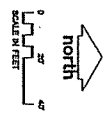
Project:
 Job No.:
 5501 West Badger Avenue
 Madison, WI 53711

Project No.: 015120

Prepared By: [Name]
 Date: 12-11-11

JSD Engineers & Architects
 Architects, Survey & Builders, Inc.

REVIEW SET - NOT FOR
 CONSTRUCTION

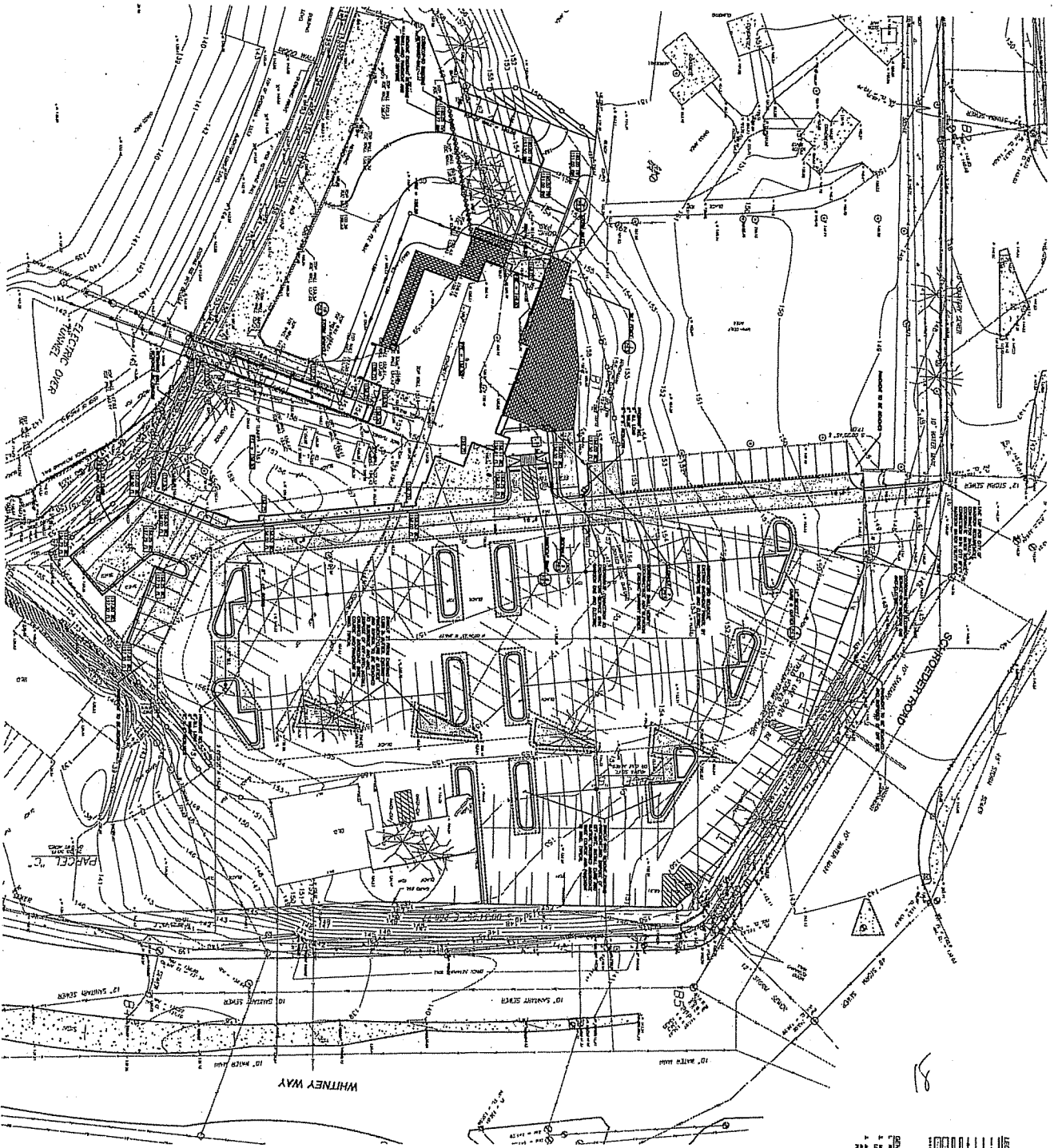


CALL NUMBER: 015120
 DATE: 12-11-11

EXISTING
 CONDITIONS
 MAP

Checked By: All
 Created By: JSD
 File: 015120_CAD_015120.dwg

S-1.0



LEGEND

---	BOUNDARY LINE
---	PROPERTY LINE
---	ADJACENT PROPERTY
---	EXISTING UTILITY
---	PROPOSED UTILITY
---	PROPOSED EROSION CONTROL
---	PROPOSED GRADING
---	PROPOSED PAVEMENT
---	PROPOSED CONCRETE
---	PROPOSED ASPHALT
---	PROPOSED GRAVEL
---	PROPOSED SAND
---	PROPOSED SLOPE
---	PROPOSED CURB
---	PROPOSED GUTTER
---	PROPOSED DRAINAGE
---	PROPOSED FENCE
---	PROPOSED SIGN
---	PROPOSED LIGHT
---	PROPOSED TREE
---	PROPOSED PLANT
---	PROPOSED STRUCTURE
---	PROPOSED EQUIPMENT
---	PROPOSED STORAGE
---	PROPOSED OFFICE
---	PROPOSED GARAGE
---	PROPOSED DRIVEWAY
---	PROPOSED WALKWAY
---	PROPOSED BIKEWAY
---	PROPOSED RAMP
---	PROPOSED STAIR
---	PROPOSED ELEVATOR
---	PROPOSED ESCAPE ROUTE
---	PROPOSED FIRE ALARM
---	PROPOSED SMOKE DETECTOR
---	PROPOSED SPRINKLER
---	PROPOSED EXTINGUISHER
---	PROPOSED FIRST AID KIT
---	PROPOSED SAFETY EQUIPMENT
---	PROPOSED SIGNAGE
---	PROPOSED LIGHTING
---	PROPOSED SECURITY
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---	PROPOSED WINDOW
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---	PROPOSED FLOOR
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---	PROPOSED HVAC
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---	PROPOSED FINISH
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---	PROPOSED QUANTITY
---	PROPOSED COST
---	PROPOSED SCHEDULE
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---	PROPOSED DATES
---	PROPOSED SCALES
---	PROPOSED UNITS
---	PROPOSED DIMENSIONS
---	PROPOSED ANGLES
---	PROPOSED CURVES
---	PROPOSED TOLERANCES
---	PROPOSED FINISHES
---	PROPOSED TEXTURES
---	PROPOSED PATTERNS
---	PROPOSED SHADING
---	PROPOSED HATCHING
---	PROPOSED DIMENSIONS
---	PROPOSED ANGLES
---	PROPOSED CURVES
---	PROPOSED TOLERANCES
---	PROPOSED FINISHES
---	PROPOSED TEXTURES
---	PROPOSED PATTERNS
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---	PROPOSED HATCHING

GENERAL NOTES

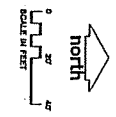
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE FEATURES UNLESS OTHERWISE SPECIFIED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE FEATURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE FEATURES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

Engineering & Architecture
 George Wiense
 Colliard

5501 Red Buller Highway
 Madras, NJ 07091
 Phone: 908-426-1100
 Fax: 908-426-1101

JSD
 Engineers & Architects
 Architects & Engineers, Inc.

REVIEW SET - NOT FOR CONSTRUCTION



EROSION CONTROL, GRADING AND UTILITY PLAN

C-2.0



Engineering and Construction Authority
411 South Quay
London, E16 1FJ

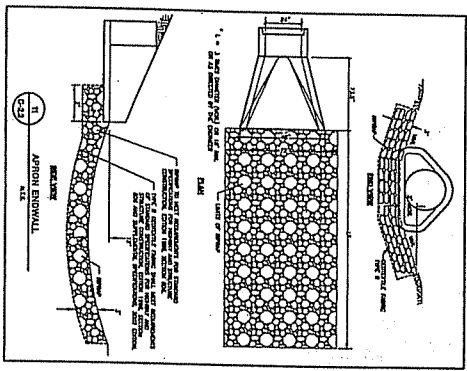
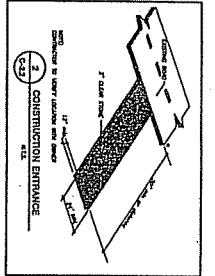
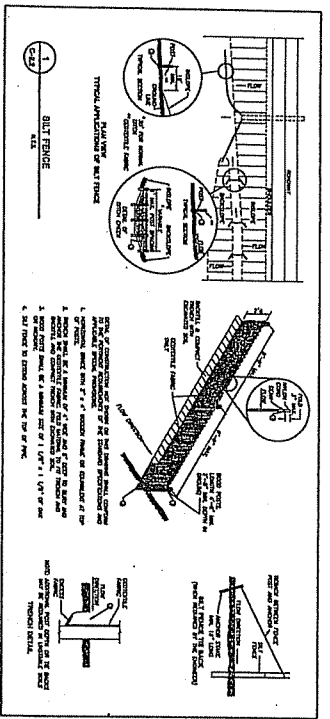
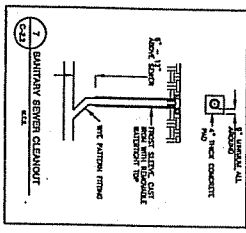
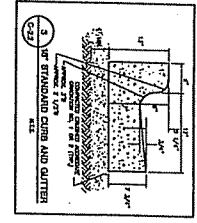
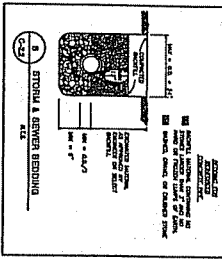
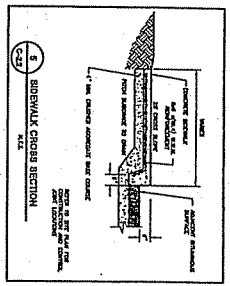
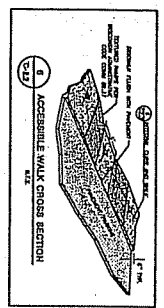
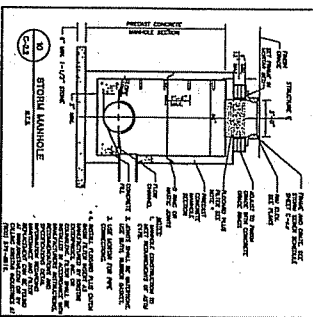
George Vintese
Golliford

5911 Red Bull Highway
Madison, WI 53711

Project: 010000
No. 000000
Date: 01-01-00

JSD Johnson & Johnson
Architects & Engineers, Inc.

