



Location
979 Jonathon Drive

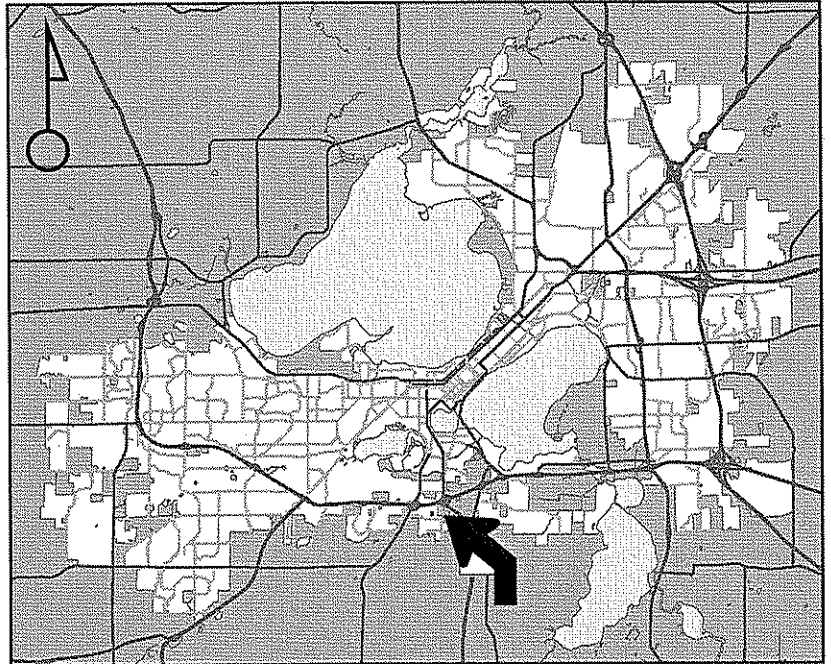
Project Name
US Cellular: Greenway

Applicant
Vera Daniels/Nathan Ward –
Buell Consulting

Existing Use
Commercial Services Building

Proposed Use
Construct Wireless
Telecommunications Tower

Public Hearing Date
Plan Commission
22 February 2010



For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>2300</u> Receipt No. <u>105213</u>
Date Received	<u>11/3/09</u>
Received By	<u>NPF</u>
Parcel No.	<u>0709.353.0606.3</u>
Aldermanic District	<u>14 Brewer</u>
GQ	<u>OK</u>
Zoning District	<u>C3L</u>
For Complete Submittal	
Application	Letter of Intent <u>/</u>
IDUP	Legal Descript. <u>/</u>
Plan Sets	Zoning Text <u>/</u>
Alder Notification	Waiver <u>/</u>
Ngrbrhd. Assn Not.	Waiver <u>/</u>
Date Sign Issued	<u>11/3/09</u>

1. **Project Address:** 979 Jonathon Drive **Project Area in Acres:** .01

Project Title (if any): US Cellular: Greenway

2. **This is an application for:**

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____		Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Madison Cellular Telephone Company Company: US Cellular
 Street Address: 5117 W. Terrace Drive City/State: Madison, WI Zip: 53718
 Telephone: (608) 441-4175 Fax: (608) 441-4102 Email: michael.stafford@uscellular.com

Project Contact Person: Nathan Ward Company: Buell Consulting
 Street Address: 1200 Riva Ridge City/State: Racine, WI Zip: 53402
 Telephone: (414) 788-1327 Fax: (262) 639-2888 Email: nward4@wi.rr.com

Property Owner (if not applicant): Vera Daniels
 Street Address: 613 McGuffey Drive City/State: Madison, WI Zip: 53717

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____
 To construct a three-carrier telecommunications monopole and radio equipment shelter.

Development Schedule: Commencement April 1st, 2010 Completion July 31st, 2010

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 2300 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of _____ Plan, which recommends: _____ for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30 days** prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
 Paul Bruer was notified via email on June 29, 2009 and again via email on July 2nd, 2009.

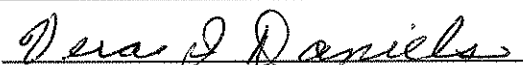
NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

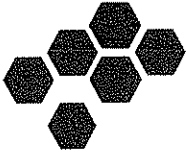
Planning Staff: Kevin Firchow Date: 07/02/09 Zoning Staff: Patrick Anderson Date: 07/02/09
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Nathan Ward Date ~~10/10/09~~ 11-03-09

Signature  Relation to Property Owner None

Authorizing Signature of Property Owner  Date 10-30-09



BUELL CONSULTING, INC.

Mr. Kevin Firchow
Madison Department of Planning
and Economic Development
215 Martin Luther King Jr. Blvd.
Madison, WI 53701

November 3rd, 2009

Re: US Cellular Application for a Conditional Use to construct a Four-Carrier Monopole with an overall height of 80' and Radio Equipment Shelter at 979 Jonathon Drive owned by Vera Daniels, with a parcel identification number of 0709-353-0606-3

Dear Mr. Firchow,

US Cellular is in need of completing a new communications facility in the Greenway Crossing industrial area south of the Beltline and east of Fish Hatchery. As you will see from the enclosed radio frequency diagrams and correspondence from the radio frequency engineer, the site is needed to provide additional frequencies and channels to handle the increasing customer use of the network as well as improve in-building service for the many commercial buildings in the area. A location has been chosen and a lease agreement negotiated with Vera Daniels to incorporate a new monopole installation at 979 Jonathon Drive; an installation that will accommodate three additional telecom users should the need arise.

In addition to the information provided in this narrative and with the attachments that follow, it is necessary to mention that two attempts were made to contact Tim Bruer, Alder for District 14, on June 29th and July 2nd of 2009. No reply from Mr. Bruer has been received.

The narrative below addresses the guidelines of the City of Madison code Section 28.04(22) and its requirements for telecommunications uses. US Cellular respectfully requests your review of the application and supporting materials for the approval of a conditional use to construct the proposed facility.

28.04(22) Telecommunication Facilities and Antenna

(22) Telecommunication Facilities and Antennas.

- (a) The purpose and intent of this ordinance is to strike a balance between the federal interest concerning the construction, modification and siting of telecommunication towers and antennas for use in providing personal wireless services, and the interest of the City of Madison (hereinafter the "City") in regulating local zoning. The regulations contained herein are designed to protect and promote the public health, safety and welfare of the community and the aesthetic quality of the City. The goals of this ordinance are to protect residential areas and land uses from the potential adverse impacts of towers and antennas; minimize the total number of towers throughout the community; encourage the joint use of new and existing tower sites as a primary siting option rather than construction of additional single-use towers; minimize the visual impact of towers and antennas; and avoid potential damage to adjacent properties from tower failure through engineering and careful siting of tower structures. It is also the intent of this section to provide a public forum to insure a balance between public concerns and private interests in establishing commercial telecommunication and related facilities.

US Cellular whenever feasible utilizes existing structures for the placement of their antennas. This is evidenced by the substantial list of collocated antennas within the City of Madison and surrounding communities on telecommunications towers owned by others, rooftops, water tanks and the like. The nearest existing tower located at 2814 Syene Road, owned by ACME Communicatios/Madison Channel 57 is located outside the ¼ mile tower distance prohibition discussed later in Section (22)(g) "Location". The insurmountable deterrent to this existing tower is the short term lease arrangement that ACME has with the property owner RD Properties of Madison, LLC which cannot guarantee a long term home for the US Cellular equipment. An email history with Brent Stephenson of ACME is included with the documentation at the end of the narrative.

(c) Registration of Telecommunications Carriers and Providers.

1. Registration and Application Requirements. All personal wireless service carriers and providers that offer or provide any telecommunications services for a fee directly to the public, either within the City or outside the corporate limits from telecommunications facilities within the City, and all Telecommunications tower owners, shall register and provide to the City, pursuant to this ordinance, on forms to be provided by the Building Inspection Division Director and shall provide with each conditional use application the following information:
 - a. The identity and legal status of the registrant, including any affiliates.
 - b. The name, address and telephone number of the officer, agent or employee responsible for the accuracy of the registration statement.
 - c. A narrative and map description of registrant's existing telecommunications facilities within the City, adjacent cities, villages and townships.
 - d. Such other information as the Building Inspection Division Director may reasonably require.

(Am. by ORD-08-00109, 10-7-08)

2. Purpose of Registration. The purpose of registration under this ordinance is to:
 - a. Provide the City with accurate and current information concerning personal wireless services carriers and providers and telecommunications tower owners, who offer or provide services within the City, or that own or operate telecommunication facilities within the City;
 - b. Assist the City in enforcement of this Section;
 - c. Assist the City in monitoring compliance with local, state and federal laws.
3. Enforcement. It shall be unlawful for any personal wireless services carrier or provider who offers or provides services within the City, or any telecommunications tower owner who owns or operates telecommunications facilities within the City, to fail to register and provide the information required in subdivision (c)1. above within thirty (30) days of such a request by the City.

This application includes identification of the existing US Cellular sites immediately surrounding the proposed installation. If staff is uncertain if a complete list of US Cellular's facilities is on file, a comprehensive inventory can be provided upon request and prior to the public hearing.

The legal entity requesting the conditional use is Madison Cellular Telephone Company (US Cellular). Their local project manager responsible for the Madison market is Mike Stafford, 5117 W. Terrace Drive, Madison, WI. Mike can be reached at 608-441-4175.

4. Conditional Use Application Requirements. In addition to the requirements contained in subdivision (c)1. above, the conditional use application shall address the following:
- a. The requirements contained in subdivisions (e), (f), (g), (h) and (i) below, including a narrative and map description of the applicant's system-wide plan describing existing and applied for facilities to serve the community;
 - b. A visual analysis, which may include photo montage, field mockup, or other techniques shall be prepared by or on behalf of the applicant which identifies the potential visual impacts and the design capacity of the proposed facility to the satisfaction of the Plan Commission. Consideration shall be given to views from public areas as well as from private residences. The analysis shall assess the impacts of the proposed facility and other existing telecommunication facilities in the area, and shall identify and include all feasible mitigation measures consistent with the technological requirements of the proposed personal wireless services. All costs for the visual analysis, and applicable administrative costs, shall be borne by the applicant.

As part of the Plan Commissions continuing jurisdiction over conditional uses, each registrant shall inform the City, within sixty days, of any change in the information set forth in subdivision (c)1.

Items e, f, g, h and i are addressed individually below.

A photo simulation has been provided at the end of this narrative showing the proposed light standard and radio equipment enclosure from seven off-site views. The simulation also includes an aerial reference map identifying the photo simulation vantage points.

5. Minor Alterations. Antennas affixed to an existing telecommunications tower or structure, together with the related support facilities and equipment buildings, or the replacement of a previously approved telecommunications tower and related antennas, support facilities and equipment buildings, may be authorized by issuance of a permit as a minor alteration to an existing conditional use or an existing permitted use when approved by the Director of Planning and Community and Economic Development, which are compatible with the concept approved by the City Plan Commission and/or the standards in sec. 28.12(11)(g), of these ordinances. If said minor alteration is not approved, the applicant shall apply to the Plan Commission for said approval in accordance with the conditional use standards contained herein.

The provisions of this section are not applicable to the application.

6. Inventory and Tracking System. The zoning administrator shall compile a list of existing telecommunications facilities within the City's jurisdiction based upon information provided by personal wireless services providers and telecommunications tower owners. The Zoning Administrator shall maintain and update said list on a regular basis. The list shall also include the location of public facilities that may be available for co-location.

As referenced in Section (c) *Registration of Telecommunications Carriers and Providers* above, if staff is uncertain if a complete list of US Cellular facilities is currently on file, a comprehensive inventory can be provided upon request prior to the public hearing.

7. A professional engineering consultant shall review each conditional use application for compliance with the requirements set out in Sec. 28.04(22)(g)1. and (h). (Cr. by Ord. 13,502, 2-10-04; Am. by ORD-08-00041, 4-4-08)

Please let me know if additional information is required by the engineering consultant in order to best provide a thorough analysis of the application.

- (d) Abandonment. If a telecommunication facility shall cease to be used for a period exceeding one year and a day, the owner or operator of said facility shall remove the facility upon the written request of the City Building Inspection Division Director at no cost to the City within 90 days of said request. Prior to the issuance of any building or zoning permits, a performance bond shall be provided to guarantee that a facility that has ceased being used for telecommunication purposes is removed. The bond amount shall be the lesser of twenty thousand dollars (\$20,000) or an amount based on a written estimate of a person qualified to remove such structures. (Am. by Ord. 13,502, 2-10-04; ORD-08-00109, 10-7-08)

US Cellular agrees to abide by the removal requirements of the abandonment provision and shall provide the removal bond in an amount of \$20,000 prior the public hearing.

- (e) Structural Requirements. Every telecommunication facility shall be designed and constructed so as to comply with the requirements of Secs. Comm 62.35 to 62.41, Wisconsin Administrative Code, as amended from time to time. If, upon inspection, the Building Inspection Division Director concludes that a tower fails to comply with such codes, in effect at the time of construction, and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have 30 days or such time as determined by the Building Inspection Division Director to bring such tower into compliance with said codes. Failure to bring such tower into compliance within said 30 days or such time as determined by the Building Inspection Division Director shall constitute grounds for the removal of the tower or antenna at owner's expense. (Am. by ORD-08-00109, 10-7-08)

US Cellular agrees to abide by the requirements of this provision.

(f) Basic Tower and Building Design. All new telecommunication facilities, except exempt facilities as defined in subdivision (i), below, shall be designed to blend into the surrounding environment to the greatest extent feasible. To this end all the following measures shall be implemented.

1. Telecommunications towers shall be constructed out of metal or other nonflammable material, unless specifically permitted by the City to be otherwise.
2. Telecommunication support facilities (i.e., equipment rooms, utilities, and equipment enclosures) shall be constructed out of nonreflective materials (visible exterior surfaces only) to all extent possible and, where possible, shall be sited below the ridge line or designed to minimize their impact.
3. Telecommunication equipment buildings, shelters and cabinets shall be treated to look like a building or facility typically found in the area.
4. The City shall have the authority to require reasonable special design (materials, architectural features and color) of the telecommunication facilities where findings of particular sensitivity are made (e.g. proximity to historic or aesthetically significant structures, views and/or community features).
5. Telecommunication facilities shall insure that sufficient anti-climbing measures have been incorporated into the facility, as needed, to reduce potential for trespass and injury.
6. Equipment buildings shall be located, designed and screened to reduce visual impacts to the extent feasible considering the technological requirements of the proposed personal wireless services and the need to be compatible with neighboring residences and the character of the community. 7. Antennas shall be designed to blend with its supporting structure. The color selected shall be one that in the opinion of the Plan Commission will minimize the visibility of the antennas to the greatest extent feasible

1. The proposed tower is made of metal.
2. The proposed radio equipment enclosure does not utilize reflective material. Its aggregate stone exterior is a reasonable material choice to blend with the multiple structure finishes of surrounding architecture including metal, concrete panel, concrete block and brick.
3. The aggregate stone finish is complimentary to surrounding architecture.
4. It is our opinion that there is no adverse visual impact to historic, aesthetically significant structures or community features or views.
5. The tower base is fenced with 6' chain link and 3 strands of barbed wire. Climbing pegs start at a height of 10' above grade.
6. The equipment shelter shall be only marginally visible from off site views as depicted in the photo simulations.
7. The antennas are traditional panel shaped utilizing non-reflective metal with a grey or beige plastic face covering the antenna element.

(g) Location. All new telecommunication facilities shall be located so as to minimize their visibility and the number of tower sites. To this end, a good faith effort in achieving co-location shall be required of the requestor and host entity, subject to existing co-location contracts; and all of the following measures shall be implemented for telecommunication facilities in addition to meeting the conditional use standards in sec. 28.12(11) of these ordinances:

1. No telecommunications tower shall be installed closer than one-quarter mile from another telecommunications tower, measured from the base of the telecommunications tower to the base of the proposed tower, unless credible evidence to a reasonable degree of certainty acceptable to the Plan Commission is submitted showing a clear need for said new tower and the infeasibility of co-locating it on an existing site. Such evidence may include a demonstration that no tower in the area that the applicant's equipment must be located is of sufficient height to meet applicant's requirements and the deficiency in height cannot be remedied at a reasonable cost; or the existing tower is not of sufficient strength to support applicant's equipment and the deficiency in structural strength cannot be remedied at a reasonable cost; or the applicant's equipment would cause electromagnetic interference with equipment on the existing telecommunications tower(s) within the area in which the applicant's equipment must be located, or the equipment on the existing telecommunications tower(s) would cause interference with the applicant's equipment and the interference, from whatever source, cannot be eliminated at a reasonable cost; or the fees, costs or contractual provisions required by the owner in order to co-locate on an existing communication tower are unreasonable relative to industry norms; or the applicant demonstrates that there are other factors that render existing communication towers unsuitable or unavailable and establishes that the public interest is best served by the placement or construction of a new telecommunications tower. For the purposes of this requirement, exempt telecommunications facilities unavailable for co-location shall not be included in the one-quarter mile computation;
 2. No telecommunication tower shall be located on a lot in a residence district, unless said lot is greater than two (2) acres in area and the principal use is other than residential.
 3. Telecommunications towers, guy wires, appurtenant equipment and buildings shall comply with the yard and set back requirements of the zoning district in which they are located and, in addition thereto, all telecommunications towers shall be set back at least one hundred feet (100') from any property devoted to residential use or two hundred feet (200') from any residential building, which ever is less.
-
1. There are no telecommunications towers within ¼ mile of the proposed installation. The closest tower at 2814 Syene Road mentioned above is subject to short term leases rendering it unusable for US Cellular. The next closest tower located at 2995 Syene Road, also outside the ¼ mile prohibition radius, is too far away from two primary objectives; (i) offloading of wireless traffic from the existing US Cellular "Fish Hatchery" site and (ii) providing improved in-building service to the Greenway Crossing industrial area. The existing US Cellular sites are included in a site inventory and map included at the end of this narrative.
 2. The proposed lot is on a parcel zoned C3L.

