

# CITY OF MADISON

# Proposed Demolition & Rezoning

Location: 3270-3276 Maple Grove Drive

Applicant: Fred Miller - Miller Construction/  
Randy Bruce - Knothe & Bruce

From Temp A District(s)

To PUD(GDP-SIP) District(s)

Existing Use: Two Single Family Houses

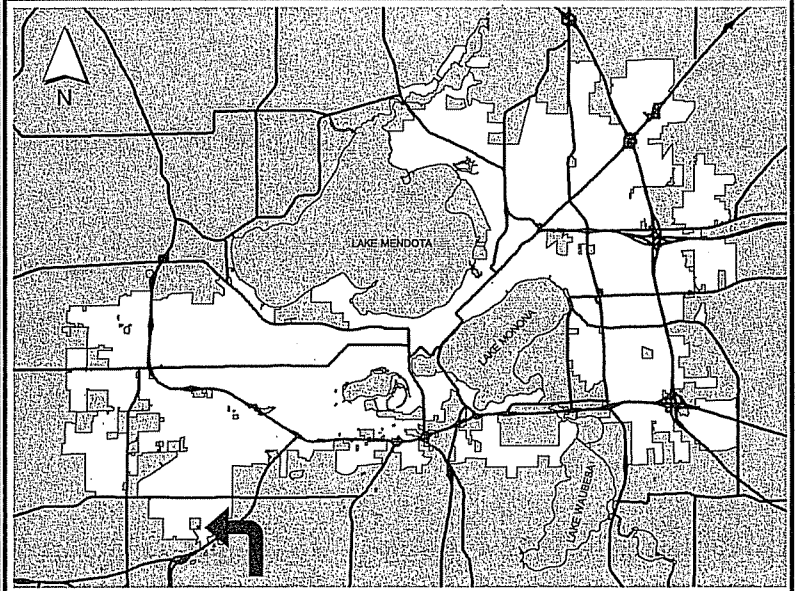
Proposed Use: Demolish 2 Single-Family Houses  
and Build Two 42-Unit Condominium  
Buildings

File No. \_\_\_\_\_

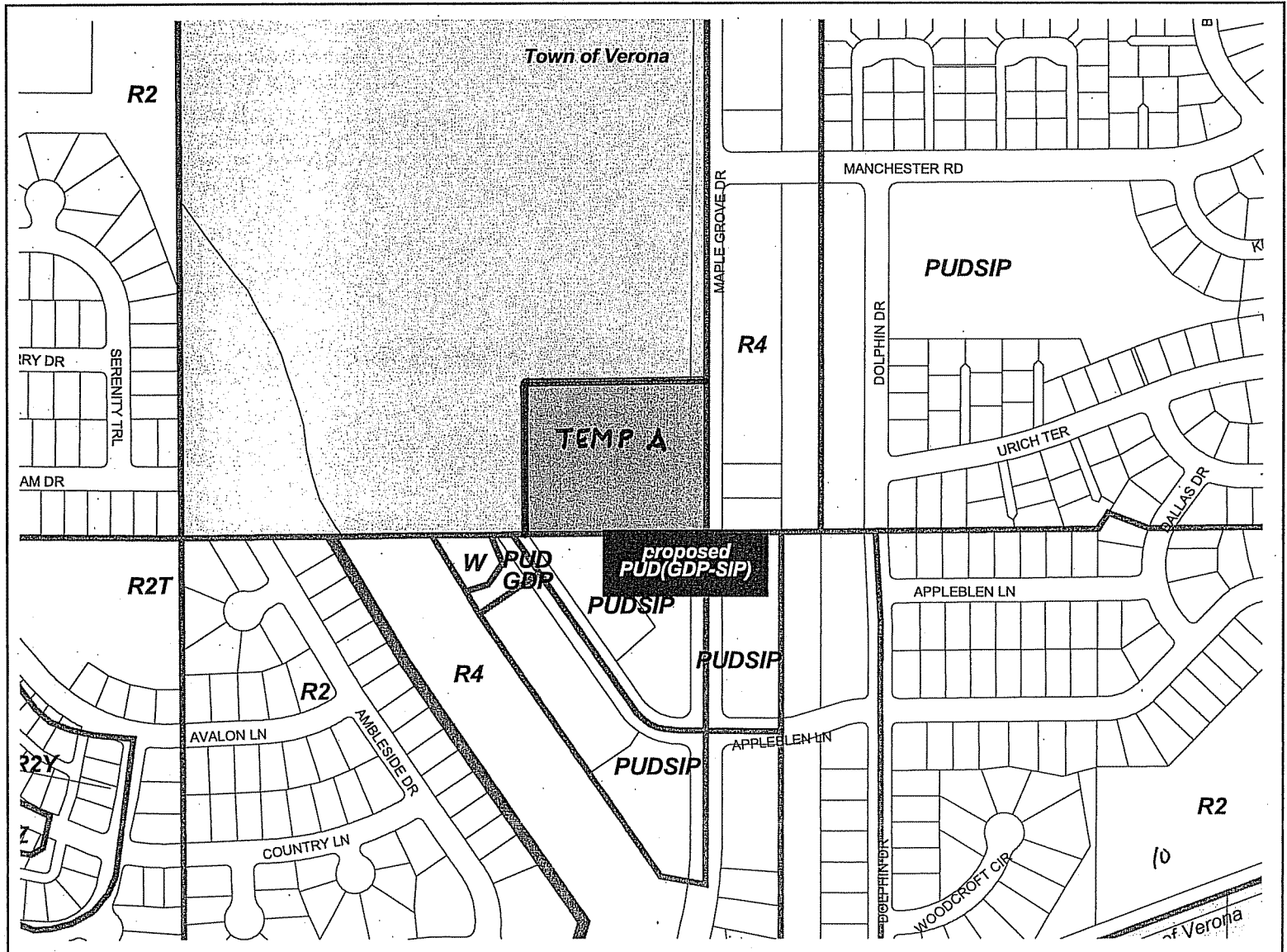
Public Hearing Dates:

Plan Commission 21 November 2005

Common Council 13 December 2005



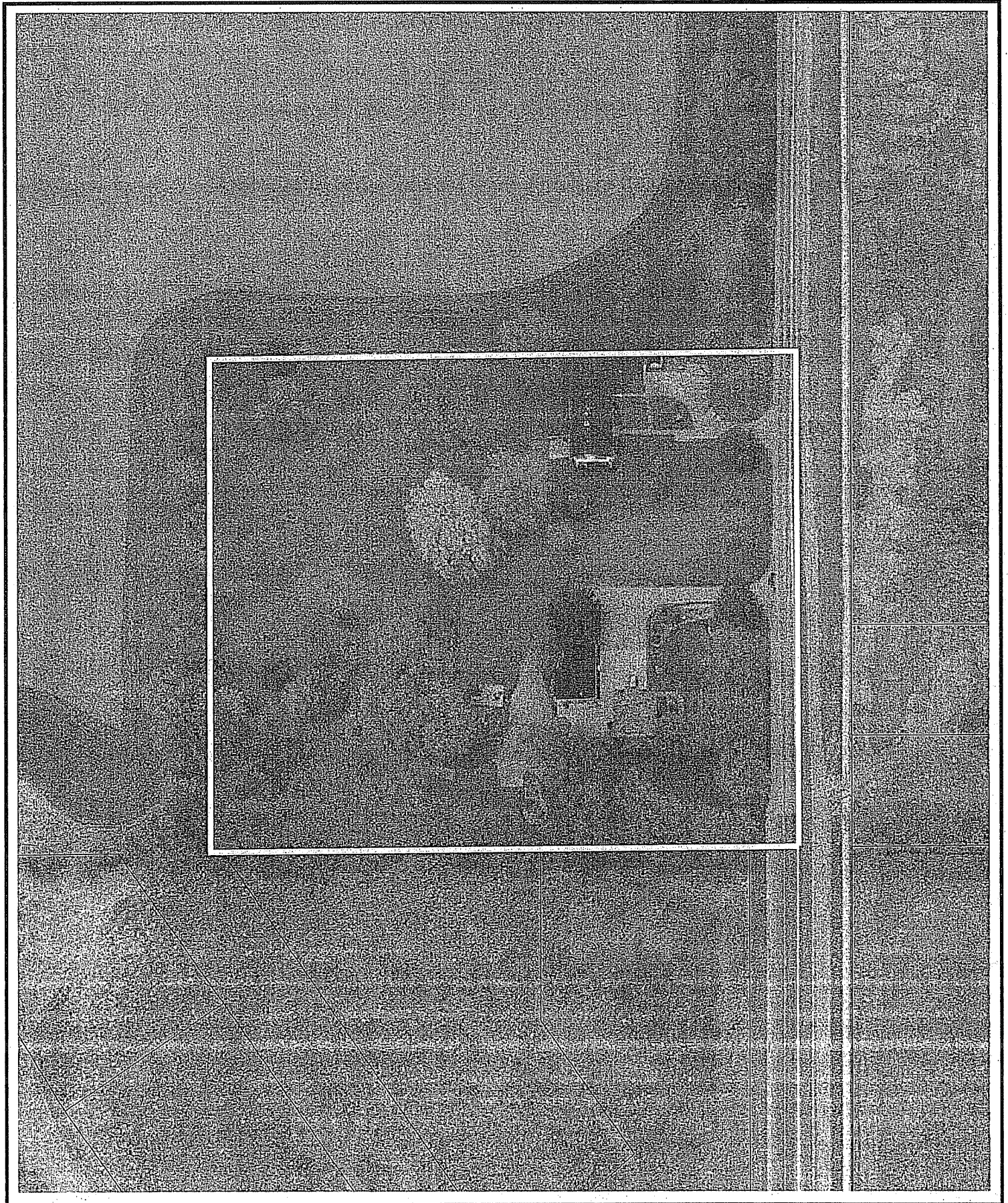
For Questions contact: Bill Roberts at: 266-5974 or [broberts@cityofmadison.com](mailto:broberts@cityofmadison.com) or City Planning at 266-4635



# 3270-3276 Maple Grove Drive

0 100 Feet

*Date of Aerial Photography - April 2003*



September 21, 2005

Mr. Brad Murphy  
Director of Planning  
Department of Planning & Development  
City of Madison  
215 Martin Luther King Jr. Blvd  
PO Box 2985  
Madison, Wisconsin 53701-2985

Re: Letter of Intent  
PUD-SIP  
3270 & 3276 Maple Grove Drive

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, plan commission and common council consideration of approval.

Organizational Structure:

Owner: Fred Miller  
Miller Construction, LLC  
2318 Vondron Road  
Madison, WI 53718  
608-221-3111  
608-221-8130 fax

Murphy Desmond, S.C.  
2 East Mifflin St. Ste 800  
P.O. Box 2038  
Madison, WI 53701  
608-268-5575

Project: 6733 Fairhaven Road

Landscape  
Design:

The Bruce Company  
2830 W. Beltline Hwy.  
Middleton, WI 53562  
608-836-7041  
608-831-6266  
Contact: Mike Hurtgen

Architect: Knothe & Bruce Architects, LLC  
7601 University Ave. Suite 201  
Middleton, WI 53562  
608-836-3690  
608-836-6934 (fax)  
Contact: Randy Bruce  
[rbruce@knothebruce.com](mailto:rbruce@knothebruce.com)

Engineer: Calkins Engineering  
5010 Voges Road  
Madison, WI 53718  
608-838-0444  
608-838-0445 fax  
Contact: Mike Zeier

Attorney: Ron Trachtenberg

**Introduction:**

This 3.63 acre site is located on the west side of Maple Grove Road within the Cross Country Neighborhood on Madison's southwest side. The Neighborhood Development Plan recommends medium density residential use for this site. This project consists of two 42-unit buildings with underground parking. Currently, there are two homes and several out buildings, which will be set up for demolition. A temporary private access agreement allows for entrance to our site from Fairhaven Road until Fairhaven Road is extended north of its present location.

**Site Development Data**

**Densities:**

Lot Area	158,036 S.F. (3.63 Acres)
Dwelling Units	84 Units
Lot Area / D.U.	1,881 S.F./D.U.
Density	23.1 D.U./Acre
Building Floor Area	58,857 S.F./Bldg
Dwelling Unit Sale price range	\$147,696-\$193,209

**Dwelling Unit Mix:**

Two bedrooms	63
<u>Three bedrooms</u>	<u>21</u>
Total	84

**Vehicular Parking Ratio:**

Underground Garage	108 stalls ( <i>inc. 4 accessible stalls</i> )
<u>Surface Parking</u>	<u>65 stalls (<i>inc. 2 accessible stalls</i>)</u>
Total Parking	173 stalls
Parking Ratio	2.05 stalls/D.U.

**Bicycle Parking Ratio:**

Underground Garage	40 stalls
<u>Surface Parking</u>	<u>27 stalls</u>
Total Parking	67 stalls
Parking Ratio	1.25 stalls/D.U.

**Site and Building Architecture:**

The site plan has been designed utilizing traditional neighborhood design concepts. Building forms line the site perimeter with limited surface parking internal to the site. Sidewalks throughout the site will provide pedestrian connections to the surrounding public sidewalks. An outdoor commons provides an architectural and social focal point for the development.

The two buildings are three stories with underground parking to provide a scale that is compatible with the surrounding properties and increase the available open space. The exterior

materials will be a combination of brick veneer and horizontal siding to provide urban-style architecture. The facades are well articulated and detailed and the overall effect produces a high quality residential environment.

**Project Schedule & Management:**

This project will be a phased development with construction of Building 1 planned to start in the late fall 2005. Completion of Phase I is scheduled for summer 2006. Construction of the second building will proceed as market conditions warrant with the project currently scheduled for completion in summer 2007.

The development will be a privately owned and managed apartment property. The owner-developer will provide all the requisite private services for a well-managed and maintained development. The apartments will be available to family residents although few school age children are anticipated from this project. This project may in the future be subjected to a condominium plat and declaration.

**Social & Economic Impacts:**

This development will have a positive social and economic impact. Moderately priced housing will be provided within a mixed-use neighborhood with office and retail services planned nearby. Construction of the facilities will provide employment for local businesses and trades people.

Thank you for your time in reviewing our proposal.

Very truly yours,

*J. Randy Bruce*  
D.S.

J. Randy Bruce, AIA  
Managing Member

September 19, 2005  
FN: MIL06

CITY OF MADISON  
PRIVATE ACCESS EASEMENT

A private access easement over, under and across part of Lot 1, Certified Survey Map Number 10769, as recorded in Volume 64 of Certified Survey Maps, on pages 108-112, as Document Number 3726206, Dane County Registry and located in the Southwest Quarter of the Southwest Quarter of Section 12, Township 6 North, Range 8 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Beginning at the Northwest corner of said Lot 1; thence North 89 degrees 28 minutes 36 seconds East, along the North line of said Lot 1, 38.75 feet; thence South 00 degrees 33 minutes 13 seconds East, 35.98 feet; thence South 55 degrees 26 minutes 59 seconds West, 12.00 feet to the Northeasterly right-of-way line of Fairhaven Road; thence North 34 degrees 33 minutes 00 seconds West, along said Northeasterly right-of-way line, 51.52 feet to the point of beginning.

# LAND USE APPLICATION

## Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
 PO Box 2985; Madison, Wisconsin 53701-2985  
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- Application effective February 18, 2005

### FOR OFFICE USE ONLY:

Amt. Paid \$ 1850 Receipt No. 64692  
 Date Received 9-21-05  
 Received By RJT  
 Parcel No. \_\_\_\_\_  
 Aldermanic District 7, Zach Brandon  
 GQ \_\_\_\_\_  
 Zoning District A  
**For Complete Submittal**  
 Application  Letter of Intent   
 IDUP  Legal Descript.   
 Plan Sets  Zoning Text   
 Alder Notification  Waiver \_\_\_\_\_  
 Ngrbrhd. Assn Not.  Waiver \_\_\_\_\_  
 Date Sign Issued 9-21-05

**1. Project Address:** 3270 & 3276 Maple Grove Drive **Project Area in Acres:** 3.63 Acres

**Project Title (if any):** Maple Grove Condominium Homes

**2. This is an application for:** (check at least one)

<input checked="" type="checkbox"/> <b>Zoning Map Amendment</b> (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input checked="" type="checkbox"/> Rezoning from <u>Temp.-AG</u> to <u>PUD/PCD-SIP</u>	
<input type="checkbox"/> Rezoning from _____ to <u>PUD/PCD-GDP</u>	<input type="checkbox"/> Rezoning from <u>PUD/PCD-GDP</u> to <u>PUD/PCD-SIP</u>	
<input type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests</b> (Specify): _____

### 3. Applicant, Agent & Property Owner Information:

Applicant's Name: Fred Miller Company: Miller Construction, Inc.  
 Street Address: 2318 Vondron Rd. City/State: Madison, WI Zip: 53718  
 Telephone: (608) 221-3111 Fax: (608) 221-8130 Email: fsmiller@cs.com

Project Contact Person: Randy Bruce Company: Knothe & Bruce Architects, LLC  
 Street Address: 7601 University Ave., Suite 201 City/State: Middleton, WI Zip: 53562  
 Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com

Property Owner (if not applicant): same as applicant  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

### 4. Project Information:

Provide a general description of the project and all proposed uses of the site: \_\_\_\_\_  
(2) 42-unit condominium buildings with underground parking

Development Schedule: Commencement Fall 2005 Completion Summer 2007

CONTINUE →

**5. Required Submittals:**

**Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

**Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

**Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.

**Filing Fee:** \$ 1,850 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

**Conformance with adopted City plans:** Applications for Zoning Map Amendments shall be in accordance with all adopted City of Madison land use plans:

→ The site is located within the limits of Cross Country Neighborhood Plan, which recommends: medium-density residential use for this property.

**Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:  
District #7 - Zach Brandon: 6/30/05 (no neighborhood association)

*If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*

**Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner IZ Staff Date 6/21/05 | Zoning Staff IZ Staff Date 6/21/05

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name J. Randy Bruce Date 9/21/05

Signature J. Randy Bruce Relation to Property Owner Architect

Authorizing Signature of Property Owner [Signature] Date 9-20-05



**Zoning Text**

**PUD-SIP**

3270 & 3276 Maple Grove Drive

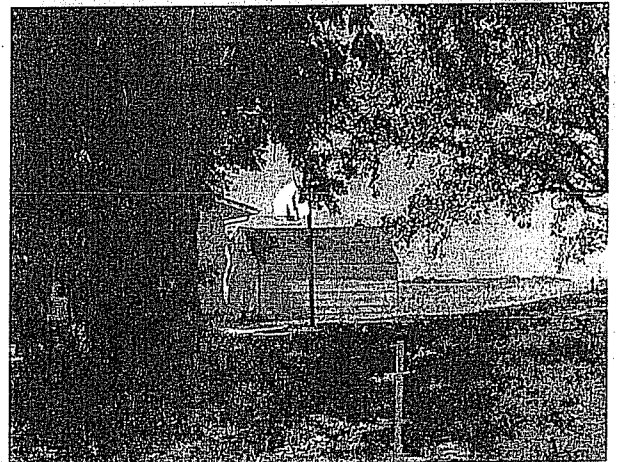
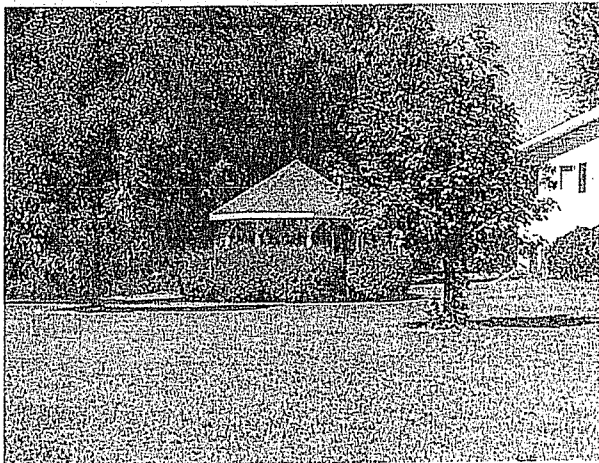
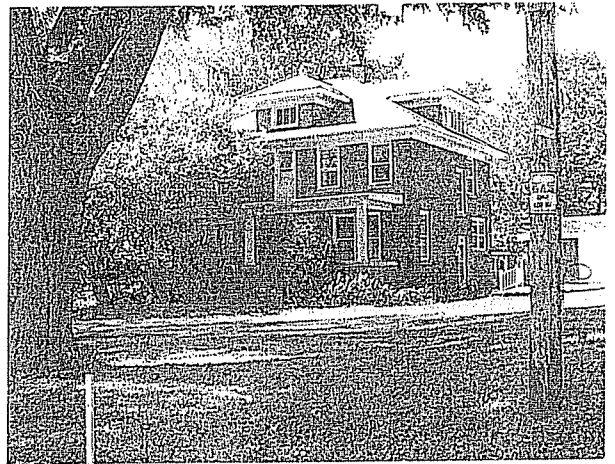
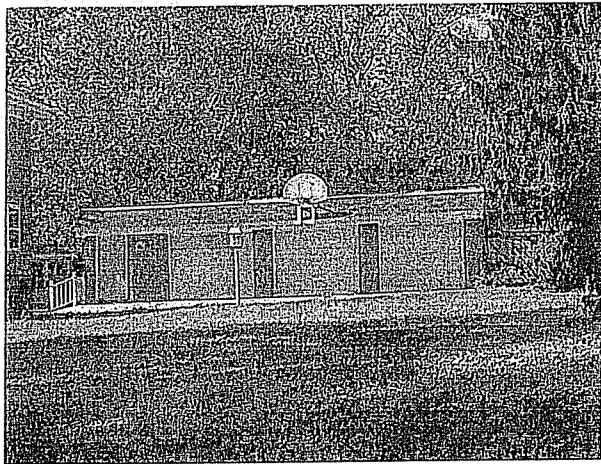
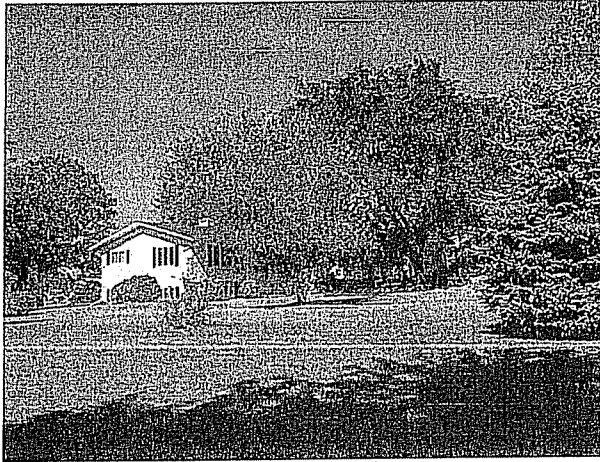
September 21, 2005

**Legal Description:** The lands subject shall include

"Lots 1 and 2, Certified Survey Map Number 2424, as recorded in Volume 9 of Certified Survey Maps, on pages 320 & 321, as Document Number 1520556, Dane County Registry, Town of Verona, Dane County, Wisconsin."

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of an 84-unit multifamily development.
- B. **Permitted Uses:** Following are permitted uses:
  - 1. Multifamily residential buildings.
  - 2. Accessory uses including but not limited to:
    - a. Accessory uses directly associated with those permitted uses including recreational facilities and parking for residents and guests.
    - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street and surface parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R- 4 zoning district.
- J. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the R-4 district or signage will be provided as approved on the S.I.P. plans or as a minor alteration to the approved SIP.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

# 3270 & 3276 Maple Grove Drive Existing Structures



## **Inclusionary Dwelling Unit Plan**

**3270 & 3276 Maple Grove Drive  
Cross Country Neighborhood  
Madison, Wisconsin**

**September 21, 2005**

### **Development Team:**

**Owner:** Miller Construction, Inc.  
2318 Vondron Road  
Madison, WI 53718  
(608) 221-3111

**Attorney:** Ron Trachtenberg  
Murphy Desmond, S.C.  
2 East Mifflin Street, Suite 800  
PO Box 2038  
Madison, WI 53701  
(608) 268-5575

**Architect:** Knothe & Bruce Architects, LLC  
7601 University Ave., Suite 201  
Middleton, WI 53562  
(608) 836-3690

**Engineer:** Calkins Engineering, LLC  
5010 Voges Rd.  
Madison, WI 53718  
(608) 838-0444

### **General Development Characteristics:**

This 3.63 acre site is located on the west side of Maple Grove Road within the Cross Country Neighborhood on Madison's southwest side. The Neighborhood Development Plan recommends medium density residential use for this site.

This proposed condominium development will contain a total of 84 condominiums within two buildings of 42 units each.

**Architectural Character:**

The site plan has been designed utilizing traditional neighborhood design concepts. Building forms line the site perimeter with limited surface parking internal to the site. Sidewalks throughout the site will provide pedestrian connections to the surrounding public sidewalks. An outdoor commons provides an architectural and social focal point for the development.

The two buildings are three stories with underground parking to provide a scale that is compatible with the surrounding properties and increase the available open space. The exterior materials will be a combination of brick veneer and horizontal siding to provide urban-style architecture. The facades are well articulated and detailed and the overall effect produces a high quality residential environment.

**IZ Unit Mix and Sizes:**

See the attached IZ application form for the proposed unit sizes and mix. The inclusionary zoning units will be distributed proportionately throughout the development.

The development will offer 5% of its units to buyers meeting the 70% AMI guidelines and 10% of its units to buyers meeting the 80% AMI guidelines. The developer will work City Staff to insure compliance with all inclusionary zoning policies and certifications.

The development is not seeking any alternatives to Inclusionary Zoning. A density bonus is requested.

**Project Schedule & Management:**

This project will be a phased development with construction of Building 1 planned to start in the late fall 2005. Completion of Phase I is scheduled for summer 2006. Construction of the second building will proceed as market conditions warrant with the project currently scheduled for completion in summer 2007. The inclusionary dwelling units will be distributed across the phases as follows:

	Market Rate		IZ		Total	
	<u>2BR</u>	<u>3BR</u>	<u>2BR</u>	<u>3BR</u>	<u>2BR</u>	<u>3BR</u>
Building 1	27	9	4	2	32	10
Building 2	26	9	5	2	31	11
Total	53	18	9	4	63	21

**PART 1 - DEVELOPMENT INFORMATION:**

**Project or Plat** Maple Grove Condominium Homes

**Project Address:** 3270 & 3276 Maple Grove Rd. **Project Area (in acres):** 3.63

**Developer:** Miller Construction, Inc. **Representative:** Fred Miller

Street Address: 2318 Vondron Road City/State: Madison, WI Zip: 53718  
 Telephone: 608-221-3111 Fax: 608-221-8130 Email: fsmiller@cs.com

**Agent, If Any:** J. Randy Bruce **Company:** Knothe & Bruce Architects, LLC

Street Address: 7601 University Ave., Suite 201 City/State: Middleton, WI Zip: 53562  
 Telephone: 608-836-3690 Fax: 608-836-6934 Email: rbruce@knothebruce.com

**PART 2 - PROJECT CONTENTS:**

Complete the following table as it pertains to this project:

Residential Use	MARKET-RATE UNITS		INCLUSIONARY UNITS		Total Units	Acres
	Owner-Occupied Units	Renter-Occupied Units	Owner-Occupied Units	Renter-Occupied Units		
Single-Family						
Duplexes						
Multi-Family	71		13		84	
<b>TOTAL</b>	71		13		84	3.63

**PART 3 - AFFORDABLE HOUSING DATA:**

Number of Inclusionary Dwelling Units Proposed by Area Median Income (AMI) Level and Minimum Sale/Rent Price							
Owner-Occupied Units	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI					4	9	13
Anticipated Sale Price					\$147,696 \$169,058	\$168,795 \$193,209	
Rental Units	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI	N/A	N/A	N/A	N/A			N/A
Maximum Monthly Rent Price	N/A	N/A	N/A	N/A			N/A

**PART 4 - DWELLING UNIT COMPARISON:**

Complete the following table as it pertains to this project:

	MARKET-RATE UNITS					INCLUSIONARY UNITS				
	Studio / Effcy	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms	Studio / Effcy	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms
<b>Owner-Occupied Units with:</b>			53	18				10	3	
Minimum Floor Area:			1,075	1,350				950-1075	1,175	
<b>Rental Units With:</b>	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Minimum Floor Area:	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

CONTINUE →

**PART 5 – INCENTIVES:** Section 28.04 (25) of the Zoning Ordinance provides the opportunity for applicants in projects where affordable dwelling units are required or where the developer has agreed to pay money in lieu of inclusionary dwelling units, to receive one or more incentives as compensation for complying with the Inclusionary Zoning requirements. Each of the eleven incentives listed below are affixed a point value. The incentive points available to an applicant is dependent upon the number of affordable dwelling units proposed at the various area median income (AMI) levels. The program rewards projects both for having a higher number of affordable dwelling units provided at lower AMI levels, and for having a higher percentage of affordable dwelling units incorporated into the development. The incentive and the corresponding number of points available are listed below. (MAP=Maximum Available Points) Please mark the box next to the incentives requested.

Incentive	MAP	Incentive	MAP
<input checked="" type="checkbox"/> Density Bonus (varies by project)	3	<input type="checkbox"/> Cash subsidy from <u>Inclusionary Unit Reserve Fund</u> up to \$10,000 per unit for up to 50% of the affordable units provided.	2
<input type="checkbox"/> Parkland Development Fee Reduction	1	<input type="checkbox"/> Cash subsidy from <u>Inclusionary Unit Reserve Fund</u> of \$5000 for up to 50% of on-site afford-able units in projects with 49 or fewer detached units or projects with four or more stories and 75% of parking provided underground.	2
<input type="checkbox"/> Parkland Dedication Reduction	1	<input type="checkbox"/> Neighborhood Plan preparation assistance	1
<input type="checkbox"/> Off-street Parking Reduction up to 25%	1	<input type="checkbox"/> Assistance obtaining housing funding information	1
<input type="checkbox"/> Non-City provision of street tree planting	1		
<input type="checkbox"/> One addl. story in Downtown Design Zones	1		
<input type="checkbox"/> Residential parking permits in a PUD/PCD	1		
<input type="checkbox"/> Incentives Not Assigned a Point Value by Ordinance (Explain): _____			

**PART 6 – WAIVER:** The Plan Commission may waive the requirement to provide inclusionary dwelling units in the development if the applicant can present clear and convincing financial evidence that providing the required number of inclusionary dwelling units on-site renders providing the required number of inclusionary units financially infeasible. In such a case, a developer may request a waiver to provide the units off-site, assign the obligation to provide the units to another party, or pay cash in lieu of the units, or any combination of the above. If the waiver is granted, the required units may be provided as new construction off-site in another development within **one mile** of the subject development; off-site units shall be provided at least 1.25 times the number of units if provided within the subject development. Off-site units must be constructed within one year of the time that they would have been constructed within the subject development. The applicant may opt to pay money into the Inclusionary Unit Reserve Fund based on contribution rates established in Section 28.04 (25) of the Zoning Ordinance. If provision of the inclusionary dwelling units through the waiver is still financially infeasible, the developer may seek a reduction in the percent of units to the point where the project becomes financially feasible. If such a waiver is requested, a detailed explanation shall be provided in the required project narrative demonstrating the financial infeasibility of complying with the ordinance requirements and the rationale for the alternative proposed.

- If a waiver is requested, **please mark this box**  and include all of the necessary information required by the Zoning Ordinance and IZ Program Policy & Protocols to support your request.

**PART 7 – APPLICANT’S DECLARATION:**

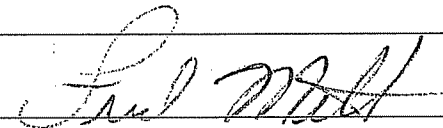
The signer shall attest that this application has been completed accurately and includes all requests for incentives or waivers; that they have attended both required pre-application staff meetings and given the required notice to the district alderperson and neighborhood association(s) prior to filing this application; and that all required information will be submitted on the corresponding application for zoning and/or subdivision approval by the Plan Commission. The applicant shall begin the declaration by stating below whether or not the project complies with the various requirements of the inclusionary zoning ordinance. Check the applicable box and provide any supporting comments.

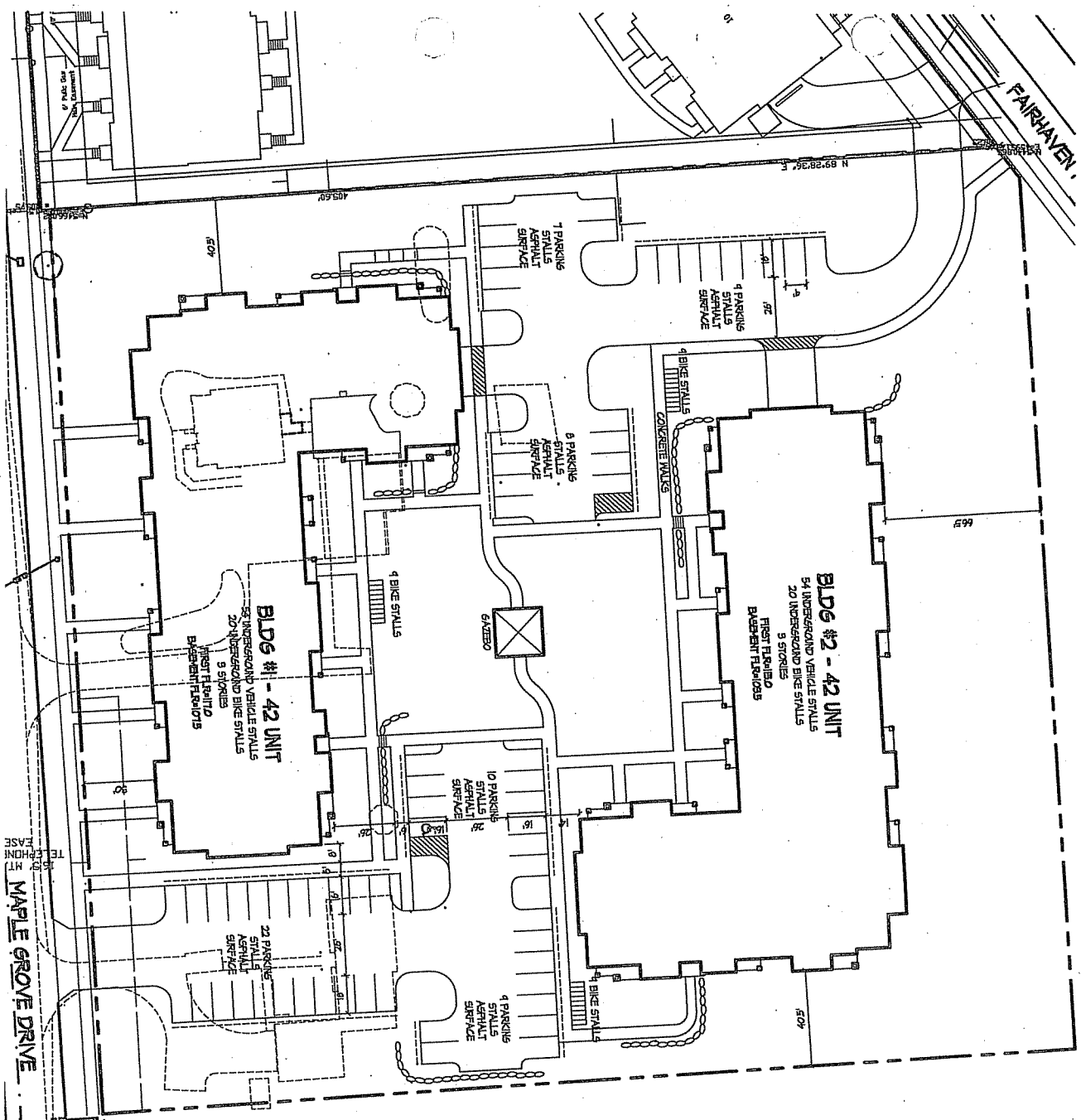
Standards for Inclusionary Dwelling Units (IDUs)	Will Comply	Will not comply	Additional comments
Exterior Appearance of IDUs are similar to Market rate.	X		
Proportion of attached and detached IDU units is similar to Market rate.	X		
Mix of IDUs by bedroom size is similar to market rate.	X		