- CONSTRUCTION SITE EROSION CONTROL MEASUREMENTS**
1. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE AT ALL TIMES TO PREVENT EROSION OF THE SOIL SURFACE.
 2. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE AT ALL TIMES TO PREVENT EROSION OF THE SOIL SURFACE.
 3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE AT ALL TIMES TO PREVENT EROSION OF THE SOIL SURFACE.
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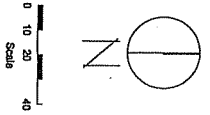
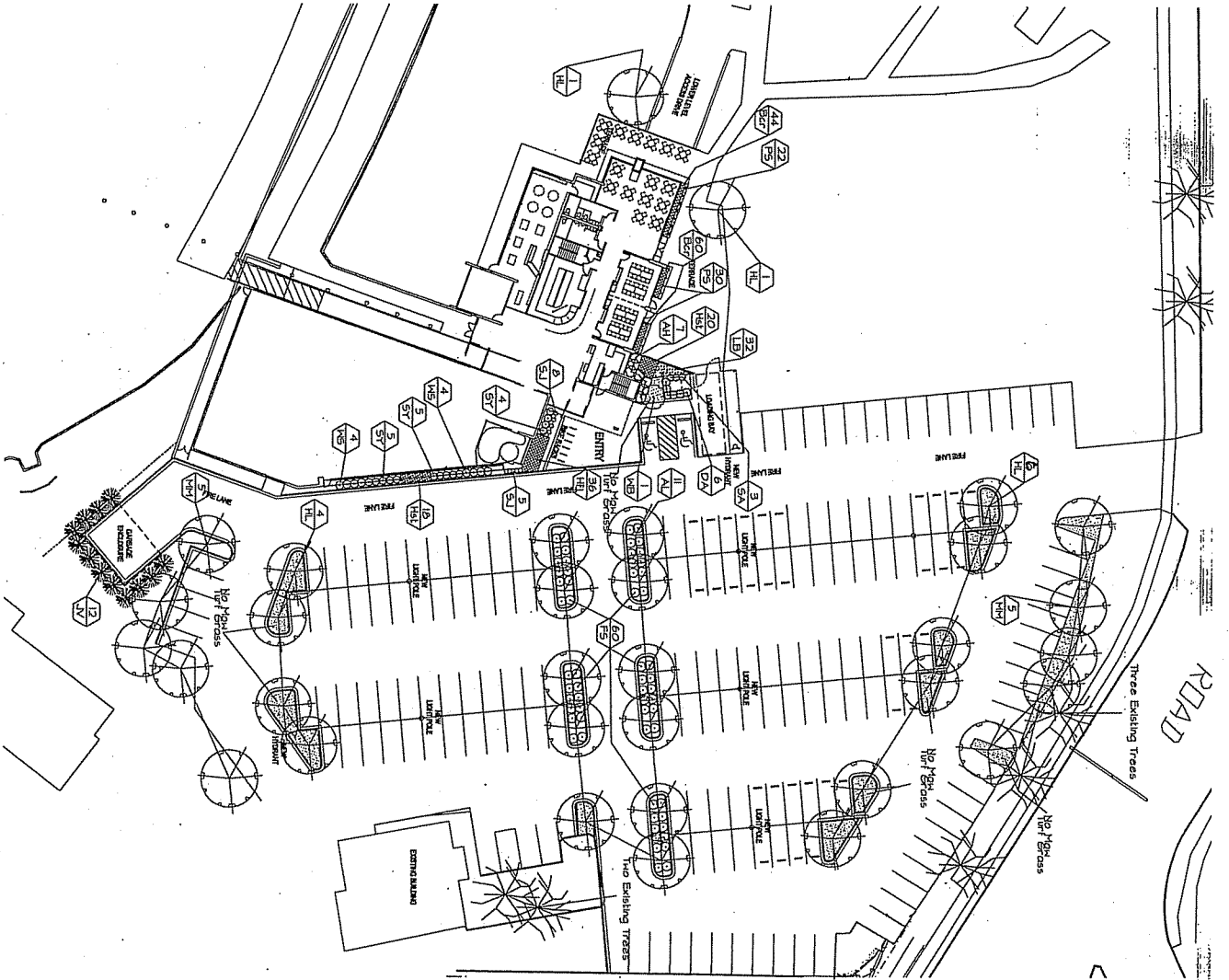
REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION
DATE OF ISSUE

REVIEW SET - NOT FOR CONSTRUCTION

DETAILS AND NOTES

Scale: 1/4" = 1'-0"
Quantity: 101
Re: 51100 CA Berkeley

C-2.2



KENSAIKI
DESIGN INC
LANDSCAPE ARCHITECTS
 303 S. PATERSON SUITE ONE
 MADISON, VA 52705
 Phone: 608.551.3600
 Fax: 608.551.3630
 www.kfsd-la.com

George Vilsene Goffland
 600 Real Estate Highway
 Madison, WI 53711
 Phone: 608.263.0000
 Fax: 608.263.0000
 www.goffland.com

Plant	Code	Quantity	Plant Name	Notes
1	1A	1	Small Tree	...
2	2A	2	Medium Tree	...
3	3A	3	Large Tree	...
4	4A	4	Small Shrub	...
5	5A	5	Medium Shrub	...
6	6A	6	Large Shrub	...
7	7A	7	Small Groundcover	...
8	8A	8	Medium Groundcover	...
9	9A	9	Large Groundcover	...

Equipment	Quantity	Notes
1	1	...
2	2	...
3	3	...
4	4	...
5	5	...

REVIEW SET - NOT FOR CONSTRUCTION



Engineering Anderson Design Partnership
 1 N. Webster
 Waukegan, Illinois 60087
 Tel: 847.923.1200
 Fax: 847.923.1202

George Vilense Goffman

5501 West Bellline Highway
 Madison, WI 53711
 501 West Lakes Highway
 Madison, WI 53711

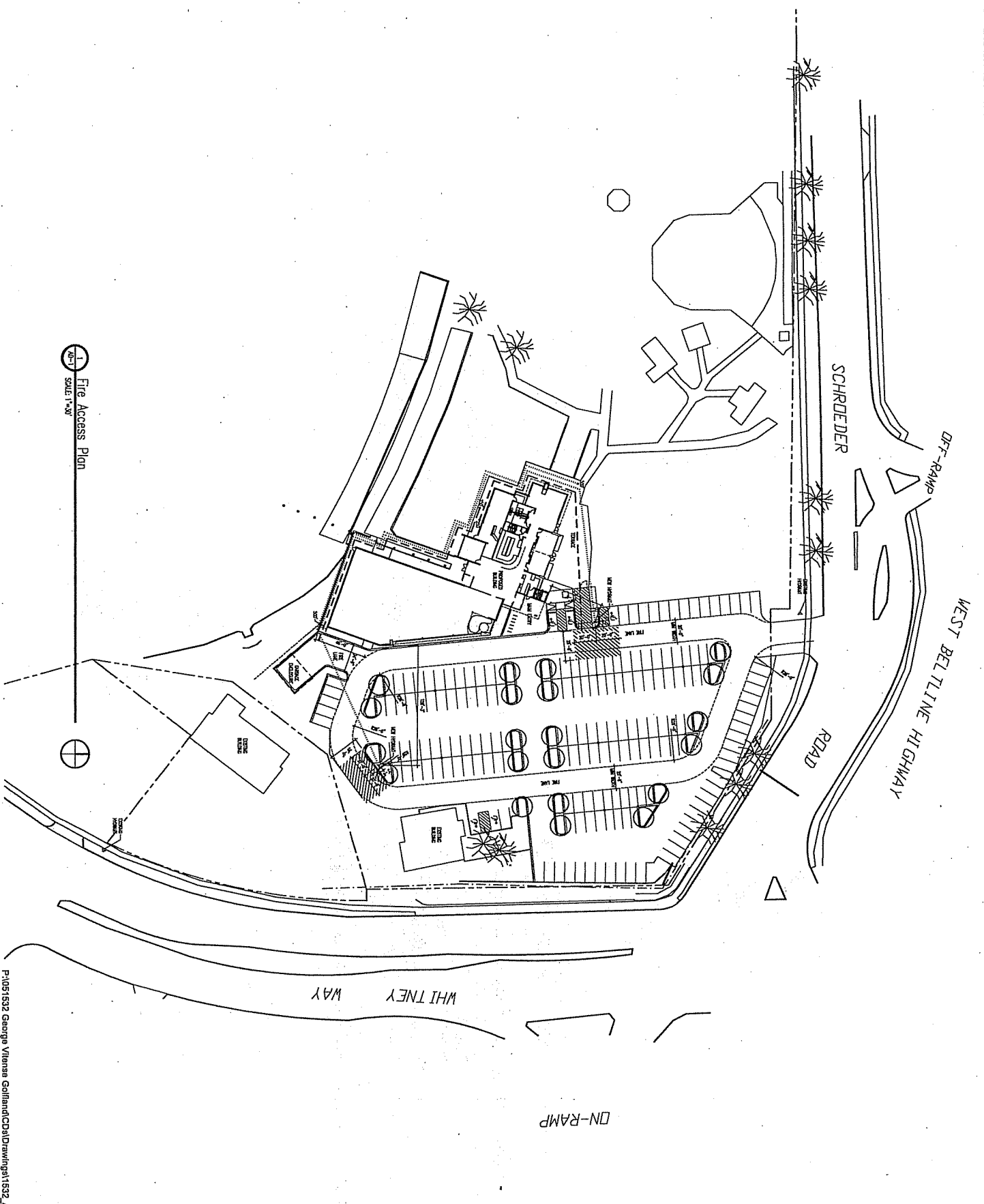
Project No. 033320

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99	Site Preparation	08-14-05
100	Site Preparation	08-14-05

REVIEW SET - NOT FOR CONSTRUCTION

Drawn by
 Checked by
 153320-1489

Fire Access Plan



1
 Fire Access Plan
 SCALE 1"=40'



Engineering and Architecture Firm, Inc.