3. The setback requirements of the district have been met and are indicated on the drawings included at the end of this narrative. There are no adjoining residential uses.

(h) Co-located and Multiple-User Facilities.

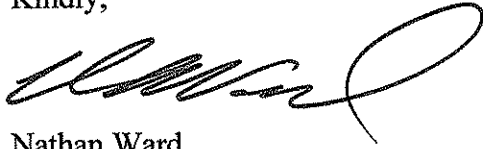
1. Unless applicant is submitting an application to locate or co-locate upon an existing tower or structure, an analysis shall be prepared by or on behalf of the applicant, subject to the approval of the Plan Commission, which identifies all subject to the approval of the Plan Commission, which identifies all reasonable, technically feasible, alternative locations and/or facilities which would be useable for the proposed personal wireless services. The intention of the alternatives analysis is to present alternative strategies which would minimize the number, size and adverse environmental impacts, including aesthetics, of facilities necessary to provide the needed services to the City and surrounding rural and urban areas. The analysis shall address the potential for co-location at an existing or a new site and the potential to locate facilities as close as possible to the intended service area. It shall also explain the rationale for selection of the proposed site in view of the relative merits of any of the feasible alternatives. Approval of the project is subject to the Plan Commission making a finding that the proposed site results in fewer or less severe environmental impacts, including aesthetics, than any feasible alternative site. The City may require independent verification by a qualified engineer of this analysis at the applicant's expense.

Facilities which are not proposed to be co-located with another telecommunication facility shall provide a written explanation why the subject facility is not a candidate for co-location.

2. All new telecommunications towers shall be structurally and electrically designed to accommodate at least three (3) separate antenna arrays, unless credible evidence is presented that said construction is economically and technologically unfeasible or the Plan Commission determines that for reasons of aesthetics or to comply with the standards of sec. 28.12(11), a telecommunications tower of such height to accommodate three antenna arrays is unwarranted. Multi-user telecommunications towers shall be designed to allow for future rearrangement of antennas and to accept antennas mounted at varying heights. Parking areas, access roads, and utility easements shall be shared by site users, at fair market rates as determined by customary industry standards, when in the determination of the Plan Commission this will minimize overall visual impact to the community.
1. An evaluation of the search area yielded no existing structures within the search parameters that would accommodate an antenna centerline height required for the designed facility. All structures in the area consist of one and two story commercial and industrial buildings yielding a maximum height of +/- 35' far below the required design height of 80.0'. If the Planning Commission should choose to have an independent analysis performed by a qualified engineer, additional information if necessary can be provided at the request of the engineer.
2. The monopole is designed to hold antenna arrays for up to four separate providers.

Should you have any questions or require additional information, please let me know and it shall be provided in a timely manner. I look forward to discussing the proposal with the Planning Commission.

Kindly,

A handwritten signature in black ink, appearing to read 'Nathan Ward', with a large, stylized flourish at the end.

Nathan Ward
Buell Consulting, Agent for US Cellular

Cc (via email):

Patrick Anderson, Madison Neighborhood Preservation & Inspection
Tim Bruer, Alder District 9
Vera Daniels, c/o Joe Daniels of Daniels Construction
Mike Stafford, US Cellular



Design Discussion for the proposed Greenway site

This is a general summary of U.S. Cellular's design criteria for our proposed site near Greenway Cross.

We are calling this site Greenway on the attached map. The map shows the location of this site along with other surrounding sites in our system.

US Cellular would like to build a site for several reasons discussed below:

- Offload existing sites
- Provide better in-building coverage

Offload

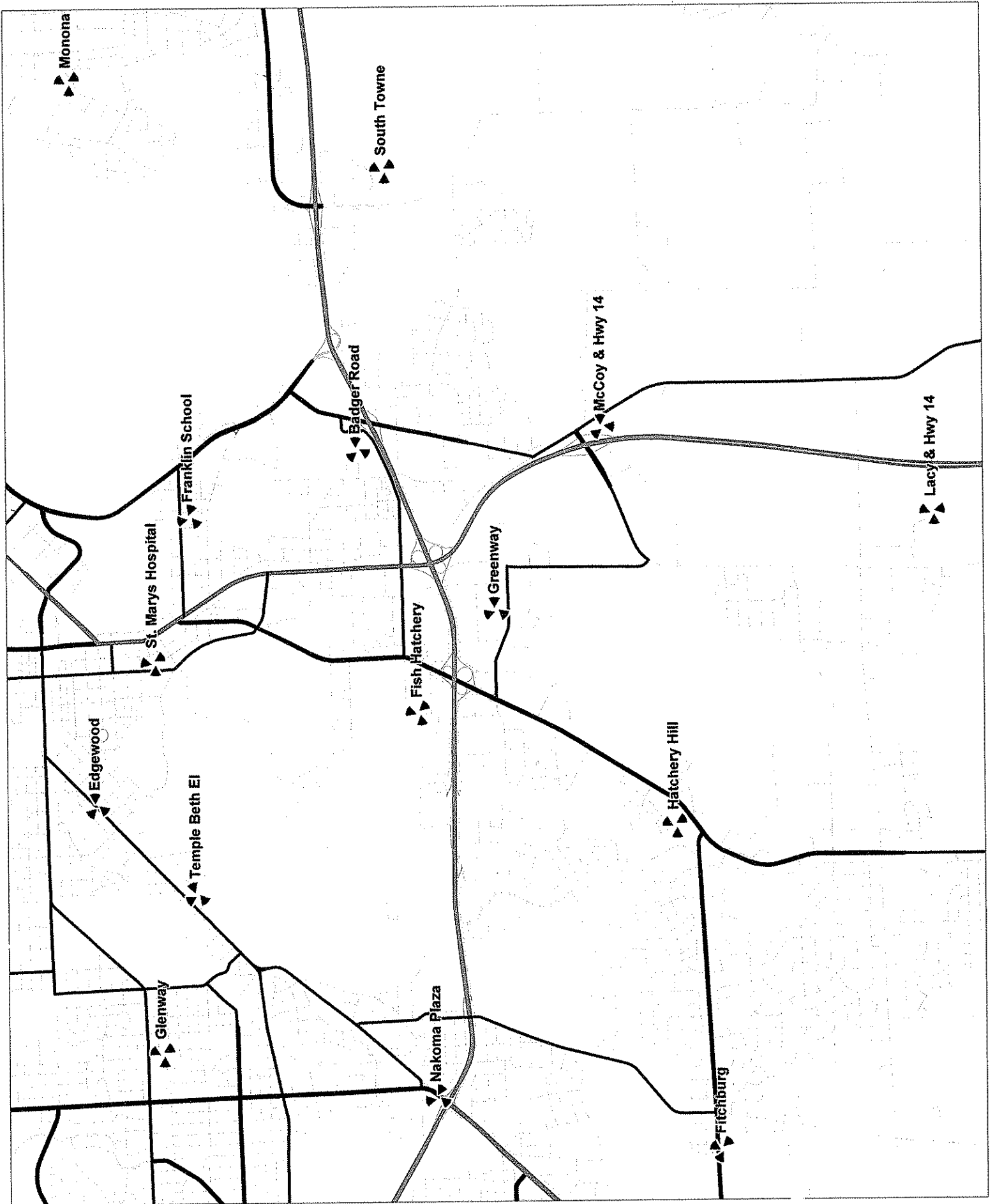
One aim of this site is to offload our existing sites in this area. As seen on the map, there are several sites surrounding this proposed Greenway site. These surrounding sites are increasing in call volume, and approaching their traffic limit. This new site will help take some calls traffic from these surrounding sites and delay or eliminate them reaching their call maximum. Once a site reaches its maximum, no new calls may start until existing calls are ended, so offload is important to our system.

This offloading is only needed in high traffic areas. Features that generate large amounts of traffic in this area include: a) The Beltline, b) Highway 14 and the c) Business park environment of Greenway Cross area.

In-building coverage

Another reason for this site is to provide in-building coverage. Often, if sites are not located close to buildings with focused amounts of cellular traffic, the cellular signal cannot propagate into the building and provide adequate coverage.

Currently we receive many complaints regarding coverage for buildings in this area. This site will be close to these buildings and be able to penetrate their walls and structure much easier.



Monona

South Towne

Badger Road

St. Marys Hospital

Franklin School

Edgewood

Temple Beth El

Glenway

Nakoma Plaza

Fish Hatchery

Greenway

McCoy & Hwy 14

Lacy & Hwy 14

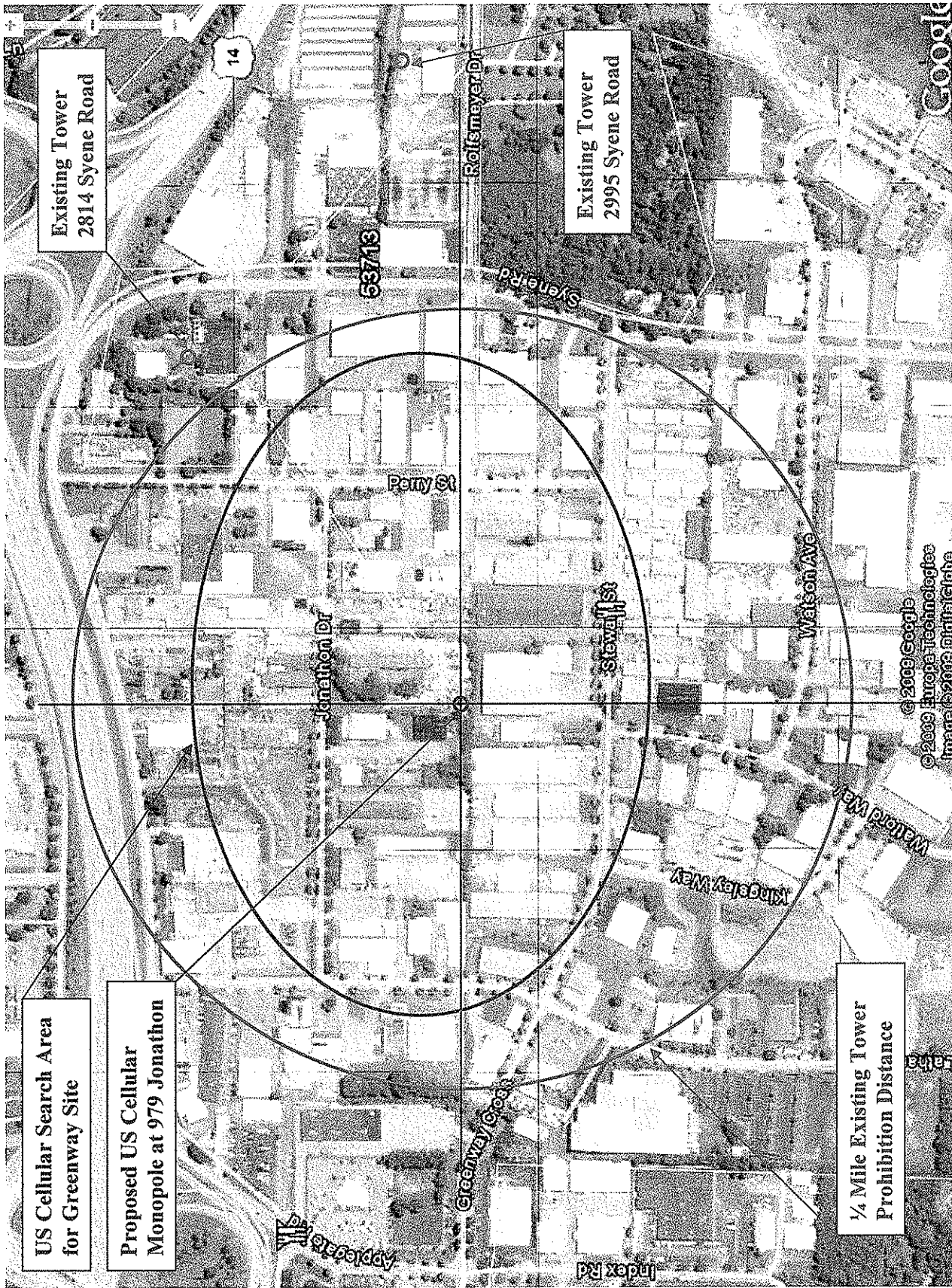
Hatchery Hill

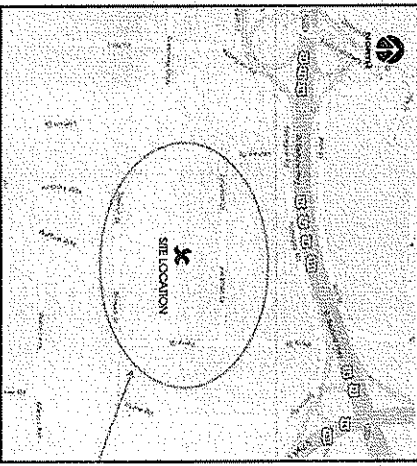
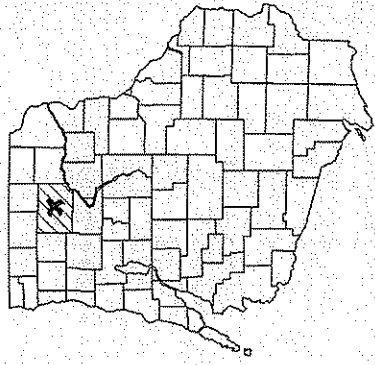
Fitchburg

Sites

Site ID	Custom: Address	Custom: City	Custom: State	Custom: Zip
Badger Road	2210 S Beltline Ct.	Madison	WI	53713
Edgewood	1930 Monroe St.	Madison	WI	53711
Fish Hatchery	1752 W. Beltline Hwy	Madison	WI	53713
Fitchburg	5999 McKee Rd.	Fitchburg	WI	53719
Franklin School	305 W Lakeside St	Madison	WI	53715
Glenway	405 S. Owen Dr.	Madison	WI	53711
Hatchery Hill	5550 Caddis Bend #99	Madison	WI	53711
McCoy & Hwy 14	3081 County Trunk MM	Madison	WI	53711
Monona Dr	5211 Schluter Rd.	Madison	WI	53716
Nakoma Plaza	1324-B Midvale Blvd.	Madison	WI	53711
South Towne	2301 Kilgust Rd.	Madison	WI	53713
St. Marys Hospital	707 S. Mills St. Rm A434	Madison	WI	53715
Temple Beth El	2702 Arbor Dr.	Madison	WI	53711

/





SITE LOCATION MAPS

FROM MADISON AREA:
 ON W TERACE DR go toward EASTVIEW BLVD go < 0.1 mi
 Turn RIGHT on EASTVIEW BLVD go 0.2 mi
 Turn RIGHT on MADISON ST go 0.1 mi
 Turn RIGHT on WILSON ST go 0.1 mi
 Make a U-TURN on WILSON ST
 Milwaukee/Chicago go 4 mi
 Keep left of the fork to continue toward 139 87th Elyale
 and merge onto I-59 S/US 52 go 5.9 mi
 Continue to take I-59 S/US 52 go 5.9 mi
 Madison go 4.7 mi merge onto US 12 W/US 18 W toward
 Take exit 260 A-B for Hwy. Highway Exit toward D go 2 mi
 Turn left at Greenway Circle go 3 mi
 Turn left at Madison Dr go 1 mi
 Turn right at Madison Dr go 1 mi
 THE DISTANCE:
 16.6 miles, Time: 21 mins

DRIVING DIRECTIONS

U.S. Cellular

**GREENWAY (#782514)
 MADISON, WISCONSIN
 CONSTRUCTION DRAWINGS
 80' MONOPOLE
 OCTOBER 2009**

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* PREPARED BY OTHERS

PROJECT DIRECTORY:

ENGINEERING COMPANY:
 EDGE CONSULTING ENGINEERS, INC.
 624 VICTOR STREET
 MADISON, WI 53715
 PHONE: 608.644.1449
 FAX: 608.644.1059

CLIENT:
 U.S. CELLULAR - MADISON
 517 WEST TERACE DRIVE
 MADISON, WI 53715
 CONTACT: JAC DUNN
 PHONE: 608.253.9044

SITE ACQUISITION:
 U.S. CELLULAR
 1200 N. HARRIS
 PLAZA, SUITE 200
 CONTACT: NATHAN WARD
 PHONE: 414.781.1227

REGISTERED SURVEYORS:
 MADISON UTILITIES
 CONTACT: MATT REBERL
 PHONE: 608.712.2757

PROJECT INFO:

SITE LOCATION:
 574 JONATHAN DRIVE
 MADISON, WI 53715
 SITE #: 782514

PROPERTY OWNER:
 VERA L. DUNN
 574 JONATHAN DRIVE
 MADISON, WI 53715
 CONTACT: JOE DUNN
 PHONE: (608) 277-6686

2C INFORMATION (MAD 1989.91)
 -OWNER CENTER
 LOT: 49'-01"-52.89"
 LINES: 87'-25.6609"
 GROUND ELEVATION (MSL) ID: 89'-99.5'

PAS INFORMATION:
 PART OF THE SW 1/4 OF THE SW 1/4
 SECTION 33, T7N, R12E,
 CNTY OF MADISON,
 STATE OF WISCONSIN

UTILITY INFORMATION

ELECTRIC SERVICE PROVIDER: MADISON GAS & ELECTRIC
 PHONE: 608.662.6222

TELEPHONE SERVICE PROVIDER: AIXT
 PHONE: 800.660.0200

VOIL LINE: 1-800-448-5111
 FWA A LOCAL: 608.660.0000

**TO OBTAIN LOCATION OF UNDERGROUND UTILITIES AND
 MAINTAIN RECORD CONTACT WITH WISCONSIN UTILITIES
 PRESIDENTS BOARD:**

I HEREBY CERTIFY THAT THIS PLAN SET WAS
 PREPARED BY ME OR UNDER MY DIRECT
 SUPERVISION OTHER THAN THE APPLICABLE
 STRUCTURAL DETAILS NOTES PROVIDED BY
 OTHERS AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE LAWS OF
 THE STATE OF WISCONSIN.

