

6321 Town Center Drive
Metro Tech Lot 10

Metro Tech
Apartments
Aerial Site Map
February 26, 2021





6321 Town Center Dr.
Contextual Site Images



ISSUED

PROJECT TITLE
**ELLEFSON
 METRO TECH
 APARTMENTS**

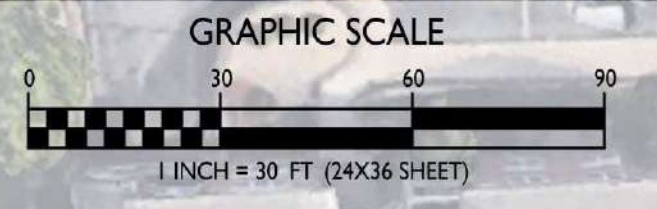
6321 Town Center Dr
 Madison, Wisconsin
 SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1

PROJECT NO. **2108**
 © Knothe & Bruce Architects, LLC

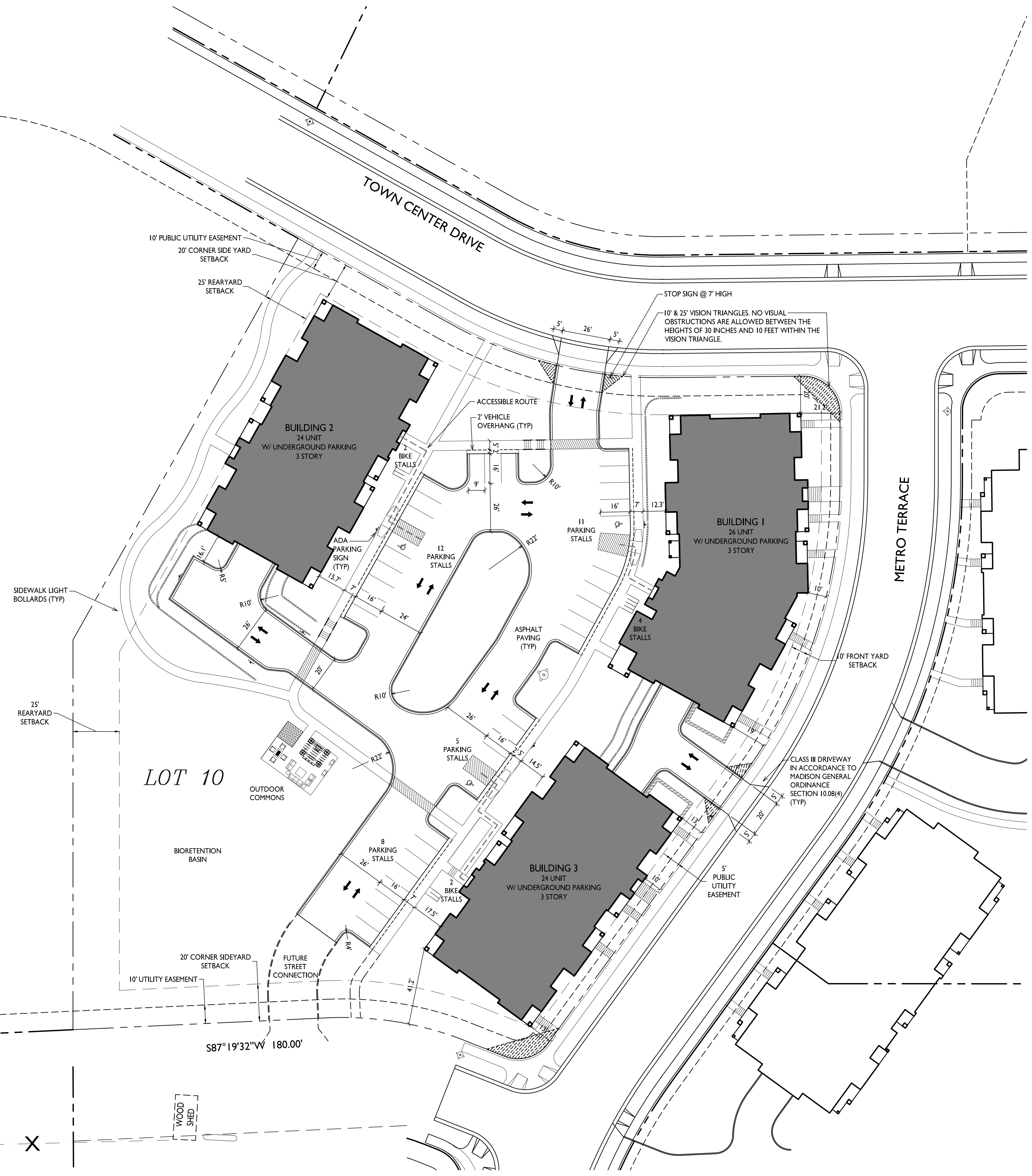
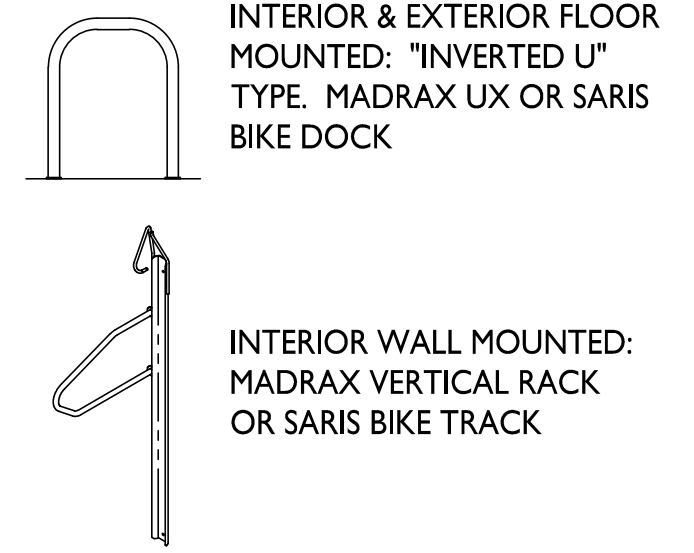
SITE PLAN
 C-1.1
 1" = 30'-0"