1400 Highway 100, Suite 200
Baltimore, Maryland 21202
Tel: 410-528-1234

George Vilense Golfman

5501 West Baltimore Highway
Horton, WI 53111

Owner:
Horton Golf Club
Horton, WI 53111

Project No. 0313230

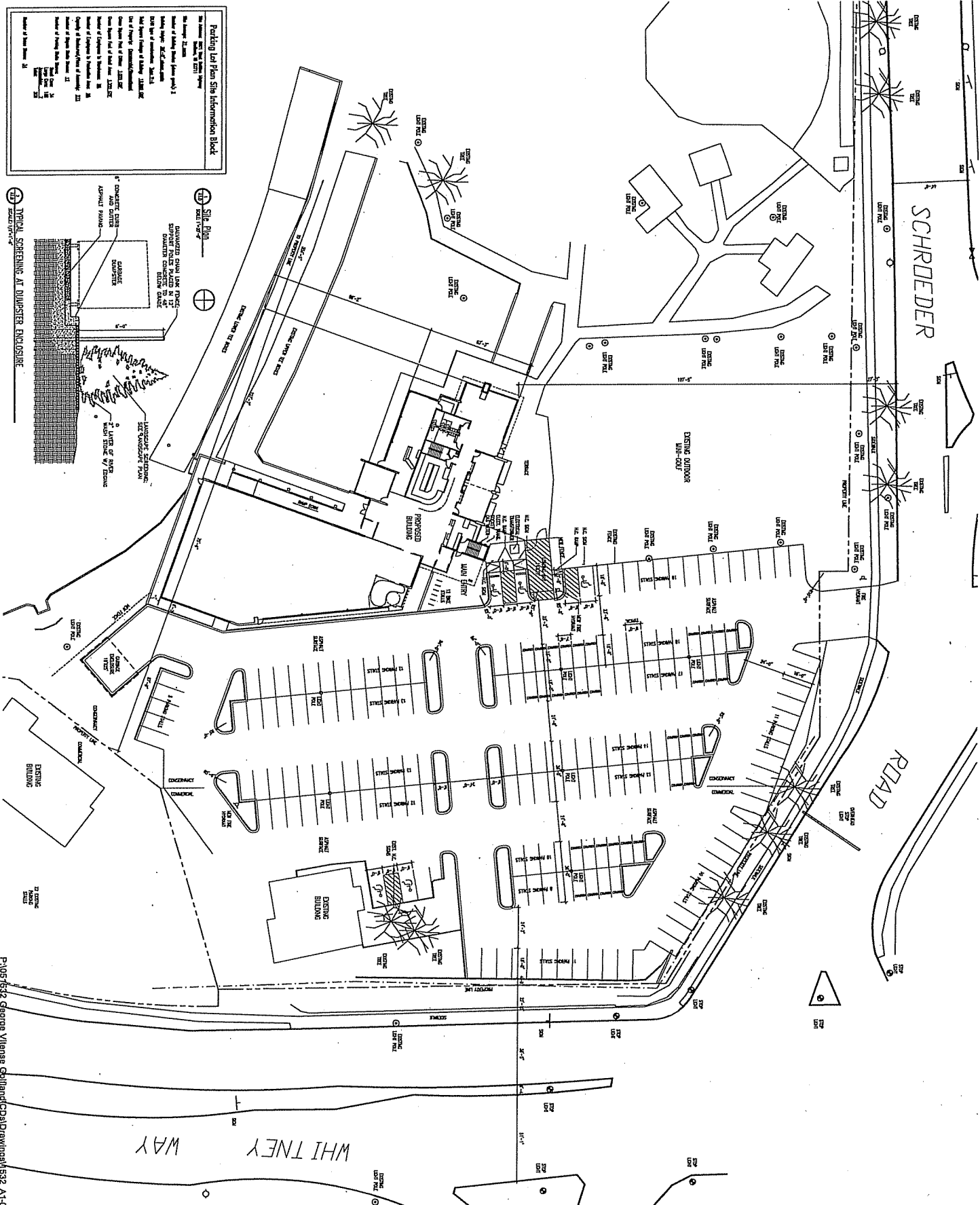
Revised For	Date
01. Initial Design	02-28-05
02. Preliminary Estimate	03-15-05
03. Final Estimate	03-17-05
04. Final Design Review	03-18-05
05. Final Approval	03-18-05
06. Final Approval	03-18-05
07. Planning Commission	03-21-05

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 Checked By: [Blank]
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 Site Plan

A10

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Engineering Architecture Design Framework, Inc.

1 St. Patrick St.
Madison, Wisconsin 53703
Phone: 608.263.8222
Fax: 608.263.8222

George Wilense Golfman

5201 West Ballou Highway
Madison, WI 53711
Owner:
Salem Hill
Salem Hill Golf & Country Club
Madison, WI 53711

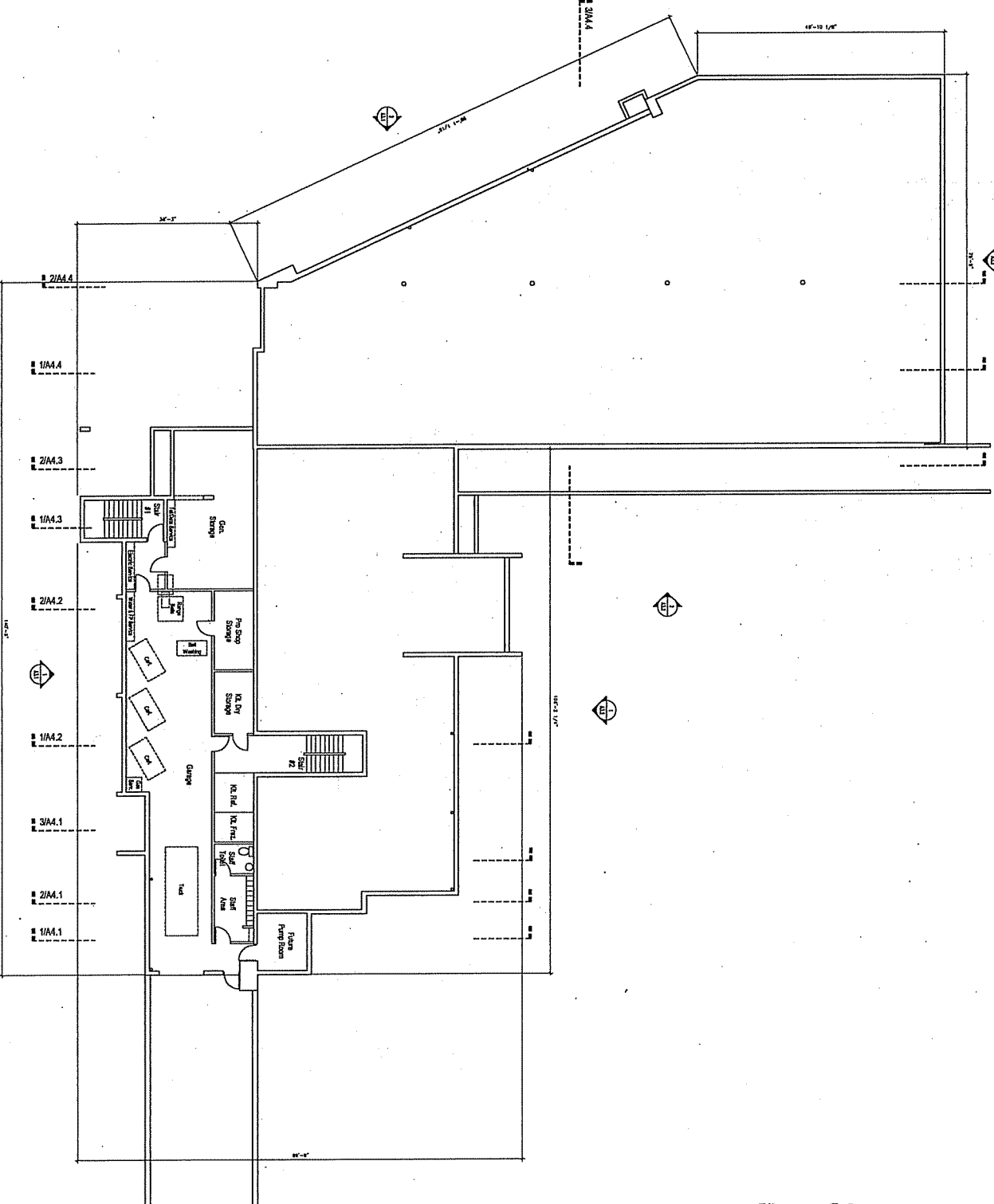
Project No. 033220

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30	Final Project	08-11-05

**REVIEW SET - NOT FOR
CONSTRUCTION**

Drawn by: [Name]
Checked by: [Name]
Date: 10/27/05

Lower Level



LOWER LEVEL
SCALE 1/8"=1'-0"

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A2.1

15



George Vilense Goffman
 Architects
 1111 Parkside Dr.
 Madison, WI 53711
 Tel: 608/263-2222
 Fax: 608/263-2222

