

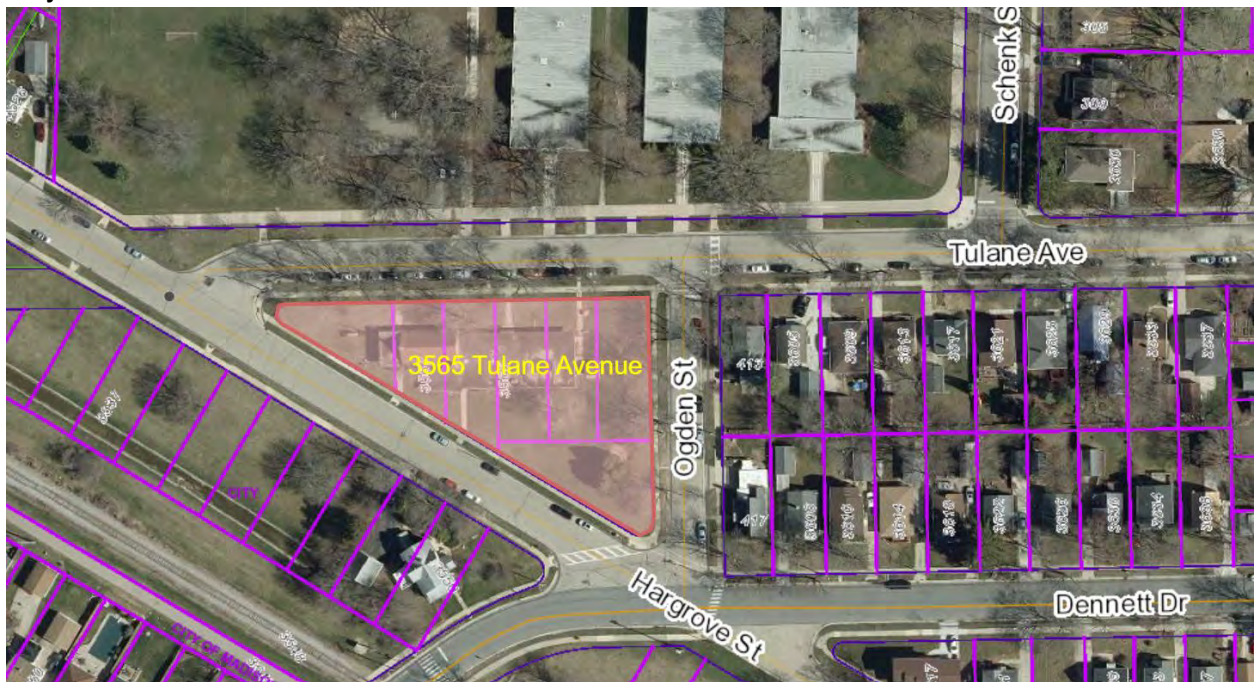
3565 Tulane Avenue CSM
Contract 9685
MUNIS 15922
Developer: Common Grace, LLC

The Developer, Common Grace, LLC, has received the City of Madison's conditional approval for a one-lot certified survey map and construction a two-story, 7,000 sq. ft. community center and three-story, 26-unit apartment building at 3565 Tulane Avenue.

Overview Project Location:



Project Location:

