

CHILD & ADOLESCENT PSYCHIATRY EXPANSION

UNITYPOINT HEALTH - MERITER
MADISON, WISCONSIN

LAND USE

FINAL APPROVAL APPLICATION

AUGUST 1, 2018 (RESUBMITTED SEPTEMBER 28, 2018)

Consultants

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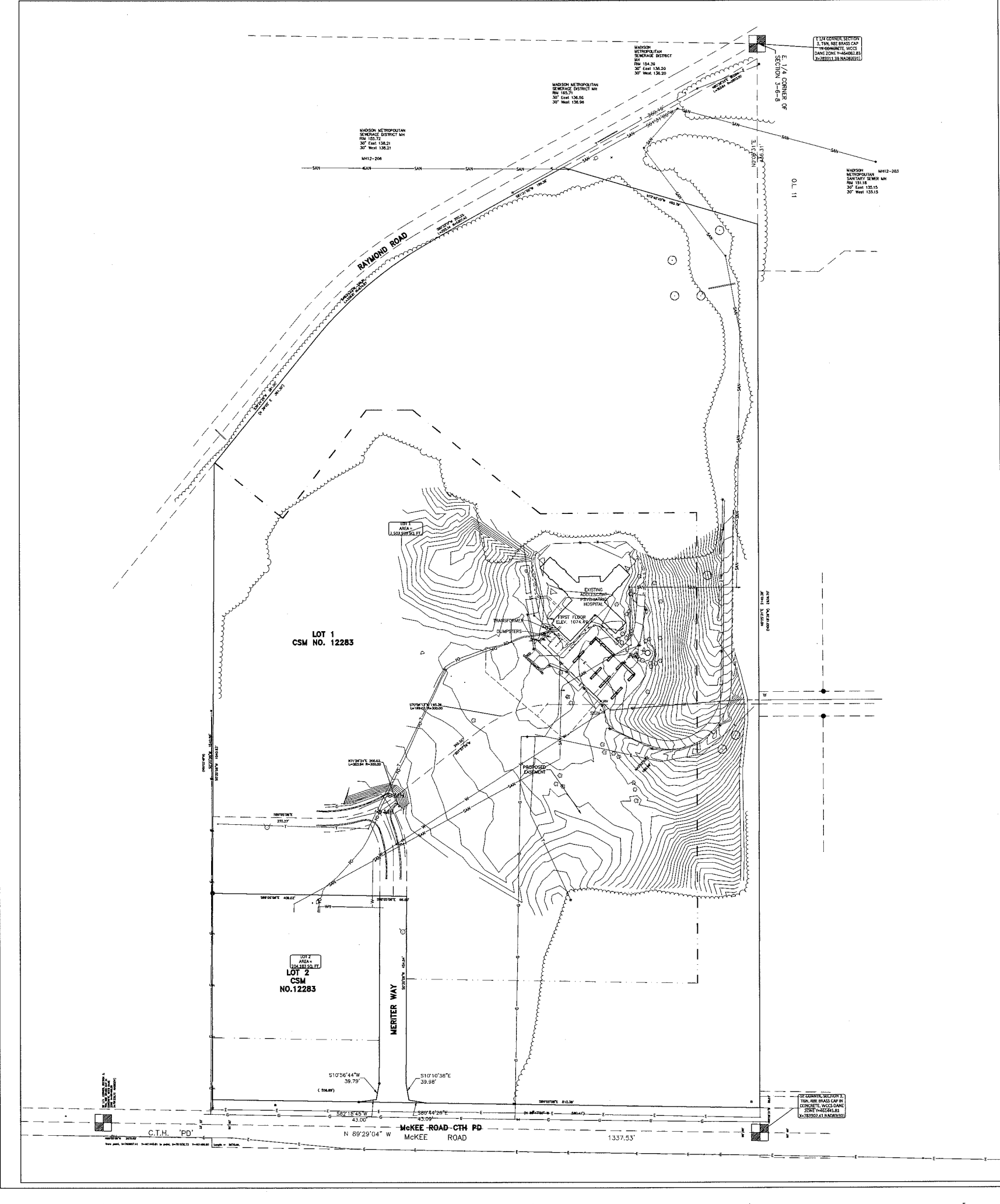
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TITLE SHEET

Sheet No.

100

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UDC Submitted	18_0801
UDC Submitted - rev	18_0831
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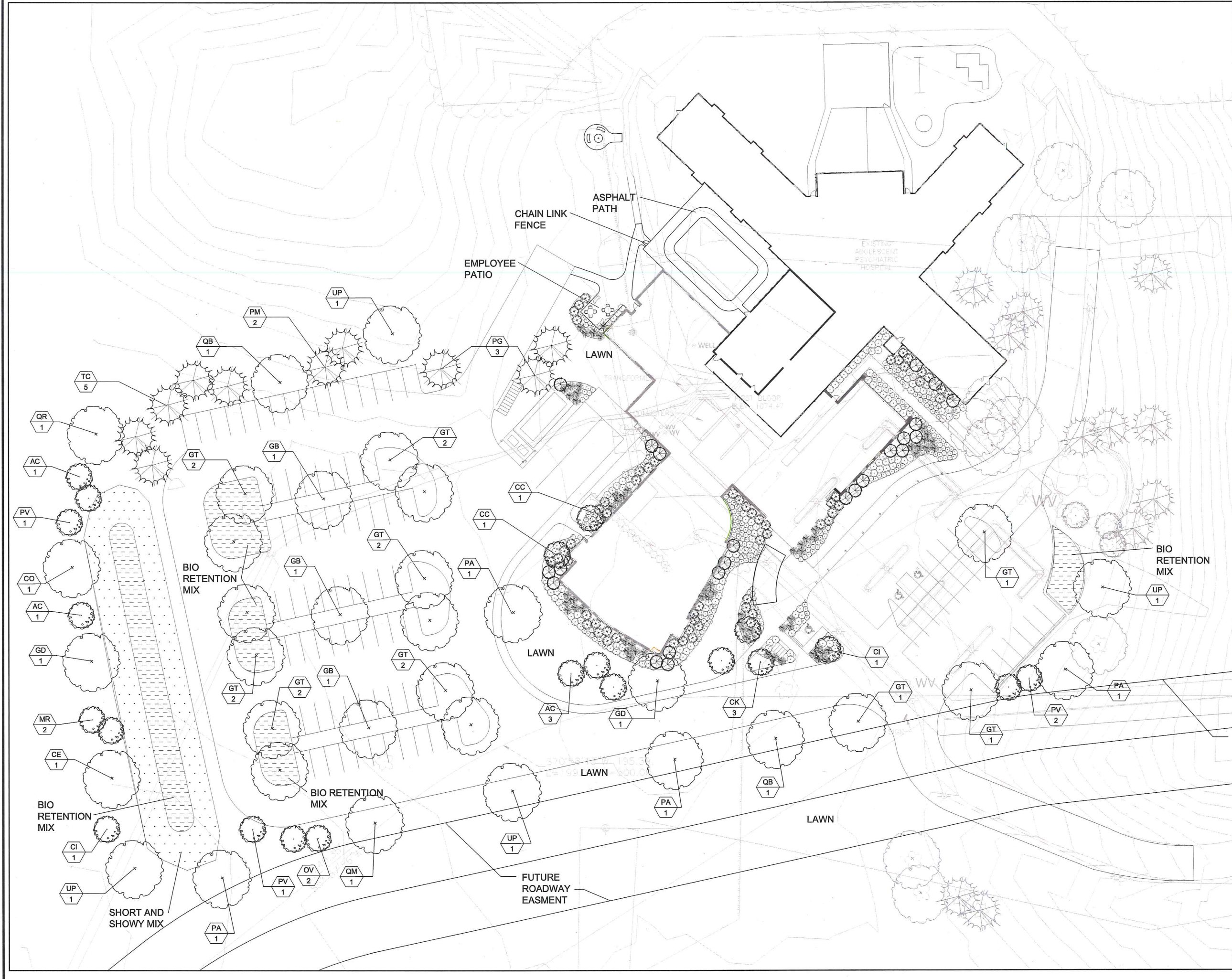
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Sheet Title
Overall Landscape Plan

Sheet No.

