



2/12



ADCI
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Consultants, Inc.

Location Map

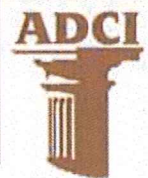
Fairhaven Court - Madison, WI

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Fairhaven Court Apartments - February 12, 2013



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Fairhaven Court Apartments - February 12, 2013

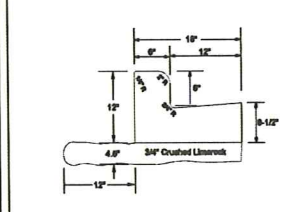
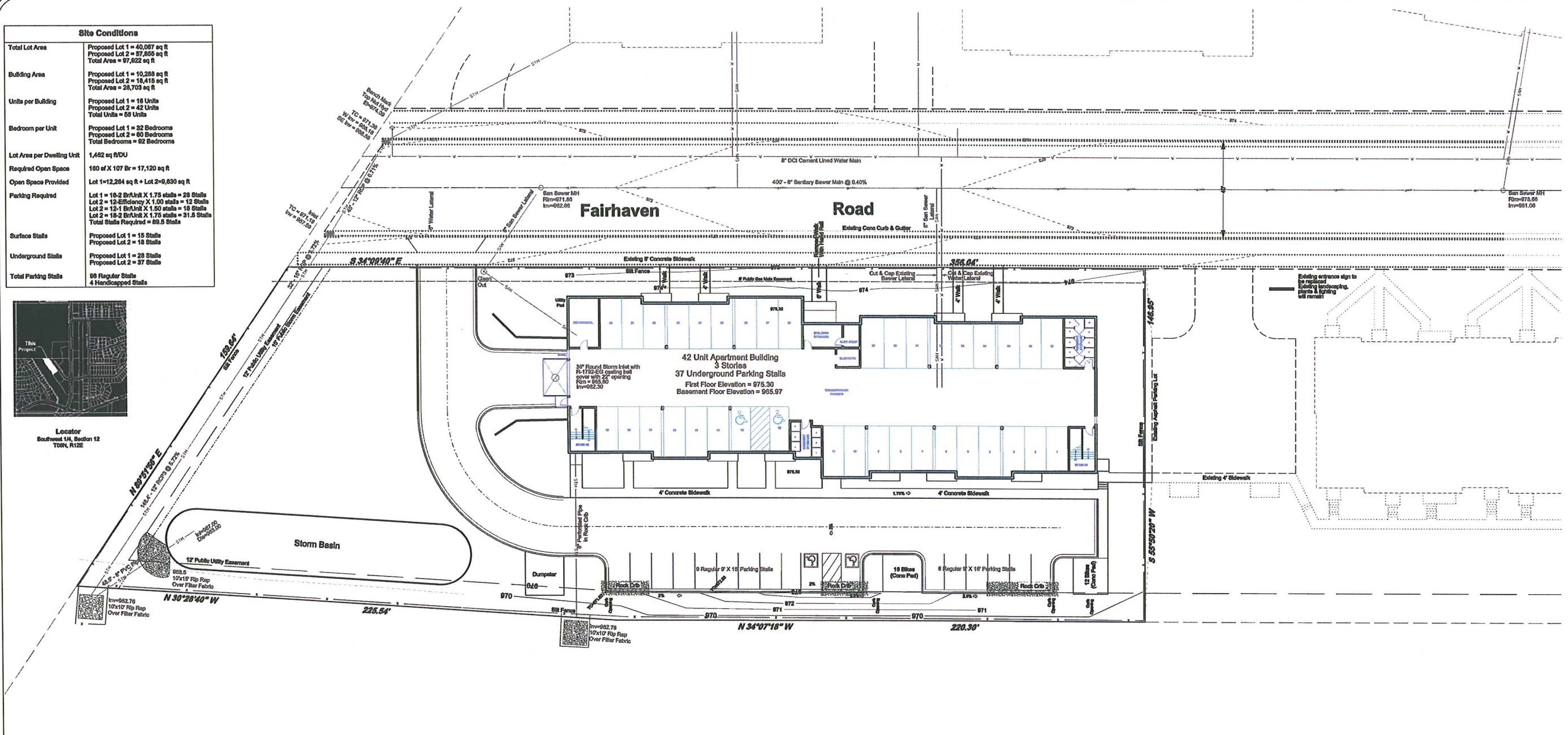


