



Location
4601 American Parkway

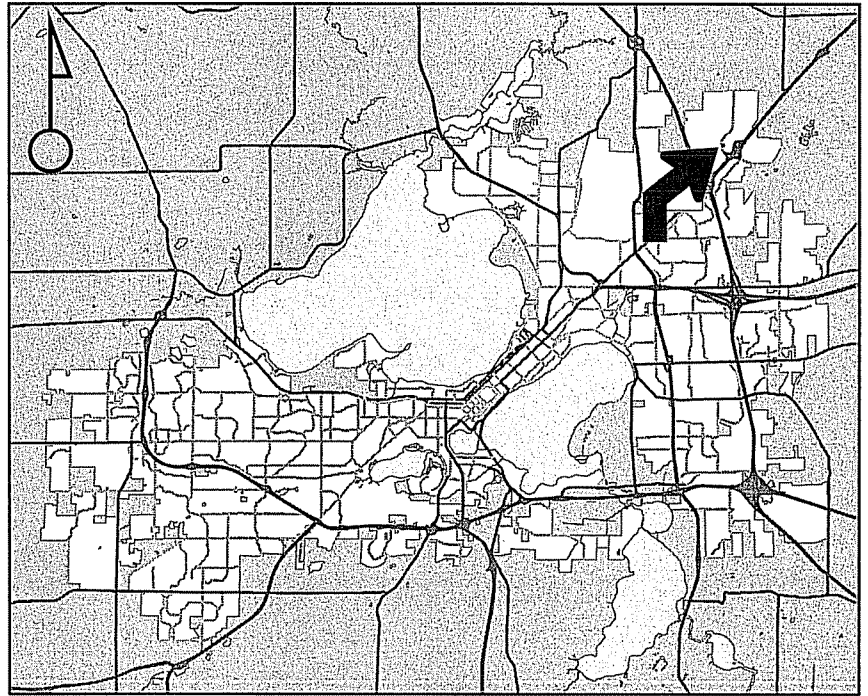
Project Name
Erin's Snug Irish Pub

Applicant
Jeff Schluter – Lead Dog, LLC/
Brian Stoddard – JGS Architects

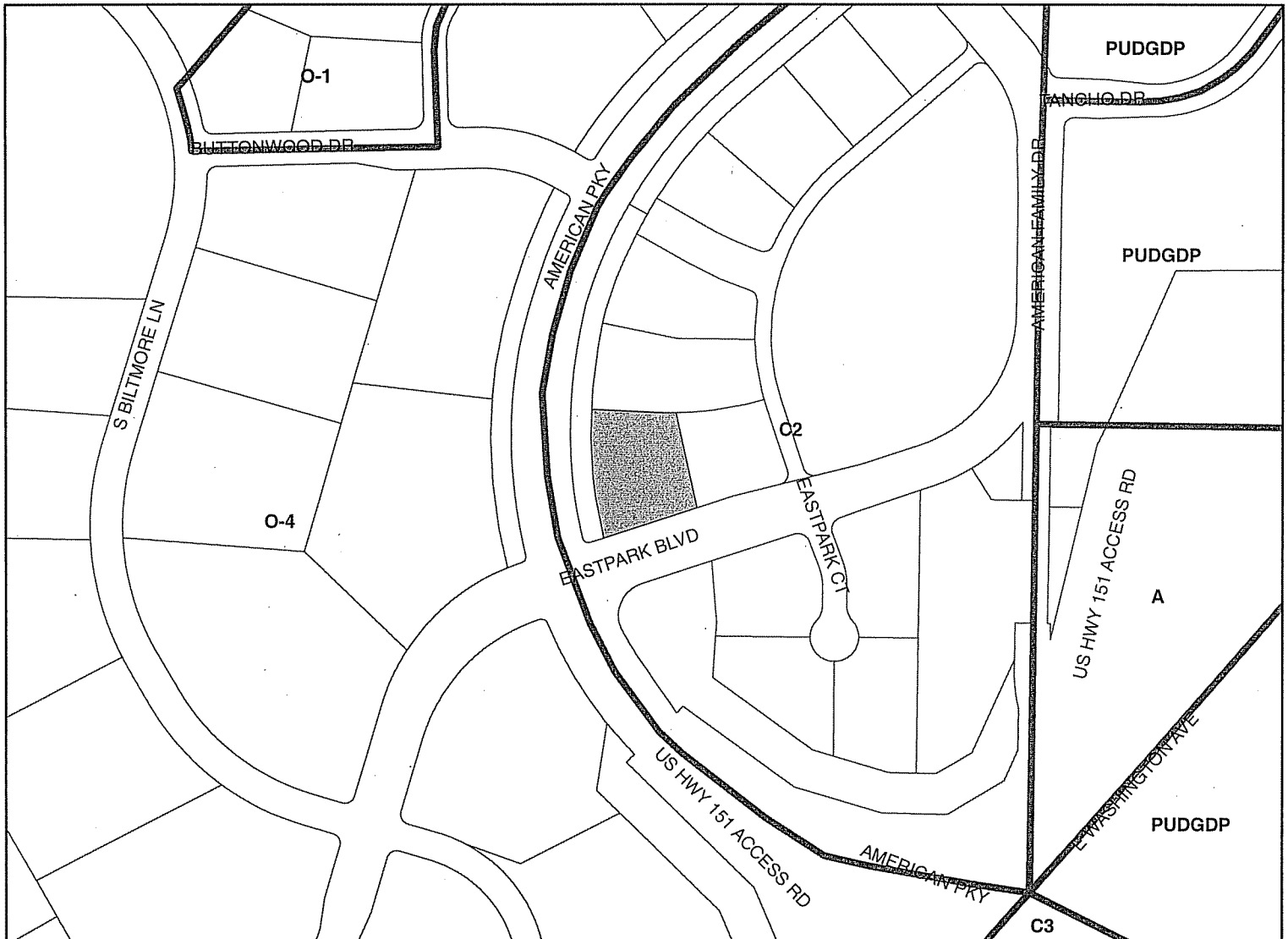
Existing Use
Vacant Land

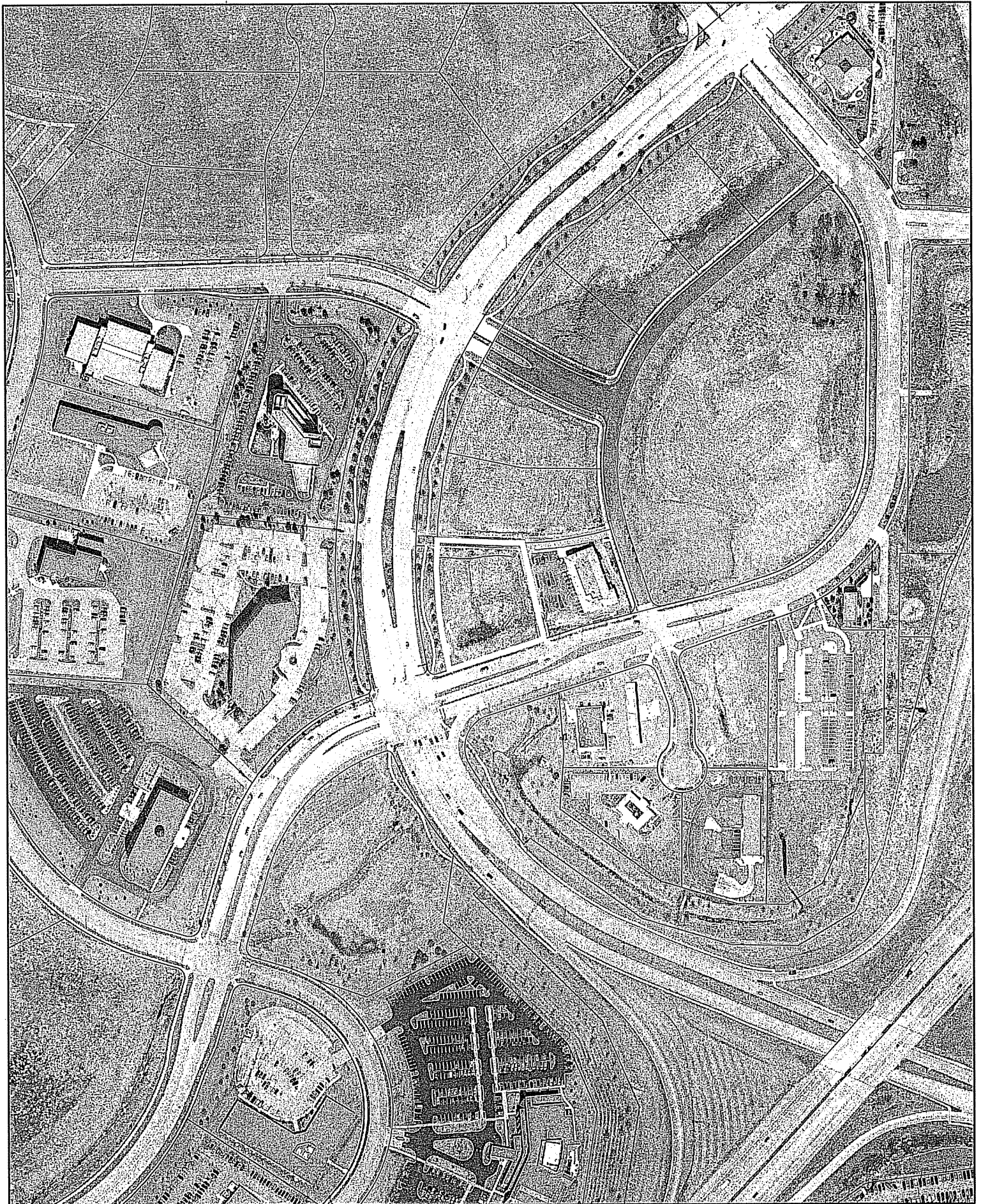
Proposed Use
Outdoor Eating Area for New Restaurant

Public Hearing Date
Plan Commission
21 August 2006



For Questions Contact: Bill Roberts at: 266-5974 or wroberts@cityofmadison.com or City Planning at 266-4635





12



July 11, 2006

Plan Commission
City of Madison
215 Martin Luther King Jr. Blvd.
Madison, WI 53701

Letter of Intent

Erin's Snug Irish Pub
4601 American Parkway
Lot 11
The American Plat First Addition

Project Description

The attached Land Use Application is for conditional use approval for an outdoor dining patio in a C2 zoning district.

The intent is to construct a new restaurant on currently vacant land located at the northeast corner of American Parkway and Eastpark Boulevard in The American Center Development located on the northeast edge of the City of Madison. This use is consistent with both the American Center land use plan, "commercial service complex – restaurant and entertainment" and the Rattman Neighborhood Development Plan land use plan, "retail/service".

This project has received approval from the American Center Project Review Committee.

Erin's Snug is a full service, sit-down pub/restaurant that offers an extensive menu focused primarily on lunch and dinner service with the potential to expand to include breakfast/brunch service. An outdoor dining option for patrons is an integral part of restaurant's operational goals and financial success. The patio space is integrated with the building architecture and creates a positive and inviting "street image".

