

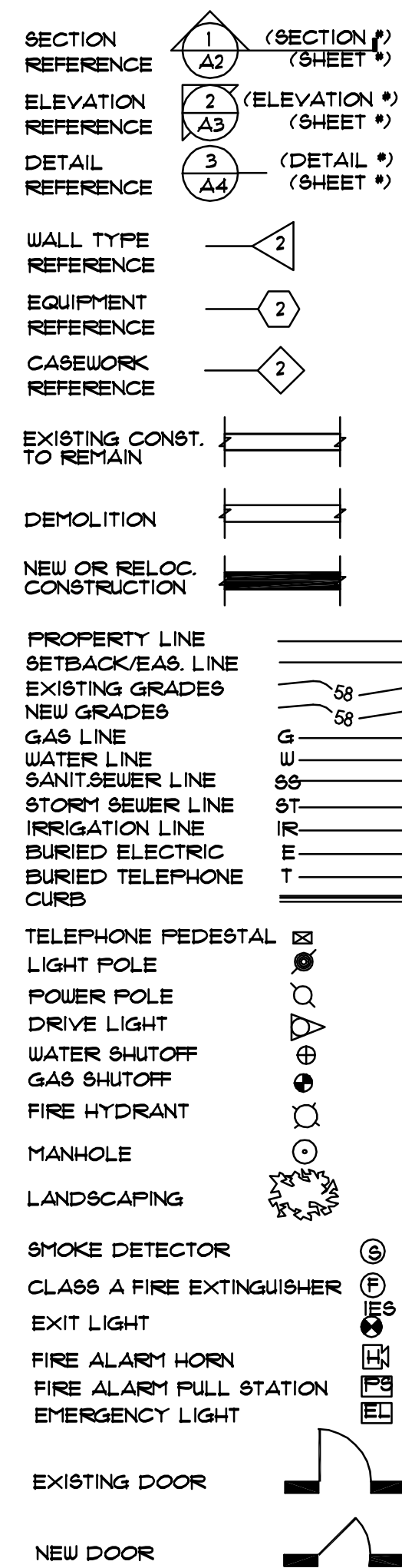
SAVANNA ON THE PARK TOWNHOUSES

* PHASE "4" (12 UNITS) * CONDOMINIUM'S *
6733 FAIRHAVEN ROAD, MADISON, WISCONSIN

GENERAL NOTES

- THIS DRAWING IS A PART OF A SET OF CONSTRUCTION DOCUMENTS DATED 11/02/2022.
- THE ARCHITECT'S, AND OR ENGINEER'S SEAL & SCOPE OF RESPONSIBILITY IS LIMITED TO THE INFORMATION SHOWN ON THE 'A' PREFIX DRAWINGS, AND THE PROJECT MANUAL, IF ANY, WHICH REPRESENTS HIS UNDERSTANDING OF THE PROJECT REQUIREMENTS PROVIDED BY THE OWNER'S AGENTS, OR REPRESENTATIVE, THE ENGINEER'S SEALS, IF ANY, AND SCOPE OF RESPONSIBILITY APPLIES ONLY TO THE INFORMATION ON THEIR DRAWINGS AND CALCULATIONS. THE STRUCTURAL CALCS ARE PART OF THE DOCUMENTS.
- THE OWNER, GENERAL CONTRACTOR, AND THEIR CONSULTANTS SHOULD REVIEW THE DESIGN INTENT, WORK SCOPE, AND GENERAL ADEQUACY OF THESE DOCUMENTS TO SATISFY THEIR EXPECTATIONS FOR THE FINISHED PROJECT, AND ADVISE THE ARCHITECT OF ANY DESIRED REVISIONS.
- THE SCOPE OF WORK IS INDICATED ON THE PLANS. CONFIRM THIS WITH THE OWNER PRIOR TO CONTRACT EXECUTION. ALL WORK SHALL COMPLY WITH APPLICABLE CODES.
- THE G.C. WILL PROVIDE A COPY OF THESE DRAWINGS TO HIS CONSULTING ENGINEERS AND OR DESIGNERS FOR THEIR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
- THE DEGREE OF COMPLIANCE WITH FEDERAL A.D.A. REQUIREMENTS DESIRED BY THE OWNER MUST COMPLY WITH WISCONSIN CODE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROPER CODE DESIGN AND RELATED PERMIT ACQUISITIONS FOR ALL CIVIL, SITE DRAINAGE, PLUMBING, ELECTRICAL & HVAC WORK REQUIRED, FOR THE COMPLETED PROJECT IN ACCORDANCE WITH CODE.
- QUESTIONS FROM SUBCONTRACTORS SHOULD BE DIRECTED TO THE GENERAL CONTRACTOR, WHO WILL RELAY THEM TO THE ARCHITECT.
- PRIOR TO CONTRACT EXECUTION, THE G.C. IS RESPONSIBLE TO REVIEW THE SCOPE OF WORK AND ASSOCIATED PROJECT PHASING REQUIREMENTS OF THE OWNER, AND TO ADVISE BOTH THE OWNER AND THE ARCHITECT OF ANY EXISTING CONDITIONS OR OTHER RELEVANT ISSUES WHICH MAY AFFECT THE PROJECT SCHEDULE AND OTHER REQUIREMENTS.
- IF REQUESTED BY THE OWNER OR OTHERWISE REQUIRED BY THE DOCUMENTS THE G.C. SHALL PROVIDE THE FOLLOWING SUBMITTALS ON THE FORMAT OF CURRENT A.I.A. DOCUMENTS, UNLESS OTHERWISE ALLOWED:
A-305 CONTRACTOR'S QUALIFICATION STATEMENT.
G-105 CERTIFICATE OF INSURANCE
A-311 OR A-312, AS APPLICABLE, PERFORMANCE & LABOR & MATERIAL, PAYMENT BOND.
- AFTER EXECUTION OF THE CONTRACT FOR CONSTRUCTION, AND PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE G.C. WILL FURNISH THE OWNER WITH A SCHEDULE OF VALUES, AND A PROPOSED CONSTRUCTION SCHEDULE.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, DIMENSIONS, AND ALIGNMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. APPLIES TO THE ASSOCIATED INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON SITE DURING THE COURSE OF CONSTRUCTION, WHICH INDICATE ALL APPROVED CHANGES TO THE WORK.
- MATERIAL SUBSTITUTION WILL BE CONSIDERED IF SUBMITTED TO THE ARCHITECT IN WRITING FOR HIS REVIEW, AND WRITTEN ACCEPTANCE, IN ACCORDANCE WITH THE PROJECT MANUAL.
- DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF STUD OR CONCRETE, UNLESS OTHERWISE INDICATED.
- THESE DRAWINGS SHOULD NOT BE SCALED.

SYMBOLS



INDEX OF DRAWINGS

- TS TITLE SHEET
- S-1 SITE, GRADING, & UTILITY PLAN
- L-1 LANDSCAPE PLAN
- A1 FOUNDATION PLAN
A2 FOUNDATION DETAILS
A2a U.G. PARKING PLAN
A3 FIRST FLR. FRAMING PLAN
A4 SECOND FLR. FRAMING PLAN
A5 LOFT FLR. FRAMING PLAN
A6 ROOF FRAMING PLAN
A7 FIRST FLOOR PLAN
A8 SECOND FLOOR PLAN
A9 LOFT FLOOR PLAN
A10 1/4" FIRST FLOOR PLANS
A11 1/4" SECOND FLOOR PLANS
A12 1/4" LOFT PLANS
A13 NOT USED AT THIS TIME
A14 NOT USED AT THIS TIME
A15 GARAGE ELECTRIC PLAN
A16 1/4" FIRST FLOOR ELECTRIC PLANS
A17 SECOND FLOOR ELECTRIC PLANS
A18 1/4" LOFT ELECTRIC PLANS
A19 ELEVATIONS
A20 ELEVATIONS
A21 WALL SECTIONS
A22 WALL SECTIONS
A23 BUILDING SECTIONS
A24 BUILDING SECTIONS
A25 DETAILS

RENDERING



PROJECT DATA

PROJECT DESCRIPTION CONDOMINIUMS PROJECT ADDRESS LOTS 1, CSM 12128 SW 1/4 OF THE NE 1/4, OF SEC. 12, T05N, R09E, 6733 FAIRHAVEN ROAD CITY OF MADISON, DANE COUNTY, WISCONSIN	DEVELOPMENT DATA: LAND AREA: 26,271 SF. 0.60 ACRES BUILDING HEIGHT - 3 STORES FIN. 1ST FLOOR TO ROOF DECK = 36'-0"		CONSTRUCTION TYPE TYPE V-A - AT RESIDENTIAL AREA TYPE I-A - AT PARKING GARAGE DESIGNER LOUTHER & ASSOCIATES DESIGN LLC, 120 TELEMARK PARKWAY, MT. HOREB, WI 53572 608.437.1201 STRUCTURAL ENGINEER BANDT ENGINEERING, P.E. 89 HOKORY COURT OREGON, WI 53575 PH 608.843.9494 PROJECT NUMBER 200710																						
	BUILDING AREA S.F.: <table border="1"> <thead> <tr> <th>AREA</th> <th>AREA</th> <th>AREA</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>UNDERGROUND PARKING</td> <td>8,447 S.F.</td> <td>FIRST FLOOR</td> <td>7,929 S.F.</td> </tr> <tr> <td></td> <td></td> <td>SECOND FLOOR</td> <td>7,929 S.F.</td> </tr> <tr> <td></td> <td></td> <td>LOFT</td> <td>2,900 S.F.</td> </tr> <tr> <td></td> <td></td> <td>TOTAL R-2</td> <td>17,978 S.F.</td> </tr> <tr> <td></td> <td></td> <td>TOTAL R-2 & R-2</td> <td>26,426 S.F.</td> </tr> </tbody> </table>			AREA	AREA	AREA	TOTAL	UNDERGROUND PARKING	8,447 S.F.	FIRST FLOOR	7,929 S.F.			SECOND FLOOR	7,929 S.F.			LOFT	2,900 S.F.			TOTAL R-2	17,978 S.F.		
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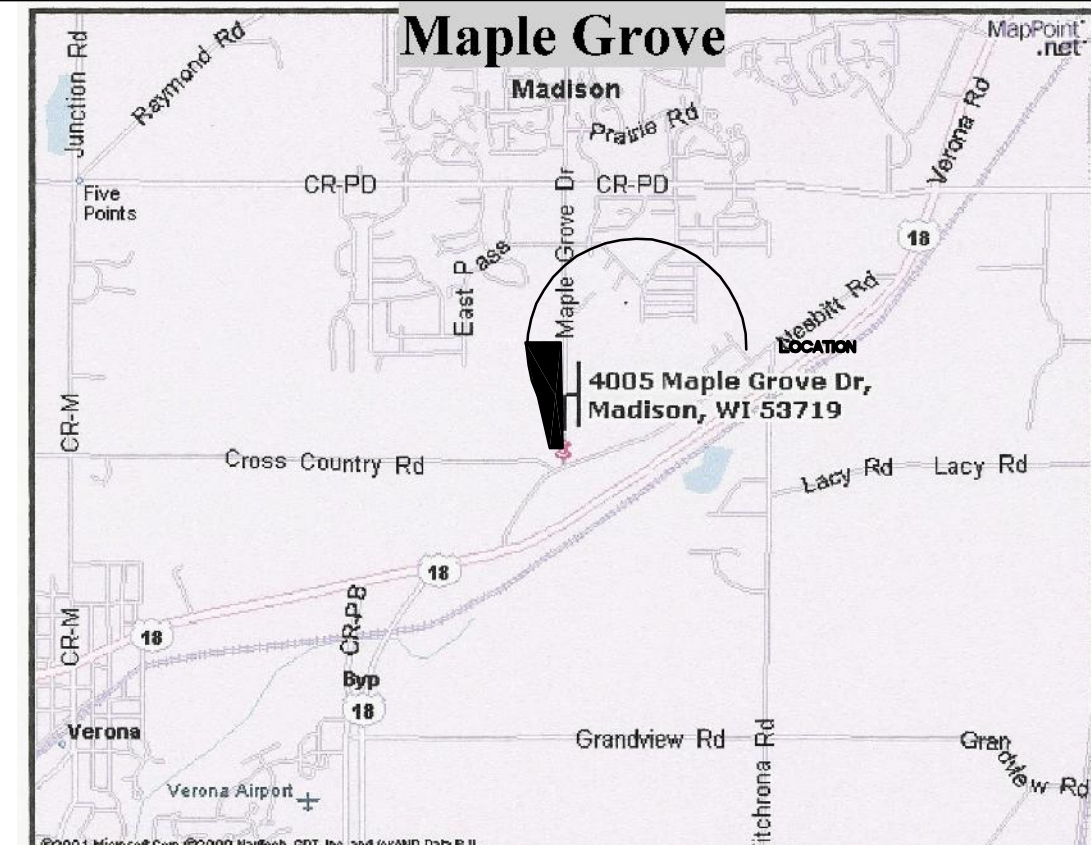
APPROVALS