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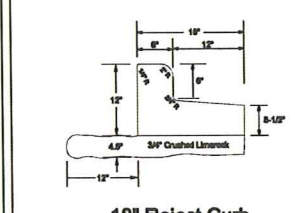
Site Conditions	
Total Lot Area	Proposed Lot 1 = 40,087 sq ft Proposed Lot 2 = 57,805 sq ft Total Area = 97,892 sq ft
Building Area	Proposed Lot 1 = 10,288 sq ft Proposed Lot 2 = 18,418 sq ft Total Area = 28,706 sq ft
Units per Building	Proposed Lot 1 = 18 Units Proposed Lot 2 = 42 Units Total Units = 60 Units
Bedroom per Unit	Proposed Lot 1 = 32 Bedrooms Proposed Lot 2 = 80 Bedrooms Total Bedrooms = 112 Bedrooms
Lot Area per Dwelling Unit	1,482 sq ft/DU
Required Open Space	160' x 107' Br = 17,120 sq ft
Open Space Provided	Lot 1=12,284 sq ft + Lot 2=8,630 sq ft
Parking Required	Lot 1 = 18-2 Br/Unit X 1.75 stalls = 28 Stalls Lot 2 = 12-1 Efficiency X 1.00 stalls = 12 Stalls Lot 2 = 12-1 Br/Unit X 1.50 stalls = 18 Stalls Lot 2 = 18-2 Br/Unit X 1.75 stalls = 31.5 Stalls Total Stalls Required = 89.5 Stalls
Surface Stalls	Proposed Lot 1 = 15 Stalls Proposed Lot 2 = 18 Stalls
Underground Stalls	Proposed Lot 1 = 28 Stalls Proposed Lot 2 = 37 Stalls
Total Parking Stalls	98 Regular Stalls 4 Handicapped Stalls



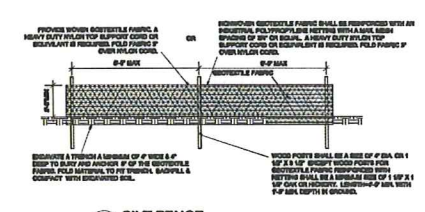
Locator
Southeast 1/4, Section 12
T09N, R12E



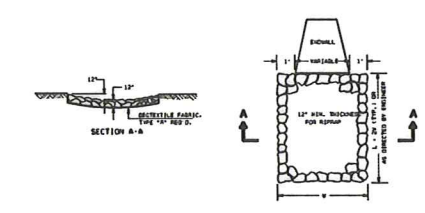
18" Standard Curb



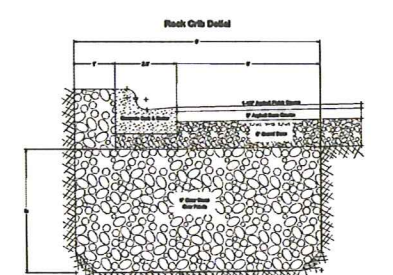
18" Reject Curb



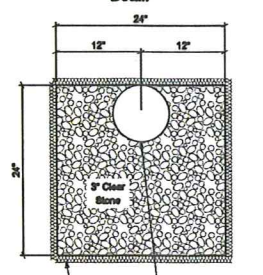
SILT FENCE



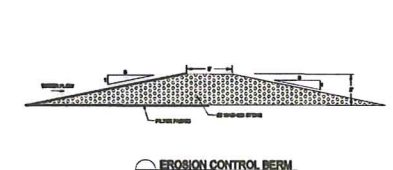
RIPPRAP TREATMENT AT CULVERTS



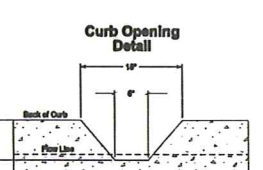
ROCK CRIb



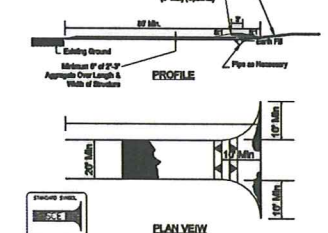
PERFORATED PIPE



EROSION CONTROL BERM



CURB OPENING



STABILIZED CONSTRUCTION ENTRANCE

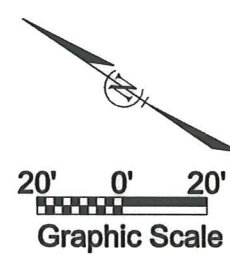
1. LENGTH - MINIMUM OF 50'
2. WIDTH - 20' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING PAD.
3. STONE - CRUSHED AGGREGATE (2" TO 3") OR CRUSHED OR RECYCLED CONCRETE AGGREGATE SHALL BE PLACED AT LEAST 4" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE.
4. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PREVENTED THROUGH THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A SCOURABLE BERM WITH 1' SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE. TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE BERM IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF FLOW TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
5. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