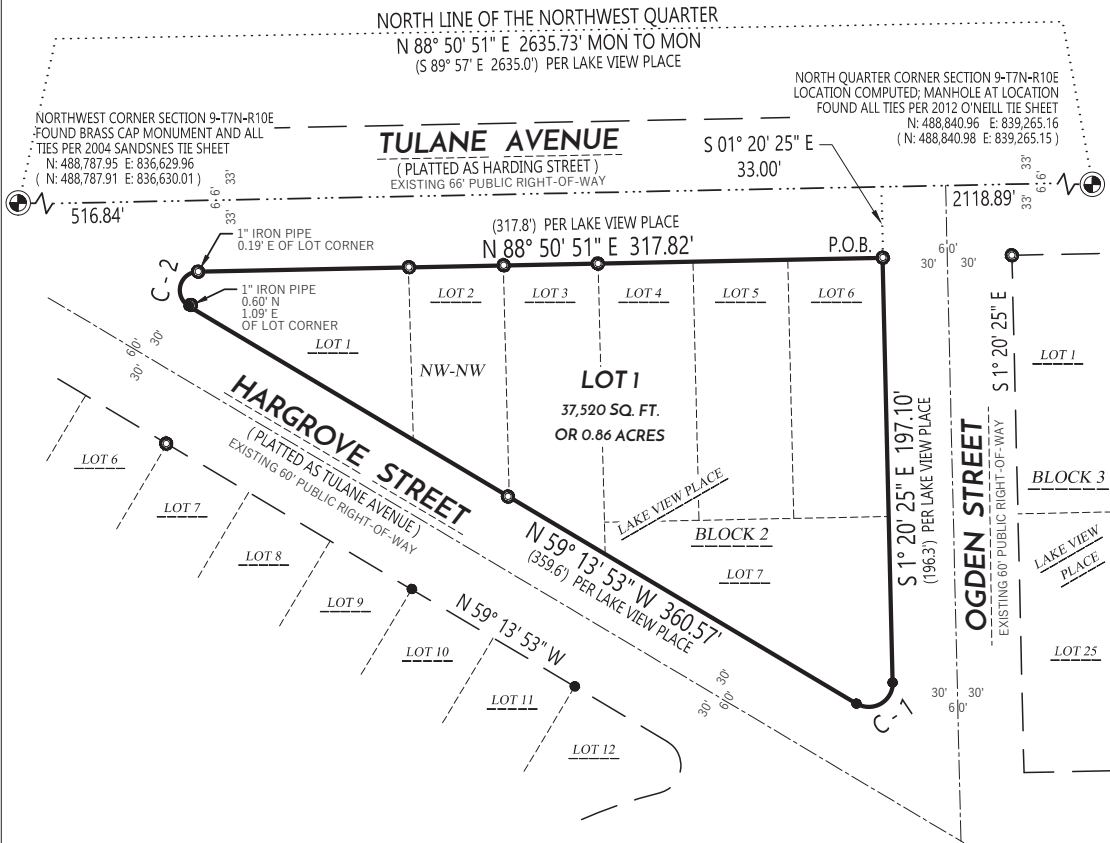


Summary of Improvements:

- Dedication of Right of Way or grant a Public Sidewalk Easement for and be responsible for the construction of a minimum five (5)-foot wide sidewalk, eight (8)-foot terrace, and additional one (1) foot for maintenance, where applicable, along the site frontage of Hargrove Street.
- Construction of a crosswalk across the Western leg of the Tulane Ave/Ogden St intersection including the pedestrian ramps and pavement markings.
- Construct / reconstruct public sidewalk, street terrace, curb and gutter, and pavement on Tulane Avenue, Hargrove Street, and Ogden Street per plan approved by the City Engineer.
- Coordinate possible removal of a public storm sewer structure on Hargrove Street at Tulane Avenue.
- Provide public street terrace tree protection, removals, and plantings per City Forestry approvals. Install street terrace trees per City Forestry approvals and per plans approved by the City Engineer.
- Close abandoned driveways with curb and gutter. Construct new private drive entrance aprons per plans approved by the City Engineering and per the Commercial Driveway Permit approved by the City Traffic Engineer.
- Construct private sanitary, storm, and water service laterals necessary to serve the private redevelopment project per plans approved by the City Engineer.
- Protect existing public streetlights, electrical, and fiber facilities in the project area. Coordinate with City Traffic Engineering and City IT on relocations needed to facilitate construction.
- Coordinate with Traffic Engineering the replacement of the streetlight at the intersection of Hargrove Street and Tulane Avenue.
- Coordinate project access, street closures, and street occupancy with other projects in the area and as approved by City Traffic Engineering.