200.LP



A
B
C
D
E
F
G
H

1 2 3 4 5 6 7

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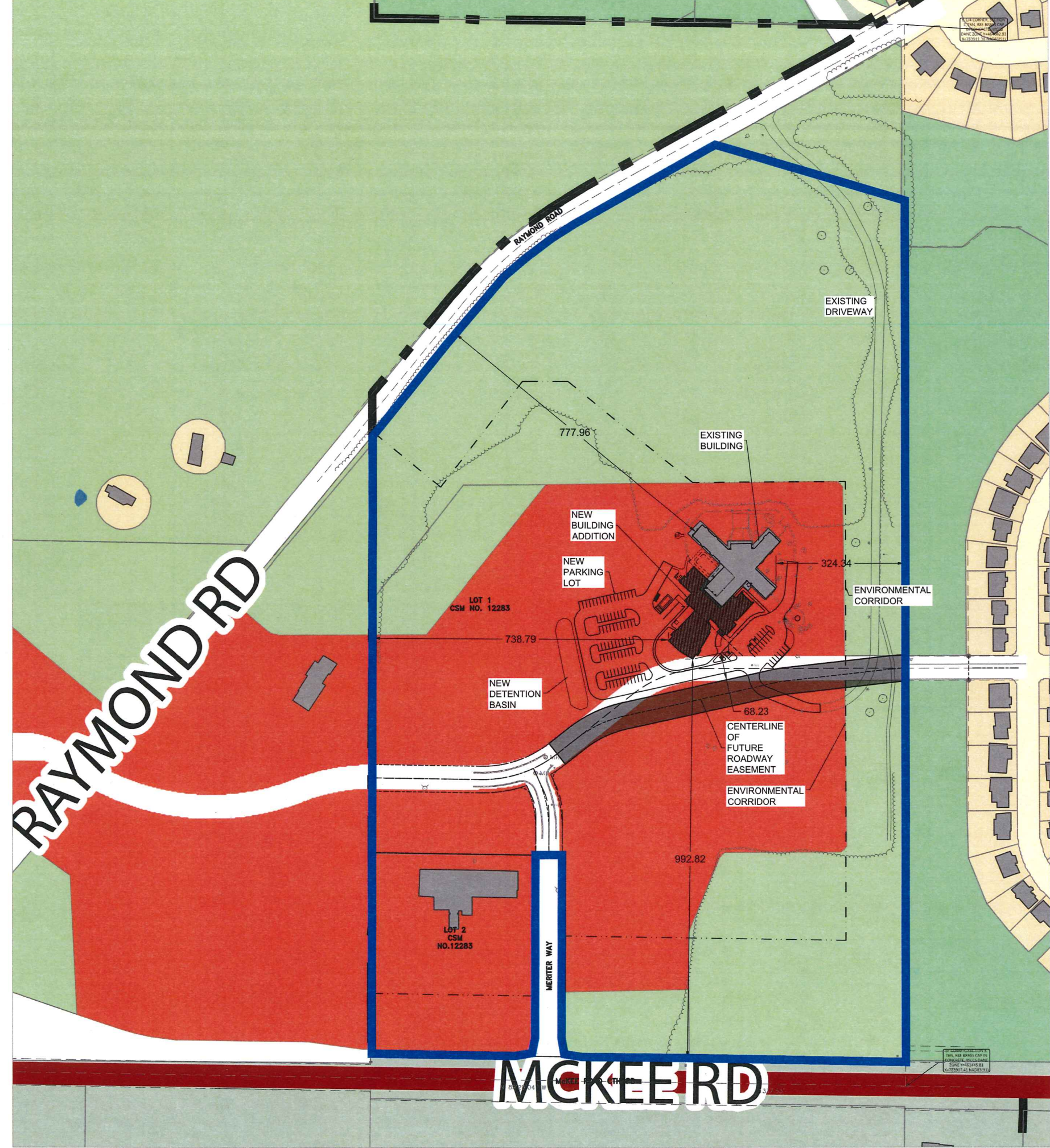
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BACKGROUND MAP IS THE HIGH POINT - RAYMOND NEIGHBORHOOD DEVELOPMENT PLAN UPDATE DATED MAY 2017 BY CITY OF MADISON PLANNING DIVISION

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OVERALL SITE PLAN

Sheet No. _____

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B | W | B | R

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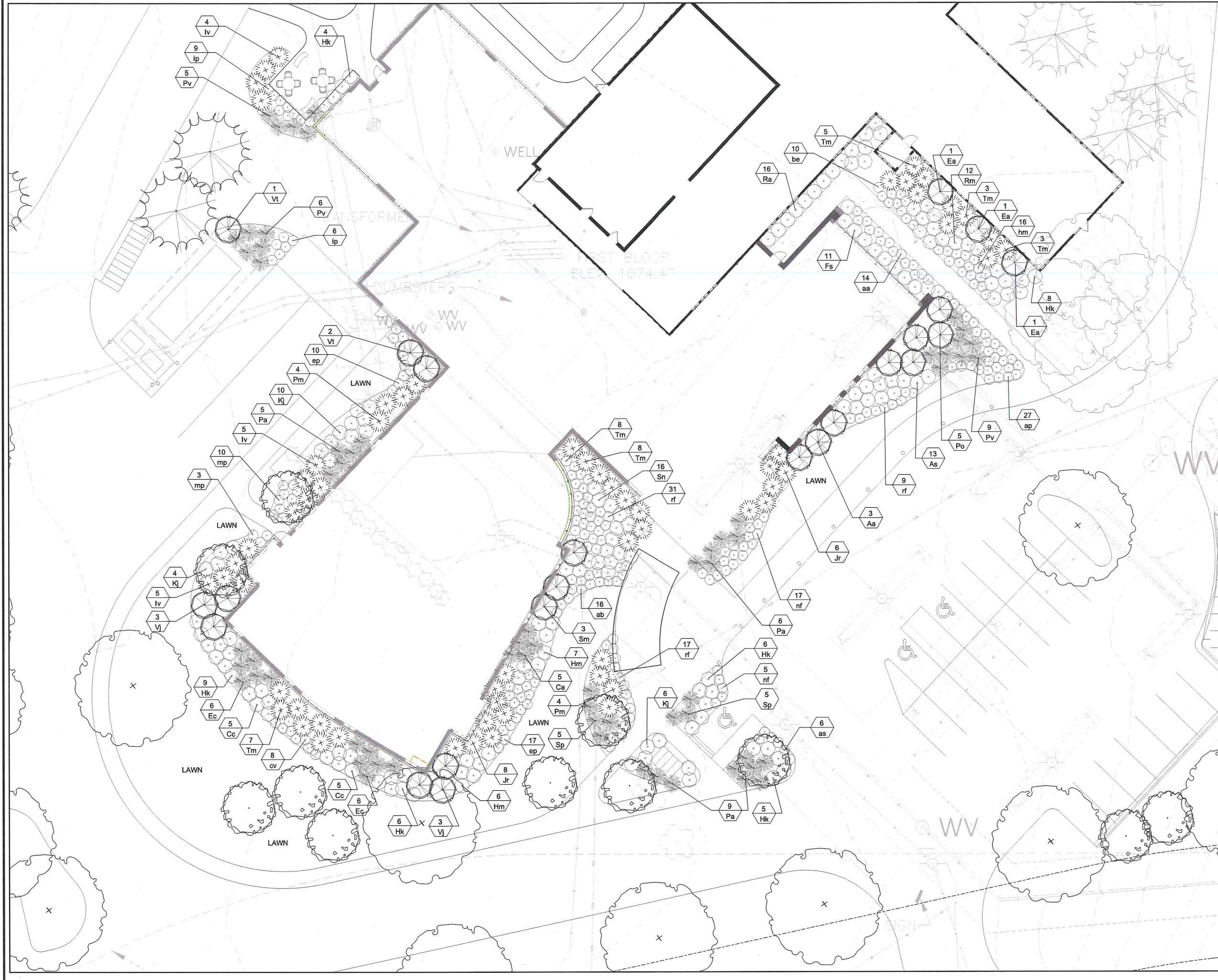
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Sheet Title
Landscape Enlargement Plan

Sheet No.