5501 West Ballou Highway
 Madison, WI 53711
 Owner:
 2501 First Salem Highway
 Madison, WI 53711

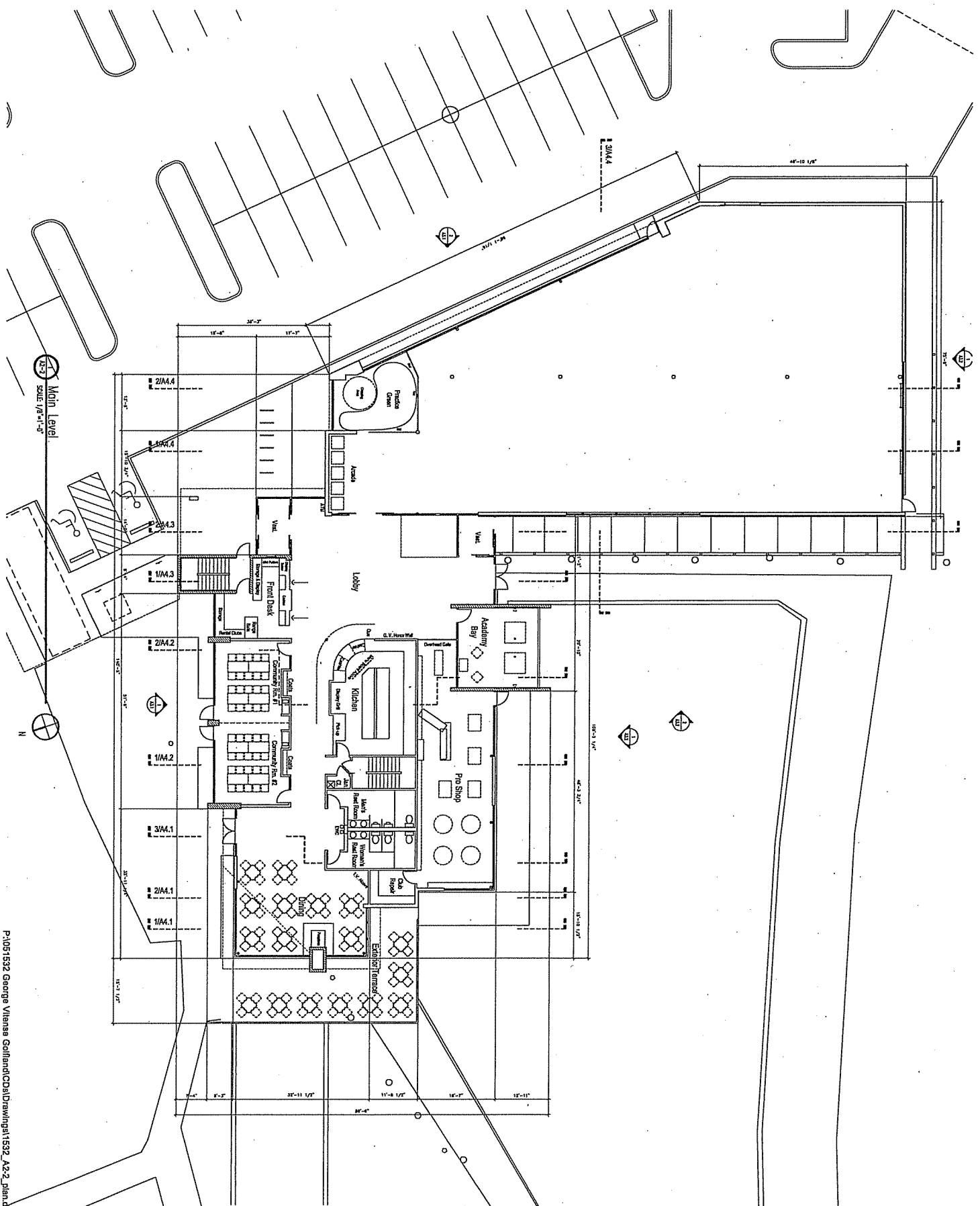
Project No. 031320

Issued For	Date
1. Schematic Design	07-25-02
2. Preliminary Planning	07-25-02
3. Final Design Review	08-17-02
4. Revised Design Review	08-17-02
5. Final Design Review	08-17-02
6. Final Approval	08-17-02
7. Planning Commission	08-21-02

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Drawn by: jmc
 Checked by: xjs
 File: 1532-A2-2-Plan.dwg
 Date: 8/21/2005 2:10:32 PM

Main Level



P1051532 George Vilense GoffmanCAD:Drawing1532_A2-2_Plan.dwg, 8/21/2005 2:10:32 PM

A2.2



Engberg Anderson Design Architects
 1 St. Nicholas St.
 Madison, Wisconsin 53703
 www.eand.com
 Tel: 608.255.2525 Fax: 608.255.2522

George Viñense Golfpark

5501 West Ballou Highway
 Madison, WI 53711

Owner:
 Golf Park
 5501 West Ballou Highway
 Madison, WI 53711

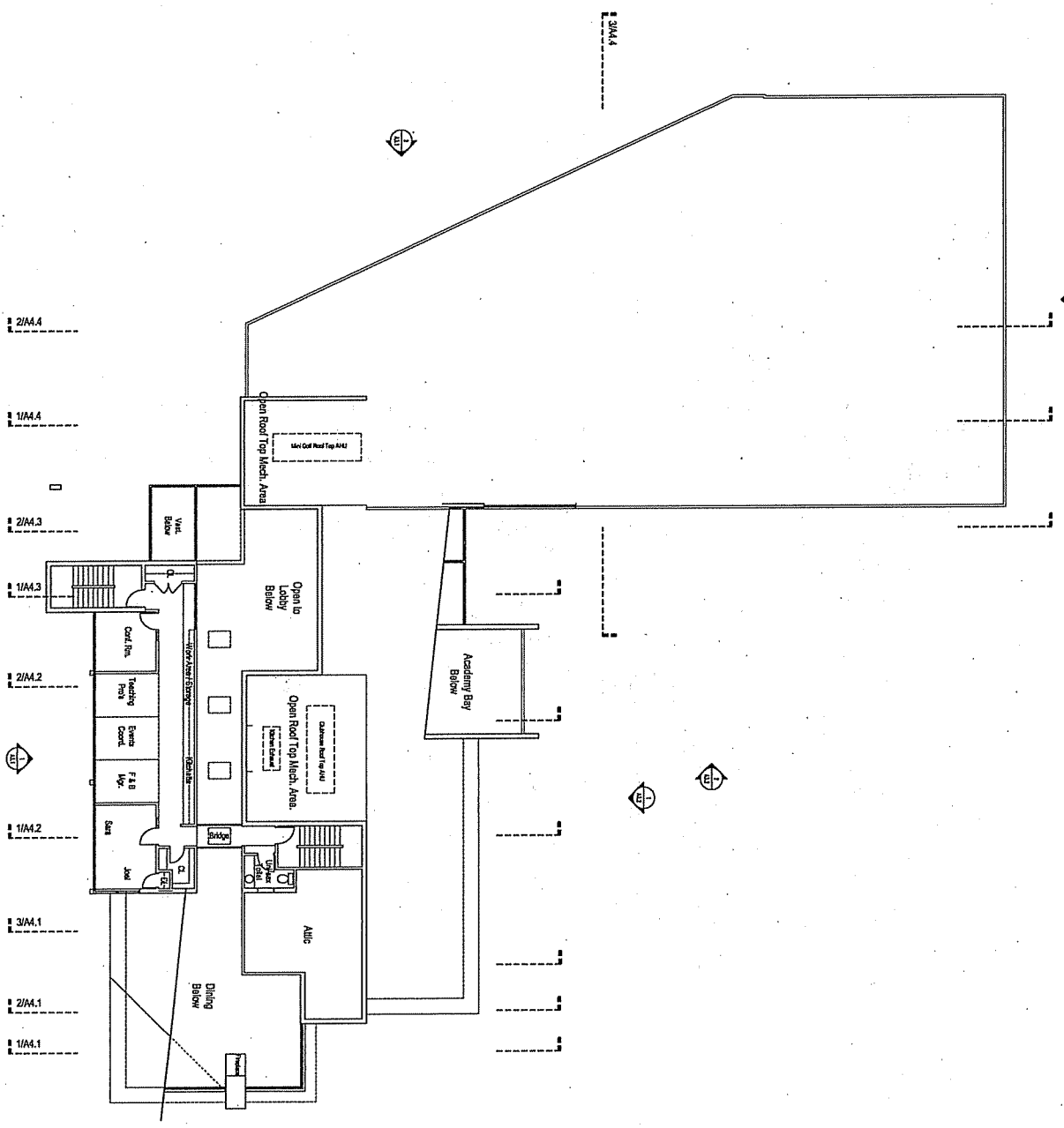
Project No: 03153228

Revised	Date
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02	08-13-05
03	08-13-05
04	08-13-05
05	08-13-05
06	08-13-05
07	08-13-05
08	08-13-05
09	08-13-05
10	08-13-05

REVIEW SET - NOT FOR CONSTRUCTION

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 Checked by: [blank] PRC
 Title: 153128-3-Shoping
 No: [blank]

Upper Level





Engineering Architecture Design Partners, Inc.
 1 McPherson Park, Williams, Virginia 22783
 www.eadp.com
 P.O. Box 202024, Ft. Belvoir, CO 80520