CERTIFIED SURVEY MAP NO. _____

A CONSOLIDATION OF LOTS 1, 2, 3, 4, 5, 6, AND 7, BLOCK 2, LAKE VIEW PLACE, RECORDED IN VOLUME 7, PAGE 21, AS DOCUMENT 516609, BEING LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 7 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

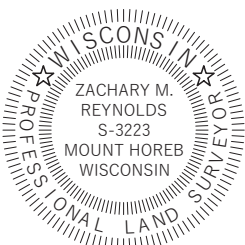
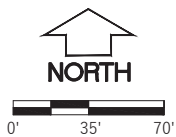


CURVE TABLE					
CURVE #	CURVE LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C-1	23.66'	11.10'	122° 06' 32"	S 59° 42' 51" W	19.43' (19.3)*
C-2	22.23'	8.60'	148° 04' 44"	N 14° 48' 29" E	16.54' (16.55)*

* RECORD CHORD LENGTH PER LAKE VIEW PLACE

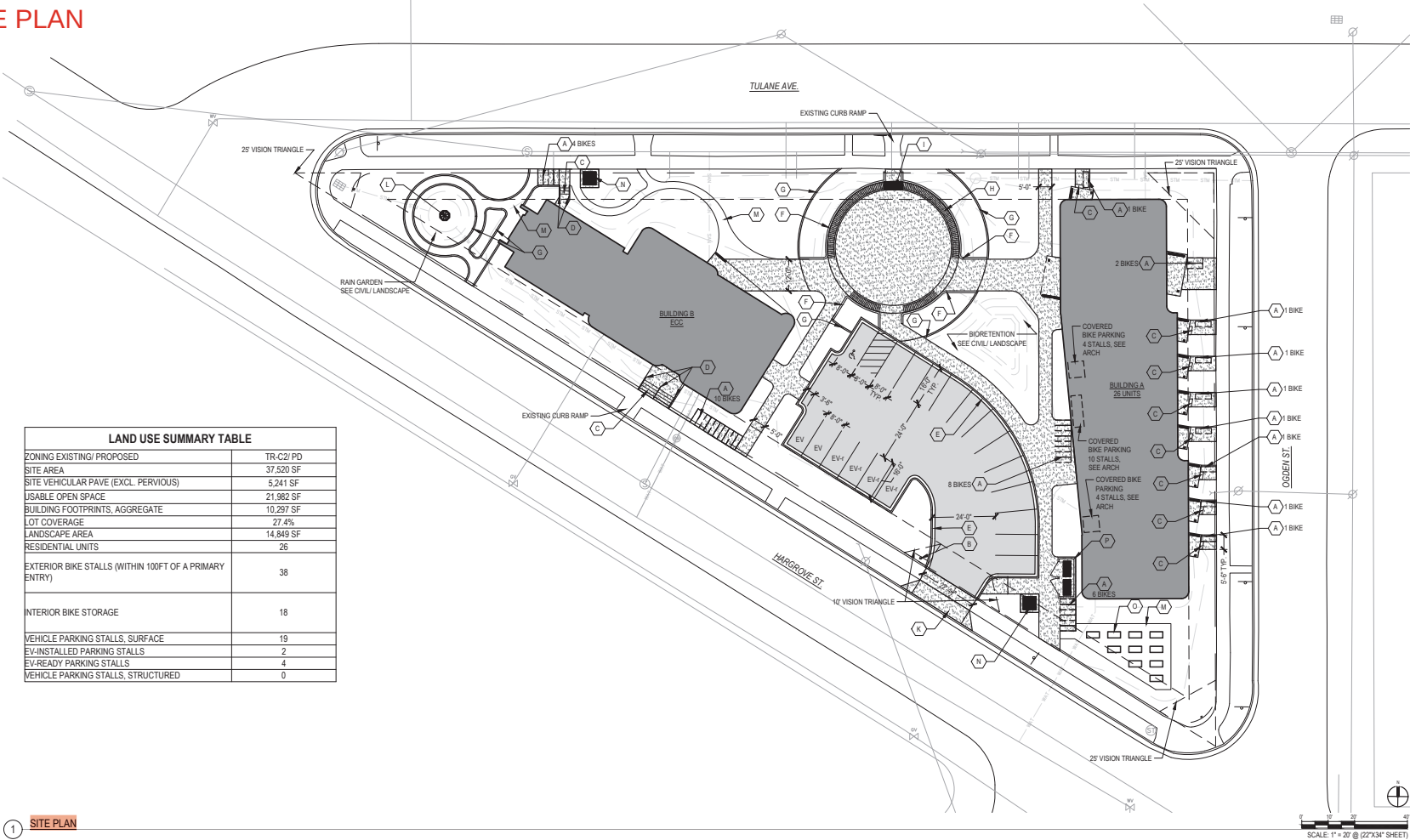
- LEGEND
- SECTION CORNER FOUND / RECOVERED
 - 3/4" REBAR FOUND
 - 1" IRON PIPE FOUND
 - CSM BOUNDARY
 - RIGHT-OF-WAY LINE
 - CENTERLINE
 - SECTION/QUARTER LINE
 - PLATTED LINE
 - EXISTING EASEMENT
 - () RECORDED INFORMATION

