



# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 5201 Old Middleton Rd.

**Contact Name & Phone #:** Duane Johnson 608-836-3690

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

SHEET INDEX	
<b>SITE</b>	
C-1.1	SITE PLAN
C-1.2	SITE LIGHTING
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
C-0.1	EXISTING CONDITIONS
C-0.2	DEMOLITION PLAN
C-3.0	EROSION CONTROL PLAN
C-4.0	GRADING PLAN
C-5.0	UTILITY PLAN
L-1.0	LANDSCAPE PLAN
<b>ARCHITECTURAL</b>	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS RENDERINGS

**GENERAL NOTES**

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 75-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

5. AS DERIVED BY THE SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 3 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:  
[HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.HTM](https://www.cityofmadison.com/business/pw/specs.htm)

6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISSONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE EXCAVATION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.

9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.

10. APPROVAL OF PLANS FOR THE PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).

11. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.



**SITE LOCATOR MAP**

**SITE DEVELOPMENT DATA:**

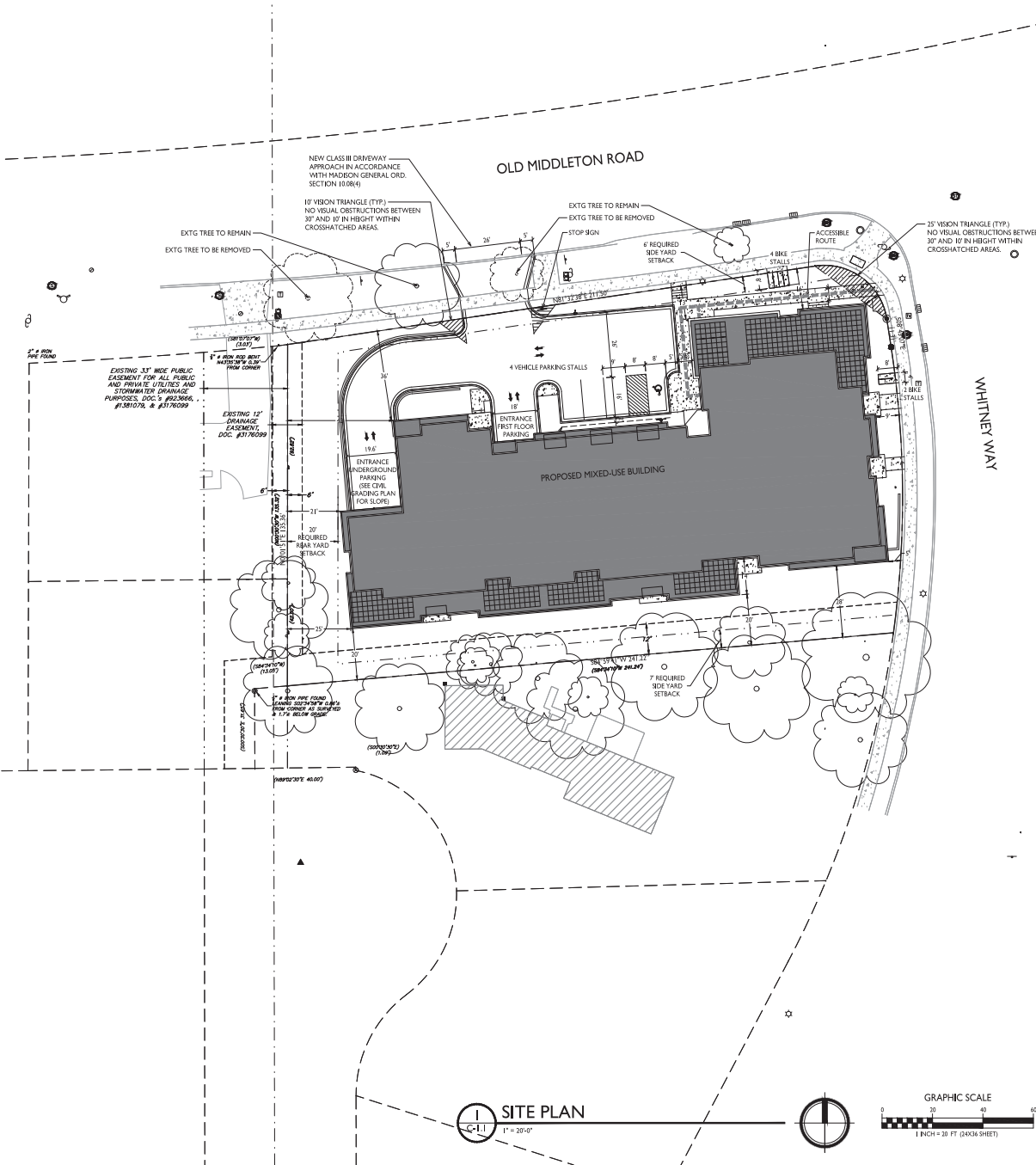
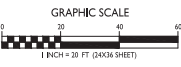
**ZONING: NMX NEIGHBORHOOD MIXED-USE DISTRICT**

DENSITIES	PROVIDED	REQUIRED
LOT AREA	34,294 S.F./79 ACRES	10 MAX.
DWELLING UNITS	49 UNITS	677 MIN.
LOT AREA / D.U. DENSITY	700 S.F./UNIT	29 MIN.
FRONT YARD SETBACK	5'-0"	9.600 S.F. MIN.
SIDE YARD SETBACK	13'-0" / 28'	
REAR YARD SETBACK	21'-0" / 42'	
LOT COVERAGE	22,856 S.F. (67%)	25,721 S.F. (75% MAX.)
USABLE OPEN SPACE	10,334 S.F.	
BUILDING HEIGHT	3-4 STORIES / 39'-48"	3 STORIES / 40'
	(CONDITIONAL USE ALLOWS)	
DWELLING UNIT MIX:		
STUDIO	12	
ONE BED	19	
ONE BED + DEN	7	
TWO BED	11	
TOTAL	49	
RESIDENTIAL	49,670 S.F.	
COMMERCIAL	1,454 S.F.	
PARKING	27,474 S.F.	
TOTAL FLOOR AREA	78,598 S.F.	
FLOOR AREA RATIO	2.29	
VEHICLE PARKING		
BASEMENT GARAGE SURFACE	46	
TOTAL	70 VEHICLE STALLS	
PARKING RATIO	1.4 STALLS/UNIT	
BIKE PARKING		
GARAGE - WALL	12	
GARAGE - FLOOR	37	
TOTAL COVERED/SECURE	49 RESIDENTIAL	
SURFACE COMMERCIAL	1 (11,000 S.F.)	
SURFACE-GUEST	5 (10% OF UNITS)	
TOTAL	55 PROVIDED	55 MIN. REQUIRED

**BIKE RACKS**

INTERIOR & EXTERIOR FLOOR MOUNTED:  
"INVERTED U" TYPE: MADRAX UX OR SARIS BIKE DOCK

INTERIOR WALL MOUNTED: MADRAX VERTICAL RACK OR SARIS BIKE TRACK

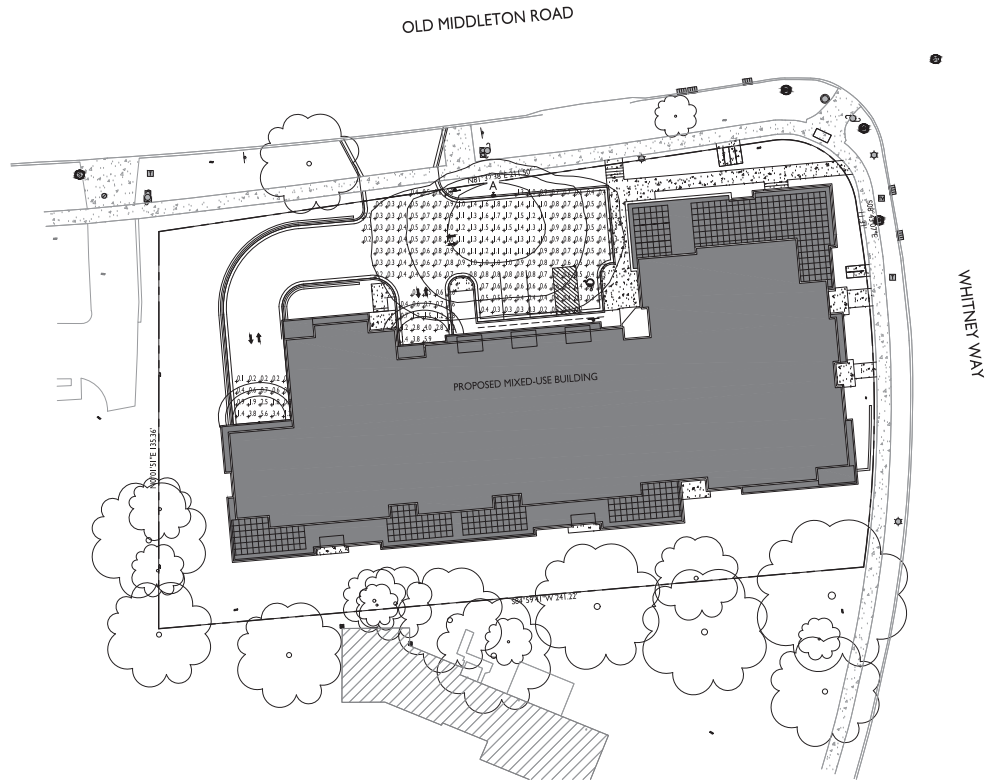
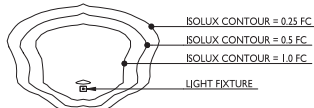


