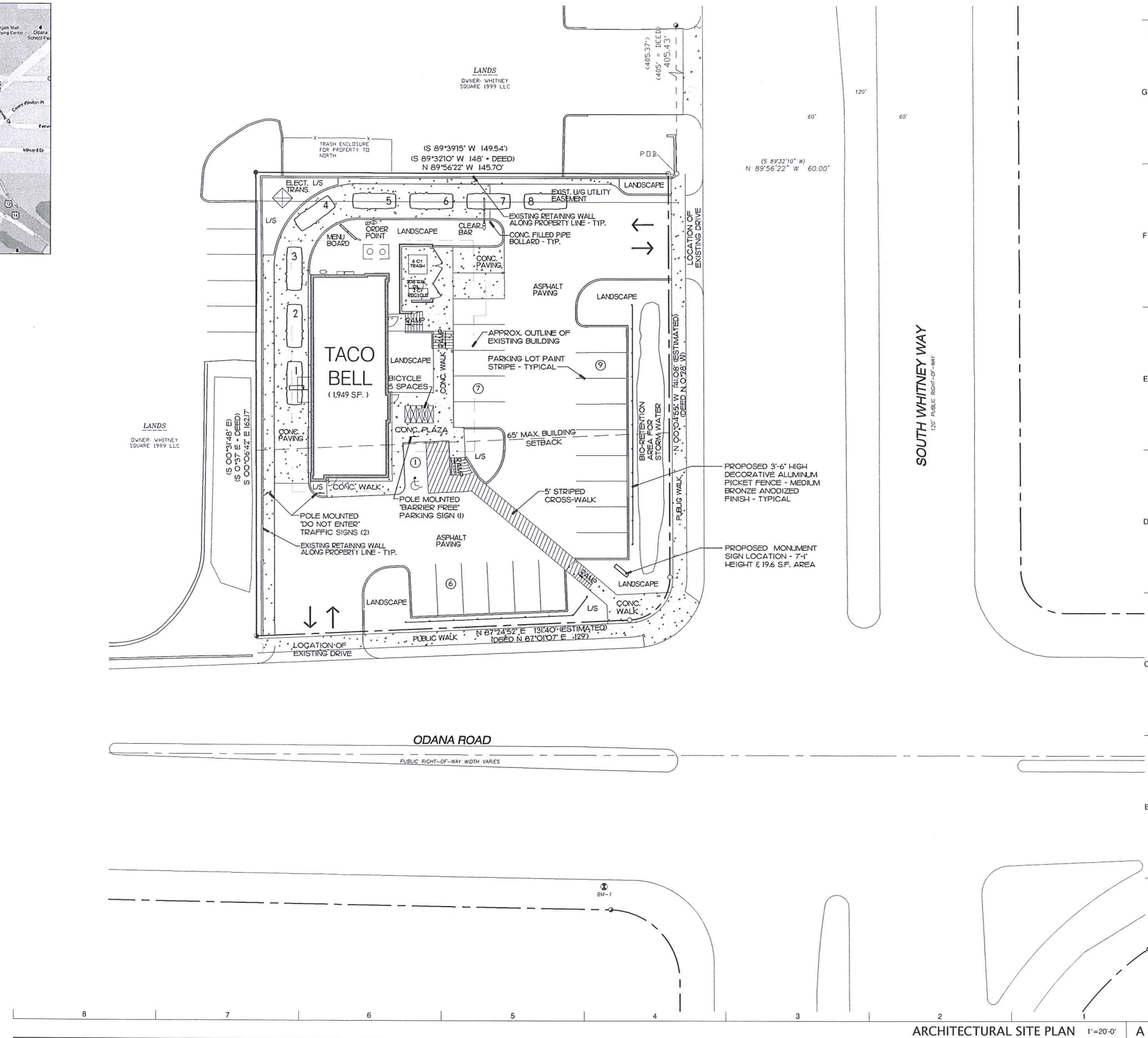
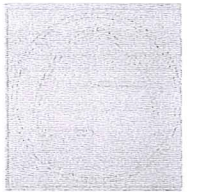


VICINITY  
MAP  
NOT TO SCALE



ARCHITECTURAL SITE PLAN 1"=20'-0" A



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INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48063  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020

DATE	ISSUE
------	-------

4-2-2013	INITIAL UDC SUBMIT
4-9-2013	REVISED UDC SUBMIT
4-22-2013	REVISED PER C
6-19-2013	UDC and PC SUBMIT
7-8-2013	REV. UDC & PC SUBMIT

CONTRACT DATE:  
BUILDING TYPE: MED-NI  
PLAN VERSION: DEC 12  
SITE NUMBER: 3094  
STORE NUMBER:

TACO BELL

698 S. Whitney Way  
Madison, WI

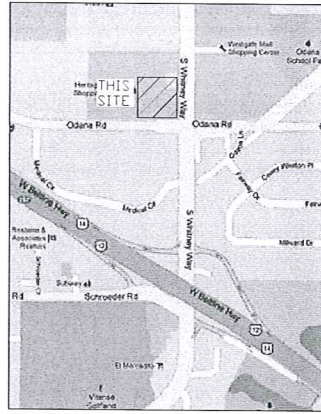


MEDIUM40-N

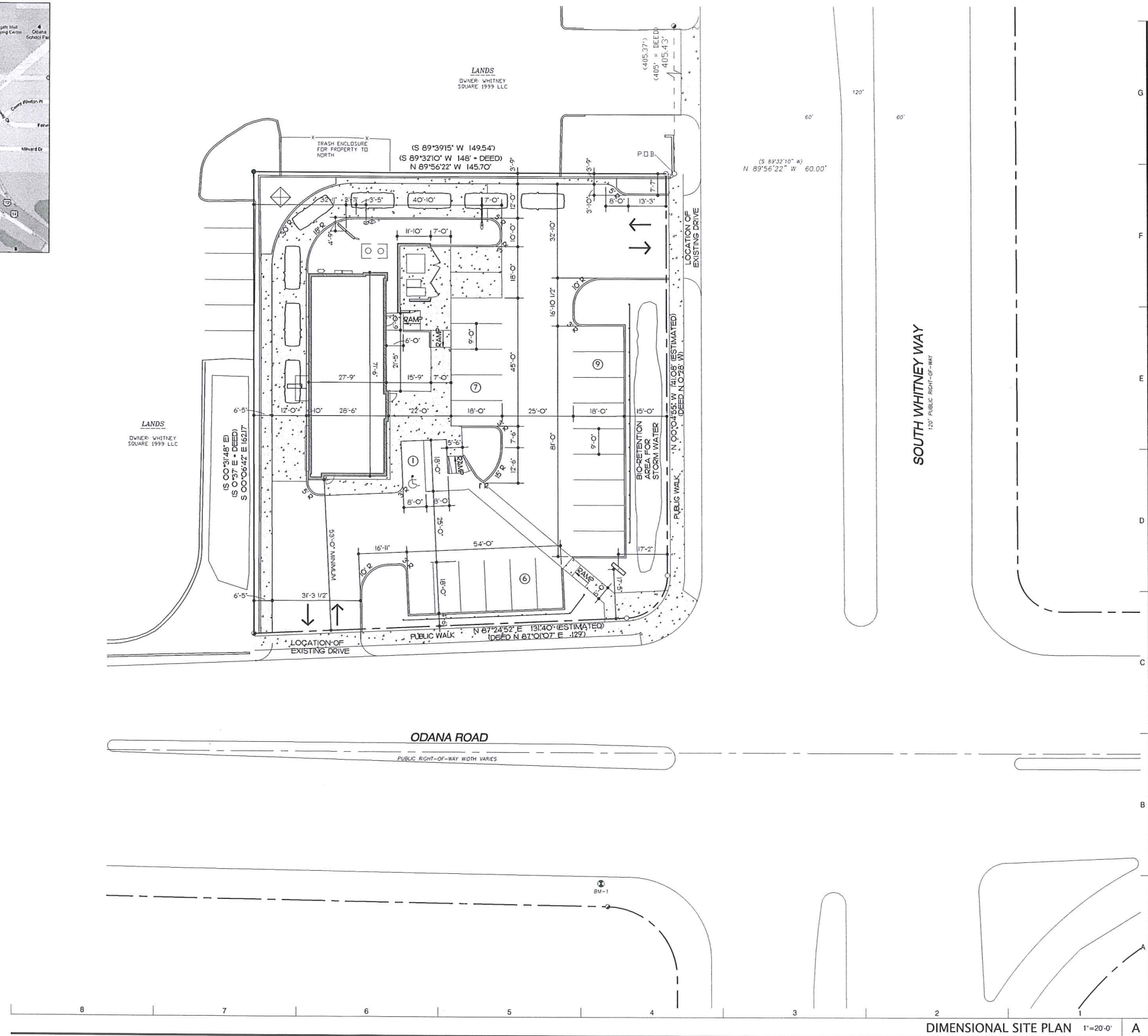
ARCH.  
SITE  
PLAN

**AC0.1**

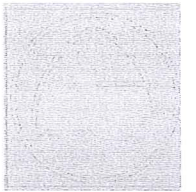
PLOT DATE: 7-3



VICINITY  
MAP  
NOT TO SCALE



DIMENSIONAL SITE PLAN 1"=20'-0" A



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48063  
PHONE FAX  
(248) 524-4700 (248) 524-9746

PROJECT NO. T1202C

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMIT
4-9-2013	REVISED UDC SUBMIT
4-22-2013	REVISED PER C
6-19-2013	UDC and PC SUBMIT
7-8-2013	REV. UDC & PC SUBMIT


CONTRACT DATE:  
BUILDING TYPE: MED-NI  
PLAN VERSION: DEC 12  
SITE NUMBER: 3094  
STORE NUMBER:

TACO BELL

698 S. Whitney Way  
Madison, WI

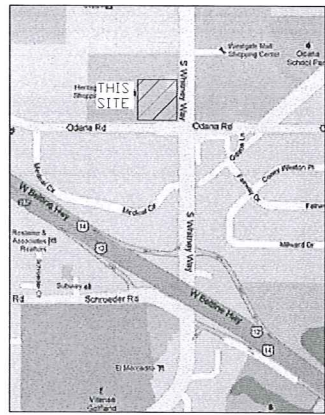


MEDIUM40-N

DIMENSIONAL  
SITE  
PLAN

AC0.2

PLOT DATE: 7-3



VICINITY  
MAP  
NOT TO SCALE

TACO BELL  
698 S. WHITNEY WAY  
MADISON, WI  
PREPARED BY: JOHN BUJAKE  
ACCUSERV LIGHTING & EQUIPMENT  
877-707-7378  
502-961-0357 FAX  
jbujake@accu-serv.com  
JULY 3, 2013

