

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

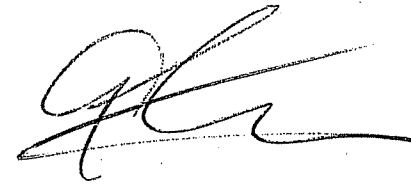
AGENDA ITEM # 12
Project # 3-21-06
03107

DATE SUBMITTED: <u>2-15-06</u>	Action Requested
UDC MEETING DATE: <u>3-8-06</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 428 N Livingston
ALDERMANIC DISTRICT: _____

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
RAINMAKER DEVELOPMENT, LLC Brown House Designs
ATTN: Eric Fleming ATTN: Patricia McGowan
PO Box 1829 202 W. Garham
MADISON, WI 53701 MADISON, WI 53703

CONTACT PERSON: Eric Fleming
Address: PO Box 1829
MADISON, WI 53701
Phone: 608-212-3650
Fax: 608-268-6773
E-mail address: eric@CRAVEMADISON.COM



TYPE OF PROJECT:
(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

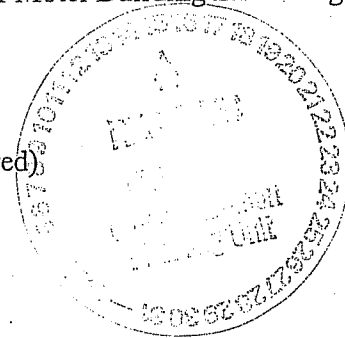
- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

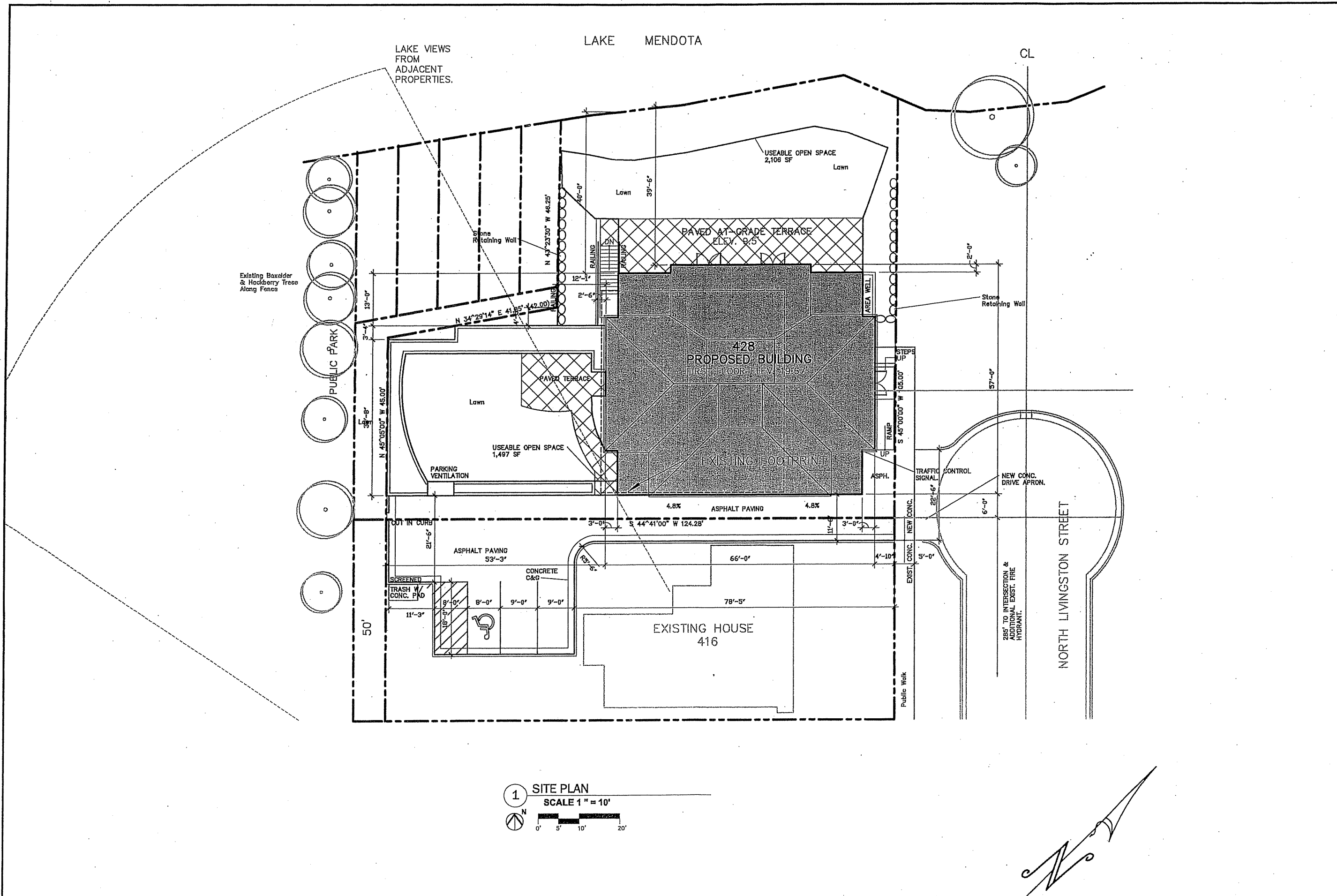
- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

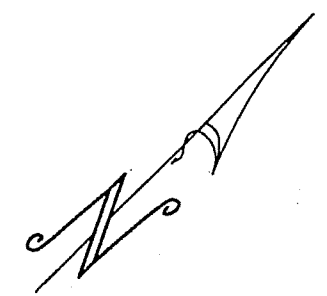
- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____



