



Project Intent
The Longfellow School Adaptive Re-use and New Apartment Complex
September 3, 2013

Project Description:

The proposed uses include: 50,432 SF of residential in the historic Longfellow school, 70,815 SF of residential and 39,841 SF of enclosed parking in the new building. The estimated Value of Land - is \$1,560,000. The estimated total Project Cost is \$17 million for both the Historic and new construction. The project will create (3) full-time equivalent jobs for property management and 90 new construction jobs. Both the historic Longfellow school and the infill sit on a 76,130 SF Lot with a usable open space totaling 21,647 SF or 28.4%. No Public Subsidy is being requested for this project.

Recent Design changes include:

- Relocated trash/recycle pick up and resident loading/unloading to north side of building off of Mound Street
- Reduced width of south side of building closest to historic school by 5' from grade to roof and removed balconies on SE side facing school
- Added windows on the east side of the new building affected by 5' size reduction
- Removed 10 courtyard parking stalls and increased the amount of green space between buildings
- Redesigned entry sidewalk and arbors to allow for independent sidewalks to both historic and new Longfellow buildings
- Removed bike racks from Chandler and Mound streets to courtyard and increased overall quantity of bike provisions
- Enhanced the landscape design in the courtyard

Building Design:

The redevelopment proposal for the former Longfellow School includes the conversion to 41 market rate apartments along with a new three-story, 64 unit apartment building over 2 levels of self-contained parking with 101 stalls and 18 surface stalls. The parking access is from both Chandler and Mound street with trash/recycling pick up and resident loading/unloading from the Mound street only. 44 of the enclosed parking stalls will be dedicated to Meriter hospital for staff parking and daycare use. Direct access to the 36 reserved valet parking stalls and the 8 daycare drop-off/pick-up stalls will be provided off of Mound Street, adjacent to the Children's Center. Immediate and direct ground level access will be provided to the Children's Center with this design strategy.

The new building footprint will mimic the existing school, and consequently, create a common courtyard and gardens with a pedestrian building connection between the historic building and the proposed new building. Enhanced sidewalk and street front landscaping provide an aesthetically cohesive environment.

The new building design seeks to establish its own presence in the neighborhood and the Meriter campus while incorporating elements of the historic school. The historic Longfellow building is manifested in the new building design by reinterpreting the nested fenestration within the large articulated building bays. Additionally, the scale of the windows on the new

building are designed to emulate the existing Longfellow fenestration. The massing, articulation and architectural style is intended to be cohesive with the Meriter campus and neighborhood but most specifically, respect and preserve the architectural identity of its closest neighbor, the historic Longfellow School. However, the modern design sensibility of the new building also allows for the historic building and the new Children's Center to maintain their respective identities, history and presence. The width of the new building will progressively narrow from the four primary building corners to provide spatial relief from its immediate context while maintaining street edge density.

Portions of the material color palette will serve to link this building with its campus context. Building materials will include colored masonry block, 2 types of face brick, architectural metal panel, wood, aluminum, and glass. The proposed new building is designed within the story and height limits established in Meriter's 2009 General Development Plan.

Site Design:

The design intent is to knit the historic Longfellow School and the new building together in terms of site access, landscape design and circulation while providing the best possible vehicular and pedestrian access to the Children's Center. Pedestrian access to both the historic building and the new building will be available from Chandler and Mound Streets along with a connector between both buildings located on the upper parking level.

Direct access to the 36 reserved valet parking stalls and the 8 daycare drop-off/pick-up stalls will be provided off of Mound Street, adjacent to the Children's Center. Immediate and direct ground level access will be provided to the Children's Center with this design strategy. A 1,920 square foot outdoor playground space for the new Children's Center will be created adjacent to the new Children's Center with immediate access to both the facility and the reserved pick up/drop off parking. The portion of the outdoor play area on the proposed redevelopment lot will be permanently dedicated to the Children's Center.

Historic Preservation:

The restoration of the historic Longfellow School will meet or exceed the standards set by the US Department of Interior for property that is listed on the National Register of Historic Places and the guidelines established by the City of Madison Landmarks Commission. Every attempt will be made to exploit all character features of the school to create a singular sense of place for its residents, Meriter and the neighborhood. The new construction on the adjoining lot and the at grade (one-story) connector are planned to be of their own architectural style and time, but will respect the scale massing and architectural elements of the school.

Signage:

The signage plan will be part of the revised zoning application and will be designed to differentiate itself from the Meriter campus to avoid a blurring of identities and use. The signage will clearly indicate a residential use while practicing restraint in its placement and size. The overall project will be branded "The Longfellow" for its historic context and that branding will carry through to the interiors and the marketing.

Landscaping:

The zoning required for this project will require a complete landscape plan. It is intended that this plan not duplicate the streetscape (within the City's right-of-way) that currently exists for the Meriter campus. Street trees and terrace treatments will be residential in character to avoid confusion over the intuitive residential use and to better transition into the residential neighborhood. Plantings and overall design within the property boundaries

will be congruent with the landscape around the historic structure and chosen for their seasonal color, resistance to drought and native species. Building and garage setbacks will allow for screening and softening between the public right-of-way and the private uses.

Sustainability:

The Longfellow School adaptive reuse represents the ultimate green building project. Reuse of the structure and its historic elements mean that there will be minimal landfill requirements and that the majority of the required building materials are already in-place. Energy conservation for the entire project will be attained through high-efficiency individually controlled heat pumps and water heating systems. Buying local for both labor and materials will be a priority as will construction recycling.

Organizational Structure:

Owner: The Alexander Company
145 E. Badger Road; Suite 200
Madison, WI
Contact: Randall Alexander

Architect: Iconica
901 Deming Way
Madison, WI 53717
608-664-3535
Contact: John Seamon
John.seamon@iconicacreates.com

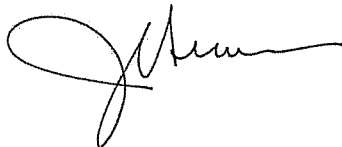
Engineer: Iconica
901 Deming Way
Madison, WI 53717
608-664-3535
Contact: Patrick Eagan
Patrick.eagan@iconicacreates.com

Landscape Design: JSD Professional Services, Inc.
161 Horizon Drive, Suite 101
Verona, WI 53593
Contact: Justin Frahm

Project Schedule: Construction Start – October 15, 2013; Completion – October 15, 2014

Thank you for your time in reviewing our proposal.