Signature: [Signature]
 Date: 10/21/09

TITLE SHEET
GREENWAY (#782514)
MADISON, WISCONSIN

Edge
 Consulting Engineers, Inc.
 624 Victor Street
 P.O. Box 111, 53715
 608.644.1449 voice
 608.644.1059 fax
 www.edgecons.com

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE SURVEYED THE HEREIN DESCRIBED PROPERTY AND THAT THIS MAP IS A TRUE REPRESENTATION THEREOF AND THAT THE LOCATION OF ALL VISIBLE STRONG BOUNDARIES, THE LOCATION OF ALL EASEMENTS, ROADS AND VISIBLE ENCROACHMENTS, PRESENT OWNERS OF THE PROPERTY AND ALSO OF THE THOSE WHO PURCHASED, MORTGAGED, OR GUARANTEED THE TITLE HERETO WITHIN ONE YEAR FROM DATE HEREOF. I HAVE BEEN AUTHORIZED, UNDER THE DIRECTION OF US CELLULAR, TO SURVEY, MOVE, THE DIRECTION OF DESCRIBE THE LAND SHOWN ON THIS PLAN.

MATHEW D. REIGEL, PROFESSIONAL LAND SURVEYOR NO. S-2321

I HEREBY CERTIFY THAT UPON REVIEW OF THE REEL MAP, PANEL NO. S20290416 AND THE MISSISSAUGA TOWN RECORDS OFFICE THAT LEASE PARCEL AND ACCESS EASEMENT THERE TO ARE NOT WITHIN THE CONFINES AS BOUND BY THE AS DESCRIBED BY REEL MAP & WETLAND MATHEW D. REIGEL, PROFESSIONAL LAND SURVEYOR NO. S-2321

LEASE PARCEL DESCRIPTION

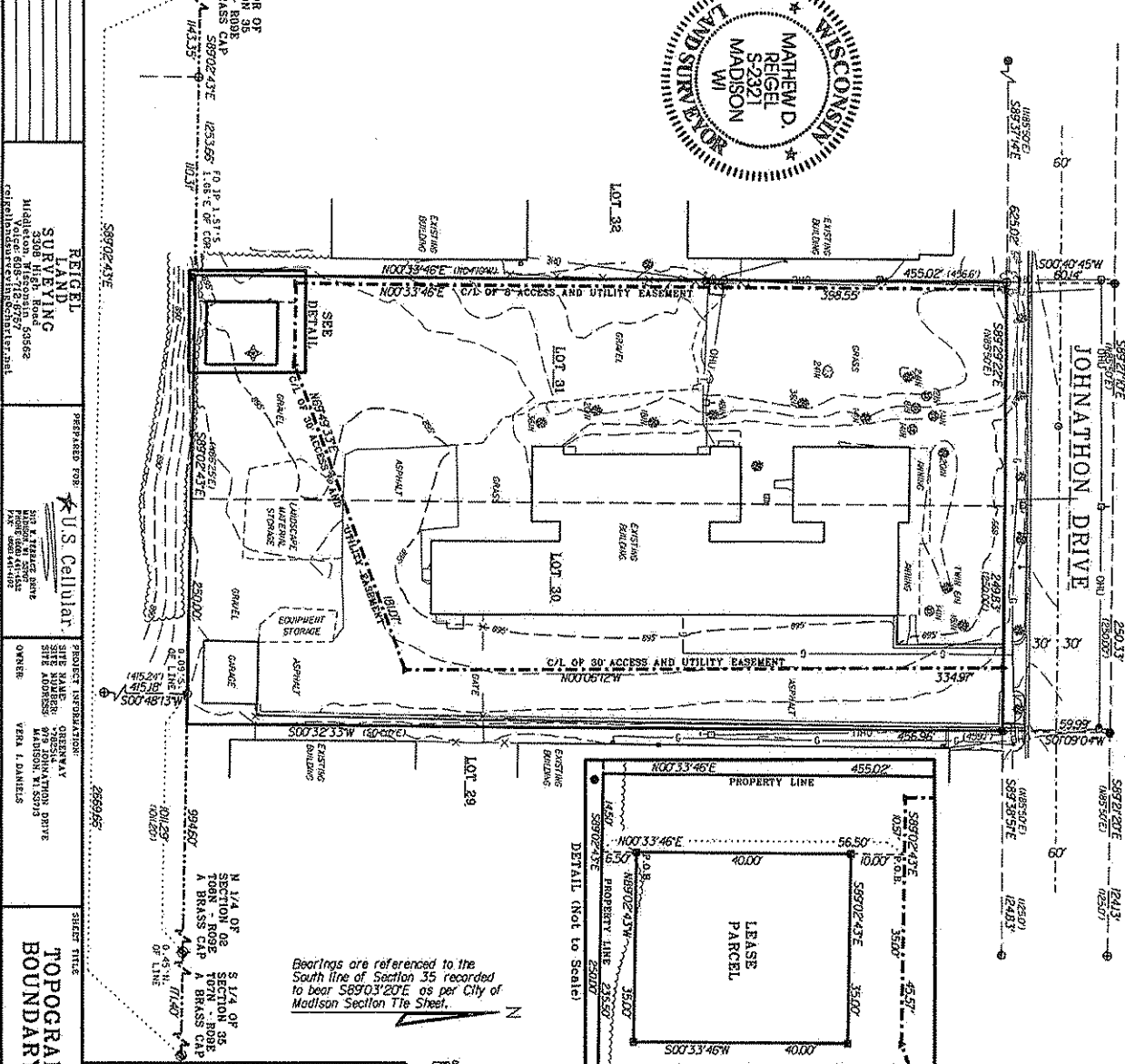
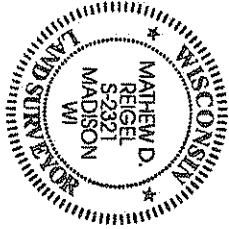
A PART OF LOT 31 OF BELT LINE PROJECTS PLAT LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP OF NORTH, RANGE OF EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 35; THENCE S89°02'43"E, ALONG THE SOUTH LINE OF SAID SECTION 35, 1253.66 FEET TO THE SOUTHWEST CORNER OF SAID LOT 31; THENCE S89°02'43"E, ALONG THE SOUTH LINE OF SAID SECTION 35, 1450 FEET TO THE POINT OF BEGINNING; THENCE N00°33'46"W, 40.00 FEET TO THE POINT OF BEGINNING; PARCEL CONTAINS 1,400.00 SQUARE FEET OR 0.03 ACRES; PARCEL IS SUBJECT TO EASEMENTS AND RESTRICTIONS AS SHOWN.

30' ACCESS AND UTILITY EASEMENT DESCRIPTION
A PART OF LOTS 30 AND 31 OF BELT LINE PROJECTS PLAT LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP OF NORTH, RANGE OF EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 35; THENCE S89°02'43"E, ALONG THE SOUTH LINE OF SAID SECTION 35, 1253.66 FEET TO THE SOUTHWEST CORNER OF SAID LOT 31; THENCE S89°02'43"E, ALONG THE SOUTH LINE OF SAID SECTION 35, 1450 FEET TO THE POINT OF BEGINNING; THENCE N00°33'46"W, 40.00 FEET TO THE POINT OF TERMINATION; IN THE SOUTH RESTRICTIONS OF RECORDS.
PARCEL IS SUBJECT TO EASEMENTS AND RESTRICTIONS AS SHOWN.

8' ACCESS AND UTILITY EASEMENT DESCRIPTION
A PART OF LOT 31 OF BELT LINE PROJECTS PLAT LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP OF NORTH, RANGE OF EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 35; THENCE S89°02'43"E, ALONG THE SOUTH LINE OF SAID SECTION 35, 1253.66 FEET TO THE SOUTHWEST CORNER OF SAID LOT 31; THENCE S89°02'43"E, ALONG THE SOUTH LINE OF SAID SECTION 35, 1450 FEET TO THE POINT OF BEGINNING; THENCE N00°33'46"W, 40.00 FEET TO THE POINT OF TERMINATION; IN THE SOUTH RESTRICTIONS OF RECORDS.
DRIVE: PARCEL IS SUBJECT TO EASEMENTS AND RESTRICTIONS AS SHOWN.

FILE NAME	DATE	REVISIONS	
COMPONENTS.DWG	03/24/09		
REVISIONS <td>NO. <td>DATE <td>REVISIONS</td> </td></td>	NO. <td>DATE <td>REVISIONS</td> </td>	DATE <td>REVISIONS</td>	REVISIONS
DATE			
03/24/09			



PROJECT: GREENWAY
SITE: #182514

SURVEYED FOR:
US CELLULAR
5111 N. TERRACE DRIVE
MADISON, WI 53701
PROPERTY OWNER:
VEVA I. DANIELS
979 JOHNATHON DRIVE
MADISON, WI 53713
The Property Line is in Flood Zone X as per Community Panel Number 55025C041G Effective January 02, 2009.

TOWER
Latitude: N 43° 01' 52.98"
Longitude: W 089° 23' 56.93"
Ground Elevation: 855.3'
Per North American Datum of 1983 (NAD 83)
Per National Geodetic Vertical Datum of 1988

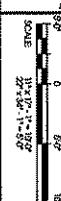
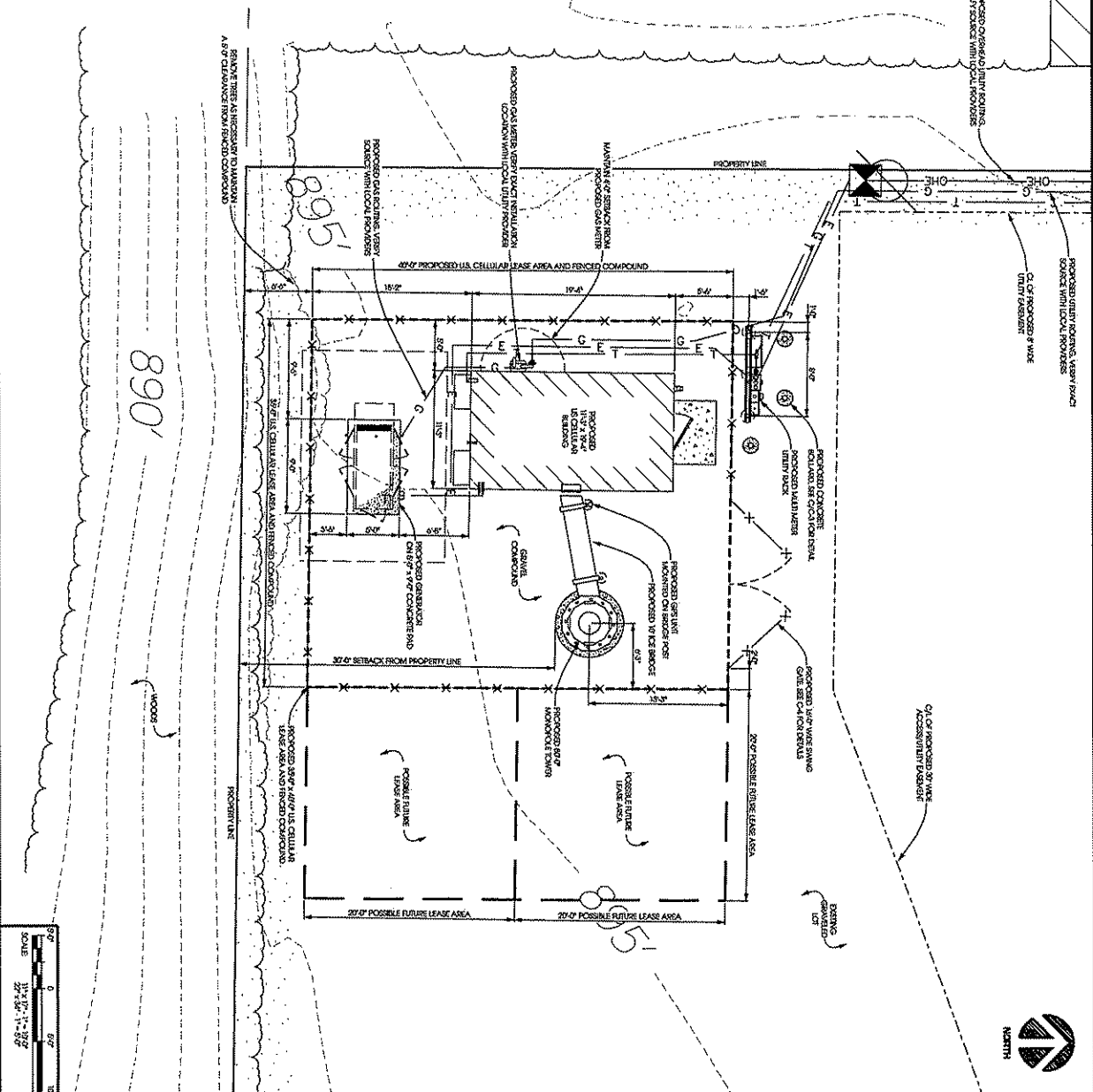
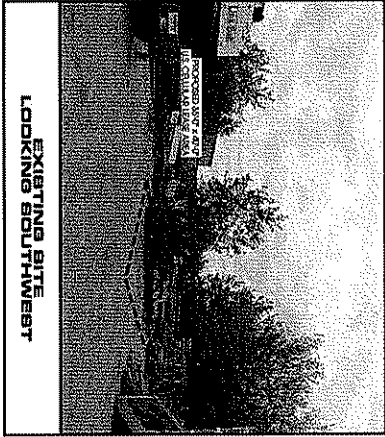
Report: Matthew Thiel, 10/20/2008/1441
Defining corners at
the corners of the lots and
at the corners of the
easements and utility
easements. The survey
was conducted on 10/20/08.
CALL: 608-280-3435-2091
TOLL FREE: 800-343-2091
ALL SURVEYS MADE
UNDER THE CLOSE
SUPERVISION OF
MRS. JANEANNE
MORSE, SURVEYOR
AND REGISTERED
PROFESSIONAL
LAND SURVEYOR
NO. S-2321

SCALE 1"=60' (1X17)

LEGEND

- 1 GAS
- 2 UNDERGROUND TELEPHONE
- 3 WATER
- 4 UNDERGROUND ELECTRIC
- 5 UNDERGROUND ELECTRIC
- 6 SANITARY SEWER
- 7 SANITARY SEWER
- 8 CABLE TV/TIC CABLE
- 9 FENCE LINE
- 10 PROPERTY LINE
- 11 PA 3/4" REBAR
- 12 PA 1" IRON PIPE
- 13 1" BENCH MARK
- 14 SET 12" SPIKE
- 15 RECORDED AS
- 16 BENCH MARK
- 17 POWER POLE
- 18 HYDRANT
- 19 TELEPHONE PNEUMATIC

TOPOGRAPHIC AND BOUNDARY SURVEY
1-1

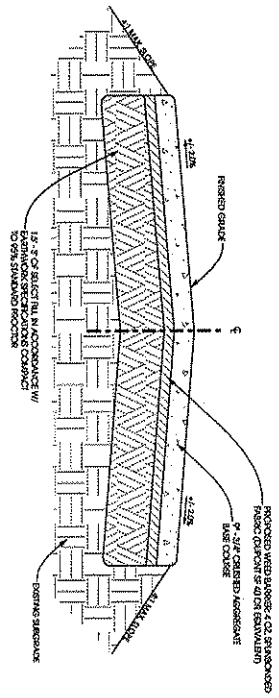


SHEET NUMBER		C-2	
DATE	10/20/00	PROJECT NUMBER	782514
DESIGNED BY	WJL	CLIENT NAME	U.S. CELLULAR
CHECKED BY	WJL	PROJECT NAME	GREENWAY #782514
DATE	10/20/00	PROJECT NUMBER	782514
DESIGNED BY	WJL	CLIENT NAME	U.S. CELLULAR
CHECKED BY	WJL	PROJECT NAME	GREENWAY #782514
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CHECKED BY	WJL	PROJECT NAME	GREENWAY #782514
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DESIGNED BY	WJL	CLIENT NAME	U.S. CELLULAR
CHECKED BY	WJL	PROJECT NAME	GREENWAY #782514
DATE	10/20/00	PROJECT NUMBER	782514
DESIGNED BY	WJL	CLIENT NAME	U.S. CELLULAR
CHECKED BY	WJL	PROJECT NAME	GREENWAY #782514

**COMPOUND PLAN
GREENWAY [#782514]
MADISON, WISCONSIN**

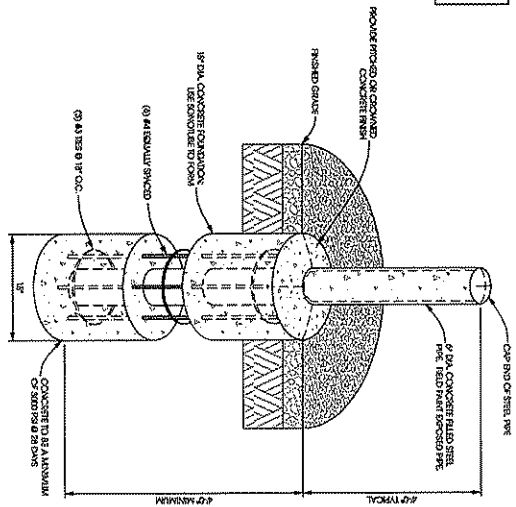
Edge
Consulting Engineers, Inc.
556 Wick Street
P.O. Box 149
02644-0149
603-644-1549 fax
www.edgeconsul.com

NOTES:
CONCRETE SHALL BE PLACED IN 6" MAXIMUM
LIFTS AND VIBRATED TO FULL COMPACT
AND CURED PROPERLY. ALL JOINTS SHALL BE
PROTECTED WITH A MAINTENANCE COURSE
OF 4" DEPTH TO EXCEED LOCAL TYPICAL
REQUIREMENTS. CONSULT WITH THE
DESIGNER FOR ANY SPECIAL REQUIREMENTS.