- NOTES:
- FIELD WORK PERFORMED BY WYSER ENGINEERING, LLC. ON THE WEEKS OF MARCH 12-14TH, AND 17TH 2025.
 - NORTH REFERENCE FOR THIS CERTIFIED SURVEY AND MAP ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, WISCRS DANE, NAD 83 (2011), GRID NORTH. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 9, T7N, R10E, BEARS N 88° 50' 51" E
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
 - SEE SHEET 2 OF 4 FOR FURTHER DETAILS ON FEATURES.



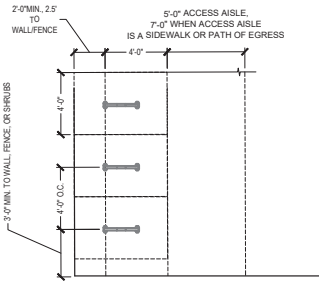
File: W:\2025\251399_Threshold Builds - 3565 Tulane Ave, Madison\Map\251399_CSM.dwg Layout: CSM 1 OF 4 User: zreyolds Plotted: May 27, 2025 - 9:30am

SITE PLAN



LAND USE SUMMARY TABLE	
ZONING EXISTING/ PROPOSED	TR-C2/ PD
SITE AREA	37,520 SF
SITE VEHICULAR PAVE (EXCL. Pervious)	5,241 SF
USABLE OPEN SPACE	21,982 SF
BUILDING FOOTPRINTS, AGGREGATE	10,297 SF
LOT COVERAGE	27.4%
LANDSCAPE AREA	14,849 SF
RESIDENTIAL UNITS	26
EXTERIOR BIKE STALLS (WITHIN 100FT OF A PRIMARY ENTRY)	38
INTERIOR BIKE STORAGE	18
VEHICLE PARKING STALLS, SURFACE	19
EV-INSTALLED PARKING STALLS	2
EV-READY PARKING STALLS	4
VEHICLE PARKING STALLS, STRUCTURED	0

1 SITE PLAN



2 BIKE RACK LAYOUT - TYPICAL

NTS

SHEET NOTES

- IMPROVEMENTS DEPICTED IN THE RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET WITHIN DRIVEWAY & INTERSECTION VISION TRIANGLES.

LEGEND

- CONCRETE SIDEWALK
- ASPHALT PAVING

KEY NOTES

- BIKE RACKS
- STOP SIGN
- CONCRETE STEPS
- HANDRAIL
- 18" CURB & GUTTER
- CONCRETE SIDE WALL 30" MAX. HT
- FLUSH PAVEMENT LANDSCAPE EDGE
- RADIAL WOOD SEAT
- ARCH GATEWAY
- (not used)
- CONCRETE DRIVE APRON
- SALVAGED STEEPLE ART INSTALLATION (BY OTHERS)
- MULCH PATH
- TRANSFORMER ON CONCRETE PAD
- RAISED GARDEN PLANTERS
- TRASH/ RECYCLING ENCLOSURE

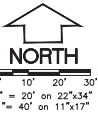
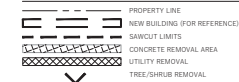
NOT FOR CONSTRUCTION