The restaurant will have a seating capacity of approximately 220 people inside the restaurant and the outdoor dining area will seat approximately 50 people.

Restaurant operating hours will be from 10:30 am to 12:00 midnight, Sunday through Wednesday, and 10:30 am to 2:00 am Thursday through Saturday. If breakfast is added operating hours will begin at 6:30 am. Erin's has a "take-out" window for phone-in

orders. It does not offer "drive-up" or "drive-thru" service. Patrons will need to park and enter the building to pick-up their take-out orders.

Approximately 65 full and part-time employees will be needed to operate the restaurant.

Trash will be stored in an enclosed trash area constructed of materials that compliment the building. Trash will be removed weekly.

Snow removal and property maintenance will be preformed by private vendors.

Signage will be reviewed under a separate submittal.

The anticipated construction schedule is to start construction in late summer 2006 and have the restaurant operational in four to five months.

Project Data

Lot Area – 63,681 sf or 1.46 acres

Building Square Footage

Main Level Restaurant and Kitchen	8253 sf
Basement Storage	2317 sf
Outdoor Patio	1079 sf
Total	11,649 sf

Parking

Required	81 stalls
Provided	81 stalls

(see site plan for additional information)

Project Team

Owner:

Lead Dog, LLC.
510 Main Street
Plain, WI 53577
608-326-2237
Jerry Waller

Architect:

JGS Architects, Inc.
102 S. Washington Street
Spring Green, WI 53588
608-588-3691
Brian Stoddard

Civil Engineer:

Calkins Engineering, LLC
5010 Voges Road
Madison, WI 53718
608-838-0444
Dave Glusick

Landscape Architect:

Landscape Architecture
5806 South Hill Drive
Madison, WI 53705
608-233-6909
Joe Hanauer



LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning applications should be filed directly with the Zoning Administrator.