**SITE PLAN**  
1" = 20'-0"

STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking Area Lighting	+	0.7 fc	1.8 fc	0.2 fc	9.0:1	3.5:1
Upper Parking Garage Entrance Lighting	+	1.5 fc	5.9 fc	0.4 fc	14.8:1	3.8:1
Lower Parking Garage Entrance Lighting	+	1.3 fc	5.6 fc	0.1 fc	56.0:1	13.0:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	1	LITHONIA LIGHTING	DSX0 LED P1 30K T4M 14M MVOLT HS	DSX0 LED P1 30K T4M MVOLT WITH HOUSE SIDE SHIELD	DSX0_LED_P1_30K_T4M_MVOLT_HS.ies	18'40" POLE ON 2'-0" TALL CONC. BASE
□	B	3	LITHONIA LIGHTING	LIL LED 30K MVOLT	LIL WALLPACK (STANDARD)	LIL_LED_30K_MVOLT.ies	8'-0" ABOVE GRADE ON BUILDING

**EXAMPLE LIGHT FIXTURE DISTRIBUTION**



**SITE LIGHTING PLAN**  
 1" = 20'-0"  
 GRAPHIC SCALE  
 1" = 20 FT. (24X36 SHEET)

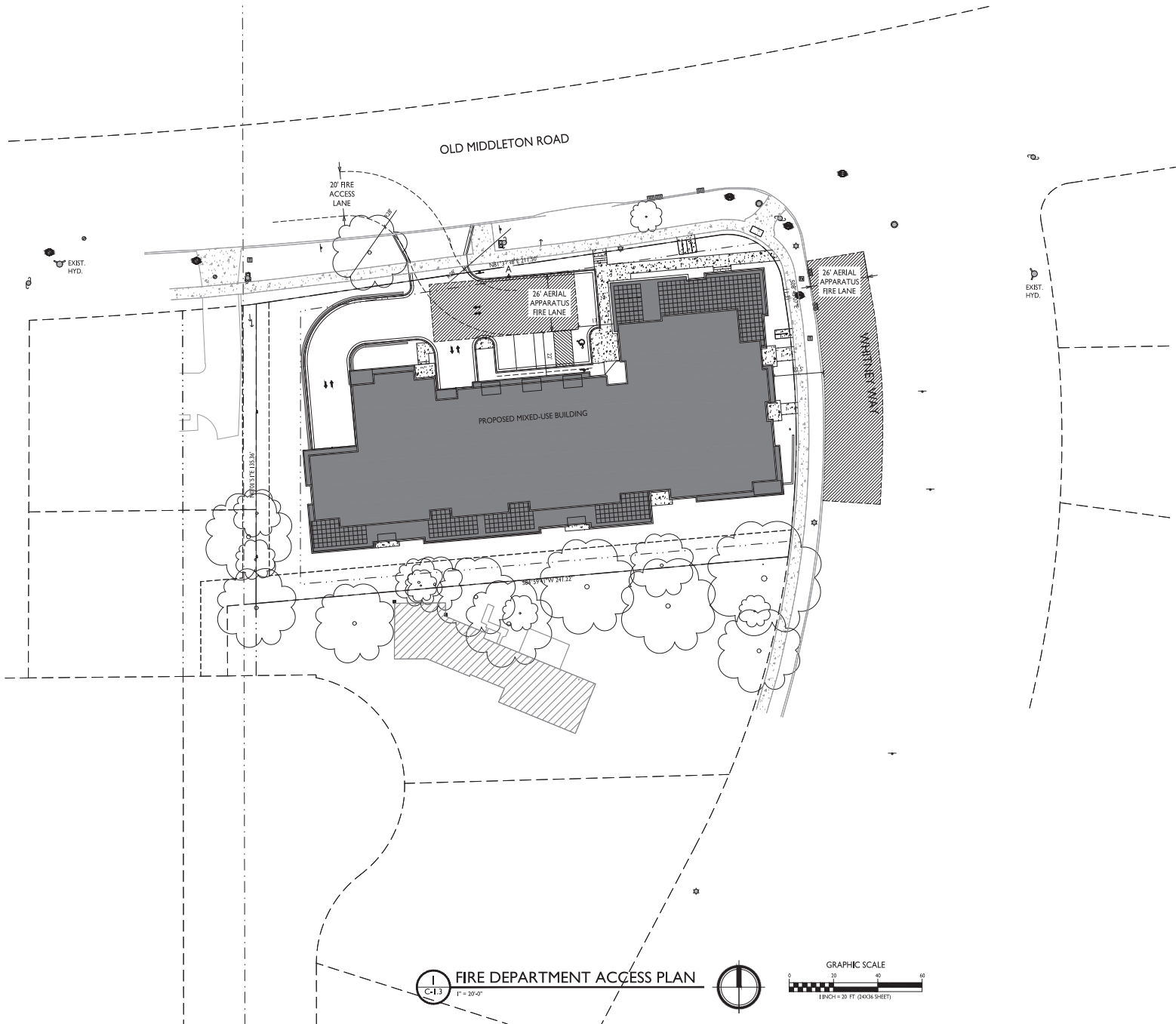
ISSUED  
 Issued for Land Use Submittal - Sept. 2, 2010

PROJECT TITLE  
**Old Middleton Rd. Development**  
 5201 Old Middleton Rd.

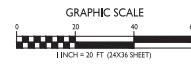
SHEET TITLE  
**Site Lighting Plan**

SHEET NUMBER

**C-I.2**  
 PROJECT NO. 2012  
 © Knothe & Bruce Architects, LLC



**FIRE DEPARTMENT ACCESS PLAN**  
 C-1.3 1" = 20'-0"





OLD MIDDLETON ROAD

WHITNEY WAY

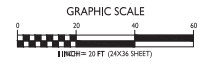
PROPOSED MIXED-USE BUILDING

6' REQUIRED  
SIDE YARD  
SETBACK

20' REQUIRED  
REAR YARD  
SETBACK

7' REQUIRED  
SIDE YARD  
SETBACK

C-1.4 LOT COVERAGE  
1" = 20'



LOT COVERAGE	
ZONING: NMX / NEIGHBORHOOD MIXED-USE DISTRICT	
TOTAL LOT AREA	34,294 S.F.
MAX. ALLOWED	25,720 S.F. (73%)
PROPOSED LOT COVERAGE	22,856 S.F. (67%)



ISSUED  
Issued for Land Use Submittal - Sept. 2, 2010

PROJECT TITLE  
Old Middleton Rd.  
Development  
5201 Old Middleton Rd.

SHEET TITLE  
Lot Coverage

SHEET NUMBER

C-1.4  
PROJECT NO. 2012  
© Knothe & Bruce Architects, LLC

ISSUED  
 Issued for Land Use Submittal - Sept. 2, 2010

PROJECT TITLE  
**Old Middleton Rd.  
 Development**  
 5201 Old Middleton Rd.

SHEET TITLE  
**Usable Open  
 Space**

SHEET NUMBER

**C-1.5**

PROJECT NO. **2012**  
 © Knothe & Bruce Architects, LLC

OLD MIDDLETON ROAD

WHITNEY WAY

PROPOSED MIXED-USE BUILDING

6 REQUIRED  
 SIDE YARD  
 SETBACK

7 REQUIRED  
 SIDE YARD  
 SETBACK

**USABLE OPEN SPACE**  
 C-1.5 1" = 30'-0"



USABLE OPEN SPACE	
ZONING: NMX - NEIGHBORHOOD MIXED-USE DISTRICT	
OPEN SPACE REQUIREMENT	160 S.F./LODGING RM OR 1 BED UNIT 320 S.F. FOR > 1 BED UNIT
DWELLING UNITS	
ONE BED	35 (160 S.F.)= 5,600 S.F.
>ONE BED	14 (320 S.F.)= 4,480 S.F.
	49 10,080 S.F. REQUIRED
OPEN SPACE PROVIDED	
ROOF DECK, PORCHES, BALCONIES	4,339 S.F.
SURFACE	5,995 S.F.
TOTAL	10,334 S.F. PROVIDED

- SURVEY LEGEND**
- BENCHMARK
  - FOUND 1" # IRON PIPE
  - FOUND 1-3/4" # IRON PIPE
  - FOUND 1 1/4" # IRON ROD
  - FOUND 3/4" # IRON ROD
- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING RETAINING WALL
  - EXISTING WOOD FENCE
  - EXISTING OVERHEAD GENERAL UTILITIES
  - EXISTING 4" SANITARY SEWER LATERAL
  - EXISTING 8" SANITARY SEWER LINE
  - EXISTING 12" STORM SEWER LINE
  - EXISTING 15" STORM SEWER LINE
  - EXISTING 18" STORM SEWER LINE
  - EXISTING 24" STORM SEWER LINE
  - EXISTING EDGE OF TREES
  - EXISTING EDGE OF SHRUBS
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING UTILITY DUCT
  - EXISTING SIGN (TYPE NOTED)
  - EXISTING CURB INLET
  - EXISTING ROOF DRAIN
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING DOWN GUY
  - EXISTING LIGHT POLE
  - EXISTING UTILITY POLE
  - EXISTING TV PEDESTAL
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING UNIDENTIFIED MANHOLE
  - EXISTING HANDICAP PARKING
  - EXISTING TRAFFIC SIGNAL
  - EXISTING DECIDUOUS TREE