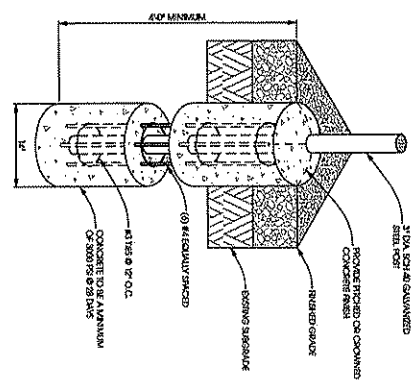
A
COMPOUND CROSS SECTION
SCALE: NIS

NOTES:
CONCRETE SHALL BE PLACED IN 6" MAXIMUM
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DESIGNER FOR ANY SPECIAL REQUIREMENTS.



C
PIPE BOLLARD DETAIL
SCALE: 1/4" = 1'-0"
2 1/2" x 5 1/2" = 1' = 1'-0"

NOTES:
CONCRETE SHALL BE PLACED IN 6" MAXIMUM
LIFTS AND VIBRATED TO FULL COMPACT
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B
PIER FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"
2 1/2" x 5 1/2" = 1' = 1'-0"

CONSTRUCTION DETAILS
GREENWAY [#782514]
MADISON, WISCONSIN

Edge
Consulting Engineers, Inc.
624 Water Street
P.O. Box 1149
Madison, WI 53708
608.644.1449 voice
608.644.1697 fax
www.edgeconsult.com

REVISIONS:

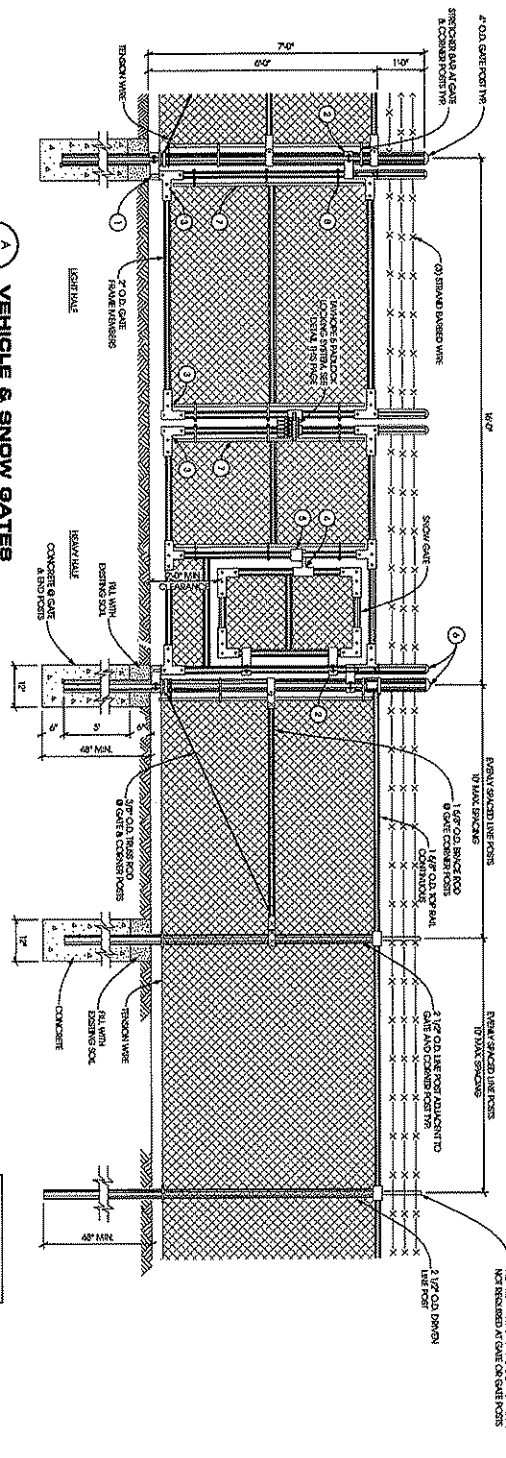
NO.	DATE	DESCRIPTION

PROJECT INFORMATION:

SHEET NO.	C-3
PROJECT NO.	
PROJECT NAME	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DESIGNED BY	
APPROVED BY	
DATE	

PROJECT ADDRESS:

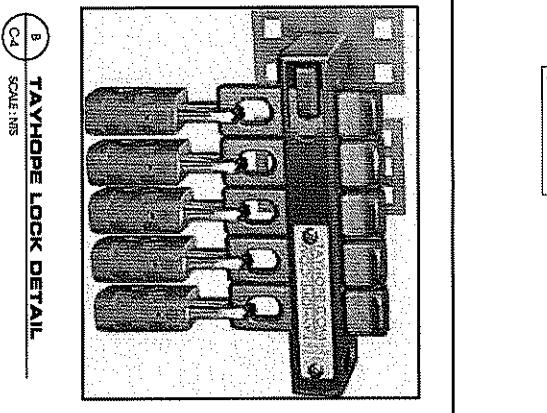
C-3



A VEHICLE & SNOW GATES
SCALE: 1/8\"/>

GENERAL NOTES

10. SCOPE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MATERIALS AND THE CONSTRUCTION OF THE FENCING, GATE AREA INCLUDING ACCESSORY GATES AND CHAIN LINK GATES, SEE SEE PLAN AND DRAWINGS FOR DETAILS.
12. SPECIAL REQUIREMENTS.
13. ALL WIRE, BARBED FENCING, WIREWORK AND STEEL UNLESS NOTED OTHERWISE SHALL BE GALVANNEAL AND ACCESS FLOOR GATES SHALL BE HOT DIPPED TO FEDERAL SPECIFICATION (F15573).
14. ALL NON-CONCRETE MATERIAL SHALL BE PREPARED BY THE PROJECT MANAGER.
15. ANY DAMAGE TO EXISTING UTILITIES OR NON-CONCRETE CONCRETE DURING CONSTRUCTION SHALL BE REPAIRED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
16. LOCATION OF CONCRETE SHALL BE DETERMINED BY THE PROJECT MANAGER AND APPROVED BY THE RESIDENT AND SHALL BE CONFORM TO THE SITE PLAN, CONSULT WITH THE PROJECT MANAGER.
17. FENCE POSTS SHALL BE SET WITHIN ONE INCH (1") OF DIMENSIONS INDICATED ON THE SITE PLAN.
18. FENCE POSTS SHALL BE VERTICAL FENCES IN ALL PLACES WITHIN 1/2" TOLERANCE (1/2").
19. CORNER AND GATE POST FOUNDATIONS SHALL BE A MINIMUM 12" X 12" X 12" CONCRETE OR 12" X 12" X 12" CONCRETE WITHIN 1/2" TOLERANCE (1/2").
20. POST FOUNDATION GATE AND CORNER POSTS SHALL BE 12" X 12" X 12" IN DIMENSIONS.
21. LINE TIGHTENING CORNER AND GATE POSTS SHALL BE INSTALLED WITHIN 1/2" TOLERANCE (1/2").
22. MAINTENANCE CORNER AND GATE POSTS SHALL BE IN ACCORDANCE WITH THE PLAN AND SHALL BE VERTICAL WITHIN THE PROJECT MANAGER.
23. ALL CORNER GATE POSTS SHALL BE CONFORM WITH A COMPARISON OF THE PLAN AND GATE TIGHTENING CORNER AND GATE POSTS SHALL BE IN ACCORDANCE WITH THE PLAN AND SHALL BE VERTICAL WITHIN THE PROJECT MANAGER.
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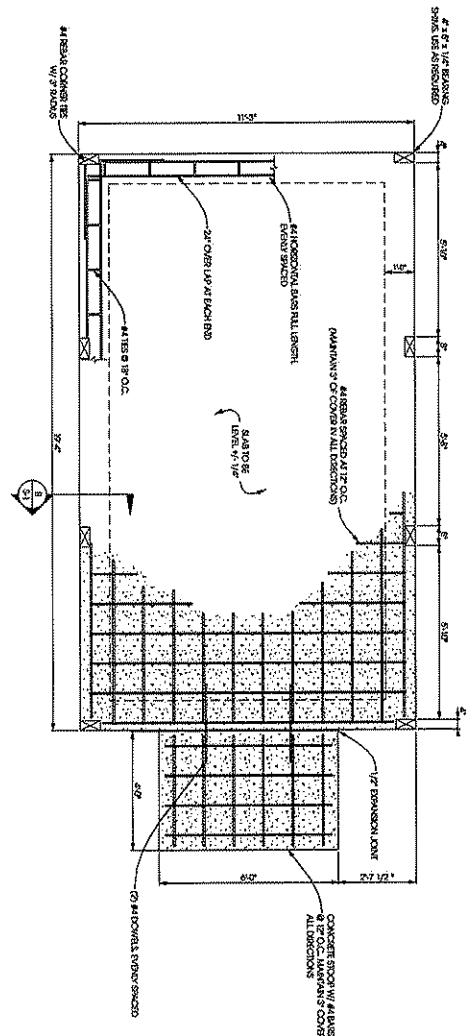


B TAYHOPE LOCK DETAIL
SCALE: 1/8\"/>

FENCE DETAILS
GREENWAY [#782514]
MADISON, WISCONSIN

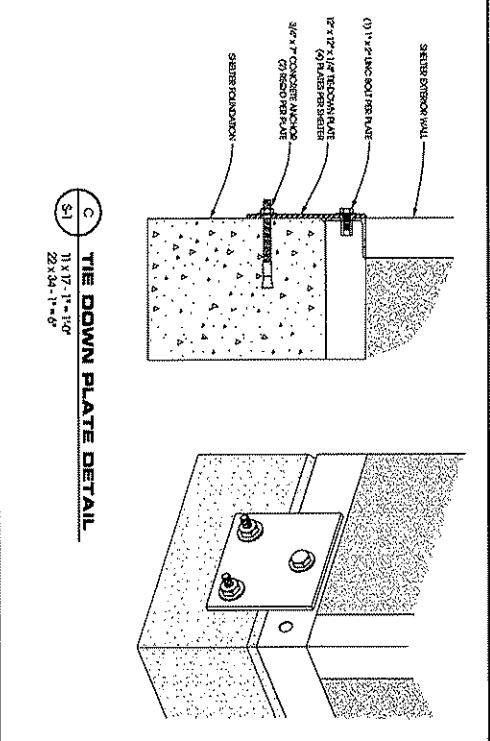
Edge
Consulting Engineers, Inc.
654 Victory Street
Provo, UT 84601
(801) 771-2200
www.edgeconsulting.com

C-4

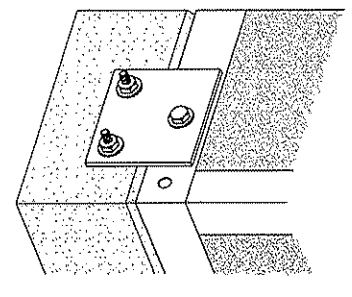


A
SHEDDER FOUNDATION PLAN
S1 11 X 17 - 1/2" = 1/4"
22 X 34 - 1/2" = 1/4"

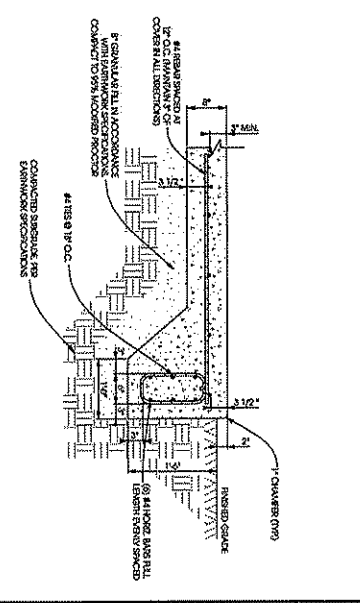
REFERENCE
GREENWAY ENGINEERING CONSULTANTS
1500 SOUTH MAIN STREET, SUITE 200
MADISON, WISCONSIN 53704
TEL: 608.664.1549 FAX: 608.664.1549



C
TIE DOWN PLATE DETAIL
S1 11 X 17 - 1/2" = 1/4"
22 X 34 - 1/2" = 1/4"



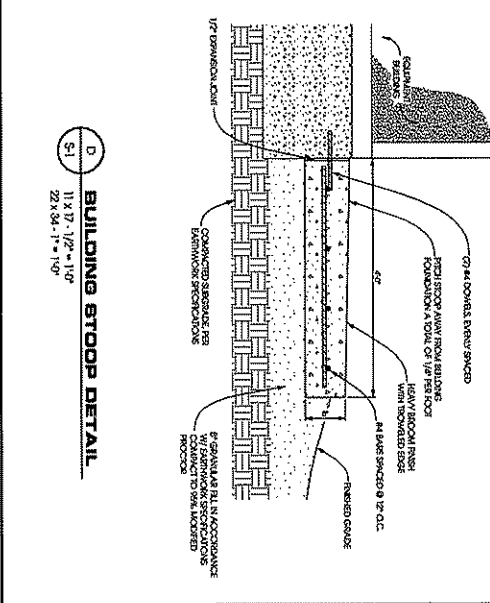
D
BUILDING STOPP DETAIL
S1 11 X 17 - 1/2" = 1/4"
22 X 34 - 1/2" = 1/4"

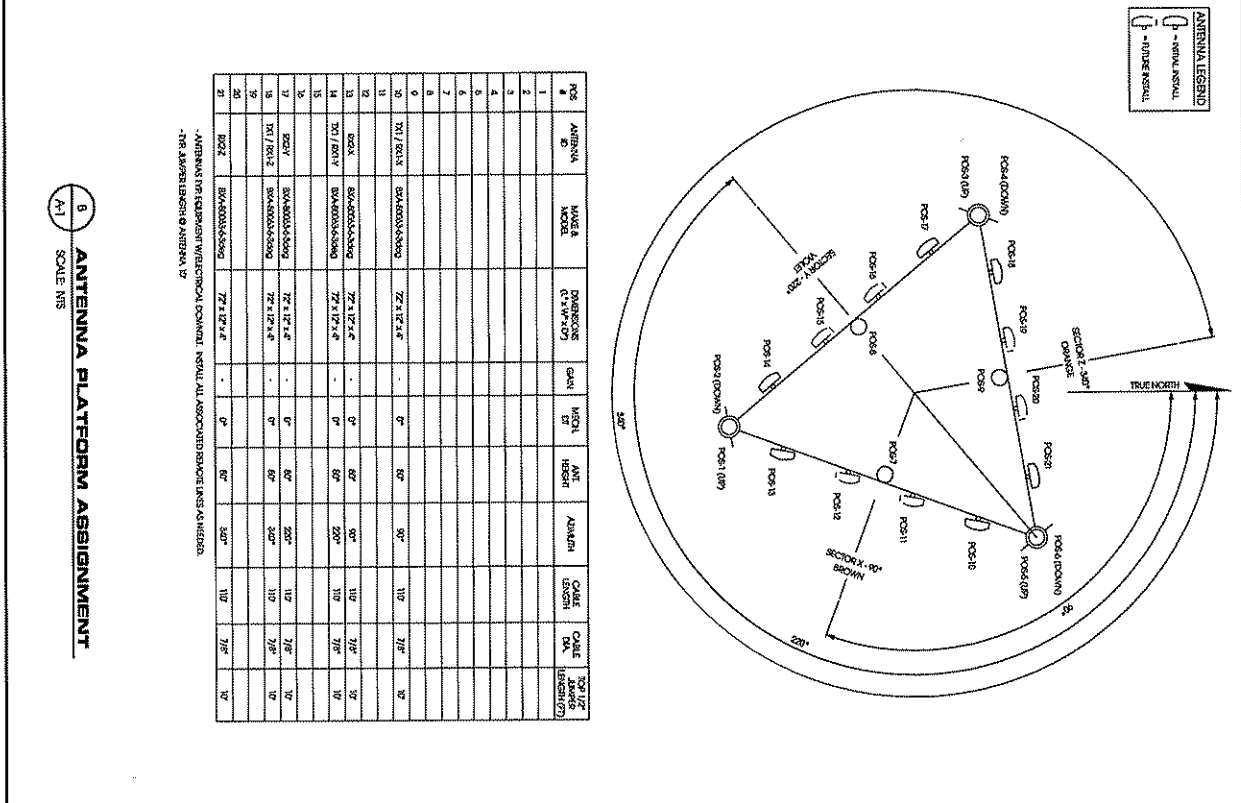
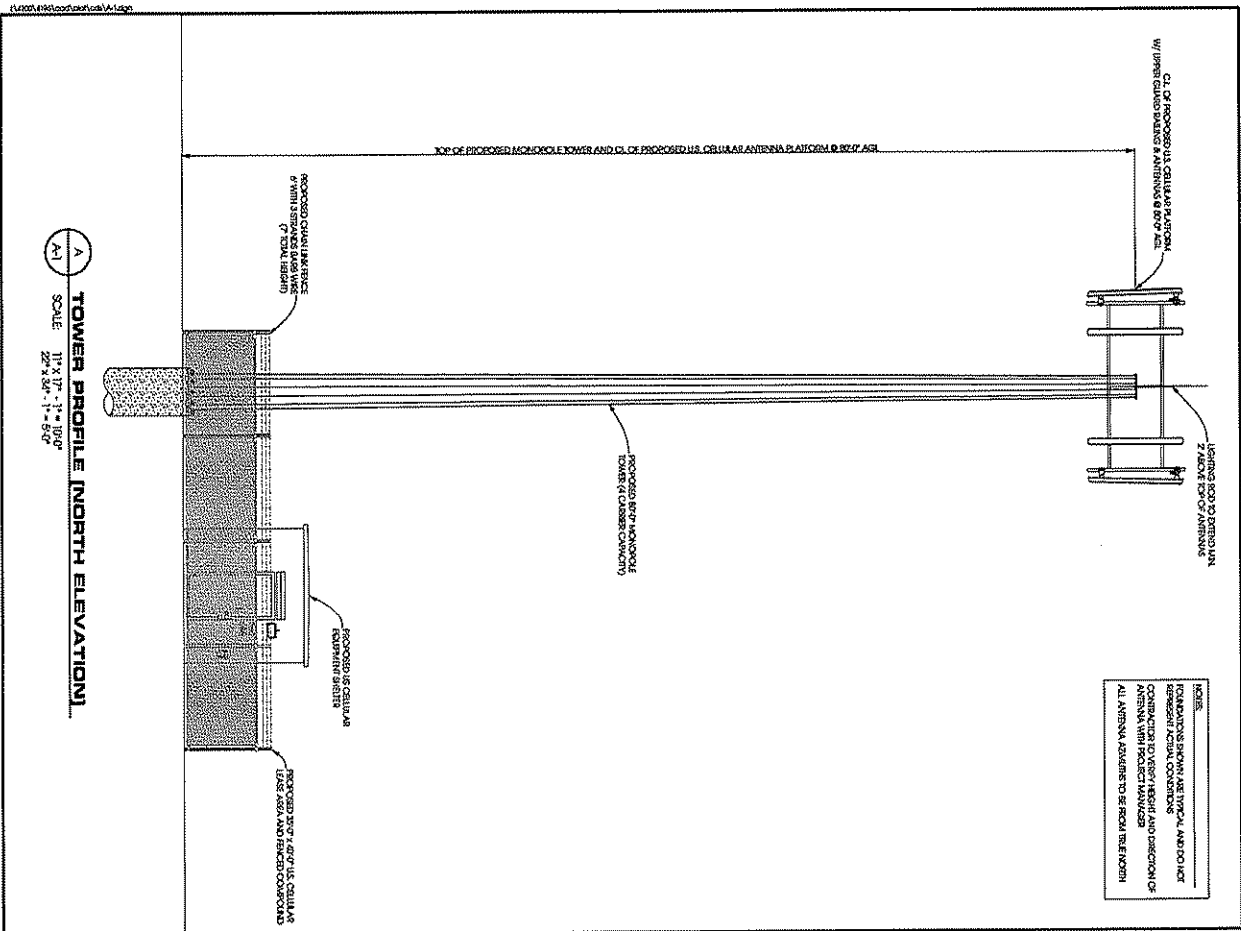