GENERAL NOTES:

- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS/CFM](https://www.cityofmadison.com/business/pw/specs/cfm)
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
- THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.

BIKE RACKS:



kb2
knothe • bruce
ARCHITECTS
Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

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A-1.4	ELEVATIONS
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	RENDERINGS

Site Development Data:

Zoning

Densities:

Lot Area	±129,851 S.F. / 2.98 acres
Dwelling Units	74 units
Lot Area / D.U.	1,755 S.F. / unit
Density	24.8 units / acre

Lot Coverage: 58,638 S.F. (45%)
Usable Open Space: 21,017 S.F. (284 S.F./unit)

Building Height: 3 stories

Dwelling Unit Mix:	Bldg #1	#2	#3	Total
Efficiency	3	3	3	9
One Bedroom	6	9	9	24
One Bedroom + Den	3	-	-	3
Two bedroom	14	12	12	38
Total Dwelling Units	26	24	24	74

Vehicle Parking Stalls:

Underground Garage	24	23	23	70
Surface	-	-	-	33
Total				103

Parking Ratio: 1.4 stalls/unit

Bicycle Parking:

Garage - floor mount	26	18	18	62
Garage - wall mount	-	6	6	12
Surface-Guest	2	2	4	8
Total	28	26	28	82

ISSUED
Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021
Issued for Updated LUA/UDC - April 29, 2021

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Site Plan

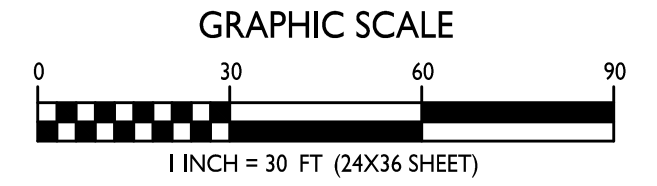
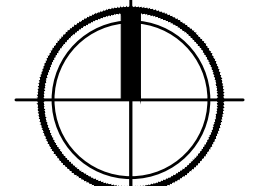
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C-1.1