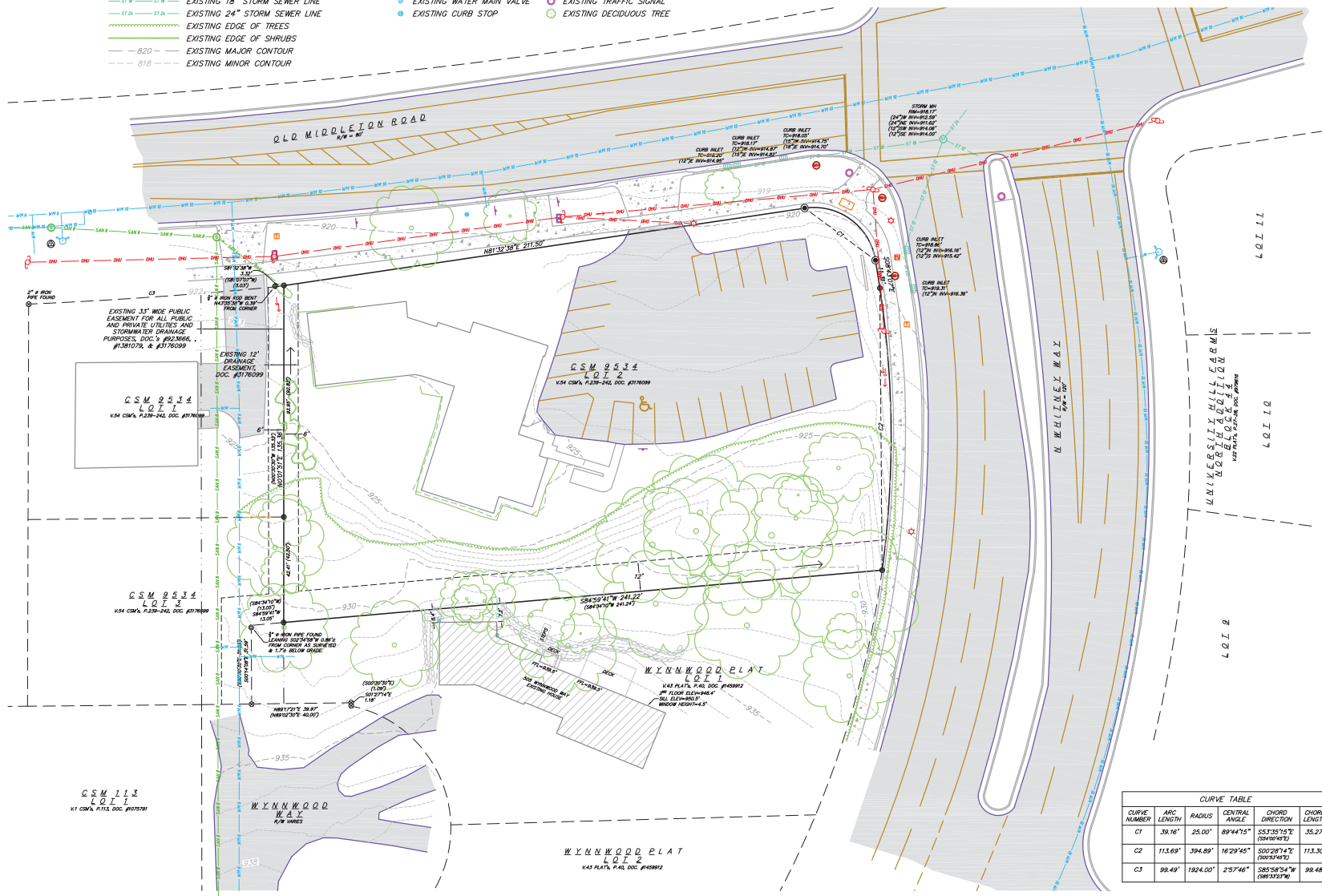
- BENCHMARK TABLE:**
- BENCHMARK #1 - ELEV. 924.11; TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF OLD MIDDLETON ROAD 90' WEST OF THE NORTHWEST PROPERTY CORNER.
  - BENCHMARK #2 - ELEV. 921.86; TOP NUT OF FIRE HYDRANT LOCATED AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF OLD MIDDLETON ROAD AND N WHINNEY WAY.



REMARKS ARE PLACED UPON THE SHEET WHERE THEY APPLY TO THE APPROPRIATE OBJECTS AND ARE REFERENCED BY NUMBER AT THE BEGINNING OF EACH LINE.

**SURVEYED FOR:**  
FLAD DEVELOPMENT & INVESTMENT CORP.  
ATTN: JOHN FLAD  
3330 UNIVERSITY AVENUE  
SUITE 206  
MADISON, WI 53705

**SURVEYED BY:**  
VIERBICHER ASSOCIATES, INC.  
BY: MICHAEL S. MARTY  
999 FOURIER DRIVE,  
SUITE 201  
MADISON, WI 53717  
(608)-821-3955  
mmar@vierbicher.com



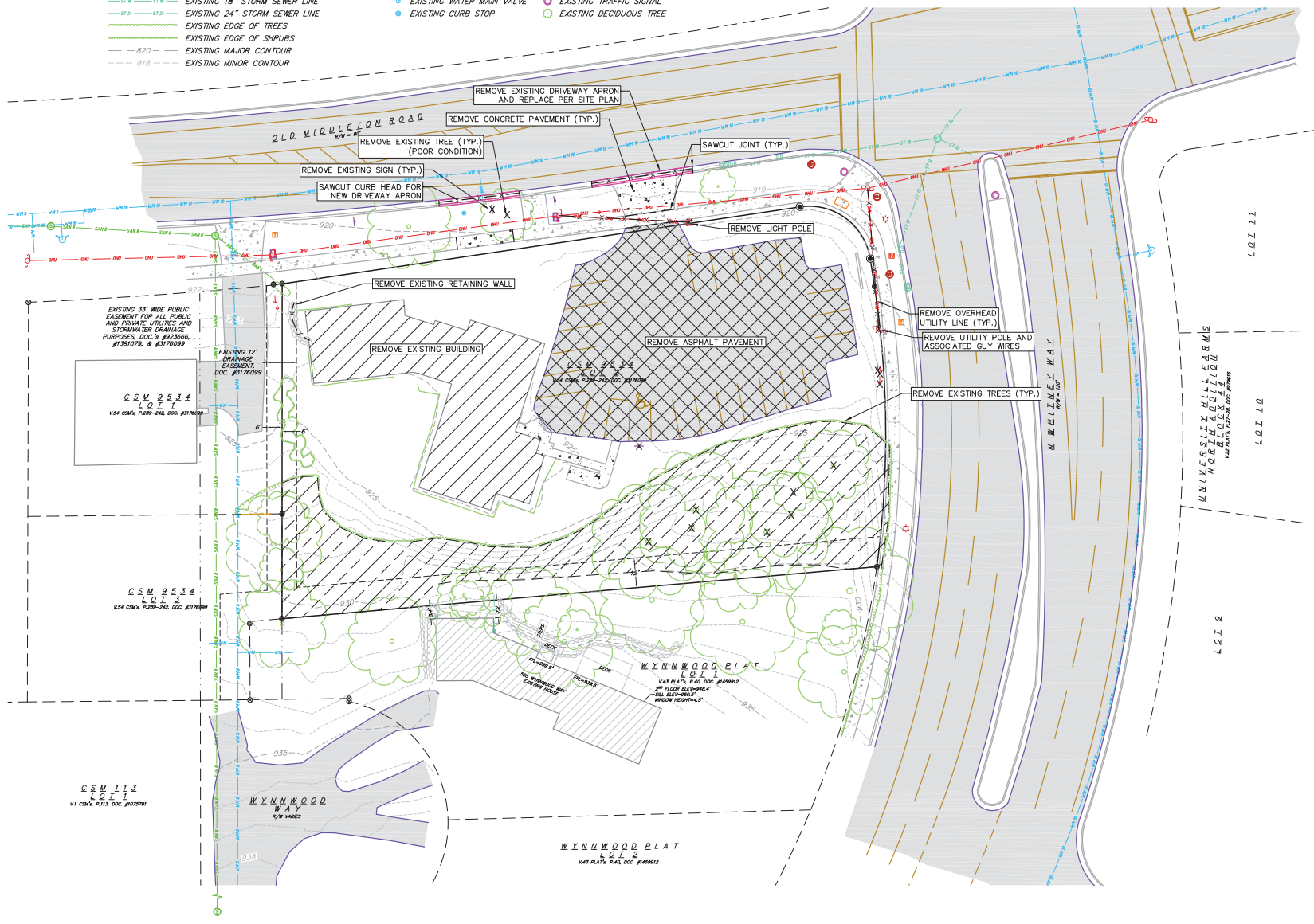
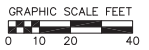
CURVE TABLE					
CURVE NUMBER	ARC LENGTH	RADIUS	CENTRAL ANGLE	CHORD DIRECTION	CHORD LENGTH
C1	38.16'	25.00'	89°44'15"	S53°35'15"E (784°00'49"E)	35.27'
C2	113.69'	394.89'	162°29'45"	S02°20'14"E (283°04'52"E)	113.30'
C3	99.49'	1924.00'	2°57'46"	S85°58'54"W (788°32'37"W)	99.48'