B
TYPICAL FOUNDATION DETAIL
S1 11 X 17 - 1/2" = 1/4"
22 X 34 - 1/2" = 1/4"

CONCRETE AND REINFORCEMENT NOTES:

- 1) ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODE REQUIREMENTS AND CODES. OTHER NOTES APPLY TO CONCRETE.
- 2) ALL CONCRETE (BASES, FOUNDATION, WALLS, SLABS) SHALL BE 4000 PSI. EXCEPT AS NOTED OTHERWISE. 7-1/2% AIR ENTRAINMENT SHALL BE PROVIDED. CONCRETE SHALL BE PLACED AND COMPACTED AFTER SLUMP (AS PER TEST) IS TAKEN.
- 3) ALL CONCRETE REINFORCEMENT SHALL BE ASTM A615 GRADE 60 AND PLACED IN ACCORDANCE WITH NOTES AND DETAILS.
- 4) PROVIDE 4" O.C. REBAR, 12" X 12" REBAR SPACING FOR FOUNDATION IN CORNERS. 10" X 12" REBAR SPACING FOR WALLS.
- 5) CORNER DETENTION AND ANCHORING SHALL BE AS SHOWN.
- 6) PROVIDE REBAR TIE OR ANCHORING FOR REBAR CONNECTIONS TO FOUNDATION AND WALLS. PROVIDE REBAR ANCHORS TO FOUNDATION AND WALLS.
- 7) REBAR TIES SHALL BE WEDGED TOGETHER WITH PLASTIC CHAIRS. PROVIDE REBAR TIES TO FOUNDATION AND WALLS.
- 8) PROVIDE REBAR TIES TO FOUNDATION AND WALLS.
- 9) PROVIDE REBAR TIES TO FOUNDATION AND WALLS.
- 10) PROVIDE REBAR TIES TO FOUNDATION AND WALLS.
- 11) PROVIDE REBAR TIES TO FOUNDATION AND WALLS.
- 12) PROVIDE REBAR TIES TO FOUNDATION AND WALLS.
- 13) PROVIDE REBAR TIES TO FOUNDATION AND WALLS.
- 14) PROVIDE REBAR TIES TO FOUNDATION AND WALLS.
- 15) PROVIDE REBAR TIES TO FOUNDATION AND WALLS.





A-1 TOWER PROFILE (NORTH ELEVATION)

SCALE: 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"

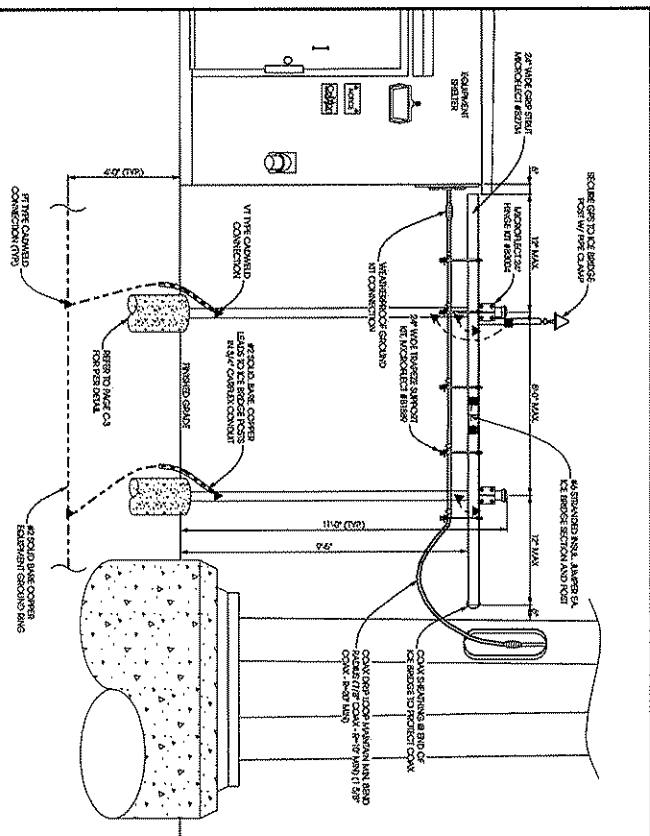
B ANTENNA PLATFORM ASSIGNMENT

SCALE: INCH

Edge
 Consulting Engineers, Inc.
 624 Water Street
 Proto Du Roc, WI 53578
 608-264-1649 voice
 608-264-1549 fax
 www.edgecorp.com

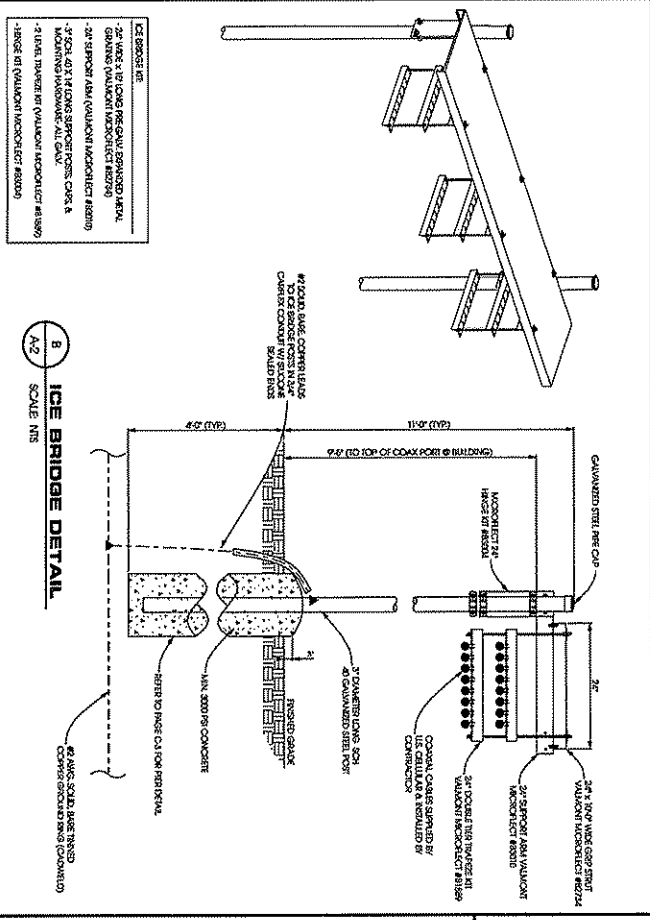
TOWER ELEVATION
GREENWAY (#782514)
MADISON, WISCONSIN

DATE: 11/11/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NUMBER: [Number]
 SHEET NUMBER: [Number]



- ICE BRIDGE NOTES:**
1. THIS DRAWING IS SUBJECT TO THE GENERAL SPECIFICATIONS AND CONDITIONS OF CONTRACT AND SPECIFICATIONS FOR THE PROJECT AND SHALL BE SUBJECT TO THE GENERAL SPECIFICATIONS AND CONDITIONS OF CONTRACT AND SPECIFICATIONS FOR THE PROJECT.
 2. COMPENSATION FOR BRIDGE BRIDGE CHANNEL SECTIONS SHOULD BE PROVIDED AT THE SUPPORT.
 3. THE BRIDGE CHANNEL SHOULD NOT EXCEED A CHANNEL DEPTH OF 2 FEET FROM THE SUPPORT.
 4. CUT BRIDGE CHANNEL SECTIONS SHOULD BE CEMENTED AND HAVE EXCESS TREATED WITH A MEMBRANE TO PROTECT THE BRIDGE TO THE CHANNEL OF BRIDGE CHANNEL.
 5. ICE BRIDGES SHALL BE CONSTRUCTED WITH COMPACTED FILL MATERIALS OTHER THAN SPECIFIED FOR THE BRIDGE CHANNEL.
 6. MATERIALS FROM BRIDGE CHANNEL CONSTRUCTION SHALL BE REMOVED WITH THE RESPECTIVE BRIDGE CHANNEL.
 7. BRIDGE CHANNEL SECTIONS SHOULD BE CONSTRUCTED WITH THE RESPECTIVE BRIDGE CHANNEL.
 8. ALL MATERIALS SHALL BE SUBJECT TO THE GENERAL SPECIFICATIONS AND CONDITIONS OF CONTRACT AND SPECIFICATIONS FOR THE PROJECT.

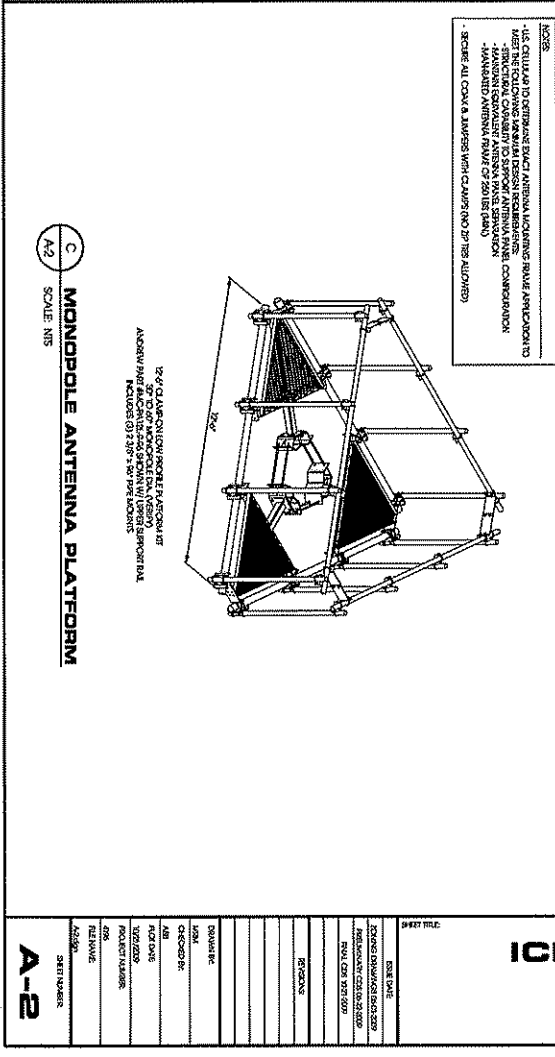
A
TYP. ICE BRIDGE DETAIL
SCALE: NTS



- ICE BRIDGE NOTES:**
1. THIS DRAWING IS SUBJECT TO THE GENERAL SPECIFICATIONS AND CONDITIONS OF CONTRACT AND SPECIFICATIONS FOR THE PROJECT AND SHALL BE SUBJECT TO THE GENERAL SPECIFICATIONS AND CONDITIONS OF CONTRACT AND SPECIFICATIONS FOR THE PROJECT.
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 8. ALL MATERIALS SHALL BE SUBJECT TO THE GENERAL SPECIFICATIONS AND CONDITIONS OF CONTRACT AND SPECIFICATIONS FOR THE PROJECT.

B
ICE BRIDGE DETAIL
SCALE: NTS

Edge
Consulting Engineers, Inc.
424 Wacker Street
P.O. Box 160
60854-1609
608-644-1609
www.edgeconsulting.com



C
MONOPOLE ANTENNA PLATFORM
SCALE: NTS

3 SHEET TOTAL

DATE PLOTTED	1/2/2008
DATE PRINTED	1/2/2008
PROJECT NUMBER	1501
SHEET NUMBER	A-2

ANTENNA & COAXIAL CABLE INSTALLATION

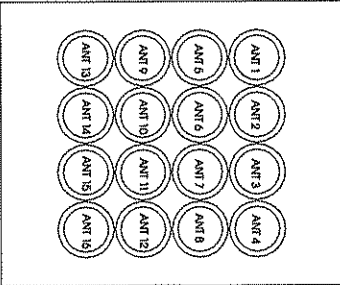
LOOKS

THE SPECIAL CONSERVE THE SPECIFICATIONS FOR ANTENNA AND COAXIAL CABLE INSTALLATION. THE AREA OF COVER FOR THE INSTALLATION OF ANTENNA, COAXIAL CABLE, CONNECTIONS, AND CABLE ROUTING.

INSTALLATION

- A. ANTENNAS SHALL BE PLUMB AND LEVEL TO THE CENTER LINE OF THE ANTENNA. ANTENNAS SHALL BE PLUMB AND LEVEL TO THE CENTER LINE OF THE ANTENNA. ANTENNAS SHALL BE PLUMB AND LEVEL TO THE CENTER LINE OF THE ANTENNA. ANTENNAS SHALL BE PLUMB AND LEVEL TO THE CENTER LINE OF THE ANTENNA. ANTENNAS SHALL BE PLUMB AND LEVEL TO THE CENTER LINE OF THE ANTENNA.
- B. COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
- C. ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
- D. COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
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- F. COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
- G. ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
- H. COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
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- J. COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.

ANTENNA COLOR CODING



COLOR CODING TO BE IDENTIFIED WHEN INSTALLED BY US CELLULAR

MARKERS

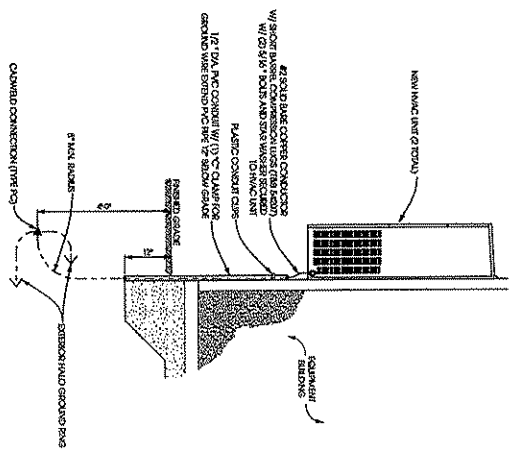
- A. ALL CONNECTIONS AND GROUNDING LINES SHALL BE WEATHER PROTECTED USING GROUNDING BUSHINGS. ALL CONNECTIONS AND GROUNDING LINES SHALL BE WEATHER PROTECTED USING GROUNDING BUSHINGS. ALL CONNECTIONS AND GROUNDING LINES SHALL BE WEATHER PROTECTED USING GROUNDING BUSHINGS. ALL CONNECTIONS AND GROUNDING LINES SHALL BE WEATHER PROTECTED USING GROUNDING BUSHINGS.
- B. COAXIAL CABLE SHALL BE SECURED USING GROUNDING LINES AT THE TOP BELOW THE BENCHTOP ABOVE THE BENCHTOP. COAXIAL CABLE SHALL BE SECURED USING GROUNDING LINES AT THE TOP BELOW THE BENCHTOP ABOVE THE BENCHTOP. COAXIAL CABLE SHALL BE SECURED USING GROUNDING LINES AT THE TOP BELOW THE BENCHTOP ABOVE THE BENCHTOP.
- C. GROUNDING SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE GROUNDING SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE GROUNDING SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE GROUNDING SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE GROUNDING SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
- D. ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
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- F. ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
- G. COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE COAXIAL CABLE SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
- H. ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.
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- J. ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS. THE ANTENNA SHALL BE INSTALLED PER MANUFACTURER'S DRAWINGS.