*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



1 SITE PLAN
 SCALE 1" = 10'

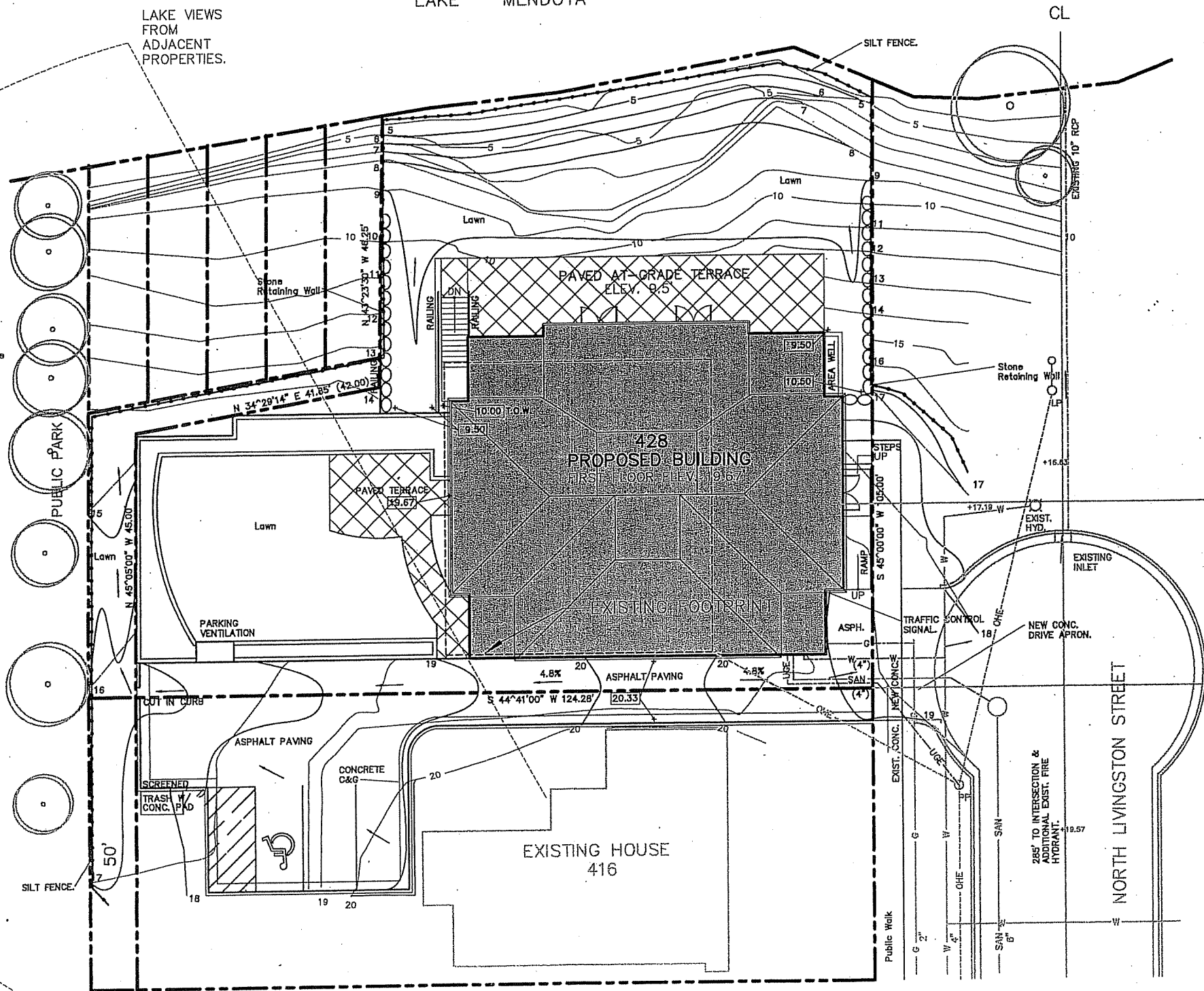


DWG STATUS	DATE
PLAN COMM.	12/7/09
REVISION/NO.	DATE

LAKE MENDOTA

LAKE VIEWS FROM ADJACENT PROPERTIES.

Existing Boxelder & Hackberry Trees Along Fence



1 GARDING & UTILITY PLAN
 SCALE 1" = 10'
 0' 5' 10' 20'

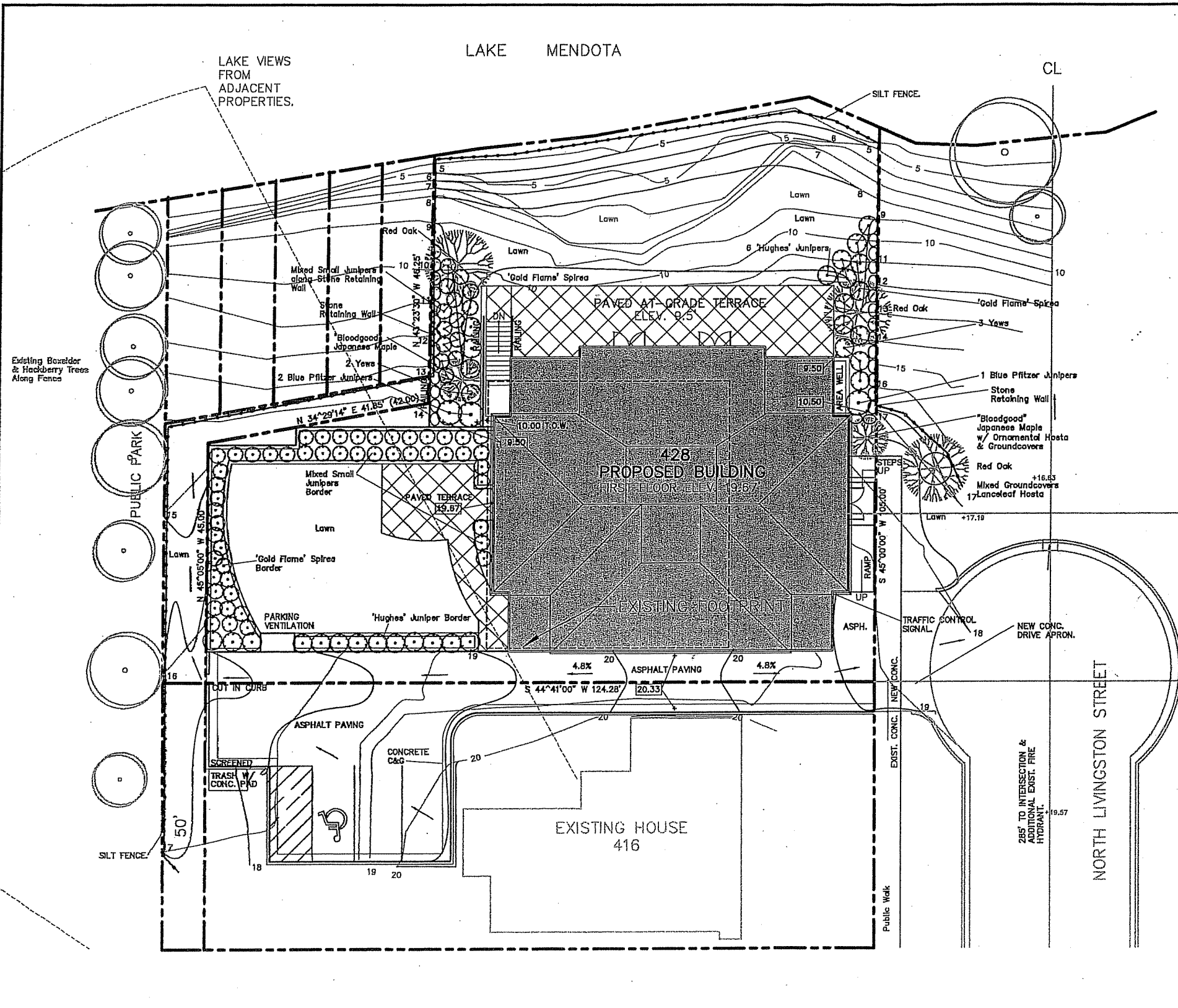
brownhouse
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428 N. LIVINGSTON
 428 N. LIVINGSTON STREET
 MADISON, WI 53703