LAND USE APPLICATION / UDC		1	2025.05.27
Revised For		Revision	Date
PROJECT TEAM		CERTIFICATION	
BERNAU		STATUTORY	
COMMON GRACE, LLC		LANDUSE SUBMITTAL	
PROJECT INFORMATION		PROJECT NO	
GASTROWLAND COMMUNITY CENTER • HOUSING		DATE	
DRAWN BY		CHECKED BY	
SHEET TYPE		SHEET NO	
THRESHOLD BUILDS		REVISION	
		C100	

DEMOLITION PLAN

		BENCHMARK TABLE
BM - #	ELEVATION	DESCRIPTION
BM - 1	910.30	TOP NUT OF HYDRANT LOCATED NEXT TO SW CORNER OF LOT 25, BLOCK 3, LAKE VIEW PLACE
BM - 2	854.85	CUT CROSS LOCATED NEAR THE NW CORNER OF LOT 1, BLOCK 2, LAKE VIEW PLACE

LEGEND (PROPOSED)



GENERAL NOTES

1. UNDERLYING SITE CONTOUR INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY GEORGE ENGINEERING IN MARCH 2016, SHALL BE USED TO DETERMINE THE PROPOSED CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY ADDITIONAL OR INCOMPLETE INFORMATION PROVIDED BY OTHERS, CONTRACTOR TO CONFIRM ALL ELEVATIONS, EASEMENTS AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. ANY SMALLER LOCATIONS IDENTIFIED ON THE SURVEYOR PROVIDED REFERENCE TO THE EMBANKMENT SHALL BE USED BY THE SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH EMBANKMENT ELEVATIONS UNIFORMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LANE IF REQUIRED.
4. WORKING ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHEN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER TO CORRECT OR TO CLARIFY THE PLAN. THE CITY ENGINEER SHALL BE RESPONSIBLE FOR THE CORRECTIONS.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC UTILITIES AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
7. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISGUISE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING TREES, THE BRANCHES OF THE STREET TREES. THEY MAY REQUIRE USING SMALLER EQUIPMENT AND TRUCKS AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM THE HEALTH OF THE STREET TREE. ANY DAMAGE TO EXISTING TREES OR TO THE CITY'S PUBLIC GREEN SPACE SHALL BE REPAIRED IMMEDIATELY TO CITY OF MADISON.
8. 60-246-48.46S, PENALTIES AND REMEDIAL ACTION, SHALL BE REQUIRED.
9. AS DEFINED BY THE SECTION 302.12 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. NO EXCAVATION IS ALLOWED TO EXCEED A DEPTH OF 12 INCHES IN ANY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES, THE BRANCHES OF THE STREET TREES. THEY MAY REQUIRE USING SMALLER EQUIPMENT AND TRUCKS AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM THE HEALTH OF THE STREET TREE. ANY DAMAGE TO EXISTING TREES OR TO THE CITY'S PUBLIC GREEN SPACE SHALL BE REPAIRED IMMEDIATELY TO CITY OF MADISON.
10. NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT 608-246-4819 FOR SPECIFICATIONS, CITY OF MADISON FORESTRY SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES, THE BRANCHES OF THE STREET TREES. THEY MAY REQUIRE USING SMALLER EQUIPMENT AND TRUCKS AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM THE HEALTH OF THE STREET TREE. ANY DAMAGE TO EXISTING TREES OR TO THE CITY'S PUBLIC GREEN SPACE SHALL BE REPAIRED IMMEDIATELY TO CITY OF MADISON.
- SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/page/city-specs>.