R OFFICE USE ONLY:	
Amt. Paid <u>\$ 650⁰⁰</u>	Receipt No. <u>72506</u>
Date Received <u>7-12-06</u>	
Received By <u>RT</u>	
Parcel No. <u>0810-221-0105-0</u>	
Aldermanic District <u>17, Santiago ROSAS</u>	
GQ <u>OK</u>	
Zoning District <u>C2</u>	
For Complete Submittal	
Application <u>✓</u>	Letter of Intent <u>✓</u>
IDUP <u>N/A</u>	Legal Descript. <u>✓</u>
Plan Sets <u>✓</u>	Zoning Text <u>N/A</u>
Alder Notification <u>✓</u>	Waiver <u> </u>
Ngrhd. Assn Not. <u>✓</u>	Waiver <u> </u>
Date Sign Issued <u>7-12-06</u>	

1. Project Address: 4601 AMERICAN PARKWAY Project Area in Acres: 1.46
Project Title (if any): ERIN'S SNUG IRISH PUB

2. This is an application for: (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)	
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/ PCD-SIP
<input type="checkbox"/> Rezoning from _____ to PUD/ PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit
<input type="checkbox"/> Other Requests (Specify): _____	

3. Applicant, Agent & Property Owner Information:

Applicant's Name: JEFF SCHLUTER Company: LEAD DOG, LLC
Street Address: 510 MAIN STREET City/State: PLAIN, WI Zip: _____
Telephone: (608) 546-2671 Fax: (608) 546-2107 Email: JEFFRY@SCHLUTERCONST.COM

Project Contact Person: BRIAN STODDARD Company: JGS ARCHITECTS, INC
Street Address: 102 S. WASHINGTON ST. City/State: SPRING GREEN, WI Zip: 53588
Telephone: (608) 588-3691 Fax: (608) 588-3582 Email: BRIAN.STODDARD@JGSARCHITECTS.COM

Property Owner (if not applicant): - SAME -
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: NEW RESTAURANT, FULL SERVICE, OUTDOOR DINING PATIO, PARKING LOT.

Development Schedule: Commencement SUMMER 2006 Completion FALL 2006

CONTINUE →

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail.
- Filing Fee: \$ 650.00** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing buildings, **photos** of the interior and exterior of the structure(s) to be demolished shall be submitted with your application. Be advised that a **Reuse and Recycling Plan** approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits. *N/A*
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials. *N/A*
- A **Zoning Text** must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals. *N/A*

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of the: BATTMAN NEIGHBORHOOD DEV. Plan, which recommends: SERVICE/RETAIL for this property.

- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Santiago Rosas - American Center - Brad Bailey Contacted Santiago Rosas *MAY-CALLED + SCHEDULE AT*

NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner BILL ROBERTS Date 7/6/06 | Zoning Staff KATHY VOECK Date 7/6/06

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name JEFF Schluter Date 7/11/06
Signature Jeff Schluter Relation to Property Owner CO-OWNER

Authorizing Signature of Property Owner Jeff Schluter Date 7-11-06 12

SITE DATA

LOT 11, 4601 AMERICAN PARKWAY
THE AMERICAN PLAT FIRST ADDITION
CITY OF MADISON, DANE COUNTY

ZONING: C-2
LOT AREA: 63,795.80 S.F. (1.46 ACRES)
BUILDING AREA:
PROPOSED: 11,649 S.F. (0.18 F.A.R.)
IMPERVIOUS AREA:
PROPOSED: 46,770 S.F. (0.75 I.S.R.)

SETBACKS: PER SITE PLAN

SEATING CAPACITY: 199 INSIDE SEATING
23 INSIDE STANDING
48 OUTSIDE
270 TOTAL

MIN. PARKING STALLS: 81
MAX. PARKING STALLS: 162
PARKING STALLS PROVIDED: 81 (4 ACCESSIBLE)

AREAS:
INTERIOR DINING/ BAR: 6,533 S.F.
KITCHEN/ STORAGE: 1,900 S.F.
BASEMENT STORAGE: 2,317 S.F.
EXTENSION PATIO SEATING: 1,079 S.F.
TOTAL AREA: 11,649 S.F.

OWNER

LEAD DGS, LLC
510 MAIN STREET
PO BOX 1024
SPRING GREEN, WISCONSIN 53587
608-326-2327
ATTN: JERRY WALLER

ARCHITECTURE

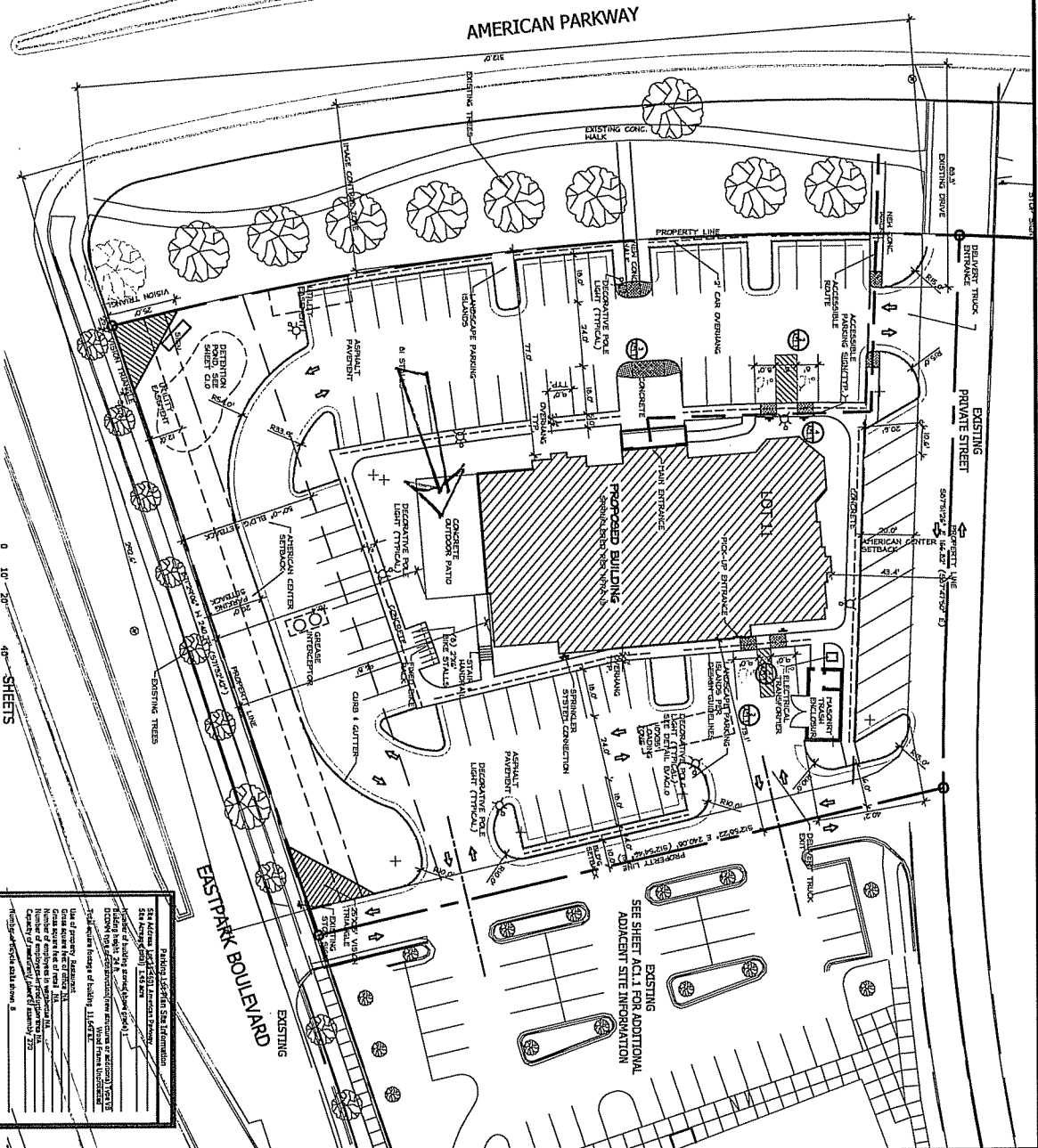
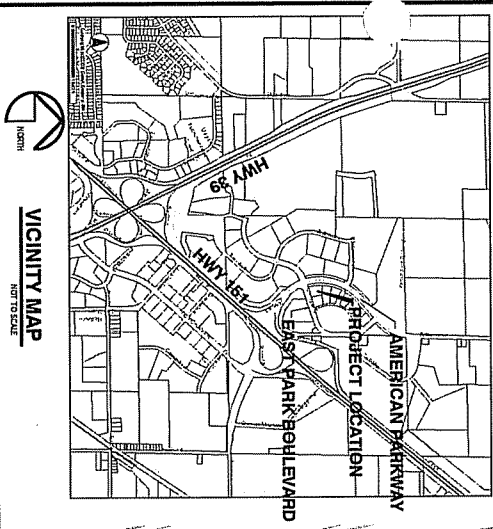
J&S ARCHITECTS, INC.
102 SOUTH WASHINGTON STREET
PO BOX 1024
SPRING GREEN, WISCONSIN 53588
PH: 608-588-3691
FAX: 608-588-3582
ATTN: BRIAN STODDARD

LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECTURE
840 SOUTH HANCOCK DRIVE
MADISON, WISCONSIN 53705
PH: 608-233-6999
FAX: 608-233-6941
ATTN: JOE HAWAUBER

CIVIL ENGINEER

CAKIGIS ENGINEERING, LLC
5000 GREAT NECK ROAD
MADISON, WISCONSIN 53718
PH: 608-838-1400
FAX: 608-838-0445
ATTN: DAVE GLUSICK



Site Plan

SCALE: 1" = 20'-0"

- SHEETS**
- AC1.0 SITE PLAN
 - AC1.1 AREA SITE PLAN/FIRE DEPT. PLAN
 - LI.0 GRADING PLAN
 - LI.1 LANDSCAPE PLAN
 - PI.0 SITE PHOTO/METRIC PLAN
 - AL.0 FLOOR PLAN
 - A2.0 BUILDING ELEVATIONS

NO.	DESCRIPTION	DATE
1	PRELIMINARY SITE PLAN	7-12-2005
2	FINAL SITE PLAN	7-12-2005
3	GRADING PLAN	7-12-2005
4	LANDSCAPE PLAN	7-12-2005
5	FLOOR PLAN	7-12-2005
6	BUILDING ELEVATIONS	7-12-2005

Erin's Snug
Madison, Wisconsin

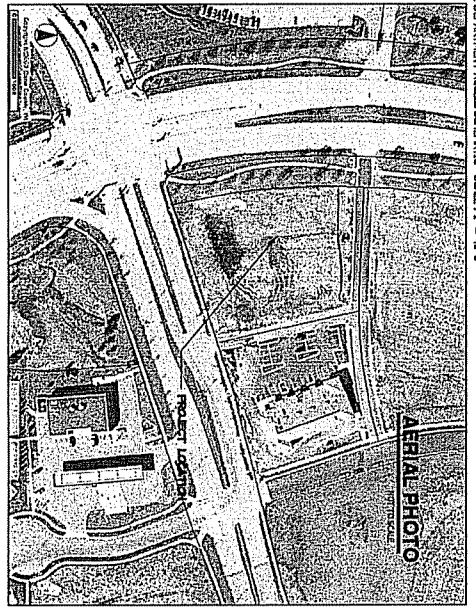
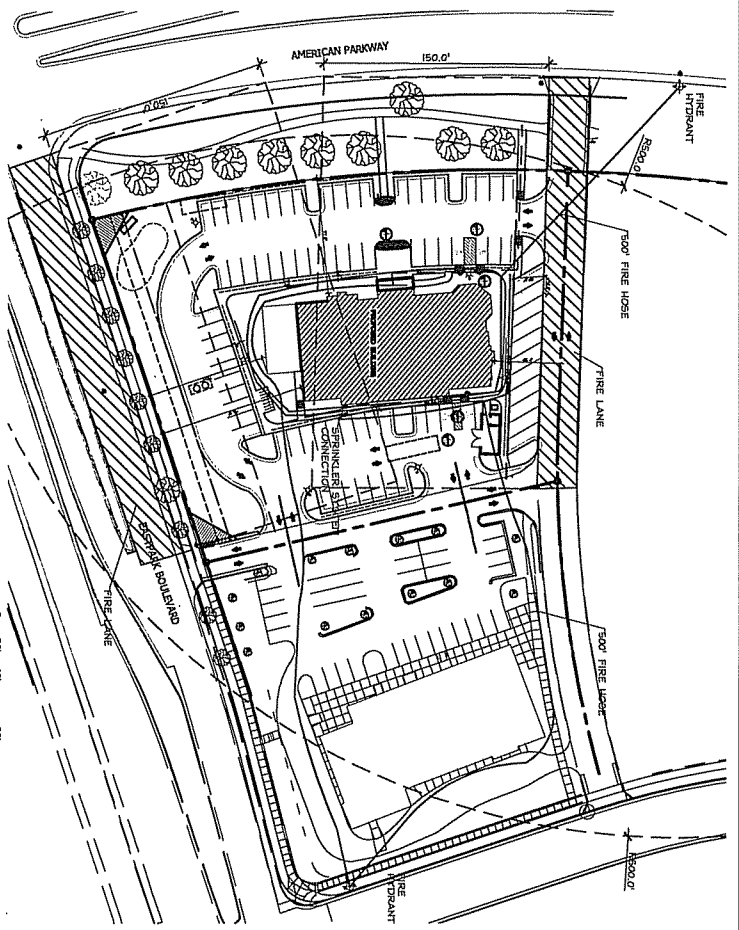
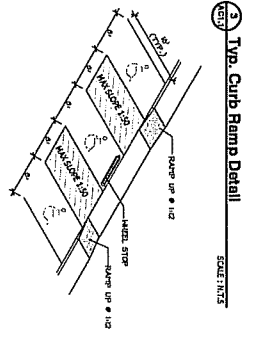
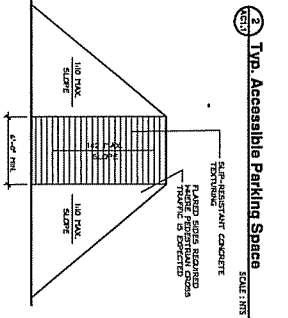
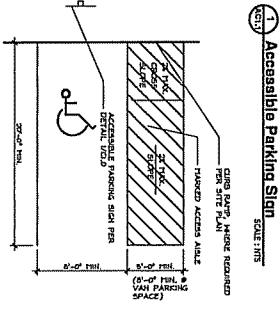
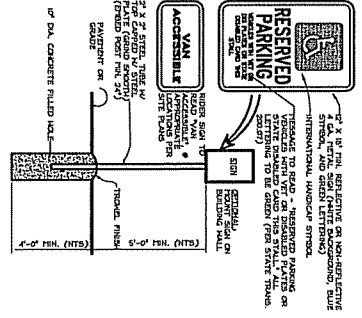
Date: 7-12-2005