PROJECT NO. 2108

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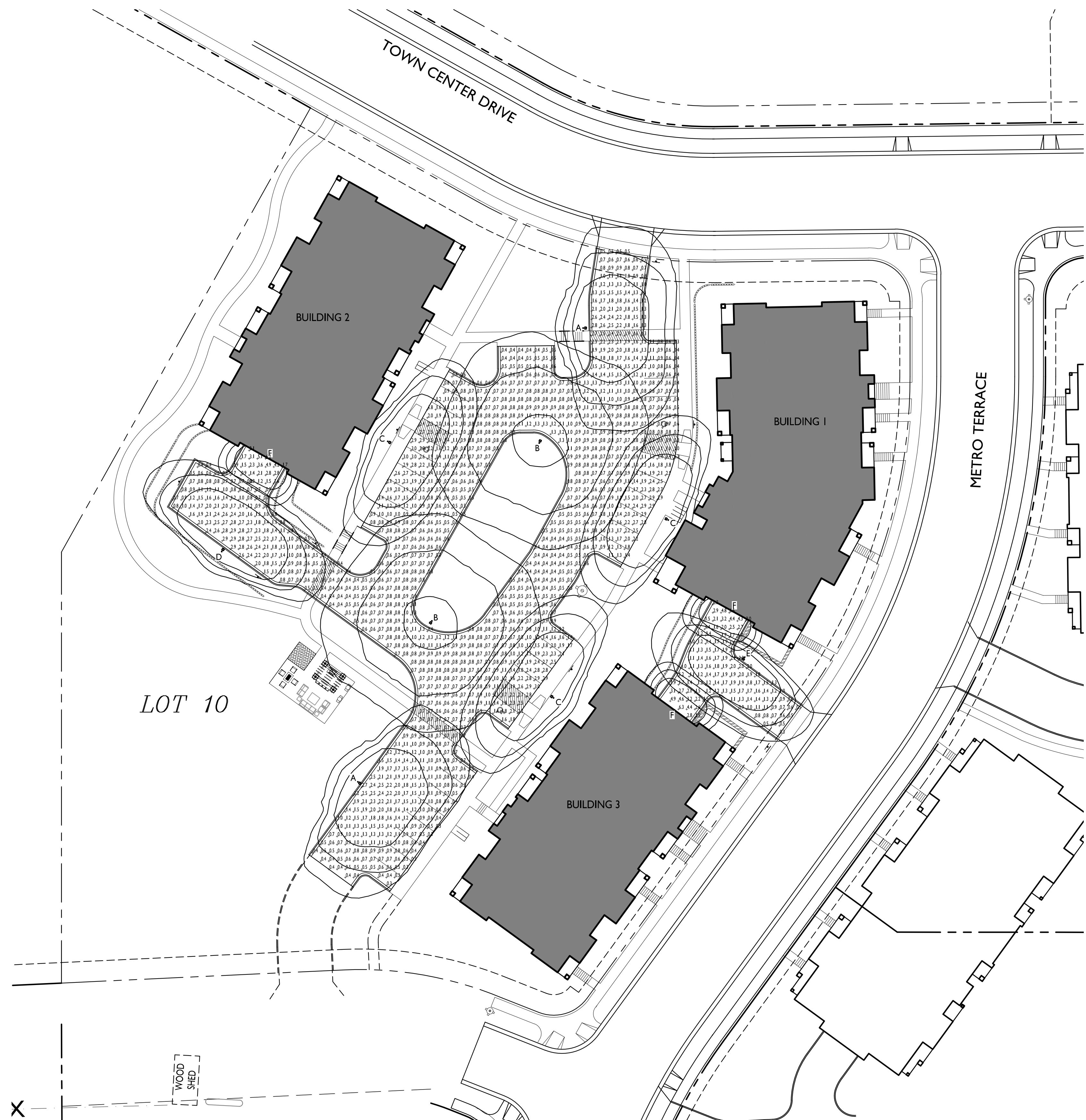
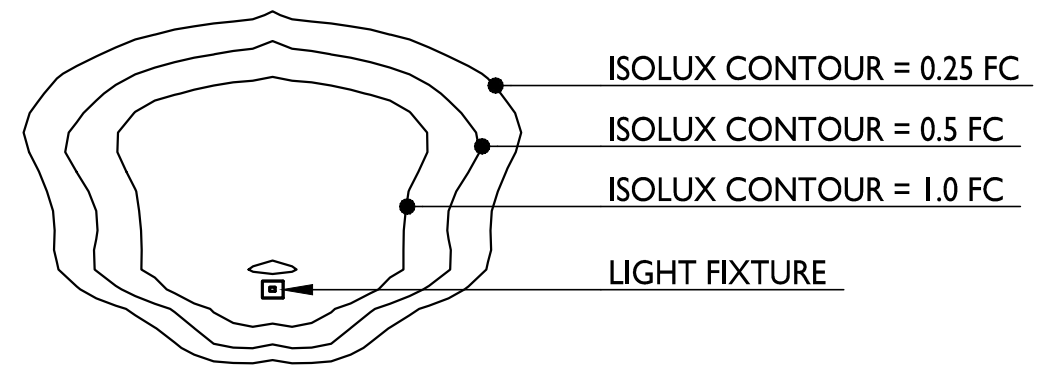
1 SITE PLAN
C-1.1 1" = 30'-0"



STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking & Drive Aisle Area Lighting	+	1.1 fc	3.0 fc	0.3 fc	10.0:1	3.7:1
Buildings #1 & #3 Drive Aisle Area Lighting	+	1.3 fc	2.2 fc	0.3 fc	7.3:1	4.3:1
Building #1 Garage Entry Lighting	+	2.7 fc	6.5 fc	1.4 fc	4.6:1	1.9:1
Building #2 Garage Entry Lighting	+	2.4 fc	6.2 fc	0.8 fc	7.8:1	3.0:1
Building #3 Garage Entry Lighting	+	2.8 fc	6.3 fc	1.2 fc	5.3:1	2.3:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
	A	2	LITHONIA LIGHTING	DSX1 LED P1 30K T4M MVOLT HS	DSX1 LED P1 30K T4M MVOLT WITH HOUSE SIDE SHIELD	DSX1_LED_P1_30K_T4M_MVOLT_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	B	2	LITHONIA LIGHTING	DSX1 LED P1 30K T5W MVOLT	DSX1 LED P1 30K T5W MVOLT	DSX1_LED_P1_30K_T5W_MVOLT.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	C	3	LITHONIA LIGHTING	DSX1 LED P1 30K T2S MVOLT HS	DSX1 LED P1 30K T2S MVOLT WITH HOUSE SIDE SHIELD	DSX1_LED_P1_30K_T2S_MVOLT_HS.ies	18'-0" POLE ON FLUSH CONC. BASE
	D	1	LITHONIA LIGHTING	DSX1 LED P1 30K T2S MVOLT HS	DSX1 LED P1 30K T2S MVOLT WITH HOUSE SIDE SHIELD	DSX1_LED_P1_30K_T2S_MVOLT_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	E	1	LITHONIA LIGHTING	DSX0 LED P1 30K T2S MVOLT HS	DSX0 LED P1 30K T2S MVOLT WITH HOUSE SIDE SHIELD	DSX0_LED_P1_30K_T2S_MVOLT_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	F	3	LITHONIA LIGHTING	WPX1 LED P1 30K MVOLT	WPX1 LED WALLPACK, 1500lm, 3000K, 120-277 VOLTS	WPX1_LED_P1_30K_MVOLT.ies	8'-0" ABOVE GRADE ON BUILDING