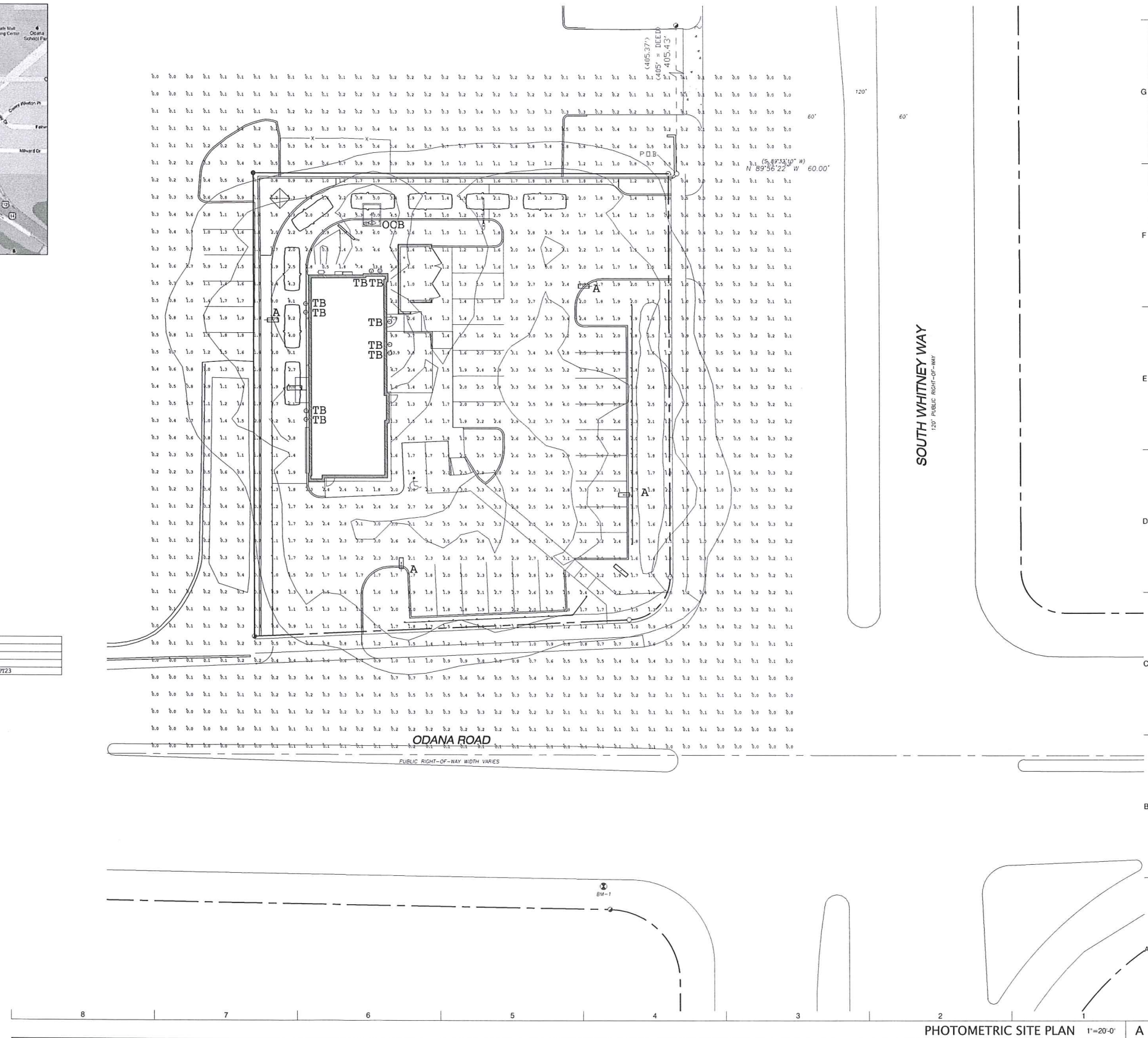
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.17	13.9	0.0	N.A.	N.A.
VEHICULAR SURFACE	2.44	9.2	0.9	3.05	10.25

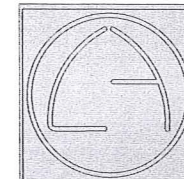
LIGHT LEVELS ARE MAINTAINED FOOT-CANDELES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Lum. Watts	Description
OCB	1	OCB	SINGLE	12500	0.700	185	TACO BELL - ORDER POINT CANOPY
TB	9	TB	SINGLE	12300	0.900	36	ACCU 052147-051-052 @ 9.11" A.F.G.
A	4	A	SINGLE	N.A.	0.900	271	STR-10V-04-HT-12-D-UL-B2-700-43K / PT-1H-B2 / 95200-425723

LIGHTING RESTRICTIONS: TOTAL WATTAGE FOR SITE FIXTURES NOT TO EXCEED 0.10W/S.F. OF VEHICULAR SURFACE  
AVERAGE LIGHT LEVEL NOT TO EXCEED 2.5 FOOT-CANDELES  
MINIMUM LIGHT LEVEL TO BE 0.4 FOOT-CANDELES OR GREATER  
AVERAGE/MINIMUM RATIO NOT TO EXCEED 5.0

VEHICULAR SURFACE: 13,145 S.F.  
SITE FIXTURES ARE FULL CUTOFF 271W 43K LED w/ FLAT LENSES  
POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.



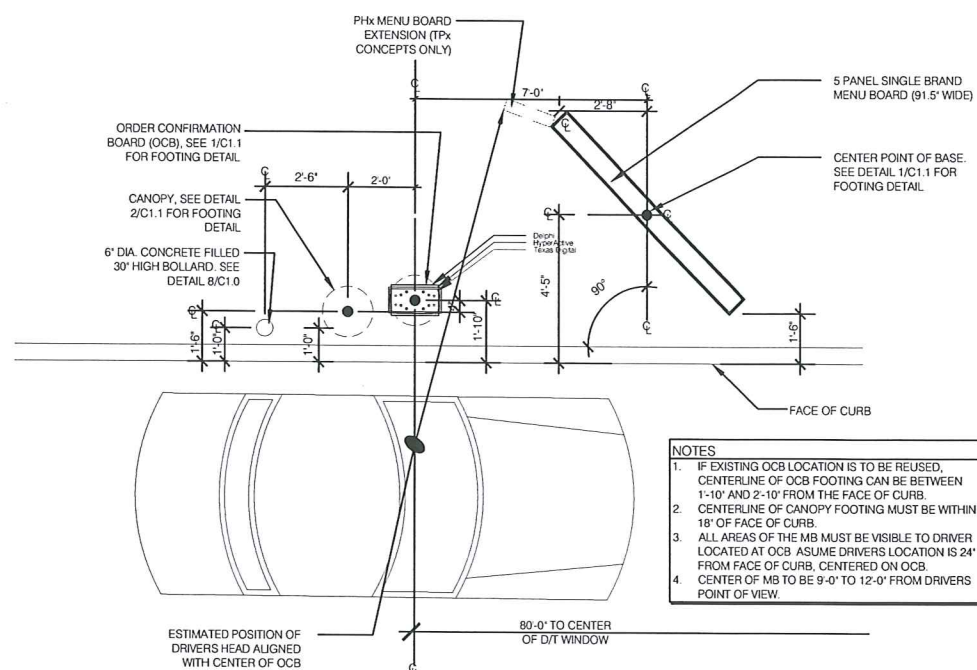


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PROJECT NO. T12020

NOT USED N.T.S. 17



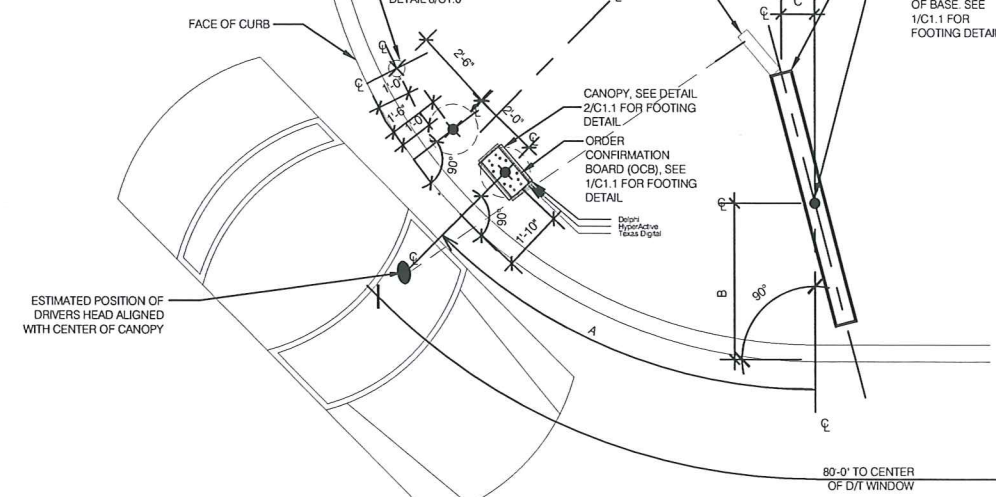
TCS009B

ENLARGED MENU BOARD DETAIL @ STRAIGHT CURB 3/8" = 1'-0" 10

**CORNER DIMENSIONS**

RADIUS	A	B	C
15'-0"	12'-5"	4'-8"	1'-0"
18'-0"	12'-6"	4'-8"	1'-3"
20'-0"	12'-7"	4'-8"	1'-5"