Sincerely,



John Seamon
Architectural Director
Iconica



ICONICA

True Design-Build

the Longfellow - Parking analysis

9/3/13

CARS:

- 119 on property stalls provided
- 104 residential units
- 59 (50%) of 119 will daytime commute outside of property M-F

Daytime parking requirements:

Meriter = 44
Residents = 59
 Flex stalls = 16

Evening/Weekend parking requirements:

Available = 119
Units = 104

1.14 stalls available per unit

BIKES:

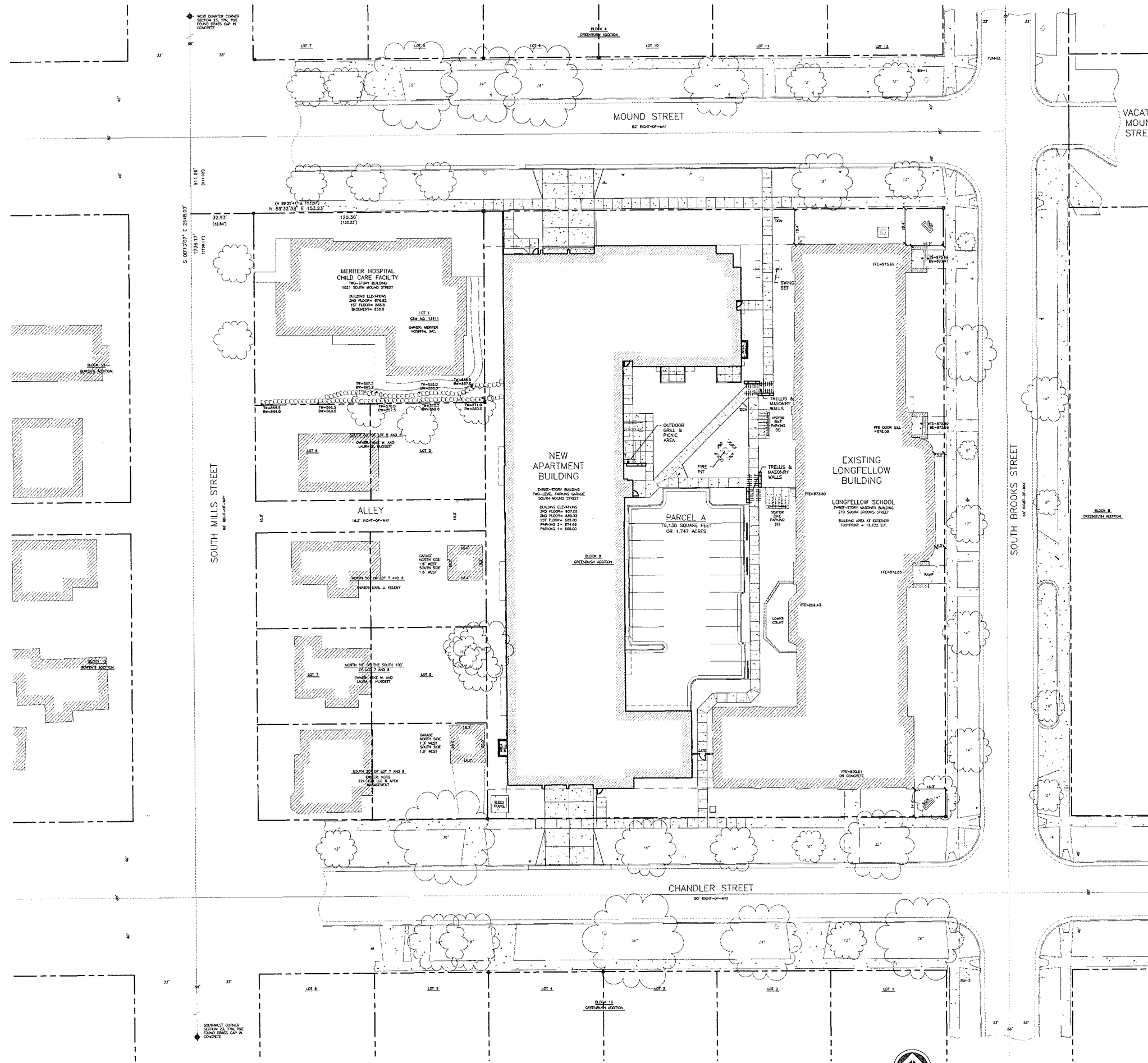
- 104 Residential units

	<u>Available</u>	
Exterior Bike Racks	14	
Interior Bike Racks	50	
<u>Interior Bike Hooks</u>	<u>41</u>	
TOTAL	105	
<i>Bike space/Unit space provided</i>		<i>=1 bike for every unit</i>

Capital West property data

- 141 Residential units
- 111 Units occupied (79%)

	<u>Available</u>	<u>Used</u>
Exterior Bike Racks	15	6
Interior Bike Racks	110	46
<u>Interior Bike Hooks</u>	<u>163</u>	<u>26</u>
TOTAL	288	78 (26%)
<i>Bike space /Unit provided</i>		<i>=2.04 bikes for every unit</i>
<i>Bike space /Unit space utilization</i>		
<i>(78 bike stalls/111 occupied units)</i>		<i>=.70 bikes for every unit</i>



1 SITE PLAN
SCALE: 1" = 20'-0"



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LONGFELLOW SCHOOL APARTMENTS
MOUND STREET
MADISON, WI

The Alexander Company
145 E. Badger Road, Suite 200
MADISON, WI 53710

ISSUE DATES:

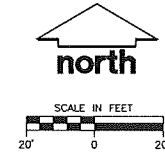
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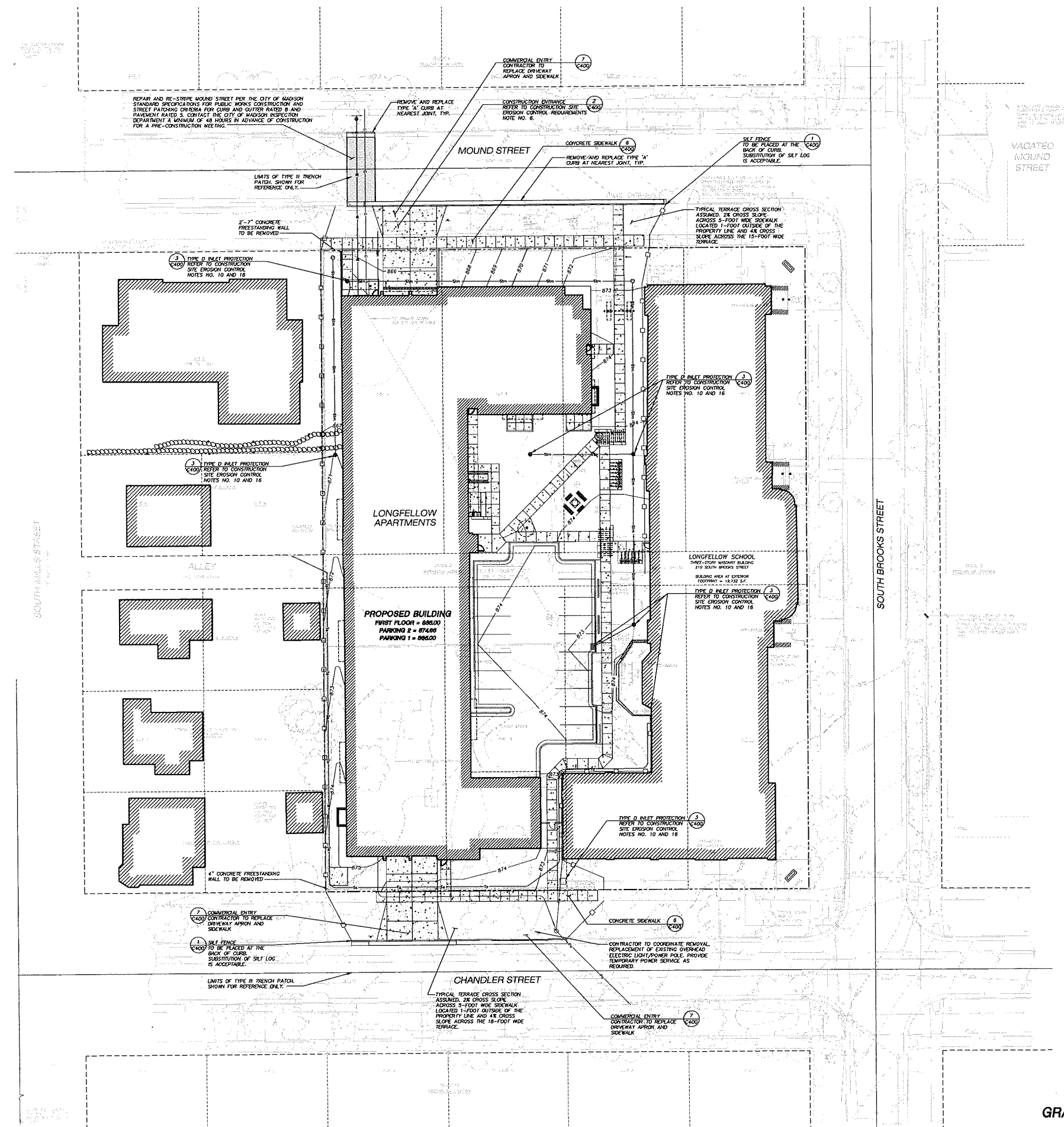
LEGEND (PROPOSED)

- PROPERTY LINE
- S- STORM SEWER
- SS- SANITARY SEWER
- W- WATER MAIN
- G- GAS SERVICE (DESIGN BY UTILITY)
- E- ELECTRIC SERVICE (DESIGN BY UTILITY)
- T- TELEPHONE SERVICE (DESIGN BY UTILITY)
- C- CURBS AND GUTTER
- R- REJECT CURB AND GUTTER
- F- FRENCH PATCH LIMITS
- A- ASPHALT PAVEMENT
- P- CONCRETE PAVEMENT
- S- SELF FENCE

- GENERAL NOTES**
- REFER TO THE TOPOGRAPHIC AND UTILITY SURVEY DATED 02-28-2013 FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISPLEASANT ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NATIONAL EROSION CONTROL AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.gov/nr/soil/stormwater/techstds.htm>
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN BY PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO NWR TECHNICAL STANDARDS.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
 - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
 - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SELF FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH NWR TECHNICAL STANDARDS.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 A. PLACE ENHANCED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE GOVERNING TECHNICAL STANDARD NO. 1001 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
 - INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO NDOT FORM FOR RESPECTIVE DETAILS.
 - APPLY ANONOUS POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
 - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
 - ALL SLOPES EXCEEDING 5:1 (20%) SHALL BE STABILIZED WITH A CLASS A, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1, TYPE B EROSION MATTING OR APPLICATION OF A ROOT APPROVED POLYMER SOIL STABILIZATION TREATMENT, OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
 - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH NWR REQUIREMENTS.
 - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO NWR TECHNICAL STANDARD 1006.
 - CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
 - CONTRACTOR SHALL STABILIZE ANY EXPOSED SOIL SURFACES ON THE SITE WITH MULCH PRIOR TO WINTER.
 - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SELF FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 - CONTRACTOR TO DEEP FILL ALL COMPACTED PAVED SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
 - THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.