NO.	REVISIONS	
	DATE	REMARKS

SCALE: AS SHOWN  
DATE: 09/01/2020  
DRAFTER: JZM  
CHECKED: JZM

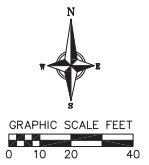
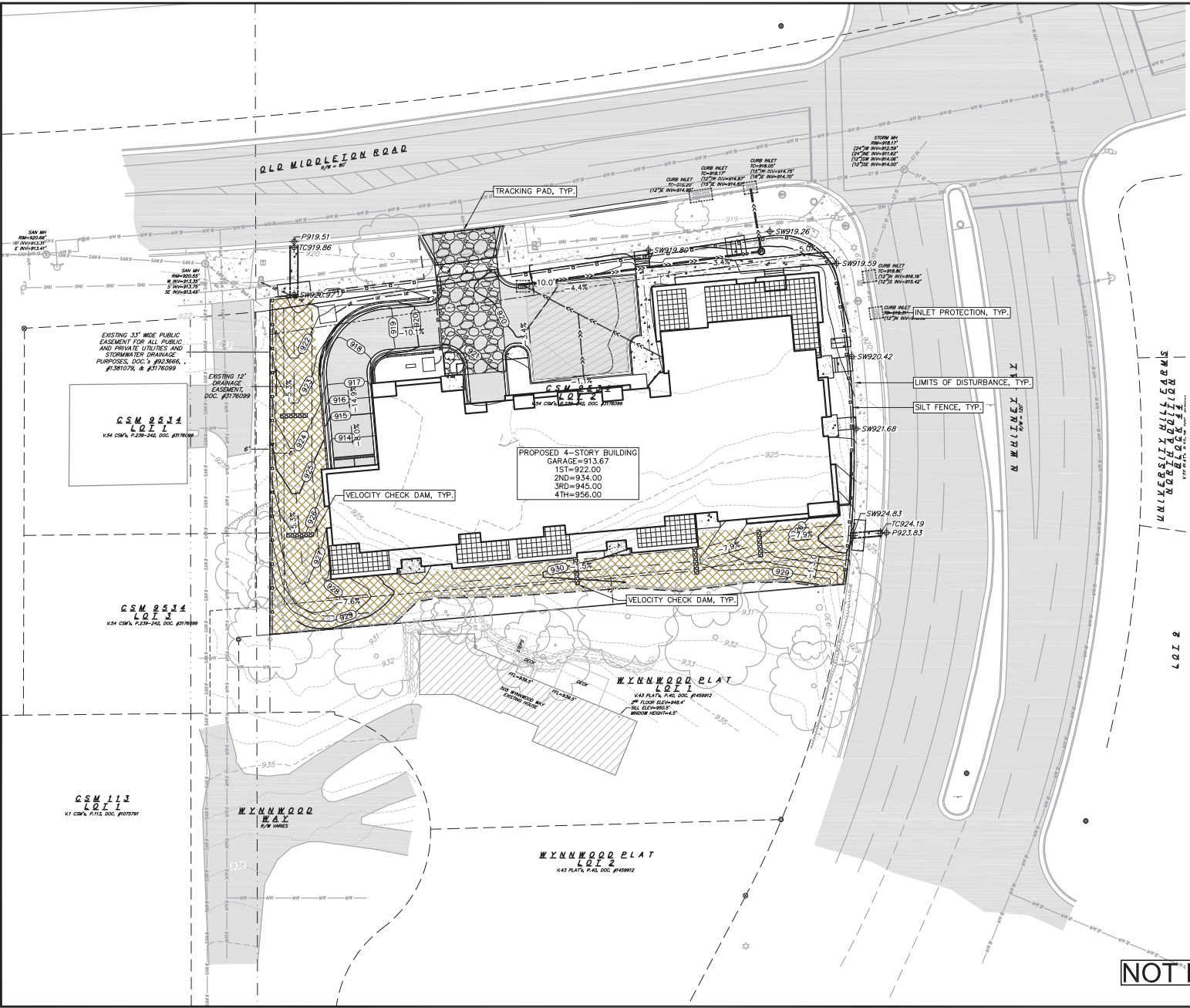
PROJECT NO.: 200155

- |   |   |  |  |
|---|---|--|--|
| <p><b>SURVEY LEGEND</b></p> <ul style="list-style-type: none"> <li>● BENCHMARK</li> <li>● FOUND 1" # IRON PIPE</li> <li>● FOUND 1-3/4" # IRON PIPE</li> <li>● FOUND 1 1/4" # IRON ROD</li> <li>● FOUND 3/4" # IRON ROD</li> </ul> | <p><b>TOPOGRAPHIC LINEWORK LEGEND</b></p> <ul style="list-style-type: none"> <li>--- EXISTING RETAINING WALL</li> <li>--- EXISTING WOOD FENCE</li> <li>--- EXISTING OVERHEAD GENERAL UTILITIES</li> <li>--- EXISTING 4" SANITARY SEWER LATERAL</li> <li>--- EXISTING 8" SANITARY SEWER LINE</li> <li>--- EXISTING 12" STORM SEWER LINE</li> <li>--- EXISTING 15" STORM SEWER LINE</li> <li>--- EXISTING 18" STORM SEWER LINE</li> <li>--- EXISTING 24" STORM SEWER LINE</li> <li>--- EXISTING EDGE OF TREES</li> <li>--- EXISTING EDGE OF SHRUBS</li> <li>--- EXISTING MAJOR CONTOUR</li> <li>--- EXISTING MINOR CONTOUR</li> </ul> | <p><b>TOPOGRAPHIC SYMBOL LEGEND</b></p> <ul style="list-style-type: none"> <li>□ EXISTING UTILITY DUCT</li> <li>□ EXISTING SIGN (TYPE NOTED)</li> <li>□ EXISTING CURB INLET</li> <li>□ EXISTING ROOF DRAIN</li> <li>□ EXISTING STORM MANHOLE</li> <li>□ EXISTING SANITARY MANHOLE</li> <li>□ EXISTING FIRE HYDRANT</li> <li>□ EXISTING WATER MAIN VALVE</li> <li>□ EXISTING CURB STOP</li> <li>↑ EXISTING DOWN GUY</li> <li>↑ EXISTING LIGHT POLE</li> <li>↑ EXISTING UTILITY POLE</li> <li>↑ EXISTING TV PEDESTAL</li> <li>↑ EXISTING TELEPHONE PEDESTAL</li> <li>↑ EXISTING UNIDENTIFIED MANHOLE</li> <li>↑ EXISTING HANDICAP PARKING</li> <li>↑ EXISTING TRAFFIC SIGNAL</li> <li>○ EXISTING DECIDUOUS TREE</li> </ul> | <p><b>DEMOLITION PLAN LEGEND</b></p> <ul style="list-style-type: none"> <li>--- CURB AND GUTTER REMOVAL</li> <li>--- ASPHALT REMOVAL</li> <li>--- CONCRETE REMOVAL</li> <li>--- BUILDING REMOVAL</li> <li>--- TREE REMOVAL</li> <li>--- SAWCUT</li> <li>--- UTILITY STRUCTURE REMOVAL</li> <li>--- UTILITY LINE REMOVAL</li> </ul> |
|---|---|--|--|



NO.	DATE	REVISIONS	REMARKS





- GRADING LEGEND**
- 820 - EXISTING MAJOR CONTOURS
  - 818 - EXISTING MINOR CONTOURS
  - 820 - PROPOSED MAJOR CONTOURS
  - 818 - PROPOSED MINOR CONTOURS
  - - - - DITCH CENTERLINE
  - - - - SILT FENCE
  - - - - DISTURBED LIMITS
- DRAINAGE DIRECTION
- ↗ PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS II, TYPE B
- TRACKING PAD

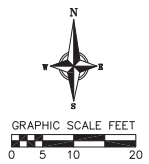
**NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	REMARKS



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- GRADING LEGEND**
- - - 820 - - - EXISTING MAJOR CONTOURS
  - - - 918 - - - EXISTING MINOR CONTOURS
  - - - 920 - - - PROPOSED MAJOR CONTOURS
  - - - 915 - - - PROPOSED MINOR CONTOURS
  - - - 918 - - - DITCH CENTERLINE
  - - - 2.92% - - - PROPOSED SLOPE ARROWS
  - ⊕ 1048.61 - - - EXISTING SPOT ELEVATIONS
  - ⊕ 1048.61 - - - PROPOSED SPOT ELEVATIONS

OLD MIDDLETON RD

N WHITNEY WAY

PROPOSED 4-STORY BUILDING GARAGE=913.67  
 1ST=922.00  
 2ND=934.00  
 3RD=945.00  
 4TH=956.00

NOT FOR CONSTRUCTION

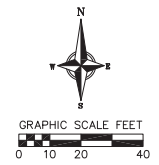
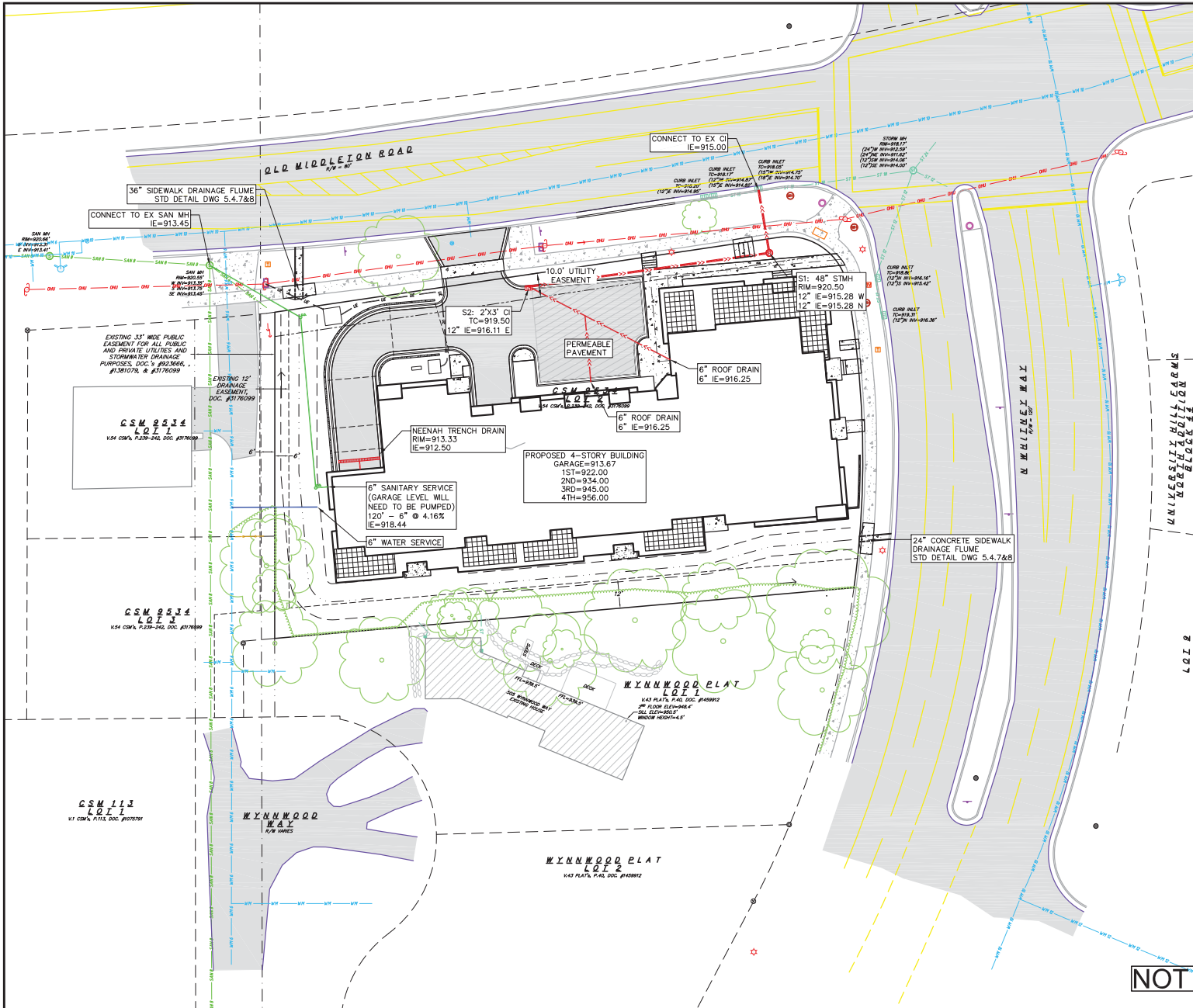