George Wiense Golfers

5501 West Boulder Highway
 Redden, WI 53711

Owner:
 Golf West
 5501 West Boulder Highway
 Redden, WI 53711

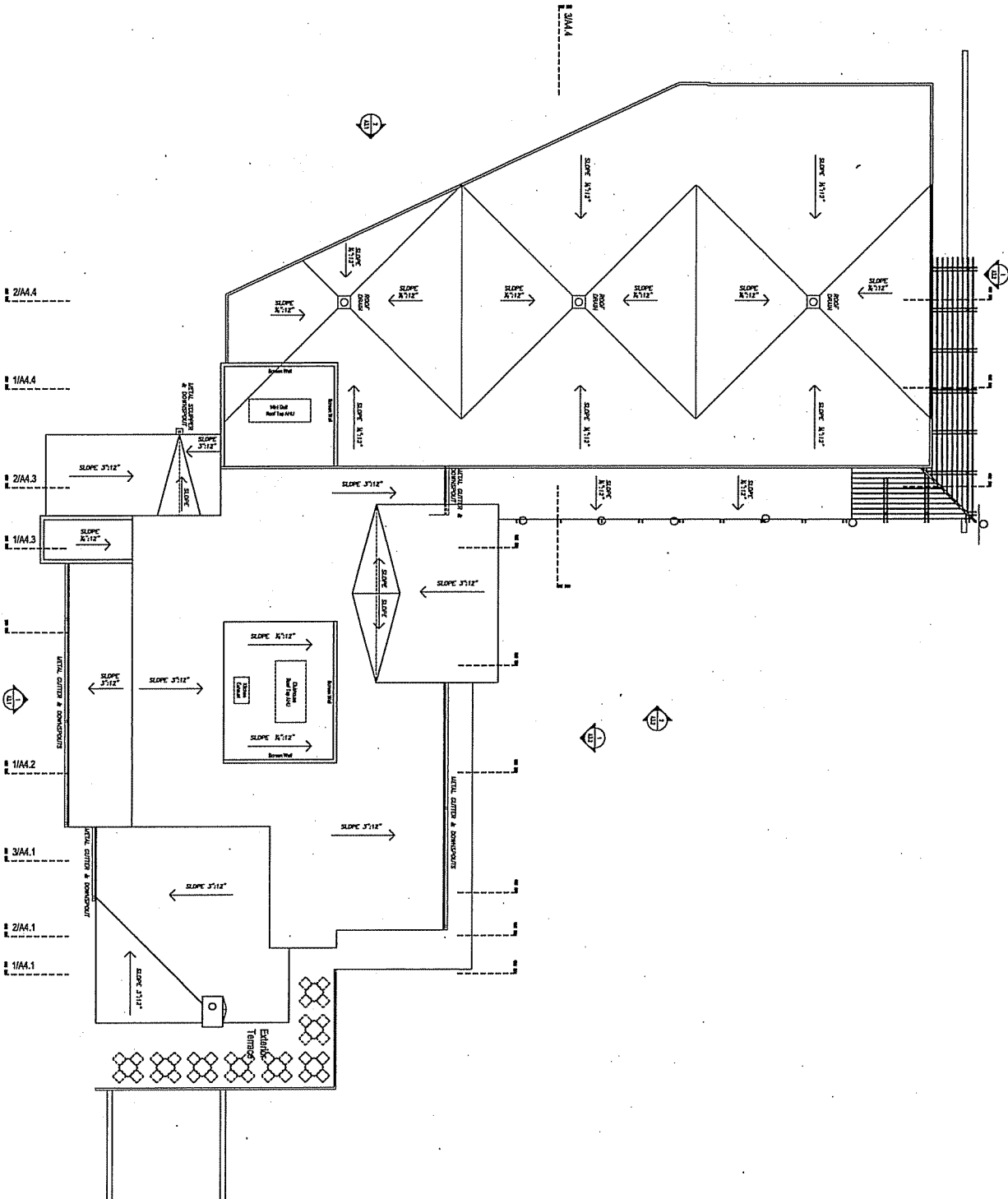
Project No. 0310230

Issued For:	Date:
Rev. Description	
01	07-21-05
02	08-17-05
03	08-17-05
04	08-31-05
05	08-31-05
06	08-31-05
07	08-31-05

REVIEW SET - NOT FOR CONSTRUCTION

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 Checked By: [Name]
 Title: [Title]

Roof Level



Roof Level
 SCALE: 1/8" = 1'-0"

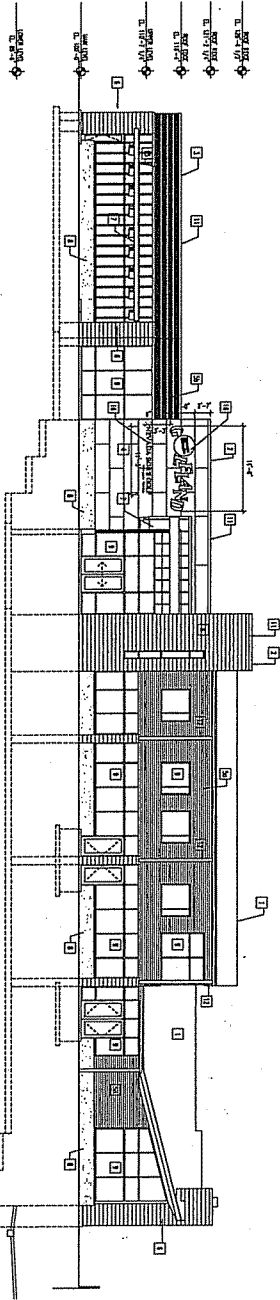
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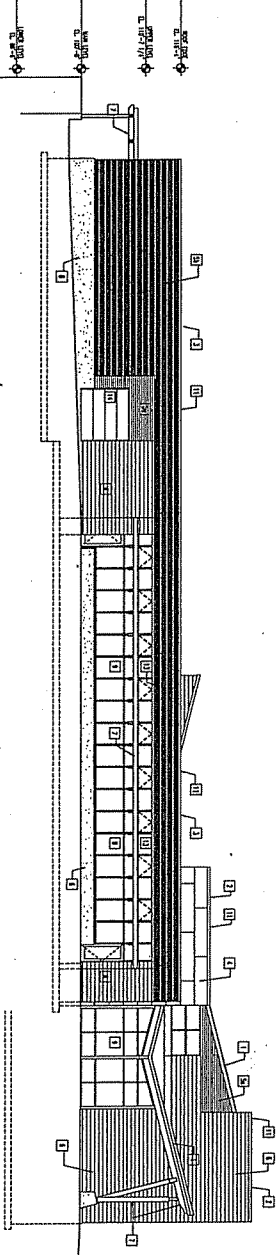
51



George Wiense Goffland
 5501 West Willow Highway
 Madison, WI 53711



North Elevation
 SCALE: 1/8" = 1'-0"



East Elevation
 SCALE: 1/8" = 1'-0"

- KEYED NOTES**
- 1. ASHRAE SHIELDS ON EITR PANEL OVER 5/8" EXTERIOR PLYWOOD ROOF SHEATHING. 4" ROOF INSULATION ON WOOD BEAMS OVER 3/4" PLYWOOD DECK ON 2X12 RAFTERS. 2" POLYSTYRENE INSULATION ON 2X12 RAFTERS WITH CEILING SPRAY.
 - 2. FULLY FINISHED ROOF UNDERLAY ON 3/4" PLYWOOD DECK OVER 2X RAFTERS. 1/2" G.C. WITH GUT INSULATION.
 - 3. BULLETED ROOFING MEMBRANE ON 4" ROOF INSULATION OVER ASBESTOS FELT ROOF FLOOR. STEEL WEB JOISTS BRIDGE EXTERIOR WALLS. UNDER WINDOW WALLS TO HAVE STEEL STRUCTURAL SUPPORT.
 - 4. 1/2" ROOF CEILING BOARD OVER WITH GYPSUM FINISHES ON INSULATION BOARD OVER 5/8" EXTERIOR PLYWOOD SHEATHING. 2X8 WOOD RAFTERS WITH 6" BATT INSULATION. WAPR ROOFING UNDER 5/8" ONE TYPE 'X' WHERE REQUIRED.
 - 5. REFINISHED 4" FINISHED WALK UP STAIR OVER INSULATION BOARD ON 5/8" EXTERIOR PLYWOOD SHEATHING. WAPR ROOFING UNDER 5/8" ONE TYPE 'X' WHERE REQUIRED.
 - 6. REFINISHED 3/4" 1/4-8x12 WALK UP STAIR OVER INSULATION BOARD ON 5/8" EXTERIOR PLYWOOD SHEATHING. WAPR ROOFING UNDER 5/8" ONE TYPE 'X' WHERE REQUIRED.
 - 7. 1" RIGID CEILING BOARD OVER 5/8" ONE INSULATION ON 1" FINISHES WITH 5/8" ONE.
 - 8. CEILING WITH CLEAR FINISH GYPSUM BOARD, LIGHTING, CEILING PANELS TO HAVE ABSORBED REBARS. REBAR WITH LOW PROFILE (LOCATED OVER TRUSS/RAFTER).
 - 9. EXPOSED CAST-IN-PLACE CONCRETE WALL WITH SMOKE AND 5/8" ONE.
 - 10. CLEAR ANCHORED ALUMINUM SHERIDAN SYSTEM WITH 1" INSULATION FROM ROOFLINE FOR 1' CLEARANCE.
 - 11. CLEAR ANCHORED ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATION CLEAR WALLS LOW TO CEILING.
 - 12. REFINISHED WETL CORNER.
 - 13. REFINISHED WETL CORNER AND DOWNSTAIR.
 - 14. REFINISHED WETL RASQA.
 - 15. OPENING INSULATED STRUCTURAL DOOR.
 - 16. OPENING GLASS STRUCTURAL DOOR.
 - 17. RIGID WETL BOARD: LIGHT FROM LANDING AT GROUND LEVEL.

Revised	Date
1	02-11-02
2	02-11-02
3	02-11-02
4	02-11-02
5	02-11-02
6	02-11-02
7	02-11-02
8	02-11-02
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14	02-11-02
15	02-11-02
16	02-11-02
17	02-11-02

REVIEW SET - NOT FOR CONSTRUCTION

Drawn by: [Name]
 Checked by: [Name]
 Date: 12/22/01

Exterior Elevations

A3.1



Engberg Anderson Design/Architecture Inc.
1141 Parkway Dr.
Madison, Wisconsin 53710
www.egand.com
Tel: 608.262.1610 Fax: 608.262.1611

George Viense Goffland
5501 Hill Building Highway
Madison, WI 53711
Tel: 608.262.1610
Fax: 608.262.1611

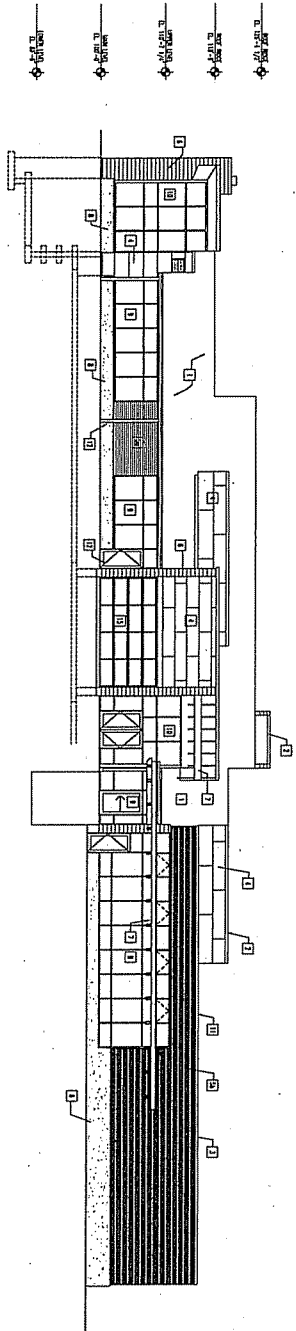
Project No: 031210
Issued For:
No. Description Date
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02 3D Preliminary Plans 02-12-05
03 3D Preliminary Plans 02-12-05
04 3D Preliminary Plans 02-12-05
05 3D Preliminary Plans 02-12-05
06 3D Preliminary Plans 02-12-05
07 3D Preliminary Plans 02-12-05