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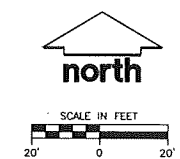
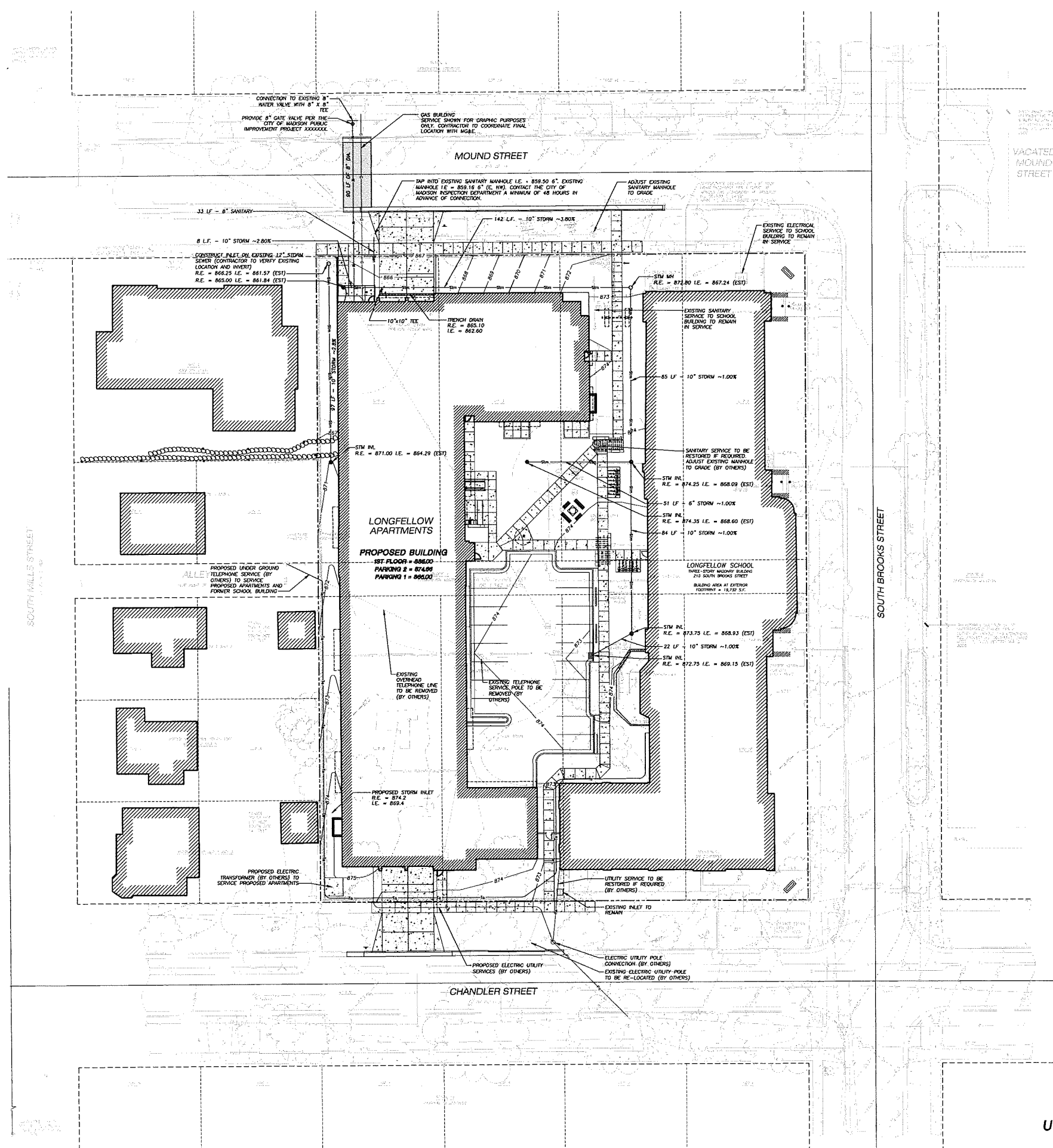
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 THROUGH TRUST, QUALITY AND EXPERIENCE."
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- LEGEND (PROPOSED)**
- PROPERTY LINE
 - - - - - STORM SEWER
 - - - - - SANITARY SEWER
 - - - - - WATER MAIN
 - - - - - GAS SERVICE (DESIGN BY UTILITY)
 - - - - - ELECTRIC SERVICE (DESIGN BY UTILITY)
 - - - - - TELEPHONE SERVICE (DESIGN BY UTILITY)
 - - - - - LIGHT POLES (DESIGN BY THE CITY OF MADISON)
 - - - - - TRENCH PATCH LIMITS
 - - - - - ASPHALTIC PAVEMENT
 - - - - - CONCRETE PAVEMENT

- UTILITY NOTES**
1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
 3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 6. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND MSDOT, RESPS, AND MDNR.
 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 12. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON PROJECT NUMBER S302326. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTOR A MINIMUM OF 48 HOURS BEFORE COMMENCING TO PUBLIC UTILITIES OR DOING ANY OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
 14. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 15. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
 16. COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
 17. DENATURING, IF APPLICABLE, SHALL BE CONDUCTED PER MPM STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