CONTINUE →

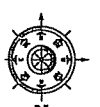
Standards for Inclusionary Dwelling Units (IDUs) [continued]	Will Comply	Will not comply	Additional comments
IDUs are dispersed throughout the project.	x		
IDUs are to be built in <b>phasing</b> similar to market rate.	x		
<b>Pricing</b> fits within Ordinance standards	x		
Developer offers security during <b>construction phase</b> in form of deed restriction.	x		
Developer offers <b>enforcement</b> for for-sale IDUs in form of option to purchase or for rental in form of deed restriction.	x		
Developer describes marketing plan for IDUs.	x		
Developer acknowledges need to inform buyers/renters of IDU status, responsibilities for notification.	x		
Terms of sale or rent.	x		
	<b>Yes</b>	<b>No</b>	<b>Additional comments</b>
Developer has arranged to sell/rent IDUs to non-profit or CDA to meet IDU expectations.		x	
Developer has requested waiver for off-site or cash payment.		x	
Developer has requested waiver for reduction of number of units.		x	
Other:			

- The applicant discussed this development proposal with representatives from the Planning Unit, Zoning Administrator and Community Development Block Grant Office on: → 6/21/05
- The applicant presented a preliminary development plan for this project to the Interdepartmental Review Staff Team on: → 7/7/05
- The applicant notified Alderperson Zach Brandon of District #7 of this development proposal in writing on: → 6/30/05
- The applicant also notified \_\_\_\_\_ of the \_\_\_\_\_ neighborhood in writing on: → N/A
- The Inclusionary Dwelling Unit Plan Application package contains ALL of the materials required as noted on this form. I, as the undersigned, acknowledge that incomplete or incorrect submittals may cause delays in the review of this project. I am also familiar with the ongoing developer responsibilities summarized on page #2 of this application and outlined in the Inclusionary Zoning Ordinance and Program Policy and Protocols.

Applicant Signature  Date 9-20-05  
 Printed Name Fred Miller Phone (608)221-3111



SITE PLAN  
 1" = 20'



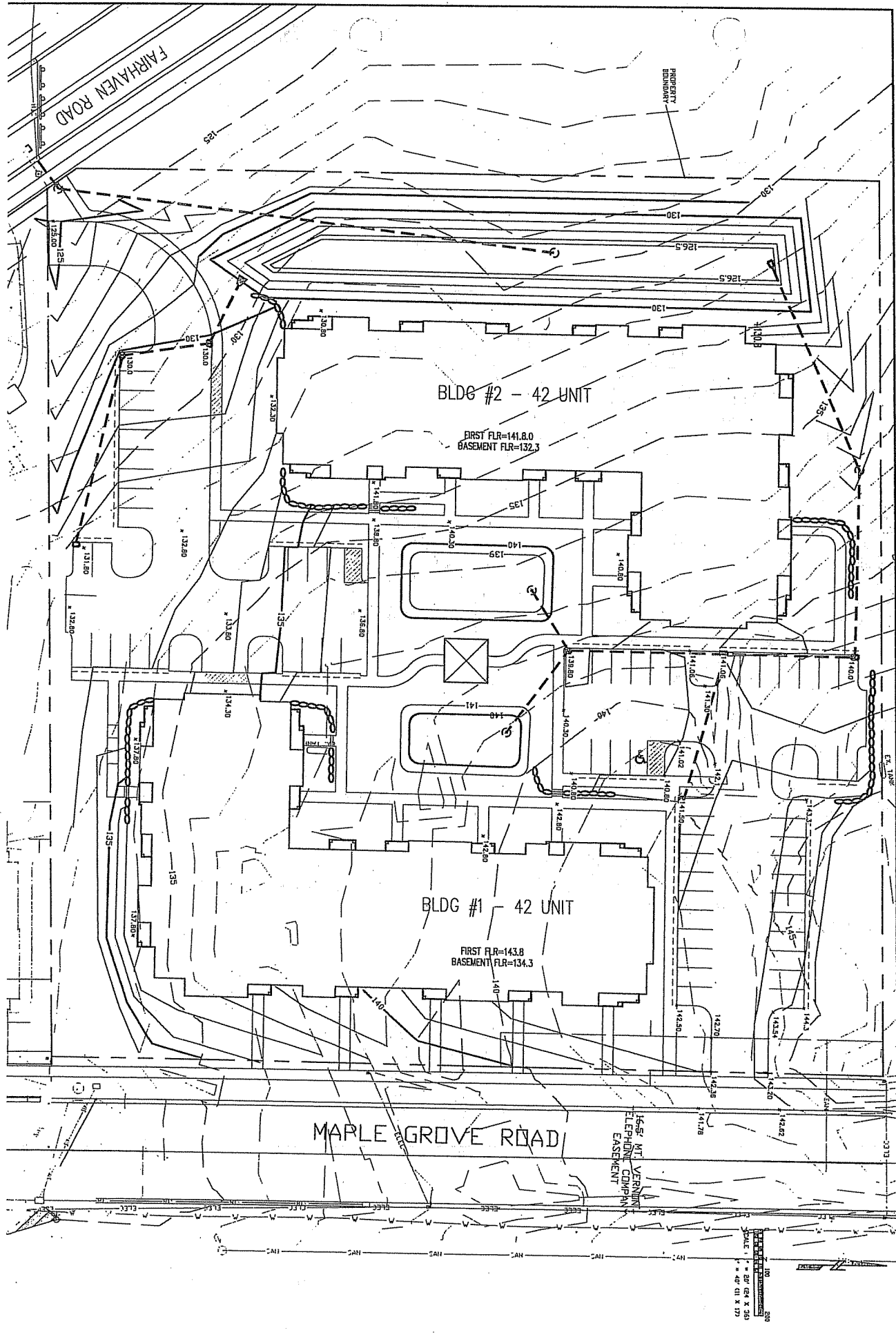
Project: Maple Grove Condominium Homes  
 5270 & 5275 Maple Grove Drive  
 Drawing Title: Site Plan  
 Date: 05/25  
 Drawing: C-11

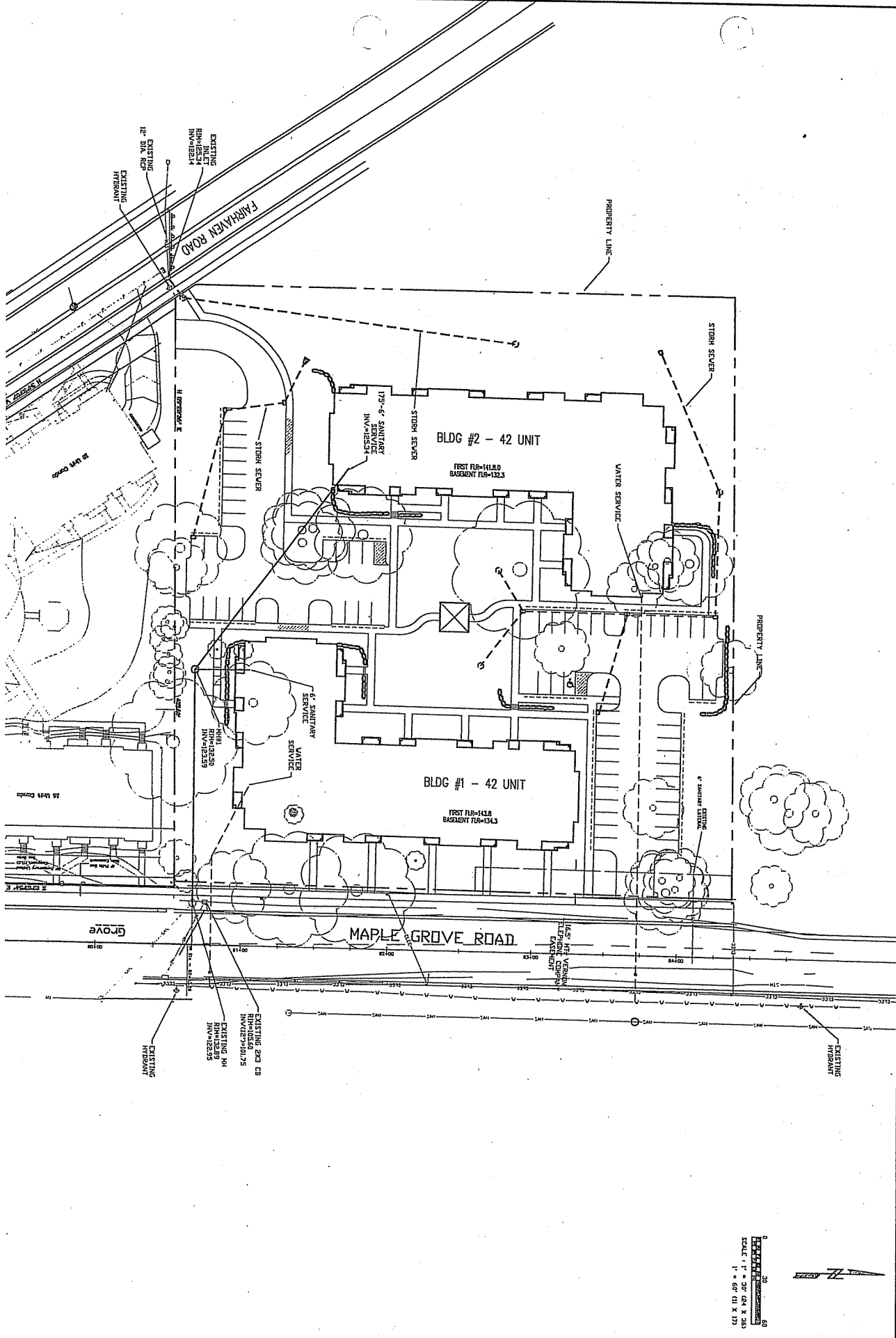
Notes:  
 FROM CONVEYANCE INSTRUMENT - SEPTEMBER 2, 2008


- SHEET INDEX
- C-11 SITE PLAN
  - C-12 SITE GRADING PLAN
  - C-13 SITE UTILITY PLAN
  - C-11 LANDSCAPE PLAN
  - A-10 BASEMENT FLOOR PLAN - BLDG #1 & #2
  - A-11 FIRST FLOOR PLAN - BLDG #1
  - A-12 SECOND FLOOR PLAN - BLDG #1
  - A-13 THIRD FLOOR PLAN - BLDG #1
  - A-14 FIRST FLOOR PLAN - BLDG #2
  - A-15 SECOND FLOOR PLAN - BLDG #2
  - A-16 THIRD FLOOR PLAN - BLDG #2
  - A-21 ELEVATIONS - BLDG #1 & #2

KNOTHE & BRUCE ARCHITECTS  
 7601 University Avenue, Ste. 201  
 Milwaukee, Wisconsin 53224  
 414-353-9300 Fax: 414-353-9324







PAGE C1.3	 <b>Calkins Engineering, LLC</b> Civil Engineers & Land Surveyors	<b>MAPLE GROVE CONDOMINIUMS</b> <b>UTILITY PLAN</b> <b>3270 &amp; 3274 MAPLE GROVE DRIVE</b>	DATE: 09-20-05	Calkins Engineering, LLC 5010 Voges Road Madison, WI 53718 (608) 538-0444
			REVISIONS: _____ _____ _____	
FIG: UELDS		DRAWING NAME: P:\MELDS\DNV\VE_POINT\BASSTOP.DWG		

6



240'-0"

54 PARKING STALLS  
20 BICYCLE STALLS

NOTE: ALL GARAGE STALLS ARE TO BE BUILT IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES.

177'-5"

0'-11"

174'-0"

0'-54"

**KNOTHE & BRUCE ARCHITECTS**  
 701 University Avenue, Suite 201  
 Evanston, Illinois 60201  
 606.815.3100 Fax 606.815.0794

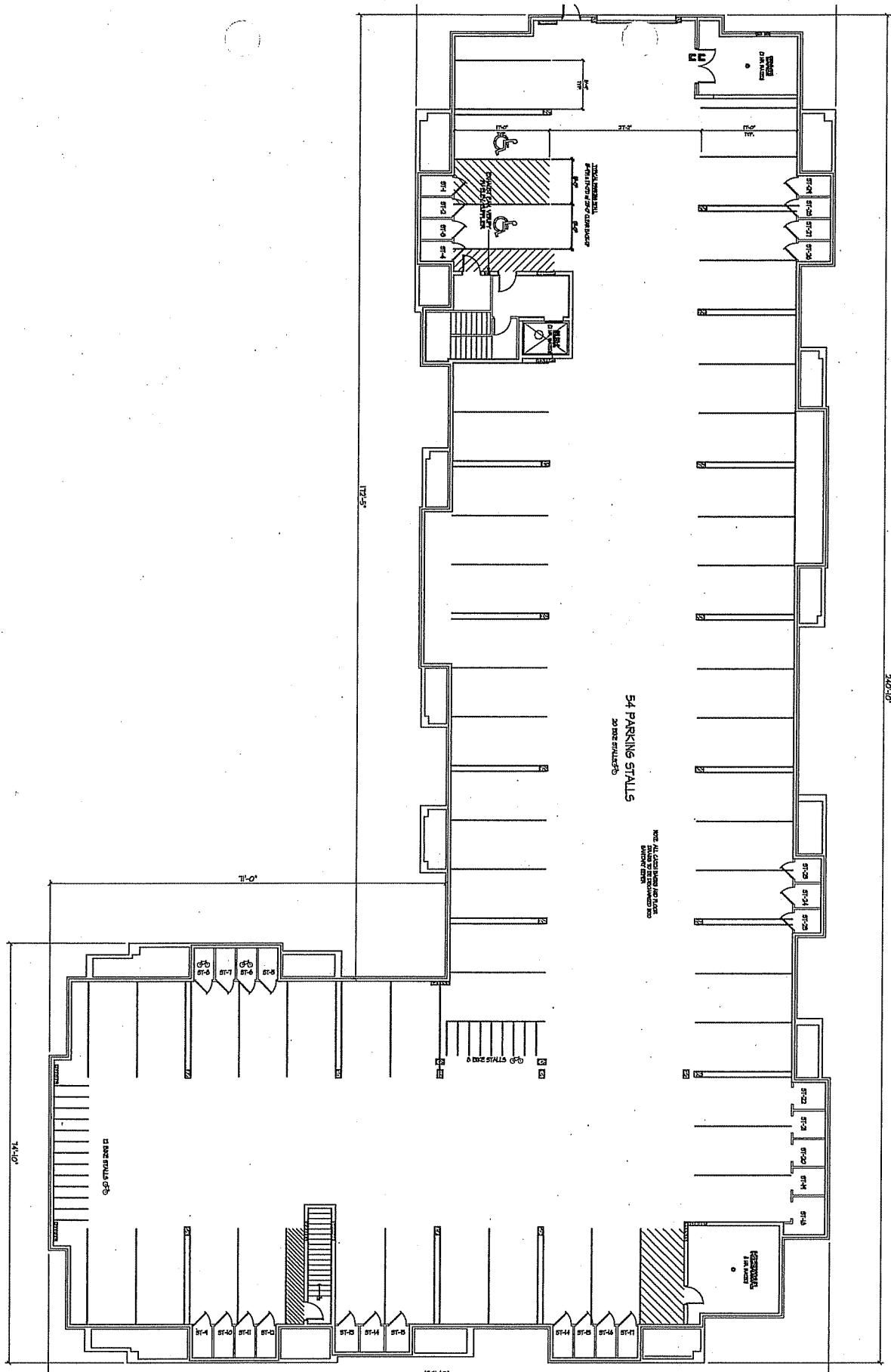
PROJECT: 42 White Building  
 54 PARKING STALLS, 20 BICYCLE STALLS  
 STAIRS, ELEVATOR, TO RENTED UNIT