BUILDER	CLIENT	ARCHITECT OR ENGINEER SEAL

APPROVAL AGENCY

CODE DATA: JURISDICTION CODES: WISCONSIN ENROLLED COMMERCIAL BUILDING CODE OCCUPANCY TYPE: R-2, RESIDENTIAL CONSTRUCTION TYPE: V-A - AT R-2 AREA (RESIDENTIAL) FIRE PROTECTION: AT UNDERGROUND PARKING FULLY AUTOMATIC FIRE SPRINKLERED SYSTEM PER NFPA-13 (DRY OR GLYCOL) (3 HR SEPARATION BETWEEN S-2 AND R-2 PROVIDED) AT RESIDENTIAL AREA, AUTOMATIC FIRE SPRINKLERED SYSTEM PER NFPA-13R	PARKING DATA: UNDERGROUND PARKING: RES. UNDERGROUND PARKING STALLS 21 SURFACE PARKING: REG. SURFACE PARKING STALLS 6 TOTAL: 27 HANDICAP PARKING STALLS REQUIRED: (6) HANDICAP PARKING STALLS PROVIDED: (11) BIKE STALLS REQUIRED: 12 BIKE STALLS PROVIDED: 12
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LOCATION MAP



ABBREVIATIONS

AB ANCHOR BOLT	FLR FLOOR	QT QUARRY TILE
AFF ABOVE FINISH FLOOR	FOM FACE OF FINISH	QTY QUANTITY
ACT ACOUSTICAL CEILING TILE	FOM FACE OF MASONRY	R RADIUS
BM BEAM	FOS FACE OF STUD	REINF REINFORCE (ED) (ING)
BOF BOTTOM OF FOOTING	FRP FIBERGLASS REINF. PANEL	RM ROOM
CJ CONSTRUCTION JOINT	GWB GYPSUM WALL BOARD	SIM SIMILAR
CLG CEILING	G.C. GENERAL CONTRACTOR	SST. STAINLESS STEEL
CL CENTER LINE	HT HEIGHT	STL STEEL
COL COLUMN	IE IN OTHER WORDS...	TEMP TEMPERED
CONC. CONCRETE	JT JOINT	TB TRUSS BEARING
CT CERAMIC TILE	INSUL INSULATION	TOC TOP OF CONCRETE
D DEPTH	INT INTERIOR	TOF TOP OF FOOTING
DO DITTO	L LENGTH	TOB TOP OF STEEL
DS DOWNSPOUT	MAT MATERIAL	TOW TOP OF WALL
DIM DIMENSION	MET METAL	TYP TYPICAL
EJ EXPANSION JOINT	MFD MULTIPLE POINT DELIVERY	UNON UNLESS OTHERWISE NOTED
EIFS EXT. INSUL. FINISH SYSTEM	MR MOISTURE RESISTANT	VB VINYL BASE
ETR EXISTING TO REMAIN	NTS NOT TO SCALE	VBAR VAPOR BARRIER
EQ EQUAL	PL PLATE	VCT VINYL COMPOSITION TILE
EUB EACH WAY AT BOTTOM	FR PAIR	VIF VERIFY IN FIELD
EXT EXTERIOR	PT POINT	W WIDTH
FD FLOOR DRAIN	OD OUTSIDE DIMENSION	W WITH
FEX FIRE EXTINGUISHER	POS POINT OF SALE	WD WOOD
FF FINISH FLOOR		

BUILDING ELEMENT	FIVE PERCENTIVE RATING IN FIRE	
	UNDERGROUND PARKING	RESIDENTIAL
① STRUCTURAL (COLUMNS)	3	1
② BEARING WALLS (EXT. & INT.)	3	1
③ FLOOR/CEILING CONSTRUCTION	3	1
④ ROOF CONSTRUCTION	NA	1

UNDERGROUND PARKING	RESIDENTIAL AREA
* 200 SF/OCCUPANT	* 200 SF/OCCUPANT
BUILDING 4E	REDO ENDS
	ALL UNITS LESS THAN 1,800 S.F. MAX PER UNIT
	9 1 PER UNIT (TABLE 1004.2.1)

COMMON PATH OF EGRESS TRAVEL (1004.2.2)	MAX. ALLOWED	MEASURED
AT RESIDENTIAL UNITS	75'	74'
AT PARKING GARAGE	100'	80'

LOUTHER & ASSOCIATES DESIGNS LLC
120 TELEMARK PARKWAY * MT. HOREB * WISCONSIN * 53572 * 608.437.1202

SAVANNA ON THE GREEN, LLC
120 TELEMARK PARKWAY * MT. HOREB * WISCONSIN * 53572 * 608.437.1202

SAVANNA ON THE PARK, PHASE 4, 12 UNITS
CREATED BY: [Name] DATE: [Date]
CHECKED BY: [Name] DATE: [Date]
DRAWING TITLE: [Title] SCALE: [Scale]
PROJECT NUMBER: [Number] SHEET NUMBER: [Number]

TITLE SHEET

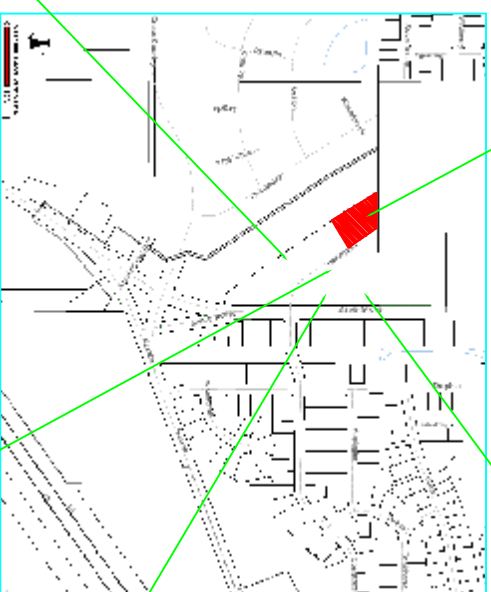
TB

SAVANNA ON THE PARK TOWNHOUSES

EXISTING CONDOMINIUMS & PROPOSED SITE



PROPOSED SITE



PROPOSED SITE

UNDER CONSTRUCTION BLD. 3



EXISTING BLD. 1



EXISTING BLD. 2



EXISTING BLD. 2



LOUTHER & ASSOCIATES DESIGNS, LLC
 120 TELEMARK PKWY., MT. HOKE, FLORIDA 32072 * 352.772.0088
SAVANNA ON THE PARK, PHASE 4, 12 UNITS
 PROJECT NAME: SAVANNA ON THE PARK, PHASE 4, 12 UNITS
 CLIENT: SAVANNA ON THE PARK, LLC
 PROJECT NUMBER: 2024-001
 DRAWING TITLE: EXISTING PICTURES
 DRAWING NUMBER: P1
 DATE: 08/27/24
 DATE OF SITE VISIT: 08/27/24

LANDSCAPE WORKSHEET
 Parking Lots, Storage Areas and Loading Areas
 (Section 28.04 Madison General Ordinance)

Project Location/Address: Northwest of Intersection of Lone Oak Ln. & Greenfield Ct.
 Name of Project: Village at Hawks Landing
 Owner/Contact: _____
 Address: _____

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required
 The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls)

Number of Parking Stalls:
 Total Square Footage of the Storage Area Divided by Three Hundred (300) Square Feet:
 Number of Canopy Shade Trees Required (7' - 12' Caliper):
 (See Schedule on reverse side)

II. Number of Landscaping Points Required
 The number of points required is also based on the number of parking stalls. Using the Point Schedule on the reverse side of this worksheet, determine the number of points required. (Example: 40.0 points are required for 10 stalls. A point value of 1.0 or less will be rounded up, while a point value of 0.5 or more will be rounded down to the next point. Thus, 40.5 points would be rounded down to 40 points required.)

The number of points required for loading areas is (75) points for each loading berth. (See Schedule on reverse side)

Number of Points Required (See Schedule on reverse side):

III. Distribution of Points and Credits
 Utilize these for the specific use of all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

Subtotal	Points Value	Quantity	Points	Credits	Points
Canopy Tree 7' - 12"	35	1	35		
Deciduous Shrub	2	3	6		
Evergreen Shrub	3	1	3		
Deciduous Tree or Plant (See 10' x 12")	5	0	0		
Shrub Tree (See 10' x 12")	5	0	0		
Shrub Tree (See 10' x 12")	2	0	0		
Shrub Tree (See 10' x 12")	15	11	165		
Shrub Tree (See 10' x 12")	15	0	0		
Sub Total			227		

TOTAL No. of Points Required (Point to point tree count required) = 227

* Trees required in Part I above, are not to be included in the point count.