Project Number: 0615

Sheet No: AC1.0

J&S ARCHITECTS INC.

1024 South Washington Street
Spring Green, WI 53587
Phone: 608-588-3691
Fax: 608-588-3582



A Area Site Plan
 AC1.1 FIRE DEPARTMENT ACCESS SCHEMATIC SCALE: 1" = 40'-0"

JGS ARCHITECTS INC.
 100 Lake Wisconsin
 Madison, WI 53711
 Phone: 608.261.9377 Fax: 608.261.9378

Erin's Snug
Madison, Wisconsin

DATE: 7-19-2006
 PROJECT: ERIN'S SNUG
 DRAWING TITLE: AREA SITE PLAN/FIRE DEPT. ACCESS SCHEMATIC
 PROJECT NUMBER: 0615
 SHEET NO.: AC1.1



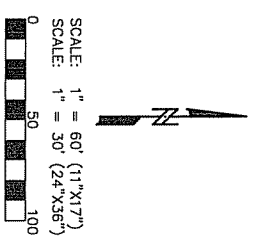
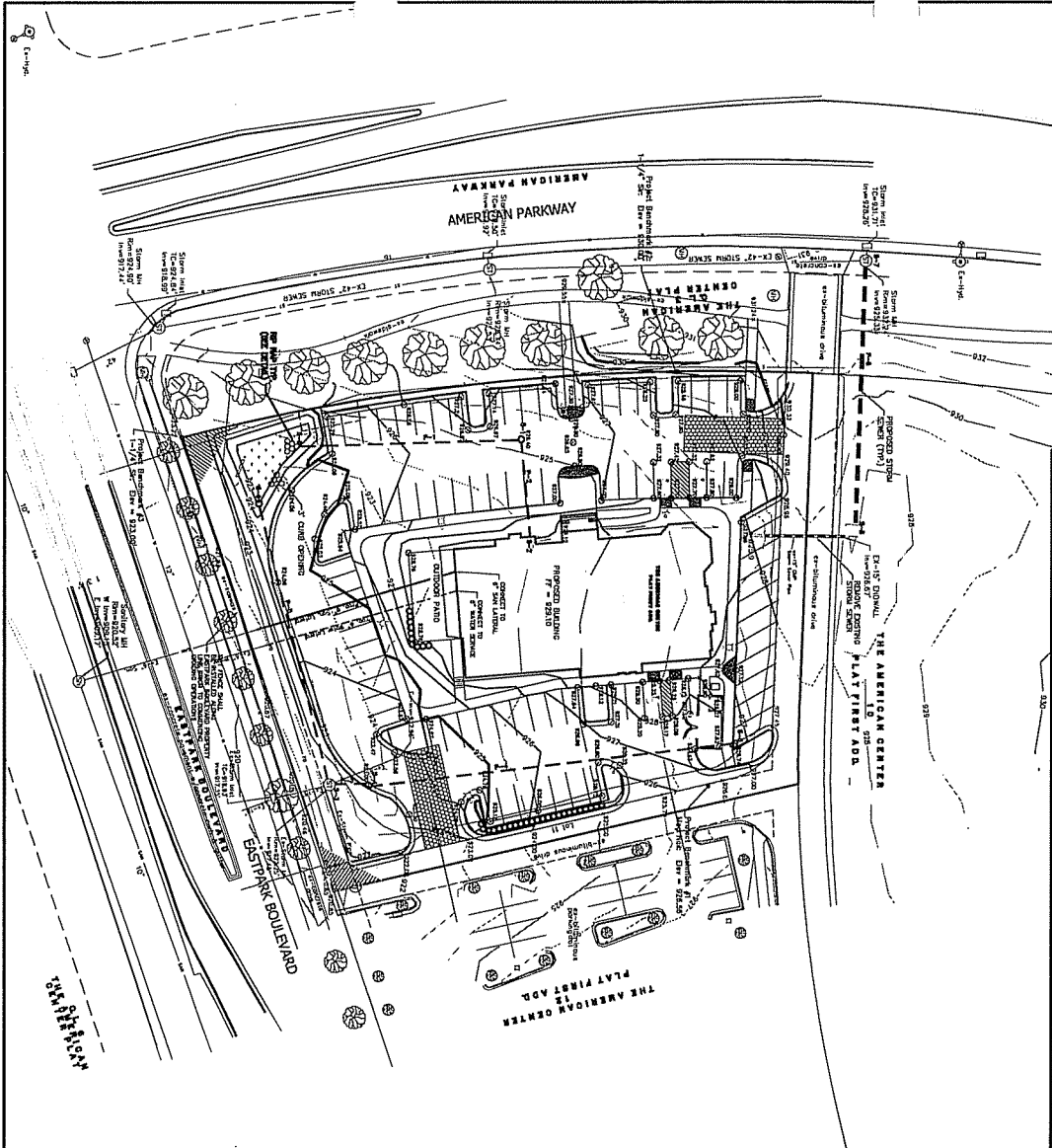
STORM SEWER STRUCTURE SCHEDULE:

NO.	TYPE	DEPT. OF	INVERT	DEPTH	PIECE
S-1	12" CONCRETE	928.40	928.40	2.01	P-2057
S-2	12" CONCRETE	928.40	928.40	2.01	P-2057
S-3	12" CONCRETE	928.40	928.40	2.01	P-2057
S-4	12" CONCRETE	928.40	928.40	2.01	P-2057
S-5	12" CONCRETE	928.40	928.40	2.01	P-2057
S-6	12" CONCRETE	928.40	928.40	2.01	P-2057
S-7	12" CONCRETE	928.40	928.40	2.01	P-2057
S-8	12" CONCRETE	928.40	928.40	2.01	P-2057
S-9	12" CONCRETE	928.40	928.40	2.01	P-2057
S-10	12" CONCRETE	928.40	928.40	2.01	P-2057

NOTE: DATE AND LID TYPES REFERRED TO HEREIN SHALL BE PROVIDED BY THE CITY OF MADISON.
 *UNLIDED MANHOLE COVERS SHALL BE PROVIDED BY THE CITY OF MADISON.