**Grading Plan**  
 5201 Old Middleton Rd  
 Madison  
 Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS

SCALE: AS SHOWN  
 DATE: 09/01/2020  
 DESIGNER: JZM  
 CHECKED: ZDR  
 PROJECT NO.: 200155

**C**  
**4.0**



- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING UNDERGROUND CABLE TV
  - EXISTING OVERHEAD CABLE TV
  - EXISTING FIBER OPTIC LINE
  - EXISTING OVERHEAD TELEPHONE LINE
  - EXISTING UNDERGROUND TELEPHONE
  - EXISTING RETAINING WALL
  - EXISTING WOOD FENCE
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING GUY LINE
  - EXISTING OVERHEAD ELECTRIC LINE
  - EXISTING OVERHEAD GENERAL UTILITIES
  - EXISTING SANITARY FORCE MAIN (SIZE NOTED)
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING EDGE OF TREES
  - EXISTING WATER MAIN (SIZE NOTED)

- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER CURB INLET
  - SANITARY SEWER LATERAL PIPE
  - SANITARY SEWER CLEANOUT
  - WATER SERVICE LATERAL PIPE
  - GAS MAIN
  - ELECTRIC SERVICE
  - PROPOSED PERMEABLE PAVEMENT

- ABBREVIATIONS**
- STMH - STORM MANHOLE
  - FI - FIELD INLET
  - CI - CURB INLET
  - CB - CATCH BASIN
  - EW - ENDWALL
  - SMH - SANITARY MANHOLE

NO.	DATE	REVISIONS	REMARKS

**NOT FOR CONSTRUCTION**

### EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wis.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELLED RUNOFF, FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER/THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

### CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- STRIP TOPSOIL-DETENTION BASINS
- ROUGH GRADE DETENTION BASINS
- SEED DETENTION BASINS
- STRIP TOPSOIL-STREETS & LOTS
- ROUGH GRADE STREETS & LOTS
- SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION
- CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
- RESTORE TERRACES
- REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

### SEEDING RATES:

- TEMPORARY:**
- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
  - USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED
- AFTER SEPTEMBER 15.

### PERMANENT:

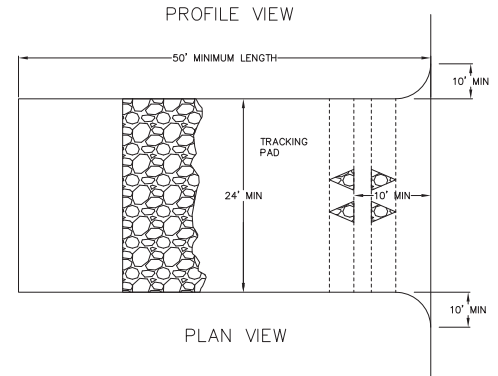
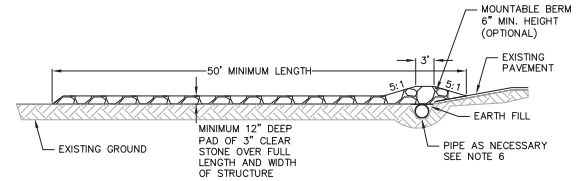
- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

### FERTILIZING RATES:

- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

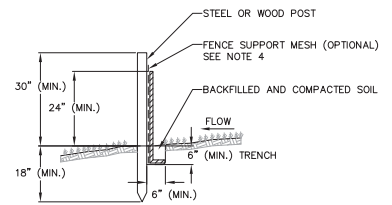
### MULCHING RATES:

- TEMPORARY AND PERMANENT:**
- USE 3/4" TO 1-3/4" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS, WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

### 1 TRACKING PAD NOT TO SCALE



- NOTES:**
- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
  - CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
  - POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
  - SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

### 2 SILT FENCE NOT TO SCALE



Construction Details  
5201 Old Middleton Rd  
Madison  
Dane County, Wisconsin

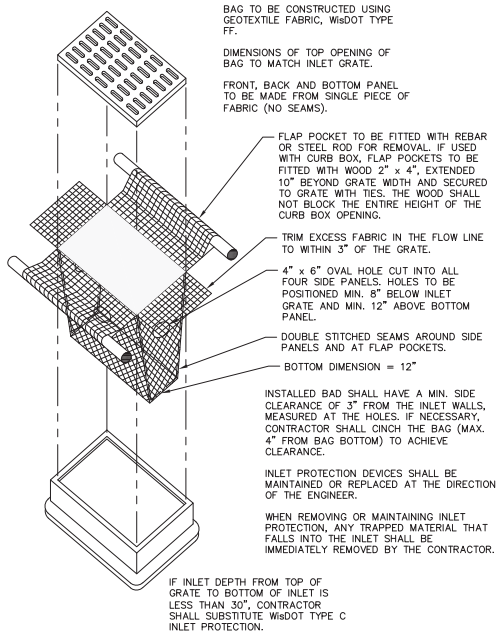
NO.	DATE	REVISIONS	REMARKS

SCALE AS SHOWN  
DATE 09/01/2020  
DRAWN JZM  
CHECKED ZDR

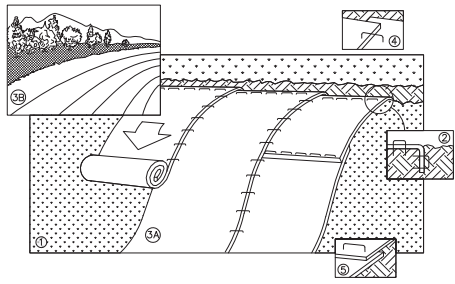
PROJECT NO. 200155

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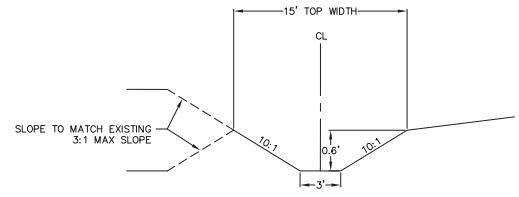


**1** INLET PROTECTION TYPE D  
NOT TO SCALE

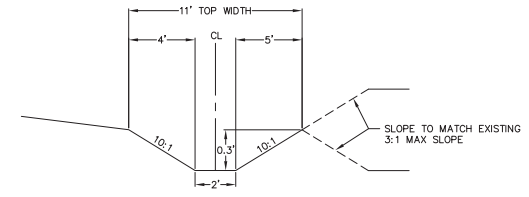


**3** EROSION MAT  
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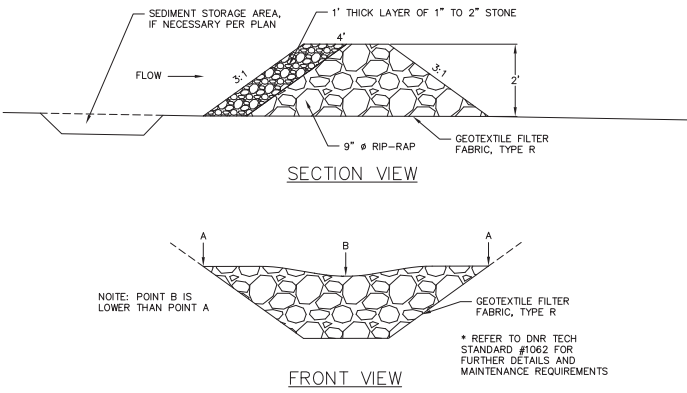
- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.  
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  3. ROLL THE BLANKETS <A> DOWN, OR <B> HORIZONTALLY ACROSS THE SLOPE.
  4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
  5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
  6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.