DATE: 11/15/10  
 DRAWN: J. BRUCE  
 CHECKED: J. BRUCE  
 PROJECT NO: 0525

PROJECT NO: 0525  
 MAPLE GROVE CONDOMINIUM HOMES  
 3270 & 3275 MAPLE GROVE DRIVE



42 White Building  
 Drawing Title: Basement Plan  
 Building # 2 (4th similar)  
 Project No: 0525  
 Drawing No: A-10

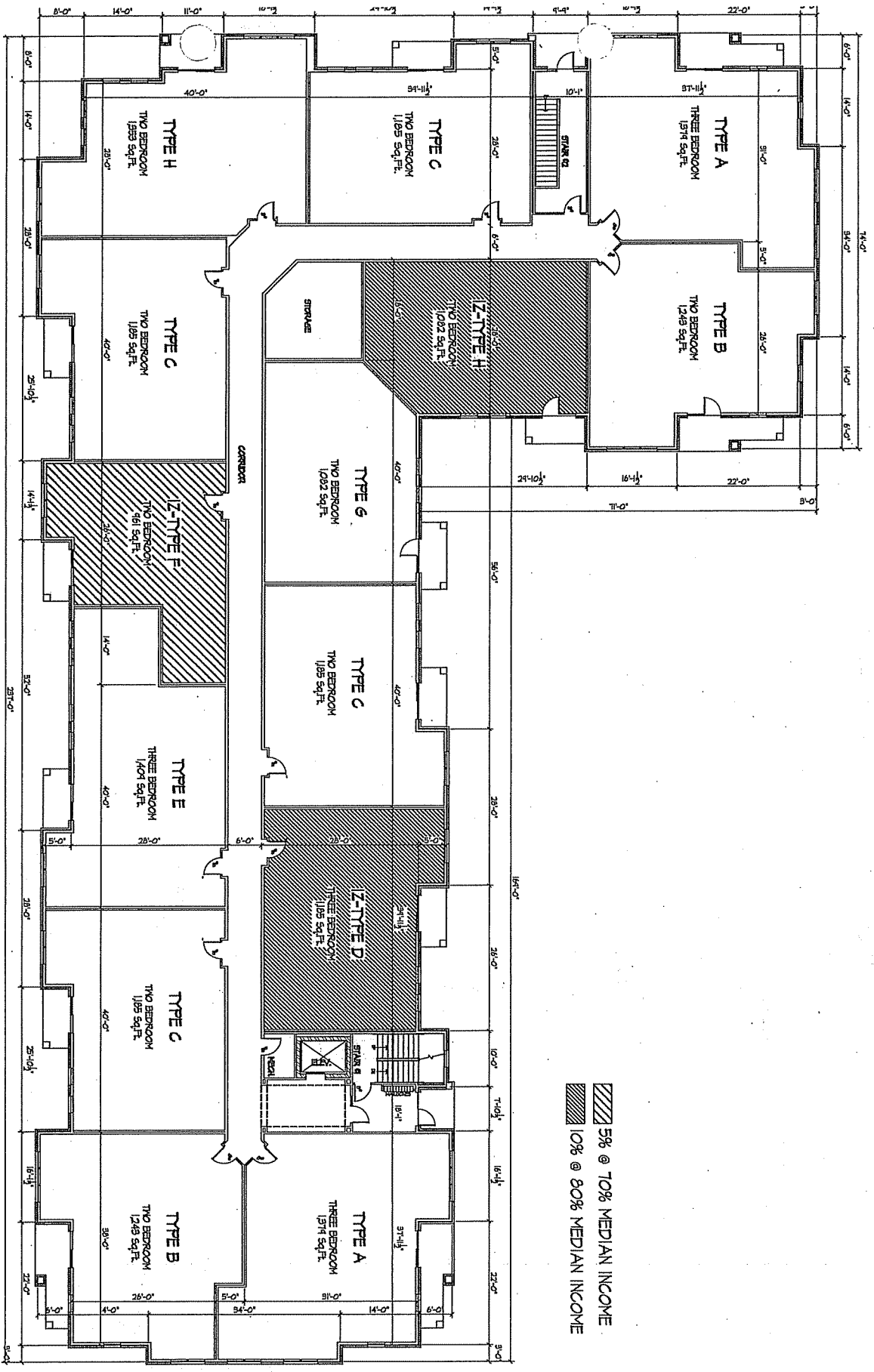
**BASEMENT FLOOR PLAN**  
 1/8" = 1'-0"




**KNOTHE & BRUCE ARCHITECTS**  
 7401 University Avenue, Suite 201  
 Middleton, Wisconsin 53522  
 608.836.1800 Fax 608.836.8994

Contract: \_\_\_\_\_  
 Title: \_\_\_\_\_

 5% @ 70% MEDIAN INCOME  
 10% @ 80% MEDIAN INCOME



**FIRST FLOOR PLAN**  
 1/8" = 1'-0" 



Project Title: **Maple Grove Condominium Homes**  
 3270 & 3276 Maple Grove Drive

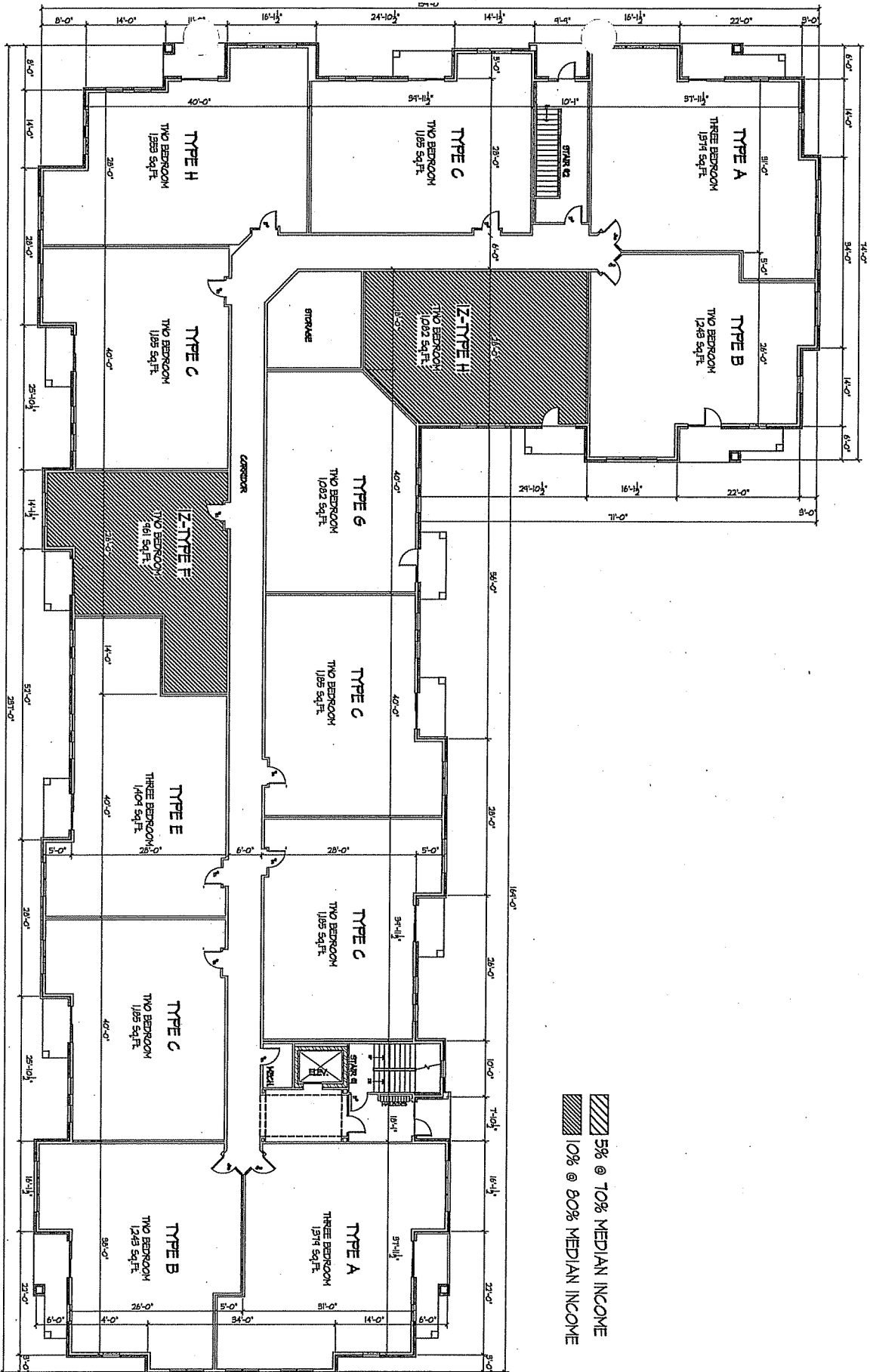
42 Unit Building  
 Project: **First Floor Plan**  
 Building # 1  
 Project No: **0525**  
 Drawing: **A-11**

**KNOTHE & BRUCE ARCHITECTS**  
 7201 University Avenue, Ste. 201  
 Middleton, Wisconsin 53522  
 608-835-1390 Fax 608-835-6334


Name \_\_\_\_\_

Contractor \_\_\_\_\_

 5% @ 70% MEDIAN INCOME  
 10% @ 80% MEDIAN INCOME



SECOND FLOOR PLAN





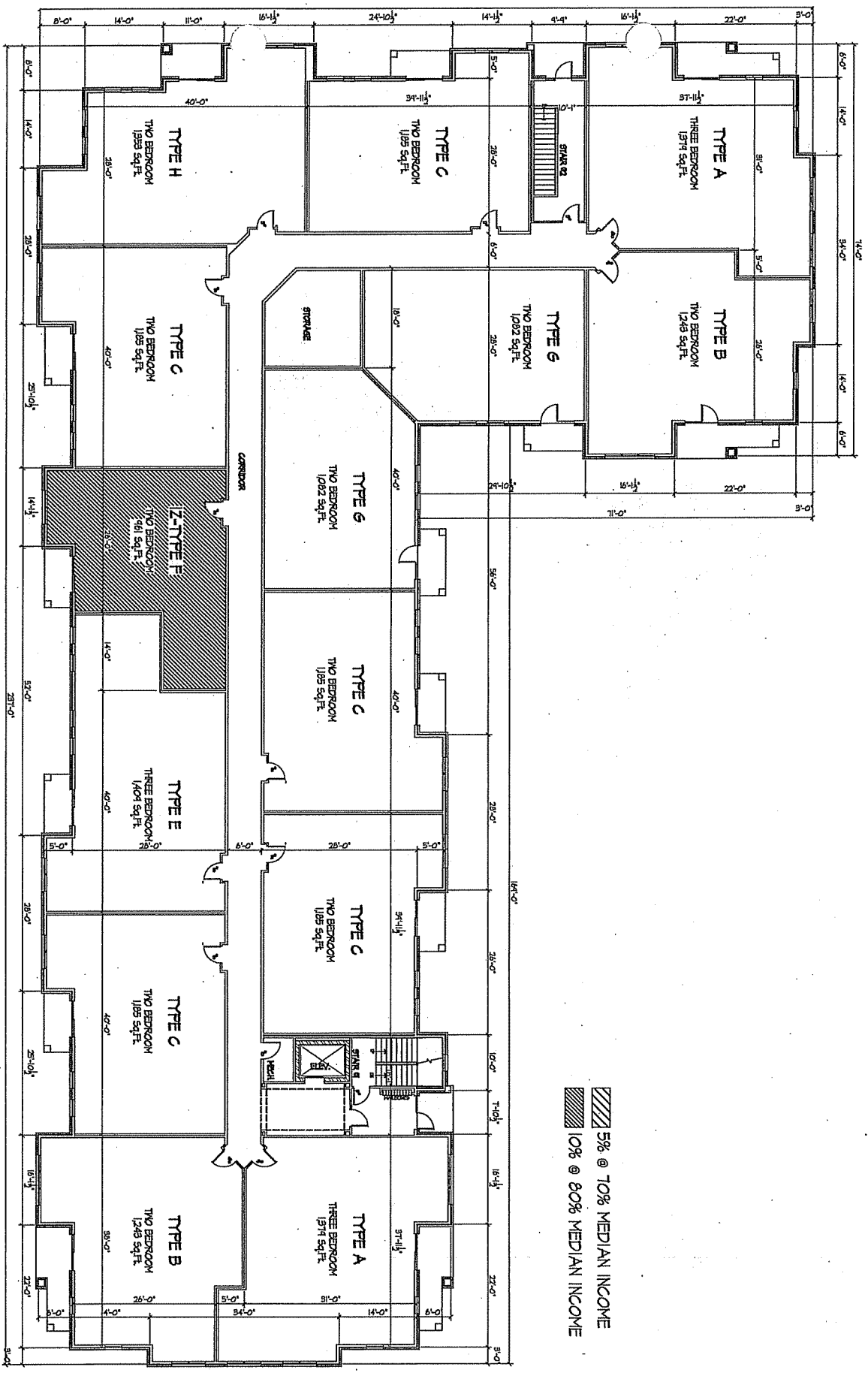
**PROJECT:** 42 Unit Building  
**TRACER:** Second Floor Plan  
**BUILDING #:** 1  
**PROJECT NO.:** 0525  
**DATE:** A-12  
**DESIGNER:**

**PROJECT:** Maple Grove Condominium Homes  
**ADDRESS:** 3210 & 3275 Maple Grove Drive

**KNOTHE & BRUCE ARCHITECTS**  
 7401 University Avenue, Ste. 201  
 Middleton, Wisconsin 53562  
 608-836-1600 Fax 608-836-9314

Contract: \_\_\_\_\_  
 Title: \_\_\_\_\_

 5% @ 10% MEDIAN INCOME  
 10% @ 80% MEDIAN INCOME



THIRD FLOOR PLAN  
 1/4" = 1'-0"

Project Title: **Maple Grove Condominium Homes**  
 3210 & 3216 Maple Grove Drive  
 42 Unit Building  
 Third Floor Plan  
 Building # 1  
 0525 A-13  
 Date: \_\_\_\_\_

**KNOTHE & BRUCE ARCHITECTS**  
 701 University Avenue, Suite 301  
 Madison, Wisconsin 53706  
 608.271.5190 Fax 608.271.5194