Approved by: _____ Date: _____

NOTE:
 ALL PLANTING BED TO BE WASHSTONE WITH BLACK VINYL EDGING UNLESS NOTED DIFFERENTLY

Fairhaven Road

OLSON WILLS LANDSCAPING

4387 Schwartz Rd.
 Middleton, WI 53552
 PH: (608) 827-9401
 FAX: (608) 827-9402
 WEB: www.olsonwills.com

(2) ROBINSON CRABAPPLE

(1) RED MAPLE

(1) JAPANESE TREE LILAC

(2) BLACK HILLS SPRUCE

(3) STELLA D'ORO DAYLILY
 (4) TAUNTON YEWE

(3) SHIROBANA SPIREA
 (3) EMERALD ARBORVITAE

(1) ACCOLADE ELM

3' MAX HEIGHT LIMESTONE BOULDER WALL

3' MAX HEIGHT LIMESTONE BOULDER WALL

(1) EMERALD ARBORVITAE

2 Story
 12 Unit Townhouse

RAIN GARDEN PLANTS (planted in drifts, with 12" on center spacing)

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Nodding Pink Onion	<i>Allium cernuum</i>	3"	container	24
Red Milkweed	<i>Asclepias incarnata</i>	3"	container	9
New England Aster	<i>Aster novae-angliae</i>	3"	container	18
White False Indigo	<i>Baptisia leucis</i>	3"	container	4
False Aster	<i>Boltonia asteroides</i>	3"	container	12
Blue Flag Iris	<i>Iris versicolor</i>	3"	container	11
Prairie Blazingstar	<i>Liatris pycnostachya</i>	3"	container	12
Wild Quinine	<i>Parthenium integrifolium</i>	3"	container	12
Smooth Periwinkle	<i>Peristemon spicatus</i>	3"	container	9
Sweet Black Eyed Susan	<i>Rudbeckia subtomentosa</i>	3"	container	7
Ohio Goldenrod	<i>Solidago ohioensis</i>	3"	container	18
Ironweed	<i>Vernonia fasciculata</i>	3"	container	12
Wild Senna	<i>Cassia hebecarpa</i>	3"	container	18
Joe Pye Weed	<i>Eupatorium maculatum</i>	3"	container	8
Ox Eye Sunflower	<i>Helopsis helianthoides</i>	3"	container	20
Wild Iris	<i>Iris sibirica</i>	3"	container	12
Dense Blazingstar	<i>Liatris spicata</i>	3"	container	18
Cardinal Flower	<i>Lobelia cardinalis</i>	3"	container	18
Great Blue Lobelia	<i>Lobelia siphilitica</i>	3"	container	18
Monkeyflower	<i>Mimulus ringens</i>	3"	container	12
Bergamot	<i>Monarda fistulosa</i>	3"	container	5
Yellow Coneflower	<i>Ratibida pinnata</i>	3"	container	13
Brown Eyed Susan	<i>Rudbeckia trilobis</i>	3"	container	8
Cupplant	<i>Silphium perfoliatum</i>	3"	container	11
Prairie Dock	<i>Silphium terebinthinaceum</i>	3"	container	11
Culver's Root	<i>Veronicastrum virginicum</i>	3"	container	6
Golden Alexander	<i>Zizia aurea</i>	3"	container	12
Big Bluestem	<i>Andropogon gerardii</i>	3"	container	62
Canada Wild Rye	<i>Elymus canadensis</i>	3"	container	62
Virginia Wild Rye	<i>Elymus virginicus</i>	3"	container	62
Bottlebrush Grass	<i>Hystrix patula</i>	3"	container	62
Fox Sedge	<i>Carex vulpinoidea</i>	3"	container	62
TOTAL				646

Note: Plant plugs to be installed by landscape contractor.

(3) BLACK HILLS SPRUCE

RAIN GARDEN (645 SF)
 SHREDDED BARK MULCH w/ SHOVEL-CUT EDGING

(1) RIVER BIRCH

EVERGREENS

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Black Hills Spruce	<i>Picea glauca</i>	6"	B & B	7
Emerald Arborvitae	<i>Thuja occidentalis 'Smoeged'</i>	4"	B & B	7

SHADE TREES

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
River Birch	<i>Betula nigra</i>	10"	B & B	1
Red Maple	<i>Acer rubrum</i>	2"	B & B	2
Accolade Elm	<i>Ulmus japonica x Wilsoniana 'Morton'</i>	2"	B & B	2

ORNAMENTAL TREES

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Japanese Tree Lilac	<i>Syringa reticulata</i>	2"	B & B	2
Robinson Crabapple	<i>Malus 'Robinson'</i>	2"	B & B	5

SHRUBS

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Miss Kim Lilac	<i>Syringa patula 'Miss Kim'</i>	24"	Cont	12
Dwarf Ninebark	<i>Physocarpus opulifolius var. 'Nanus'</i>	18"	Cont	12
Shirobana Spirea	<i>Spiraea japonica 'Shirobana'</i>	18"	Cont	11
Snowmound Spirea	<i>Spiraea nipponica 'Snowmound'</i>	18"	Cont	8
Youngstown Juniper	<i>Juniperus horizontalis 'Plumos Youngstown'</i>	18"	B & B	13
Taunton Yew	<i>Taxus x media 'Tauntonii'</i>	24"	B & B	13

PERENNIALS

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Hamel Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'Hamel'</i>	#1	Cont	36
Stella Doro Daylily	<i>Hemerocallis 'Stella Doro'</i>	#1	Cont	33

(2) ROBINSON CRABAPPLE

(2) MISS KIM LILAC
 (6) HAMELN DWF FOUNTAIN GRASS
 (2) YOUNGSTOWN JUNIPER
 (2) SNOWMOUND SPIREA
 (3) STELLA D'ORO DAYLILY

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 (1) SNOWMOUND SPIREA
 (2) MISS KIM LILAC
 (5) STELLA D'ORO DAYLILY
 (6) HAMELN DWF FOUNTAIN GRASS

(1) RED MAPLE
 (1) ROBINSON CRABAPPLE
 (2) BLACK HILLS SPRUCE

(3) EMERALD ARBORVITAE
 (3) YOUNGSTOWN JUNIPER
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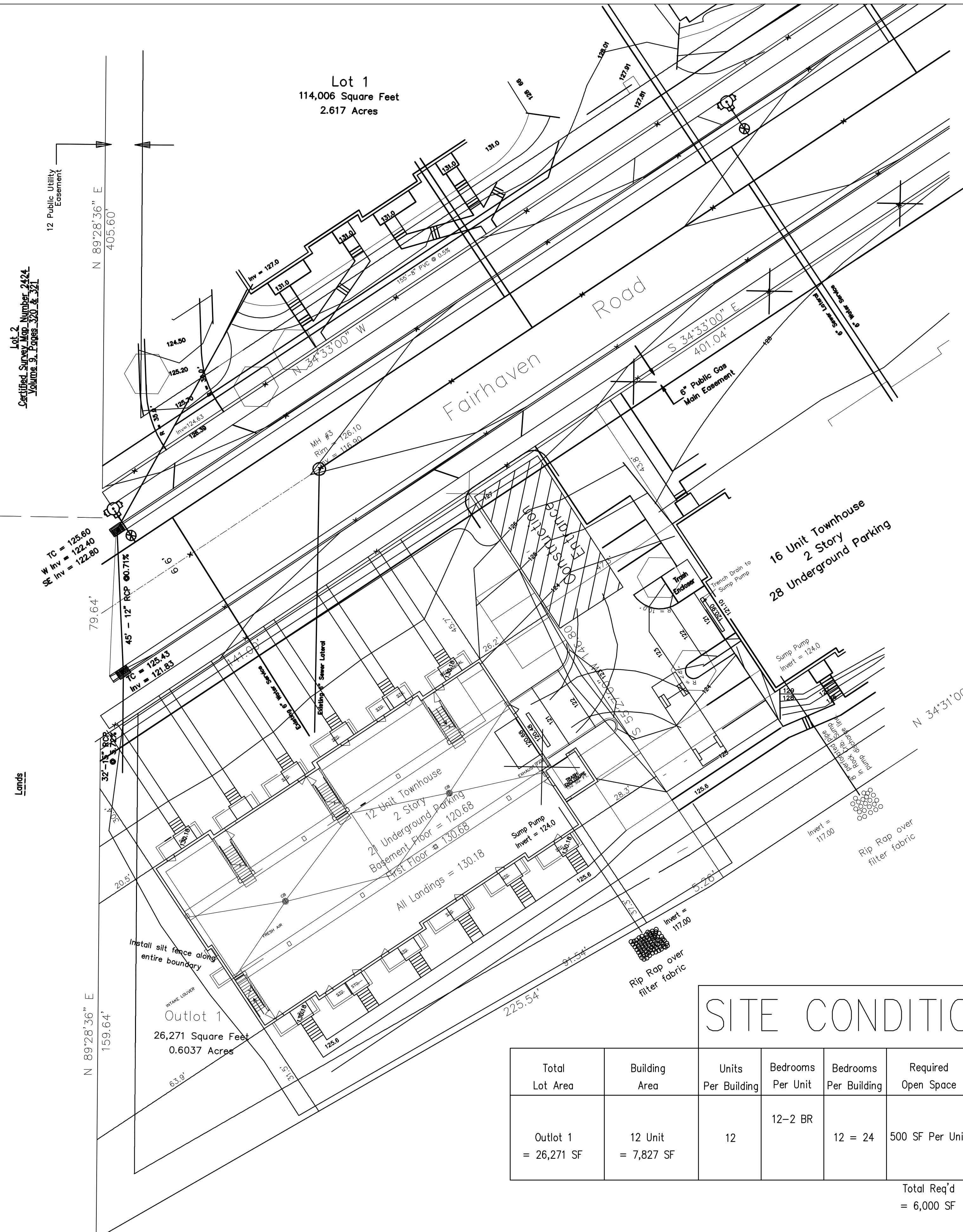
Savanna On The Park 12 Unit
 Fairhaven
 Madison, WI

Date: May 1, 2007
 Scale: 1" = 10' - 0"
 Designer: mta

Seal:
 To protect against legal liability, the plans presented herein are "schematic," and should not be outsourced as "biddable" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in red, as ORIGINAL.

Revisions:

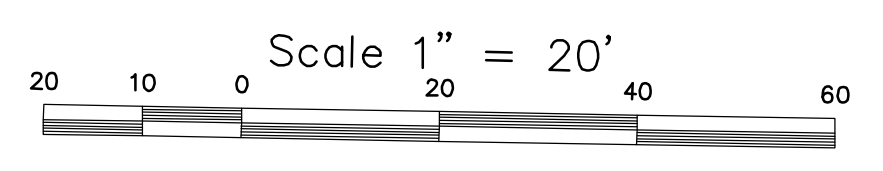
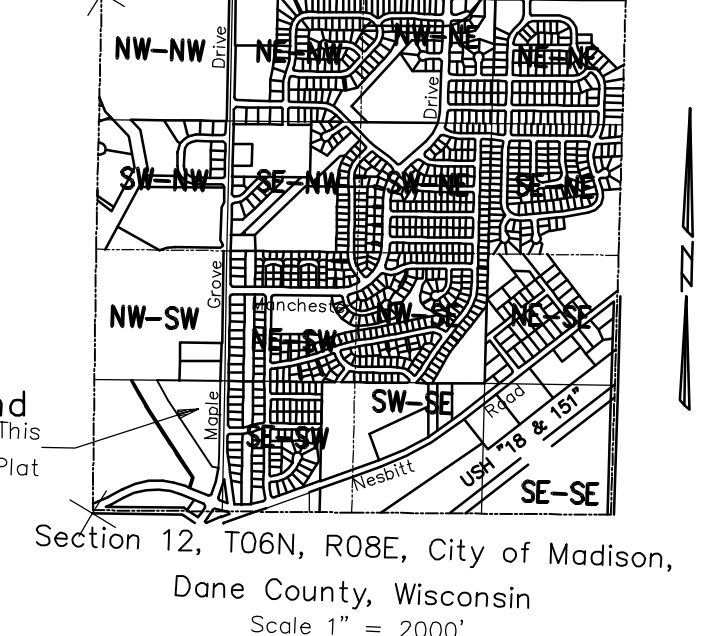
Reference Name:
 Savanna on the Park 12 Unit



LEGEND:

- Existing Contours
- Finish Contours
- 127.05 Finish Elevation
- Silt Fence - back of walk all around
- Earth Berm
- Fabric Garbage Truck Movement
- Stone Wall
- Street Signs
- Existing "No Parking"
- Existing "Restricted Lane Ends"
- Existing "Curb Lane"
- Parking Bicycles and Right Turns Only
- Proposed "Stop"
- Stand Pipe In Sump Pump Line
- Perforated Pipe Stone Bed

Locator



NOTES:

1. Garbage & trash to be removed by private vendor.
2. Snow removal & maintenance will be done by private vendor.
3. Bike parking available in garage and some surface areas.
4. All steps to have railings to meet code.
5. Trucks leaving site during construction shall clean tires. All material deposited in public right of way shall be swept up daily.
6. Place 2000 CF Polymers on all disturbed areas with slopes greater than 5:1.
7. Garage floor drains will discharge into sanitary sewers and is to be designed by the plumbing contractor.
8. All buildings will be built at one time.