1 1/4" RIBbed CONCRETE BOARD WITH EXPOSED FASCIERS ON INSIDE BARRER OVER 5/8" EXTERIOR 2x6 WOOD FRAMING WITH 6" BUT INSULATION. WOOD BARRER UNDER 5/8" ONE. TYPE 'X' WHERE REQUIRED.
2 1/4" RIBbed CONCRETE BOARD WITH EXPOSED FASCIERS ON INSIDE BARRER OVER 5/8" EXTERIOR 2x6 WOOD FRAMING WITH 6" BUT INSULATION. WOOD BARRER UNDER 5/8" ONE. TYPE 'X' WHERE REQUIRED.
3 PERIMETER 4" FINISHING UNTIL UP SLAB ONE. INSURE BARRER ON 5/8" EXTERIOR FINISHED SCHEMATIC ON 2x6 WOOD FRAMING WITH 6" BUT INSULATION. WOOD BARRER UNDER 5/8" ONE. TYPE 'X' WHERE REQUIRED.
4 PERIMETER 5/8" UN-GRd KERAL PAUL OVER INSURE BARRER ON 5/8" EXTERIOR FINISHED SCHEMATIC ON 2x6 WOOD FRAMING WITH 6" BUT INSULATION. WOOD BARRER UNDER 5/8" ONE. TYPE 'X' WHERE REQUIRED.
5 1" POL. DRI WITH SHOWN ELABO COLOR UNITS. 2" ROOF INSULATION ON 2 FINISHES WITH 5/8" ONE.
6 COOL WITH COLOR FINISH
7 COOL TRAILS OUT OF DIMENSIONAL LUMBER. COVER PERMIT TO HAVE CORROSION RESISTANT BARRER WITH LAM. (ADD ON OTHER FINISHES)
8 DRESSED OCE-GR-FACE CONCRETE WALL WITH SWD BASTED FINISH. 2" ROOF INSULATION WITH 2-FINISHES AND 5/8" ONE.
9 OADR RIBBED ALUMINUM SUBSTRATE SYSTEM WITH 1" INSULATION CLEAR DOUBLE LOW E GLAZING.
10 OADR RIBBED ALUMINUM SYSTEM WITH 1" INSULATION CLEAR DOUBLE LOW E GLAZING.
11 PERIMETER METAL CEILING
12 PERIMETER METAL CEILING AND DOWNPOUT
13 PERIMETER METAL FINISH
14 PERIMETER INSULATED SECTIONAL DOOR
15 EXTERIOR GLASS SECTIONAL DOOR

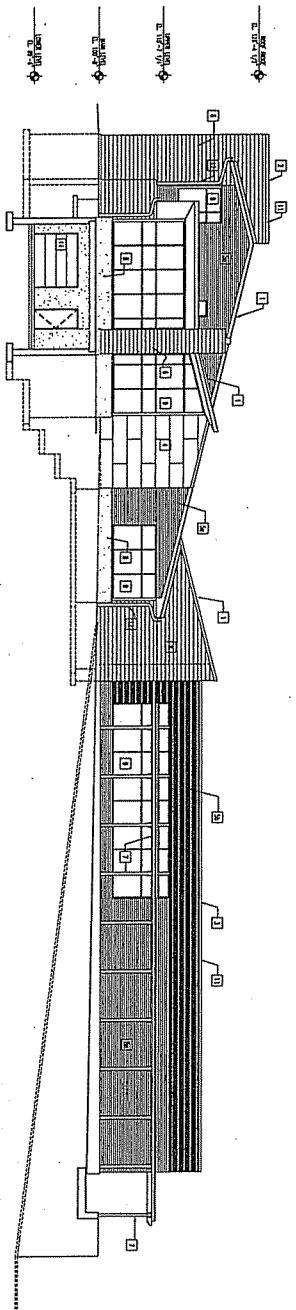
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Checked by: [blank] Date: [blank]
Title: 1312-03-1-Ext/Ext

Exterior Elevations



1-1 South Elevation
SCALE: 1/8"=1'-0"



1-2 West Elevation
SCALE: 1/8"=1'-0"

A3.2



Engineering Anderson Design/Architects, Inc.
 1141 Parkside
 Madison, Wisconsin 53713
 Tel. 608/233-0310 Fax 608/233-0320

George Vitasek Goffland

5501 Rural Valley Highway
 Madison, WI 53711

Owner:
 201 West Main Street, 19th Floor
 Madison, WI 53703

Project No. 0313103

Issued For	Date
1. Construction	01-24-02
2. Construction	02-11-02
3. Construction	02-11-02
4. Construction	02-11-02
5. Construction	02-11-02
6. Construction	02-11-02
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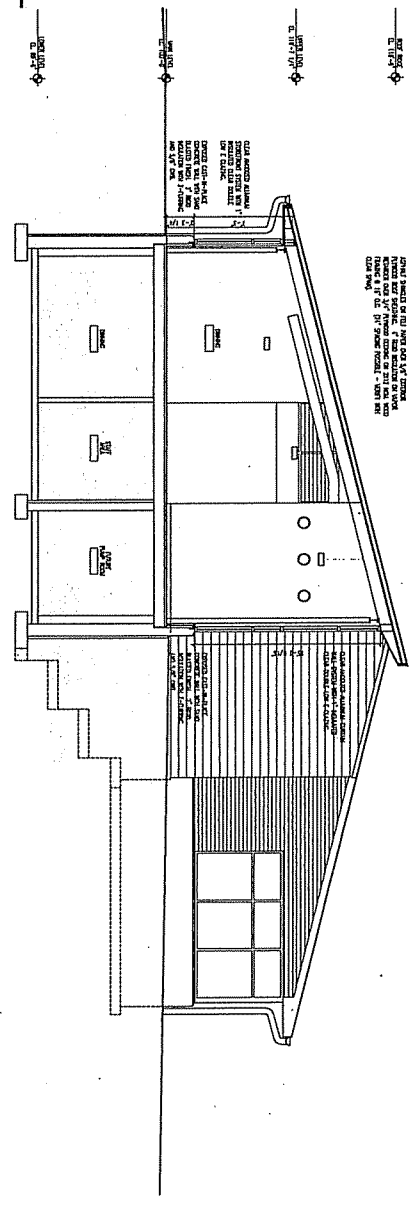
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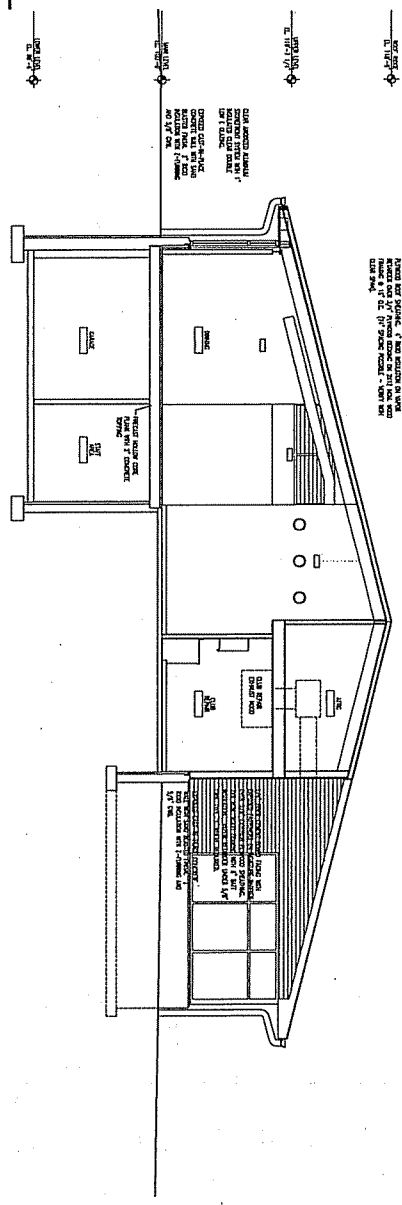
Building Sections

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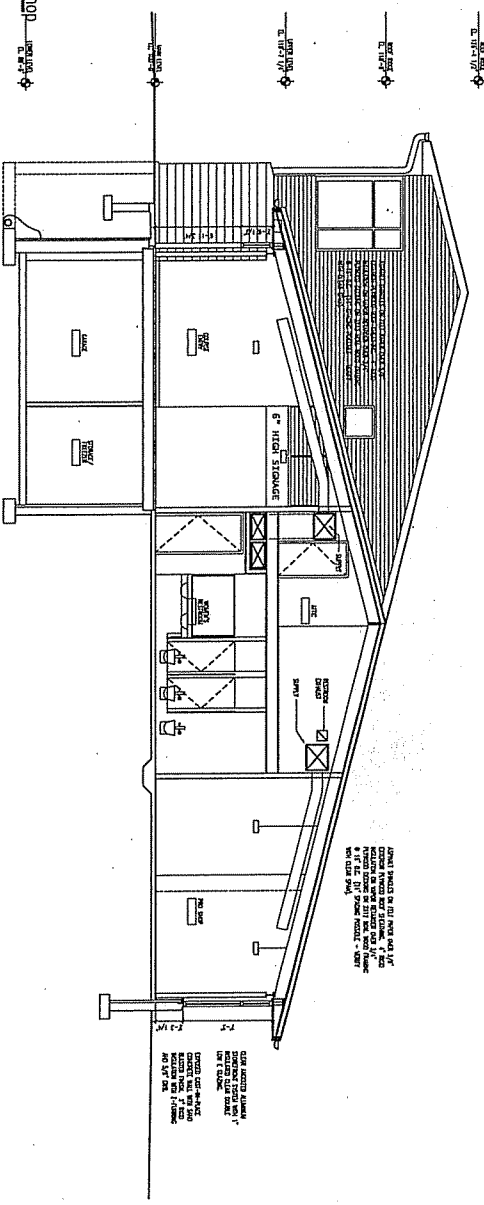
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2 Section @ Dining / Restroom / Pro Shop
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3 Section @ Office / Bridge / Comm. Rm. / Stair / Pro Shop
 SCALE: 1/4"=1'-0"