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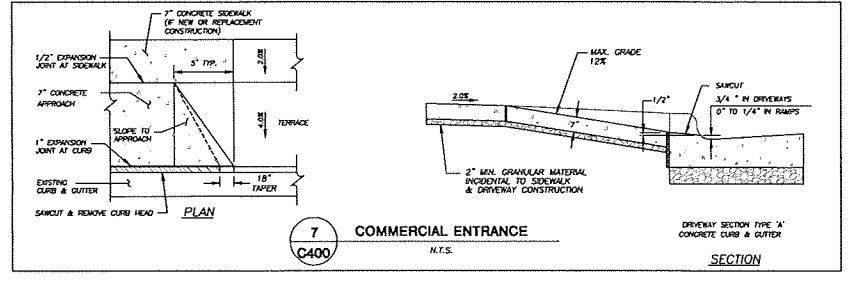
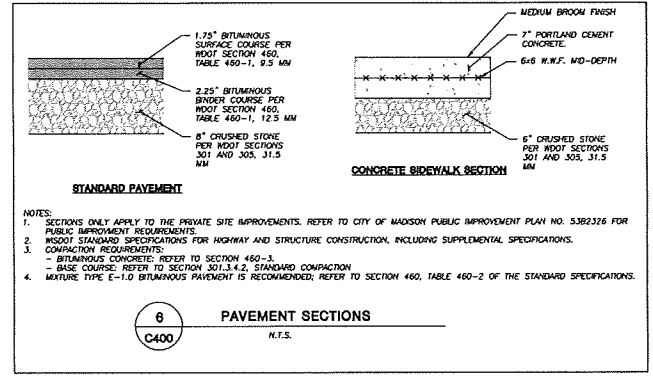
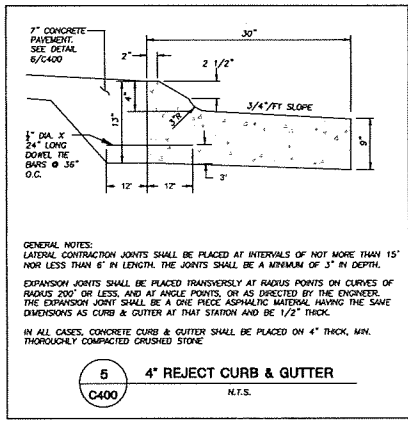
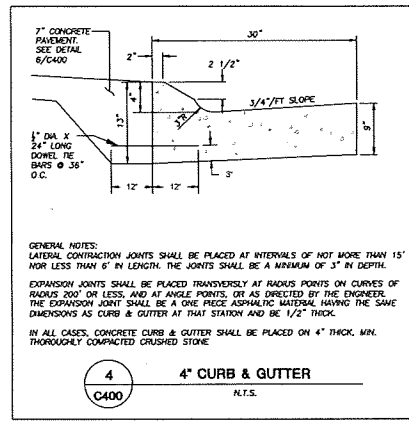
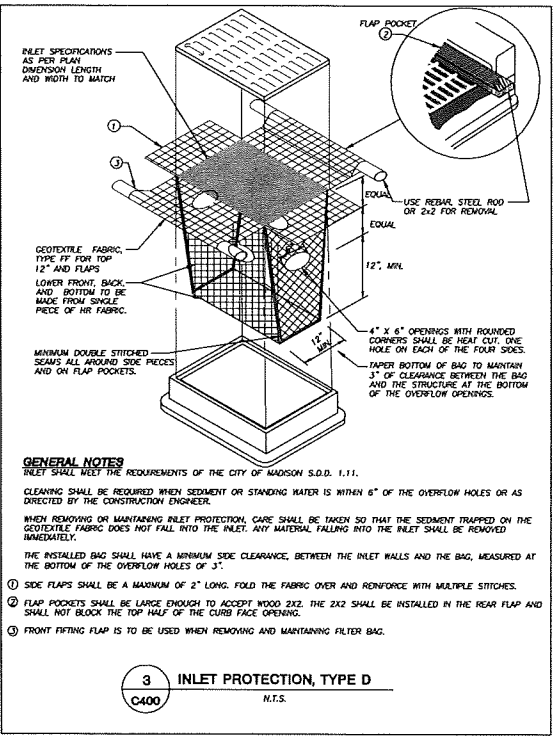
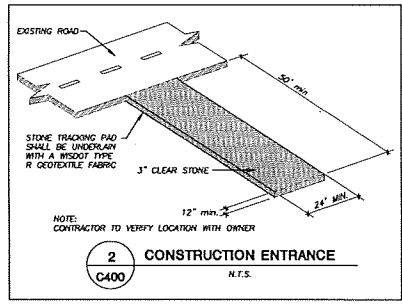
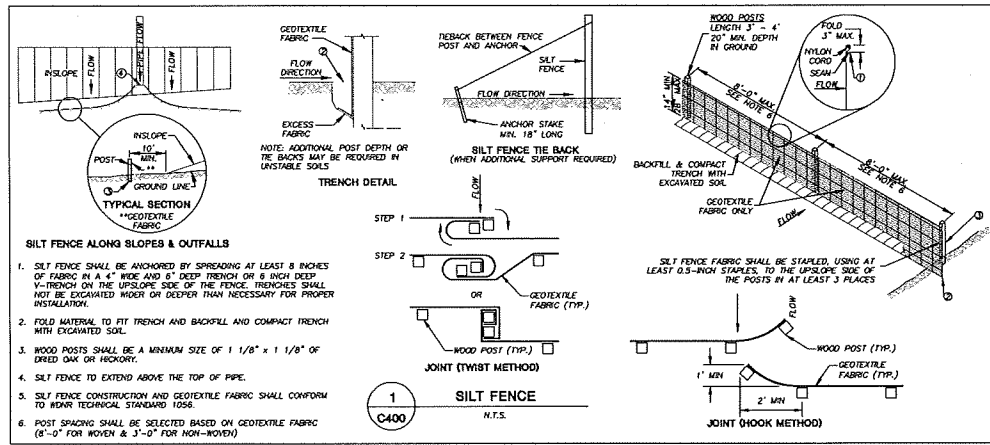
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UTILITY PLAN



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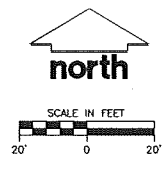
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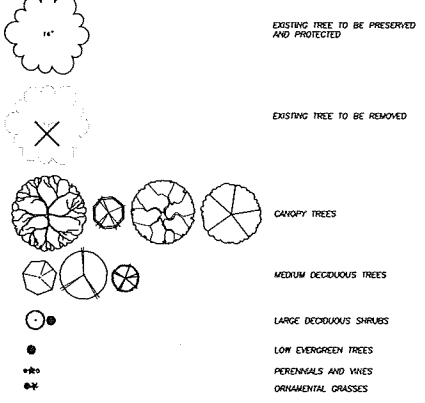
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LEGEND (PROPOSED)