DWG. STATUS/DATE:	PLAN COMM. 1/25/06
REVISION/NO./DATE:	

GRADING & UTILITY PLAN

C201



LANDSCAPE PLANTS

TREES				
Maple	Japanese 'Bloodgood'	2	4'	B&B
Red Oak		2	3' cal.	B&B
White Pine		1	8'	B&B
SHRUBS				
Spiraea	'Gold Flame'	32	5 gal.	Cont.
Juniper	'Blue Pfitzer'	3	36"	B&B
Juniper	'Compact Blue Sargent'	20	5 gal.	cont.
Juniper	'Prince of Wales'	20	5 gal.	Cont.
Juniper	'Hughes'	20	2 gal.	Cont.
Yew	'Taunton'	5	24"	B&B
HERBACEOUS PLANTS				
Hosta	Lanceleaf	15	2 gal.	Pot
Hosta	Plantagena grandiflora	4	2 gal.	Pot
Hosta	Sieboldiana	4	2 gal.	Pot
Vinca minor	Note: Space at 1' o.c.	100	2"	Pot
Pachysandra	Note: Space at 1' o.c.	100	2"	Pot

SPECIFICATIONS

- A. GENERAL LANDSCAPE REQUIREMENTS:**
 1. Submit planting schedule showing coordination of normal planting times with construction schedule for other related work.
 2. The landscape planting plan and planting schedule are to be reviewed by landscape architect and contractor prior to beginning work.
 3. Plants as specified may NOT be substituted with others of a different size or variety unless approved in writing by the owner's landscape architect.
 4. All shrubs and vines shall have a fully developed root system, be heavily branched, free from insects, fungus and other diseases. All trees shall be balled and burlapped unless otherwise agreed upon.
 5. All plant material furnished by the contractor, unless otherwise specified, shall be No. 1 or better in accordance with ANSI Z601 American Standard for Nursery Stock. The Owner reserves all rights to determine acceptability of plant material submitted for planting.
 6. Material planted and damaged or destroyed by any phenomena, e.g., vandalism, wind, fire, flood, freeze, theft, rain, hail, etc., shall belong to the Owner and shall be the Owner's responsibility. Material stored on-site as yet not planted are not covered by this clause and are the sole responsibility of the contractor.
 7. Provide 6" of topsoil proved to be clean, free of agricultural herbicides, fertilizers, and natural loam obtained from a local, well-drained source.
 8. Fertilize topsoil for planting trees, shrubs and ground cover with a 5-10-5 (5 percent nitrogen, 10 percent phosphorus and 5 percent potash) commercial fertilizer, applied and mixed at rate of not less than 0.05 pounds per cubic foot of soil/lawn mixture.
 9. Fertilize topsoil for planting grass with a high-nitrogen content commercial fertilizer, containing 4 percent phosphorus, 2 percent potash and nitrogen in sufficient quantity to supply not less than 10 pounds of actual nitrogen per 100 square feet of lawn area.
 10. Treat newly landscaped beds with pre-emergent herbicide Develox to control 60-90% of the common weeds for 6-9 months. Develox abates D.V.I. developing or germinating seeds.
 11. The contractor shall at all times keep the premises free from accumulation of waste material, soil and rubbish caused by his employees or work. Contractor shall clean up after his work immediately and shall take necessary precautions to keep concrete, asphalt and other paving materials clean of soil.
 12. The landscape contractor shall be responsible for complete coordination of planting operations with the other contractors on the job and shall be entirely responsible for the work until final inspection.
- B. SOIL, PLANTING & FINISHING REQUIREMENTS:**
 1. TREES
 - Excavate planting pits to a width 1 1/2 times diameter of tree ball and not less than 10 inches deeper than tree ball (6" for small trees). Place and compact a layer of topsoil pit to located collar of tree slightly above finish grade. Backfill around ball with topsoil, rod and tamp to eliminate voids and air pockets, watering thoroughly as layers are placed. Build a 4 inch high berm of topsoil beyond edge of excavation. Apply a 4 inch thick mat of double shredded red oak bark mulch.
 - Gay and stake trees 3 directions with galvanized wire through flexible hose chafing guards, with wooden stake anchors.
 2. SHRUBS
 - Excavate planting pits or trenches to width of 1 1/2 times diameter of plant balls or containers, or 1'-0" wider than spread of roots (whichever is larger), and 6 inches deeper than required for positioning at proper height. Lightly compact a 6-inch layer of topsoil in bottom before placing plants. Backfill around plants with topsoil, rod and tamp to eliminate voids and air pockets. Water thoroughly, as layers are placed. Form grade lightly dashed, and berm 3 inches at edge of excavation. Apply a 4-inch-thick mat of double-shredded red oak bark around plants to completely cover soil.
 - Trim shrubs under direction of landscape architect, to remove damaged branches, improve natural shape, thin out structure and remove not more than 15 percent of branches.
- C. GROUND COVER**