201.LP



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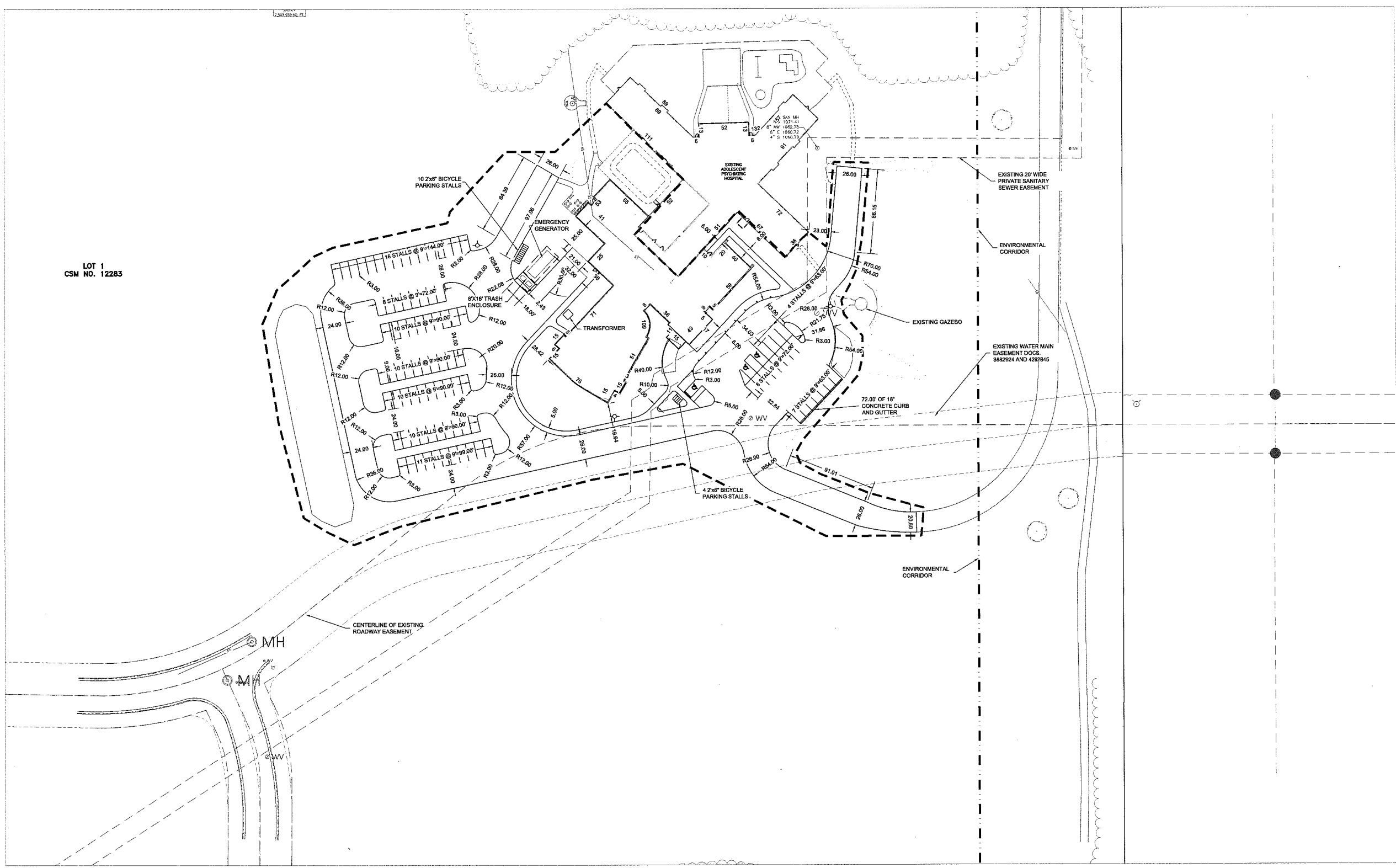
Keyplan

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Sheet Title: **SITE PLAN**

Sheet No. _____

202.AS



- GENERAL**
1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.
 2. ALL ELEVATIONS ARE REFERENCED TO THE LOCAL DATUM AND BASED ON A SURVEY PERFORMED BY ONEDA ENGINEERING SOLUTIONS ON JULY 25, 2018.
 3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.
 4. ALL STAKES NECESSARY FOR THE CONTRACTOR TO DETERMINE LOCATION AND/OR GRADES FOR ANY SECTION OF THE WORK HEREIN DESCRIBED SHALL BE SET BY THE OWNER, OR THE OWNER'S REPRESENTATIVE.
 5. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.
 6. MATERIAL TESTS CONDUCTED BY ANY INDEPENDENT TESTING LAB MAY BE ORDERED BY THE ENGINEER OR OWNER. IF SUCH TESTING IS ORDERED, THE CONTRACTOR SHALL FURNISH THE SAMPLES AND THE COST OF TESTING SHALL BE PAID BY THE OWNER. RETESTING OF ANY FAILING TESTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
 7. ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.
 8. A PRE CONFERENCE MAY BE HELD PRIOR TO CONSTRUCTION START UP.
 9. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS OF CONSTRUCTION AS MAY BE REQUIRED TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL DEVICES. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.

11. ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - EDITION OF 2015, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN.
12. WHERE SPECIFIC PORTIONS OF THESE SPECIFICATIONS ARE IN CONFLICT WITH THE STANDARD SPECIFICATIONS, THESE SPECIFICATIONS SHALL GOVERN.
13. THERE ARE NO FRONT OR SIDE YARD SETBACKS.
14. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.
15. CONTRACTOR SHALL REPLACE ANY CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK, CURB, AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED DUE TO UNDESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
16. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

Land Use Summary Table

Site Area	Lot 87.4E Ac / Disturbed A.35Ac
Total Building Sq.Ft.	36,171 S.F.
Building Footprint Sq.Ft.	36,171 S.F.
Number and size of units	20 Units
Unit Type	Hospital Room
Lot Coverage	21%
Usable Open Space	1,990.50 Sq. Ft.
Landscape Area	35,106 Sq. Ft.
Paved Area	77,269 Sq. Ft.

CURB, GRADE, BEAM, CURB, SIDEWALK, AND MISCELLANEOUS

1. WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS.
2. CONCRETE CURB SHALL BE INSTALLED WHERE INDICATED ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 601 OF THE STANDARD SPECIFICATIONS. DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL SHEET.
3. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.