**Customer:**  
 42 Unit Building  
 Building # 2

**Project No.:** 0525

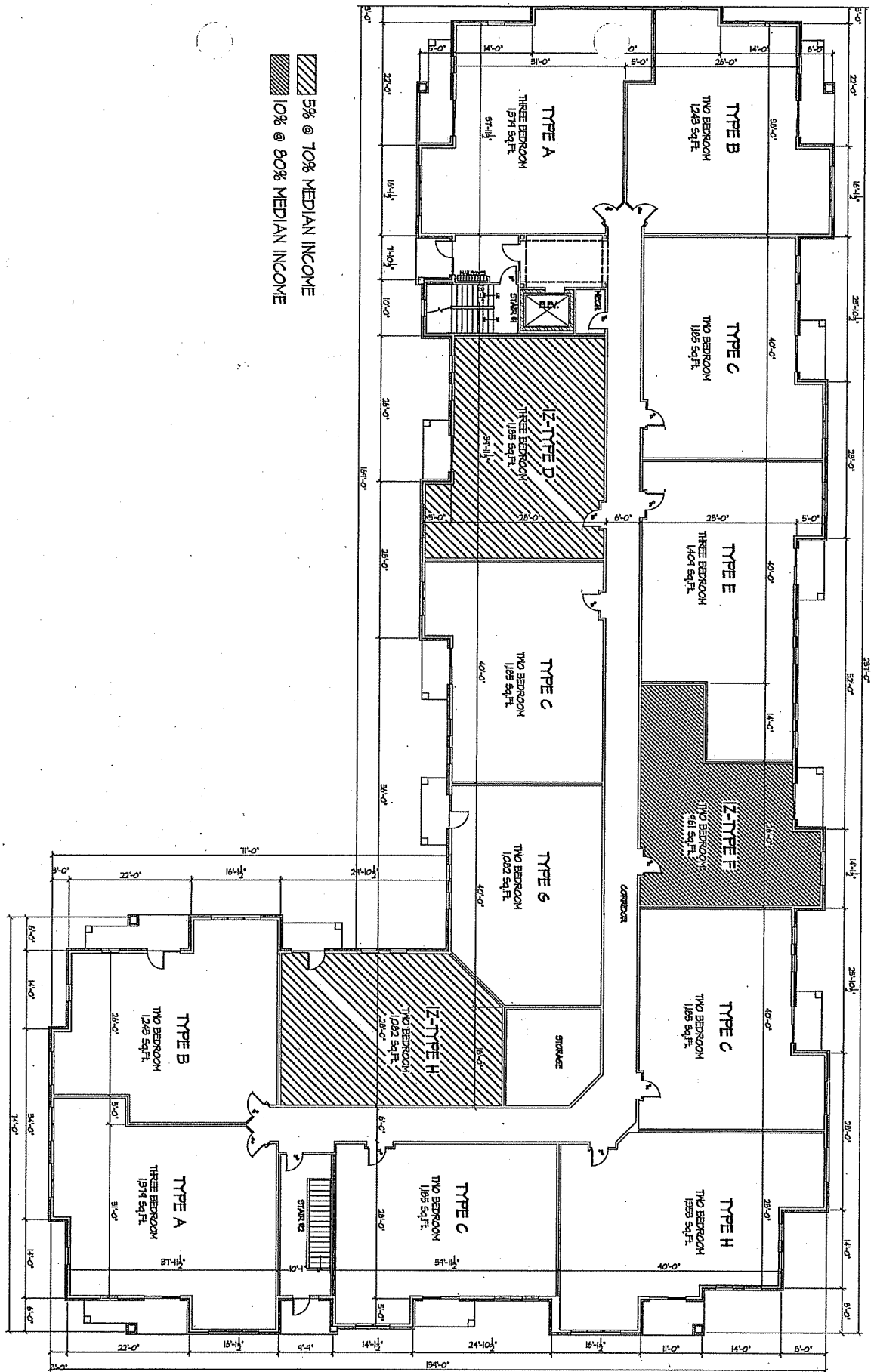
**Sheet No.:** A-14

**Project Title:**  
 Maple Grove  
 Condominium Homes  
 5270 & 5276 Maple Grove Drive

**Drawn by:** [Name]  
**Checked by:** [Name]

**Scale:** 1/8" = 1'-0"

**Date:** [Date]



5% @ 70% MEDIAN INCOME  
 10% @ 80% MEDIAN INCOME

FIRST FLOOR PLAN

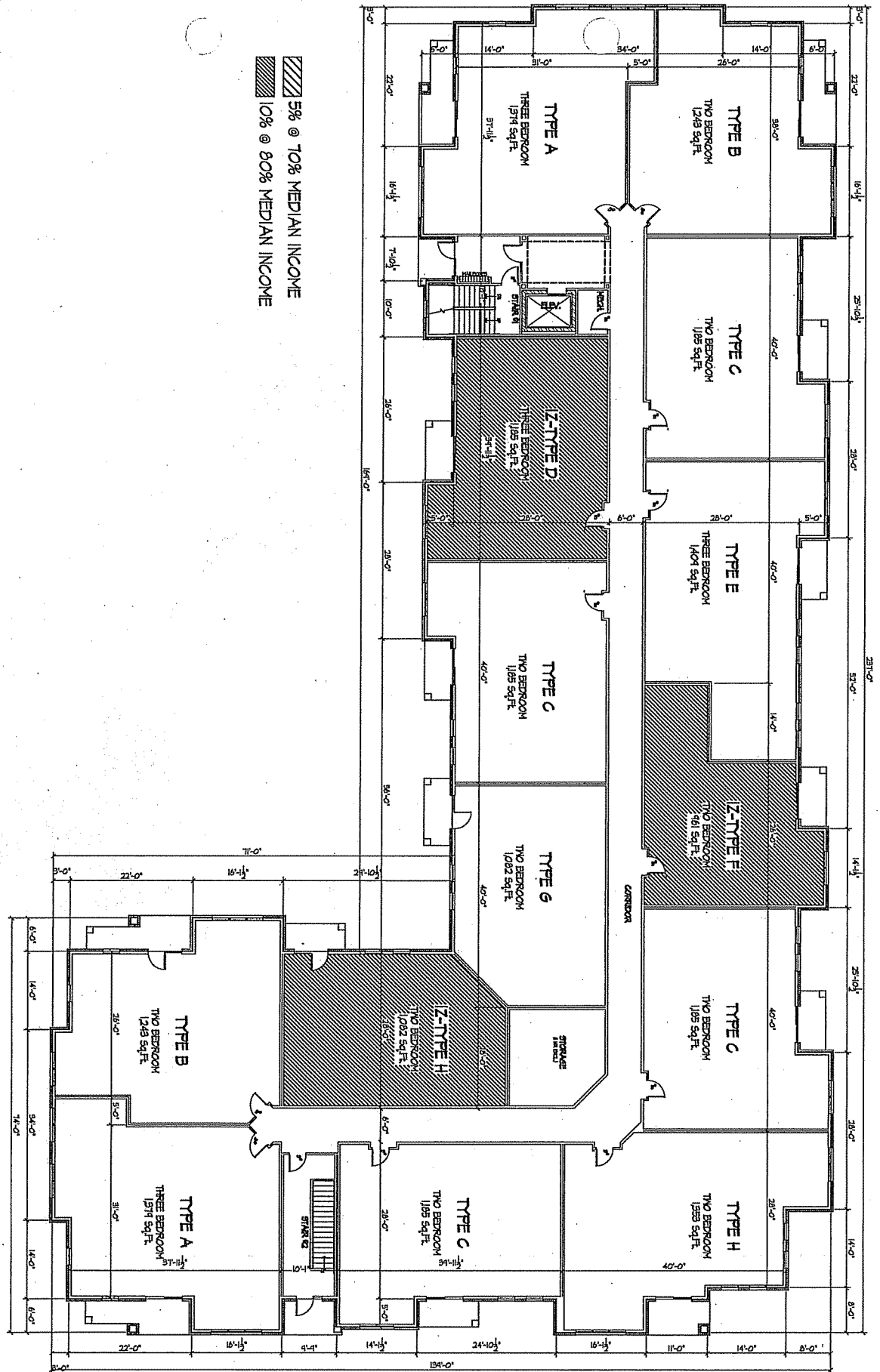






**KNOTHE & BRUCE ARCHITECTS**  
 7001 University Avenue, Ste. 200  
 Middleton, Wisconsin 53522  
 608-835-3380 Fax 608-835-3334

Contractor: \_\_\_\_\_  
 Name: \_\_\_\_\_

Notes:  
 PLAN CONSTRUCTION DETAILS - REFERENCED TO SHEETS



 5% @ 10% MEDIAN INCOME  
 10% @ 80% MEDIAN INCOME



42 Unit Building  
 Drawing Title: **Second Floor Plan**  
 Building # 2  
 Project No: **0525**  
 Drawing No: **A-15**

Project Title:  
**Maple Grove Condominium Homes**  
 5270 & 5276 Maple Grove Drive

**KNOTHE & BRUCE ARCHITECTS**  
 701 University Avenue, Ste. 201  
 Ann Arbor, MI 48106-1405  
 Phone: 313.833.1814

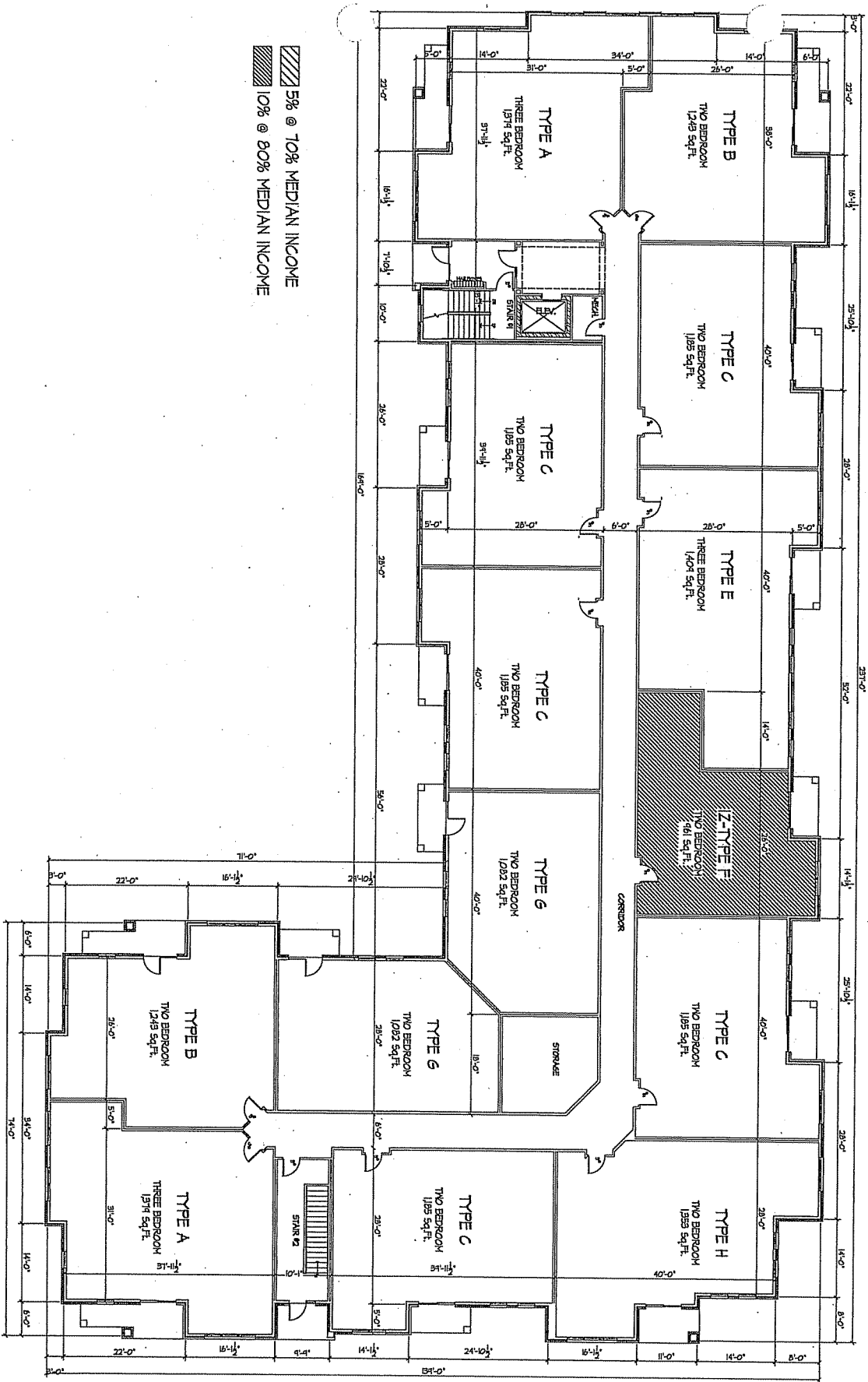
Project No. \_\_\_\_\_  
 Date: \_\_\_\_\_



Scale: \_\_\_\_\_

Notes: \_\_\_\_\_


42 Unit Building  
 Third Floor Plan  
 Building # 2  
 Project No. 0525  
 Drawing No. A-16

Project Name  
**Waple Grove Condominium Homes**  
 2370 E 527th Waple Grove Drive



 5% @ 70% MEDIAN INCOME  
 10% @ 80% MEDIAN INCOME

THIRD FLOOR PLAN





**MURPHY DESMOND** <sup>CS</sup>

**L A W Y E R S**

Manchester Place  
2 East Mifflin Street, Suite 800  
Madison, Wisconsin 53703-4217

Mailing Address:  
P.O. Box 2038  
Madison, Wisconsin 53701-2038

Telephone (608) 257-7181  
www.murphydesmond.com

Ronald M. Trachtenberg  
Direct Line (608) 268-5575  
Facsimile (608) 257-2508  
rtrachtenberg@murphydesmond.com

15 November 2005

**HAND DELIVERED**

Mr. Bill Roberts  
Dept. of Planning and Development  
City of Madison  
215 Martin Luther King, Jr. Blvd.  
Madison, WI 53703

Re: Miller Construction, Inc.  
3270 and 3276 Maple Grove Drive, Madison, Wisconsin

Dear Mr. Roberts:

Thank you for your email of November 10, 2005.

We understand that staff will probably be recommending to the Plan Commission that one or both of the houses be moved/relocated rather than torn down. Please note that Miller Construction, Inc. does not have any lots upon which the houses could be moved.

If staff has any leads on any person or entity that would want the two houses, please advise.

In the meantime, we are herewith enclosing the Madison Environmental Group Deconstruction Recycling and Reuse Plan relative to the subject properties.

Very truly yours,

  
Ronald M. Trachtenberg

RMT:srp  
051166  
roberts 111505  
Enclosure

cc: Knothe & Bruce Architects, LLP  
Attn.: Mr. J. Randy Bruce (w/enc.) VIA EMAIL ONLY [rbruce@knothebruce.com](mailto:rbruce@knothebruce.com)  
Miller Construction, Inc.  
Attn.: Mr. Fred Miller (w/enc.) VIA EMAIL ONLY [fsmillerwi@cs.com](mailto:fsmillerwi@cs.com)



Madison Environmental Group, Inc.  
25 North Pinckney  
P.O. Box 1607  
Madison, WI 53703  
608.280.0800 phone  
608.280.8108 fax  
meg@madisonenvironmental.com

## Deconstruction Recycling and Reuse Plan

November 2005

**Project:** Deconstruction Reuse and Recycling Plan, Fred Miller Construction

**Location:** 3270 and 3276 Maple Grove Road, Madison, WI

**Project Managers:** Rebecca Thorman and David Waisman, Madison Environmental Group, Inc.

### Executive Summary

Madison Environmental Group was hired by Fred Miller Construction to develop this Deconstruction Recycling and Reuse Plan. The purpose of the plan is to reduce the amount of construction waste entering the Wisconsin landfills by creating processes that move materials to identified recycling and reuse markets. This plan and accompanying inventories address recycling and reuse throughout the pre-demolition and demolition phases of the 3270 and 3276 Maple Grove Road project. Monitoring and compliance of the plan is the responsibility of Fred Miller Construction. Madison Environmental Group recommends that Fred Miller Construction appoint a Recycling Manager to be responsible for monitoring and compliance. Madison Environmental Group will be available as a resource to answer questions and provide advice. The Recycling and Reuse Plan specifically:

- identifies recycling markets for building materials;
- catalogs potentially hazardous materials, such as mercury, and recommends the preferred method(s) of handling; and
- inventories reusable items in the current house, including building materials, fixtures, etc.
- details the approach to market these items for purchase by non-profits and individuals.

All reusable items that do not find a market should be evaluated for recyclability.

The Recycling and Reuse Plan, detailed on the following pages, contains three sections:

- Materials Required to Be Recycled (Fluorescents, Incandescent Bulbs, Thermostats, Coolants and Refrigerants, Metal, Masonry, Clean Concrete and Asphalt)
- Materials Suitable for Recycling (Wood, Asphalt and Carpet)
- Materials Suitable for Reuse (Building Materials, Fixtures, Equipment and Appliances, and Miscellaneous). Reusable items are described in the detailed written inventory and corresponding photographic inventory, also attached.

### Questions

Rebecca Thorman at (608) 280-0800  
rebecca.thorman@madisonenvironmental.com

David Waisman at (608) 280-0800  
david.waisman@madisonenvironmental.com



These homes, located at 3270 and 3276 Maple Grove Rd, are the future site of a new development.

## Materials Required to Be Recycled

The following items are required to be recycled by the demolition contractor for this project.

Fluorescent and Incandescent Bulbs. There are many fluorescents (containing mercury) and incandescent bulbs (containing lead) located throughout the houses. If reuse opportunities are not available, the hazardous materials in this category must be disposed of properly as required by law. A complete list of local recyclers is on the Internet at <http://www.co.dane.wi.us/danedept/pubworks/recycle/lights.asp> and is also available at the end of this document.

Thermostats Containing Mercury. There are thermostats in the houses that may contain mercury. Mercury is a hazardous waste, but the Universal Waste Rules allow them to be recycled without going through hazardous waste permitting processes. Several HVAC wholesalers will accept these thermostats for recycling as shown on the list at <http://www.countyofdane.com/danedept/pubworks/recycle/thermostat.asp> (which is also available at the end of this document), or they can be taken to the *Dane County Clean Sweep* facility at 2302 Fish Hatchery Road (call ahead 608-294-5358)

Coolants and Refrigerants. If appliances and equipment cannot be reused, it is required by law to properly dispose of the hazardous materials. Also, state law prohibits the landfilling of appliances. Cooling equipment in refrigerators (if they are not removed as a whole unit) contain refrigerant (Freon), which must be disposed of properly which requires training and licensing. There are three Dane County recyclers of appliances (<http://www.co.dane.wi.us/pubworks/recyc/applianc.htm> or see the list at the end of this document), of which two can process those with refrigerants. Information on other firms that handle refrigerants can be obtained from *Lance Green at the Department of Natural Resources (DNR)* at (608) 264-6049.

Metal. Some of the metal components include ductwork, vents, and mechanical equipment. Metal dumpsters can be hauled to a metal salvage company such as *All Metals Recycling, LLC* for processing. At the time of this plan, market price for scrap metal was \$40/ton.

Masonry and Clean Concrete. 3276 Maple Grove Road is a brick house and also has concrete elements. 3270 Maple Grove Road also has brick and concrete elements. Uncontaminated concrete and masonry is recyclable and can be hauled to *Wingra Stone* for crushing and processing into concrete screening. Reusing masonry and uncontaminated concrete as fill is not considered recycling for the purpose of this project.

Cardboard, Papers, Cans, and Bottles. Although limited amounts of cardboard, paper, plastic bottles, and glass appear in the houses, these materials should be appropriately recycled. The *Peltz Group / Recycle America* can haul and recycle cardboard and paper. We recommend

The following materials are banned from landfills in the state of Wisconsin:

- Grass
- Recyclables
- Appliances
- Computers
- Leaves
- Fluorescent Bulbs
- Cardboard or Boxes
- 55 Gallon Barrels/Drums
- Fluorescent Fixtures
- Hazardous/Infectious Materials or their containers
- Brush
- Batteries
- Paint
- Oil

collecting aluminum, glass, and plastic cans and bottles in a Madison recycling cart and then setting it out at curbside for the *City of Madison* to pickup. This recycling system is free through the new single stream recycling program that begins September 12, 2005. For more information, visit <http://www.ci.madison.wi.us/streets/Automated%20Collection%20Proposal.htm> or call George Dreckmann at (608) 267-2626.

### **Materials Suitable for Recycling**

The following materials are not required to be recycled, but demolition contractors that recycle these materials for this project will be given extra consideration.

Wood. The demolition contractor will make efforts to collect dimensional, untreated lumber in containers onsite during deconstruction. We recommend that wood then be hauled and shredded by *Pellitteri Waste Systems*.

Asphalt. Asphalt, which covers part of the driveway, could also be recycled by *Hammersley Stone Co.* This company however, only accepts asphalt if they are hired as a subcontractor on site.

Carpet. If a reuse opportunity is unavailable for carpet, recycling it through programs such as *Aronson Recycling Company* may be an option. Samples of the carpet should be sent to Aronson to determine the recyclability of the material. Carpet padding may also be recyclable by *Reynolds Urethane Recycling*.

### **Materials Suitable for Reuse**

The following items can be reused in this project. Demolition contractors should be responsible for items that are left in the building after reuse activities.

The most established market for reused building materials in Dane County is the *Habitat for Humanity of Dane County ReStore* (hereafter *Habitat ReStore*), which deconstructs and resells residential building materials. They have an established clientele that frequents their store on Cottage Grove Road. The Recycling Manager should partner with *Habitat ReStore* as a primary effort to reuse building materials. Note that ideally *Habitat ReStore* should be notified weeks ahead of time to be effective. The Recycling Manager should send the inventories for *Habitat ReStore's* review.

*Habitat ReStore's* trained volunteers could remove building materials. Painted materials may require testing for lead paint. If the materials are found to contain lead paint, the sale or transfer of the materials are prohibited by law. *Habitat ReStore* has the ability to test materials onsite.