- PROPERTY LINE
- CONCRETE SURFACE
- NO-MOW SEED (TURF AREAS)
- PERENNIAL/GROUNDCOVER
- ALUMINUM EDGING



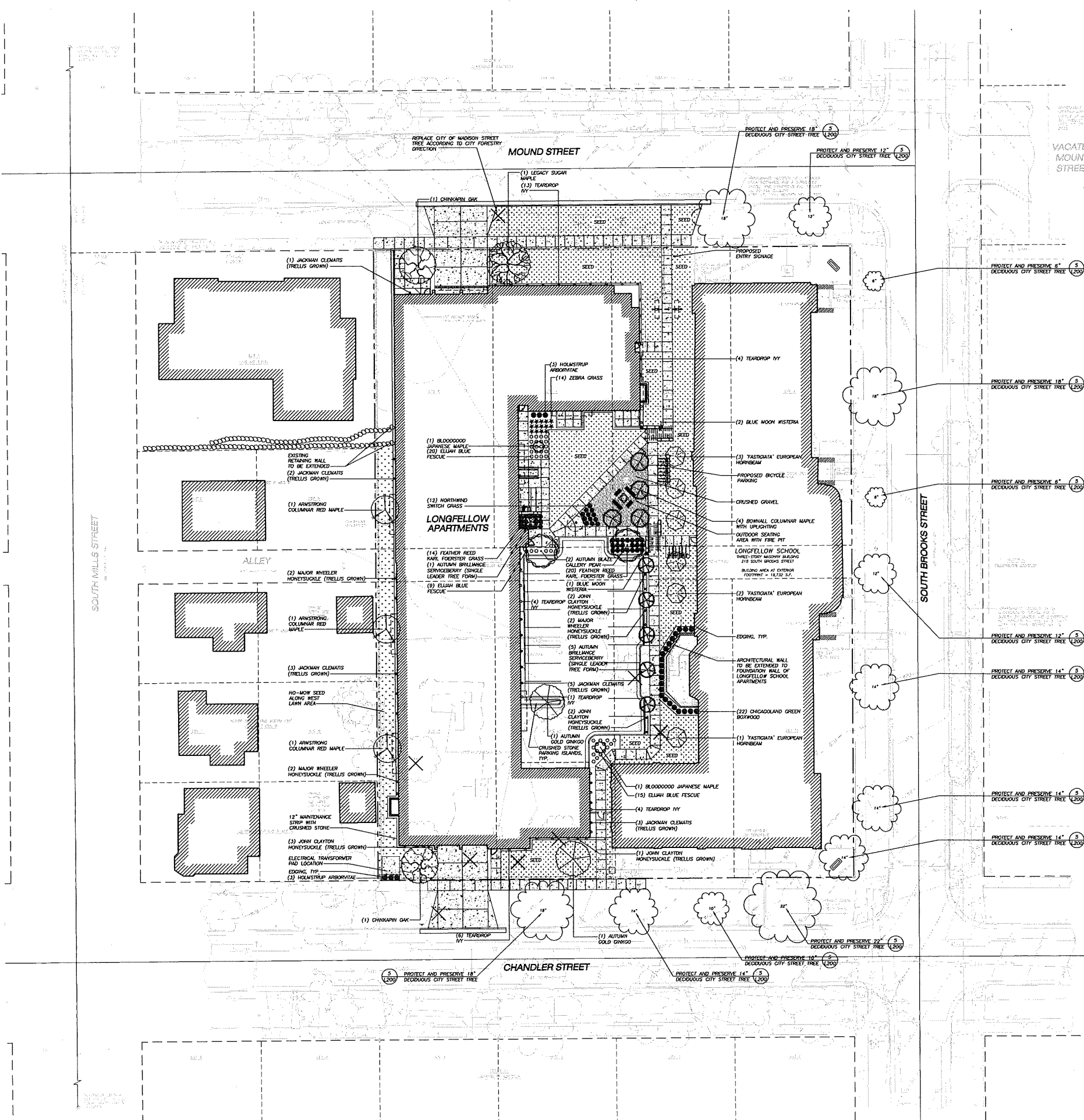
LANDSCAPE NOTES AND SPECIFICATIONS

1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCREPANCY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-363-5844 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OTHER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY, IF IT IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED STANDING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH NET SOIL MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWING STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PROP UP CONTAINER OR BALLEED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTH AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A vigorous thriving condition. REPLACEMENT PLANTS SHALL BE OF THE SAME AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
4. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND PROTECTED FROM ANY ACCORDING WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FREELY GROWN (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR NYMPHS). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OF OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE FREE OF DISEASE AND FREE OF INJURY. BARE ROOT TREES AND PLANTING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
5. MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
1. PLANTING AREAS = 24"
2. TREE RINGS = SEE DETAILS
PLANTING SOIL TO BE A MINIMUM 30" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 1/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE PROTON OR HEAVY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
6. MATERIALS - FOUNDATION MAINTENANCE STRIPS: LANDSCAPE AREAS SHALL RECEIVE DECORATIVE CRUSHED STONE MULCH SPREAD TO CONSISTENT DEPTH THREE INCHES. MULCH SHALL BE APPLIED PRIOR TO INSTALLATION. AN APPROVED PROFESSIONAL GRADE WOVEN FABRIC WEED BARRIER SHALL BE INSTALLED PRIOR TO MULCH INSTALLATION. PLANT FERTILIZER SHALL BE IN ACCORDANCE WITH STATE, COUNTY AND CITY OF MADISON REQUIREMENTS.
7. MATERIALS - TREE RINGS: ALL TREES PLANTED IN SEED BED AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EXISTENT GRANULE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPSOIL APPLIED TO FRESHLY INSTALLED TREE RING.
8. MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPREGNATED BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
9. MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, ALUMINUM EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
10. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED. PRUNING SHALL CONFORM TO ALL CITY STANDARDS FOR TREE CARE. OPERATIONS, AND ALSO, PRUNE TREES IN ACCORDANCE WITH NNA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURE PRACTICES. CUTS SHOULD BE IN DIAMETER AND BRUSHES OR SCARS ON BARK. TRACE THE INJURED CANKER LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN RUTTER AND COAT THE TREATED AREA WITH AN APPROVED ANTISETIC TREE PAINT.
11. CLEANUP: DISPOSAL OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BARKING AND WRAPPING MATERIALS, PLASTIC OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE CLEANUP OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. UNLESS UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UNDER ADJACENT PRIVATE PROPERTY.
12. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SOODED LAWN AREAS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DAMAGED BARK MULCH, WEED-PREVENTER, AND LAWN/TURFGRASS MAINTENANCE, AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
13. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

LANDSCAPE PLANT LIST

SYLS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
CANOPY TREES					
AS	1	Legacy Sugar Maple	ACER SACCARUM 'Legacy'	2 1/2" CB	BB
AK	4	Red Maple	ACER RUBRUM 'Red Maple'	2 1/2" CB	BB
SA	1	Autumn Blaze Maple	ACER RUBRUM 'Autumn Blaze'	2 1/2" CB	BB
SB	1	Cherokee Oak	QUERCUS LAEVOGAMA 'Cherokee'	2 1/2" CB	BB
SMALL DECIDUOUS TREES					
CB	2	Red Maple	ACER RUBRUM 'Red Maple'	1 1/2" CB	BB
AC	2	Autumn Blaze Maple	ACER RUBRUM 'Autumn Blaze'	1 1/2" CB	BB
AD	2	Autumn Blaze Maple	ACER RUBRUM 'Autumn Blaze'	1 1/2" CB	BB
AE	1	Autumn Blaze Maple	ACER RUBRUM 'Autumn Blaze'	1 1/2" CB	BB
LARGE DECIDUOUS SHRUBS					
AF	2	Red Maple	ACER RUBRUM 'Red Maple'	10" LBS	BB
AG	2	Cherokee Oak	QUERCUS LAEVOGAMA 'Cherokee'	10" LBS	BB
LOW EVERGREEN TREES					
AH	2	Japanese Holly	ILEX CORNUTA 'Japanese Holly'	10" LBS	BB
PERENNIALS AND VINES					
AI	10	Jackman Clematis	CLEMATIS 'Jackman'	10-12" H	BB
AJ	10	Jackman Clematis	CLEMATIS 'Jackman'	10-12" H	BB
AK	10	Jackman Clematis	CLEMATIS 'Jackman'	10-12" H	BB
AL	10	Jackman Clematis	CLEMATIS 'Jackman'	10-12" H	BB
AM	10	Jackman Clematis	CLEMATIS 'Jackman'	10-12" H	BB
AN	10	Jackman Clematis	CLEMATIS 'Jackman'	10-12" H	BB
ORNAMENTAL GRASSES					
AO	20	Major Wheeler Honeysuckle	LONICERA MAJOR 'Major Wheeler'	10-12" H	BB
AP	20	Major Wheeler Honeysuckle	LONICERA MAJOR 'Major Wheeler'	10-12" H	BB
AQ	20	Major Wheeler Honeysuckle	LONICERA MAJOR 'Major Wheeler'	10-12" H	BB
AR	20	Major Wheeler Honeysuckle	LONICERA MAJOR 'Major Wheeler'	10-12" H	BB