Parking Lot Site Plan

Site Address	2021 Raymond Road
Site Acreage	Lot 87.4E Ac / Disturbed A.35Ac
Number of Stories Above Grade	7 Ex. Bldg.
Building Height	Approximately 20'
DIHR Type of Construction	Addition Type
Total Square Footage of Building	36,171 S.F.
Use of Property	Hospital
Gross Square Feet of Office	N/A
Gross Square Feet of Retail Area	N/A
Number of Employees in Warehouse	N/A
Number of Employees in Production Area	N/A
Capacity of Restaurant/Place of Assembly	N/A
Number of Bicycle Paths Shown	14
Number of Parking Stalls Shown	150
Small Car	0
Large Car	85
Accessible	5
Truck	100
Number of Trees Shown	87

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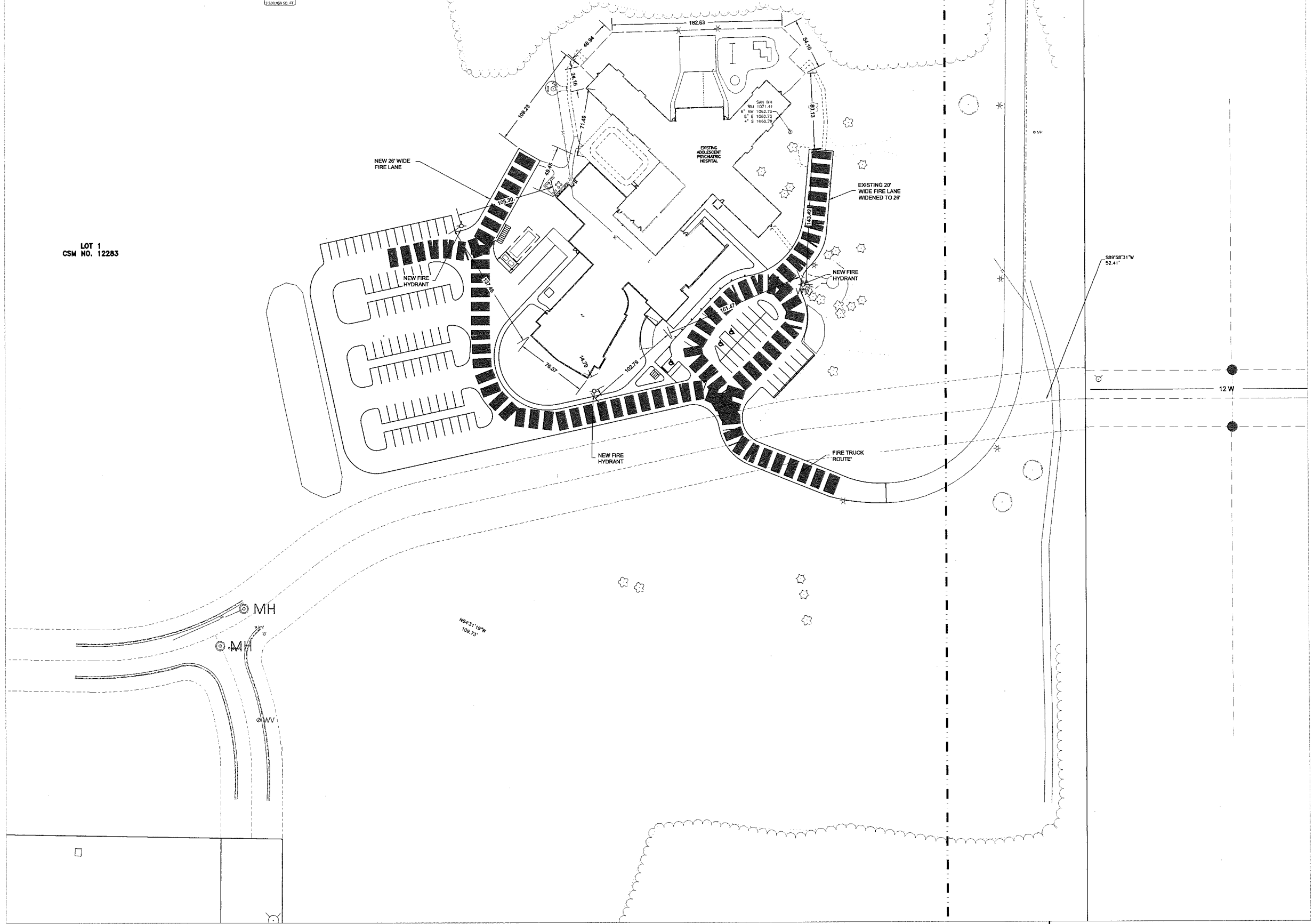
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FIRE ACCESS PLAN

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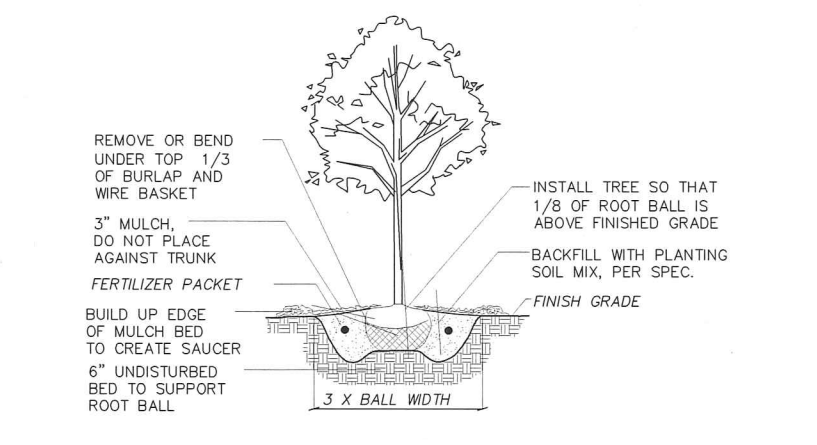
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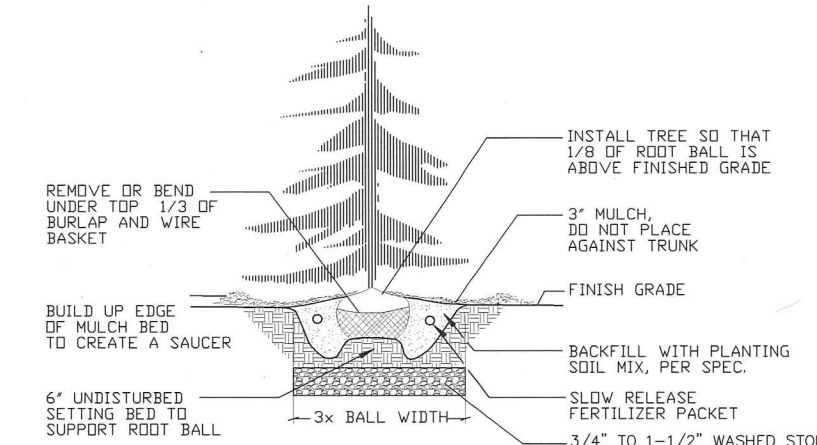
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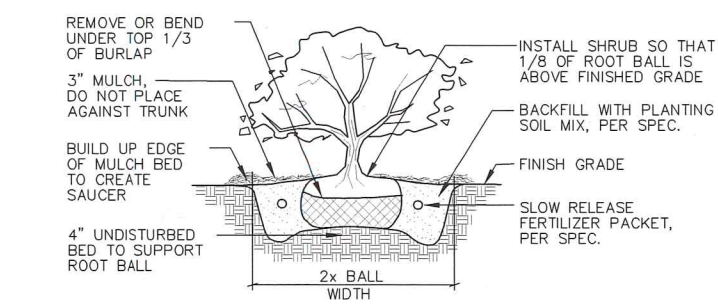