After *Habitat ReStore* has removed selected items, the Recycling Manager should market the remaining materials that *Habitat ReStore* cannot accept. Based on past experience, the Recycling Manager can effectively market materials through emails to interested individuals, through local newspaper ads, and through web-based listings such as *Madison Stuff Exchange*, *Madison Freecycle*, and *SustainDane*. The *Business Materials Exchange of Wisconsin* is another means of connecting with nonprofit groups and individuals. Appliances can be marketed to *St. Vincent De Paul* if they are less than 10 years old and in good condition. The Recycling Manager may also choose to pursue a public sale of items that have been previously deconstructed or hold a

deconstruction day for people to come and deconstruct the items on their own. Regardless of the markets pursued, the Recycling Manager should focus on the following highest value items located in the two houses first: maple flooring, interior doors, cabinets, iron grates, ceiling fans and light fixtures.

Reusable items are described in the detailed inventories and corresponding photographs, which are attached. These inventories detail many categories of materials which are defined below:

Building Materials. This category of materials includes building components such as doors, windows, cabinets, countertops, and stair railings. For example, there are approximately 60 assorted doors, 15 cabinets and 170 square feet of maple flooring throughout the two houses.

Fixtures. This category includes items that have reuse value, are attached to the building, and are not integral to the building structure. For example, there are 38 light fixtures throughout the two houses. *Please note that the current tenant located at 3270 Maple Grove Road wishes to keep the kitchen faucet and two ceiling fans.*

Equipment and Appliances. This category refers to freestanding equipment and appliances. Examples of equipment and appliances include removable, possibly usable items such as refrigerators and stoves. *Please note that the current tenant located at 3270 Maple Grove Road wishes to keep all the appliances and the water softener.*

Landscape Elements. This category includes outdoor items such as plants, trees, fences, timber, sheds and gazebos.



## Fluorescent Lamps Recycling Locations in Dane County

Name	Address	City	State	Zip	Phone	Fluorescent
Ace Hardware	200 Commerce Street	Cambridge	WI	53523	423-4081	Free for small #
Landmark Do It Best Hardware	203 W Cottage Grove Blvd	Cottage Grove	WI	53527	251-9010	Free
Dane Lumber & Home Center	Hwy 113	Dane	WI	53529	849-5515	Charge
Ace DeForest	811 S Main Street	De Forest	WI	53532	846-3876	Charge
Mazo Hardware Hank	15 Brodhead	Mazomanie	WI	53560	795-9919	Free
PKK Lighting	7182 Hwy 14	Middleton	WI	53562	836-7821	Charge
Premier Co-op	501 W Main St	Mt Horeb	WI	53572	437-3071	Charge
Viking Hardware Inc	1240 Hwy 18-151 East	Mt. Horeb	WI	53572	437-8717	Charge
Dorn Hardware	131 Richards Road	Oregon	WI	53575	835-5737	Charge
Dorn True Value Hardware	926 Windsor St	Sun Prairie	WI	53590	837-2110	Charge
Hanley Hardware Hank	641 W Main	Sun Prairie	WI	53590	837-5111	Charge
Ace Hardware	205a S Century Ave	Waunakee	WI	53597	849-8500	Free
Ace Hardware Center Inc	1398 Williamson Street	Madison	WI	53703	257-1630	Charge
Dorn Hardware	127 N Broom	Madison	WI	53703	256-0530	Charge
Home Depot	2425 East Springs Drive	Madison	WI	53704	242-8680	Free if buy new
Isthmus Lighting	4030 East Towne Blvd	Madison	WI	53704	245-3140	Free
Meikle's True Value Hardware Inc	2865 N Sherman Avenue	Madison	WI	53704	241-1541	Charge
Menard's	2102 East Springs Drive	Madison	WI	53704	245-2321	Free
Shopko	2602 Shopko	Madison	WI	53704	249-	Charge

	Drive				6907	
Ace Hardware	320 N Midvale Blvd	Madison	WI	53705	441-6900	Charge
Ace Hardware-Meadowood	5726 Raymond Rd	Madison	WI	53711	271-9799	Charge
Dorn Hardware	1348 S Midvale Blvd	Madison	WI	53711	274-2511	Charge
Home Depot	4550 Verona Road	Madison	WI	53711	276-7922	Free if buy new
BJ Electric Supply	805 Plaenert	Madison	WI	53713	257-4777	Free for Households
Home Concepts	2134 W Beltline Hwy	Madison	WI	53713	271-4663	Charge
Midwest Lamp Recycling Inc.	3224 Kingsley Way	Madison	WI	53713	275-6766	Charge
Quality Ace Hardware Co Inc	1201 S Park St	Madison	WI	53715	256-8106	Charge
Dorn True Value Hardware	209 Cottage Grove Rd	Madison	WI	53716	222-5511	Charge
Menard's	6401 Copps Ave	Madison	WI	53716	224-2483	Free
Shopko	2101 W Broadway	Monona	WI	53716	222-6010	Charge
Shopko	7401 Mineral Point Road	Madison	WI	53717	833-8600	Charge
Madison Lighting	6701 Watts Road	Madison	WI	53719	271-6911	Charge
Menard's	430 Commerce Drive	Madison	WI	53719	829-4683	Free
Walmart	7202 Watts Road	Madison	WI	53719	276-9393	Free

The charge for recycling a 4 foot fluorescent lamp ranges from 30¢ to \$2. Prices subject to change.

## Public Thermostat Recycling Locations In Dane County

Name	Address	City	State	Zip	Phone	Thermostat
Jim's Heating & Air Conditioning	580 Enterprise Avenue	Belleville	WI	53508	424-6518	Free
Dane Lumber & Home Center	Hwy 113	Dane	WI	53529	849-5515	Free
Mazo Hardware Hank	15 Brodhead	Mazomanie	WI	53560	795-9919	Free
Premier Co-op	501 W Main St	Mt Horeb	WI	53572	437-3071	Charge
Dorn True Value Hardware	926 Windsor St	Sun Prairie	WI	53590	837-2110	Charge
Dorn Hardware	127 N Broom	Madison	WI	53703	256-0530	Charge
Madison Gas & Electric Co.	133 S Blair Street	Madison	WI	53703	252-7117	Free
Warren Heating And Air Conditioning	916 Williamson	Madison	WI	53703	256-2391	Free
Meikle's True Value Hardware Inc	2865 N Sherman Avenue	Madison	WI	53704	241-1541	Charge
Menard's	2102 East Springs Drive	Madison	WI	53704	245-2321	Free
Ace Hardware	320 N Midvale Blvd	Madison	WI	53705	441-6900	Charge
Ace Hardware-Meadowood	5726 Raymond Rd	Madison	WI	53711	271-9799	Charge
Dorn Hardware	1348 S Midvale Blvd	Madison	WI	53711	274-2511	Charge
Dane County Clean Sweep	2302 Fish Hatchery Road	Madison	WI	53713	294-5358	Free
First Supply Madison	6800 Gisholt Drive	Madison	WI	53713	222-7799	Free
Dorn True Value Hardware	209 Cottage Grove Rd	Madison	WI	53716	222-5511	Charge
Menard's	6401 Capps Ave	Madison	WI	53716	224-2483	Free
Gustave A. Larson Co.	4537 Pflaum Road	Madison	WI	53718	221-3301	Free
Menard's	430 Commerce	Madison	WI	53719	829-	Free

	Drive				4683	
Walmart	7202 Watts Road	Madison	WI	53719	276-9393	Free

### Appliance Recycling Locations in Dane County

Name	Address	City	State	Zip	Phone	Description
All Metal Recycling	1802 S. Park St.	Madison	WI	53713	255-0960	Most Metals, including some types of clean barrels and drums, appliances and lead-acid batteries
Moor's Salvage & Freon Recovery	6421 Edna Taylor Parkway	Monona	WI	53716	223-9220	Appliances and CFCs.
Gary's Appliance Repair	2405 Vondron Road	Madison	WI	53718	221-1150	Appliances, including those with CFCs and PCB capacitors, TVs and computers. Nominal charge will apply for most items.

JD



Madison Environmental Group, Inc.  
 25 North Pinckney  
 P.O. Box 1607  
 Madison, WI 53703  
 608.280.0800 phone  
 608.280.8108 fax  
 meg@madisonenvironmental.com

**Reuse Inventory: 3270 Maple Grove Road**

**November 2005**

**Project:** Fred Miller Deconstruction Reuse and Recycling

**Location:** 3270 Maple Grove Road, Madison, WI

**Project Managers:** Rebecca Thorman and David Waisman, Madison Environmental Group, Inc.



**Legend**

*Items are alphabetized within each category.*

Qty= Quantity    G= Good    W= Width  
 PC= Photo Code    M= Moderate    H= Height  
 C= Condition    P= Poor    D= Depth  
                                  U= Unknown    L= Length

**Building Materials**

Item	Qty	Description	C	PC
Cabinet, lower	1	35"H x 48"W x 24"D, wood	G	1
Cabinet, lower	1	35"H x 36"W x 24"D, wood, sink unit	G	
Cabinet, medicine	1	Mirror with wood frame	G	2
Cabinet, upper	1	30"H x 54"W x 12"D, wood, fridge unit	G	
Cabinet, upper	1	30"H x 60"W x 12"D, wood	G	
Cabinet, upper	1	30"H x 72"W x 12"D, wood	G	3
Cabinet, upper	1	30"H x 81"W x 12"D, wood, fridge unit	G	
Cabinet, work	1	Work area with shelving	G	4
Door, closet	1	78"H x 36"W, mirrored	M	5
Door, closet	4	80"H x 12"H, pantry	M	6
Door, closet	5	80"H x 30"W, bifold	M	
Door, exterior	1	80"H x 32" W, metal with windows	M	7
Door, exterior	3	80"H x 32"W, metal	M	8
Door, exterior	3	80"H x 32"W, metal with window	M	9
Door, interior	1	80"H x 28"W, hollow core	M	
Door, interior	7	80"H x 30"W, hollow core	M	10
Door, interior	4	80"H x 24"W, hollow core	M	

Fireplace	1	31"H x 40.5"W, with brick surround	U	11
Flooring**	1	Carpet and vinyl throughout	U	
Flooring	1	Wood parquet	P	12
Paneling	1	Imitation wood, throughout	G	13
Stair, banister	1	52" L, wood	G	14
Stair, handrail	1	65" L	G	
Stair, handrail	1	Wood	G	15
Tool Board	1		M	16
Trim	1	Window and door trim throughout, wood	M	
Windows	1	Single pane	P	17
Work Area	1		G	18

### Fixtures

Item	Qty	Description	C	PC
Blinds	1	Blue, cream	P	
Ceiling Fan	1	Wood, 1 bulb	G	19
Ceiling Fan	1	Wood, 6 bulb	G	20
Ceiling Fan	4	Assorted	G	
Closet Rod and Shelf	3	Assorted	G	
Coat Rack	1	Wood	G	21
Curtain Rod	2	Assorted sizes	G	
Light Fixture*	4	Ceiling mounted, assorted	M	22
Light Fixture*	2	Wall mounted, assorted	M	23, 24
Light Fixture*	2	Wall mounted, outside, assorted	M	25, 26
Light Fixture*	2	Wall mounted, outside, assorted, motion detector	G	27, 28
Light Plate	6	Decorative, assorted	G	29
Mirror	1	Oval, cream frame	G	24
Mirror	1		G	
Shelving	8	Particle board, assorted sizes	M	30
Shelving	1	Wood, assorted sizes	G	31
Sink, Lower	1	35"H x 36"W x 24"D	G	
Sink	1	Pedestal, white	G	32
Sink Vanity	1	White vanity and white cabinet unit	M	33
Sink Vanity	1	White vanity and wood cabinet unit	M	34
Towel Rod	4	Assorted	G	35

10

### Equipment and Appliances

Item	Qty	Description	C	PC
Dishwasher	1		U	
Microwave	1		U	
Refrigerator	2		U	
Stove	1		U	
Thermostat	1		U	36
Washer/ Dryer	1		U	

### Landscape Elements

Item	Qty	Description	C	PC
Basketball Hoop	1	Freestanding	M	37
Landscape Timber	Misc.	Assorted	G	38
Gazebo	1	Painted white wood	M	39
Shed	1	Painted white wood	P	40

\* Fluorescent, incandescent lights, and thermostats may be reused. If a market is unavailable, a licensed recycler will properly dispose of these materials.

\*\* Carpeting may be reused. If a market is unavailable, carpet may be recycled.

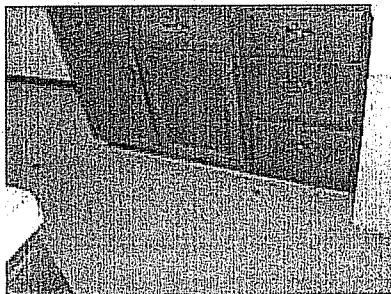


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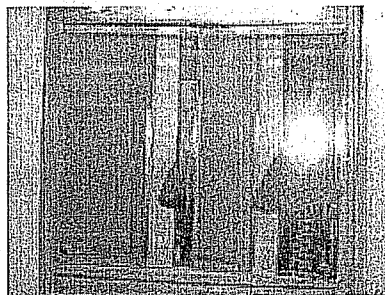
**Photographic Inventory: 3270 Maple Grove Rd. November 2005**

**Project:** Deconstruction Recycling and Reuse, Fred Miller Construction  
**Project Managers:** Rebecca Thorman and David Waisman, Madison Environmental Group, Inc.

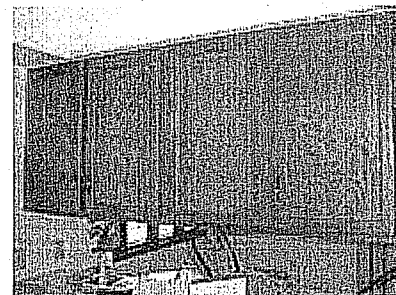
**Building Materials**



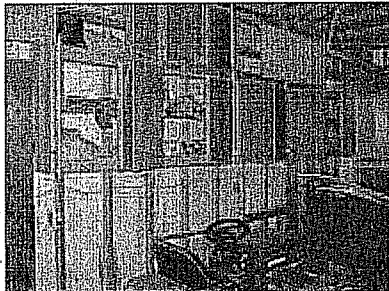
1- Lower Cabinet



2- Medicine Cabinet



3- Upper Cabinet



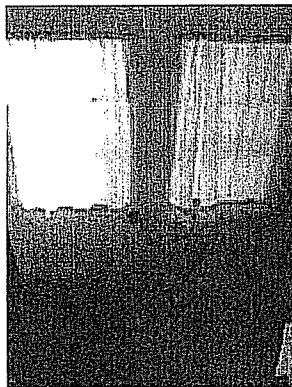
4- Work Cabinets



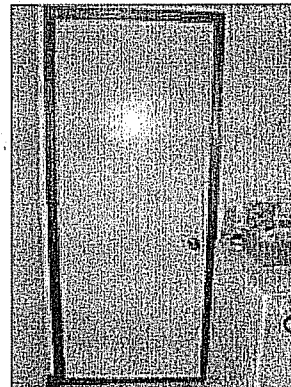
5- Mirrored Closet Door



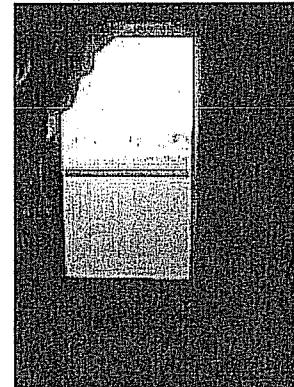
6- Pantry Doors



7- Exterior Door



8- Exterior Door



9- Exterior Door

10

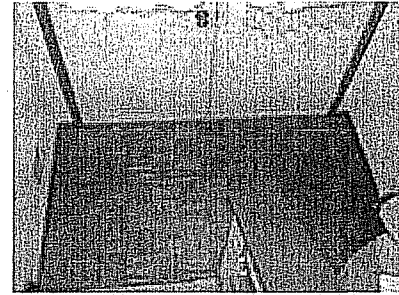




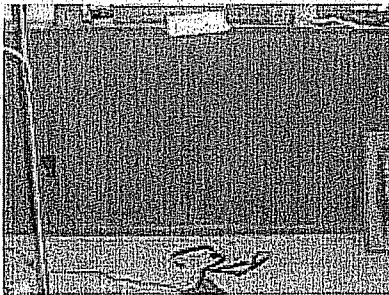
10- Door



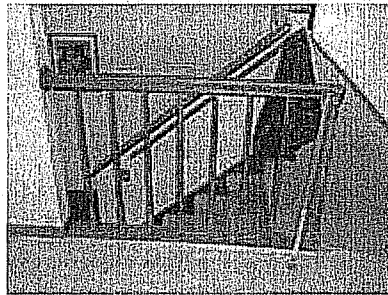
11- Fireplace



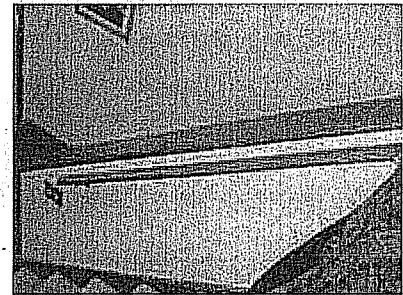
12- Wood Flooring



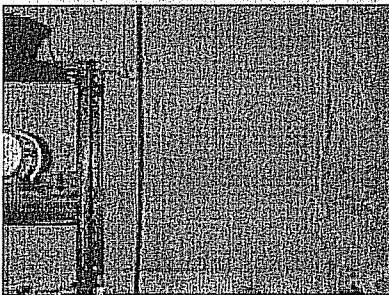
13- Paneling



14- Stair Banister



15- Stair Railing



16- Tool Board

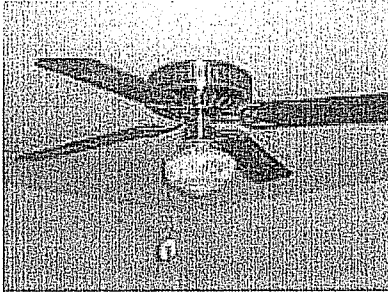


17- Windows

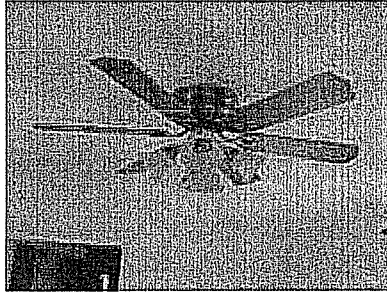


18- Work Area

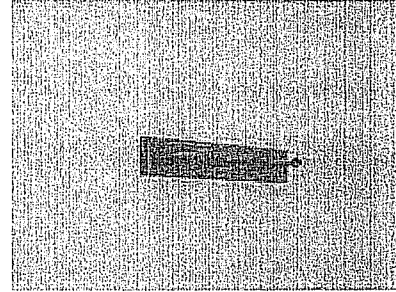
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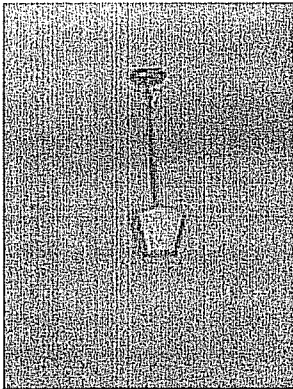
19- Ceiling Fan