Notes:

1. All filling, grading, and erosion control shall conform to the City of Madison ordinances.
2. Erosion control devices shall be installed prior to the start of filling and grading.
3. To minimize the erosion sediment, the contractor shall stage the filling and grading activities to restore the disturbed areas as final grades are achieved.
4. Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all the erosion control problems that are a result of construction activities.
5. Additional erosion control measures, as requested by the City Inspector or developers engineers, shall be installed within 24 hours.
6. All erosion control measures and structures serving the site must be inspected at least weekly and within 24 hours of the time 0.50 inches of rain is produced. All maintenance will follow an installed within 24 hours.
7. All trucks leaving site shall have clean tires. Prior to the start of filling, the contractor shall install a tracking pad. The tracking pad shall be 50' long, 24' wide, and 1" thick. The pad shall be constructed with 3" clear stone. The construction entrance shall be maintained by the contractor in a condition in which will prevent the tracking of mud onto the public street. All material deposited on public property shall be swept up daily.

Project Schedule

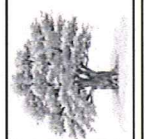
- 07-20-2012 Install Construction Entrance
Install all fence around lot
Begin excavation of apartment building and parking lot
- 07-21-2012 Install gravel in parking lot area and ramp to underground parking
- 08-21-2012 Backfill along the North and West walls to a maximum of 6% grade
- 10-01-2012 Construct apartment building
- 10-01-2012 Finish grade around building
- 10-15-2012 Seed and mulch



Graphic Scale

Project No.	10011
File Name	Fairhaven.dwg
Project Name	Fairhaven
Job Number	001
Plot Name	Fairhaven
Plot Title	Fairhaven
Date	April 7, 2012
Directory	C:\projects\10011\Fairhaven.dwg

Royal Oak & Associates, Inc
3678 Kineman Boulevard
Madison, WI 53704
Phone (608) 274-0500 Fax (608) 274-4530
www.royaloakengineering.com



Surveyed For:
Feldman Court, LLC
2020 Bayview Road
Madison, WI 53713
Contact: Kevin Koverman

PUD - GDP - SIP - Site Grading & Erosion Control Plan
Lot 2, CSM No 40789 and Lot 1, CSM No 12128, lying in the SW 1/4 of the SW 1/4 of Section 12, T09N, R10E, City of Madison, Dane County, Wisconsin