LANDSCAPE PLAN



LONGFELLOW SCHOOL APARTMENTS

The Alexander Company
145 E. Dugan Road, Suite 200
MADISON, WI 53710

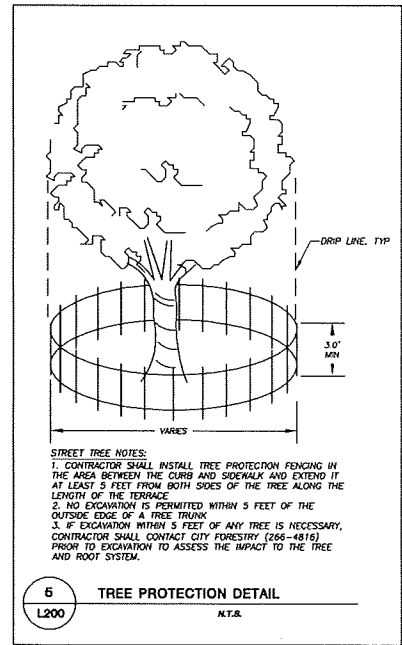
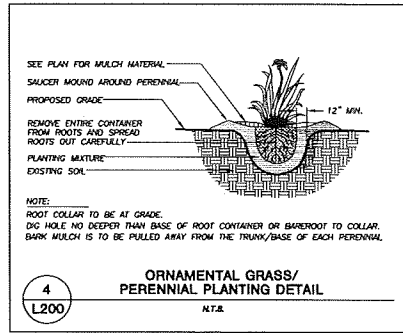
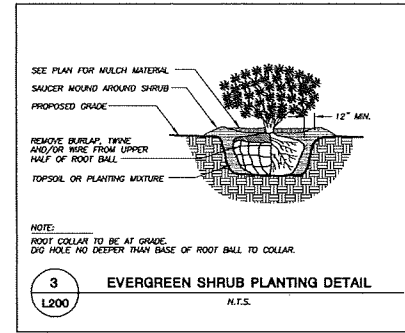
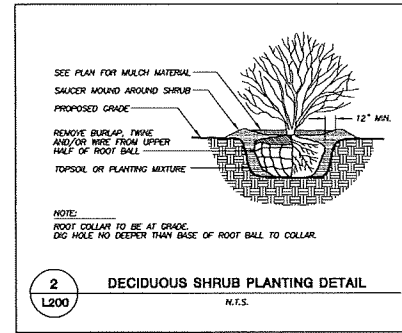
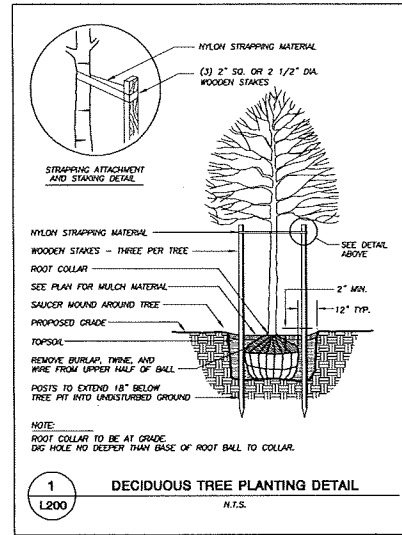
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LAND USE:	05-08-13
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LONGFELLOW SCHOOL APARTMENTS
ROUND STREET
MADISON, WI

The Alexander Company
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MADISON, WI 53710