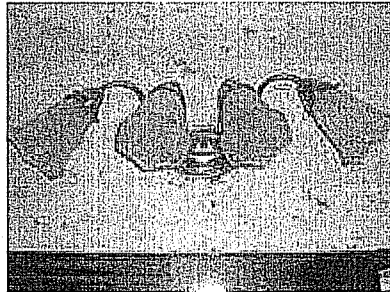
20- Ceiling Fan



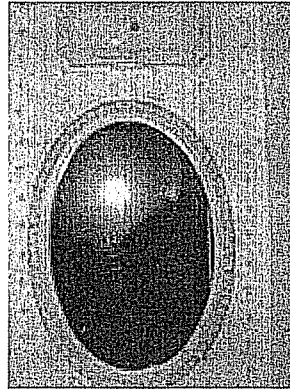
21- Coat Rack



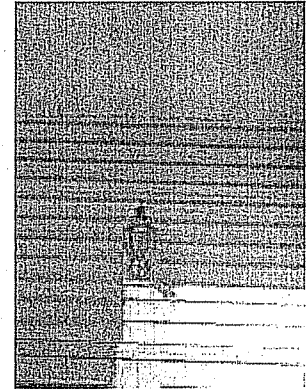
22- Light Fixture



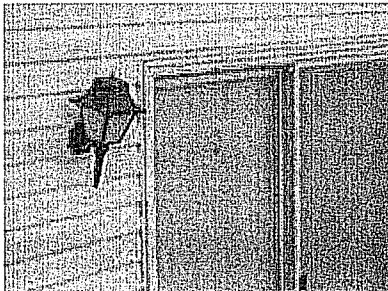
23- Light Fixture



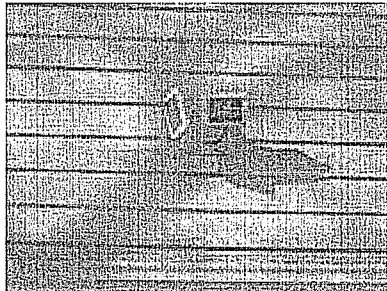
24- Light Fixture, Mirror



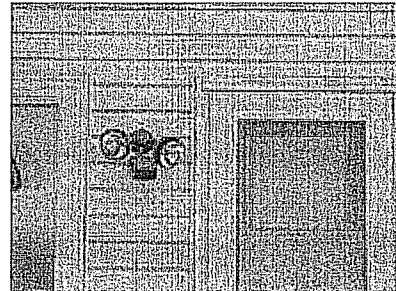
25- Light Fixture



26- Light Fixture

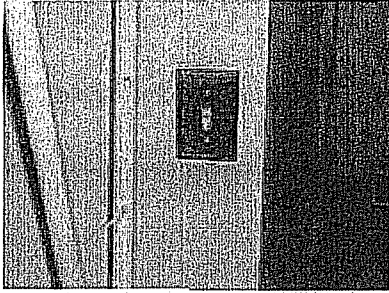


27- Light Fixture

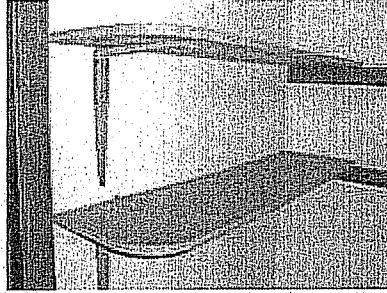


28- Light Fixture

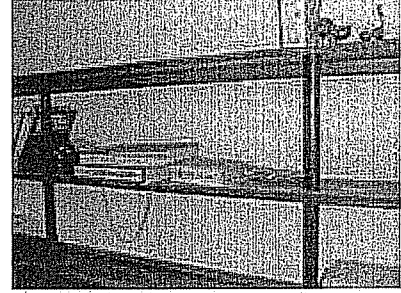
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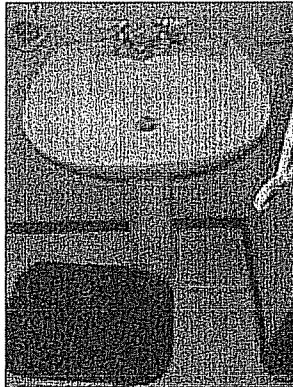
29- Light Plate



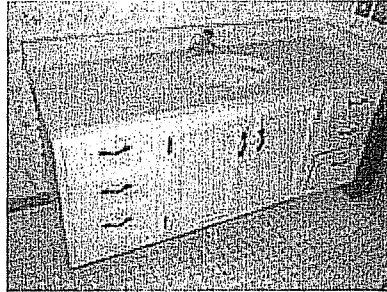
30- Shelving



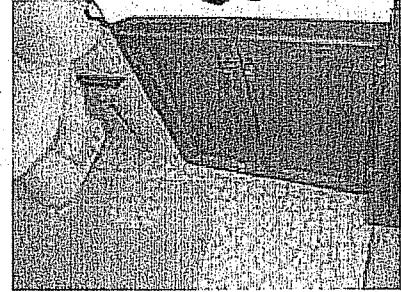
31- Shelving



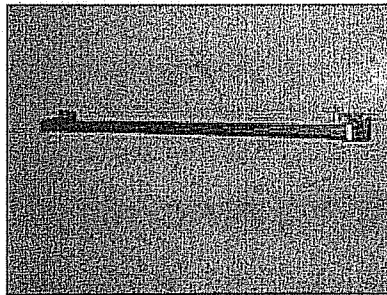
32- Pedestal Sink



33- Sink Vanity

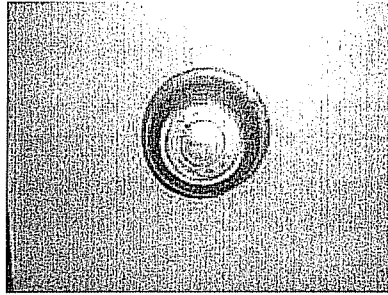


34- Sink Vanity

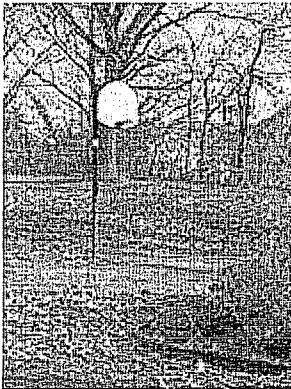


35- Towel Rod

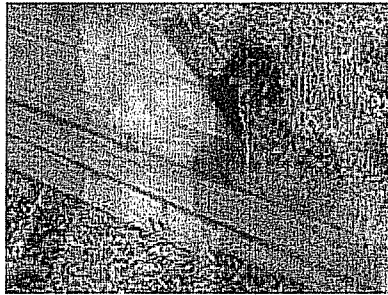
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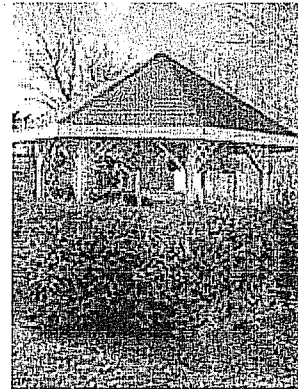
36- Thermostat



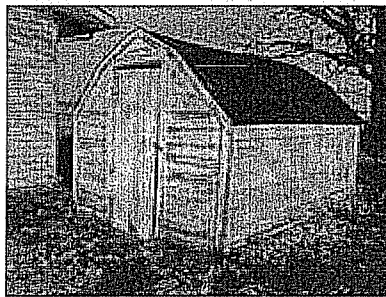
37- Basketball Hoop



38- Landscape Timber



39- Gazebo



40- Shed

10

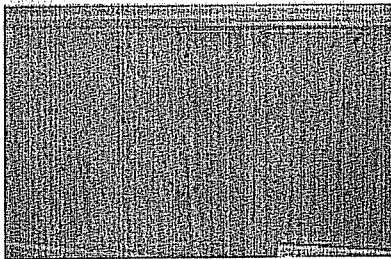


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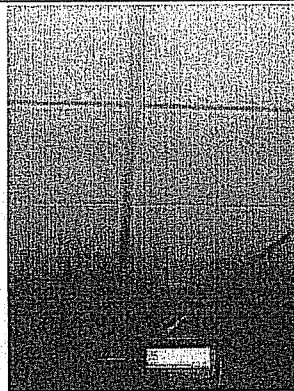
**Photographic Inventory: 3276 Maple Grove Rd. November 2005**

**Project:** Deconstruction Recycling and Reuse, Fred Miller Construction  
**Project Managers:** Rebecca Thorman and David Waisman, Madison Environmental Group, Inc.