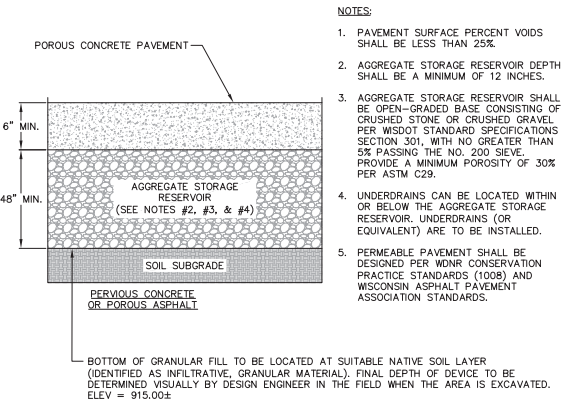
**4** WEST DITCH CROSS SECTION  
NOT TO SCALE



**5** SOUTH DITCH CROSS SECTION  
NOT TO SCALE



**2** WEEPER  
NOT TO SCALE



**6** PERMEABLE PAVEMENT  
NOT TO SCALE

- NOTES:**
1. PAVEMENT SURFACE PERCENT VOIDS SHALL BE LESS THAN 25%.
  2. AGGREGATE STORAGE RESERVOIR DEPTH SHALL BE A MINIMUM OF 12 INCHES.
  3. AGGREGATE STORAGE RESERVOIR SHALL BE OPEN-GRADED BASE CONSISTING OF CRUSHED STONE OR CRUSHED GRAVEL PER WISDOT STANDARD SPECIFICATIONS SECTION 301, WITH NO GREATER THAN 5% PASSING THE NO. 200 SIEVE. PROVIDE A MINIMUM POROSITY OF 30% PER ASTM C29.
  4. UNDERDRAINS CAN BE LOCATED WITHIN OR BELOW THE AGGREGATE STORAGE RESERVOIR. UNDERDRAINS (OR EQUIVALENT) ARE TO BE INSTALLED.
  5. PERMEABLE PAVEMENT SHALL BE DESIGNED PER MDNR CONSERVATION PRACTICE STANDARDS (1008) AND WISCONSIN ASPHALT PAVEMENT ASSOCIATION STANDARDS.

NO.	DATE	REVISIONS	REMARKS

SCALE	AS SHOWN
DATE	09/01/2020
DRAWN	JZM
CHECKED	ZDR
PROJECT NO.	200155

Plant Material List

Broadleaf Deciduous

Quantity	Code Name	Common Name	Scientific Name	Planting Size
2	ARM	Armstrong Maple	Acer X Freemanii 'armstrong'	2 1/2" B&B
2	RJCC	Red Jewel Crabapple (clp)	Malus 'jewelcole' (clp)	6' B&B
2	GPO	Green Pillar Pin Oak	Quercus Palustris 'pringreen'	2 1/2" B&B

Conifer Evergreen

Quantity	Code Name	Common Name	Scientific Name	Planting Size
17	MMP	Mops Mugo Pine	Pinus Mugo 'mops'	#3 CONT.
5	EWP	Eastern White Pine	Pinus Strobus	7' B&B
3	TY	Taunton Yew	Taxus X Media 'tauntonii'	18" B&B
11	HA	Holmstrup Arborvitae	Thuja Occidentalis 'holmstrup'	5' B&B
6	CNH	Canadian Hemlock	Tsuga Canadensis	7' B&B

Perennial

Quantity	Code Name	Common Name	Scientific Name	Planting Size
13	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
3	PH	Patriot Hosta	Hosta 'patriot'	#1 CONT.
17	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpureascens	#1 CONT.
15	GBES	Goldsturm Black-Eyed Susan	Rudbeckia Ful Var Sullivan 'goldsturm'	#1 CONT.
67	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

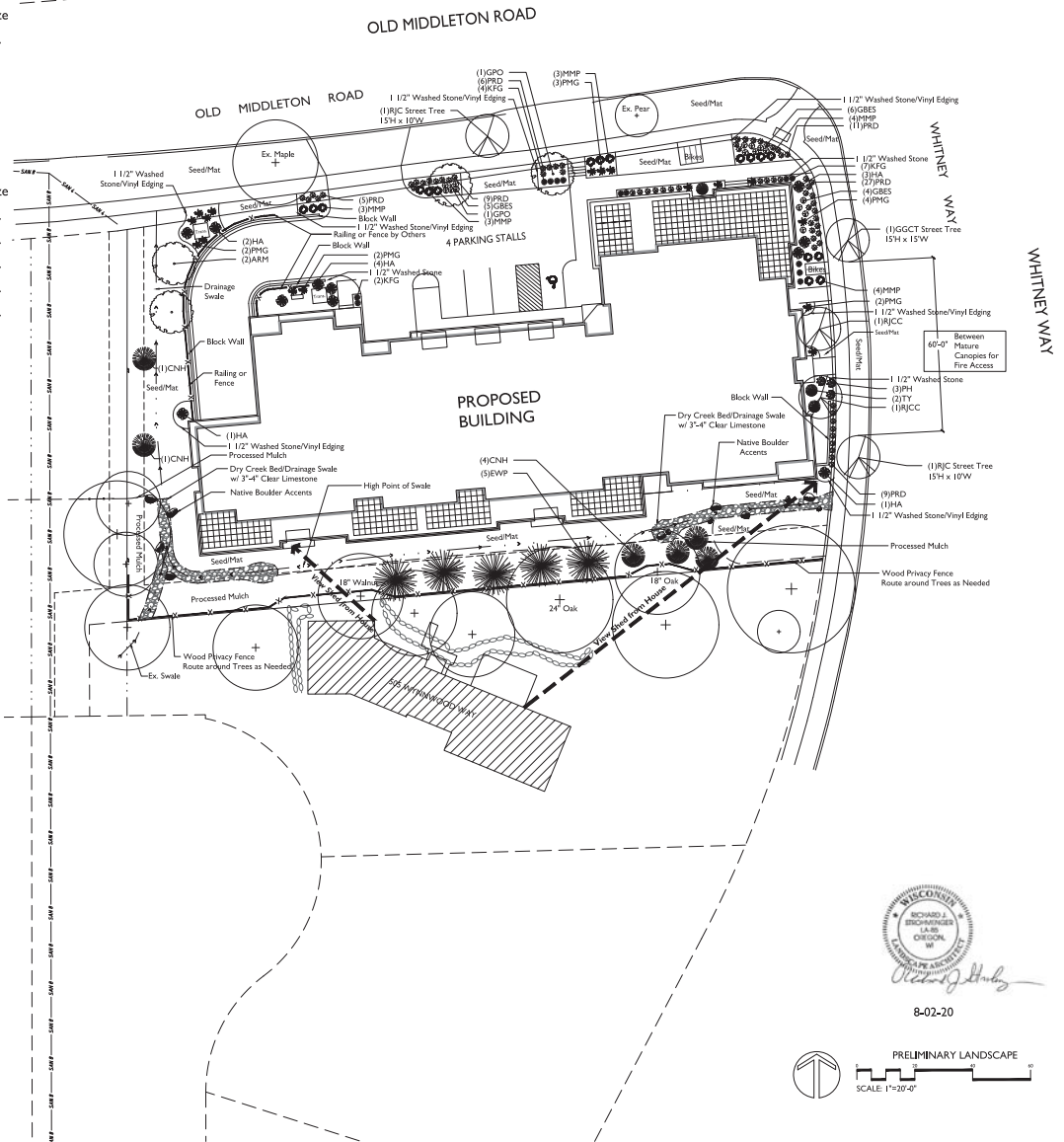
Plant Material List—Street Trees Required

Broadleaf Deciduous

Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	GGCT	Golden Glory Corn Cherry (tf)	Cornus Mas 'golden Glory' (tf)	2" B&B
2	RJC	Red Jewel Crabapple	Malus 'jewelcole'	2" B&B

GENERAL NOTES

- A) Areas labeled "Process Wood Mulch" to receive hardwood wood mulch, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive hardwood wood mulch rings (and wood mulch beds), spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:  
 10% Palmer IV Perennial Ryegrass  
 20% Dragon Kentucky Bluegrass  
 20% Diva Kentucky Bluegrass  
 20% Foxy II Creeping Red Fescue  
 15% Val II Perennial Ryegrass  
 15% Goney Kentucky Bluegrass
- G) Areas labeled "SeedMat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with D575 straw erosion control netting that is then pegged into the soil with metal staples.
- H) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.
- I) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction.  
<http://www.cityofmadison.com/business/pw/documents/StdSpecs2013/Part1.pdf>
- J) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



8-02-20



**Richard J. Bruchman**  
 the office company  
 LANDSCAPE ARCHITECTS  
 LANDSCAPE CONTRACTORS  
 2630 PARKER STREET  
 F.O. BOX 40338  
 MIDDLETON, WI 53562-0338  
 TEL: (608) 839-7991  
 FAX: (608) 831-6266

**5201 OLD MIDDLETON ROAD**  
 5201 OLD MIDDLETON ROAD  
 MADISON, WISCONSIN 53705

Checked By: SS  
 Drawn By: 9/02/20 RS

Revised:  
 Revised:  
 Revised:  
 Revised:  
 Revised:  
 Revised:  
 Revised:

**L-1.1**

This plan was prepared by the architect under the supervision of the Professional Landscape Architect. It is not to be used for any other purpose without the written consent of the architect. The Professional Landscape Architect is not responsible for any errors or omissions in this plan.