Space plants 18 inches apart both ways, except as otherwise indicated. Dig holes large enough to allow for spreading of roots. Compact backfill to eliminate voids, and leave grade slightly dashed at each plant. Water thoroughly.
- 4. LAWNS**

All lawns are to be seeded unless noted on plan. The landscape contractor shall verify grades established during the final soil preparation as being true to finish staking sheets, and shall maintain such areas until the effective date to begin seeding/sodding operations. In such instances where a split responsibility exists between grading and grassing contractors, it shall be the responsibility of the grassing contractor to maintain a suitable grade for grassing once he has accepted the grade provided to him. In all cases, the grounds shall be grade raised immediately prior to being seeded/sodded to remove any irregularities in the grade.

SEEDED LAWNS
Spread seed mixture, appropriate for use area as specified below, at four pounds per 100 square feet. Top with marsh hay. One bale should be spread to cover not more than 800 s.f. Keep watered each day and do not permit soil to dry out.

Prekum Sun Seed Mix
40% Palmer Perennial Rye
20% Sarum Kentucky Blue Grass
20% Park Kentucky Blue Grass
20% Penikese Creeping Red Fescue
Shade Seen Mix
30% Creeping Red Fescue
30% Penikese Creeping Red Fescue
20% Perennial Rye
10% Poa Trivialis
10% Park Kentucky Blue Grass
- 5. MULCH**

All planting beds are to be lined with a minimum of 4" double-shredded red oak bark mulch.
- D. LANDSCAPE MAINTENANCE & GUARANTEES:**
 1. Maintain landscape work beginning immediately following complete installation of each major category of work. Include watering, weeding, cultivating, restoration of grade, mowing and trimming of grass, pruning of trees and shrubs, protection from insects and diseases, fertilizing, and similar operations to ensure healthy, vigorous growth.
 2. All plant materials are to be guaranteed to be alive and in satisfactory growth, form and condition at the end of the guarantee period.
 3. Guarantee shall not cover death and unhealthy conditions of planting materials brought about as a result of neglect by Owner, damage by others, and unusual phenomena beyond contractor's control.
 4. At any time during the guarantee period, the landscape contractor shall be required to replace all plants that are dead or in an unsatisfactory condition of growth.

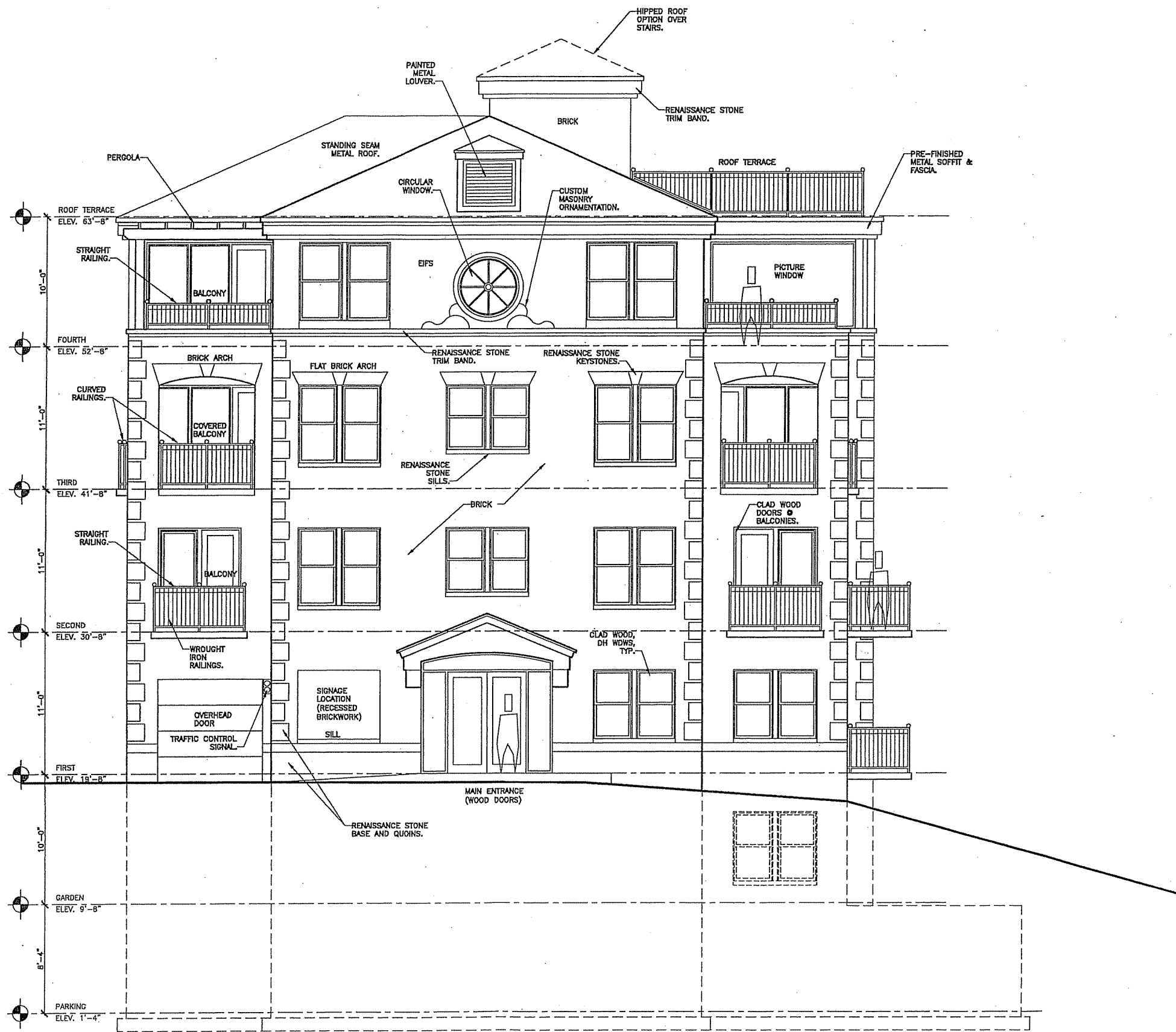
1 LANDSCAPE PLAN
SCALE 1" = 10'