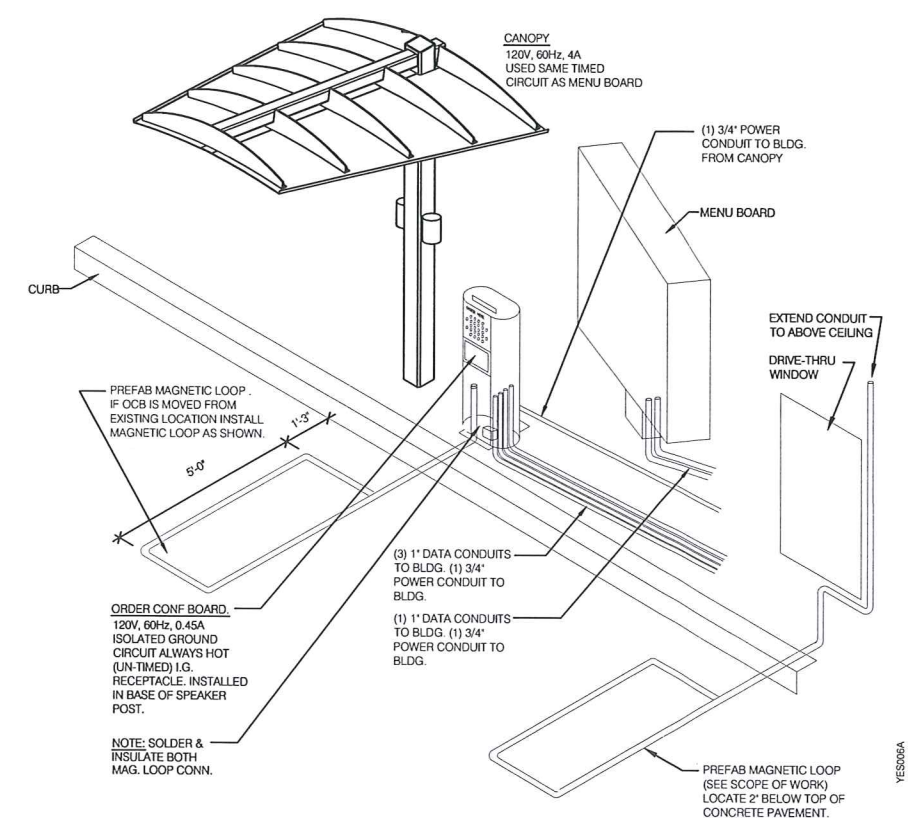
- NOTES:
- IF EXISTING OCB LOCATION IS TO BE REUSED, CENTERLINE OF OCB FOOTING CAN BE BETWEEN 1'-10" AND 2'-10" FROM THE FACE OF CURB.
  - CENTERLINE OF CANOPY FOOTING MUST BE WITHIN 18" OF FACE OF CURB.
  - ALL AREAS OF THE MB MUST BE VISIBLE TO DRIVER LOCATED AT OCB. ASSUME DRIVERS LOCATION IS 24' FROM FACE OF CURB, CENTERED ON OCB.
  - CENTER OF MB TO BE 9'-0" TO 12'-0" FROM DRIVERS POINT OF VIEW.



TCS009B

ENLARGED MENU BOARD DETAIL @ CURVED CURB 3/8" = 1'-0" 2

NOT USED N.T.S. 18



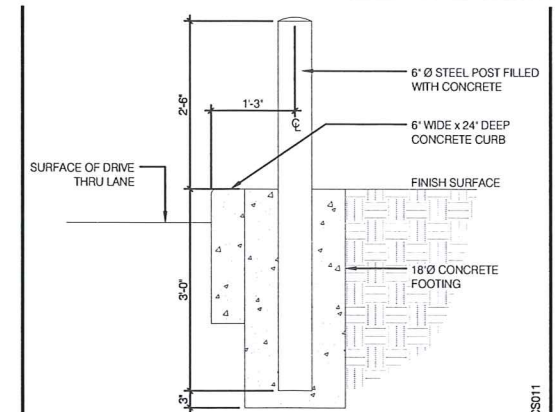
YES000A

DRIVE-THRU COMMUNICATIONS ISOMETRIC N.T.S. 16

NOT USED N.T.S. 11

NOT USED N.T.S. 3

NOT USED N.T.S. 12



TCS011

BOLLARD DETAIL 3/4" = 1'-0" 8

NOT USED N.T.S. 4

DATE	ISSUE
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CONTRACT DATE:	--
BUILDING TYPE:	MED-NI-40
PLAN VERSION:	DEC 12-A
SITE NUMBER:	309441
STORE NUMBER:	--

TACO BELL

698 S. Whitney Way  
Madison, WI

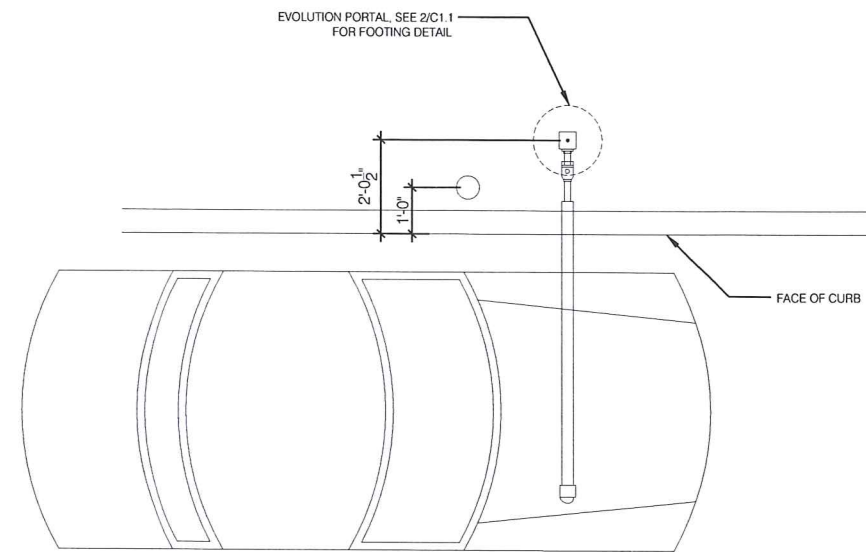
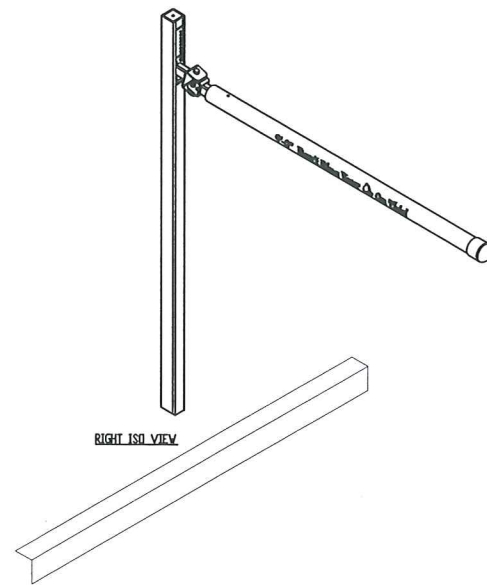


MEDIUM40-Ni

SITE  
DETAILS

**AC1.0**

PLOT DATE: 7-3-13

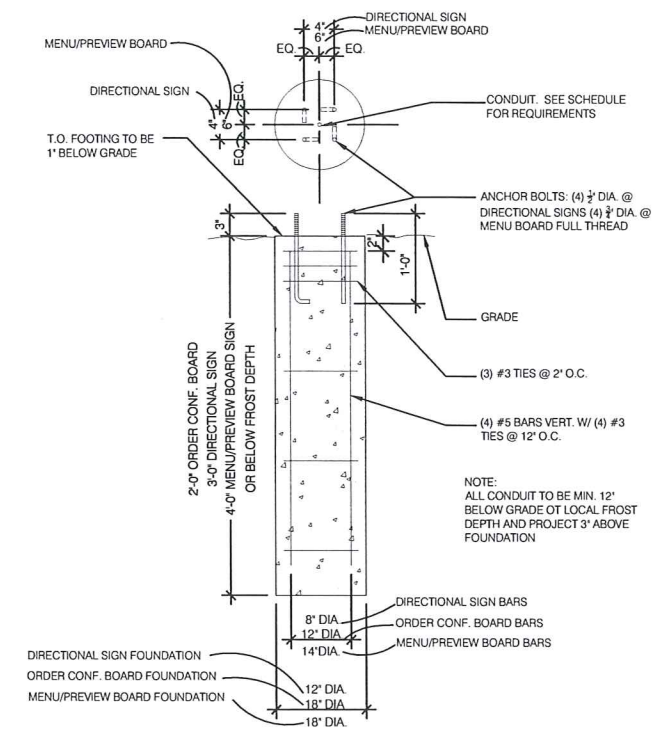


**PORTAL PLACEMENT DETAIL** 1/2" = 1'-0" **3**

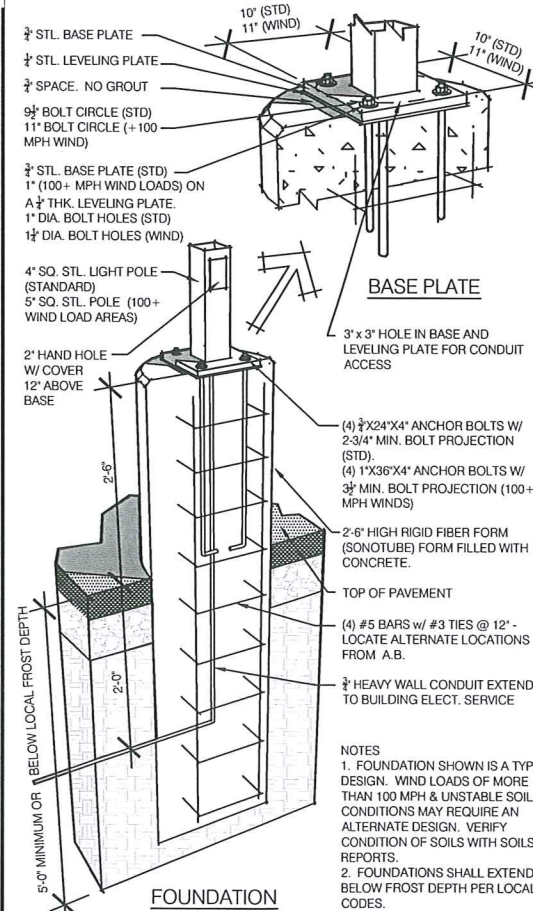
NOTE:  
BOLT PATTERN PROVIDED AS  
EXAMPLE- OBTAIN ANCHOR  
BOLT TEMPLATE FROM  
SUPPLIER

**CONDUIT SCHEDULE**

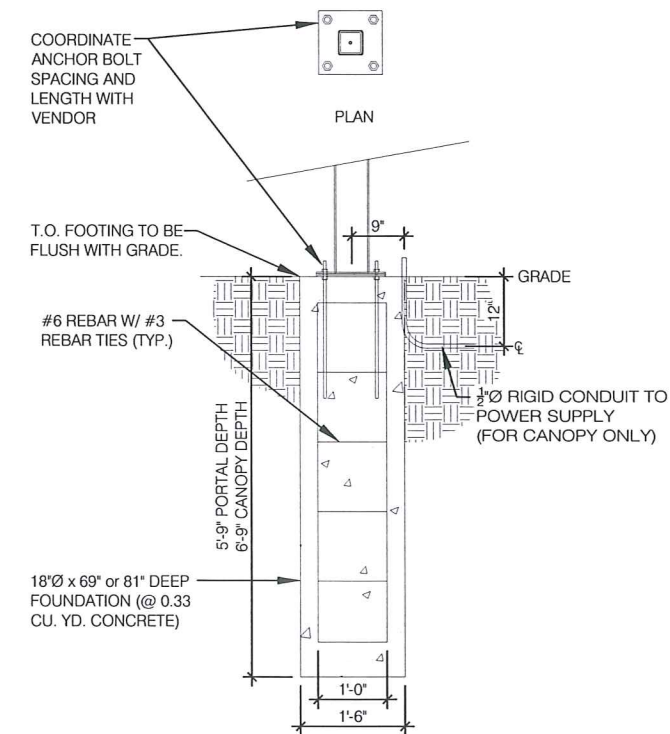
DEVICE	POWER	DATA
DIRECTIONAL	(1) 3/4"	-
DCB	(1) 3/4"	(3) 1"
MENU BOARD	(1) 3/4"	-