**Building Materials**



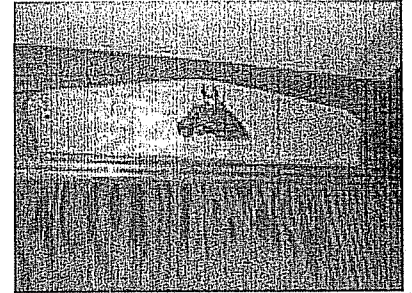
1- Beadboard



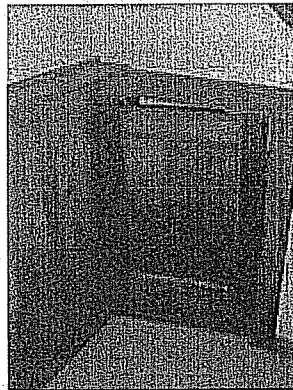
2- Ceiling Tile



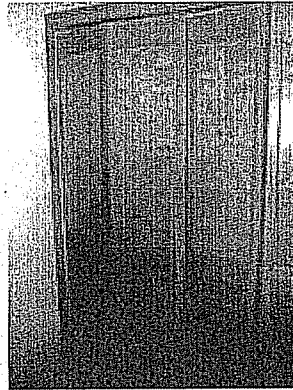
3- Doors



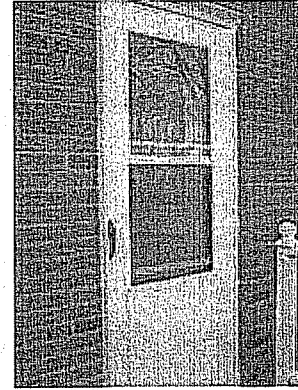
4- Door Detail



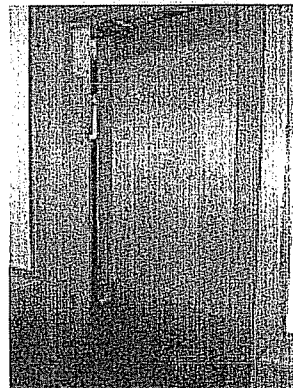
5- Mini Door



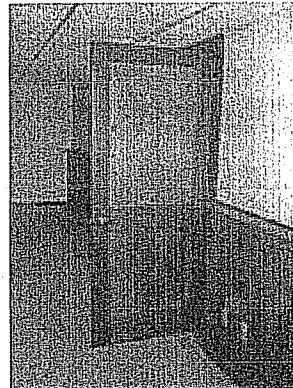
6- Closet Door



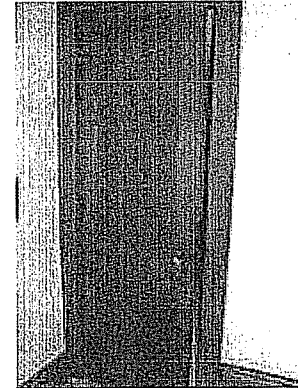
7- Storm Door



8- Door



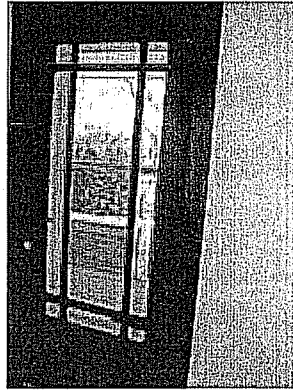
9- Door



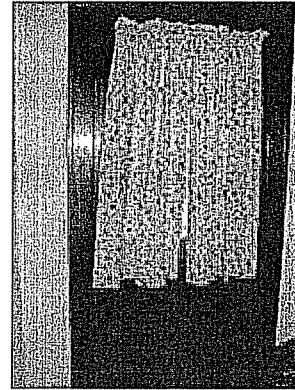
10- Door



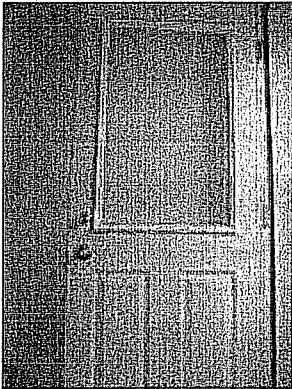
11- Door



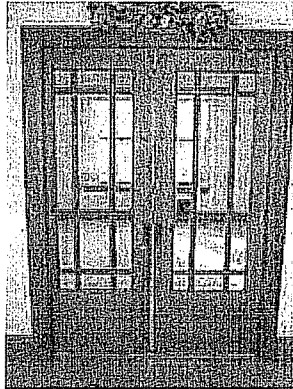
12- Door



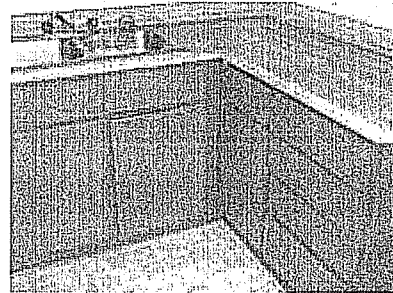
13- Door



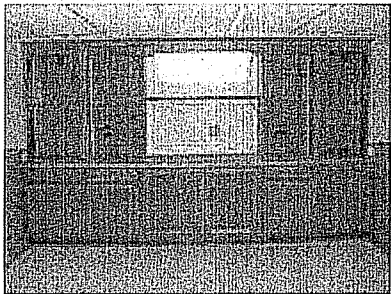
14- Door



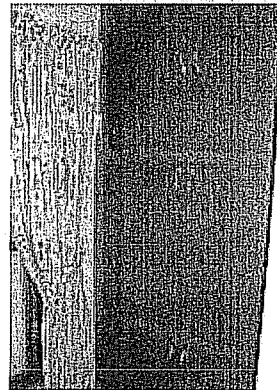
15- Door



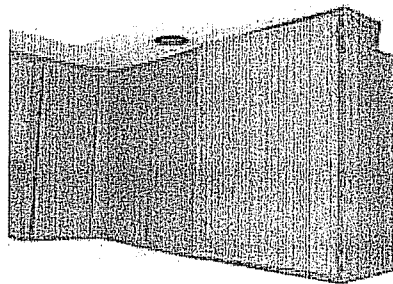
16- Lower Cabinet



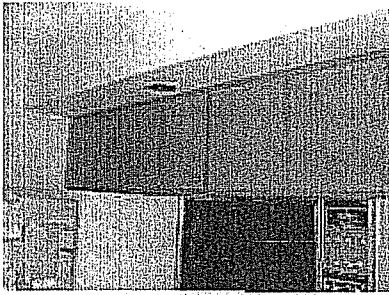
17- Shelving/Cabinet Unit



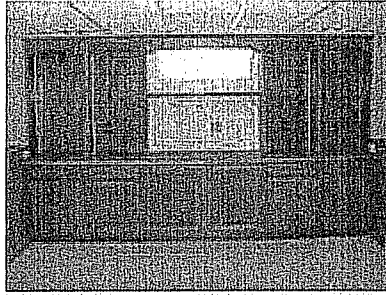
18- Built-in Cabinet



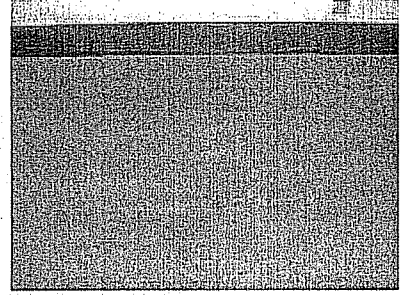
19- Upper Cabinet



20- Upper Cabinet



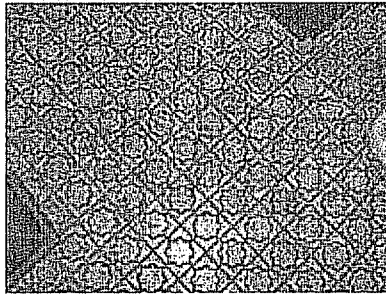
21- Shelving/Cabinet Unit



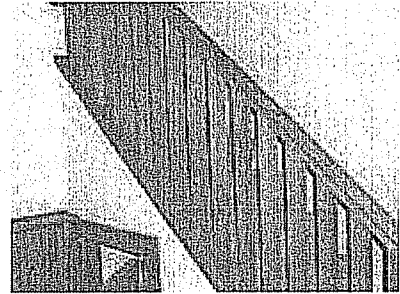
22- Carpet



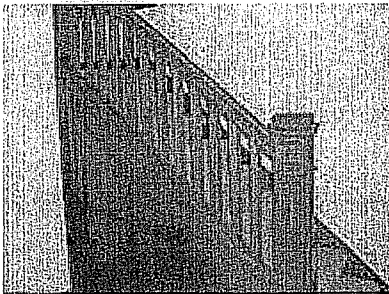
23- Wood Flooring



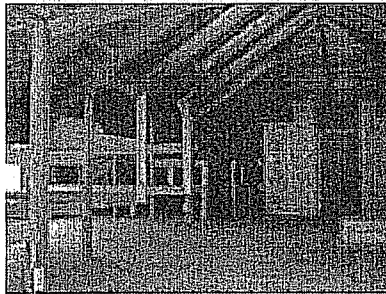
24- Tile Flooring



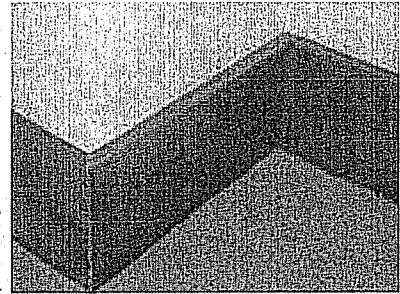
25- Stair Banister



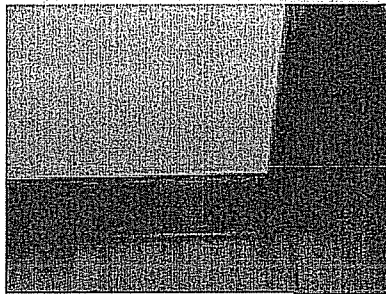
26- Stair Banister



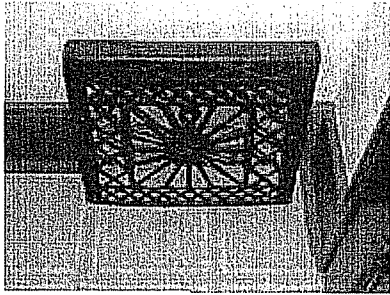
27- Timbers



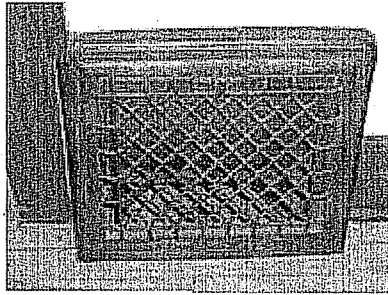
28- Wood Trim



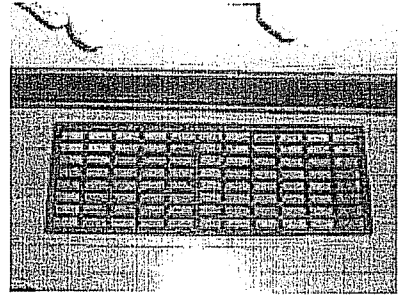
28- Wood Trim



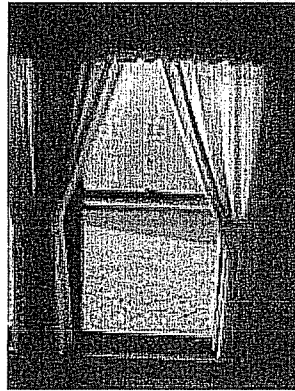
29- Iron Grid



30- Iron Grid

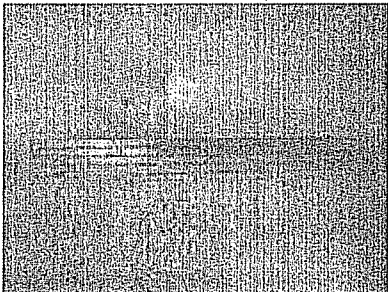


31- Iron Grid

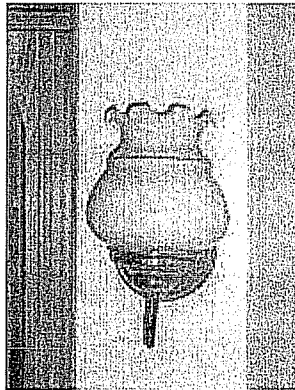


32- Window

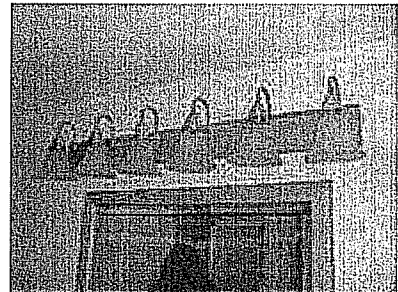
**Fixtures**



33- Coat Rack



34- Light Fixture

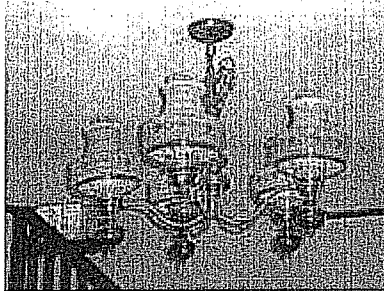


35- Light Fixture

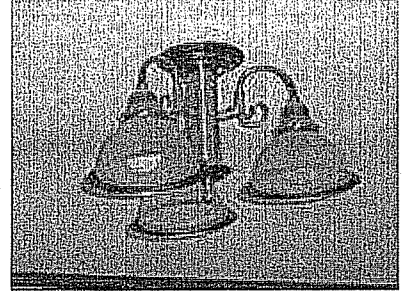




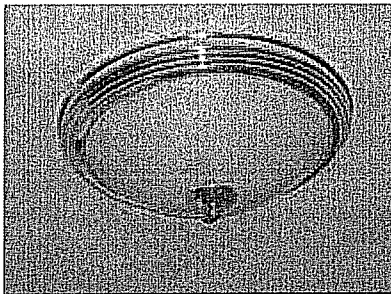
36- Light Fixture



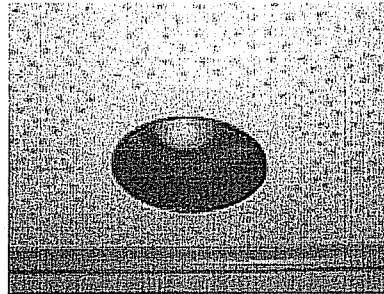
37- Light Fixture



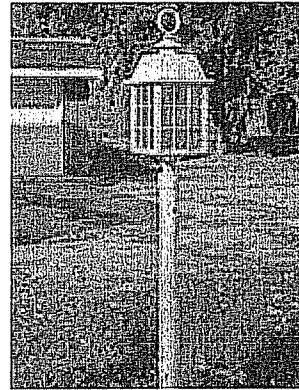
38- Light Fixture



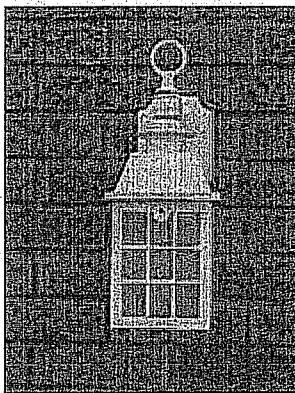
39- Light Fixture



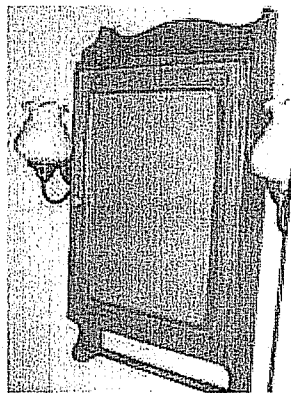
40- Light Fixture



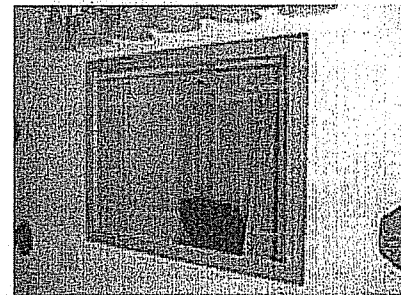
41- Light Fixture



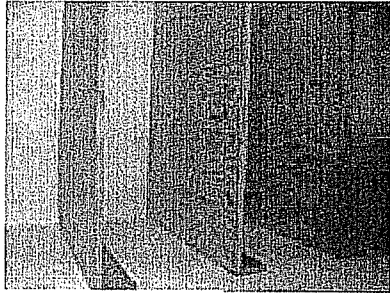
42- Light Fixture



43- Medicine Cabinet



44- Mirror



45- Shelving



46- Sink Vanity

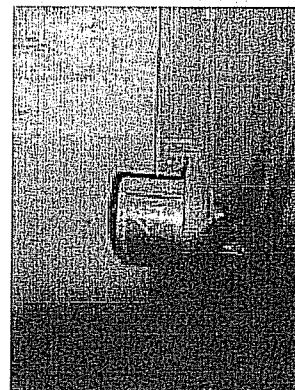
**Equipment and Appliances**



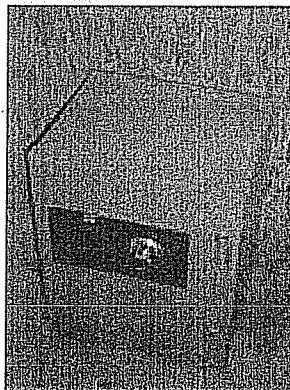
47- Refrigerator



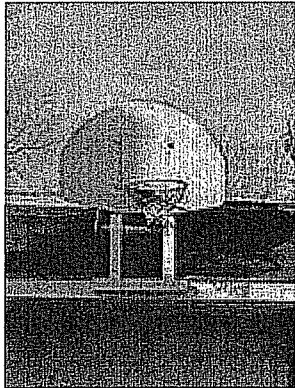
48- Stove, Microwave



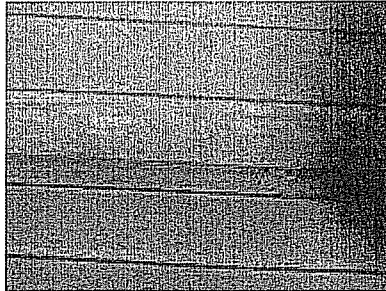
49- Pencil Sharpener



50- Safe



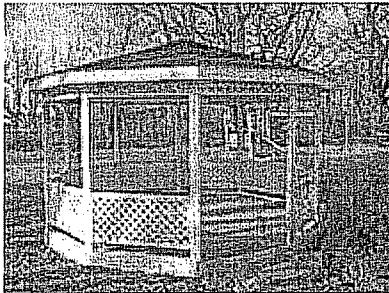
51- Basketball Hoop



52- Decking Material



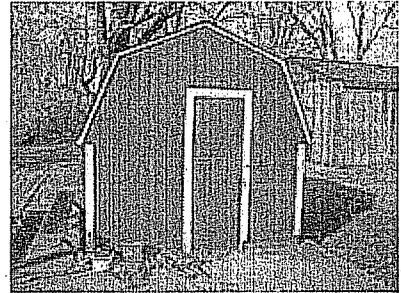
53- Fencing



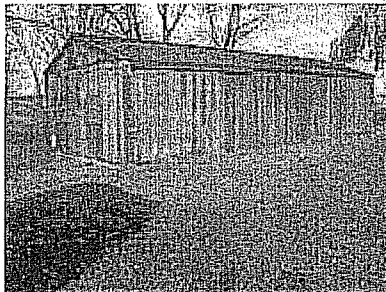
54- Gazebo



55- Garage



56- Shed



57- Shed



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**Reuse Inventory: 3276 Maple Grove Road**

**November 2005**

**Project:** Fred Miller Deconstruction Reuse and Recycling

**Location:** 3276 Maple Grove Road, Madison, WI

**Project Managers:** Rebecca Thorman and David Waisman, Madison Environmental Group, Inc.



**Legend**

*Items are alphabetized within each category.*

Qty= Quantity    G= Good    W= Width  
 PC= Photo Code    M= Moderate    H= Height  
 C= Condition    P= Poor    D= Depth  
                                  U= Unknown    L= Length

**Building Materials**

Item	Qty		C	PC
Beadboard	misc.	Throughout	G	1
Brick	misc.	Exterior	G	
Cabinet, lower	1	35" H x 37" W x 24" D, imitation wood, laminate, brown	G	16
Cabinet, lower	1	35" H x 12.5" W x 24" D, shelving, wood	G	17
Cabinet, lower	1	90" H x 33" W x 15" D, built in	G	18
Cabinet, lower	1	35" H x 57" W x 24" D, imitation wood laminate, sink unit	G	
Cabinet, upper	1	87" W x 12" D, assorted ht, imitation wood laminate, sink unit	G	
Cabinet, upper	1	18" H x 80" W x 12" D, imitation wood laminate, fridge unit	G	
Cabinet, upper	1	30" H x 48" W x 12" D, imitation wood laminate	G	19
Cabinet, upper	1	18" H x 12" D, Imitation wood laminate	G	20
Cabinet, shelving	4	50" H x 26" W x 12" D, built in, wood	G	21
Ceiling tile	75	2' W x 2' D, white, square	G	2
Door, closet	1	79" H x 24" W, hollow, wood	G	3
Door, closet	5	79" H x 28" W, hollow, wood	G	4
Door, closet	1	36" H x 23" W, wood, small storage door	G	5
Door, closet	2	78" H x 30" W, bi-fold, hollow, wood	G	6
Door, exterior	1	79" H x 32" W, wood, with window	G	7
Door, exterior	2	84" H x 32" W, storm, white	G	7

Door, exterior	1	78" H x 32" W	G	
Door, interior	4	78.5" H x 32" W, hollow, wood	G	8,9
Door, interior	1	78.5" H x 30" W, hollow, wood	G	8, 9
Door, interior	5	79" H x 30" W, hollow, wood	G	
Door, interior	1	78" H x 28" W, hollow, wood	G	10
Door, interior	4	78" H x 24" W, hollow, small	G	11
Door, interior	1	85" H x 36" W, wood, with glass window	G	12
Door, interior	1	84" H x 32" W, wood, with window, one side painted white	G	13
Door, interior	1	80" H x 32" W, aluminum	G	14
Door, sliding	2	80" H x 30" W, wood, french doors, glass windows	G	15
Flooring, carpet**	misc.	Blue, throughout	G	22
Flooring, wood	misc.	13' H x 13' W, maple	G	23
Flooring, tile	misc.	Brown, patterned	G	24
Stair, banister	1	96" L, wood	G	25
Stair, banister	1	72" L, wood	G	26
Timber elements	misc.	Attic	G	27
Trim	misc.	Window and door, wood, assorted throughout	G	28
Vent	8	Architectural, iron grate	G	29 30 31
Window, storm	11	60" H x 32" W, double hung, vinyl, black	G	32
Window, storm	8	54" H x 32" W, double hung, vinyl, black	G	
Window, storm	2	45" H x 32" W, double hung, vinyl, black	G	
Window	2	Small	G	

## Fixtures

Item	Qty	Description	C	PC
Coatrack	1	Wood with metal pegs	G	33
Curtains	misc.	Assorted, throughout	G	
Light Fixture*	4	Wall mounted, brass and white	G	34
Light Fixture*	1	Wall mounted, six bulb	G	35
Light Fixture*	11	Ceiling mounted, white, plain, assorted	G	36
Light Fixture*	1	Ceiling mounted, antique	G	37
Light Fixture*	1	Ceiling mounted, fluorescent	G	
Light Fixture*	1	Ceiling mounted	G	38
Light Fixture*	1	Ceiling mounted	G	39
Light Fixture*	8	Ceiling mounted, recessed	G	40
Light Fixture*	1	Outdoor, white, glass, ground	U	41
Light Fixture*	2	Outdoor, wall mounted, white	U	42
Light Fixture*	1	Outdoor, wall mounted, motion detector	U	

Medicine Cabinet	2	Wood with mirror	G	43
Mirror	1	Wood frame, large	G	44
Shelving	7	Plywood, assorted sizes	G	45
Sink Vanity	2	White with cabinets	G	46

### Equipment and Appliances

Item	Qty	Description	C	PC
Refrigerator	1	Maytag, ivory	M	47
Microwave	1	Tapp, black	P	48
Pencil Sharpener	1	Wall mounted	G	49
Safe	1		U	50
Stove	1	Tapp, black and ivory	P	48

### Landscape Elements

Item	Qty	Description	C	PC
Basketball Hoop	1	Mounted	G	51
Decking Material	misc.	Unknown material	G	52
Fence	misc.	Wood	G	53
Gazebo	1	Wood, painted white	G	54
Garage	1	3-car, red, with attached shed	G	55
Shed, tool	1	Wood, painted red, small	G	56
Shed, machinery	1	Wood, large	G	57
Picnic Table	1	Treated wood	G	
Play Set	2	Children's outdoor playset	G	
Trees	misc.	Assorted, large and small		

\* Fluorescent, incandescent lights, and thermostats may be reused. If a market is unavailable, a licensed recycler will properly dispose of these materials.

\*\* Carpeting may be reused. If a market is unavailable, carpet may be recycled.