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428 N. LIVINGSTON STREET
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DRG STATUS/DATE:	PLAN COMM. 11/28/06
REVISION/NO./DATE:	
LANDSCAPE PLAN	

L100



1 EAST ELEVATION
 SCALE 1/4" = 1'-0"
 0' 2' 4' 8'

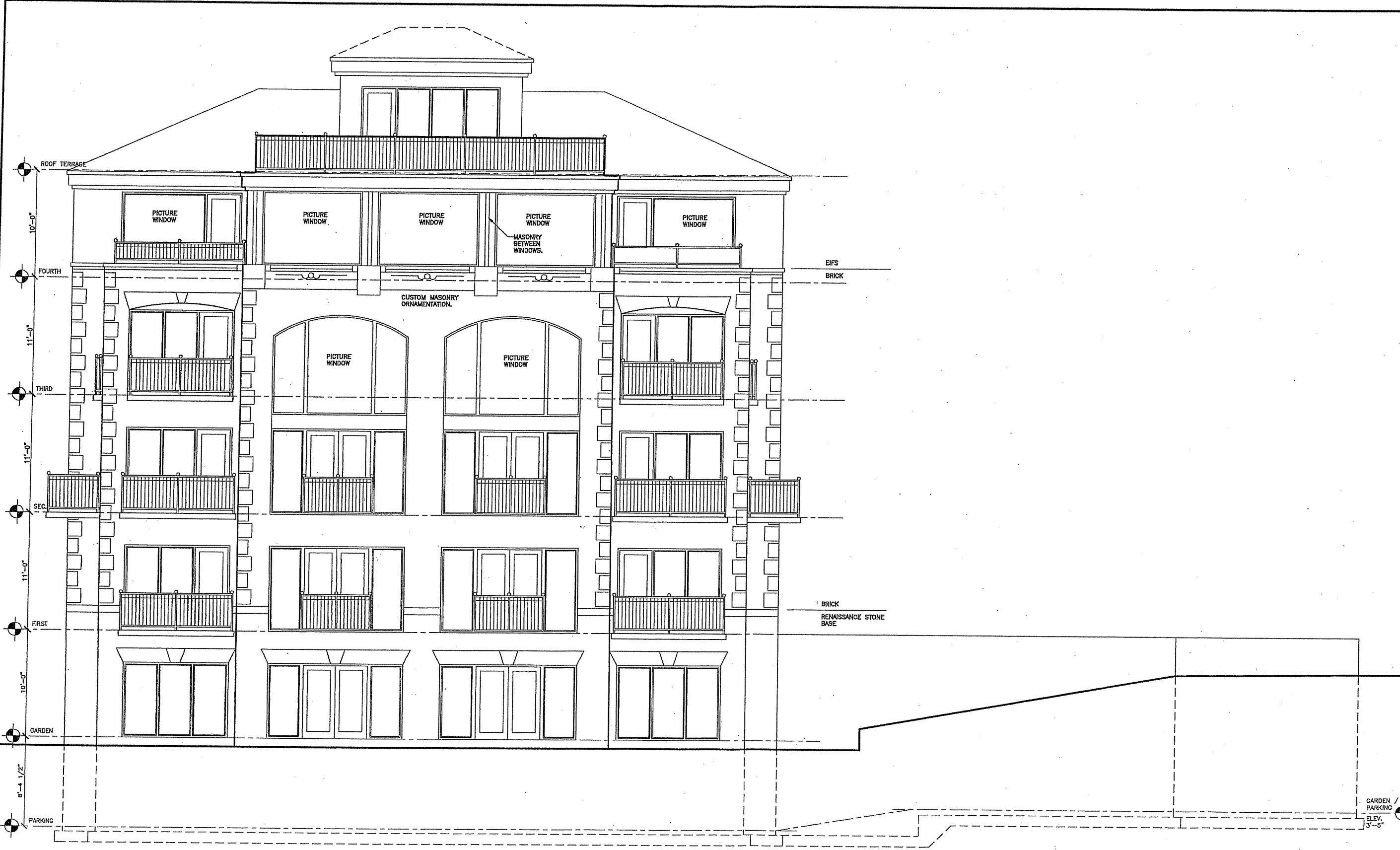
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ELEVATIONS