**MENU BOARD FOOTING** 1:16 SCALE **1**



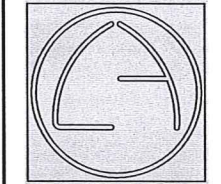
**LIGHT POLE FOOTING** N.T.S. **12**



**EVOLUTION FOOTINGS** 1:16 SCALE **2**

NOT USED **20**

NOTE USED **16**



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2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48083  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020

**DATE ISSUE**

4-2-2013	INITIAL UDC SUBMITTAL
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4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL
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CONTRACT DATE: --  
BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
SITE NUMBER: 309441  
STORE NUMBER: --

TACO BELL

698 S. Whitney Way  
Madison, WI

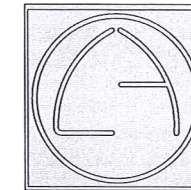


MEDIUM40-NI

**SITE**  
**DETAILS**

**AC1.1**

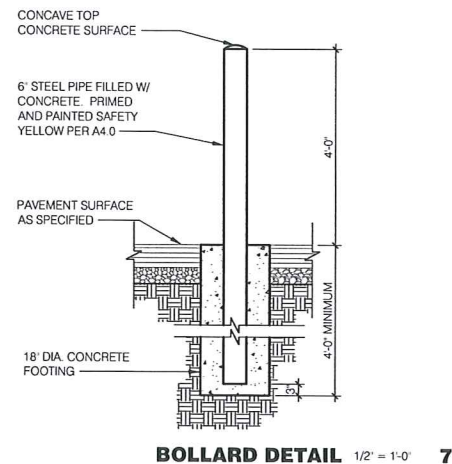
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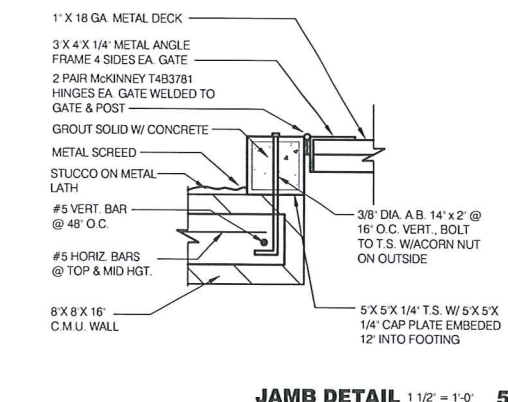
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SUITE 200  
TROY, MICHIGAN 48063  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020



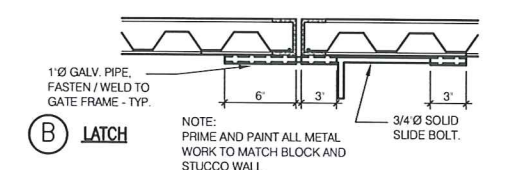
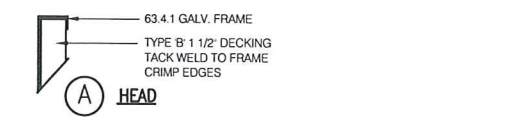
**BOLLARD DETAIL** 1/2" = 1'-0" 7



**JAMB DETAIL** 1 1/2" = 1'-0" 5

**GATE NOTES:**  
(2) EQUAL (=6'-0") WIDE x 6'-0" HIGH MTL. GATES, TYPE B 1 1/2" DECKING, 22GA. W/ T.S. 5 X 5 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH. ALL CONNECTIONS, TYP. PRIME AND PAINT COLOR TO MATCH PLASTER.

**GATE HARDWARE:**  
1. ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.  
2. **GATE STOP** - MUSH-ROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.



**NOT USED** N.T.S. 8

**NOT USED** N.T.S. 9

**NOTES:**  
1. LOCATION SHALL BE AS DEPICTED ON THE PROJECT'S SITE PLAN (SHEET C0.1).  
2. AREAS SHALL BE ACCESSIBLE FOR DELIVERY AND COLLECTION.  
3. GATES SHALL BE CORRUGATED METAL DOORS AND INSTALLED AS APPROVED DURING THE SITE PLAN APPROVAL PROCESS.  
4. GATE LATCHES SHALL BE OF THE PLUNGER BAR TYPE OR EQUIVALENT AS APPROVED BY THE TACO BELL.  
5. SEE ATTACHED SPECIFICATIONS, NOTES AND PROCEDURES

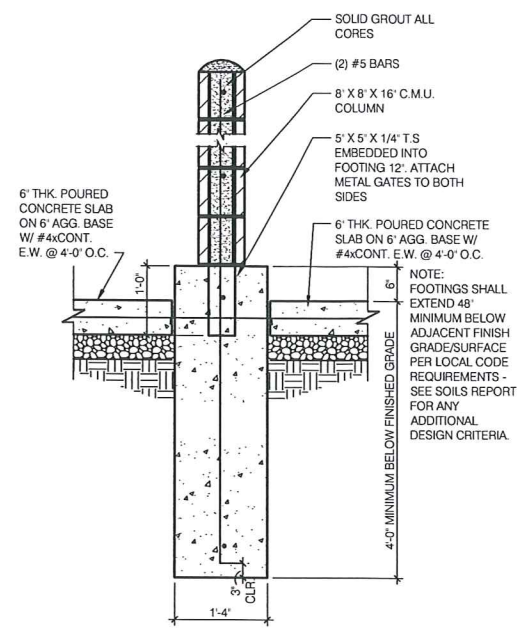
**TRASH ENCLOSURE DETAIL MATERIAL SPECIFICATIONS:**  
1. CONCRETE BLOCK: 8" MINIMUM IN SIZE. ASTM C90.  
2. REINFORCING STEEL: ASTM 615, GRADE 40.  
3. ACCEPTABLE SOIL TYPES:  
A. MIN. ALLOWABLE BEARING: 1000 LBS/SQ. FT.  
B. MIN. LATERAL BEARING: 100 LBS/SQ. FT./FT.  
C. MAX EXPANSION INDEX: 20  
4. CONCRETE: 2000 LBS/SQ. IN. IN 28 DAYS.  
5. MORTAR: 1:1 1/2 (PORTLAND CEMENT: HYDRATED LIME OR LIME PUTTY: SAND, BY VOLUME) MIXED TO PLASTIC CONSISTENCY. REFER TO UBC TABLE 24-A FOR OTHER TYPES OF CEMENT.  
6. GROUT: 1:1 1/2 (PORTLAND CEMENT: HYDRATED LIME OR LIME PUTTY: SAND BY VOLUME) MIX TO FLOW WITHOUT SEGREGATION. GROUT MAY CONTAIN 2 PARTS PEA GRAVEL (3/8" MAX. SIZE).  
7. MINIMUM COMPRESSIVE STRENGTH: 2000 LBS/SQ. IN. REFER TO UBC TABLE 24-B FOR OTHER TYPES OF CEMENT.

**GENERAL NOTES:**  
1. THIS DESIGN IS FOR THE DESIGN CONDITIONS FOR THE PROPOSED SITE AND IS INTENDED TO MEET OR EXCEED ALL APPLICABLE CODES AND ORDINANCES.  
2. FOOTINGS SHALL BE IN NATURAL SOIL OR CERTIFIED FILL.  
3. BLOCKS TO BE STAGGERED (RUNNING BOND).  
4. ALL CELLS CONTAINING REINFORCING STEEL SHALL BE GROUTED SOLID.  
5. APPROVED GROUT STOPS ARE REQUIRED BELOW HORIZONTAL STEEL IN PARTIALLY GROUTED WALLS. BAGS, NEWSPAPERS, ETC. ARE NOT APPROVED GROUT STOPS.  
6. INITIAL BED JOINT SHALL BE 1/4" MIN. 1" MAX. SUBSEQUENT BED JOINTS SHALL BE 1/4" MIN. 5/8" MAX.  
7. VERTICAL CONTINUITY OF CELLS SHALL BE UNOBSTRUCTED. MORTAR PROJECTIONS SHALL NOT EXCEED 1/2" FOR 6" AND LARGER BLOCK. MORTAR DROPPINGS OR OTHER FOREIGN MATTER ARE NOT PERMITTED IN CELLS AND MUST BE REMOVED.  
8. EXPANSION JOINTS REQUIRED AT 60'-0" MAX. INTERVALS.  
9. REQUIRED BAR LAPS:  
A. VERTICAL STEEL: 36 BAR DIAMETERS  
B. HORIZONTAL STEEL: 40 BAR DIAMETERS  
C. WIRE JOINT REINFORCEMENT IN THE MORTARED BED JOINT: 75 WIRE DIAMETERS OR IN ALTERNATE BED JOINTS OF RUNNING BOND, 54 DIAMETERS PLUS TWICE THE BED JOINT SPACING.  
10. WHERE HORIZONTAL WIRE JOINT REINFORCEMENT IS REQUIRED OR UTILIZED, IT SHALL BE EQUIVALENT TO TWO 3/16" DIAMETER BARS CONNECTED AT 16" INTERVALS BY NO. 9 GAUGE WELDED WIRE.  
11. FOR PIPES AND CONDUIT EMBEDDED IN MASONRY, REFER TO SEC. 24-07(g). UBC.  
12. 3" MIN. COVER REQUIRED FOR REINFORCEMENT IN CONCRETE WHICH IS CAST AGAINST EARTH.