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE SITE, NOT INCLUDING INTERNAL BUILDING DEMOLITION, INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY REPORTED BY EITHER PARTY OR BY AN ENGINEER AS PART OF THE PRELIMINARY INVESTIGATION. THERE MAY BE ADDITIONAL ITEMS THAT CANNOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, WHICH ARE NOT INCLUDED WITHIN THE FIELD SURVEY, OF WHICH THE CONTRACTOR SHALL HAVE NO RESPONSIBILITY TO DISCOVER. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS HE BELIEVES SHOULD BE REMOVED. IF ANY SUCH ITEMS ARE IDENTIFIED AFTER THE START OF CONSTRUCTION, THE CONTRACTOR / BIDDER SHALL BE RESPONSIBLE FOR THE BID AND REPORT TO THE OWNER AND ENGINEER OF RECORD. WHEN ENGINEERING TAKES NO RESPONSIBILITY FOR ITEMS OR PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF THOSE WHICH WOULD HAVE BEEN KNOWN.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - A. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND/OR ENGINEER AS SOON AS POSSIBLE PRIOR TO THE START OF CONSTRUCTION.
 - B. VERIFY UTILITY ELEVATIONS AND NOTIFYING OWNER AND ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTILS THE DISCREPANCIES ARE RESOLVED AND APPROVED BY THE OWNER AND ENGINEER.
 - C. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL ADVISE THE CITY OF CHICAGO AND CHICAGO DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
4. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
5. CONTRACTOR SHALL KEEP ALL STREETS AND ADJOINING SHARED ACCESS ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND OBSTACLES.
6. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY; STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
7. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND / OR UTILITY INSTALLATION ENCRoACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRECHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE MANUALLY BY HAND. TREE TRUNKS OR LIMBS EXCESS OF 3" DIAMETER ARE EXPRESSED: ROOTS MUST BE CUT OFF BY FEASIBLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRECHING.
8. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. INCLUDING BASES AND ALL AFFURTNANCES. SALVAGE FOR REUSE OR RECYCLE, COORDINATE RELOCATION AND / OR ABANDONMENT OF ALL ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
9. CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY REGULATIONS WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
10. ABANDONED / REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
11. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL ENCLOSURES TO BE LEFT OPEN OVERHEAD AS REQUIRED.
12. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE AND BACKFILL WITH SELECT FILL OR PROVIDE PIPE BACK-FILLING WITHIN BUILDING FOOTPRINT USING "LOW DENSITY COMPACTED / FLOODED" MATERIAL.
13. GRANULAR BACKFILL MATERIALS ARE REQUIRED FOR FILL UNDER PROPOSED PAVED AREAS.
14. RESTORATION OF THE EXISTING RIGHT-OF-WAYS AS NEEDED ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES BUT IS NOT LIMITED TO CURBS, GUTTERS, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
15. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S SATISFACTION AT THE CONTRACTORS' EXPENSE.

LAND USE APPLICATION / UDC	1	2025.05.27
Issued For	Revision	Date

	CERTIFICATION	
	NOT FOR CONSTRUCTION	
	ISSUE	
	DATE	
CL 0307 COMMON GRACE, LLC	ISSUE LAND USE SUBMITTAL	
PROJECT EASTLAND/LAND COMMUNITY CENTER + HOUSING	INFORMATION PROJECT NO	24-000
Copyright © 2023 Threshold Builds, LLC	DATE 2025.05.	2025.05.
	DRAWN BY CHECKED BY	DATE
	SHEET ISSUE	DATE
SITE DEMOLITION PLAN		
THRESHOLD BUILDS	REVISION	SHEET NO
	1	C10