Prepared By:
 Royal Oak Engineering
 5610 Medical Circle
 Madison, WI 53719
 608-274-0500

Prepared For:
 Bill Roche - Savanna on the park LLC
 6425 Odana Road
 Madison, WI 53719
 608-277-9322

Lot 1, CSM No. 12128
 Savanna on the Park
 Site Plan, PUD - GDP - SIP
 Control & Grading Plan

Lying in the Southwest 1/4 of the
 Southwest 1/4 of Section 12, T06N,
 R08E, City of Madison,
 Dane County, Wisconsin

SITE CONDITIONS

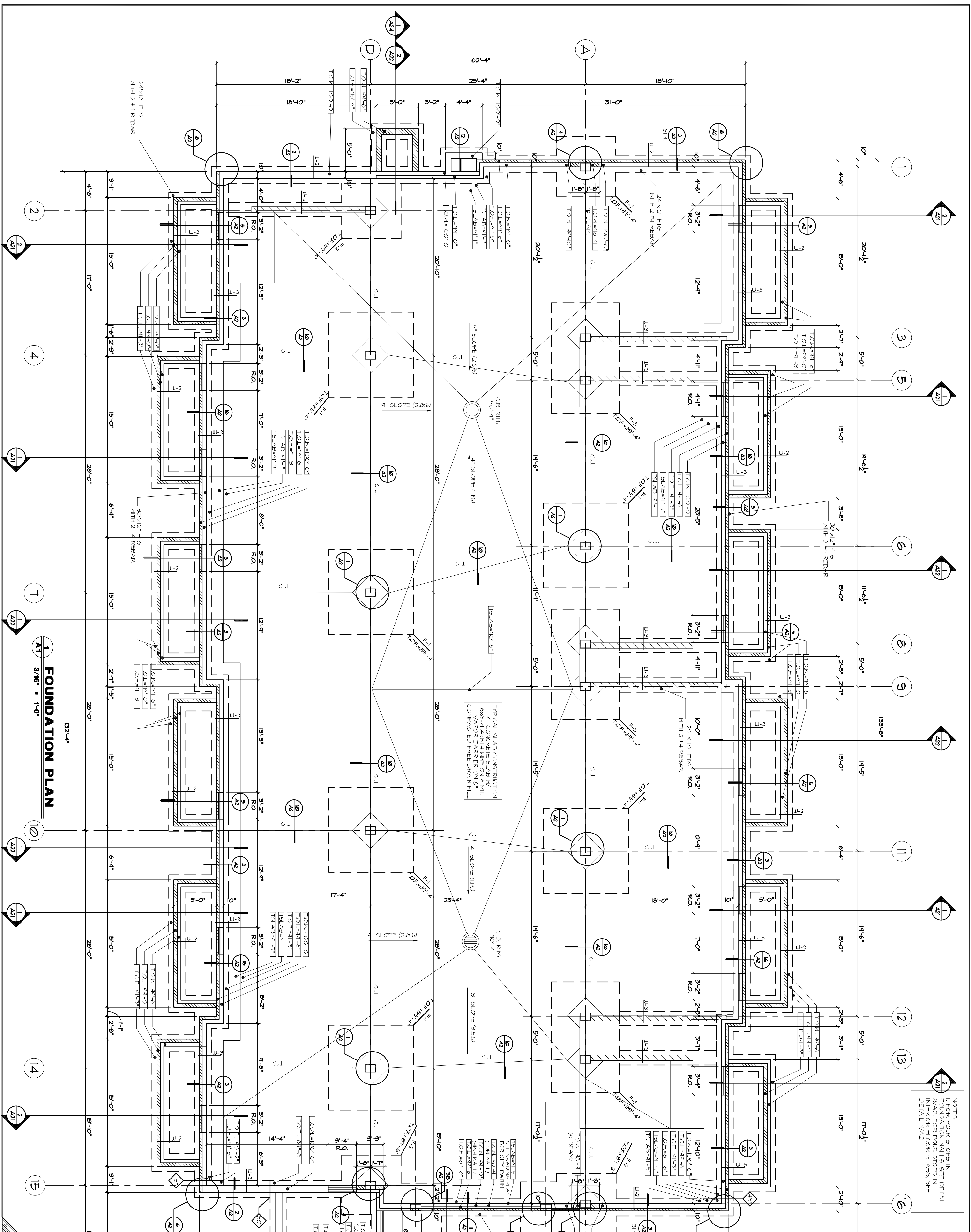
Total Lot Area	Building Area	Units Per Building	Bedrooms Per Unit	Bedrooms Per Building	Required Open Space	Open Space Provided	Required Parking	Parking Surface	Parking Garage	
Outlot 1 = 26,271 SF	12 Unit = 7,827 SF	12	12-2 BR	12 = 24	500 SF Per Unit		1.75 Per 2 BR	6	20	
Total Req'd = 6,000 SF						6,300 SF	Total Req'd = 21		Total = 6	Total = 20

MARK	SIZE	REINFORCING
F-1	12'-0" x 12'-0" x 24"	(1) #8 E.M.
F-2	1'-0" x 1'-0" x 20"	(7) #8 E.M.
F-3	13'-0" x 8'-0" x 20"	(11) #5 LONG N. (8) #8 SHORT N.
M-1	30" x 12" CONT.	(2) #4 CONT.
M-2	24" x 12" CONT.	(2) #4 CONT.
M-3	20" x 12" CONT.	(2) #4 CONT.

NOTES:
 1. SOLE STOPS IN FOUNDATION WALLS, SEE DETAIL 6/A2 FOR FOUR STOPS IN INTERIOR FLOOR SLABS, SEE DETAIL 9/A2

DESIGN LOADS
 FLOOR & CORRIDOR 100 PSF
 STAIRS 150 PSF
 GARAGES 100 PSF
 ROOF DECKS 20 PSF
 DECKS 20 PSF
 ROOF DEAD LOAD 20 PSF
 LIVE LOAD 30 PSF + DRIFT
 WIND 40 MPH

DESIGN STRESSES
 CONCRETE
 F_c = 3000 PSI
 F_t = 4000 PSI
 REINFORCING STEEL
 F_y = 60 KSI
 F_u = 36 KSI
 STRUCTURAL TUBES
 F_y = 46 KSI
 F_u = 3000 PSF
 SOIL BEARING (PRELIMINARY) q_p



TYPICAL SLAB CONSTRUCTION
 4" CONCRETE SLAB W/
 6x6-1/4x1/4 W/6" ON 6" MIL
 VAPOUR BARRIER ON 6" MIL
 COMPACTED FREE DRAIN FILL

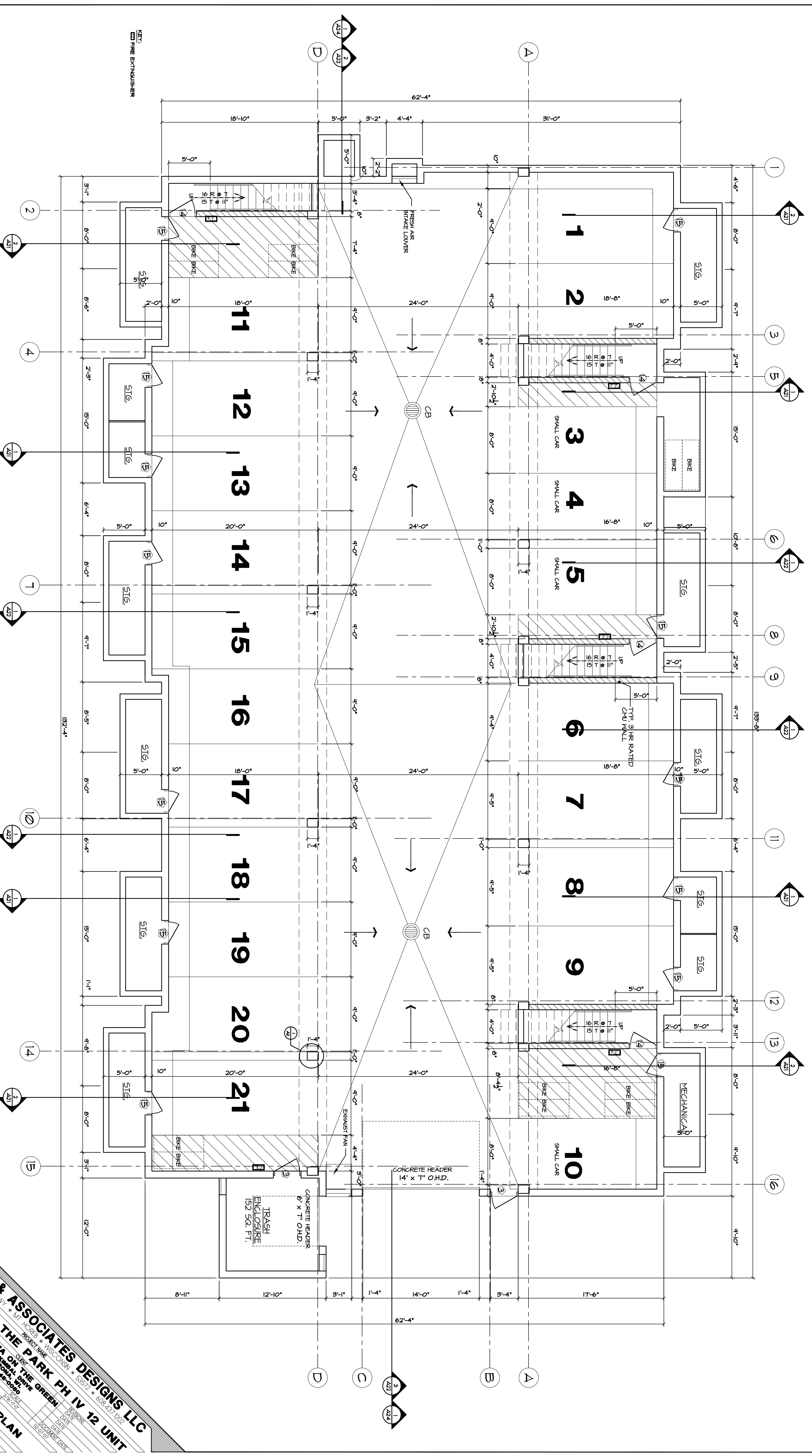
FOUNDATION PLAN

LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY * MI. HORIZON * WILCOX, GA 30187 * 608.437.1202