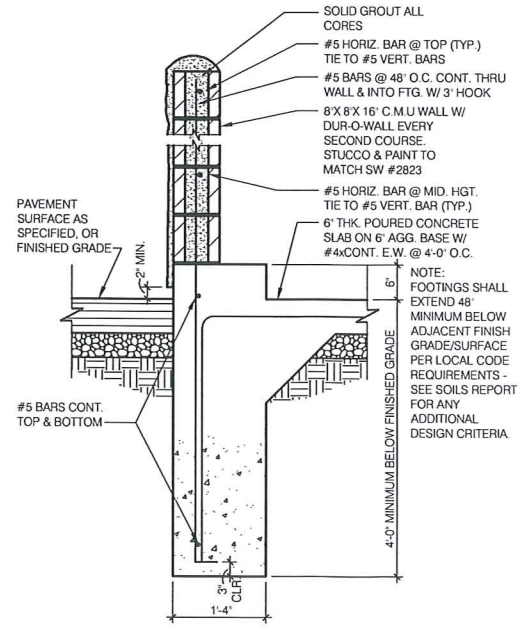
**INSPECTION PROCEDURES:**  
1. FOUNDATION: AFTER TRENCHES ARE DUG, STEEL IS TIED IN PLACE AND BEFORE ANY CONCRETE IS POURED.  
2. PRE-GROUT: AFTER ALL BLOCKS (EXCEPT CAP) ARE IN PLACE. VERTICAL AND HORIZONTAL STEEL IS IN PLACE, GROUT STOPS (FOR PARTIALLY GROUTED MASONRY) ARE IN PLACE. AND PRIOR TO GROUTING.  
3. FINAL: AFTER GROUT IS IN PLACE AND PRIOR TO PLACEMENT OF CAP.

**NOT USED** N.T.S. 10

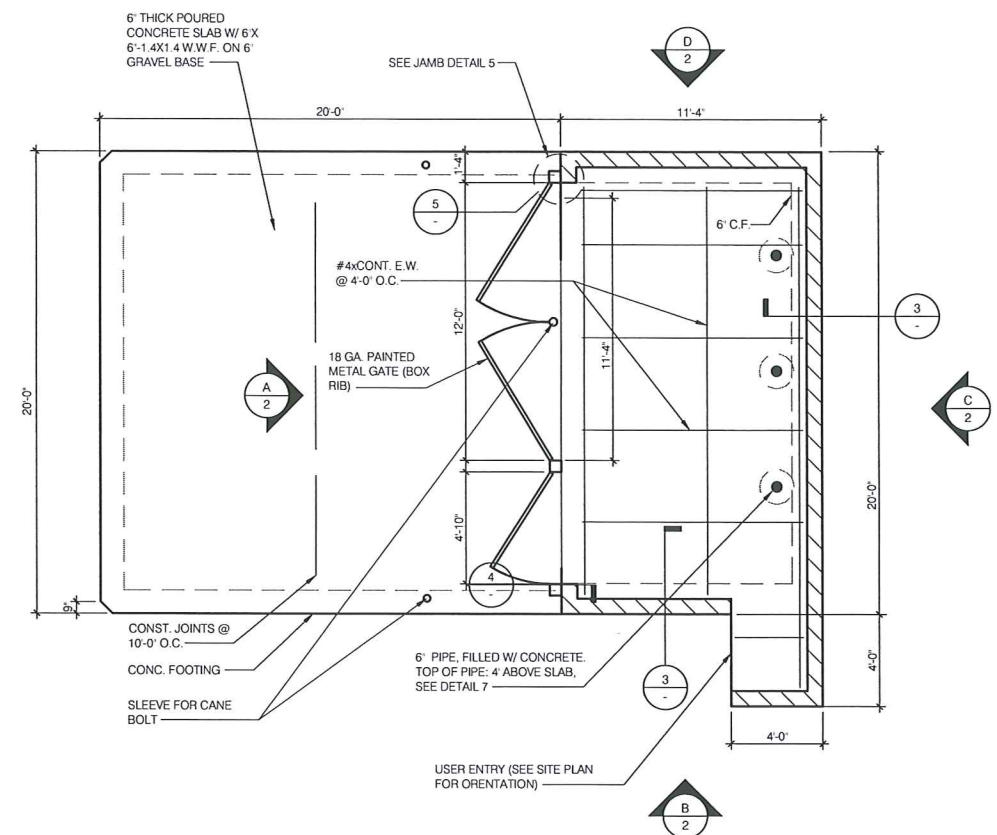
**GATE DETAILS** N.T.S. 6



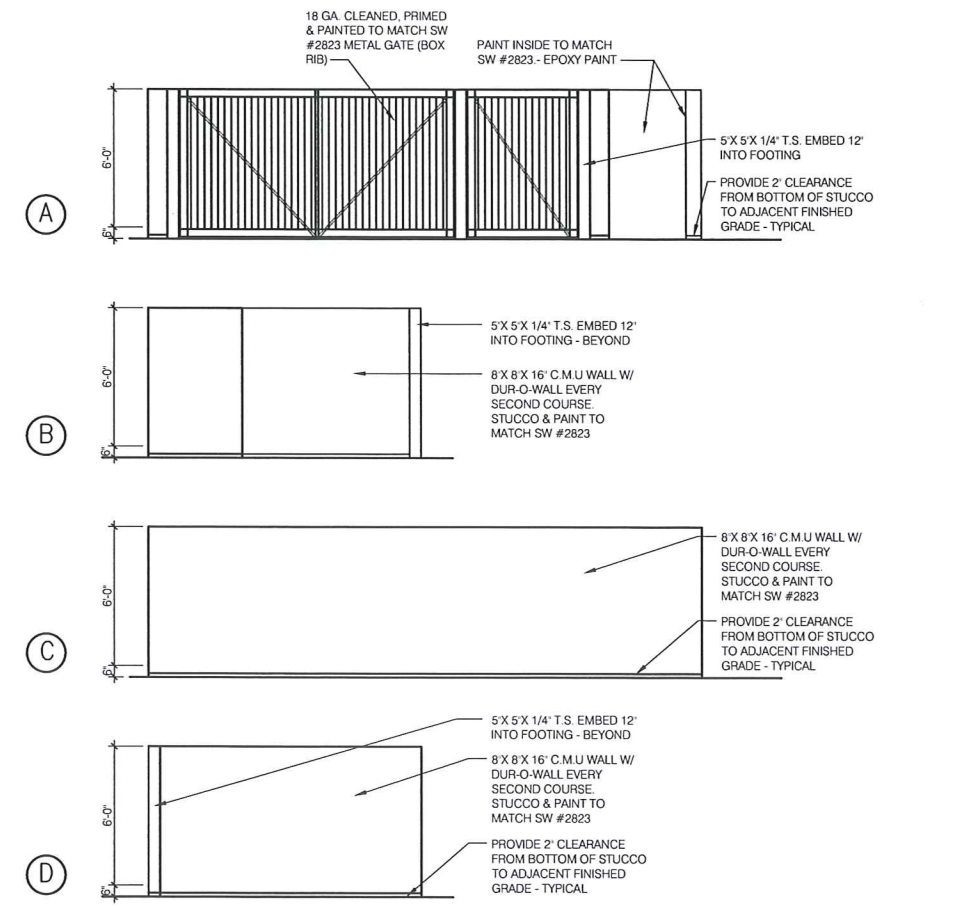
**SECTION** 3/4" = 1'-0" 4



**SECTION** 3/4" = 1'-0" 3



**PLAN VIEW** 1/4" = 1'-0" 1



**ELEVATIONS** 1/4" = 1'-0" 2

DATE	ISSUE
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CONTRACT DATE: --  
BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
SITE NUMBER: 309441  
STORE NUMBER: --

TACO BELL

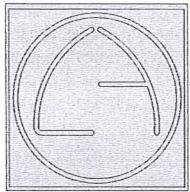
698 S. Whitney Way  
Madison, WI



**TRASH ENCLOSURE DETAILS**

**AC1.2**

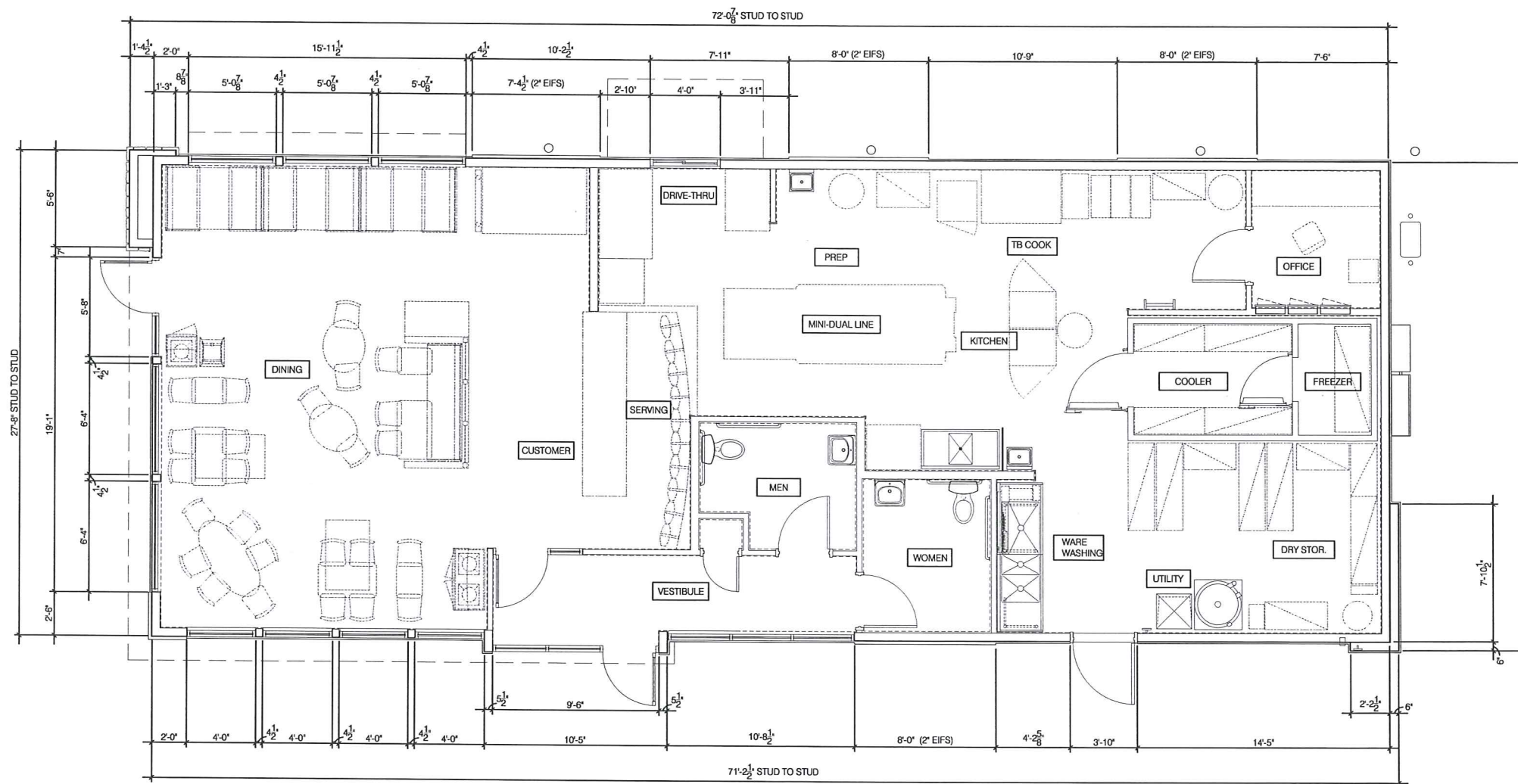
PLOT DATE: 7-3-13



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 TROY, MICHIGAN 48063  
 PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020