- USE THE FOLLOWING COLOR CODING FOR ANTENNAS:
- SECTION 1: RED
- SECTION 2: BLUE
- SECTION 3: GREEN
- SECTION 4: YELLOW
- SECTION 5: WHITE
- SECTION 6: BLACK
- SECTION 7: GREY
- SECTION 8: BROWN
- SECTION 9: PURPLE
- SECTION 10: PINK
- SECTION 11: ORANGE
- SECTION 12: SILVER
- SECTION 13: GOLD
- SECTION 14: IRIDESCENT
- SECTION 15: TRANSPARENT
- SECTION 16: OPAQUE
- SECTION 17: REFLECTIVE
- SECTION 18: ABSORBENT

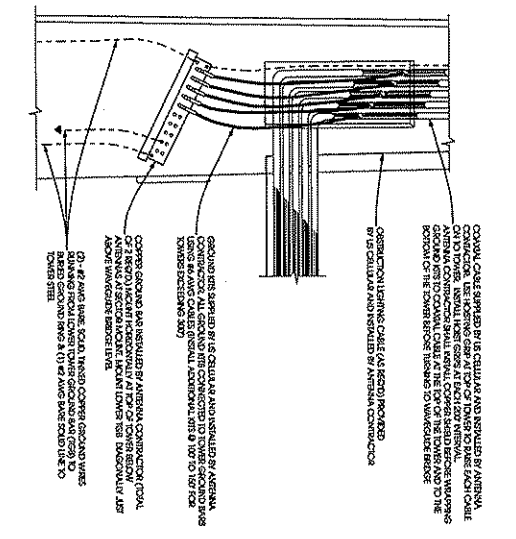
Edge Consulting Engineers, Inc.
424 Wade Street
Madison, WI 53706
608.644.1699 voice
608.644.1699 fax
www.edgeconsult.com

ANTENNA INSTALLATION NOTES
GREENWAY [#782514]
MADISON, WISCONSIN

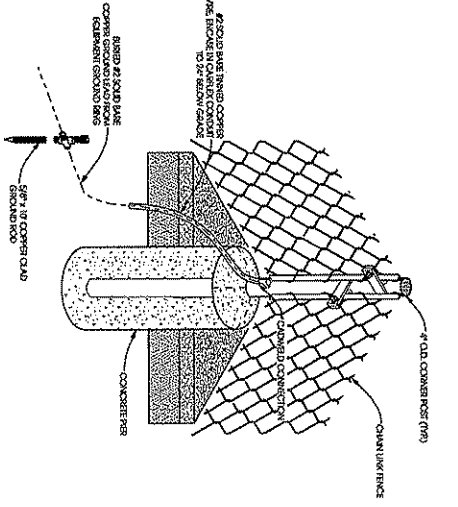
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DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 01/11/2023
PROJECT: GREENWAY
PROJECT NUMBER: [Number]
SHEET NUMBER: [Number]
A-3



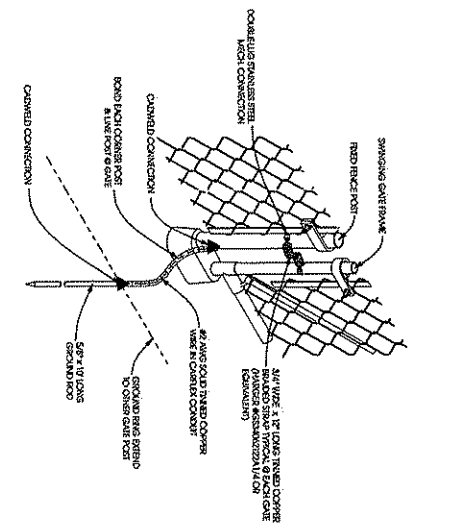
A HVAC GROUNDING DETAIL
SCALE: NTS



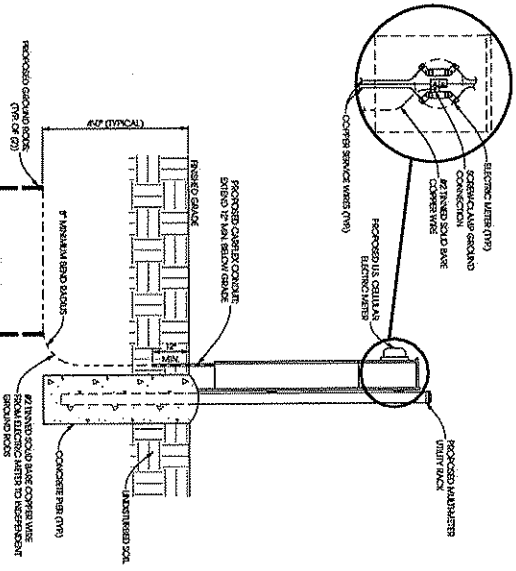
B CABLE GROUNDING AT TOWER
SCALE: NTS



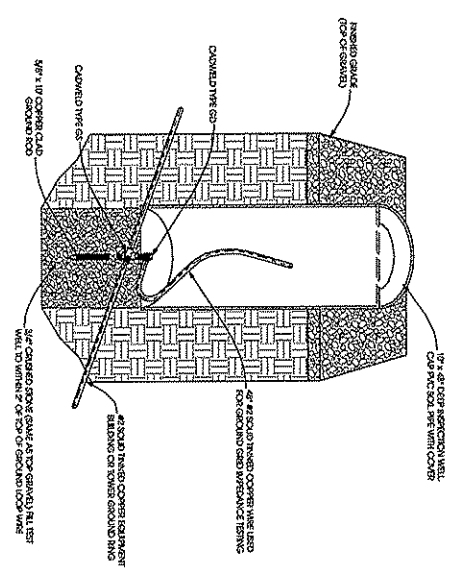
D FENCE POST GROUNDING DETAIL
SCALE: NTS



E GATE GROUNDING DETAIL
SCALE: NTS



C ELECTRIC METER GROUND DETAIL
SCALE: NTS



F INSPECTION WELL DETAIL
SCALE: NTS

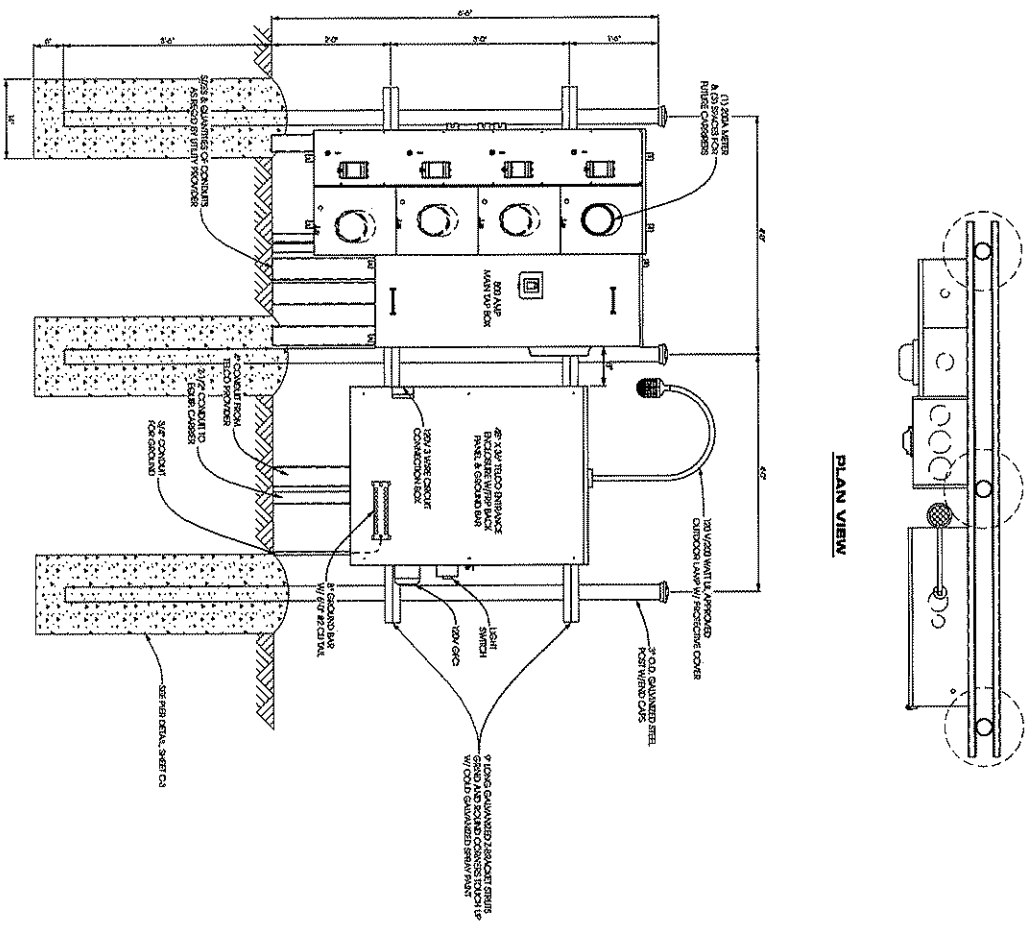
NO.	DESCRIPTION	DATE
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2	ISSUED FOR CONSTRUCTION	11/17/17
3	ISSUED FOR AS-BUILT	11/17/17
4	ISSUED FOR RECORD	11/17/17
5	ISSUED FOR ARCHIVE	11/17/17
6	ISSUED FOR CLOSURE	11/17/17
7	ISSUED FOR DECOMMISSION	11/17/17
8	ISSUED FOR REMOVAL	11/17/17
9	ISSUED FOR REPAIR	11/17/17
10	ISSUED FOR REPLACEMENT	11/17/17
11	ISSUED FOR MODIFICATION	11/17/17
12	ISSUED FOR ADDITION	11/17/17
13	ISSUED FOR DELETION	11/17/17
14	ISSUED FOR CANCELLATION	11/17/17
15	ISSUED FOR REVISION	11/17/17
16	ISSUED FOR CORRECTION	11/17/17
17	ISSUED FOR AMENDMENT	11/17/17
18	ISSUED FOR SUPPLEMENT	11/17/17
19	ISSUED FOR ADDENDUM	11/17/17
20	ISSUED FOR EXPLANATION	11/17/17

GROUNDING DETAILS
GREENWAY [#782514]
MADISON, WISCONSIN

Edge
Consulting Engineers, Inc.
624 Weber Street
Proto Du Soc., WI 53578
608.644.1449 voicemail
608.595.1999 fax
www.edgecorp.com

- NOTES
1. METAL LABEL CONTAINERS FOR SERVICE ROOMS: VERIFY REQUIREMENTS WITH UTILITY PROVIDER
 2. BRAND SERVICE LABEL CONTAINERS: USE SERVICE LABEL CONTAINERS AND SERVICE LABEL WITH FULL COLOR VERIFY REQUIREMENTS WITH UTILITY PROVIDER
 3. MAKE CARRIER LETTER SLOT & BRACKETS SOCKET BRACKETS
 4. 300 LB WHEEL IN CASE TYPICAL: VERIFY WEIGHT REQUIREMENTS WITH UTILITY PROVIDER

FOR ALL ELECTRICAL INSTALLATIONS REFER TO THE ELECTRICAL SYMBOLS AND SCHEDULES WHICH WILL BE SUPPLIED BY THE CLIENT



A
SCALE NTS

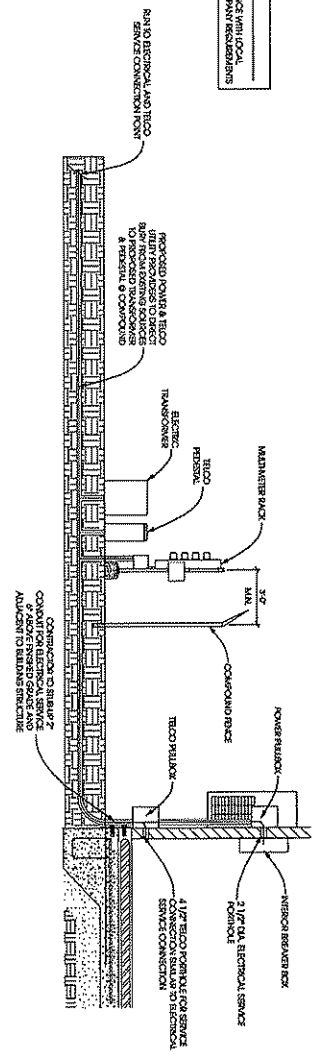
MULTI-CARRIER UTILITY RACK DETAILS

UTILITY RACK DETAILS
GREENWAY [#782514]
MADISON, WISCONSIN

Edge
Consulting Engineers, Inc.
424 Weber Street
Madison, WI 53706
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608.264.1649 fax
www.edgeconsult.com

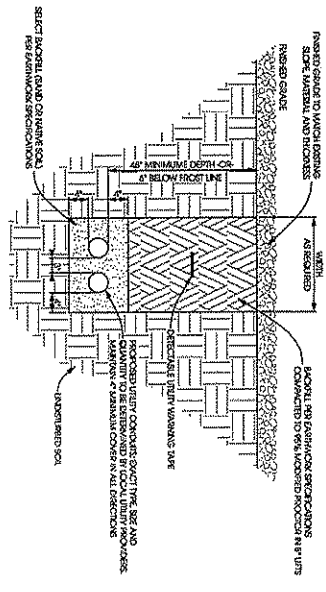
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PROJECT NUMBER:																																		
DATE:																																		
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REASON:																																		

NOTE:
INSTALL IN ACCORDANCE WITH LOCAL
CODES & UTILITY COMPANY REQUIREMENTS

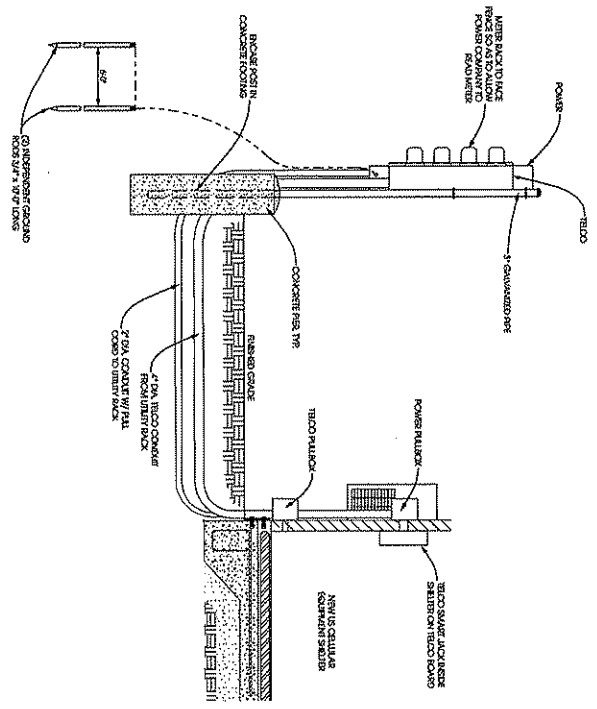


A
E3 SCALE: 1/8\"/>

NOTE:
TRENCH COUPLERS TO BE FABRICATED AT LEAST 1/2\"/>



B
E3 SCALE: 1/8\"/>



C
E3 SCALE: 1/8\"/>

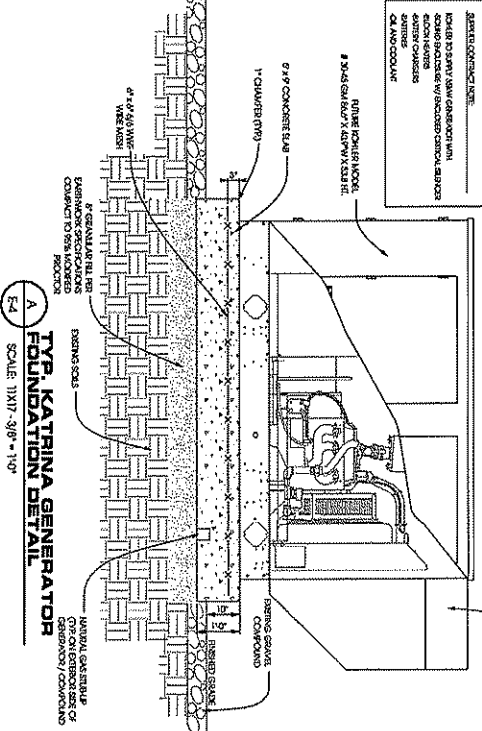
ELECTRICAL SITE DETAILS
GREENWAY [#782514]
MADISON, WISCONSIN

Edge
 Consulting Engineers, Inc.
 624 Water Street
 Potosi WI 53076
 608.664.1649 voice
 608.664.1649 fax
 www.edgecorp.com