SAVANNA ON THE PARK PH IV 12 UNIT
 881-1/2 WILSON DRIVE * SAVANNA, GA 31406 * 912.424.0066

PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NUMBER: 248-12-12
 DRAWING TITLE: FOUNDATION PLAN
 DRAWING NUMBER: 248-12-12-FND
 DATE: 06/27/20
 CHECKED BY: [Signature]
 DRAWN BY: [Signature]

DESIGNED BY: [Signature]
 PROJECT MANAGER: [Signature]
 PROJECT ENGINEER: [Signature]
 DATE: 06/27/20



KEY:
 FIRE EXTINGUISHER

1 PARKING GARAGE, 8,447 SQ. FT.
 A2B 3/16" = 1'-0"



LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY * M. H. HODGE * WACO, TEXAS * 76792 * 817-437-1202

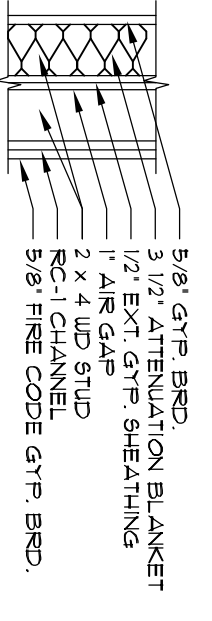
SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NUMBER: 248-1516
 SHEET NUMBER: UG PARKING PLAN
 DATE: 03/20/20
 DRAWN BY: CL
 CHECKED BY: [Signature]
 PROJECT NUMBER: 248-1516
 SHEET NUMBER: UG PARKING PLAN
 DATE: 03/20/20
 DRAWN BY: CL
 CHECKED BY: [Signature]

- TYPICAL TOILET FIXTURES
- Ⓐ MEDICINE CABINET * 48" AFF. TO BOTTOM OF CABINET
 - Ⓑ 24" TOILET BAR * 48" AFF.
 - Ⓒ 18" TOILET BAR * 48" AFF.
 - Ⓓ TOILET DISPENSER * 18" AFF.

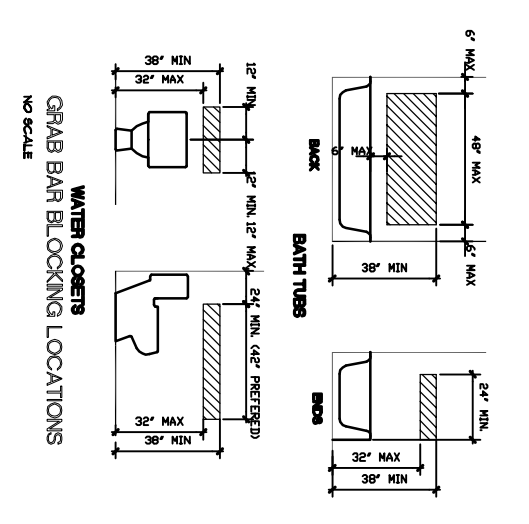
WALL TYPES:

TYPICAL PARTY WALL:
 DOUBLE WALL 2x4 STUDS AT 16" O.C. (w/ 1" GAP BETWEEN PLIES)
 U/1 LAYER 5/8" FINE CODE GYP BOARD ON EACH OUTER FACE &
 U/2 LAYER 5/8" FINE CODE GYP BOARD BETWEEN U/1 LAYERS
 STUB OUT ON EACH SIDE OF PARTITION & 1/2" AIR GAP
 CODE GYP BOARD ON EACH CHANNEL & 24" O.C. WHERE FLOORING
 WALL IS ALSO PARTY WALL APPLY 3/8" GAB OVER ENTIRE WALL
 RECD AT THIS & SHOWER MODULES

NOTE:
 SEE UNIT PLANS FOR
 WALL TYPES

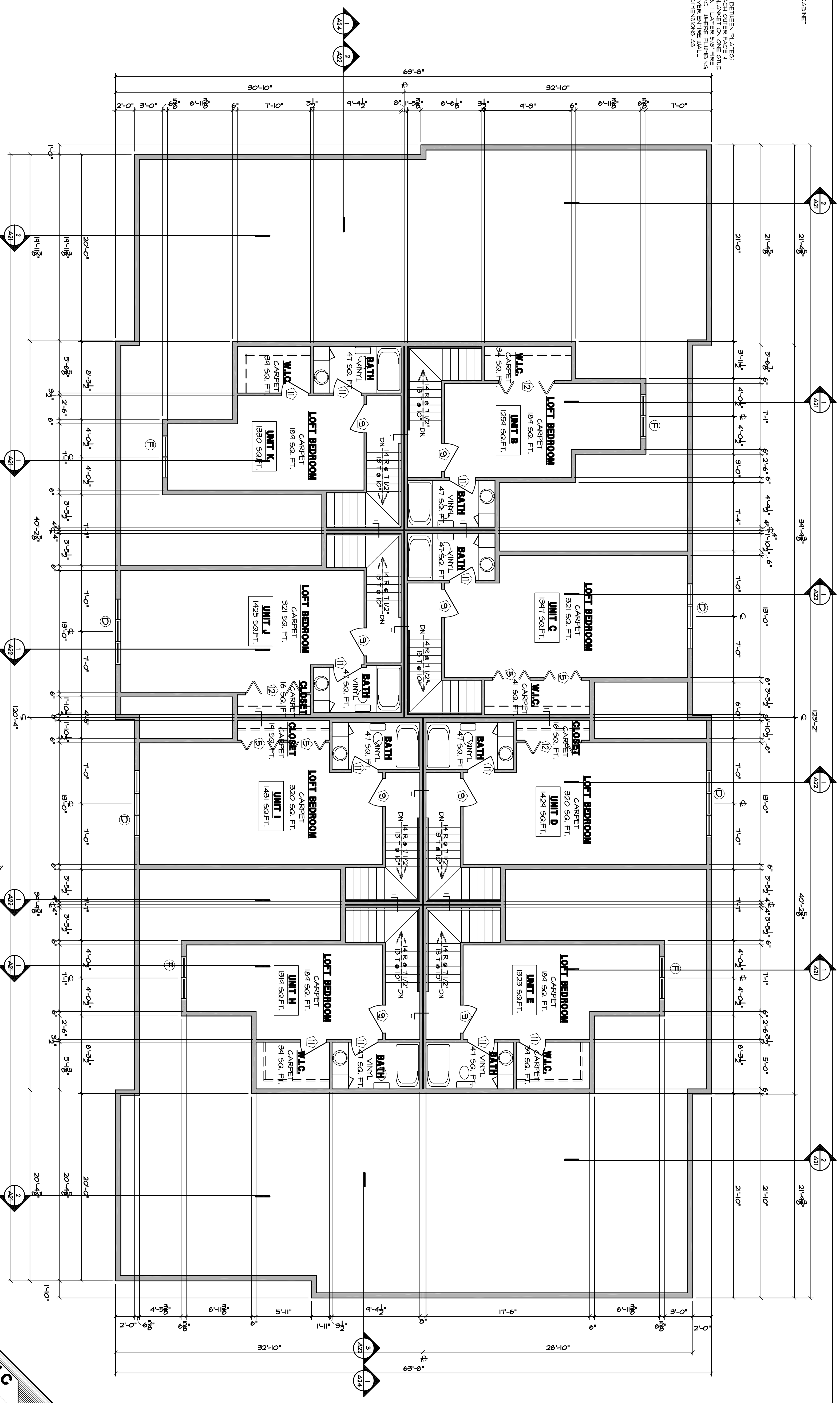


- TYPICAL UNIT WALLS
1. UNIT PARTITION: INTERIOR, GULLIES, TERRAZZOS AND GULLIES SHALL BE CONSTRUCTED WITH 1/2" AIR GAP BETWEEN PLIES OF GYP BOARD ON EACH SIDE OF PARTITION & 1/2" AIR GAP BETWEEN U/1 LAYERS OF GYP BOARD ON EACH OUTER FACE & U/2 LAYER OF GYP BOARD BETWEEN U/1 LAYERS OF GYP BOARD ON EACH OUTER FACE.
 2. DOUBLE WALL PARTY WALLS: DOUBLE WALL 2x4 STUDS AT 16" O.C. (w/ 1" GAP BETWEEN PLIES) U/1 LAYER 5/8" FINE CODE GYP BOARD ON EACH OUTER FACE & U/2 LAYER 5/8" FINE CODE GYP BOARD BETWEEN U/1 LAYERS OF GYP BOARD ON EACH OUTER FACE.
 3. STUB OUT ON EACH SIDE OF PARTITION & 1/2" AIR GAP CODE GYP BOARD ON EACH CHANNEL & 24" O.C. WHERE FLOORING WALL IS ALSO PARTY WALL APPLY 3/8" GAB OVER ENTIRE WALL RECD AT THIS & SHOWER MODULES
 4. ALL CABINET RESERVATIONS ARE TYPICAL VERTICAL FINISH AND NOT TO SCALE.