STORM SEWER PIPE SCHEDULE:

NO.	FROM	TO	LENGTH	INVERT	OUTLET	PIPE	DIAMETER
S-1	928.40	928.40	117'	928.40	928.40	12"	12"
S-2	928.40	928.40	117'	928.40	928.40	12"	12"
S-3	928.40	928.40	117'	928.40	928.40	12"	12"
S-4	928.40	928.40	117'	928.40	928.40	12"	12"
S-5	928.40	928.40	117'	928.40	928.40	12"	12"
S-6	928.40	928.40	117'	928.40	928.40	12"	12"
S-7	928.40	928.40	117'	928.40	928.40	12"	12"
S-8	928.40	928.40	117'	928.40	928.40	12"	12"
S-9	928.40	928.40	117'	928.40	928.40	12"	12"
S-10	928.40	928.40	117'	928.40	928.40	12"	12"



- LEGEND:**
- STORM SEWER
 - STONE CONSTRUCTION ENTRANCE
 - BORERENTION BASIN
 - PROPOSED DRIVEWAY GRADE
 - PROPOSED PAVED DRIVEWAY GRADE
 - EXISTING SPOT GRADE

GENERAL NOTES:

1. STORM SEWERS SHALL BE INSTALLED FROM TO ANY EXISTING OPERATIONS AND MAINTAINED UNTIL SHOWN ELSEWHERE IS OTHERWISE INDICATED.

2. ALL STORM SEWERS SHALL BE INSTALLED ON THE LOW SIDE OF THE SITE ALONG WITH THE EXISTING UTILITY LINES.

3. ALL STORM SEWERS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD OF THIS PROJECT.

4. CONTRACTOR SHALL PROVIDE DESIGN CONTROL, INSPECTIONS, MONITORING AND RECORD KEEPING THROUGHOUT THE CONSTRUCTION PERIOD.

5. ALL WORK SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

6. CONTRACTOR SHALL OBTAIN A STREET CLOSURE PERMIT FROM THE CITY OF MADISON.

7. CONTRACTOR SHALL OBTAIN ALL NECESSARY SIGN CONNECTION PERMITS AND STREET CLOSURE PERMITS FROM THE CITY OF MADISON.

8. ALL EXISTING SEWER, WATER MAIN, AND STORM SEWERS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

9. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, LOCATION AND ELEVATION OF EXISTING UTILITIES.

10. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

11. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

12. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

13. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

14. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

15. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

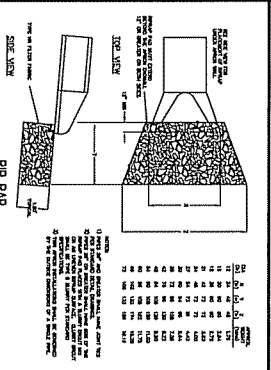
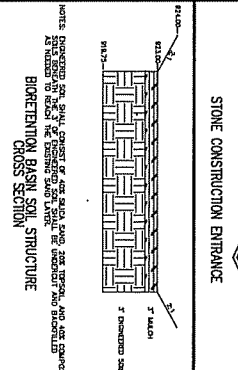
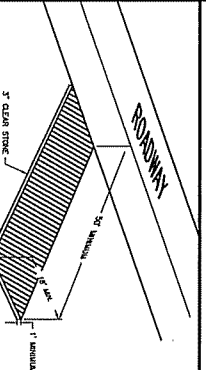
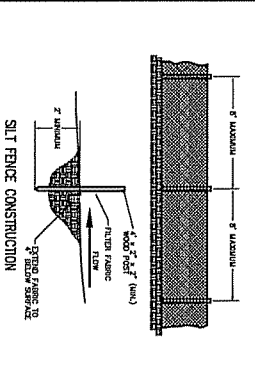
16. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

17. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

18. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

19. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.

20. PRIVATE DRIVEWAY SHALL BE 12'-0" WIDE.



EROSION CONTROL SCHEDULE:

EROSION CONTROL INSTALLATION: JULY 17, 2008

EROSION CONTROL PERMITS: JUNE 1, 2007

EROSION CONTROL PERMITS: JUNE 1, 2007

EROSION CONTROL PERMITS: JUNE 1, 2007

EROSION CONTROL PERMITS: JUNE 1, 2007

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EROSION CONTROL PERMITS: JUNE 1, 2007