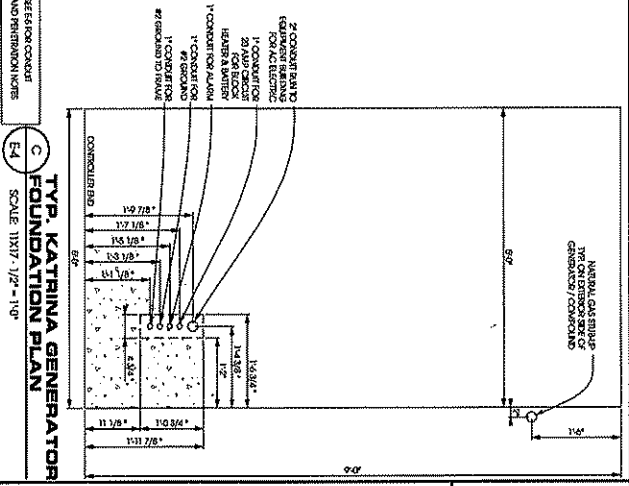
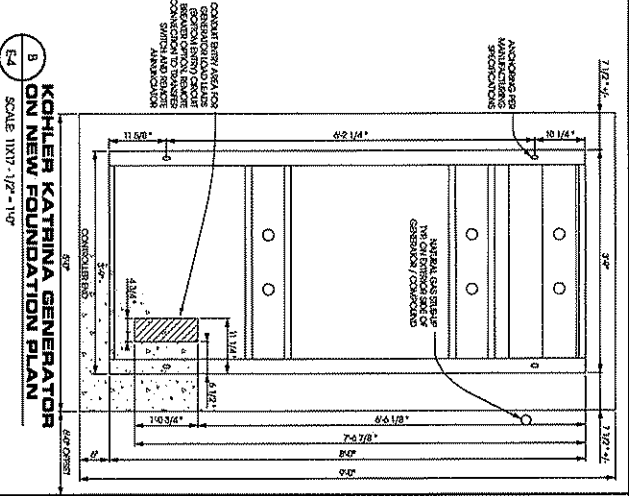
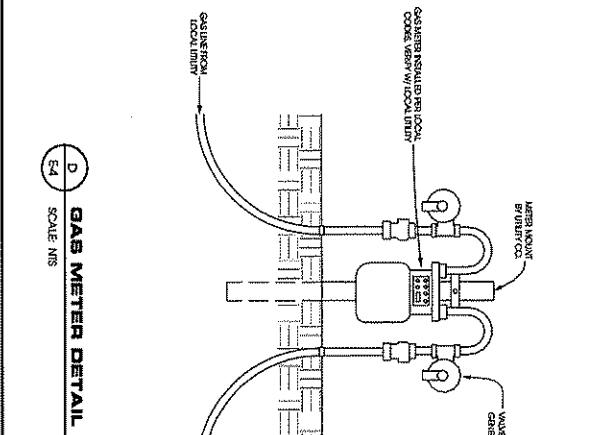
DATE PLOTTED	10/10/2024
DATE PRINTED	10/10/2024
PROJECT NUMBER	782514
CLIENT NAME	GREENWAY
PROJECT NAME	GREENWAY
PROJECT ADDRESS	
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT COUNTY	
PROJECT ELEVATION	
PROJECT AREA	
PROJECT PERMITS	
PROJECT NOTES	
PROJECT COMMENTS	
PROJECT CONTACT	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT SOCIAL MEDIA	
PROJECT OTHER	

NOTE:
 SEE GENERAL MANUFACTURER'S INSTRUCTIONS FOR PROPER LOCATION OF FUEL TANK, CONTROL VALVE, FLOW METER, EXHAUST AND OTHER ACCESSORIES THAT ARE TO BE SET INTO THE CONCRETE. THE WEIGHTS OF THE GENERATOR SHALL BE LOCATED A MINIMUM OF 2' FROM A WALL OR OTHER STRUCTURE WITH LIMITED CONTACT WITH CONCRETE. MAINTAIN CLEARANCE BETWEEN THE GENERATOR AND WALLS AS SHOWN ON THIS DETAIL. SEE GENERAL MANUFACTURER'S INSTRUCTIONS FOR PROPER LOCATION OF EXHAUST AND OTHER ACCESSORIES.

GENERATOR CLEARANCE NOTE:
 THE GENERATOR SHALL BE LOCATED A MINIMUM OF 2' FROM A WALL OR OTHER STRUCTURE. THE GENERATOR SHALL BE LOCATED A MINIMUM OF 2' FROM A WALL OR OTHER STRUCTURE WITH LIMITED CONTACT WITH CONCRETE. MAINTAIN CLEARANCE BETWEEN THE GENERATOR AND WALLS AS SHOWN ON THIS DETAIL. SEE GENERAL MANUFACTURER'S INSTRUCTIONS FOR PROPER LOCATION OF EXHAUST AND OTHER ACCESSORIES.



GAS METER NOTES:
 - CONNECTION TO LOCAL METER FROM FUTURE GENERATOR
 - CONNECT TO LOCAL SERVICE PER ULTIMATE REQUIREMENTS
 - FUTURE GENERATOR PIPING FROM WATER TO GENERATOR SHALL BE SET OUT ON THE EXTERIOR SIDE OF THE FOUNDATION
 - 20\"/>

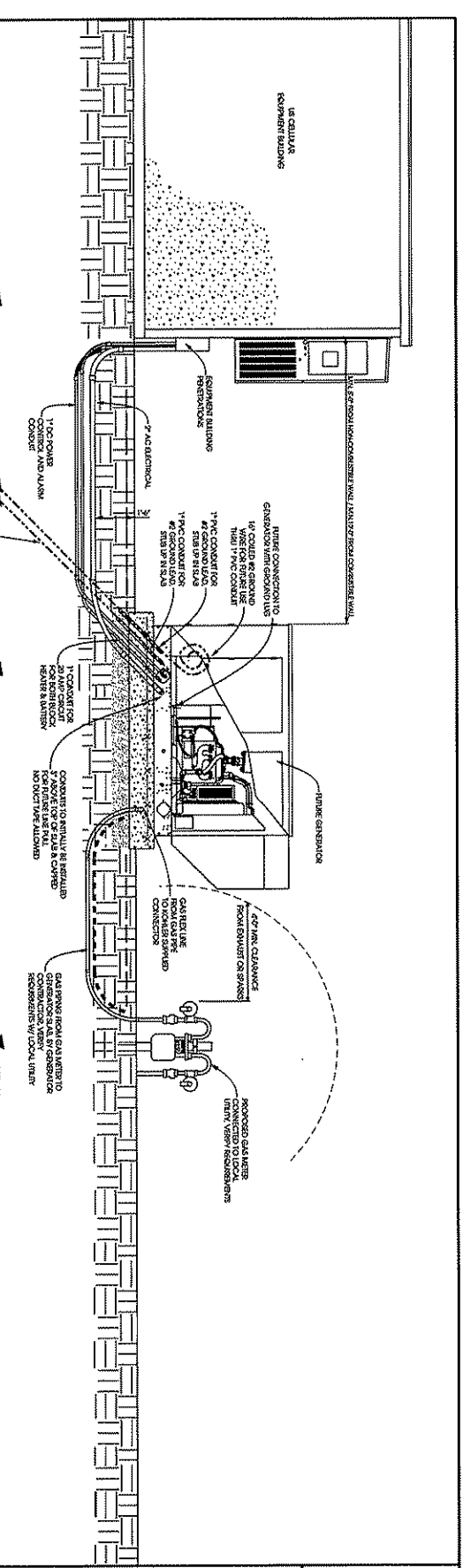


NOTE:
 SEE GENERAL MANUFACTURER'S INSTRUCTIONS FOR PROPER LOCATION OF FUEL TANK, CONTROL VALVE, FLOW METER, EXHAUST AND OTHER ACCESSORIES THAT ARE TO BE SET INTO THE CONCRETE. THE WEIGHTS OF THE GENERATOR SHALL BE LOCATED A MINIMUM OF 2' FROM A WALL OR OTHER STRUCTURE WITH LIMITED CONTACT WITH CONCRETE. MAINTAIN CLEARANCE BETWEEN THE GENERATOR AND WALLS AS SHOWN ON THIS DETAIL. SEE GENERAL MANUFACTURER'S INSTRUCTIONS FOR PROPER LOCATION OF EXHAUST AND OTHER ACCESSORIES.

NOTE:
 SEE GENERAL MANUFACTURER'S INSTRUCTIONS FOR PROPER LOCATION OF FUEL TANK, CONTROL VALVE, FLOW METER, EXHAUST AND OTHER ACCESSORIES THAT ARE TO BE SET INTO THE CONCRETE. THE WEIGHTS OF THE GENERATOR SHALL BE LOCATED A MINIMUM OF 2' FROM A WALL OR OTHER STRUCTURE WITH LIMITED CONTACT WITH CONCRETE. MAINTAIN CLEARANCE BETWEEN THE GENERATOR AND WALLS AS SHOWN ON THIS DETAIL. SEE GENERAL MANUFACTURER'S INSTRUCTIONS FOR PROPER LOCATION OF EXHAUST AND OTHER ACCESSORIES.

<p>Edge Consulting Engineers, Inc. 624 Water Street Potosi WI 53768 608.644.1449 voice 608.644.1549 fax www.edgeconsult.com</p>		<p>KATRINA GENERATOR FOUNDATION DETAILS GREENWAY [#782514] MADISON, WISCONSIN</p>		<p>E-4 SHEET NUMBER</p>	
--	--	--	--	---	--

US CELLULAR
EQUIPMENT BUILDING



A EQUIPMENT LAYOUT
SCALE 1/16" = 1' - 1'

NOTES:

1. AT THE OFFICE OF THE ARCHITECT, ELECTRICAL CONNECTIONS BETWEEN THE GENERATOR AND THE BUILDING SHALL BE MADE BY THE ARCHITECT. THE PNC CONDUITS FOR DC POWER, CONTROL AND SIGNALING AS SHOWN, A MINIMUM OF 2" SPACING IS REQUIRED BETWEEN CONDUIT CENTERS.
2. AT THE OFFICE OF THE ARCHITECT, PROVIDE A 4" THICK CONCRETE SLAB WITH REINFORCING BARS AS SHOWN AND SUPPORTED WITH 4" DIAMETER TUBULAR. 1" BELOW FINISHED GRADE, PLACE 2" TYPICAL REINFORCING IN PNC TO PROTECT THE GAS LINE WITH A BRACK TIE.
3. REPAIRS TO THE GENERATOR SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE REPAIRS. REPAIRS SHALL BE MADE TO THE GENERATOR AT THE OFFICE OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE REPAIRS.
4. WHEN REPAIRING THE GENERATOR, CARE TO THE GENERATOR SHALL BE TAKEN TO PROTECT THE GAS LINE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE REPAIRS.

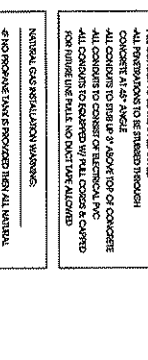
CONCRETE INSTALLATION NOTES:

ALL CONCRETE TO BE INSTALLED IN THE REVISIONS TO THE PLAN SHALL BE REINFORCED WITH 4" DIA. #4 BARS AT 48" ON CENTER. ALL CONCRETE SHALL BE 4000 PSI STRENGTH. ALL CONCRETE SHALL BE CURVED UP 180 DEGREES AT ALL EDGES. THE REINFORCING SHALL BE PLACED WITH 1" BELOW FINISHED GRADE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE REPAIRS.

WARRANTY:

THE GENERATOR SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE GENERATOR SHALL BE INSTALLED IN A WELL-VENTILATED AREA.
2. THE GENERATOR SHALL BE INSTALLED ON A CONCRETE SLAB WITH REINFORCING BARS.
3. THE GENERATOR SHALL BE INSTALLED WITH A BRACK TIE TO PROTECT THE GAS LINE.
4. THE GENERATOR SHALL BE INSTALLED WITH A MINIMUM OF 2" SPACING BETWEEN CONDUIT CENTERS.



UTILITY TRENCH DETAIL
SCALE NTS

WARRANTY:

THE TRENCH SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE TRENCH SHALL BE INSTALLED WITH A MINIMUM OF 6" CLEARANCE FROM THE SURFACE.
2. THE TRENCH SHALL BE INSTALLED WITH A MINIMUM OF 2" SPACING BETWEEN CONDUIT CENTERS.
3. THE TRENCH SHALL BE INSTALLED WITH A MINIMUM OF 1" BELOW FINISHED GRADE.
4. THE TRENCH SHALL BE INSTALLED WITH A MINIMUM OF 180 DEGREES CURVATURE AT ALL EDGES.

CONCRETE INSTALLATION NOTES:

ALL CONCRETE TO BE INSTALLED IN THE REVISIONS TO THE PLAN SHALL BE REINFORCED WITH 4" DIA. #4 BARS AT 48" ON CENTER. ALL CONCRETE SHALL BE 4000 PSI STRENGTH. ALL CONCRETE SHALL BE CURVED UP 180 DEGREES AT ALL EDGES. THE REINFORCING SHALL BE PLACED WITH 1" BELOW FINISHED GRADE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE REPAIRS.

KATRINA GENERATOR DETAILS

GREENWAY [#782514]

MADISON, WISCONSIN

Edge
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624 W. Main Street
Prairie du Sac, WI 53578
608.644.1649 voice
608.644.3000 fax
www.edgegood.com

NO.	DATE	DESCRIPTION
1	06/20/08	ISSUE FOR CONSTRUCTION
2	06/20/08	ISSUE FOR CONSTRUCTION
3	06/20/08	ISSUE FOR CONSTRUCTION
4	06/20/08	ISSUE FOR CONSTRUCTION
5	06/20/08	ISSUE FOR CONSTRUCTION
6	06/20/08	ISSUE FOR CONSTRUCTION
7	06/20/08	ISSUE FOR CONSTRUCTION
8	06/20/08	ISSUE FOR CONSTRUCTION
9	06/20/08	ISSUE FOR CONSTRUCTION
10	06/20/08	ISSUE FOR CONSTRUCTION

PHOTO SIMULATION NOTES:

-THESE PHOTO SIMULATIONS ARE AN INTERPRETATION OF THE GENERAL APPEARANCE OF THE PROPOSED INSTALLATION. EACH PHOTO SIMULATION IS BASED ON THE SCALING CRITERIA OR ASSUMPTIONS IDENTIFIED

-THE FINAL TOWER DESIGN AND DIMENSIONS WERE NOT AVAILABLE AT THE TIME THE PHOTO SIMULATION WAS PREPARED. THEREFORE, A TYPICAL PHOTO SIMULATION OF SIMILAR SIZE WAS UTILIZED FOR SIMULATION PURPOSES

-AN OBJECT OF KNOWN HEIGHT WAS NOT AVAILABLE FOR REFERENCE IN THE DIRECT VICINITY OF THE TOWER LOCATION. LIMITING RELIABILITY OF THE HEIGHT INTERPRETATION.

-THE HORIZON LINE AT THE PROPOSED TOWER BASE IS NOT VISIBLE. A HORIZON LINE HAS BEEN ESTIMATED AT THE TOWER BASE FOR THE PHOTO SIMULATIONS

-ARTISTIC INTERPRETATIONS UTILIZED TO ESTIMATE THE APPROXIMATE TOWER SIZE AND APPEARANCE

-PHOTO SIMULATIONS GENERATED USING A SIMILAR TOWER OF SIMILAR HEIGHT AT A SIMILAR DISTANCE. ARTISTIC INTERPRETATIONS UTILIZED TO ESTIMATE THE APPROXIMATE TOWER SIZE AND APPEARANCE

PHOTO LOCATION DESCRIPTION:

PHOTO SIM 1

- TAKEN FROM JOYANTHON DR. NORTHEAST OF TOWER LOCATION
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 898; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 500'

PHOTO SIM 2

- TAKEN FROM JOYANTHON DR. NORTH OF TOWER LOCATION
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 895; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 425'

PHOTO SIM 3

- TAKEN FROM APPLEGATE AND SYENE ROAD
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 897; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 1450'

PHOTO SIM 4

- TAKEN FROM APPLEGATE ROAD
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 889; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 1200'

PHOTO SIM 5A

- TAKEN FROM JOYANTHON DR. AND PERRY ST.
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 886; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 900'

PHOTO SIM 5B

- TAKEN FROM JOYANTHON DRIVE NORTH OF TOWER LOCATION
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 897; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 450'

PHOTO SIM 6

- TAKEN FROM JOYANTHON DR. AND LATHAM DRIVE
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 888; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 1000'

PHOTO SIM 7

- TAKEN FROM W. BELLINE HWY 12 / 14
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 887; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 1000'

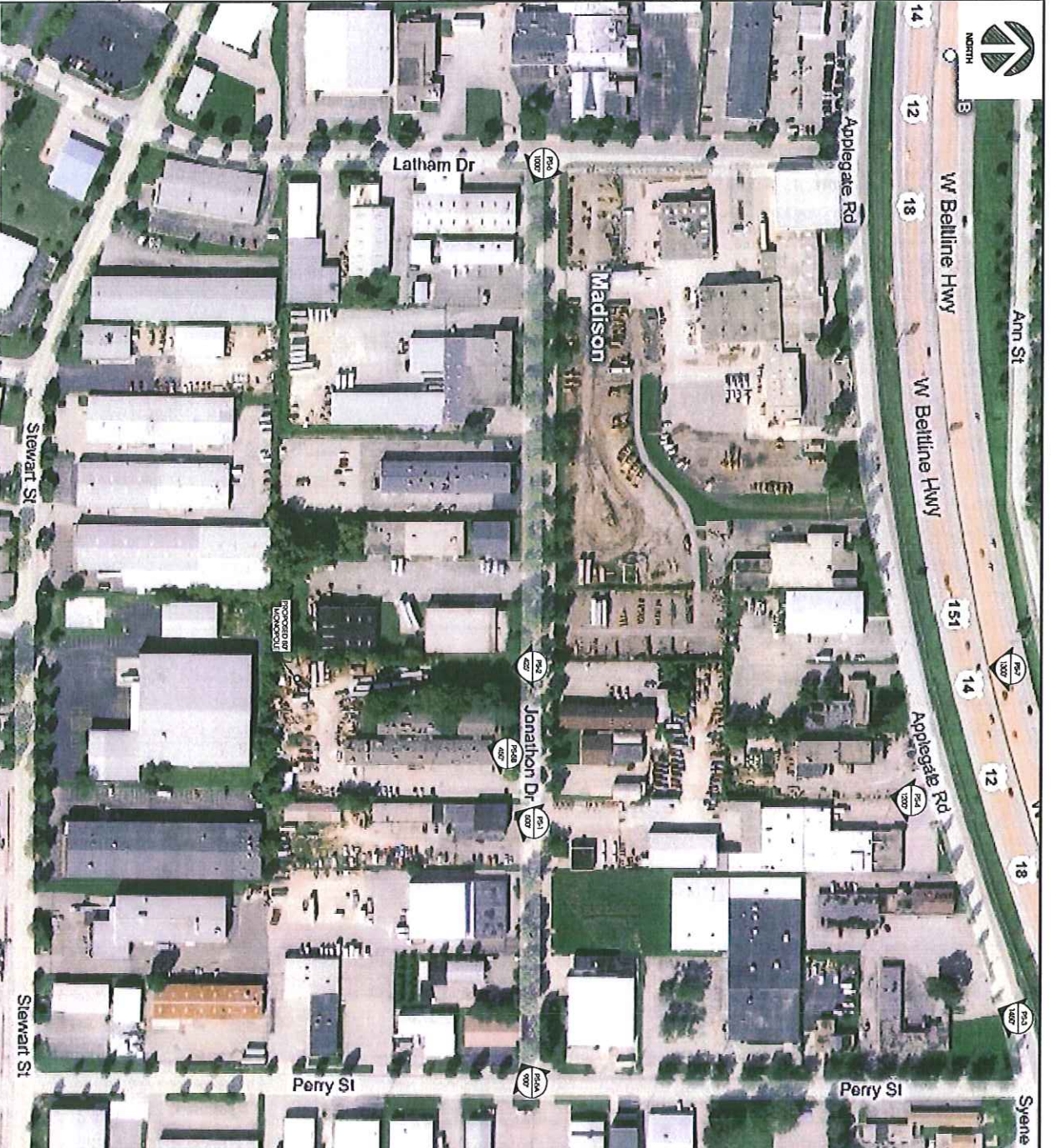


PHOTO SIM 1

- TAKEN FROM JOYANTHON DR. NORTHEAST OF TOWER LOCATION
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 898; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 500'