A4.1



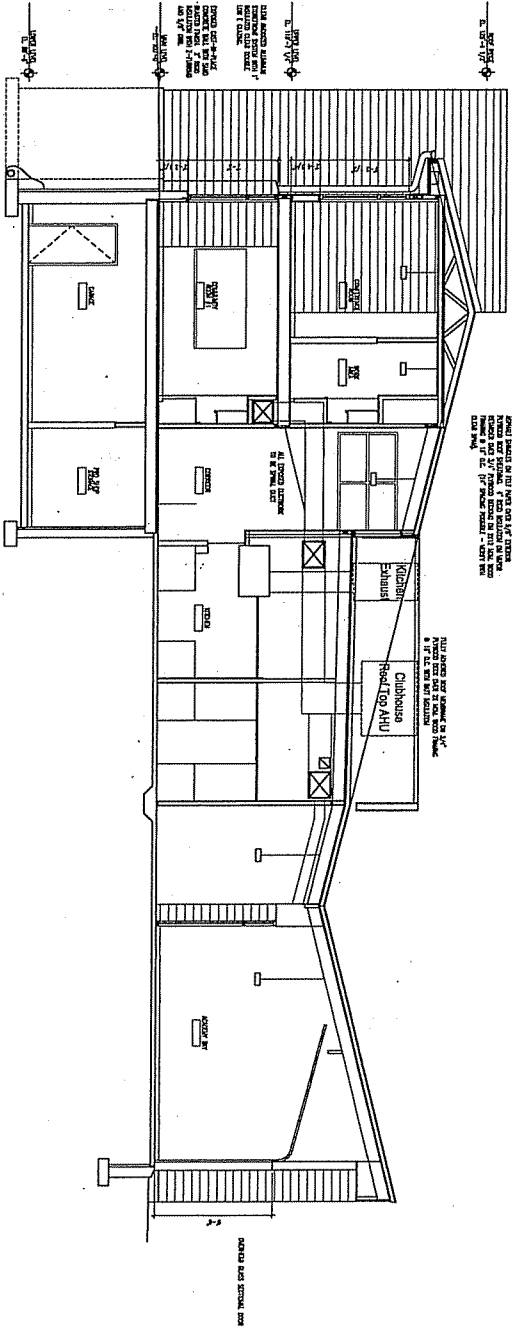
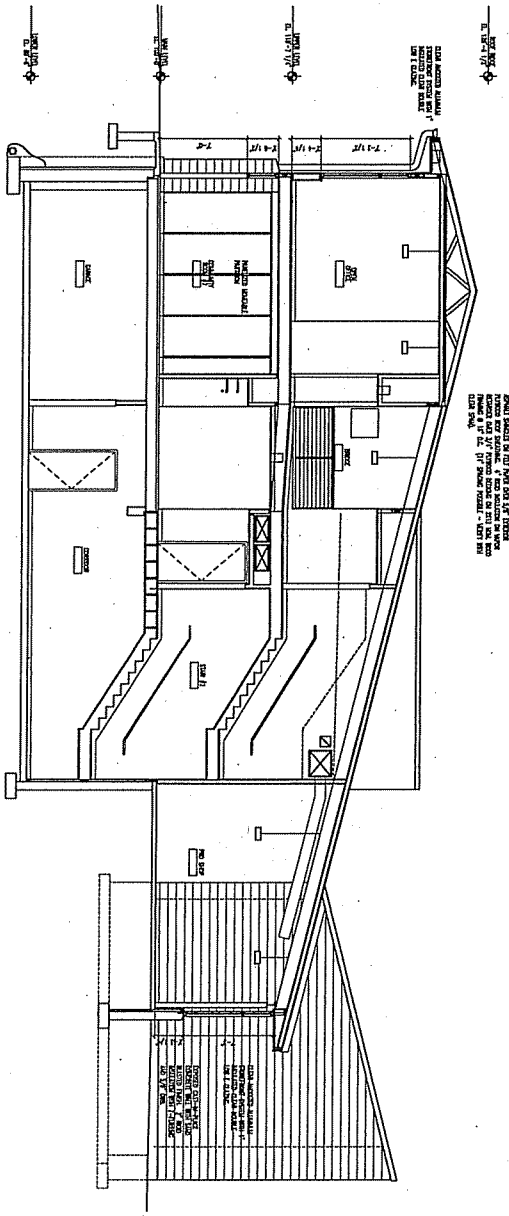
Engineer
 Anderson Designworks, LLC
 1711 N. Lincoln Ave.
 Westborough, MA 01581
 www.andersondesignworks.com
 Tel: 508.333.3333

George Viense Goltman

5501 West Center Highway
 Hudson, NH 03071
 Owner
 Jodi Katz
 550 West Salem Highway
 Hudson, NH 03071

Project No. 0318120

Issued For:	No.	Description	Date
01	SD Preliminary Schematic	07-18-05	
02	Preliminary Budget Review	08-13-05	
03	Final Schematic	08-18-05	
04	Final Budget Review	08-31-05	
05	Design Development	09-07-05	
06	Final Design	09-21-05	
07	Permitting Construction	09-21-05	



REVIEW SET - NOT FOR CONSTRUCTION

Drawn By: [Name]
 Checked By: [Name]
 Title: [Title]

Building Sections

A4.2



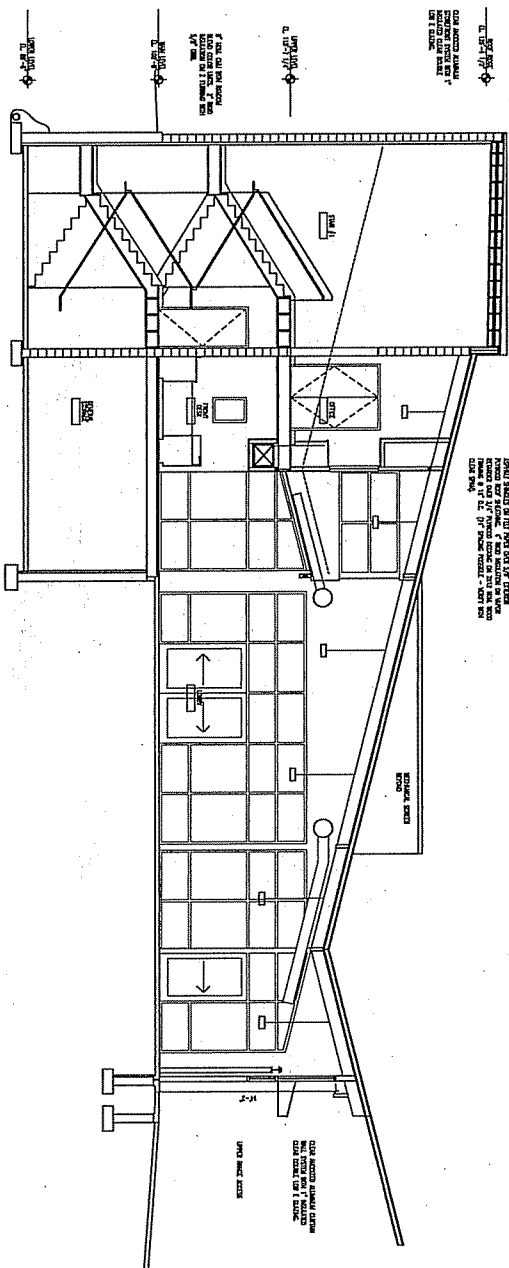
Engineering & Architecture
 114 Westway 2
 Madison, Wisconsin 53703
 Tel: 608/263-1234 Fax: 608/263-1235

George Vilane Goffink

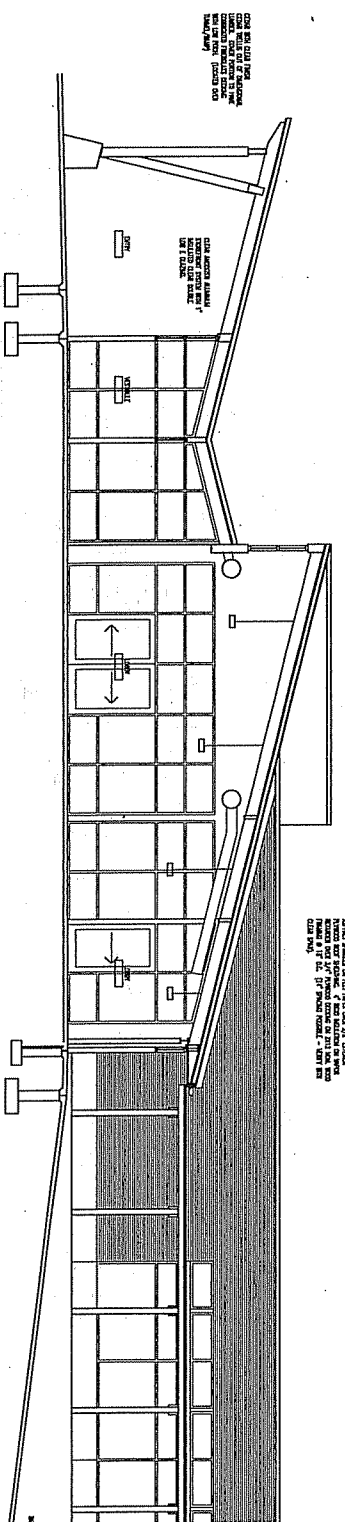
Client:
 5501 West Ballou Highway
 Madison, WI 53711

Project No. 0313103

No.	Description	Date
01	Site Preliminary Review	07-14-05
02	Preliminary Design Review	08-13-05
03	Final Design Review	09-17-05
04	Design Development	09-27-05
05	Final Approval	09-27-05
06	Issued for Construction	09-27-05



1 Section @ Stair / Front Desk / Lobby
 SCALE: 1/4" = 1'-0"



2 Section @ Main Entrance
 SCALE: 1/4" = 1'-0"

REVIEW SET - NOT FOR CONSTRUCTION

Drawn By: jpc
 Checked By: JST
 Date: 12/22/05

Building Sections

A4.3



Engberg Anderson Dalggaard
 1 N. Taylor Avenue
 Westborough, Vermont 05570
 Telephone: (802) 333-1234
 Fax: (802) 333-1235