EXAMPLE LIGHT FIXTURE DISTRIBUTION



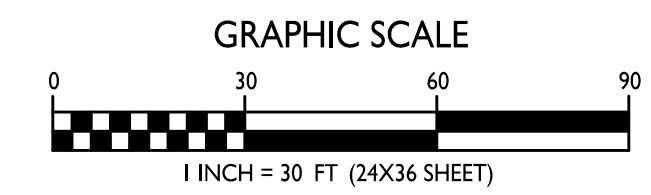
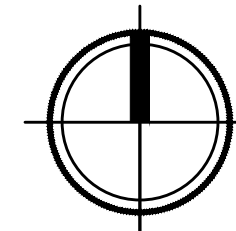
ISSUED
Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021
Issued for Updated LUA/UDC - May 5, 2021

PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Site Lighting Plan

SHEET NUMBER

SITE LIGHTING PLAN
C-1.2 1" = 30'-0"



C-1.2

PROJECT NO. **2108**
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Issued for UDC Submittal - March 31, 2021
Issued for Updated LUA/UDC - April 29, 2021

PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

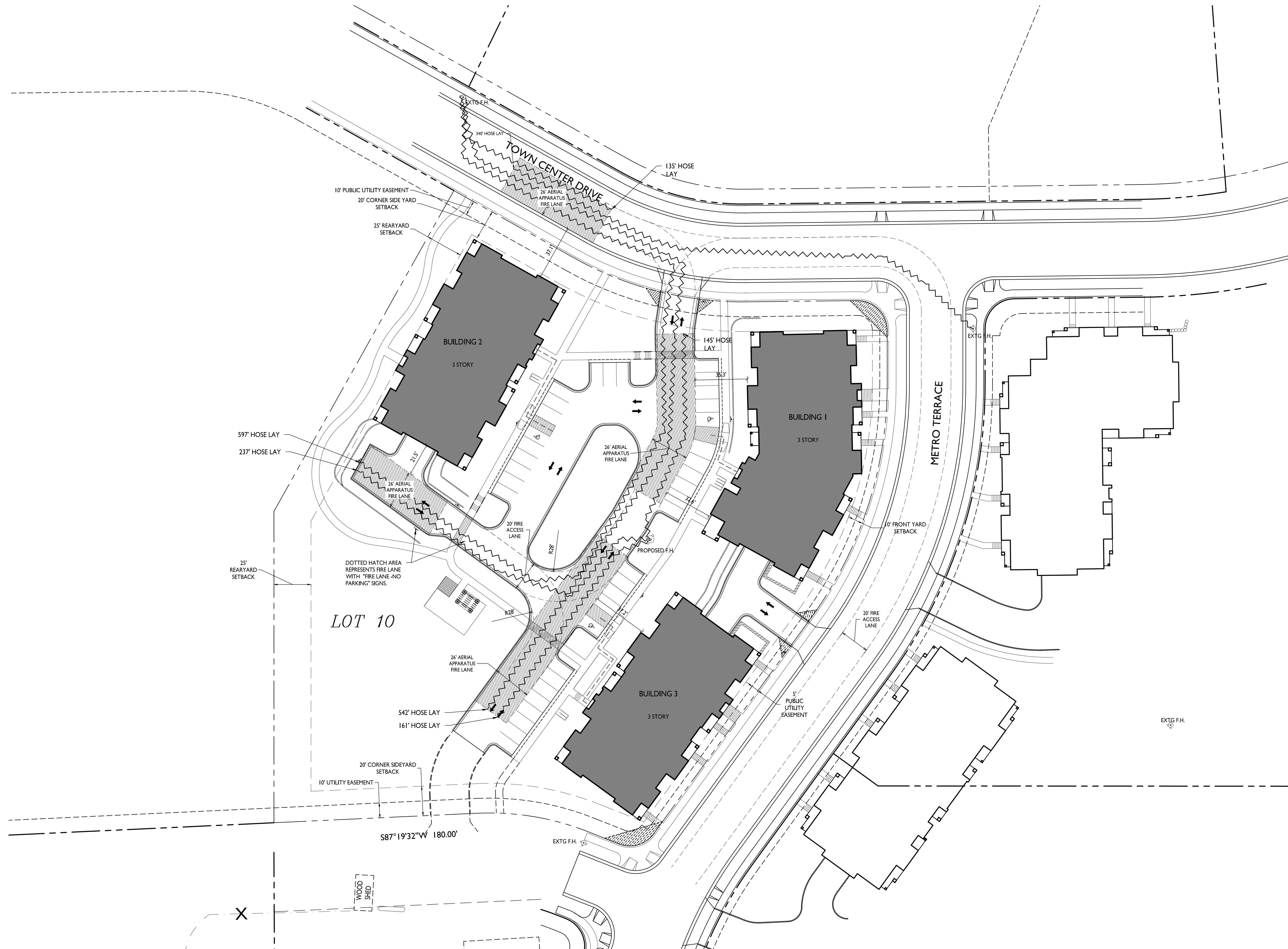
6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Fire Department
Access Plan**