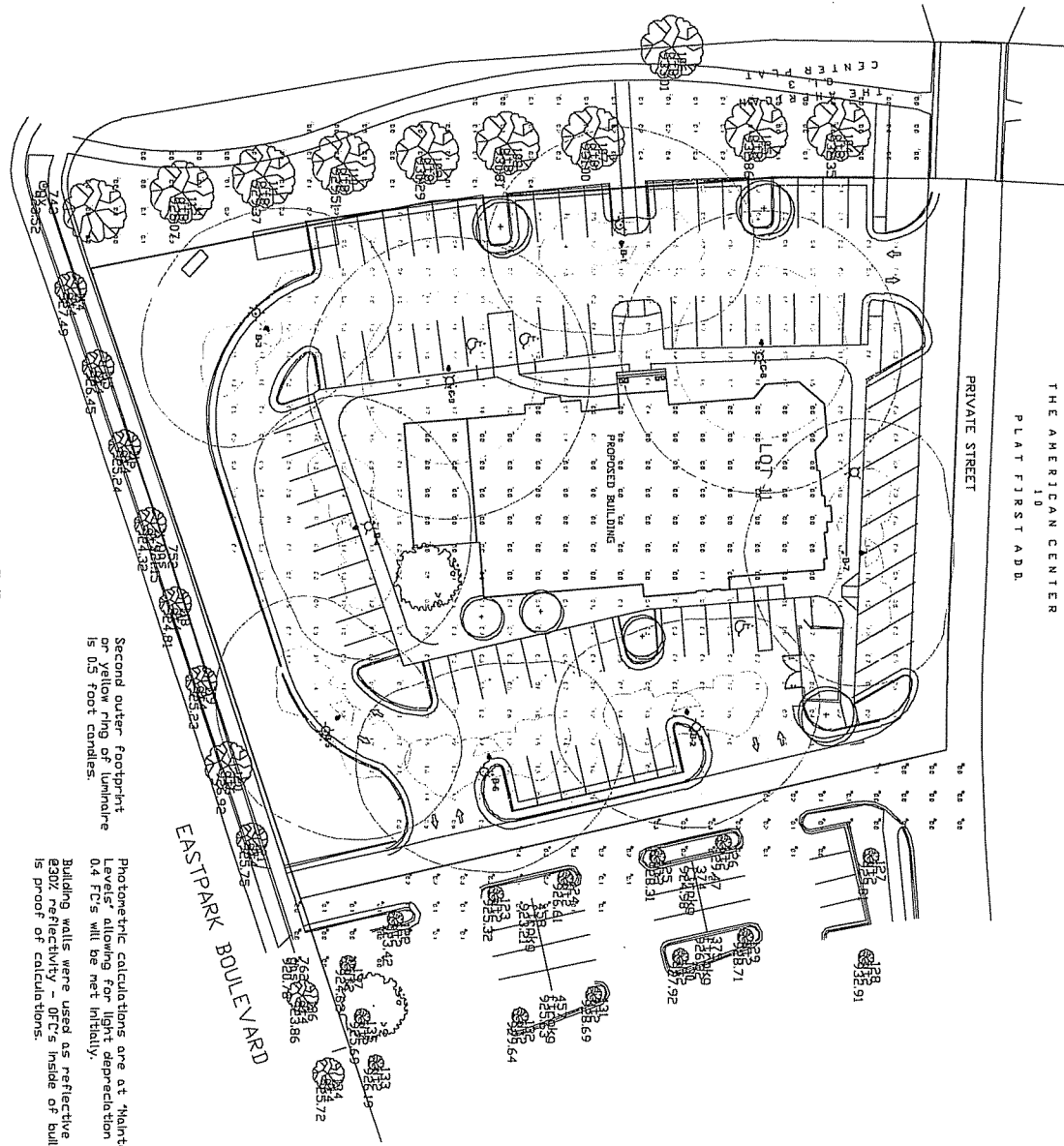
EROSION CONTROL PERMITS: JUNE 1, 2007

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EROSION CONTROL PERMITS: JUNE 1, 2007

EROSION CONTROL PERMITS: JUNE 1, 2007

EROSION CONTROL PERMITS: JUNE 1, 2007



THE AMERICAN CENTER
10
PLAT FIRST ADD.

Second outer footprint or yellow ring of luminaire is 0.5 foot candles.
Photometric calculations are at 'Maintained' levels, allowing for light depreciation over time. 0.4 FC's will be met initially.
Building walls were used as reflective surfaces and 20% reflectivity FC's inside of building is proof of calculations.

LUMINAIRE LOCATIONS

No.	Label	X	Y	Alt
1	B	280	280	16.0
2	B	241.9	203.8	16.0
3	B	91.2	86.0	16.0
4	B	166.8	106.9	16.0
5	B	243.2	121.6	16.0
6	B	284.1	102.1	16.0
7	B	177.2	202.2	16.0
8	C	106.3	292.2	16.0
9	C	117.2	352.9	16.0

STATISTICS

Parameter	Symbol	Avg	Max	Min
Foot Candles (ave)	Fc	0.1%	0.4%	0.2%
Foot Candles (max)	M	0.7%	2.8%	0.2%
Foot Candles (min)	M	0.1%	0.4%	0.2%

LUMINAIRE SCHEDULE

Grade	Label	Qty	Design/Number	Description	Lamp	Row	Spacing	LF	Watts
4	B	7	PARABOLIC/2X	PRIVATE	LOW CLEARANCE	4811/25	1000	0.81	150
4	C	2	PARABOLIC/2X	PRIVATE	LOW CLEARANCE	4811/25	1000	0.81	150