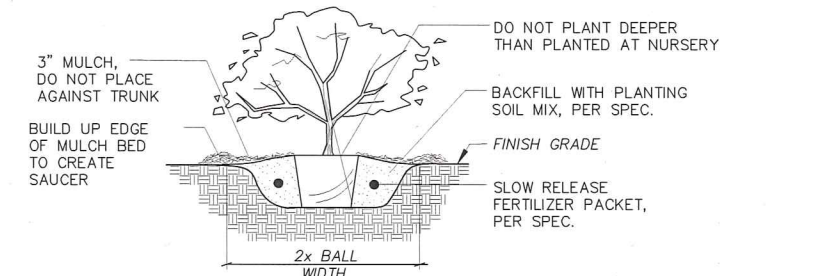
1 B&B TREE PLANTING DETAIL
L105 NTS



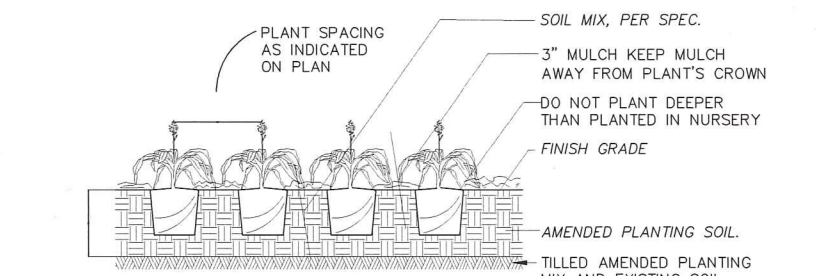
2 B&B EVERGREEN TREE PLANTING DETAIL
L105 NTS



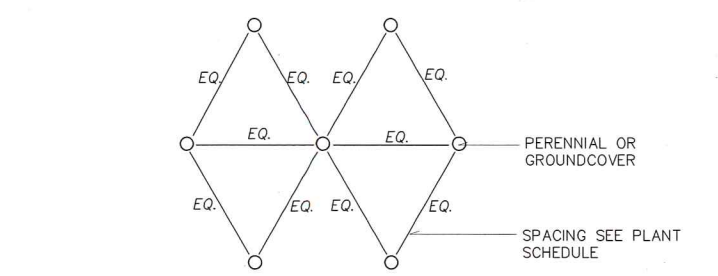
3 B&B SHRUB PLANTING DETAIL
L105 NTS



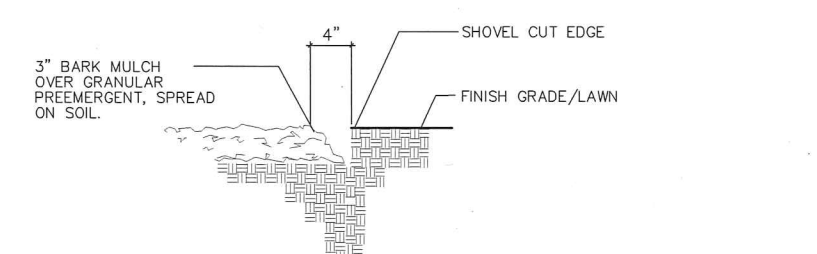
4 CONTAINER PLANTING DETAIL
L105 NTS



5 GROUND COVER / PERENNIAL PLANTING DETAIL
L105 NTS



6 PERENNIAL/GROUND COVER SPACING DETAIL
L105 NTS



7 BARK MULCH/SHOVEL CUT EDGE DETAIL
L105 NTS

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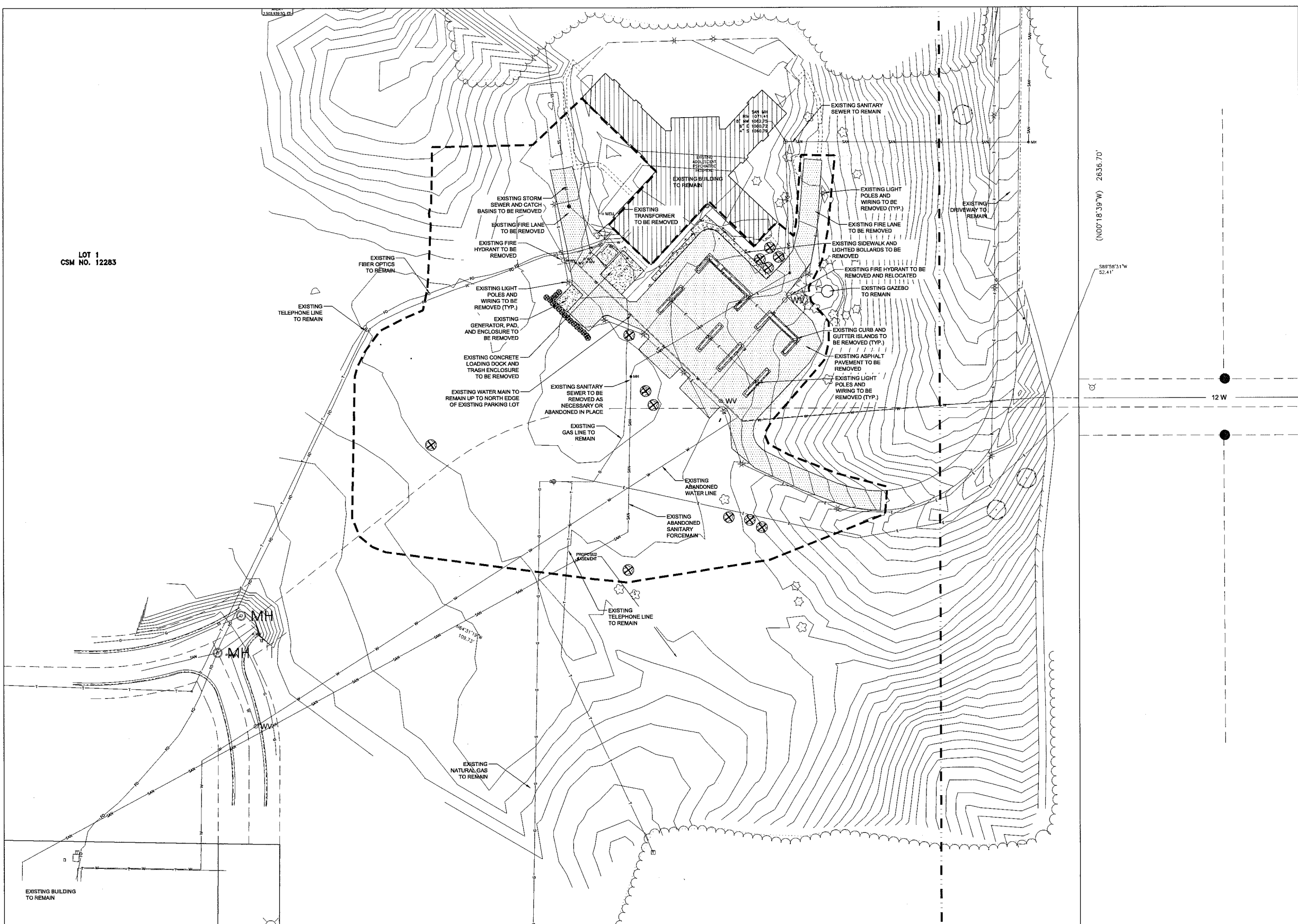
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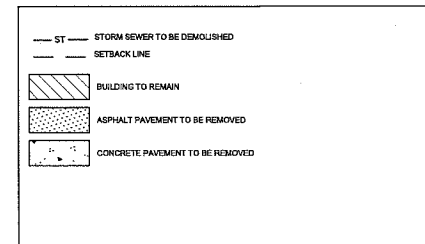
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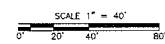
EXISTING BUILDING TO REMAIN

LEGEND



NOTES:

- 1. CONSTRUCTION FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION LINE.
- 2. ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY AND IS DAMAGED BY THE CONTRACTOR BUT THAT NEEDS TO BE REPLACED AS DETERMINED BY THE CITY ENGINEER SHALL BE REPLACED AT THE OWNER'S EXPENSE.
- 3. ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY NOT DAMAGED BY THE CONTRACTOR BUT THAT NEEDS TO BE REPLACED AS DETERMINED BY THE CITY ENGINEER SHALL BE REPLACED AT THE OWNER'S EXPENSE.
- 4. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- 5. ALL DAMAGE TO THE PAVEMENT ON EAST WASHINGTON AVENUE, SOUTH PATERSON STREET, AND EAST MAIN STREET ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
- 6. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 7. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
- 8. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- 9. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (262-4816) PRIOR TO EXCAVATION TO ASSESS IMPACT TO THE TREE AND ROOT SYSTEM.