□ FIRE EXTINGUISHER

1 LOFT FLOOR PLAN, 2,920 SQ. FT.



ROOMS/ ROOM NO.	ROOM NAME	FLOORS	BASES	WALLS	Ceilings	Materials	HT.	REMARKS
1	CARPET	1	1	1	1	1	1	
2	VINYL COMP. TILE	1	1	1	1	1	1	
3	CERAMIC TILE	1	1	1	1	1	1	
4	SEALING CONCRETE	1	1	1	1	1	1	
5	COLONIAL WOOD BASE	1	1	1	1	1	1	
6	COVERED VINYL BASE	1	1	1	1	1	1	
7	CERAMIC TILE	1	1	1	1	1	1	
8	NO BASE	1	1	1	1	1	1	
9	5/8" GUB-SAND TEXT.	1	1	1	1	1	1	
10	5/8" HR GUB-SAND TEXT.	1	1	1	1	1	1	
11	POURED CONCRETE	1	1	1	1	1	1	
12	CONC. BLOCK	1	1	1	1	1	1	
13	NO TEXTURE	1	1	1	1	1	1	
14	PAINTED	1	1	1	1	1	1	
15	5/8" GUB-SAND TEXT.	1	1	1	1	1	1	
16	PAINTED	1	1	1	1	1	1	
17	GLASS	1	1	1	1	1	1	
18	CONSTRUCTED	1	1	1	1	1	1	
19	SUSPENDED	1	1	1	1	1	1	
20	PRECAST CONC.	1	1	1	1	1	1	

MARK	DOOR	W	H	T	FRAME	GLASS	ORILE	LABEL	REMARKS/LOCATION
1	3-0	6-8	1-3/4	HTL	ENTR	1" TYP	FRAMBLK	48 IN.	ENTR DR. W/ 1/2" TYP. SILL
2	3-0	6-8	1-3/4	HTL	ENTR	1" TYP	FRAMBLK	48 IN.	APARTMENT ENTR. FROM COMMON
3	2-6	6-8	1-3/4	HTL	FLSH	HTL	FLSH	48 IN.	REGUL. HT. SILL
4	2-6	6-8	1-3/4	HTL	FLSH	HTL	FLSH	48 IN.	REGUL. HT. SILL
5	3-0	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
6	3-0	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
7	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
8	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
9	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
10	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
11	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
12	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
13	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
14	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
15	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
16	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
17	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
18	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
19	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL
20	2-6	6-8	1-3/4	HTL	UP	HTL	FLSH	48 IN.	REGUL. HT. SILL

MARK	MODEL	MANUFACTURER	R.O. SIZE	WIDTH	HEIGHT	TYPE	MATERIAL	GRILLES
1	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
2	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
3	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
4	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
5	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
6	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
7	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
8	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
9	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
10	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
11	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
12	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
13	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
14	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
15	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
16	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
17	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
18	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
19	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE
20	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	5'-4 3/8"	CABINET	CLAD	PEAIRE

LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY * M. HURD * WILCOX, NC * 27572 * 252.437.1202

SAVANNA ON THE PARK PH IV 12 UNIT
 881 WINDYBROOK DRIVE * SAVANNA, GA * 30426 * 404.242.0060

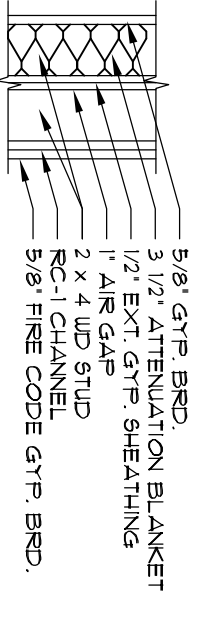
LOFT FLOOR PLAN

DATE: 06/24/14
 DRAWN BY: CL
 CHECKED BY: CL
 PROJECT NUMBER: 121-24-14
 SHEET NUMBER: A9

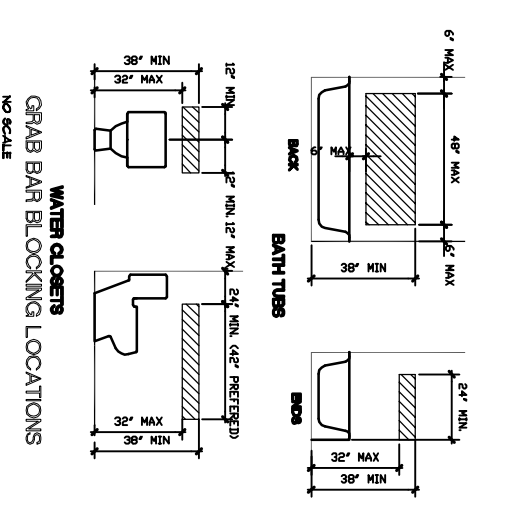
- TYPICAL TOILET FIXTURES
- (A) MEDICINE CABINET * 48" AFF. TO BOTTOM OF CABINET
 - (B) 24" TOILET BAR * 48" AFF.
 - (C) 8" TOILET BAR * 48" AFF.
 - (D) TOILET DISPENSER * 18" AFF.

- WALL TYPES:
- (1) TYPICAL PARTY WALL
 - (2) DOUBLE WALL 2x4 STUDS AT 16" O.C. (W/ 1" GAP BETWEEN PLATES)
 - (3) W/ 1" LAYER 5/8" FINE CODE GYP BOARD ON EACH OUTER FACE & 5/8" MIN. GAP BETWEEN GYP BOARD BETWEEN UNITS
 - (4) 5/8" FIBERGLASS INSULATION AT 16" O.C. (WHERE FLOORING CODE GYP BOARD ON R-11 CHANNELS * 24" O.C. WHERE FLOORING WALL IS ALSO PARTY WALL APPLY 3/8" GAB OVER ENTIRE WALL RECD AT THIS * SHOWER MODULAS)

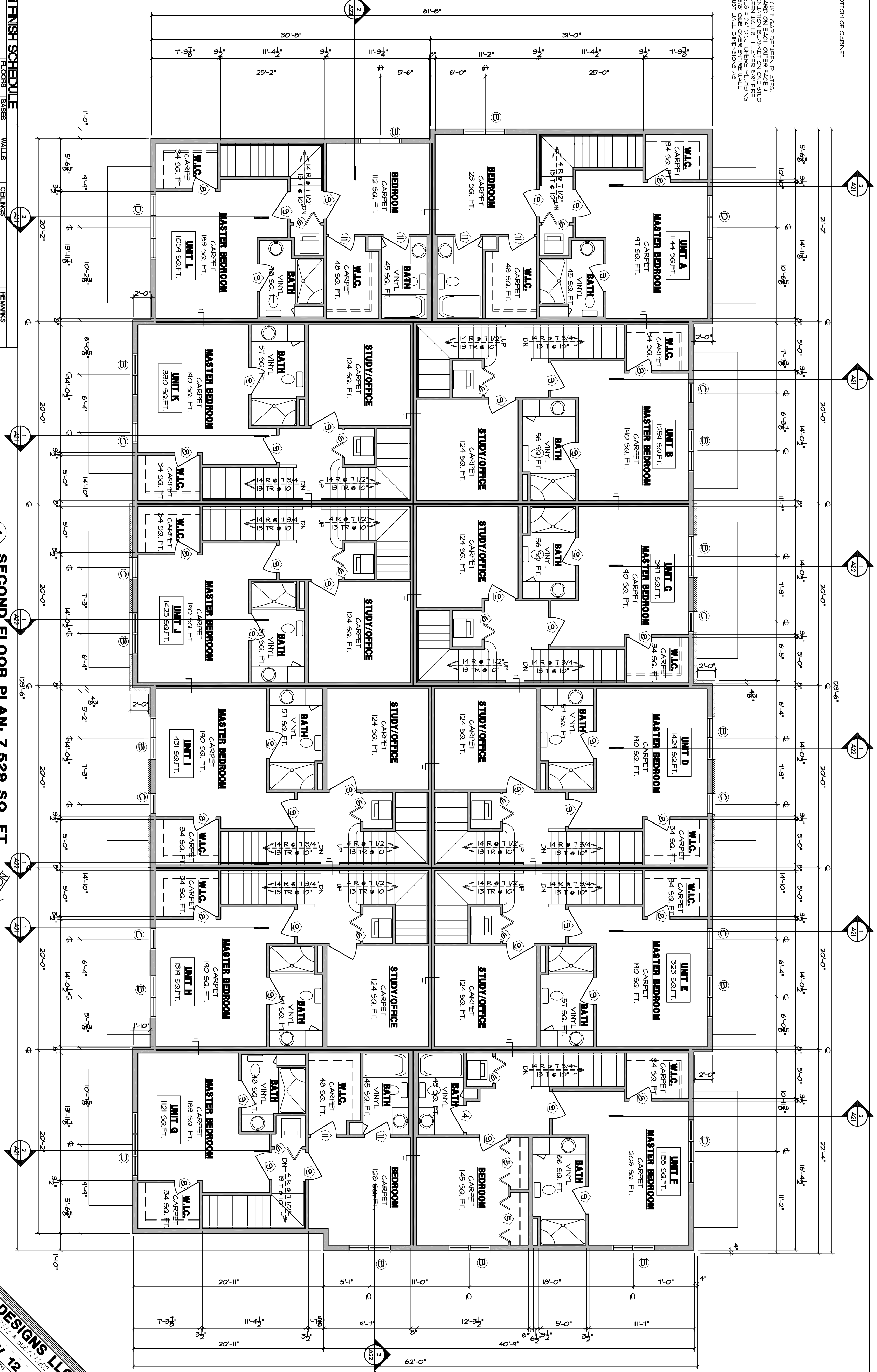
NOTE:
SEE UNIT PLANS FOR WALL TYPES



- TYPICAL UNIT NOTES
1. UNIT BATHS: BATHROOM, CLOSET, WARDROBE AND LINEN CLOSET SHALL BE FINISHED WITH 1/2\"/>
 - 2. BATHROOM: BATHROOM SHALL BE FINISHED WITH 1/2\"/>
 - 3. BATHROOM: BATHROOM SHALL BE FINISHED WITH 1/2\"/>
 - 4. ALL CABINET REMOVATIONS ARE TO BE MADE AT THE DISCRETION OF THE ARCHITECT.



FIRE EXTINGUISHER



ROOM FINISH SCHEDULE

ROOMS / ROOM NO.	ROOM NAME	FLOORS	BASES	WALLS	Ceilings	REMARKS

DOOR SCHEDULE

MARK	DOOR	FRAME	GLASS	LABEL	REMARKS / LOCATION

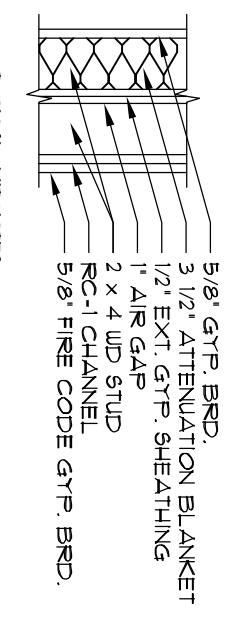
WINDOW SCHEDULE

MARK	MODEL	MANUFACTURER	R.O. SIZE	TYPE	MATERIAL	GRILLES

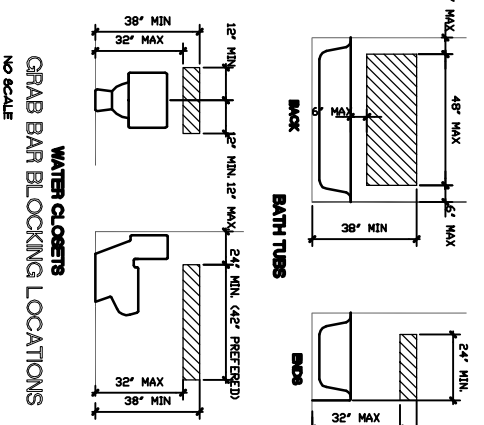
LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY • MARIETTA, GA 30067 • 770.427.2222
SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NO.: 2024-0010
 SHEET NO.: 12 OF 12
SECOND FLOOR PLAN
 DATE: 06/20/24
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT MANAGER: [Name]

WALL TYPES:
 TYPICAL PARTY WALL
 DOOR LAYER 5/8" FIRE CODE GYP BOARD ON EACH OUTER FACE &
 W/1" LAYER 5/8" FIRE CODE GYP BOARD ON EACH OUTER FACE &
 5/8" EXT. GYP SHEATHING W/1/2" ATTENUATION BLANKET ON ONE SIDE
 CODE GYP BOARD ON EACH CHANNEL & 2" OC. W/1" LAYER PLYWOOD
 WALL IS ALSO PARTY WALL. APPLY 5/8" GIB OVER ENTIRE WALL
 BEFORE SETTING TUB VOLUME. ADJUST WALL DIMENSIONS AS
 REQUIRED AT TUB & SHOWER TROUBLES

NOTE:
 SEE UNIT PLANS FOR
 WALL TYPES.