LANDSCAPE ARCHITECTS  
LANDSCAPE CONTRACTORS

2830 PARMENTER STREET  
P.O. BOX 620330  
MIDDLETON, WI 53562-0330

TEL (608) 836-7041  
FAX (608) 831-6266

# MADISON LANDSCAPE WORKSHEET

Zoning District: is NMX

Total square footage of developed area .....5,550 SF

Total square footage of first 5 acres of developed area ÷ 300 square feet = .....19 Landscape Units

Total square footage of 0 additional acres of developed area ÷ 100 square feet = .....0 Landscape Units

## NUMBER OF LANDSCAPE POINT REQUIRED

19 Landscape Units x 5 landscape points for first 5 acres..... 95 points

0 Landscape Units x 1 landscape point for additional 0 acres.....0 points

TOTAL LANDSCAPE POINTS REQUIRED.....95 points

PLANT TYPE or ELEMENT	Point Value	NEW		EXISTING		
		Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree : 2-1/2" (dbh)	35	4	140	3	105	
Tall Evergreen Tree : 5-6 feet tall	35	11	385			
Ornamental Tree : 1-1/2" Caliper (dbh)	15	2	30			
Upright Evergreen Shrub : 3-4 feet tall	10	11	99			
Shrub, deciduous : 3 gallon / 12"-24"	3	0	0			
Shrub, evergreen : 3 gallon / 12"-24"	4	20	80			
Ornamental grass/perennial : 1gallon / 8"-18"	2	115	230			
Ornamental / Decorative fencing or wall	4 per 10 l.f.	375	150			
Existing significant specimen tree	14 per Cal. In.					TOTAL POINTS PROVIDED
Landscape furniture for public seating and /or transit connections	5 per 'seat'					
Sub Totals			1114	+	105	

### Street Frontage Landscape Required

Street Frontage = 375 LF

Canopy Trees Required: 1 per 30 LF Frontage = ..... 12.5

Shrubs Required : 5 per 30 LF Frontage = ..... 63

### Street Frontage Landscape Supplied

Proposed Canopy Trees = 13.5

Proposed Shrubs = 31

5201 OLD MIDDLETON ROAD

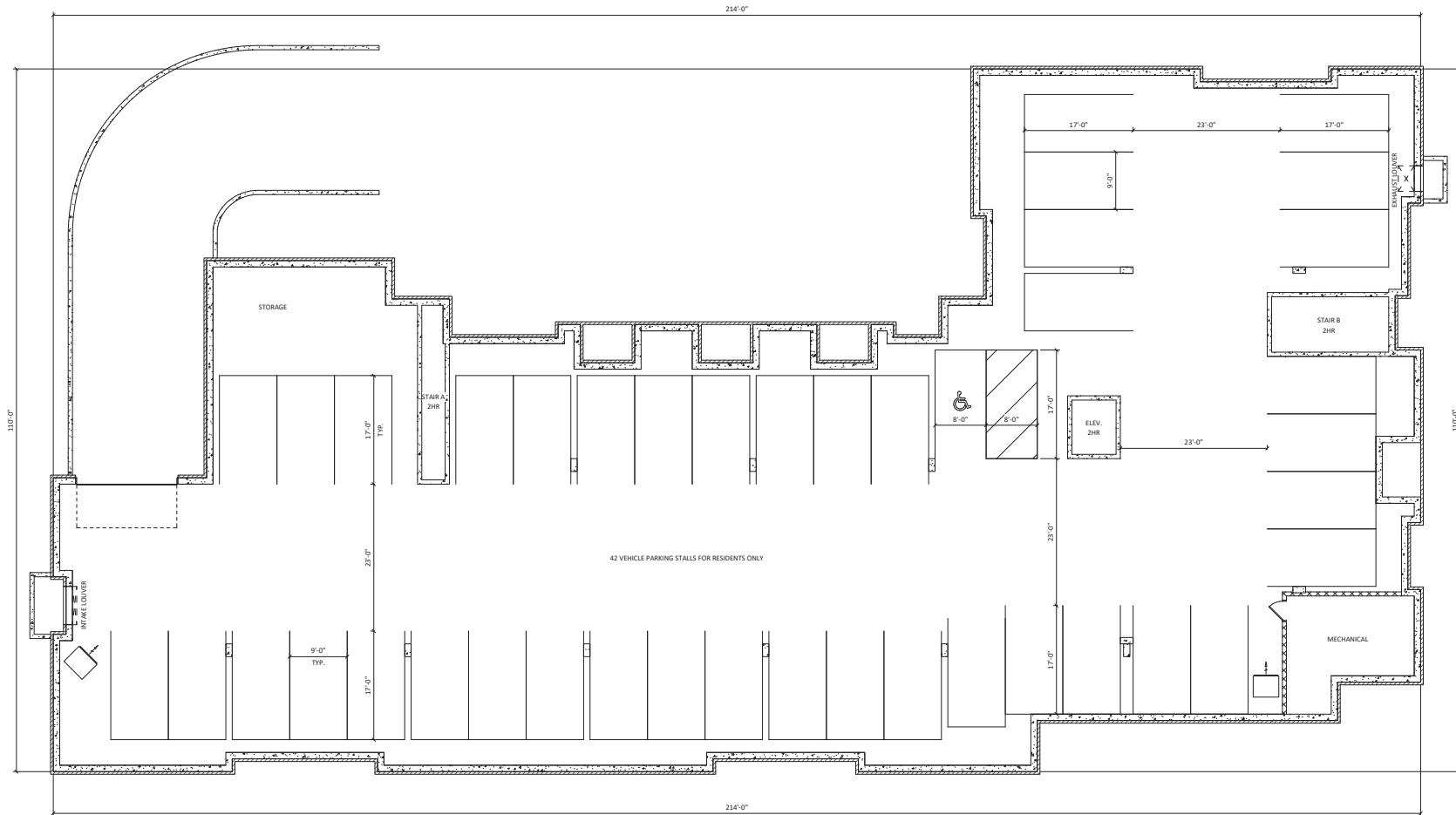
5201 OLD MIDDLETON ROAD  
MADISON, WISCONSIN 53705

Checked By: SS  
Drawn By: 9/02/20 RS

Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:

**L-2.1**

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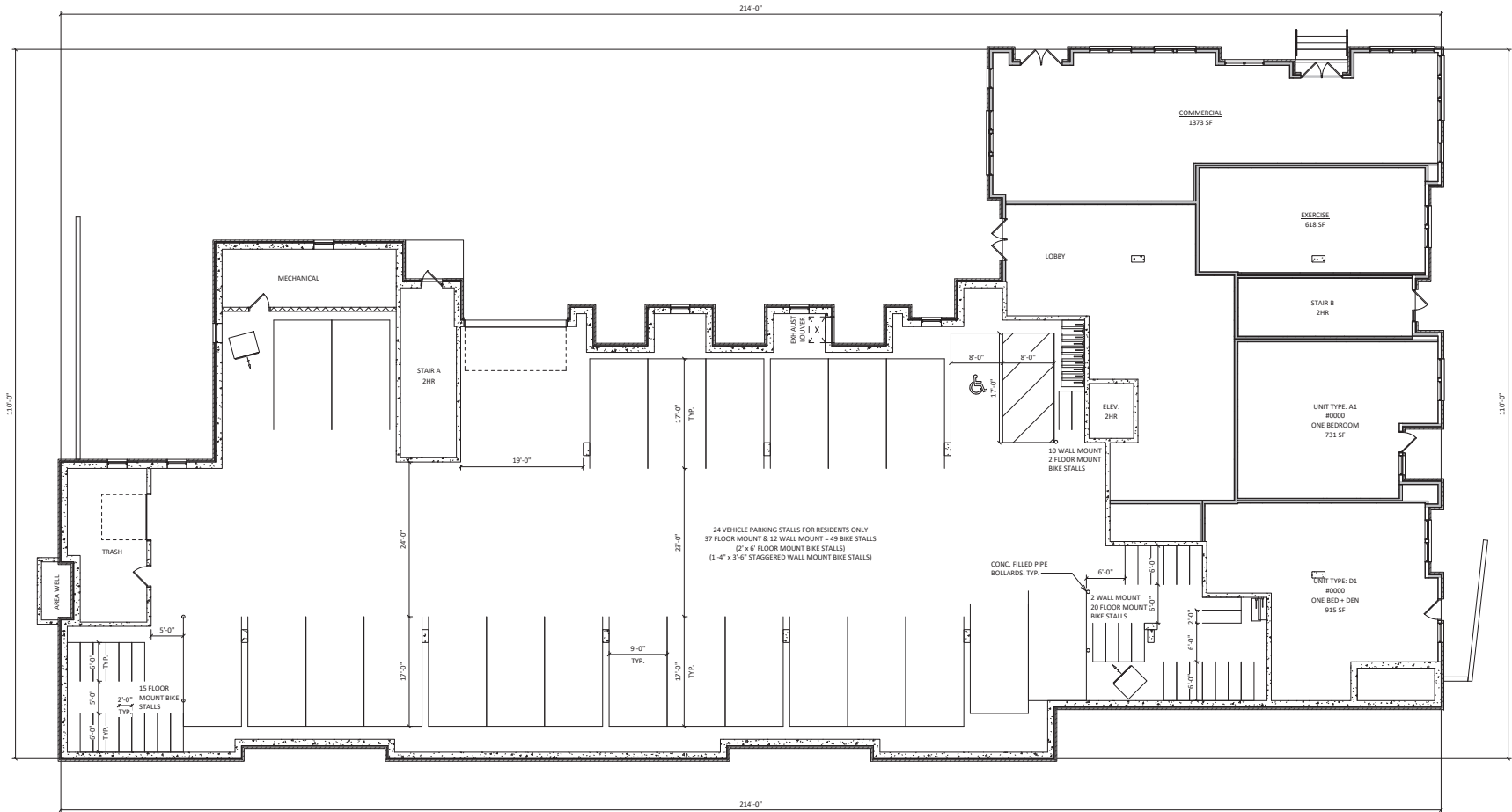
PROJECT TITLE

5201 OLD  
 MIDDLETON RD  
 MADISON, WI  
 SHEET TITLE  
**BASEMENT  
 FLOOR PLAN**

SHEET NUMBER

**A-1.0**  
 PROJECT NUMBER 2012  
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**1** BASEMENT FLOOR PLAN  
 A-1.0 1/8" = 1'-0"