FLOOR PLAN 1/8" = 1'-0" A

DATE	ISSUE
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PLAN VERSION:	DEC 12-A
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TACO BELL

698 S. Whitney Way  
 Madison, WI



MEDIUM40-Ni

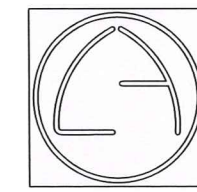
ARCHITECTURAL  
 FLOOR  
 PLAN

**A1.0**

PLOT DATE: 7-3-13



SOUTH ELEVATION 1/8"=1'-0" A



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TACO BELL

698 S. Whitney Way  
Madison, WI



MEDIUM40-Ni

ARCHITECTURAL  
EXTERIOR  
ELEVATIONS

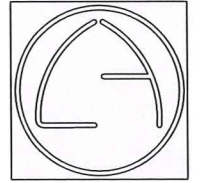
**A4.0**

PLOT DATE: 7-3-13

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 "CAMEL BACK"	LOTUSAN	NA08-0011
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"		
3	ACCENT COLOR	SHERWIN WILLIAMS	SW 2823 "ROOKWOOD CLAY"	LOTUSAN	NA08-0010
4	SLAT WALL AND VALANCE COLOR	VENDOR	SW 7034 "STATUS BRONZE" (EQUAL)		
5	PARAPET CAP COLOR	DUROLAST	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"
6	STONE WALL	BORAL - VERSA STONE	TIGHT CUT - " PLUM CREEK"		
7	STOREFRONT WINDOWS	TBD	" DARK BRONZE"		
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL		
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED "TAN" EQUAL ALTERNATE ALLOWED.		
10	BRICK WALL	BORAL - THIN BRICK	" TUSCAN BLEND "		

EXTERIOR FINISH SCHEDULE B

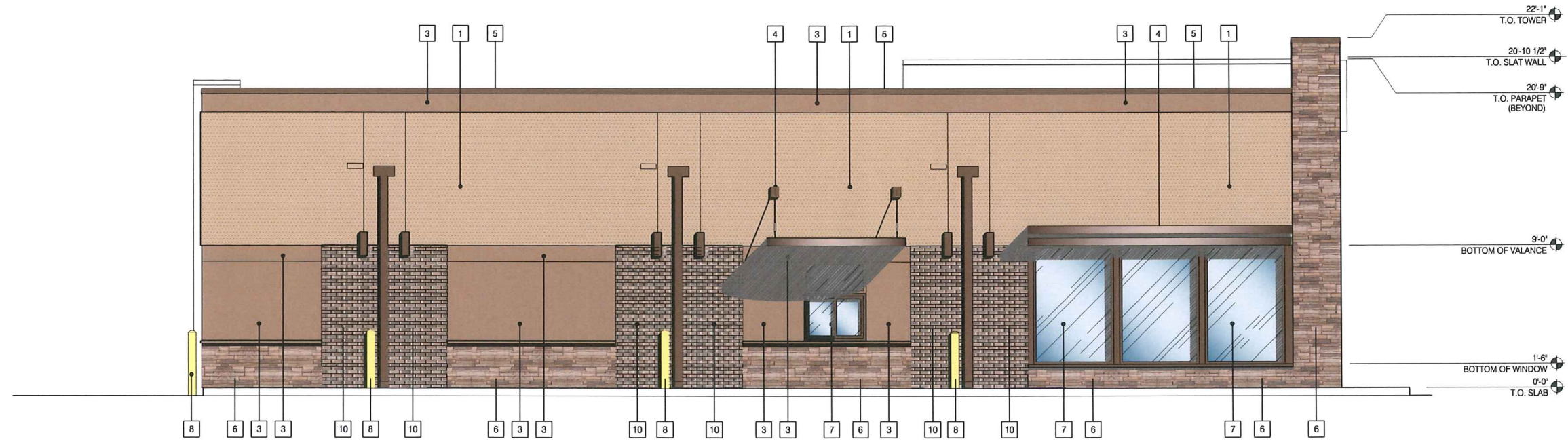




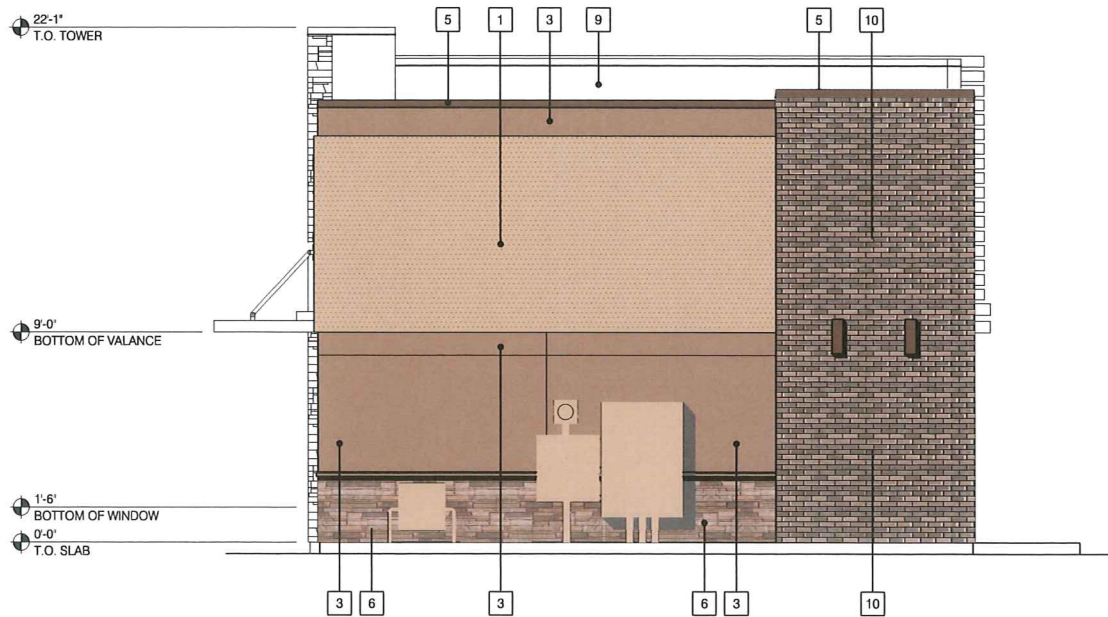
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ARCHITECTS  
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PROJECT NO. T12020



NORTH ELEVATION 1/8"=1'-0" A



WEST ELEVATION 1/8"=1'-0" C



EAST ELEVATION 1/8"=1'-0" B

DATE ISSUE

4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL
7-8-2013	REV. UDC & PC SUBMITTAL

CONTRACT DATE:	--
BUILDING TYPE:	MED-NI-40
PLAN VERSION:	DEC 12-A
SITE NUMBER:	309441
STORE NUMBER:	--

TACO BELL

698 S. Whitney Way  
Madison, WI



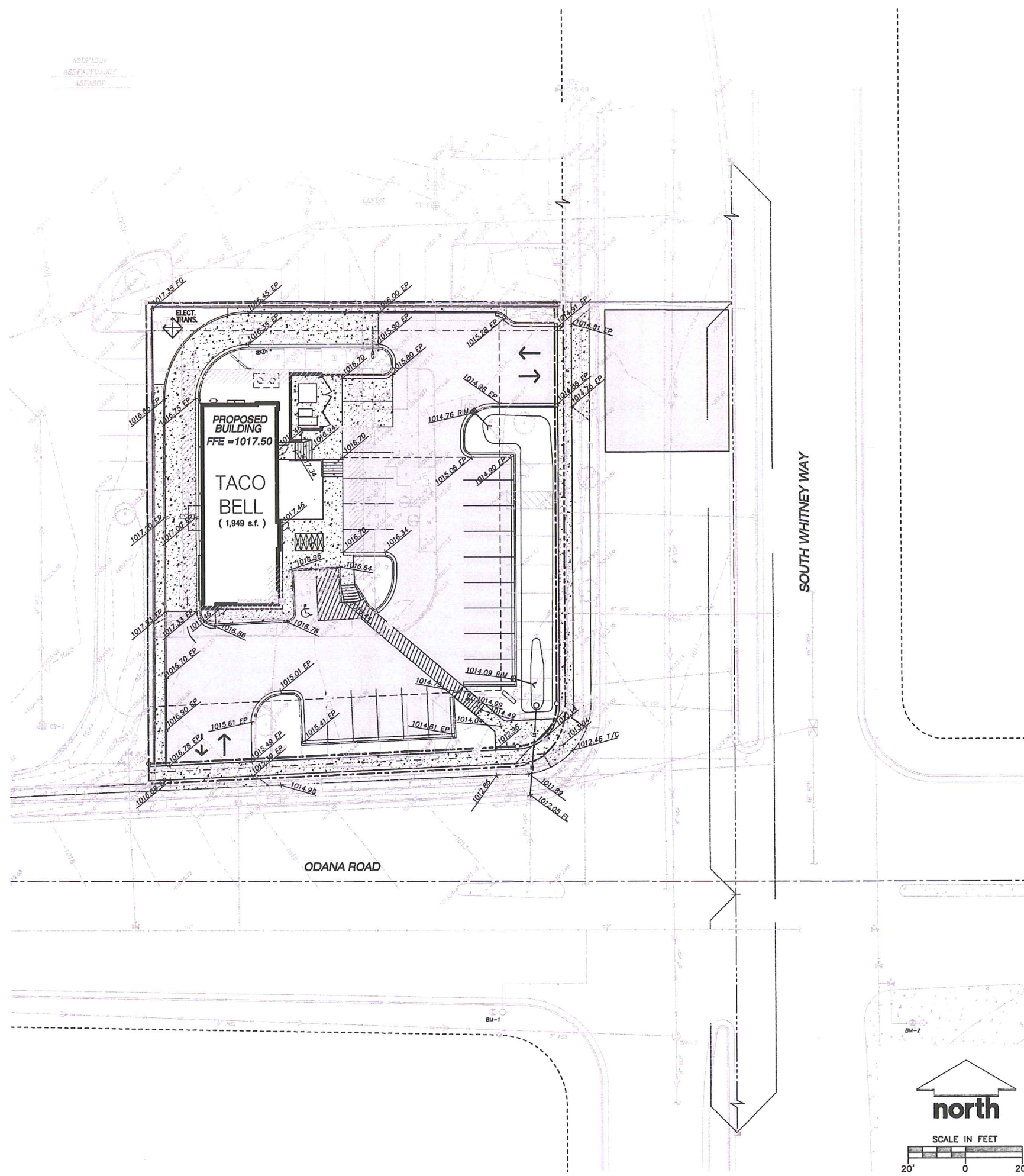
MEDIUM40-Ni

ARCHITECTURAL  
EXTERIOR  
ELEVATIONS

**A4.1**

PLOT DATE: 7-3-13

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**LEGEND (PROPOSED)**

- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- STORM SEWER
- ASPHALTIC PAVEMENT
- CONCRETE PAVEMENT

- SPOT ELEVATION**
- EP - EDGE OF PAVEMENT
  - FFE - FINISHED FLOOR ELEVATION
  - TC - TOP OF CURB
  - SW - SIDEWALK
  - FG - FINAL GRADE
  - RIM - STRUCTURE RIM