SHEET NUMBER

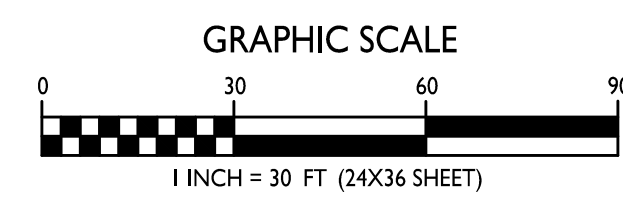
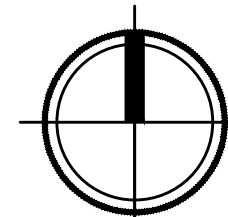
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FIRE DEPARTMENT ACCESS PLAN
C-1.3 1" = 30'-0"





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ISSUED
Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021
Issued for Updated LUA/UDC - April 29, 2021

PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

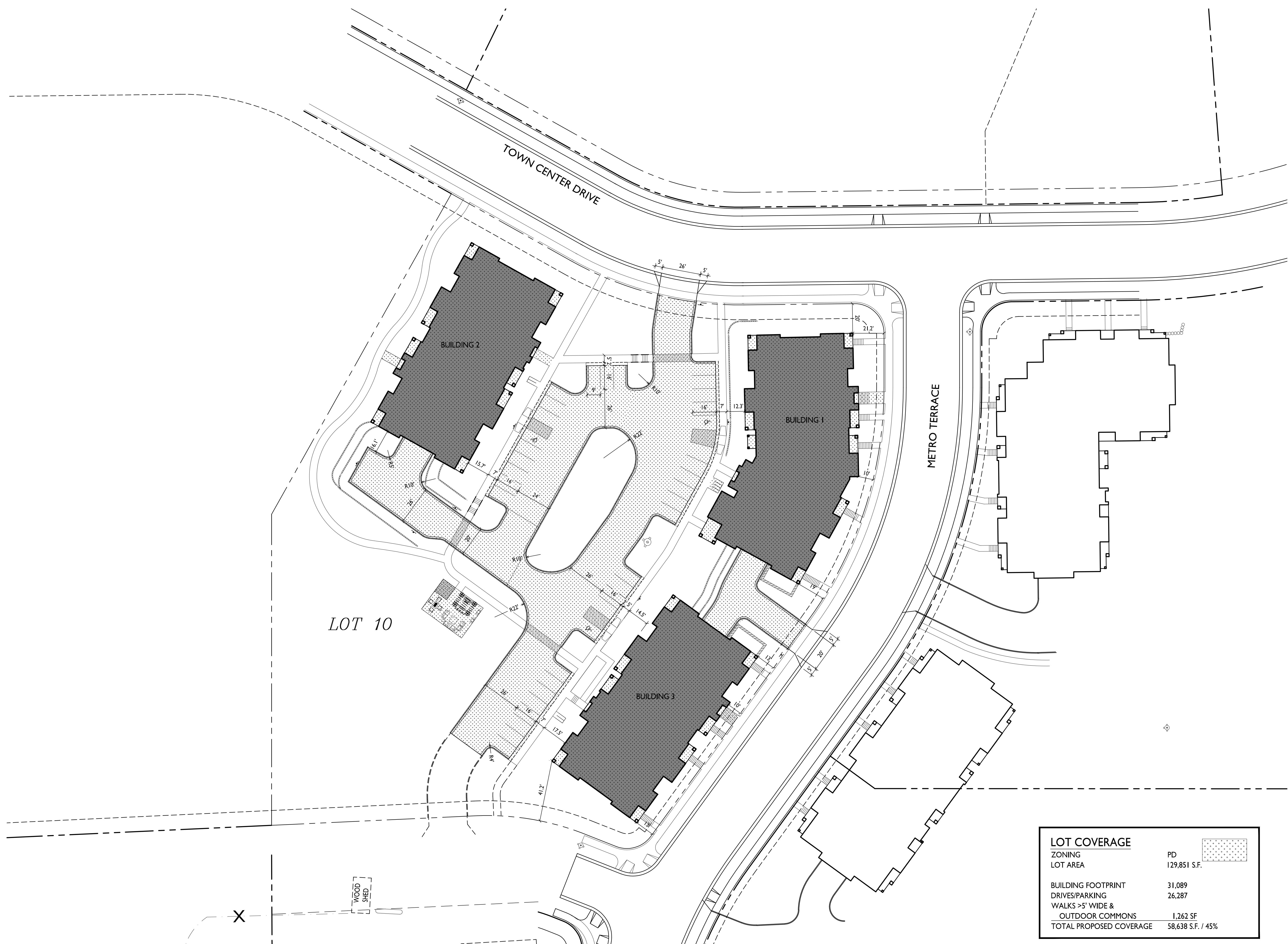
6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Lot Coverage