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Sheet Title:

SITE GRADING

PLAN

Sheet No.

205.CG

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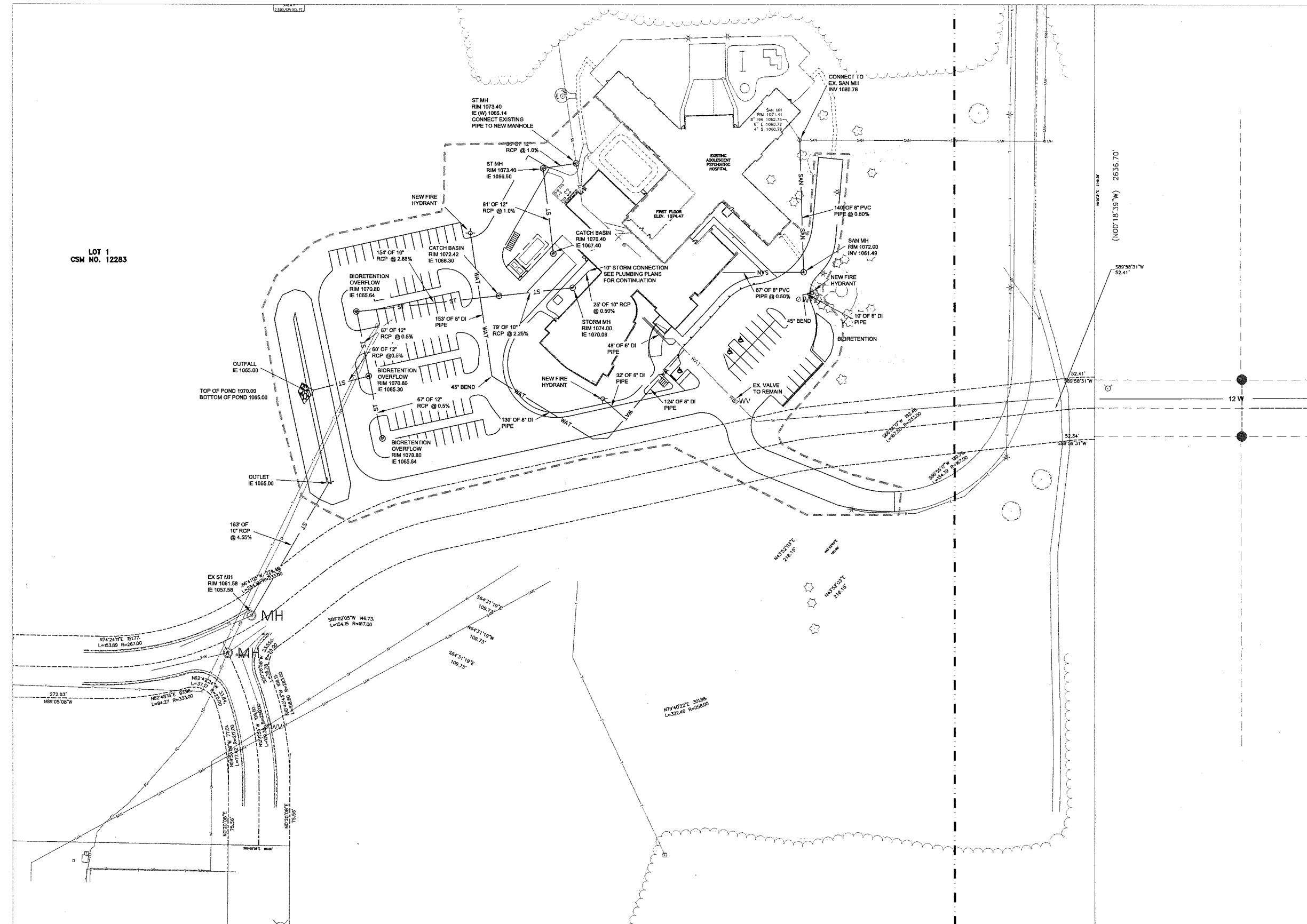
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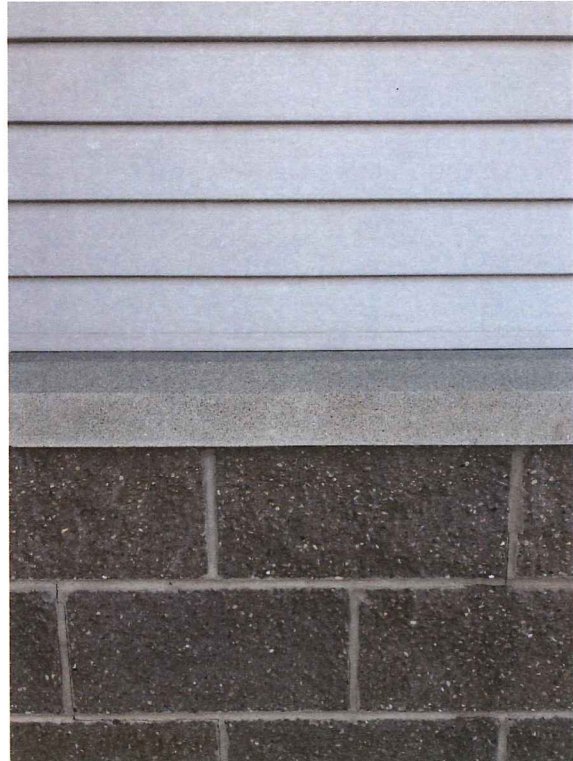
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EXISTING SITE CONDITIONS

Sheet No.