**GENERAL NOTES**

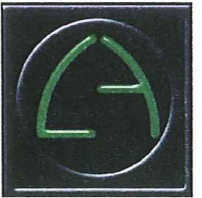
1. SURVEY CONDITIONS SHOWN BASED ON FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES THE WEEK OF MARCH 24, 2013.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. WORK IN ROW AND WITHIN PUBLIC EASEMENTS SHOWN ON THIS PLAN IS FOR GRAPHIC PURPOSES ONLY.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstda.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO CITY OF MADISON STANDARD SPECIFICATIONS FOR DETAILS.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR AND WSPS REQUIREMENTS.
15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
16. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES THE STORMWATER MANAGEMENT FACILITY JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48063  
PHONE FAX  
(248) 524-4700 (248) 524-9746

PROJECT NO. T12020

DATE	ISSUE
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4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL
7-8-2013	REV. UDC & PC SUBMITTAL

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BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
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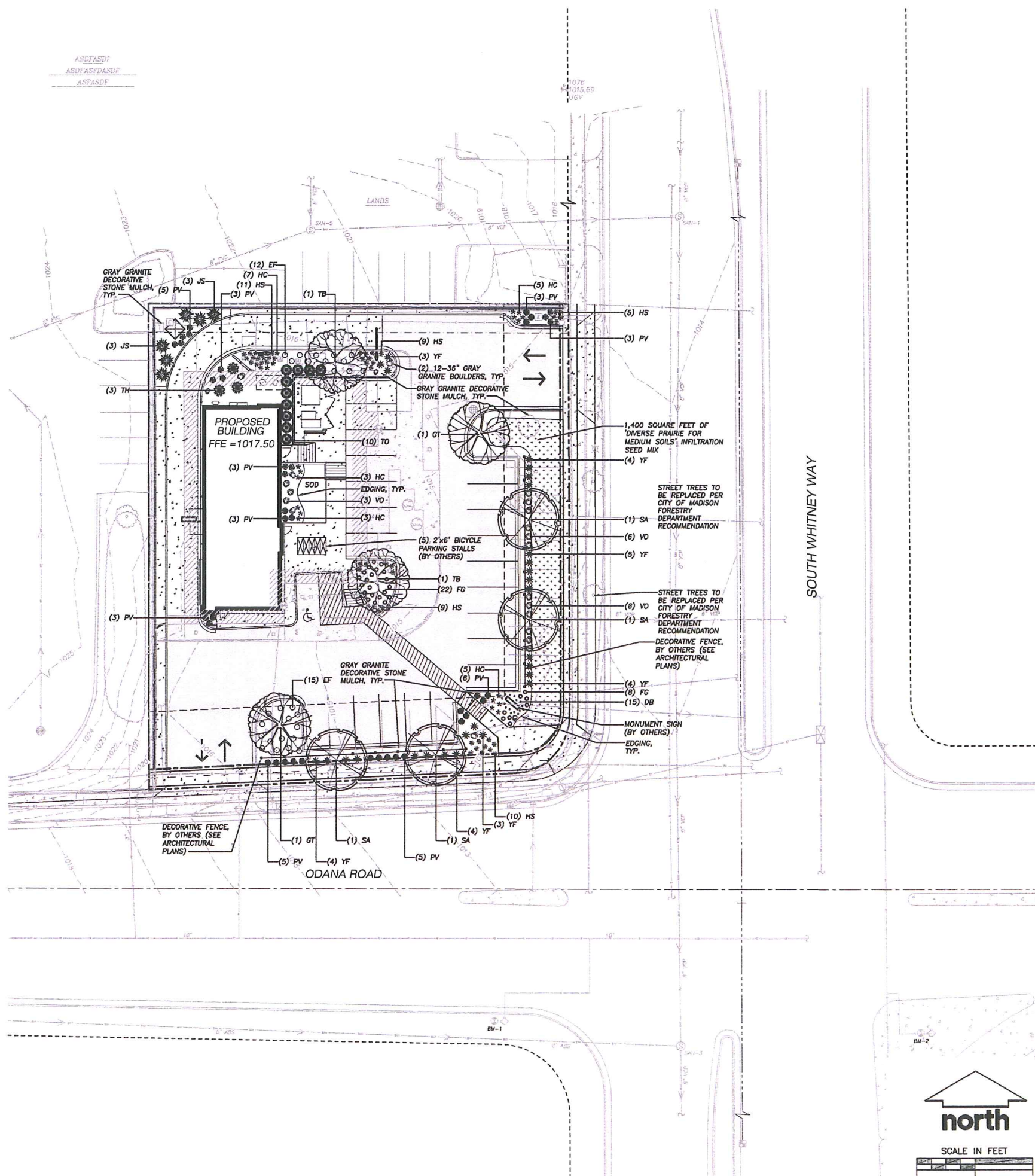


**GRADING &  
EROSION  
CONTROL PLAN**

**C 1.0**

PLOT DATE: 7-8-13

ARDYASDF  
ASDFASDFASDF  
ASTASDF



LEGEND (PROPOSED)

- TALL DECIDUOUS TREE
- MEDIUM/LOW DECIDUOUS SHRUB
- MEDIUM EVERGREEN SHRUB
- LOW EVERGREEN SHRUB
- PERENNIAL
- LOW DECIDUOUS SHRUB - GROUNDCOVER
- ORNAMENTAL GRASS
- PROPERTY LINE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- BIORETENTION BASIN PRAIRIE SEED MIX
- 12-36" GRAY GRANITE BOULDER
- POLYETHYLENE EDGING

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY DATED 03-24-2013, FOR EXISTING CONDITION NOTES AND LEGEND.
- REFER TO CIVIL PLANS FOR PROPOSED PRELIMINARY GRADING, EROSION CONTROL AND UTILITY PLANS.
- REFER TO SHEET L 2.0 FOR LANDSCAPE DETAILS AND SPECIFICATIONS.
- IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH THIS PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS AND TO WORK WITHIN ANY CITY OWNED LANDS.
- ALL WORK IN THE ROW OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS.
- NO SITE GRADING OUTSIDE OF PROPOSED LIMITS OF DISTURBANCE.

LANDSCAPE PLANT SCHEDULE

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	LS POINTS	EXTENSION	
<b>TALL DECIDUOUS TREES (CANOPY TREES)</b>								
BT	2	Brylone Honeylocust	GLIEDIA trichomanis var. intermedia Skyline	2 1/2" Cal	B&B	36	70	
SA	4	Korean Mountain Ash	SO KOREAN Mountain Ash	2 1/2" Cal	B&B	36	140	
TE	2	Boulevard Linden	TUL. American Boulevard	2 1/2" Cal	B&B	36	70	
<b>MEDIUM DECIDUOUS SHRUBS</b>								
YF	27	Adam's Needle Yucca	YUCCA filamentosa	10" Min. Ht.	#3 Cont.	2	54	
<b>LOW DECIDUOUS SHRUBS</b>								
VO	16	Dwarf European Cranberry V. Yucca	MEURHUM coccineus	10" Min. Ht.	#3 Cont.	2	30	
<b>MEDIUM EVERGREEN SHRUBS</b>								
TO	10	Berkman's Gold Arborvitae	Thuja orientalis Berkman's Gold	10" Min. Ht.	#3 Cont.	2	20	
TH	2	Hornstrup Arborvitae	Thuja occidentalis Hornstrup	10" Min. Ht.	#3 Cont.	2	2	
<b>LOW EVERGREEN SHRUBS</b>								
JS	5	Baym Juniper	JUNIPERUS baymii	10" Min. Ht.	#3 Cont.	2	10	
<b>PERENNIALS</b>								
DE	16	Bouquet Purple Dianthus	DIANTHUS Bouquet Purple	2-4" Ht.	#1 Cont.	0	0	
HE	46	Elmer Dore Day Lily	HEMEROCALLIS Elmer Dore	10"-12" Ht.	#1 Cont.	0	0	
HC	25	Shrubby Candy Day Lily	HEMEROCALLIS Shrubby Candy	10"-12" Ht.	#1 Cont.	0	0	
<b>LOW DECIDUOUS SHRUBS - GROUNDCOVER</b>								
EF	27	Purple-leaved Wintercreeper Euonymus	EUONIMUS fortunei coloratus	10" Min. Ht.	#3 Cont.	2	54	
<b>ORNAMENTAL GRASSES</b>								
BY	20	Elijah Blue Fescue	FESTUCA glauca 'Elijah Blue'	40" Min. Ht.	#2 Cont.	2	50	
EV	26	Shenandoah Switch Grass	PANICUM virginicum 'Shenandoah'	10" Min. Ht.	#2 Cont.	2	70	
							TOTAL POINTS=	613



**L + A**  
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2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48068  
PHONE (248) 524-4700 FAX (248) 524-5711  
PROJECT NO. T1202

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMIT
4-9-2013	REVISED UDC SUBMIT
4-22-2013	REVISED PER
6-19-2013	UDC and PC SUBMIT
7-08-2013	UDC and PC SUBMIT

CONTRACT DATE:  
BUILDING TYPE: MED-N  
PLAN VERSION: DEC 1  
SITE NUMBER: 309  
STORE NUMBER:

TACO BELL  
698 S. Whitney Way  
Madison, WI



LANDSCAPE PLAN

L 1.0

PLOT DATE: 4/2

**CITY OF MADISON LANDSCAPE WORKSHEET**  
Section 28.142 Madison General Ordinance

Project Location/Address: 698 S. WHITNEY WAY, MADISON, WI  
Name of Project: TACO BELL  
Owner/Contact:  
Contact Phone: Contact Email:

**Landscape Plan for existing lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect.**

**Landscape Calculations and Distribution**  
Required landscaped area shall be calculated based upon the total developed area of the property. Developed area is defined as all parts of the site that are not left in a natural state within a single contiguous boundary, including building footprints, parking and loading areas, driveways, internal sidewalks, patios, and outdoor activity areas. Developed area does not include other land within required setbacks and natural areas on the same property that are left undisturbed.