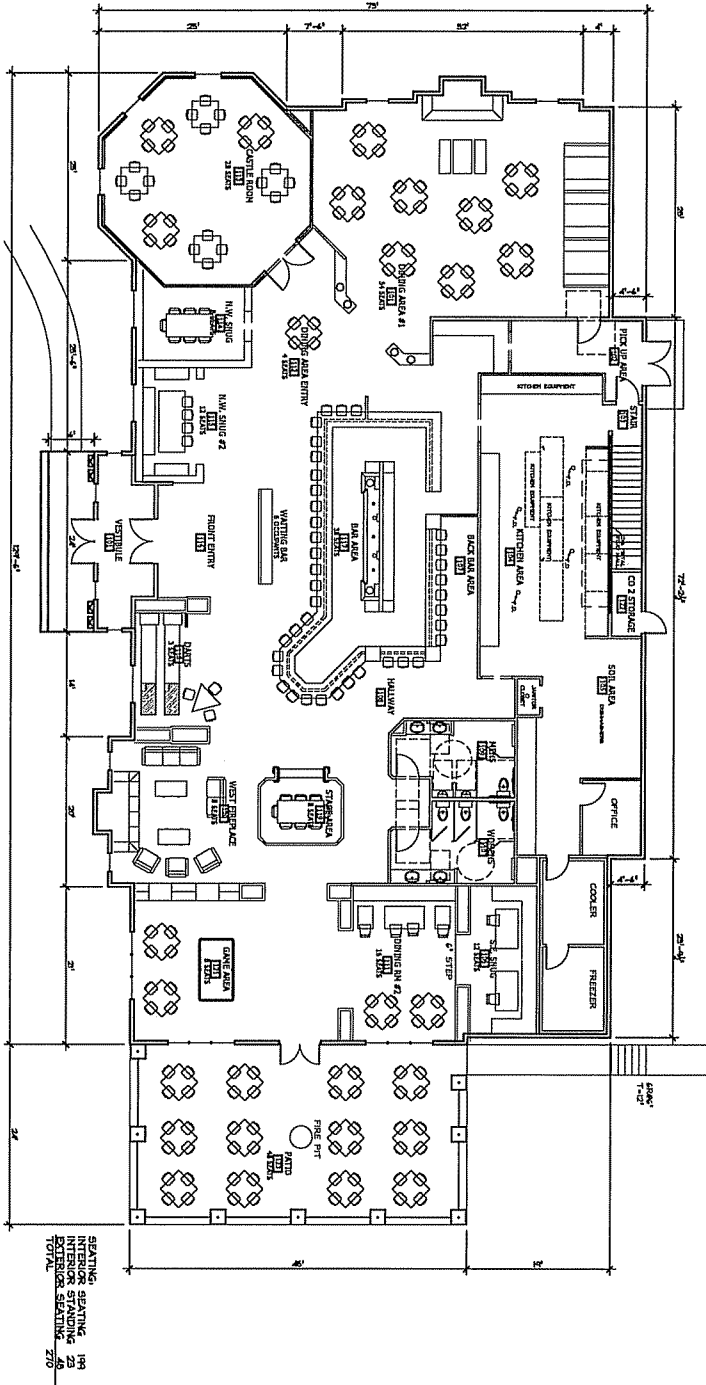


PARQUEE II LUMINAIRE
BISHOP'S SMOOK CROSSMAN
KAMMIRON
Ced American Lighting

HOLOPHANE
LEADER IN LIGHTING SOLUTIONS
An Acuity Brands Company

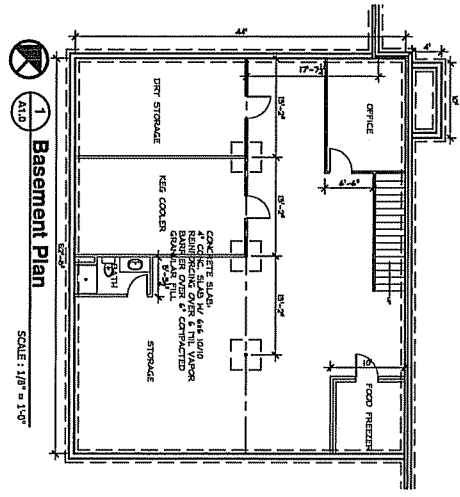
Erin's Snug
7@100 watts Asym & 2@150 watts Sym @ 16 feet
LLF .81

Designer
FIS
Date
Jun 5 2006
Scale
Drawing No.
1 of 1
Pl.0



2 Floor Plan

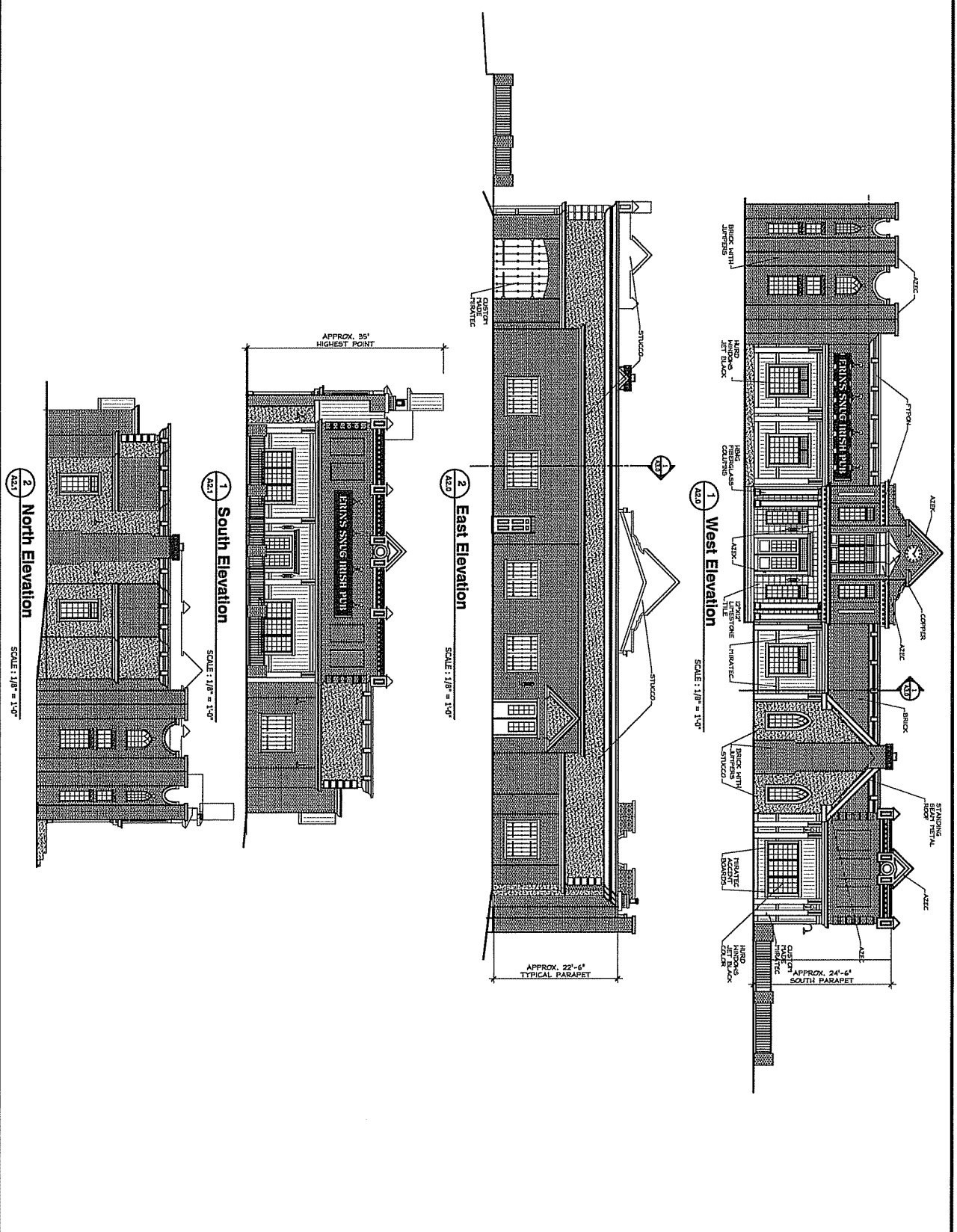
SCALE: 1/8" = 1'-0"



1 Basement Plan

SCALE: 1/8" = 1'-0"

<p>102 East Wisconsin Ave Suite 1000 Madison, WI 53703 Phone: (608) 261-1111 Fax: (608) 261-1112</p>	<p>Project Number: 0615</p>	<p>Sheet: A1.0</p>
	<p>Drawing Name: Floor Plan</p>	<p>Date: 7-12-2006</p>



<p>102 South W. Madison Ave. Madison, WI 53715 Phone: 608-233-0701 Fax: 608-233-1232</p>	<p>Erin's Snug Madison, Wisconsin</p>
	<p>DATE: 7-12-05 DRAWN BY: [blank] CHECKED BY: [blank] PROJECT NUMBER: 0615 SHEET NO.: A2.0</p>
<p>Elevations</p> <p>DRAWING NAME: [blank] PROJECT NUMBER: 0615 SHEET NO.: A2.0</p>	

12