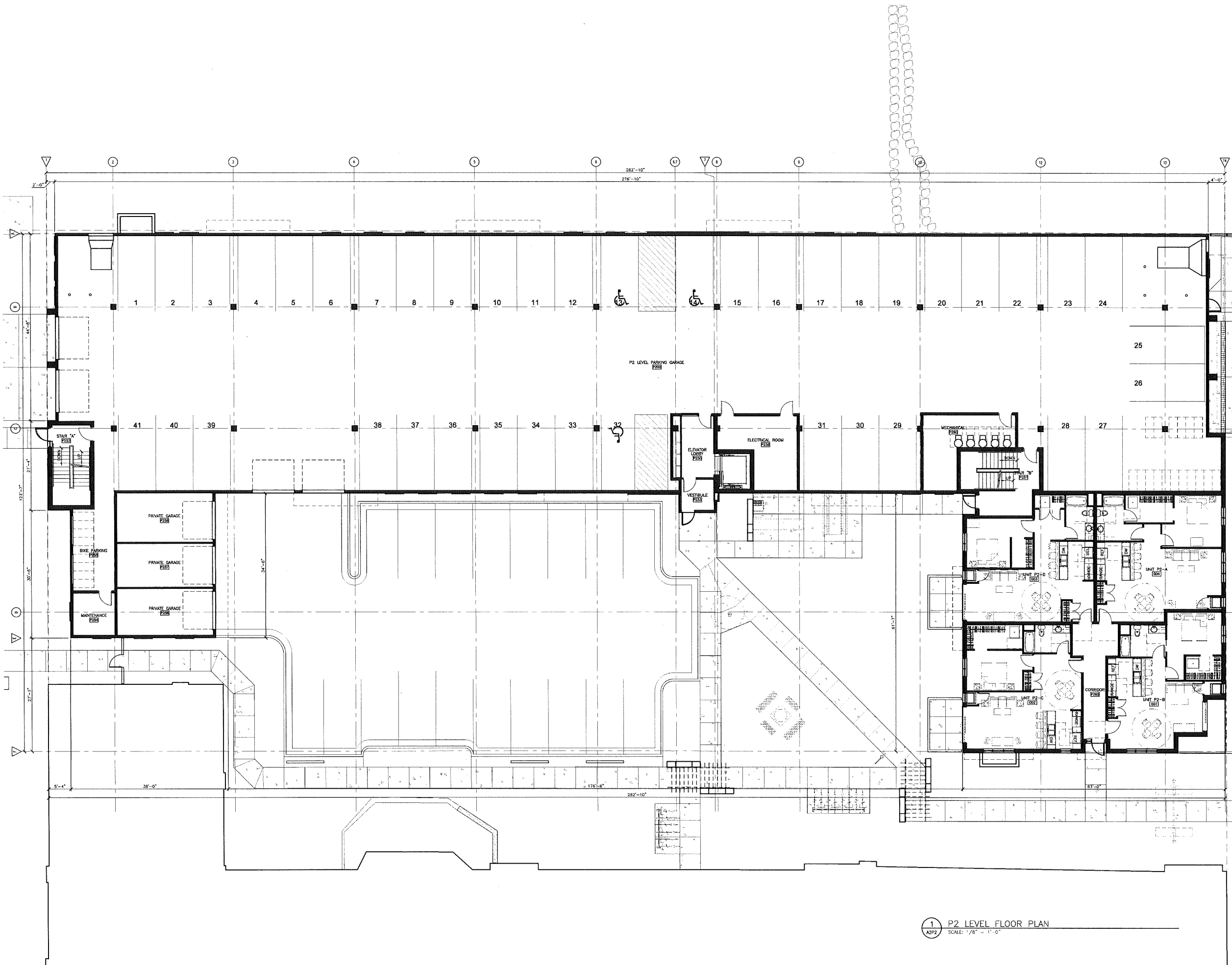
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A2P2



1 P2 LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



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1 SECOND FLOOR RESIDENTIAL PLAN
4202 SCALE: 1/8" = 1'-0"

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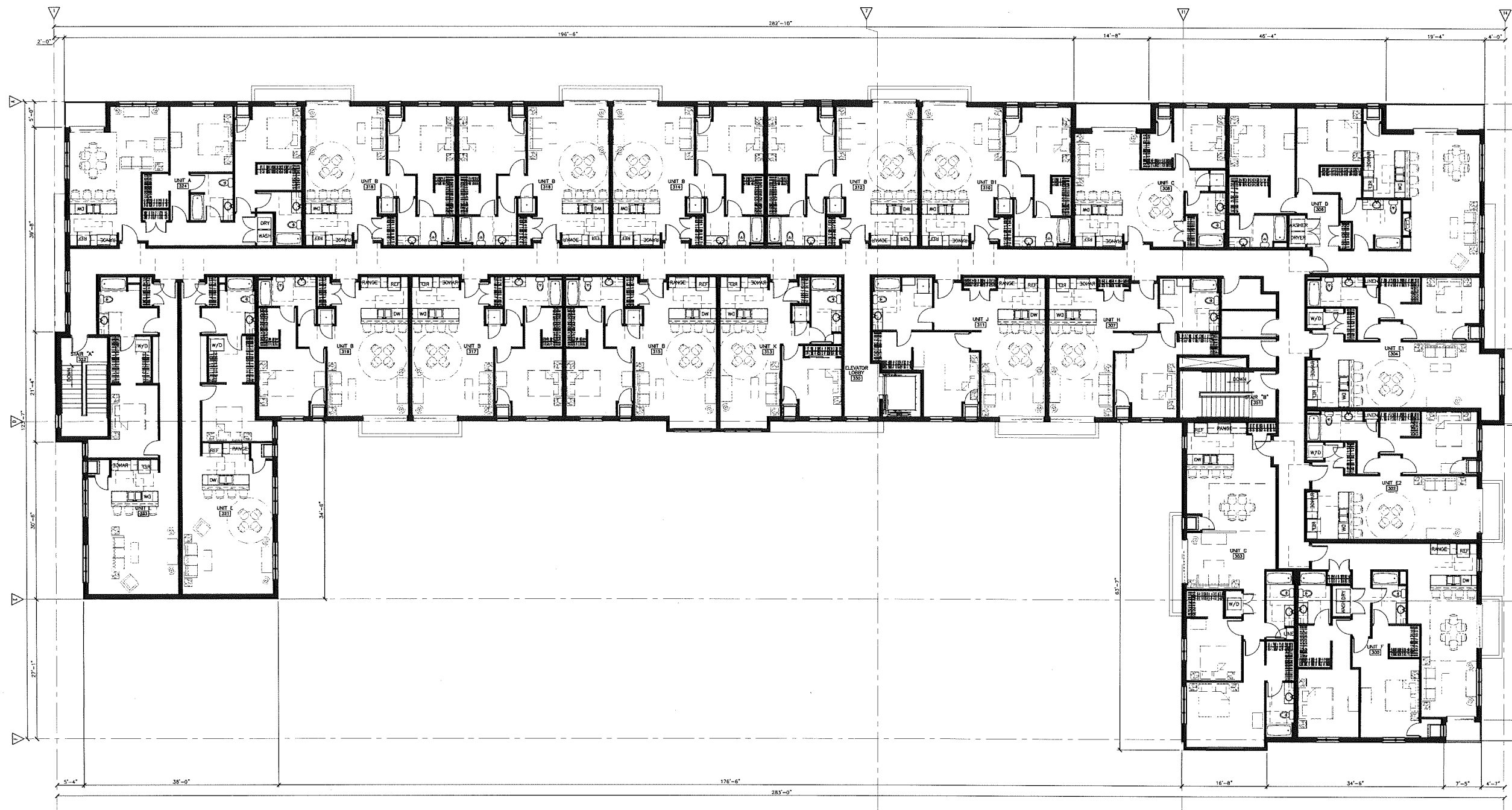
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1 THIRD FLOOR RESIDENTIAL PLAN
SCALE: 1/8" = 1'-0"