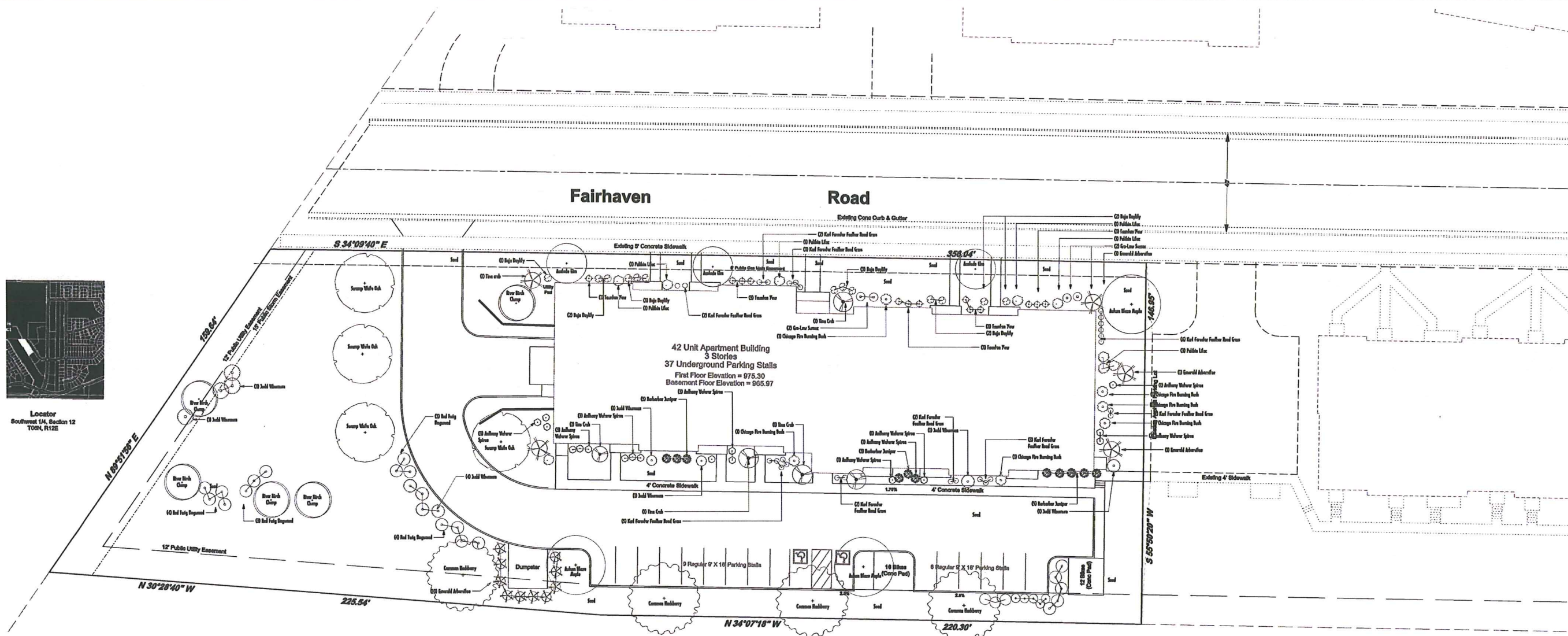
Office Map Number

16037-I

C-1.0



Locator
Southwest 1A, Section 12
T09N, R12E

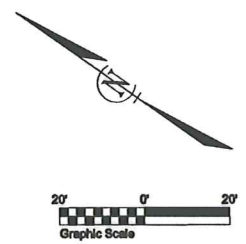


Quantity	Common Name	Planting Size
4	Swamp White Oak	2" BB
3	Azalea Elm	1-3/4" BB
4	Autumn Blaze Maple	2" BB
4	Common Highberry	2" BB
5	River Birch Clump	6" BB
4	Tina Crab	4" BB
15	Emerald Arborvitae	4" BB
5	Common Witch Hazel	6S CONT
22	Red Twig Dogwood	6T CONT
11	Judd Viburnum	6T CONT
8	Chicago Fire Burning Bush	3" BB
11	Fallich Lilac	6S CONT
18	Anthony Waterer Spire	6T CONT
17	Go-Low Sumac	6T CONT
23	Taxodium Yew	18" BB
14	Bar Harbor Juniper	6T CONT
19	Karl Forester Feather Reed Grass	6T CONT
13	Baja Daylily	6T CONT

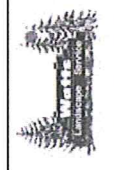
General Notes:

- Individual trees and shrub groupings found along the perimeter of the property as well as those found within lawn areas to receive wood mulch rings and wood mulch beds consisting of a mixture of recycled wood mulch, colored brown.
- "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric barrier.
- Seed shall consist of the following mixture:
40% Palmer Ryegrass
20% Baron Bluegrass
20% Nonesu Bluegrass
20% Perennial Creeping Red Fescue
- Plant beds adjacent to the building(s) to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric barrier.

City of Madison	
Landscape Requirements	
Number of Parking Stalls	20
Number of Canopy Trees Required	3
Number of Landscape Points Required	147
Solution	
6 Canopy Trees (2" - 2-1/2") @ 35 points	210
1-1/2" - 2" @ 15 points	
38 Deciduous Shrubs @ 2 points	76
Evergreen Shrubs @ 3 points	
Evergreen Trees (Shr) @ 15 points	
Decorative Wall @ 5 points (Per 10 ft)	
Decorative Fence @ 5 points (Per 10 ft)	
Decorative Earth Berm @ 5 points (Per 10 ft)	
Average Height - 30" @ 5 points	
Average Height - 15" @ 2 points	
Total Points	288



Drawn By: DWB
Checked By: RZ
Date: April 8, 2013
Revised:
Plot File: 16037-L
Plot Table: 16037-L



Watts Landscape Service
350 Pioneer Avenue
Verona, Wisconsin, 53593
Phone (608) 833-3535
www.wattslandscape.com

For:
Fairhaven Court, LLC
Madison, Wisconsin 53713
Contact: Kevin Kovermeyer

Landscape Plan
Part of Lot 3, CSM No 40789 and Lot 1, CSM No 12128, in the SW 1/4 of the SW 1/4 of Section 12, T09N, R12E, City of Madison, Dane County, Wisconsin