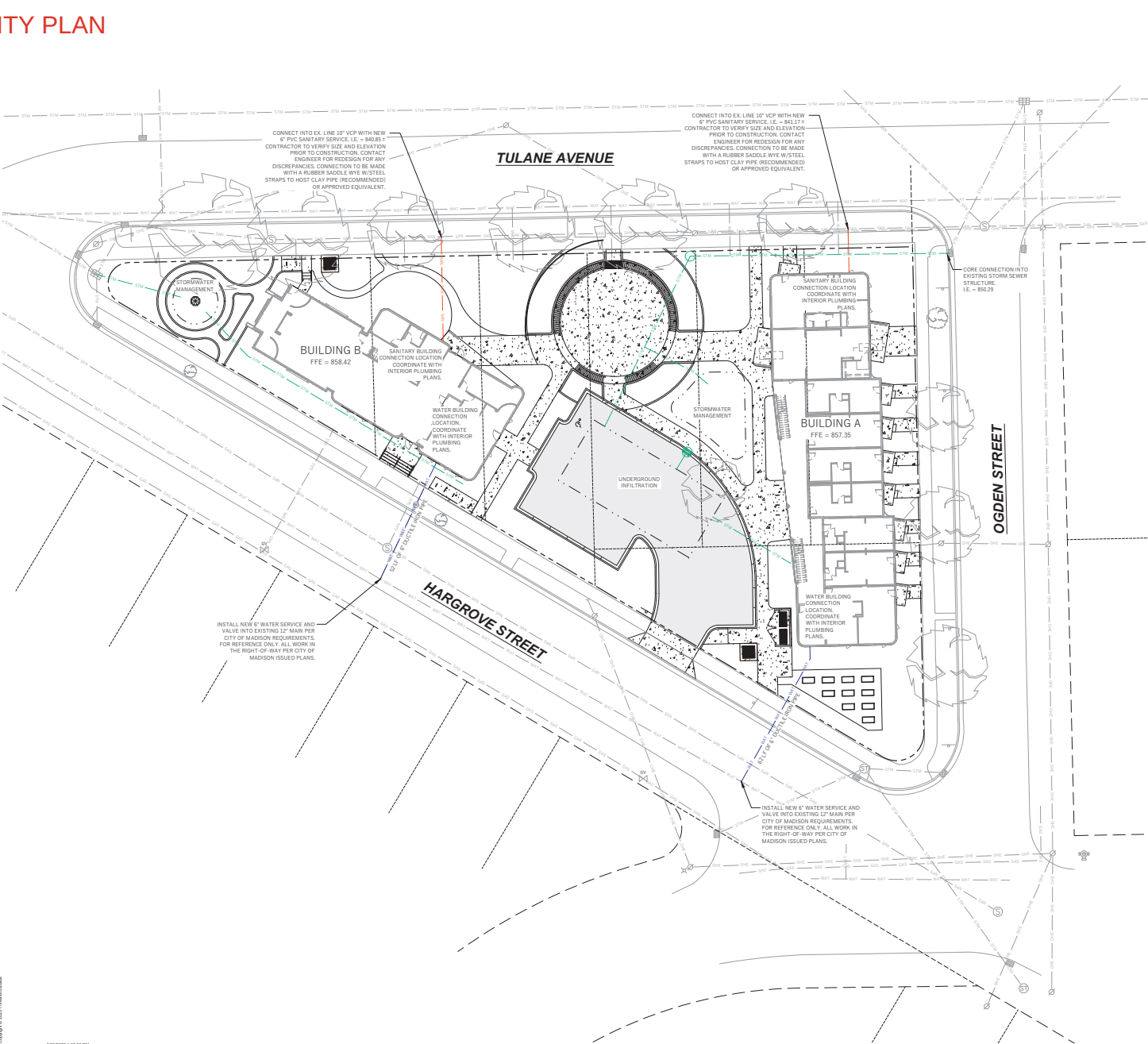
21 INCHES

IF ACTUAL COMPRESSION IS NOT 21 INCHES THE SHEET IS SCALED INACCORDENTLY

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UTILITY PLAN



LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- STORMWATER TREATMENT FACILITY

NORTH

0' 10' 20' 30'

1" = 20' on 22"x34"

1" = 40' on 11"x17"

- GENERAL NOTES**
- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING IN MARCH 2025. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
 - THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 - WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES; THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR HARM TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs.cfm>

LAND USE APPLICATION / UDC		1	2025.05.27
Revised For		Revision	Date

	CERTIFICATION
	NOT FOR CONSTRUCTION
	CLIENT: COMMON GRACE, LLC PROJECT: EASTMORLAND COMMUNITY CENTER + HOUSING DRAWN BY: AW CHECKED BY: AW
	STATION: LAND USE SUBMITTAL INFORMATION: PROJECT NO. 24-0012 DATE: 2025.05.27 SHEET NAME: UTILITY PLAN
	REVISION: 1 SHEET NO: C300