**1**  
**FIRST FLOOR PLAN**  
 1/8" = 1'-0"



**1**  
**A-1.2**  
**SECOND FLOOR PLAN**  
 1/8" = 1'-0"



**1**  
**A-1.3**  
 THIRD FLOOR PLAN  
 1/8" = 1'-0"





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KEY PLAN

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PROJECT TITLE

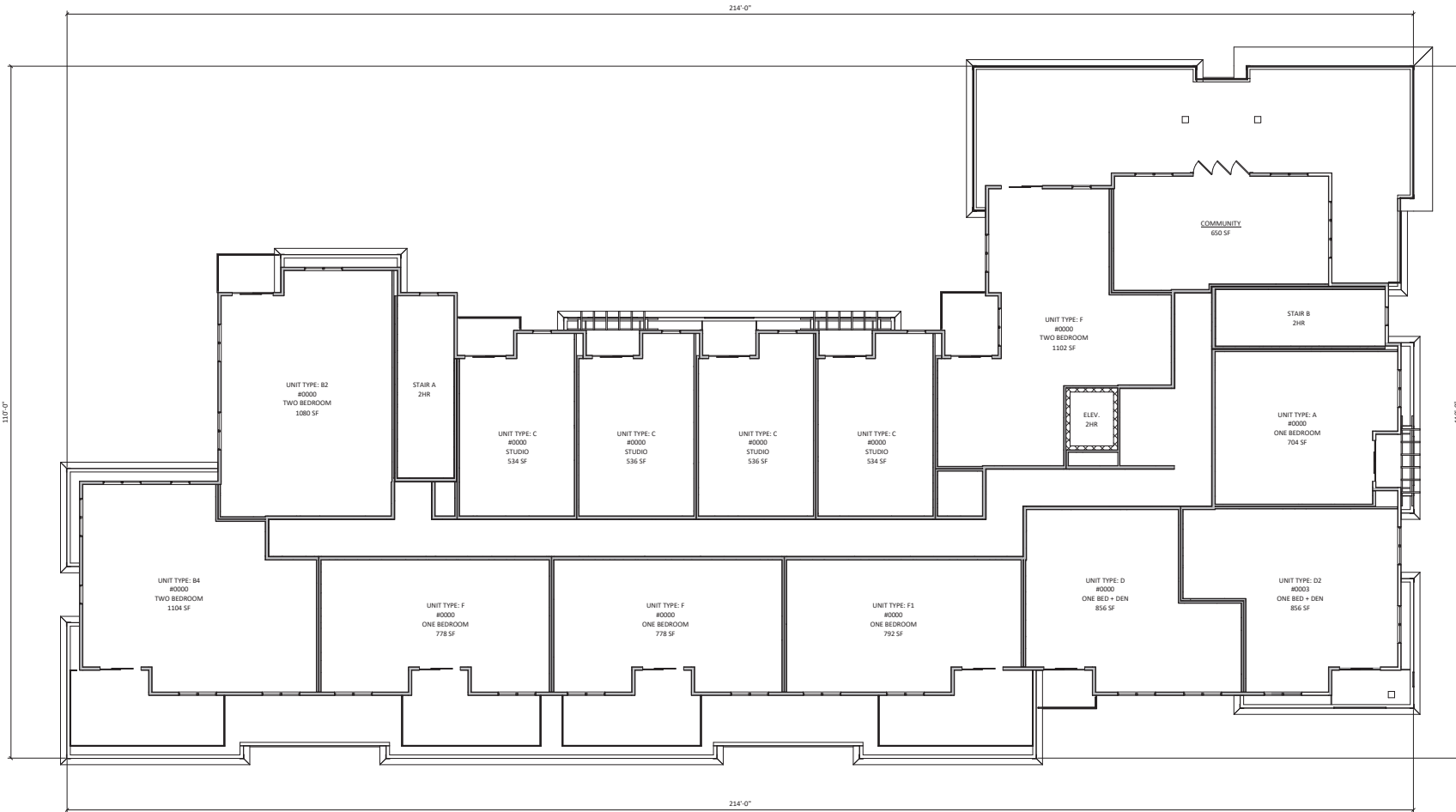
5201 OLD  
MIDDLETON RD  
MADISON, WI

SHEET TITLE  
**FOURTH FLOOR  
PLAN**

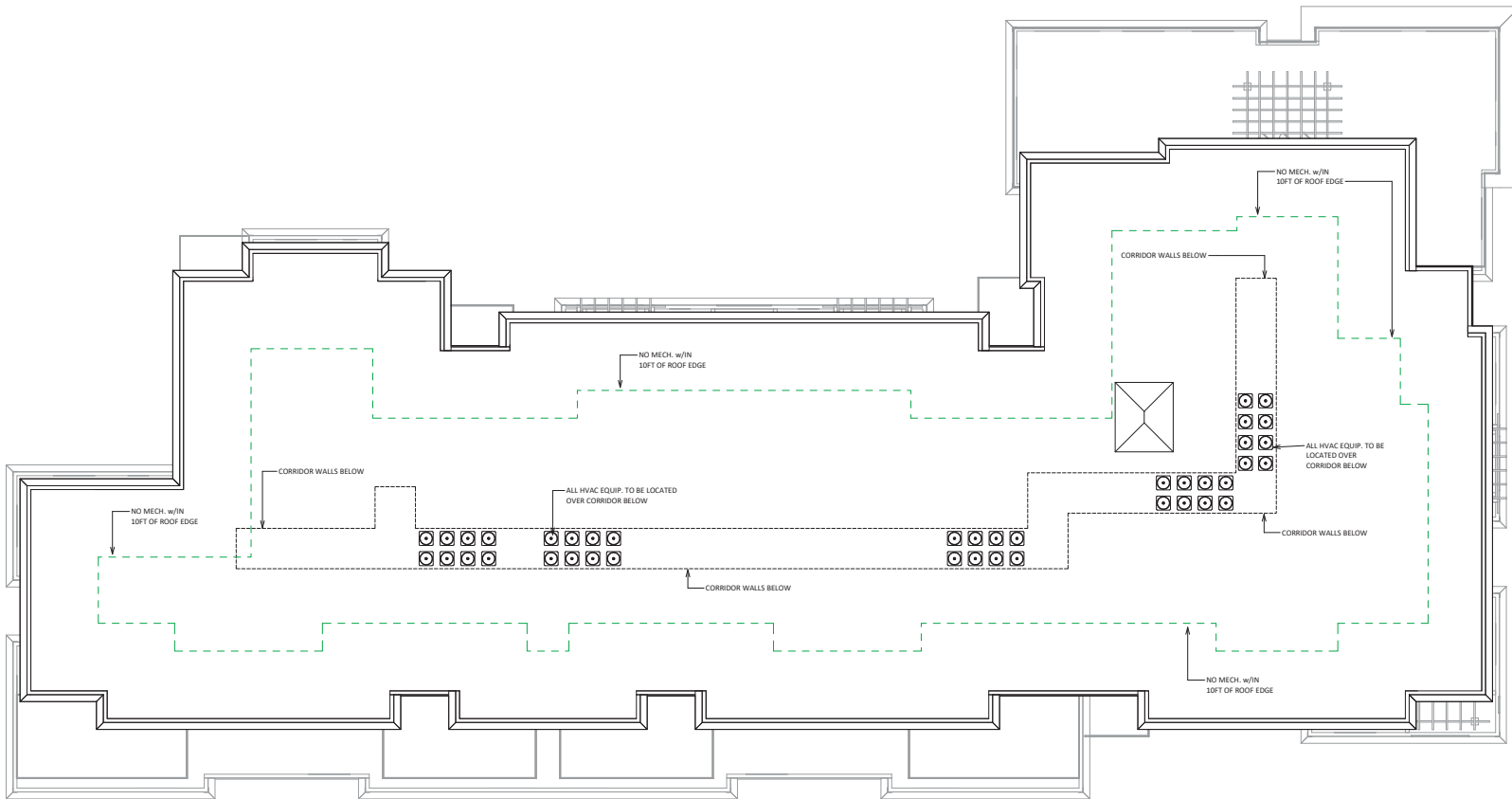
SHEET NUMBER

**A-1.4**

PROJECT NUMBER 2012  
© Knothe & Bruce Architects, LLC



**FOURTH FLOOR PLAN**  
1  
A-1.4  
1/8" = 1'-0"





1 NORTH ELEVATION  
 1/8" = 1'-0"



2 SOUTH ELEVATION  
 1/8" = 1'-0"



1 EAST ELEVATION  
 A-2.2 1/8" = 1'-0"



2 WEST ELEVATION  
 A-2.2 1/8" = 1'-0"



1 NORTH ELEVATION - COLOR  
 A-2.3 1/8" = 1'-0"



2 SOUTH ELEVATION - COLOR  
 A-2.3 1/8" = 1'-0"

PROJECT TITLE

5201 OLD  
 MIDDLETON RD  
 MADISON, WI

SHEET TITLE  
**EXTERIOR  
 ELEVATIONS -  
 COLORED**

SHEET NUMBER

**A-2.3**

PROJECT NUMBER 2012  
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1 EAST ELEVATION - COLOR  
 A-2.4 1/8" = 1'-0"



2 WEST ELEVATION - COLOR  
 A-2.4 1/8" = 1'-0"

PROJECT TITLE

5201 OLD  
 MIDDLETON RD  
 MADISON, WI

SHEET TITLE  
 EXTERIOR  
 ELEVATIONS -  
 COLORED

SHEET NUMBER

A-2.4

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5201 OLD MIDDLETON RD, MADISON WI  
RENDERED PERSPECTIVE  
SEPTEMBER 02, 2020







5201 OLD MIDDLETON RD, MADISON WI  
RENDERED PERSPECTIVE  
SEPTEMBER 02, 2020





5201 OLD MIDDLETON RD, MADISON WI  
RENDERED PERSPECTIVE  
SEPTEMBER 02, 2020







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