Office Map Number
16037-L

L1.0



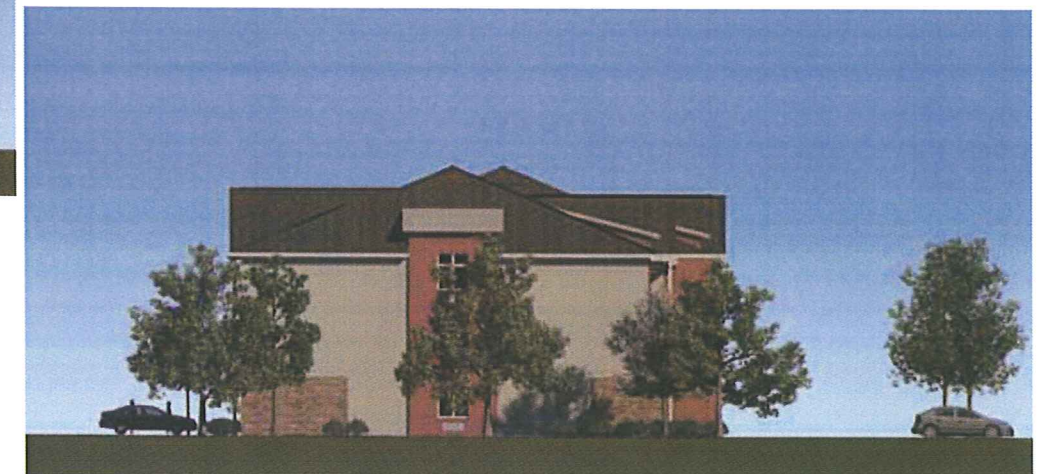
ELEVATION "A"



ELEVATION "C"



ELEVATION "B"

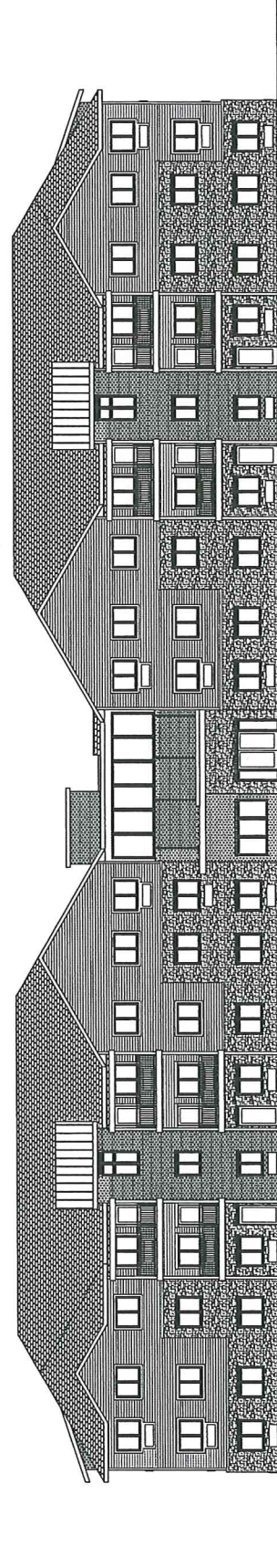


ELEVATION "D"

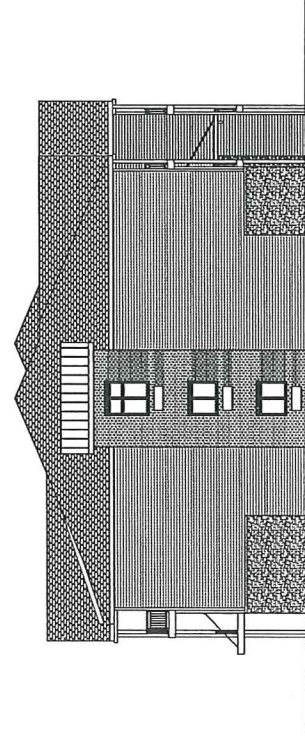
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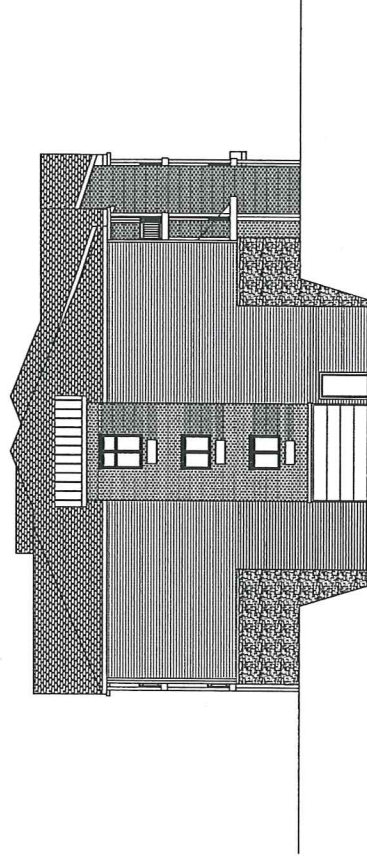
ELEVATION A
SCALE: 1" = 12'



ELEVATION B
SCALE: 1" = 12'