A300



1 NORTH ELEVATION
 SCALE 1/4" = 1'-0"



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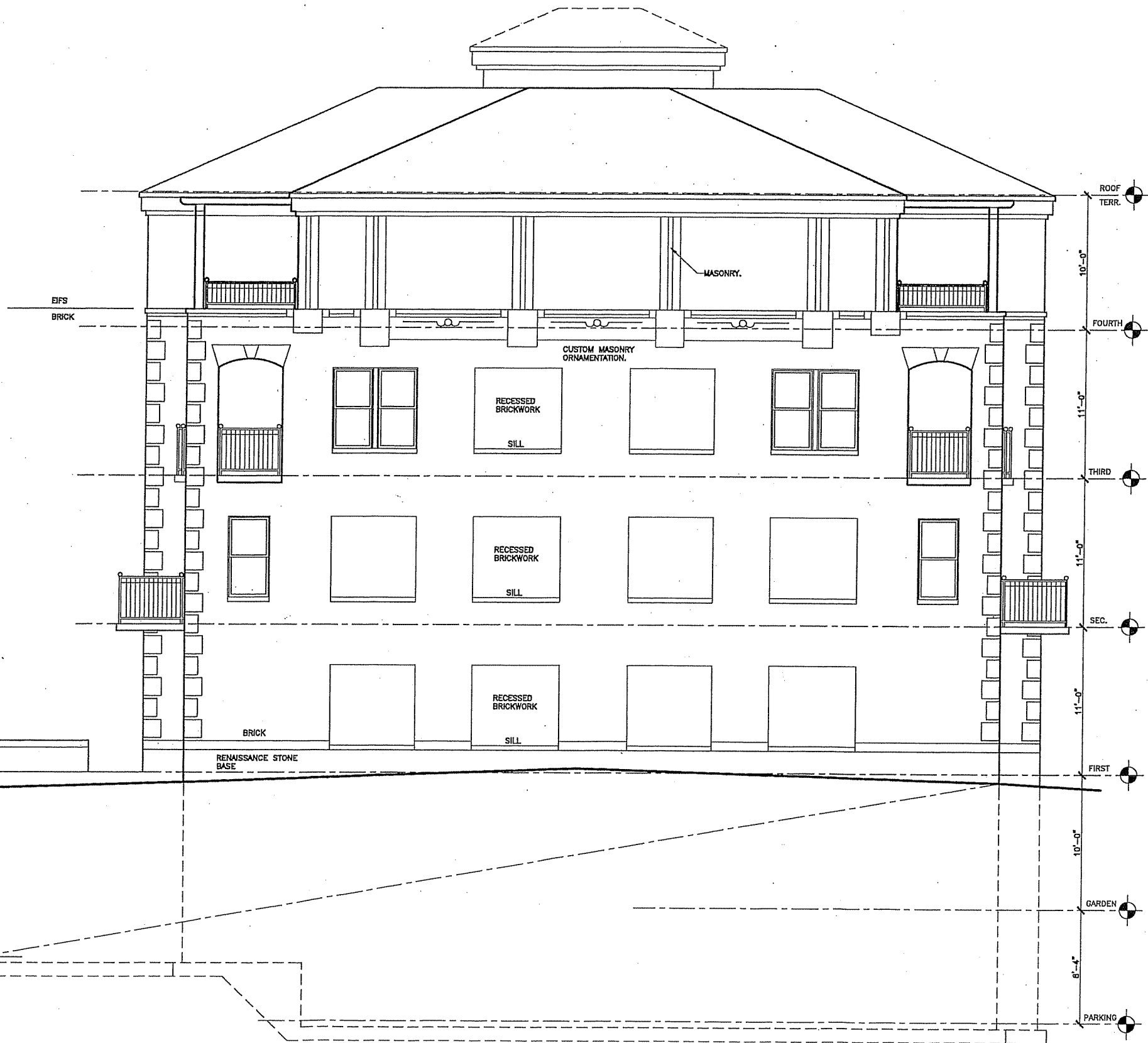
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GARDEN PARKING
 ELEV. 3'-5"

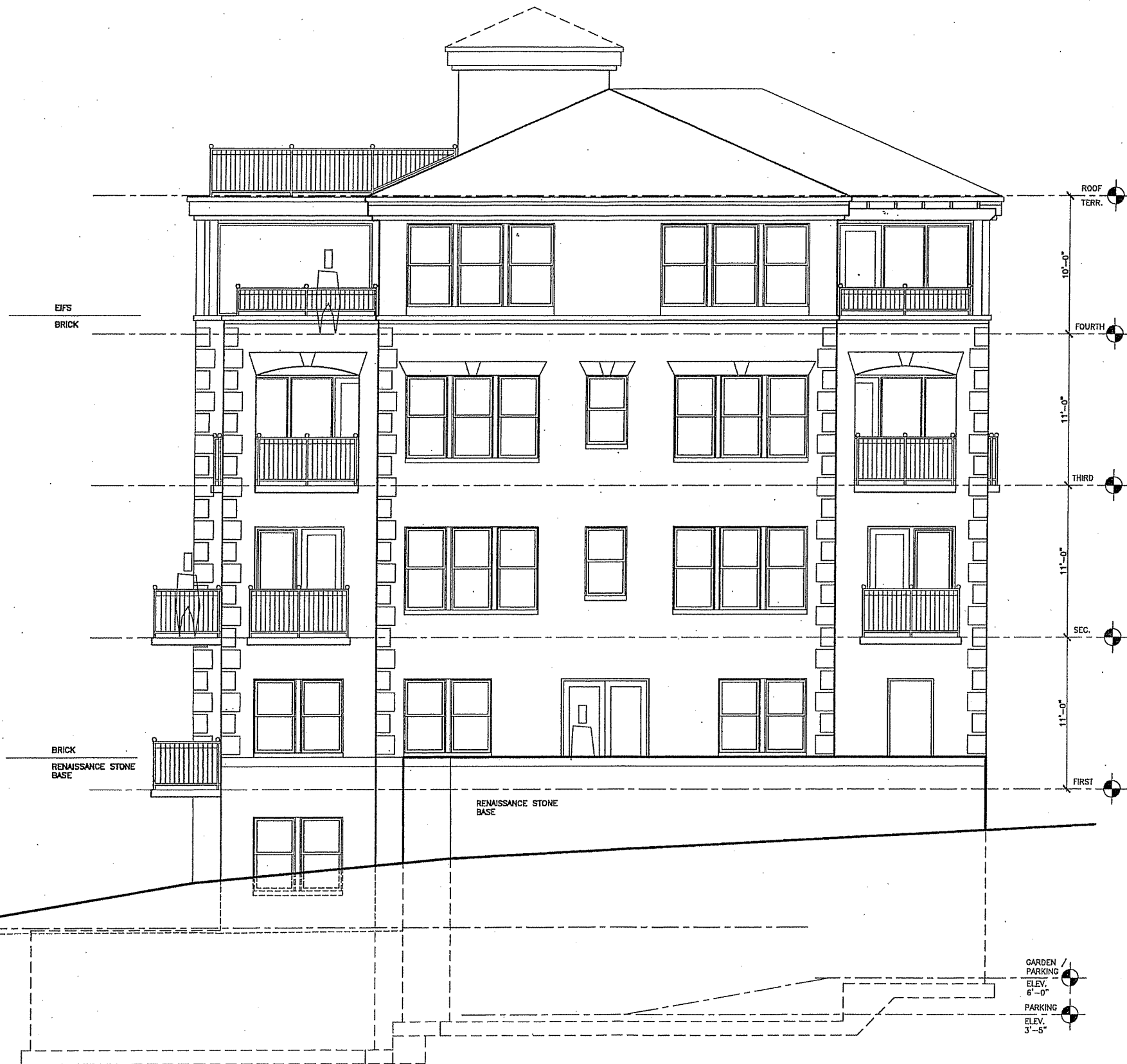
DWG STATUS	DATE:
PLAN COMM.	1/25/08
REVISION/NO.	DATE:

ELEVATIONS

A301



1 SOUTH ELEVATION
 SCALE 1/4" = 1'-0"
 0' 2' 4' 8'



1 WEST ELEVATION
SCALE 1/4" = 1'-0"



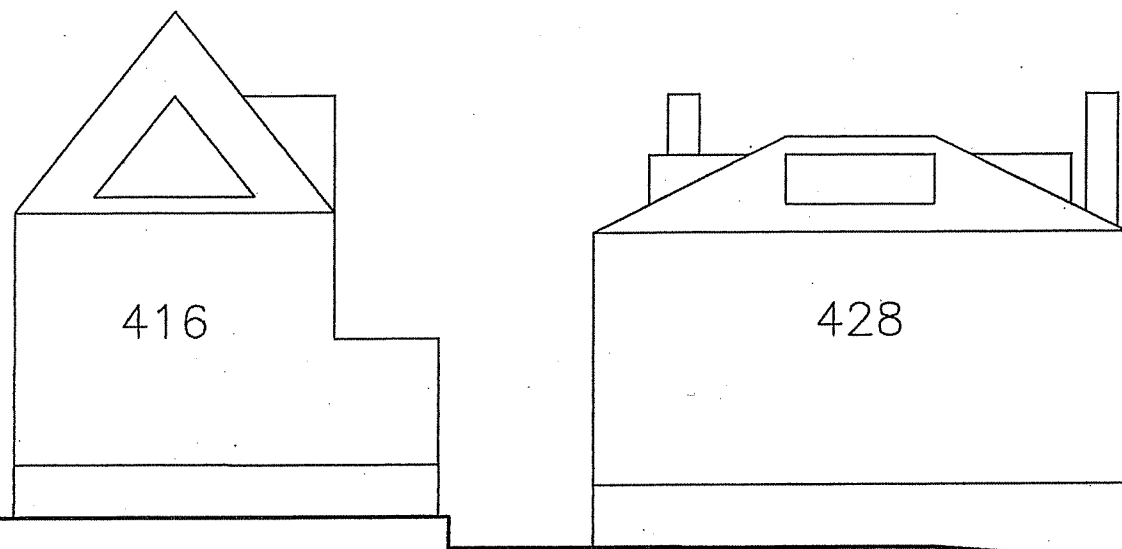
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PLAN COMM. / 25/08

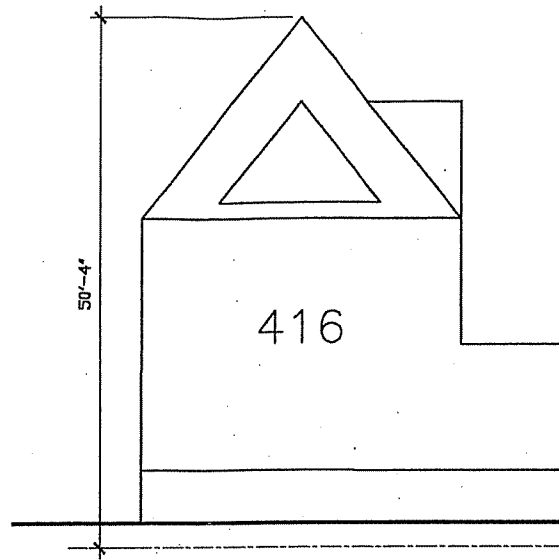
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ELEVATIONS