George Vilhøvs Goffman

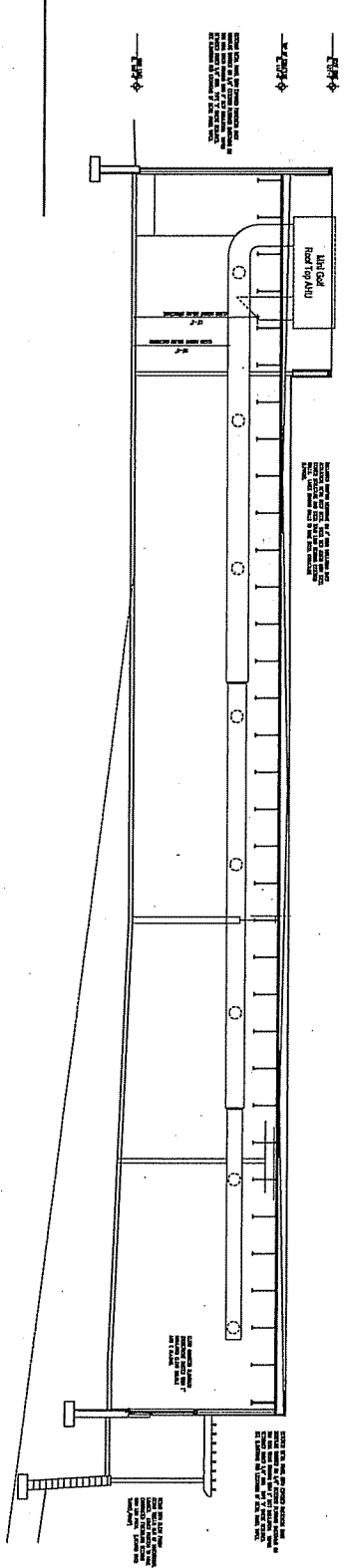
3501 West Baden Highway
 Madison, WI 53711

Owner:
 Carl Metz
 3501 West Baden Highway
 Madison, WI 53711

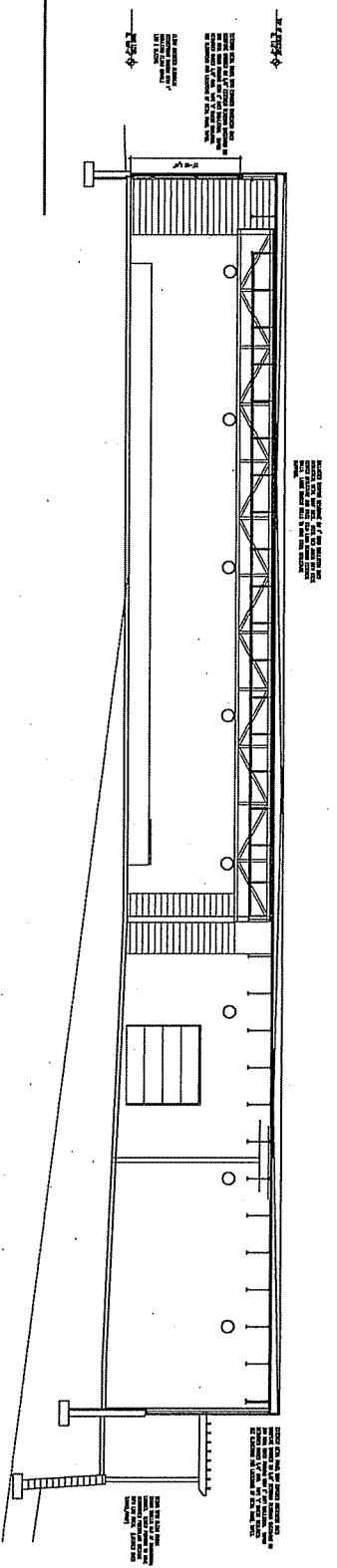
Project No. 0318320

Legend Item	Date
01. Description	
01. 3D Pathology Series	07-18-05
02. Preliminary Budget Entry	08-13-05
03. Revised Budget Entry	08-31-05
04. Revised Budget Entry	09-01-05
05. Budget Development	09-07-05
06. Budget Development	09-14-05
07. Pricing Confirmation	09-21-05

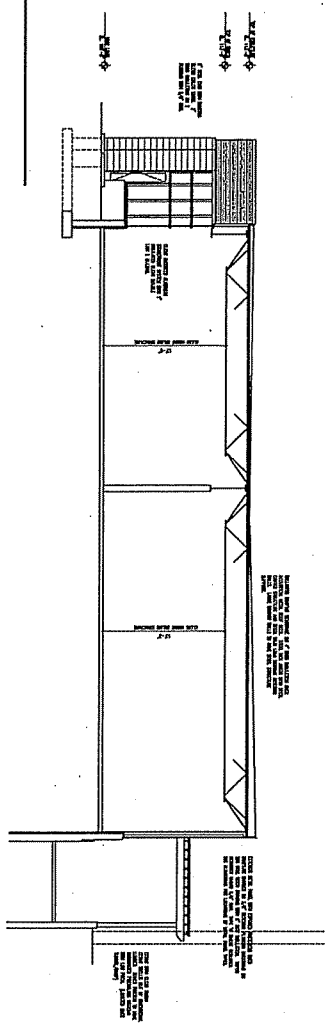
Section @ Mini Golf



Section @ Mini Golf



Close Section @ Mini Golf



REVIEW SET - NOT FOR CONSTRUCTION

Drawn By: [Name]
 Checked By: [Name]
 Title: [Title]

Building Sections

A4.4

SCHREIBER

ROAD



Engineering And Design Knowledge
 4311 South Broadway
 Westchester, Wisconsin 53092
 www.schreiber.com
 Tel: (414) 832-7400 Fax: (414) 832-7401

George Vilense Goffman
 5201 West Bellvue Highway
 Madison, WI 53711
 Owner:
 5201 West Bellvue Highway
 Madison, WI 53711

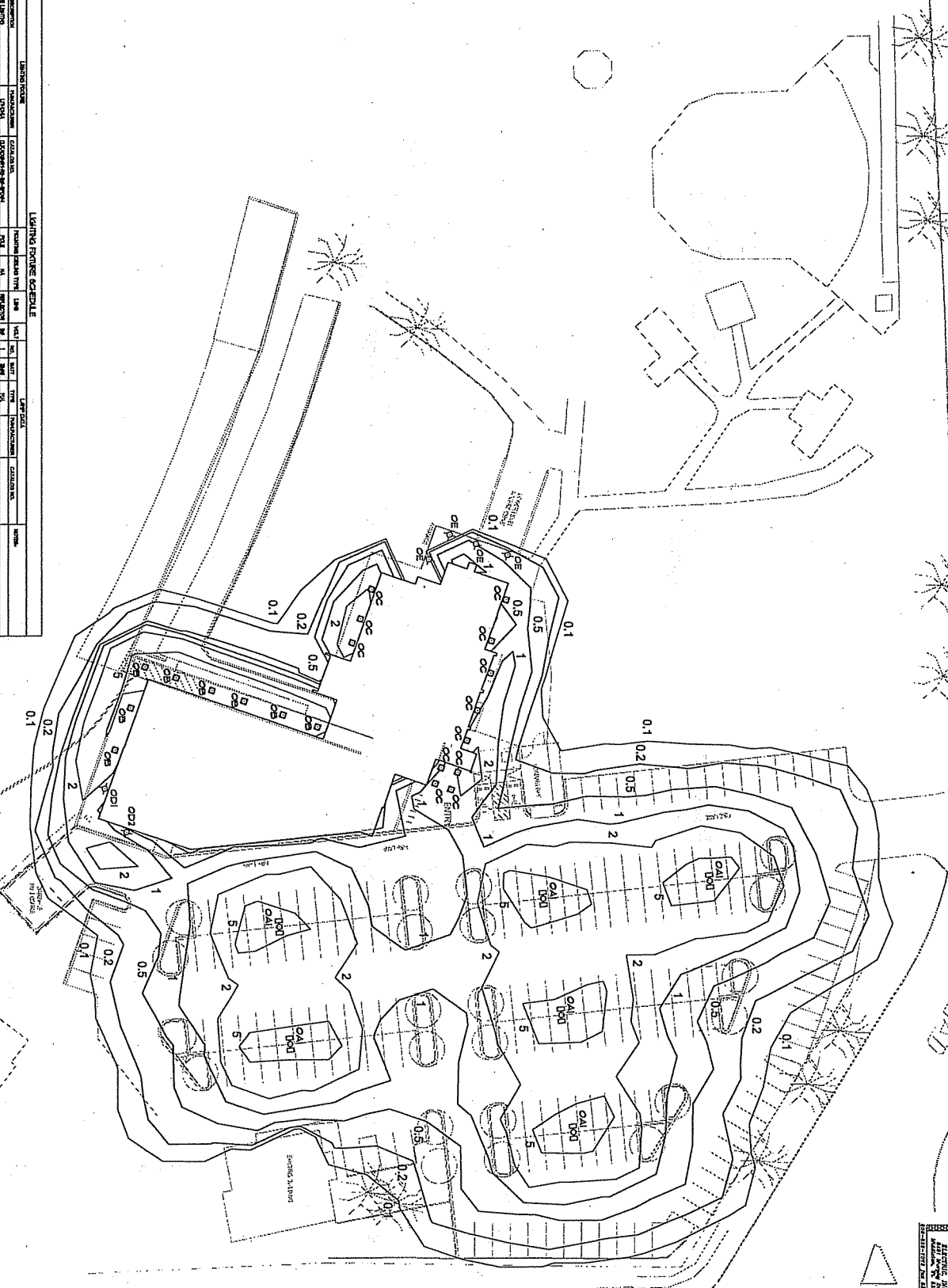
Project No: 0315220
 Issue Date:
 No. Description Date
 01 Hold Approval 08-11-05
 02 Permitting Comments 08-11-05

REVIEW SET - NOT FOR CONSTRUCTION

Drawn By
 Checked By
 1532-L1-049

Site Lighting Plan

LIGHTING FIXTURE SCHEDULE		LIGHTING FIXTURE SCHEDULE		LIGHTING FIXTURE SCHEDULE		LIGHTING FIXTURE SCHEDULE	
TYPE	DESCRIPTION	MANUFACTURER	COLLECTION	FIXTURE	TYPE	MANUFACTURER	COLLECTION
01	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
02	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
03	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
04	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
05	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
06	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
07	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
08	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
09	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
10	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
11	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
12	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
13	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
14	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
15	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
16	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
17	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
18	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
19	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR
20	RECESSED DOWN LIGHT	OSRAM	MINOR	MR16	MR16	OSRAM	MINOR



P:\061532 George Vilense Goffman\CD\Drawings\Consultants\WVilense\Goffman\Site\Lighting\lp2.dwg, 9/27/2005 1:37:10 PM

ES-1

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