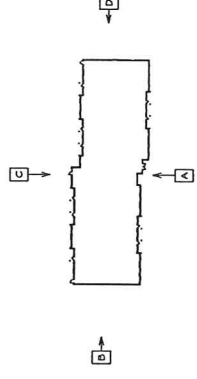


ELEVATION C
SCALE: 1" = 12'



ELEVATION D
SCALE: 1" = 12'

EXTERIOR COLOR SCHEDULE	
MATERIAL	COLOR
BRICK	RED
SIDING	SANDSTONE BEIGE
STONE	SUNHILL BLEND
SHINGLES	DRIFTWOOD
SOFFIT/FASCIA	WHITE
WINDOWS/DOORS	WHITE
BALCONIES/TRIM	WHITE



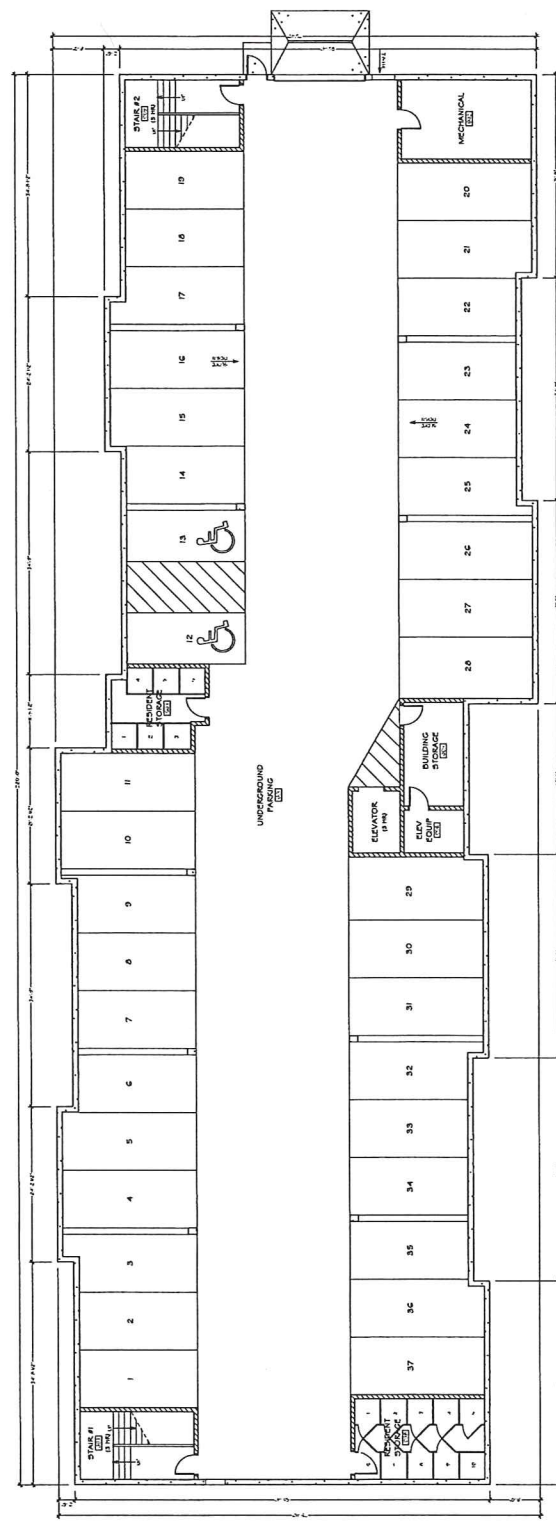
KEY PLAN



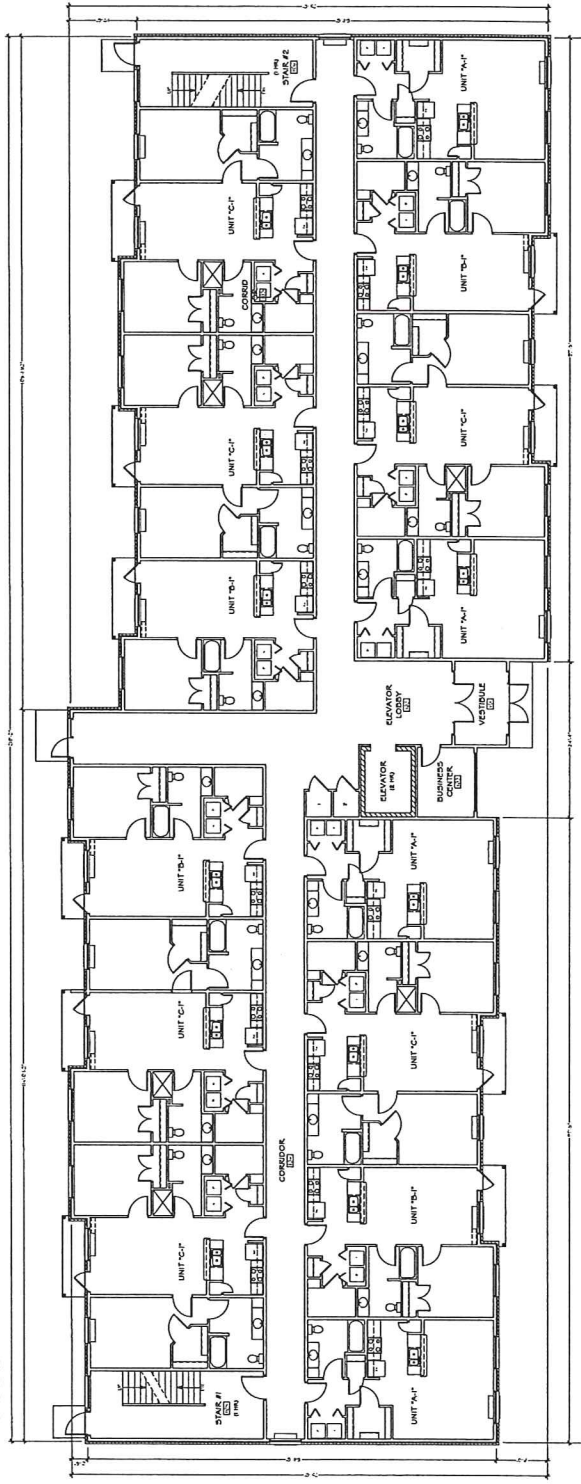
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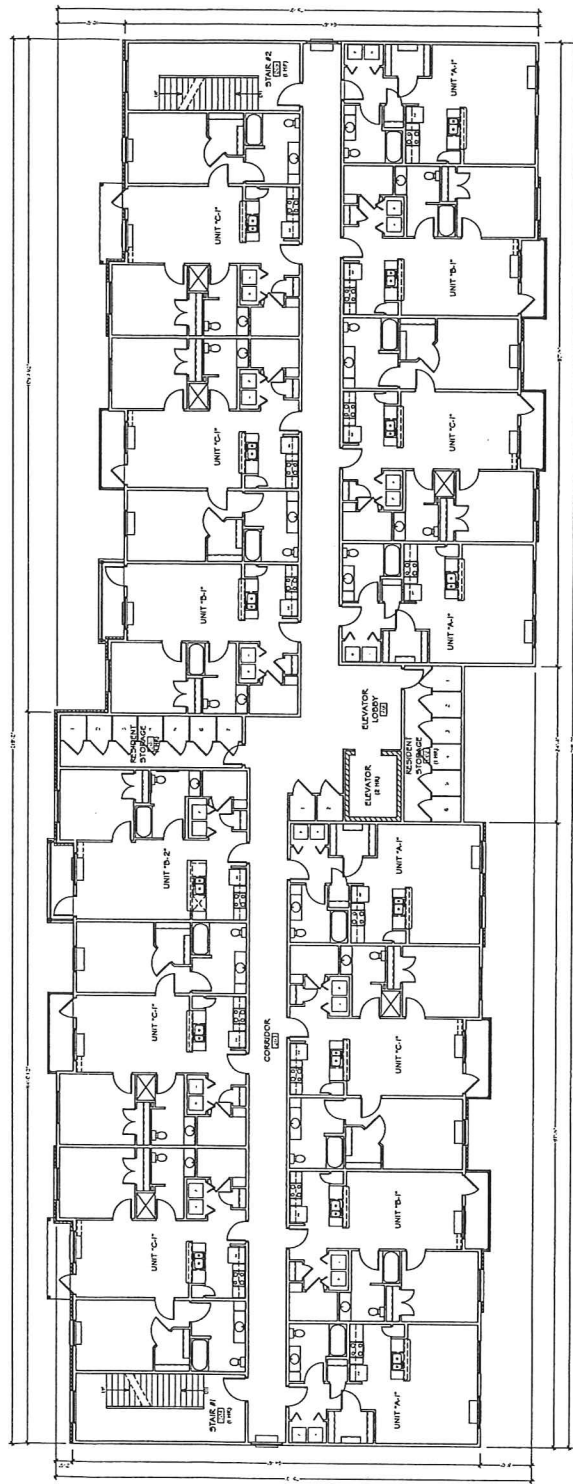
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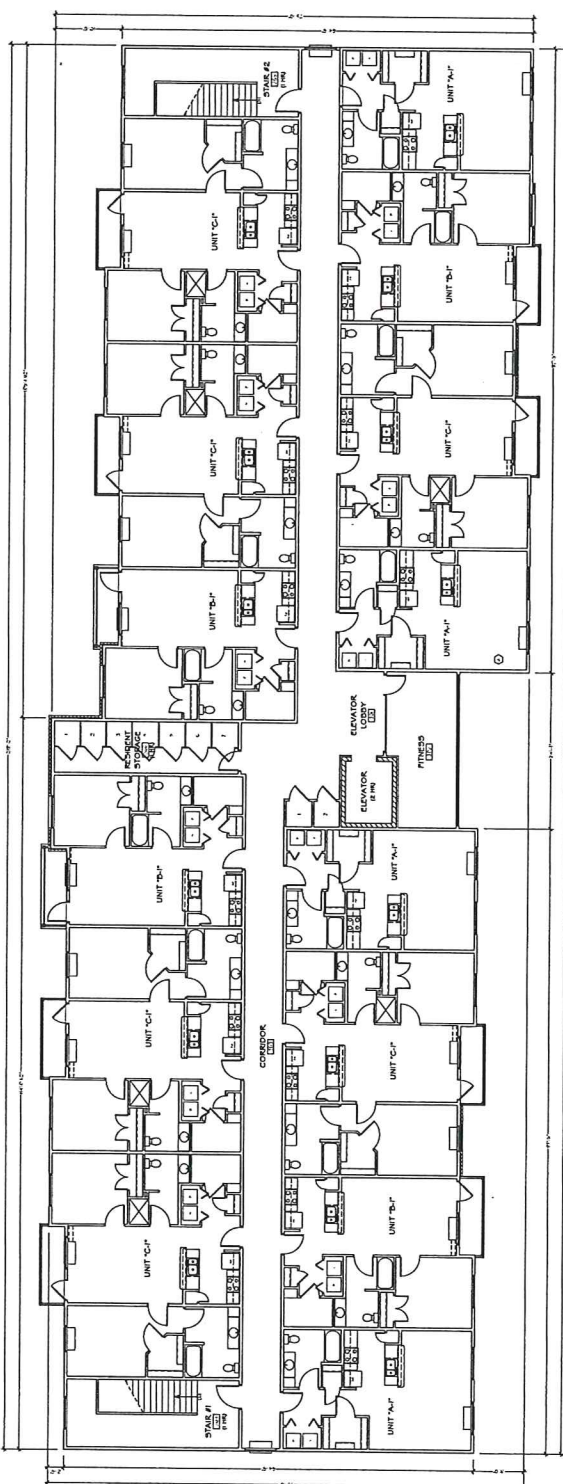
BASEMENT FLOOR PLAN
NOT TO SCALE