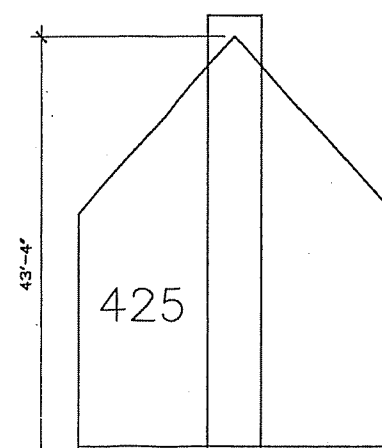
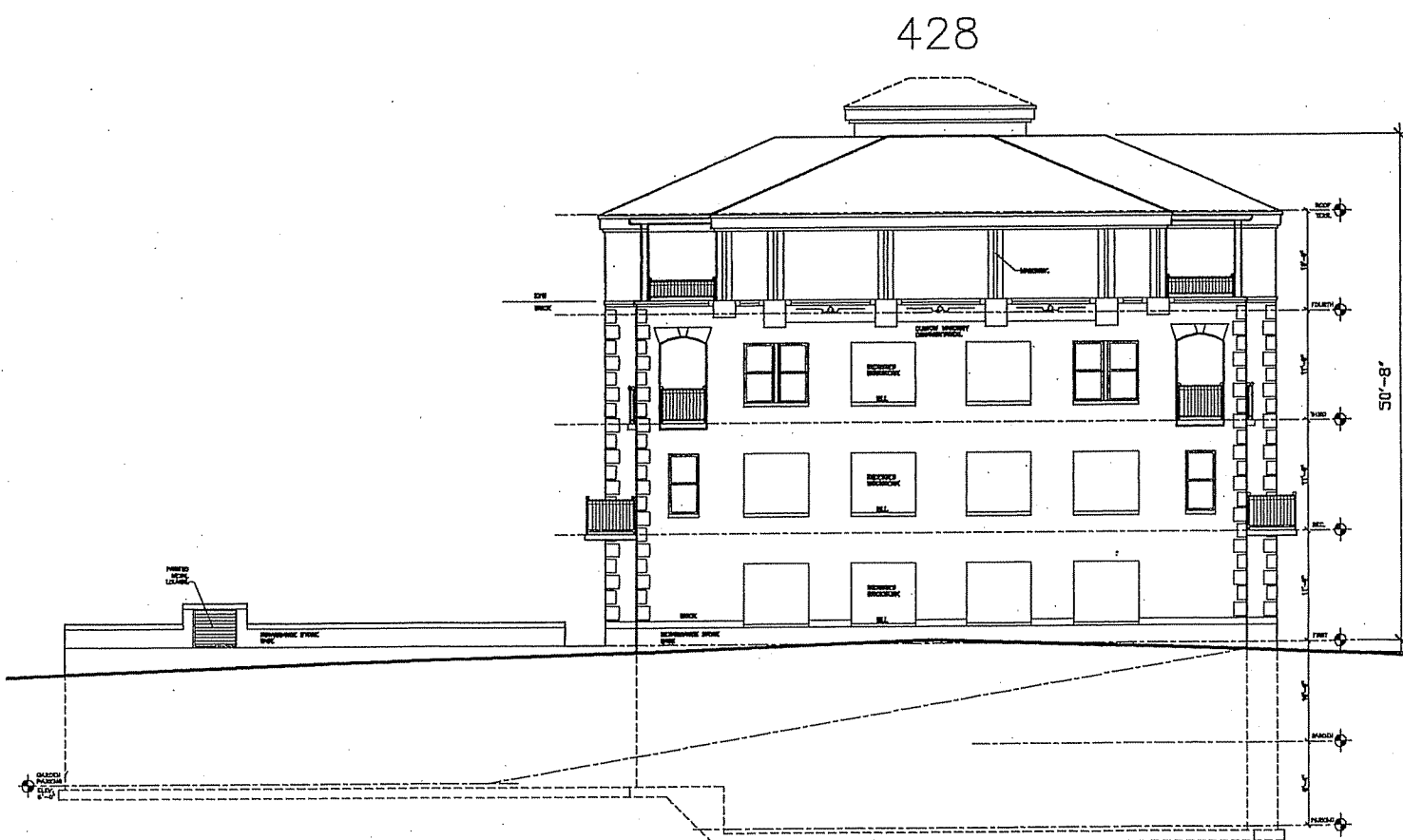
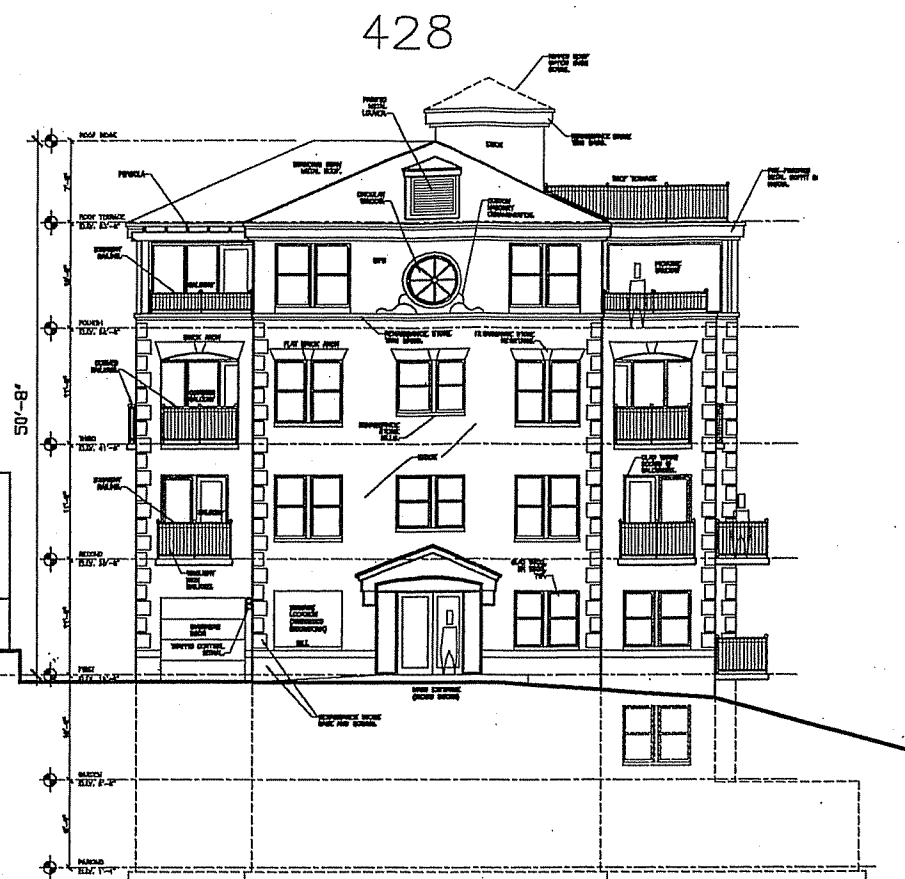
A303



1 EAST ELEVATION (EXISTING)
SCALE 1/8" = 1'-0"



1 EAST ELEVATION
SCALE 1/8" = 1'-0"
0' 4' 8' 16'



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PLAN COMM.	1/25/08
ZBA	2/2/08

REVISION/NO.	DATE

ELEVATIONS

A300

L A K

W.S. 3.84'