PHOTO SIM 2

- TAKEN FROM JOYANTHON DR. NORTH OF TOWER LOCATION
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 895; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 425'

PHOTO SIM 3

- TAKEN FROM APPLEGATE AND SYENE ROAD
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 897; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 1450'

PHOTO SIM 4

- TAKEN FROM APPLEGATE ROAD
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 889; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 1200'

PHOTO SIM 5A

- TAKEN FROM JOYANTHON DR. AND PERRY ST.
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 886; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 900'

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- TAKEN FROM JOYANTHON DRIVE NORTH OF TOWER LOCATION
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 897; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 450'

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- TAKEN FROM JOYANTHON DR. AND LATHAM DRIVE
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PHOTO SIM 7

- TAKEN FROM W. BELLINE HWY 12 / 14
- APPROXIMATE ELEVATION OF PHOTOGRAPH LOCATION
- GROUND ELEVATION: 887; TOWER ELEVATION: 897
- DISTANCE TO TOWER: 1000'

PHOTO SIMULATION

GREENWAY [#782514]

MADISON, WISCONSIN

624 Wicker Street
P.O. Box 65, Rock, WI 53153
608.264.1470 voice
608.244.1547 fax
www.edgecons.com

<p>DATE: 08/11/2009</p> <p>PROJECT: GREENWAY</p> <p>SHEET: 14 OF 15</p>	<p>SCALE: AS SHOWN</p> <p>DATE: 08/11/2009</p> <p>PROJECT: GREENWAY</p> <p>SHEET: 14 OF 15</p>									
<p>DESIGNED BY: JMT</p> <p>CHECKED BY: JMT</p> <p>PROJECT NO: 08/11/2009</p> <p>PROJECT NAME: GREENWAY</p> <p>FILE NAME: 08/11/2009</p> <p>SCALE: AS SHOWN</p>	<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION						
NO.	DATE	DESCRIPTION								

AS-1

Photo Simulation

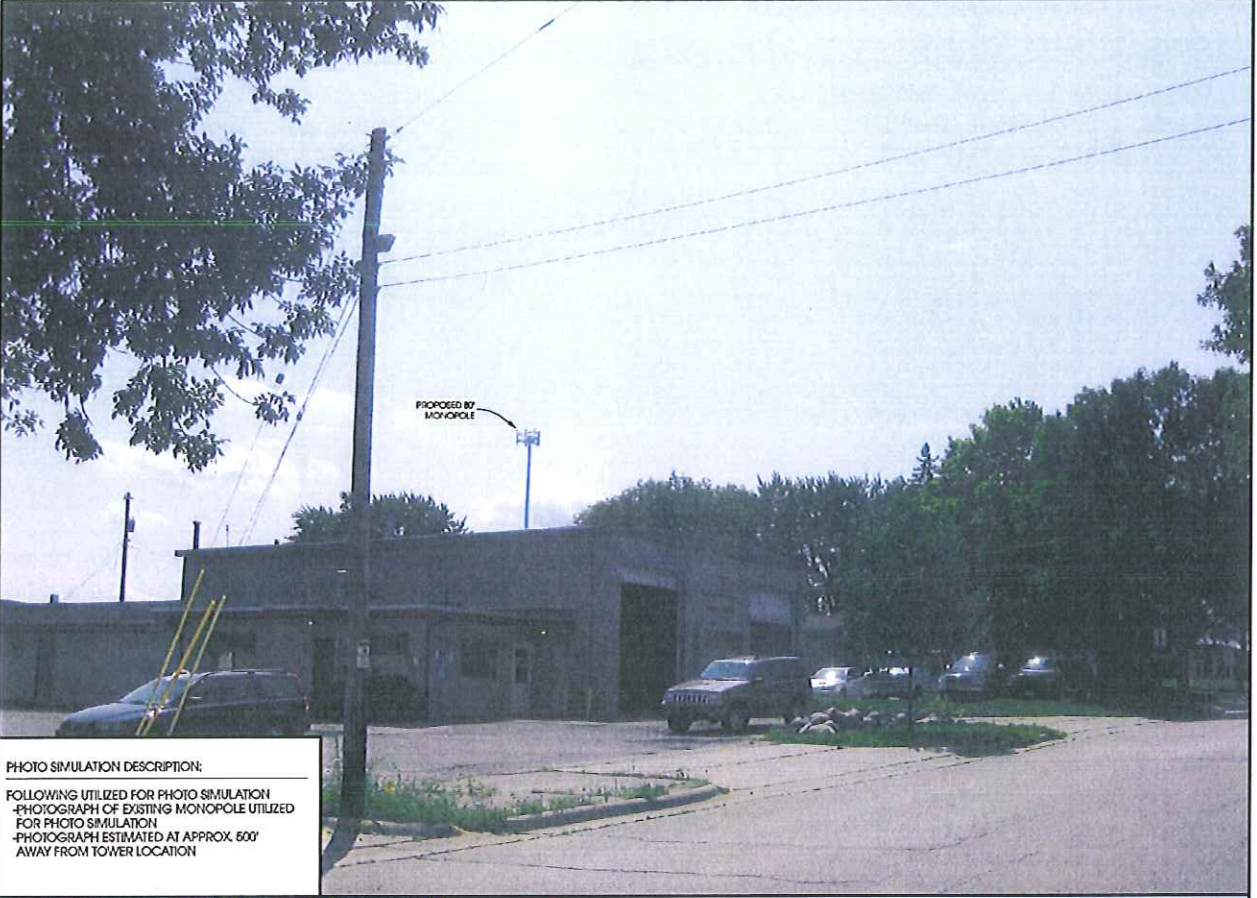


PHOTO SIMULATION DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH OF EXISTING MONOPOLE UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 500' AWAY FROM TOWER LOCATION



ACTUAL PHOTO DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -EXISTING PHOTOGRAPH FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 500' AWAY FROM TOWER LOCATION

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SHEET NUMBER	PS-1
DATE	
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CLIENT NAME	
ENGINEER	
CHECKED BY	
DATE	
PROJECT NUMBER	
DATE	
FILE NAME	
SCALE	
REVISIONS	
DATE	
BY	
DESCRIPTION	

PHOTO SIMULATION
GREENWAY [#782514]
MADISON, WISCONSIN

Edge
 Consulting Engineers, Inc.
 624 Water Street
 P.O. Box 1100, WI 53578
 608.544.1497 voice
 608.544.1547 fax
 www.edgecorp.com



PHOTO SIMULATION DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH OF EXISTING MONOPOLE UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 425' AWAY FROM TOWER LOCATION



ACTUAL PHOTO DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -EXISTING PHOTOGRAPH FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 425' AWAY FROM TOWER LOCATION

© 2002 CONSULTING ENGINEERS, INC. PS-2	SHEET NUMBER	DATE	DESIGNED BY	CHECKED BY	DRAWN BY	DATE	SCALE	PROJECT NAME	PROJECT NUMBER	FILE NAME	PLT NUMBER	SHEET TITLE
												PHOTO SIMULATION GREENWAY (#782514) MADISON, WISCONSIN

PHOTO SIMULATION GREENWAY (#782514) MADISON, WISCONSIN

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 Consulting Engineers, Inc.
 624 Water Street
 Peck du Soc, WI 53578
 608.544.1449 voice
 608.544.1549 fax
 www.edgecons.com

PS-3 (1 of 3) (1 of 3) (1 of 3)



PHOTO SIMULATION DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH OF EXISTING MONOPOLE UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 1450' AWAY FROM TOWER LOCATION



ACTUAL PHOTO DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -EXISTING PHOTOGRAPH FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 1450' AWAY FROM TOWER LOCATION

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PS-3	SHEET NUMBER	DATE	BY	CHECKED BY	PROJECT NAME	PROJECT NUMBER	APP.	FILE NUMBER	DATE
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	DATE	BY	CHECKED BY	PROJECT NAME	PROJECT NUMBER	APP.	FILE NUMBER	DATE	
	DATE	BY	CHECKED BY	PROJECT NAME	PROJECT NUMBER	APP.	FILE NUMBER	DATE	

PHOTO SIMULATION
 GREENWAY [#782514]
 MADISON, WISCONSIN

Edge
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 P.O. Box 1649
 Madison, WI 53708
 608.264.1547
 www.edgecons.com

1/20/14 4:40:40 PM 1/25/14



PHOTO SIMULATION DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH OF EXISTING MONOPOLE UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 1200' AWAY FROM TOWER LOCATION



ACTUAL PHOTO DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -EXISTING PHOTOGRAPH FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 1200' AWAY FROM TOWER LOCATION

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PS-4

PROJECT NUMBER	
SHEET NUMBER	
DATE	
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DRAWN BY	
CHECKED BY	
DATE PLOTTED	
PROJECT NUMBER	
FILE NAME	
VERSION	

REVISED DATE	
REVISION NUMBER	
DESCRIPTION	

SHEET TITLE	
PROJECT NUMBER	

PHOTO SIMULATION
GREENWAY [#782514]
MADISON, WISCONSIN

Edge
 Consulting Engineers, Inc.
 624 Water Street
 P.O. Box 1649
 Madison, WI 53716
 608-544-1449 voice
 608-544-1549 fax
www.edgecons.com



PHOTO SIMULATION DESCRIPTION:

FOLLOWING UTILIZED FOR PHOTO SIMULATION
 PHOTOGRAPH OF EXISTING MONOPOLE UTILIZED
 FOR PHOTO SIMULATION
 PHOTOGRAPH ESTIMATED AT APPROX. 900'
 AWAY FROM TOWER LOCATION

PHOTO SIMULATION #5A

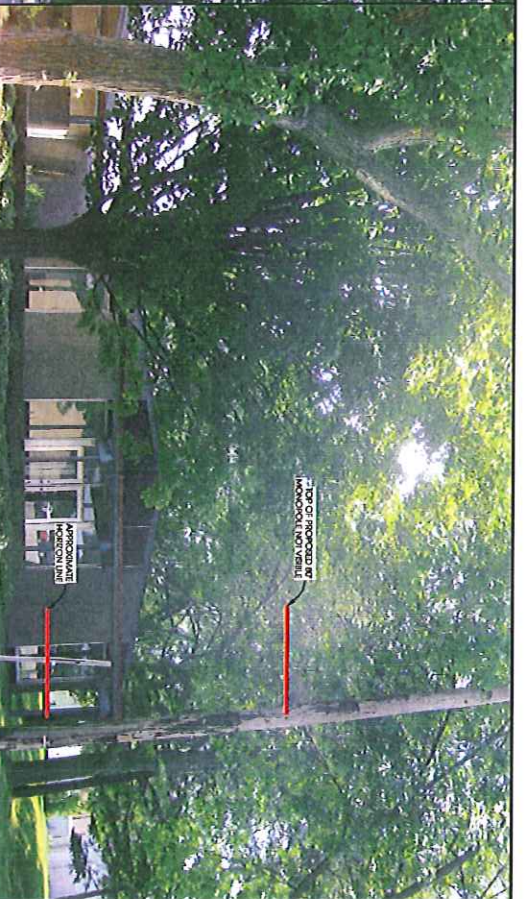


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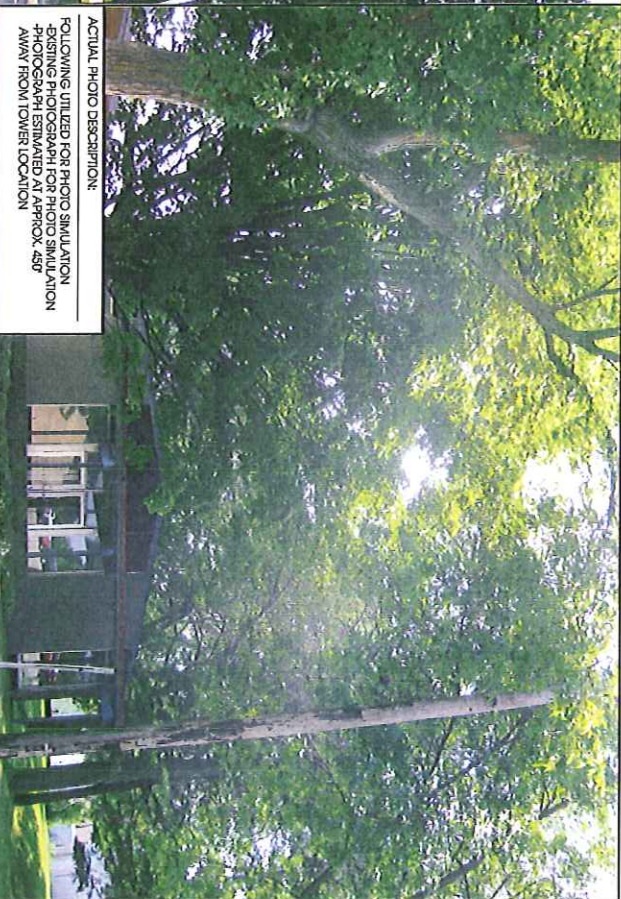
FOLLOWING UTILIZED FOR PHOTO SIMULATION
 PHOTOGRAPH OF EXISTING MONOPOLE UTILIZED
 FOR PHOTO SIMULATION
 PHOTOGRAPH ESTIMATED AT APPROX. 450'
 AWAY FROM TOWER LOCATION

PHOTO SIMULATION #5B



ACTUAL PHOTO DESCRIPTION:

FOLLOWING UTILIZED FOR PHOTO SIMULATION
 EXISTING PHOTOGRAPH FOR PHOTO SIMULATION
 PHOTOGRAPH ESTIMATED AT APPROX. 900'
 AWAY FROM TOWER LOCATION



ACTUAL PHOTO DESCRIPTION:

FOLLOWING UTILIZED FOR PHOTO SIMULATION
 EXISTING PHOTOGRAPH FOR PHOTO SIMULATION
 PHOTOGRAPH ESTIMATED AT APPROX. 450'
 AWAY FROM TOWER LOCATION

DATE	1/27/2017
PROJECT NUMBER	782514
FILE NUMBER	PS-5
SHEET NUMBER	1
DATE	1/27/2017
PROJECT NUMBER	782514
FILE NUMBER	PS-5
SHEET NUMBER	1
DATE	1/27/2017
PROJECT NUMBER	782514
FILE NUMBER	PS-5
SHEET NUMBER	1

**PHOTO SIMULATION
 GREENWAY [#782514]
 MADISON, WISCONSIN**

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 Pocke du Soc, WI 53578
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 608.544.5479 fax
 www.edgecorp.com



PHOTO SIMULATION #6

PHOTO SIMULATION DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH OF EXISTING MONOPOLE UTILIZED FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 1000' AWAY FROM TOWER LOCATION



ACTUAL PHOTO DESCRIPTION:
 FOLLOWING UTILIZED FOR PHOTO SIMULATION
 -EXISTING PHOTOGRAPH FOR PHOTO SIMULATION
 -PHOTOGRAPH ESTIMATED AT APPROX. 1000' AWAY FROM TOWER LOCATION

PROJECT NUMBER	
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APP. DATE	
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APP. DATE	
FILE NAME	
PROJECT	
ENVIRONMENT	
SCALE	9'-0" TYP.
PHOTO DATE	
PHOTO LOCATION	

**PHOTO SIMULATION
 GREENWAY [#782514]
 MADISON, WISCONSIN**

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 624 Water Street
 Pickle du Sac, WI 53578
 608.644.1497 voice
 608.644.1549 fax
 www.edgecorp.com



PHOTO SIMULATION DESCRIPTION:
- FOLLOWING UTILIZED FOR PHOTO SIMULATION
- PHOTOGRAPH OF EXISTING MONOPOLE UTILIZED FOR PHOTO SIMULATION
- PHOTOGRAPH ESTIMATED AT APPROX. 1300' AWAY FROM TOWER LOCATION



ACTUAL PHOTO DESCRIPTION:
- FOLLOWING UTILIZED FOR PHOTO SIMULATION
- EXISTING PHOTOGRAPH FOR PHOTO SIMULATION
- PHOTOGRAPH ESTIMATED AT APPROX. 1300' AWAY FROM TOWER LOCATION

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PS-7

PROJECT NUMBER	
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BY	
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PHOTO SIMULATION GREENWAY [#782514] MADISON, WISCONSIN

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