FIRST FLOOR PLAN
NOT TO SCALE



SECOND FLOOR PLAN
NOT TO SCALE



THIRD FLOOR PLAN
NOT TO SCALE



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02/11/15 11:46:03 AM 11/18/2014 11:46:03 AM 11/18/2014



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Development to the South

Fairhaven Court - Madison, WI

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Development to the South

Fairhaven Court - Madison, WI

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Rear Yard of 16-Unit Building

Fairhaven Court - Madison, WI

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Development to the West

Fairhaven Court - Madison, WI

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**Architectural Design
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Development to the North

Fairhaven Court - Madison, WI

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Development to the North

Fairhaven Court - Madison, WI

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**Architectural Design
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Undeveloped Site

Fairhaven Court - Madison, WI

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Development to the East

Fairhaven Court - Madison, WI

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**Architectural Design
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Side Elevation of 16-Unit Building

Fairhaven Court - Madison, WI

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Rear Elevation of 16-Unit Building

Fairhaven Court - Madison, WI

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ADCI
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Front Yard of 16-Unit Building

Fairhaven Court - Madison, WI

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ADCI
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Front Elevation of 16-Unit Building

Fairhaven Court - Madison, WI

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COLORS

BACKGROUND: SW. 6084 Modest White paint

BACK: SW. 3002 Belvedere Tan stain

BORDER: 3/4" SW. 2916 Red Prairie 3" space

PINSTRIP: 3/8" SW. 6881 Cayenne

LOGO: SW. Black with a Belvedere Tan stained background

LETTERS: SW. Black (raised), and
SW. 6084 Modest White (blasted in)

MISC: Raised Capsule painted SW. Black with letters blasted in

POSTS: SW. Belvedere Tan stain Post Trim - SW. Red Prairie

BALL TOPS: SW. Belvedere Tan stain with Black & Cayenne pinstripes