207.SC



VIEW OF ENTRY LOOKING FROM THE SOUTH



EXISTING EXTERIOR MATERIALS

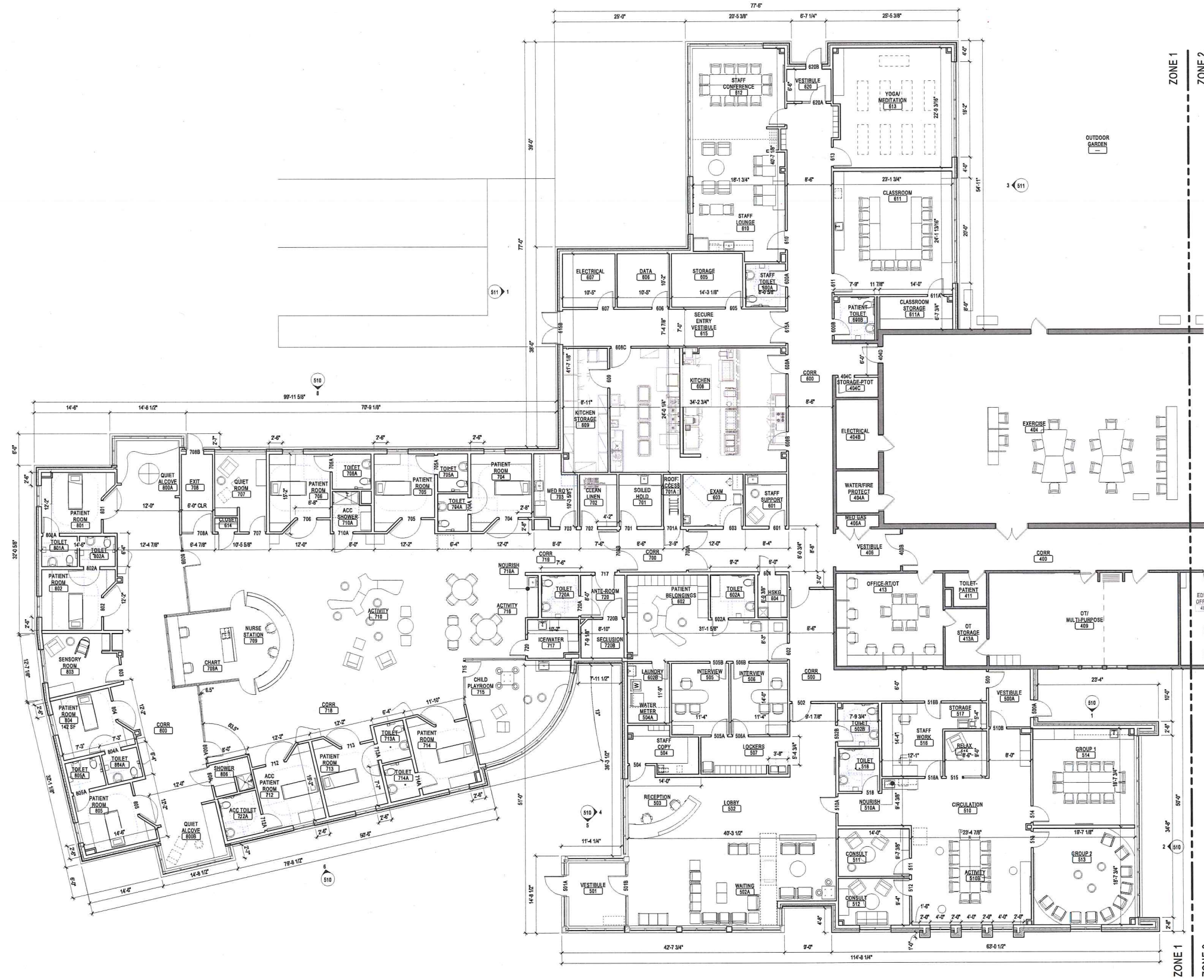


VIEW OF ENTRY DRIVE FROM RAYMOND ROAD



VIEW AT NORTHWEST CORNER

A
B
C
D
E
F
G
H



	WALL	M.100	EQUIPMENT NUMBER
	EXISTING WALL TO REMAIN	[Symbol]	WORKING POINT
101A	DOOR	1A (S)	INTERIOR SECTION REFERENCE TAG
	EXISTING DOOR AND FRAME TO REMAIN	1A (S)	EXTERIOR SECTION REFERENCE TAG
101B	INTERIOR BORROWED LIGHT	1A (S) 2A	INTERIOR ELEVATION REFERENCE TAG
E'-0"	DIMENSION LINE NOMINAL	1A (S) 10	EXTERIOR ELEVATION REFERENCE TAG
	PARTITION TAG	[Symbol]	PLAN DETAIL REFERENCE TAG
	OFFICE 101	[Symbol]	ROOM NAME AND NUMBER
100'-0"	FLOOR ELEVATION	(FL)1	KEYNOTE
	REVISION CLOUD	[Symbol]	GROOMMET
A	NEW GRIDLINE	(A)	REVISION TAG
			EXISTING GRIDLINE
			CENTERLINE

REV	DATE	DESCRIPTION
		NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH PLAN



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Psychiatry
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Keyplan

Comm. No. 3.2017088.00
Drawn Author
Sheet Title
FIRST LEVEL ZONE 1 - DIMENSION PLAN

Sheet No.

401.1DI

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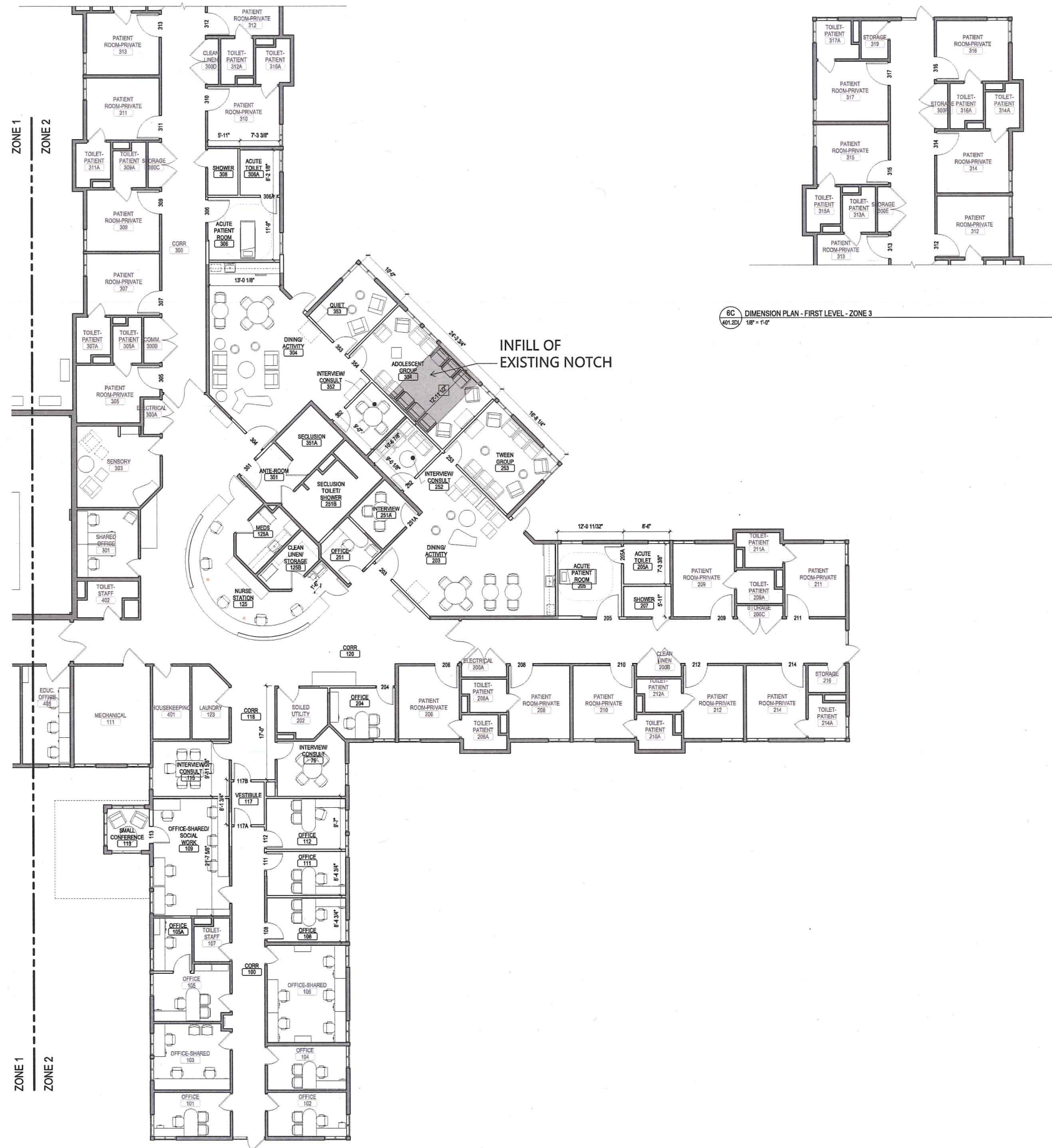
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SYMBOLS LEGEND - FLOOR PLAN		
WALL	M100	EQUIPMENT NUMBER
EXISTING WALL TO REMAIN	[Symbol]	WORKING POINT
DOOR	1A 500	INTERIOR SECTION REFERENCE TAG
EXISTING DOOR AND FRAME TO REMAIN	1A 500	EXTERIOR SECTION REFERENCE TAG
INTERIOR BORROWED LIGHT	1A 605 2A	INTERIOR ELEVATION REFERENCE TAG
DIMENSION LINE NOMINAL	1A 510	EXTERIOR ELEVATION REFERENCE TAG
PARTITION TAG	1A 520	PLAN DETAIL REFERENCE TAG
ROOM NAME AND NUMBER	[Symbol]	KEYNOTE
FLOOR ELEVATION	F101	GROOMMET
REVISION CLOUD	[Symbol]	REVISION TAG
NEW GRIDLINE	A	EXISTING GRIDLINE
		CENTERLINE