(a) One (1) landscape unit shall be provided for each three hundred (300) square feet of developed area, with the exception of the (b) and (c) districts as specified in (b) below.  
Total square footage of developed area: **18,476**  
Developed area divided by three hundred (300) square feet = **61.59** Landscape Units

(b) Within the Industrial - Limited (I1) and Industrial - General (IG) districts, one (1) landscape unit shall be provided for every six hundred (600) square feet of developed area.  
Total square footage of developed area: \_\_\_\_\_  
Developed area divided by six hundred (600) square feet = \_\_\_\_\_ Landscape Units

(c) One landscape unit consists of five (5) landscape points. Landscape points are calculated as shown in the following table:  
Landscape units multiplied by five (5) landscape points = **310** Total Points Required

**Tabulation of Points and Credits**  
Use the table to indicate the quantity and points for all existing and proposed landscape elements. Calculations yielding a fraction up to one-half (1/2 or 0.5) shall be rounded down to the nearest whole number; fractions of more than one-half (1/2) shall be rounded up.

Plant Type/Element	Minimum Size at Installation	Points	Credits for Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Ornamental tree	2 1/2 inch caliper	33			8	280
Ornamental tree	1 1/2 inch caliper	15				
Evergreen tree	3 feet tall	15				
Shrub deciduous	18" or 3 gallon container size	2		69		138
Shrub evergreen	18" or 3 gallon container size	2		19		57
Ornamental grasses	18" or 3 gallon container size	2		69		138
Ornamental decorative fencing or wall	n/a	4 per 10 linear ft.				465
Sub Totals						613

Total Number of Points Provided: **613**

3/2013

**PARKING LOT SITE INFORMATION BLOCK**

SITE ADDRESS: 698 S. WHITNEY WAY  
SITE ACREAGE: 23,383 SQ. FT. OR 0.54 ACRES  
NUMBER OF BUILDING STORIES (ABOVE GRADE): 1 STORY  
BUILDING HEIGHT: N/A  
TYPE OF CONSTRUCTION: N/A  
TOTAL SQUARE FOOTAGE OF BUILDING: 1,949 SQ. FT.

USE OF PROPERTY: RESTAURANT  
GROSS SQUARE FEET OF OFFICE: N/A  
GROSS SQUARE FEET OF RETAIL: N/A  
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A  
NUMBER OF EMPLOYEES IN PRODUCTION AREA: XX  
CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY:

NUMBER OF PROPOSED BICYCLE STALLS SHOWN: 5 STALLS

NUMBER OF PARKING STALLS SHOWN:  
SMALL CAR: N/A  
LARGE CAR: 18 PARKING STALLS  
ACCESSIBLE: 1 PARKING STALL  
TOTAL: 19 PARKING STALLS

DEVELOPMENT FRONTAGE LANDSCAPING:  
200 LINEAR FEET OF FRONTAGE  
1 TREE PER 30 LINEAR FEET OF FRONTAGE:  
10 TREES REQUIRED, 4 TREES PROVIDED  
VARIANCE REQUESTED DUE TO SITE CONSTRAINTS  
-URBAN INTENSITY OF SITE  
-COMMERCIAL ACCESS ENTRY LOCATIONS

INTERIOR PARKING LOT LANDSCAPING:  
TOTAL DEVELOPED AREA: 18,476 SQ. FT.  
RE-DEVELOPMENT PARKING AREA: 12,800 SQ. FT.  
LANDSCAPE AREA REQUIRED (5%) = 640 SQ. FT.  
1 TREE PER 160 SQ. FT. = 4 TREES REQUIRED  
4 PARKING LOT TREES PROVIDED

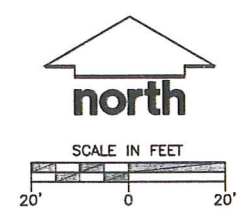
**L + A ARCHITECTS INC. A.I.A.**  
PREPARED FOR  
L+A ARCHITECTS, INC.  
2430 ROCHESTER COURT,  
STE. 200  
TROY, MI 48063

TO OBTAIN LOCATIONS OF PARASITIC UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
1-800-242-5511 TOLL FREE

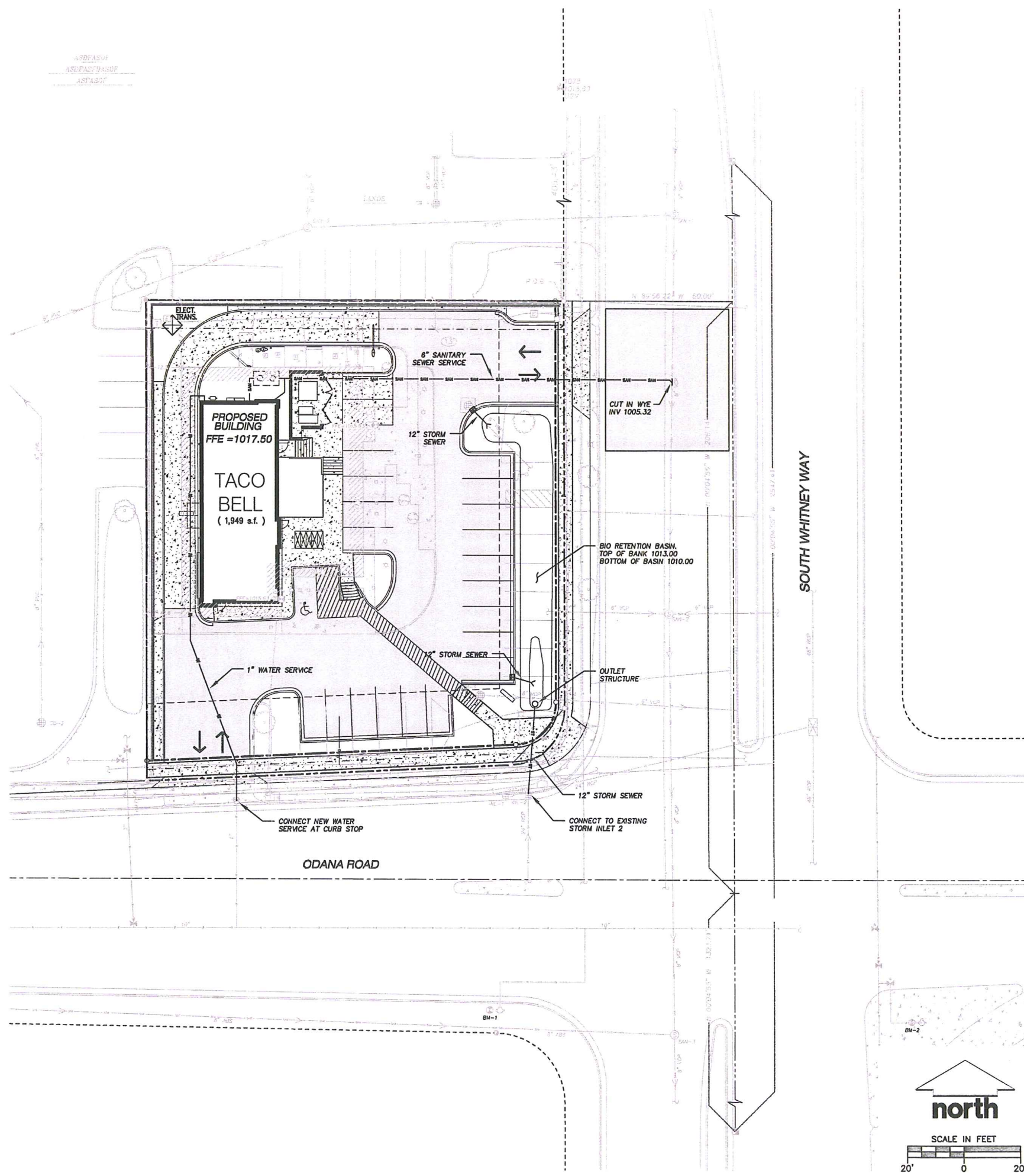
WISCONSIN STATE STATUTE (SELESTRA) REQUIRES MINIMUM THREE (3) WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE INFORMATION SHOWN ON THIS GRADING CONCERNING TREE AND LOCATION OF UNDERGROUND FACILITIES IS FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREBY. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST ON THE PROPERTY, THE OWNER WILL PROVIDE LOCATIONS OF THESE UTILITIES SERVING THE SITE AND THE BUILDING. THIS ENERGY CONVEYER IS LIMITED BY A VISUAL INSPECTION OF THE PROPERTY OR BY WHICH THE SUPERVISOR WOULD HAVE NO KNOWLEDGE.





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**LEGEND (PROPOSED)**

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- GAS SERVICE (DESIGN BY UTILITY)
- ASPHALTIC PAVEMENT
- CONCRETE PAVEMENT

**GENERAL NOTES**

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3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**UTILITY NOTES**

1. ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MADISON STANDARD CONSTRUCTION SPECIFICATIONS (STANDARD SPECIFICATIONS). CONTACT THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF ANY WORK WITHIN THE ROW TO SCHEDULE A PRECONSTRUCTION MEETING.
2. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
4. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
5. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
6. PROVIDE DE-WATERING ACTIVITIES AND PERMITS AS NECESSARY PER WDNR REQUIREMENTS AND WDNR TECHNICAL STANDARD 1061.
7. ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY.
8. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
9. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, AND WDNR.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
13. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
15. CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
16. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
17. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
18. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
19. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
20. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF UTILITIES WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE UTILITY CONTRACTORS.
21. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IT IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
22. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
23. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.
24. ALL CASTINGS SHALL BE NEENAH FOUNDRY CASTINGS AS SHOWN OR EQUAL.



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SITE NUMBER:	309441
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TACO BELL

698 S. Whitney Way  
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UTILITY  
PLAN

**C 2.0**

PLOT DATE: 7-8-13