1. ALL CABINET DESIGNATIONS ARE TYPICAL. VERTICAL LINE
 INDICATES DOOR DESIGNATION. ALL CABINETS ARE TO BE
 36\"/>



SET
 FIRE EXTINGUISHER

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOORS	FINISHES	WALLS	Ceilings	Materials	REMARKS
1	LIVING ROOM	1	CARPET	5/8\"/>			

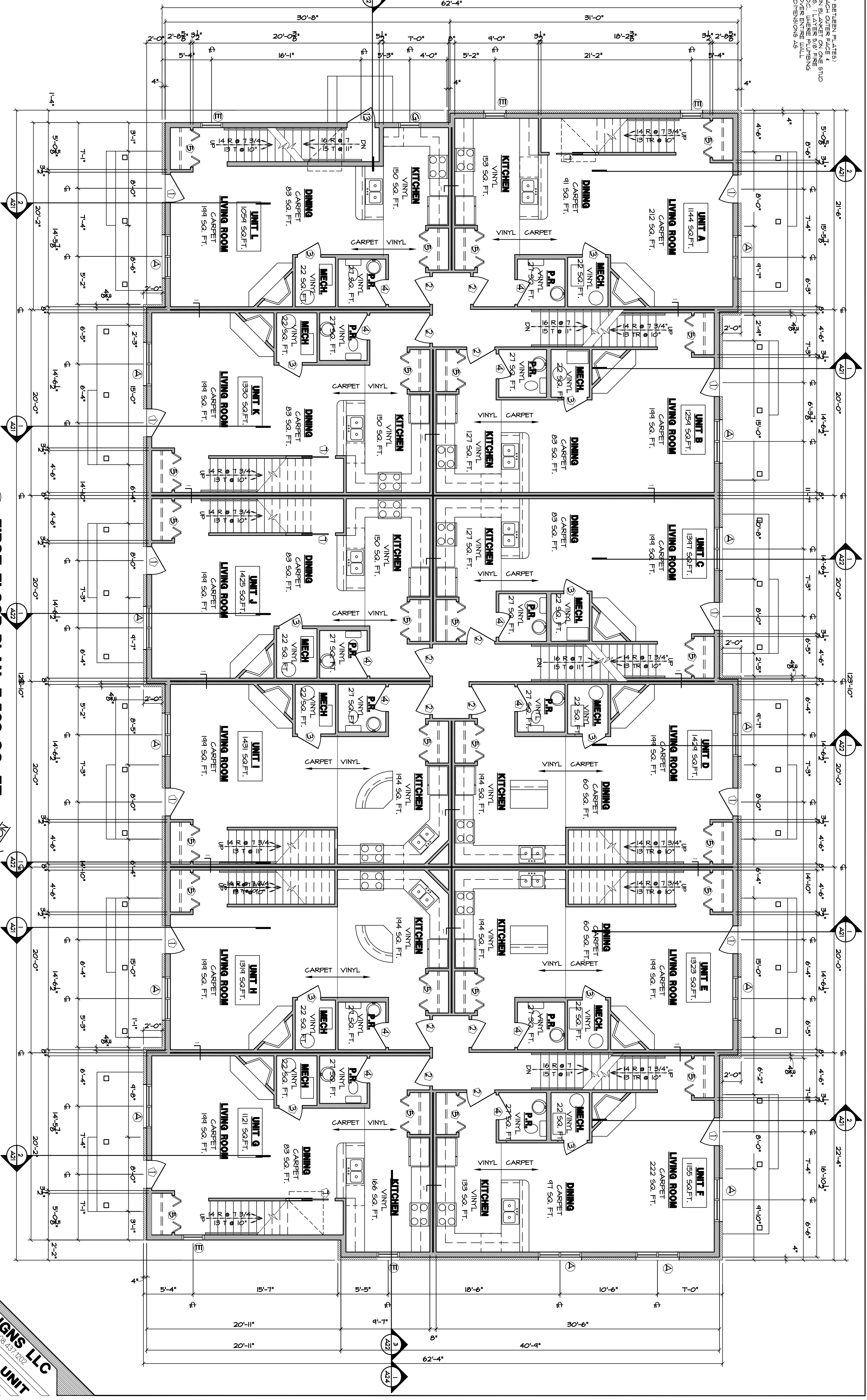
DOOR SCHEDULE

MARK	DOOR	W	H	T	FRM	GLASS	GRILLE	LABEL	REMARKS/LOCATION
1	3-0	6-8	1-3/4	1/2	PH	1/4\"/>			

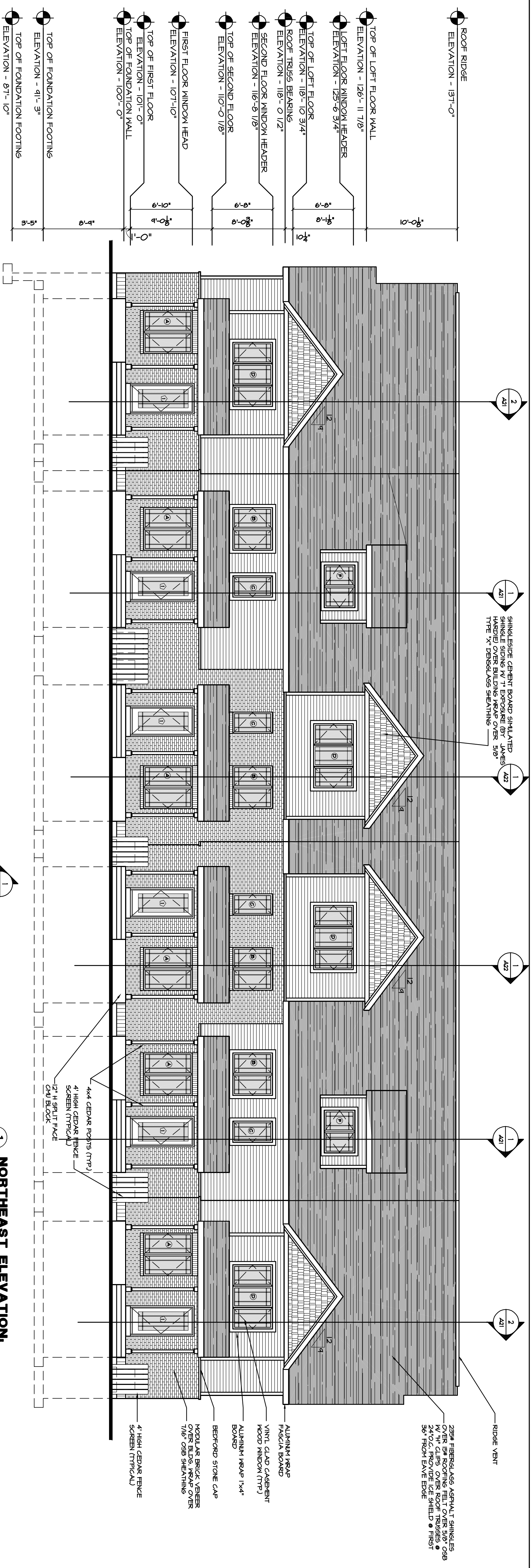
WINDOW SCHEDULE

MARK	MODEL	MANUFACTURER	R.O. SIZE	WIDTH	HEIGHT	TYPE	MATERIAL	GRILLES
1	CR285	ANDERSON	4-8 1/2\"/>					

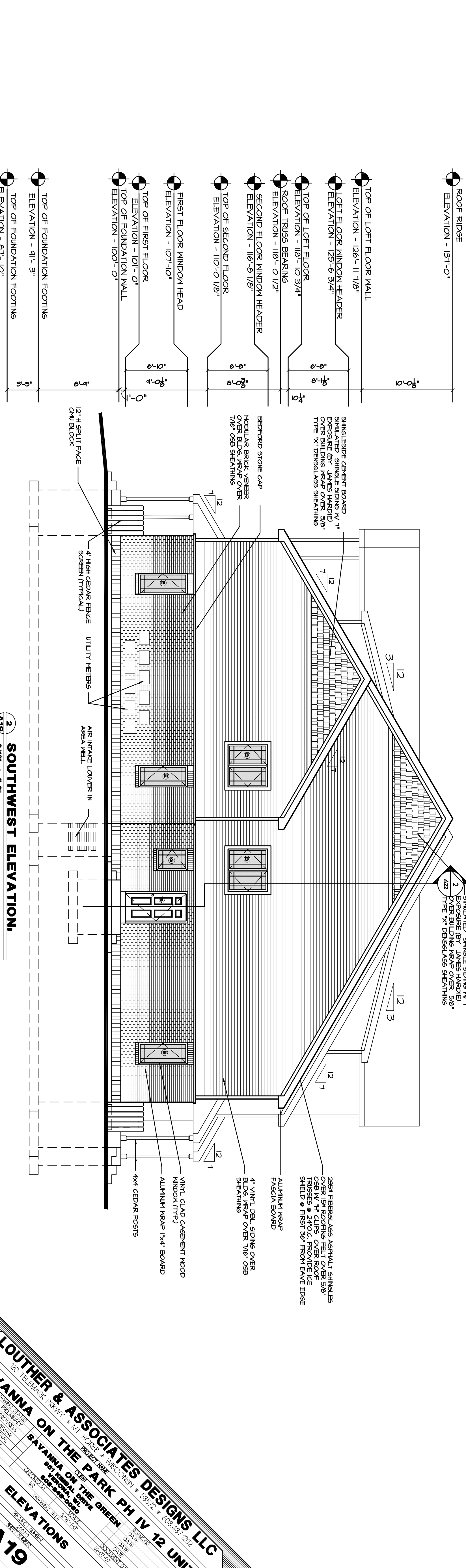
FIRST FLOOR PLAN. 7,529 SQ. FT.



LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY * MARIETTA, GA 30067 * 404.875.1200
SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NUMBER: 2012-0010
 SHEET NUMBER: A7
 DATE: 06/20/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



1 NORTHEAST ELEVATION.
A19 3/16" x 1'-0"

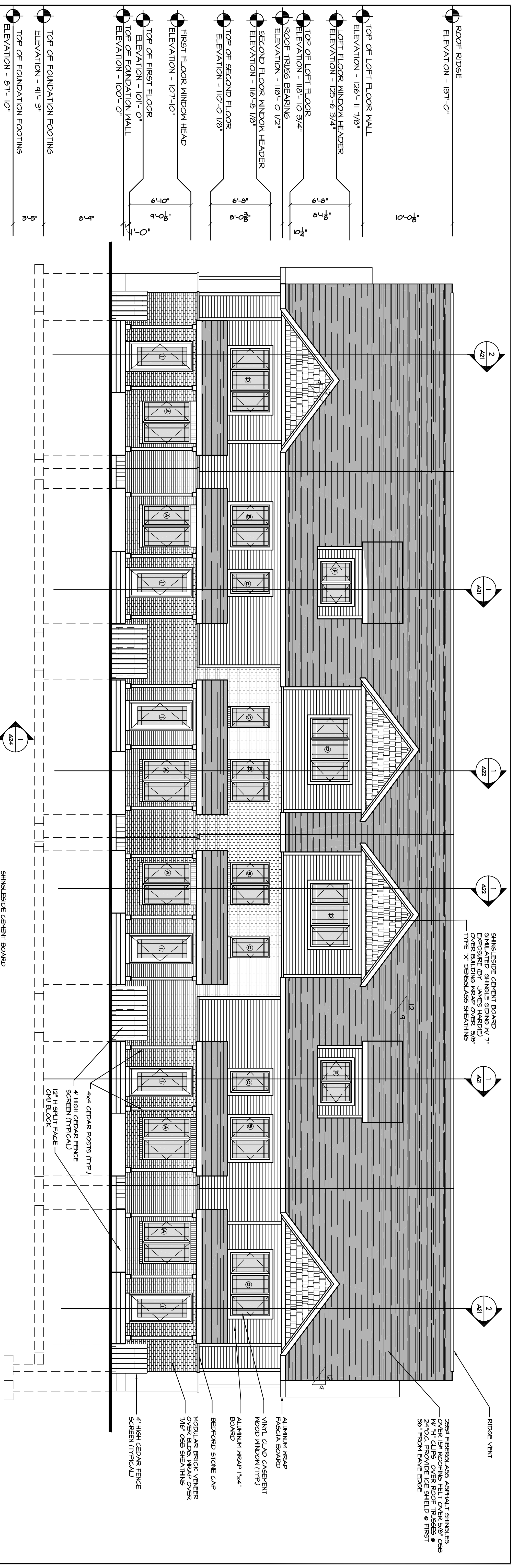


2 SOUTHWEST ELEVATION.
A19 3/16" x 1'-0"

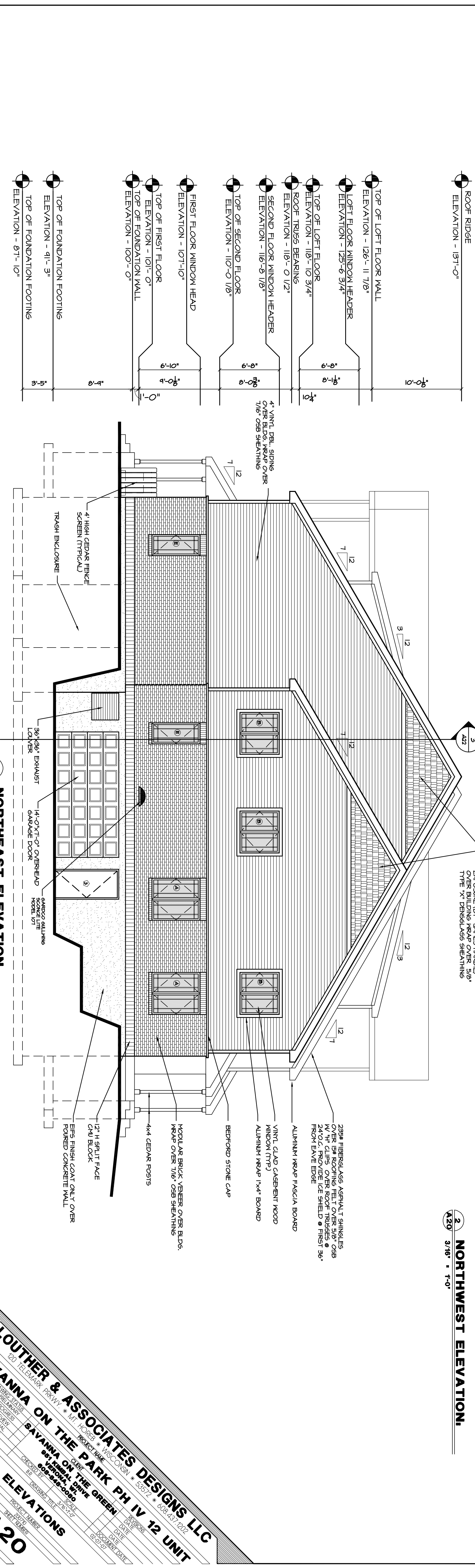
LOUTHER & ASSOCIATES DESIGNS LLC
120 FLEMING PARKWAY • MT HOPE, MISSISSIPPI 39347 • 662.437.1202

SAVANNA ON THE PARK PH IV 12 UNIT ELEVATIONS

PROJECT: SAVANNA ON THE PARK PH IV 12 UNIT
OWNER: SAVANNA ON THE PARK PH IV 12 UNIT
DATE: 08/20/2024
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN
SHEET NO: A19



2 NORTHWEST ELEVATION.
A20 3/16" = 1'-0"



2 NORTHEAST ELEVATION.
A20 3/16" = 1'-0"

LOUTHER & ASSOCIATES DESIGNS LLC
120 TELEMARK PARKWAY • M1 HORLEY • WILCOX, NC • 28772 • 252.437.1202

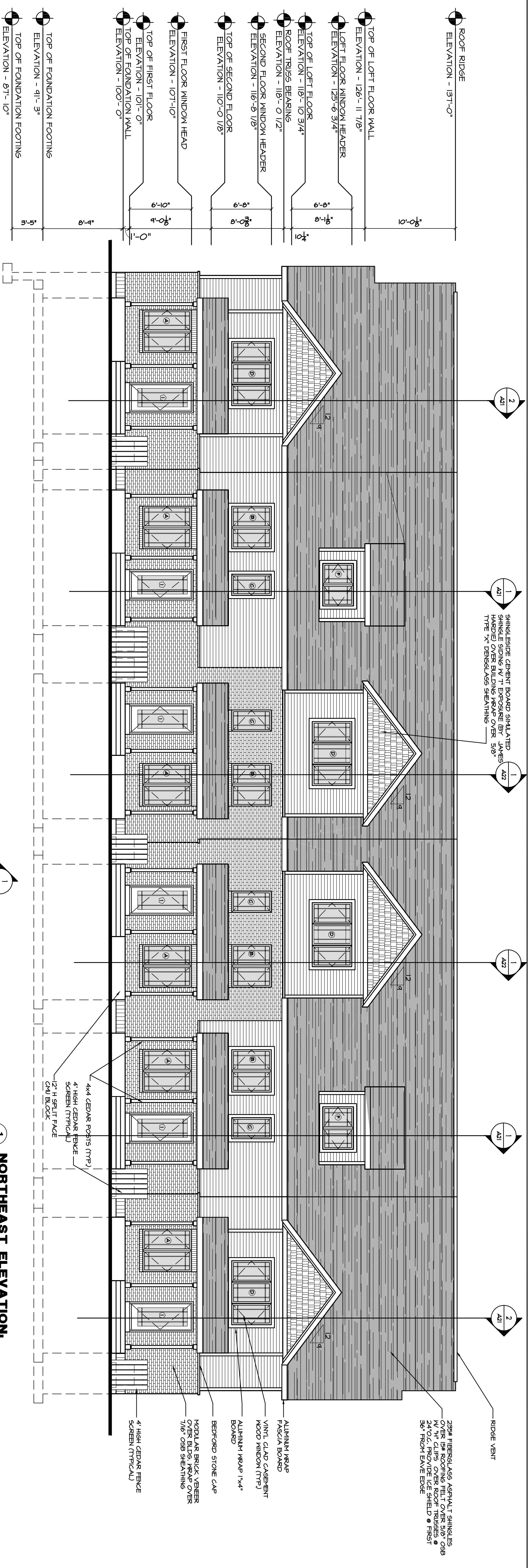
SAVANNA ON THE PARK PH IV 12 UNIT
881-1/2-1/2 DRIVE • UNIT 12 • SAVANNA, GA • 30426-2060

SAVANNA ON THE GREEN
881-1/2-1/2 DRIVE • UNIT 12 • SAVANNA, GA • 30426-2060

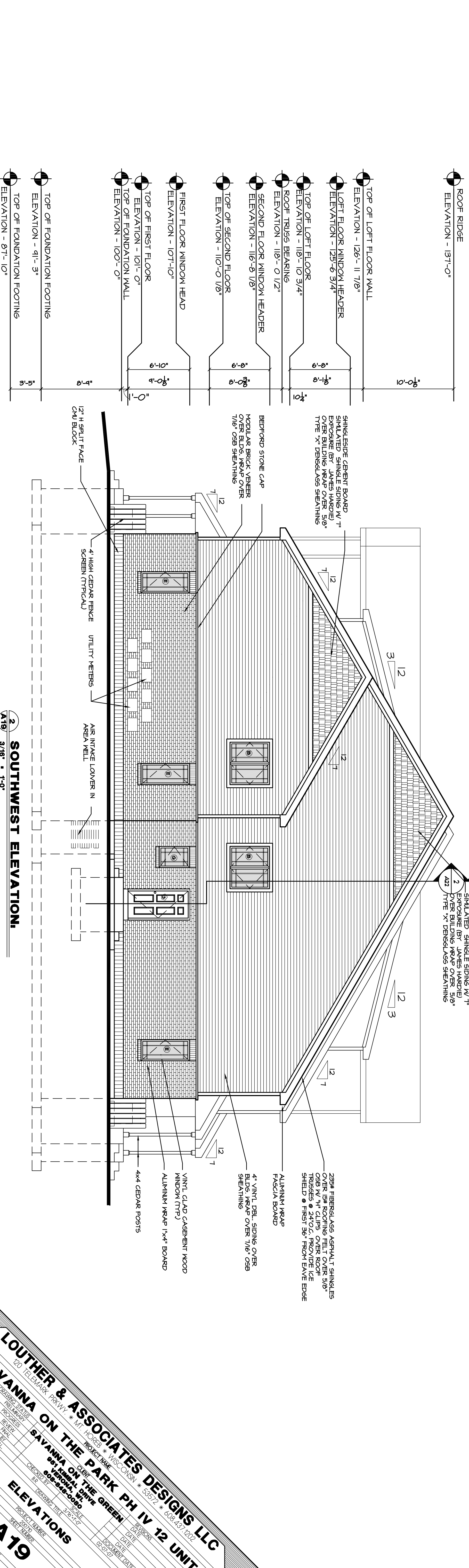
ELEVATIONS

PROJECT NAME	DATE
PROJECT NUMBER	DATE
SHEET NUMBER	DATE
OWNER	DATE
DESIGNER	DATE
CHECKER	DATE
DATE	DATE

3



1 NORTH EAST ELEVATION.
A19 3/16" = 1'-0"



2 SOUTHWEST ELEVATION.
A19 3/16" = 1'-0"

LOUTHER & ASSOCIATES DESIGNS LLC
120 TELEMARK PARKWAY • MOUNTAIN VIEW, CO 80551 • 303.772.6082 • 608.437.1202

SAVANNA ON THE PARK PH IV 12 UNIT ELEVATIONS
PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
PROJECT NO.: 24815-12
SHEET NO.: 02/20
DATE: 02/20/24
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 02/20/24

PROJECT NUMBER: [Number]
SHEET NUMBER: [Number]
DATE: [Date]
DRAWN BY: [Name]
CHECKED BY: [Name]