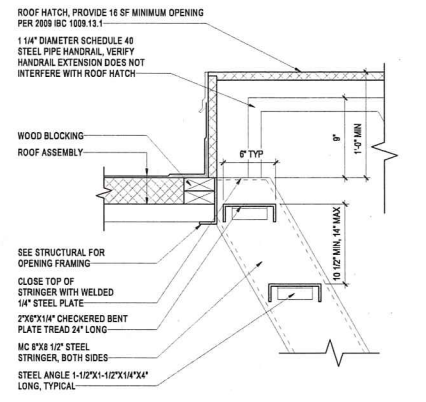
KEYNOTES - DIMENSION PLAN	
REV 191	NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH PLAN

8C DIMENSION PLAN - FIRST LEVEL - ZONE 3
401.2D 1/8" = 1'-0"



8H DIMENSION PLAN - FIRST LEVEL - ZONE 2
401.2D 1/8" = 1'-0"

A
B
C
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1C SECTION DETAIL - SHIP'S LADDER AT ROOF HATCH
500 1/16" = 1'-0"



IMAGE ABOVE SERVES AS A SIMILAR EXAMPLE OF THE INTENDED ROOFTOP UNIT SCREENING SYSTEM

SYMBOLS LEGEND - ROOF PLAN

KEYNOTE	ROOF PAVERS
RP01	
RD	
4	
→	
→	

NOTE: NOT ALL SYMBOLS MAY BE USED ON EACH PLAN

KEYNOTES - ROOF PLAN

REV	KEYNOTE	DESCRIPTION
RP01	ROOF HATCH, SEE DETAIL 1C500, SEE STRUCTURAL FOR OPENING LOCATION	
RP02	APPROXIMATE LOCATION AND DIMENSIONS OF ROOFTOP MECHANICAL UNIT, SEE MECHANICAL DRAWINGS	
RP03	ROOFTOP UNIT SCREENING, PREFABRICATED ALUMINUM SYSTEM, ATTACHES DIRECTLY TO RTU	
RP04	EXISTING ROOF, INDICATED BY SOLID GREY	

NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH PLAN

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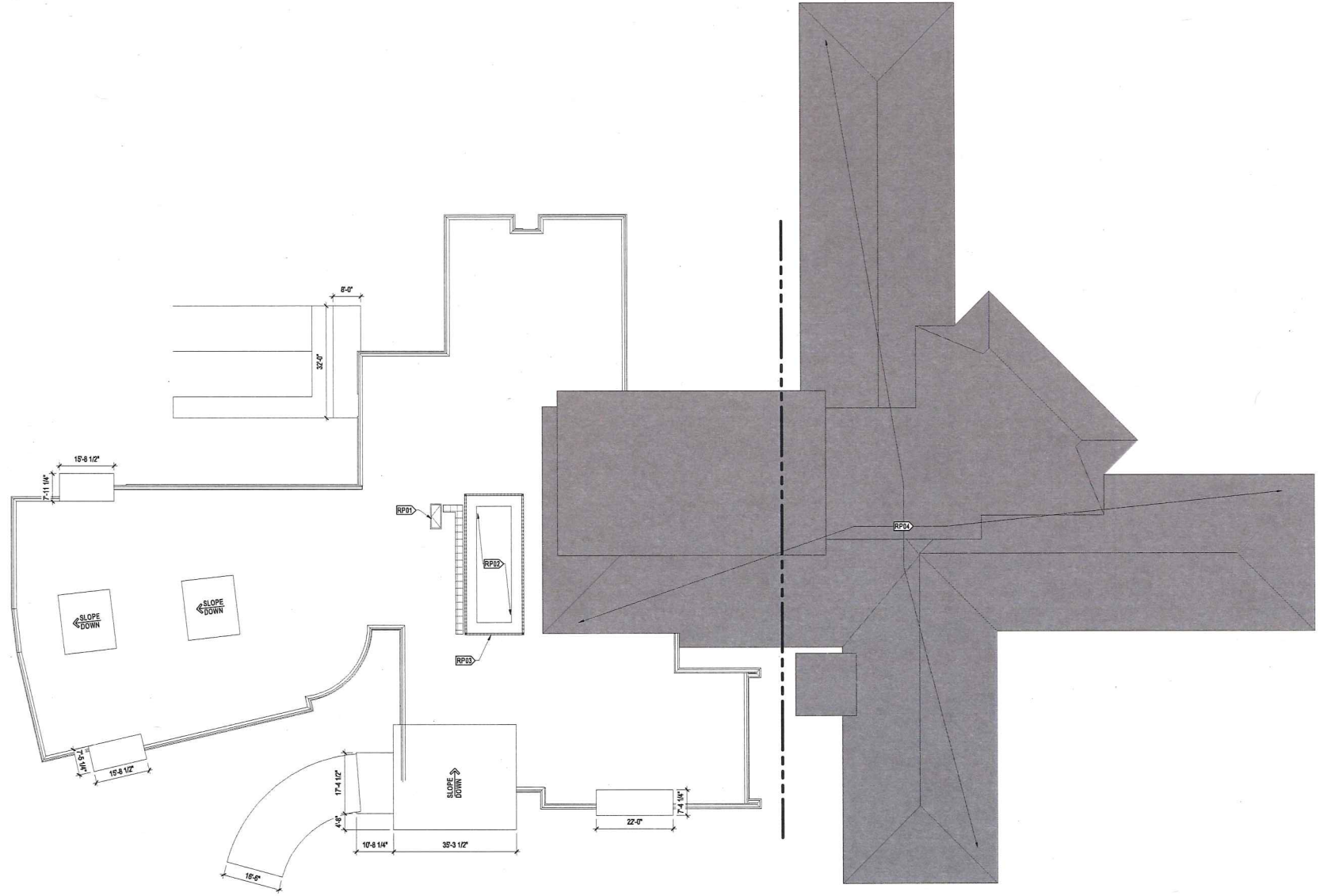


Comm. No. 3.2017088.00 Drawn DJL

Sheet Title
ROOF PLAN

Sheet No. _____

500



1H ROOF PLAN
500 1/16" = 1'-0"

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1 2 3 4 5 6 7



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VIEW FROM EAST



VIEW FROM NORTH



VIEW FROM SOUTH



VIEW FROM WEST

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Sheet Title EXTERIOR ELEVATIONS

Sheet No. 510

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Keyplan

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Sheet Title **PERSPECTIVES**

Sheet No. **511**

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OFFENDING COMMAND: image
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-dictionary-