SHEET NUMBER

C-1.4

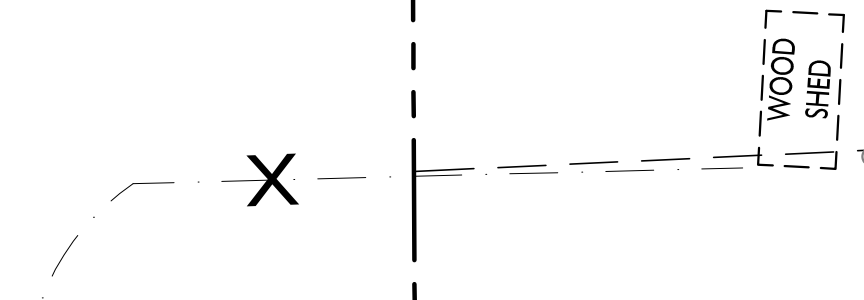
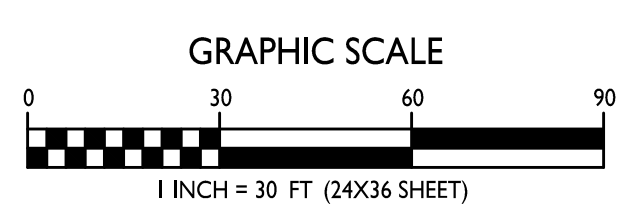
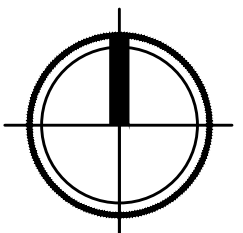
PROJECT NO. **2108**

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LOT COVERAGE	
ZONING	PD
LOT AREA	129,851 S.F.
BUILDING FOOTPRINT	31,089
DRIVES/PARKING	26,287
WALKS >5' WIDE & OUTDOOR COMMONS	1,262 SF
TOTAL PROPOSED COVERAGE	58,638 S.F. / 45%

LOT COVERAGE
1" = 30'-0"





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ISSUED
Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021
Issued for Updated LUA/UDC - April 29, 2021

PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Usable Open
Space**

SHEET NUMBER

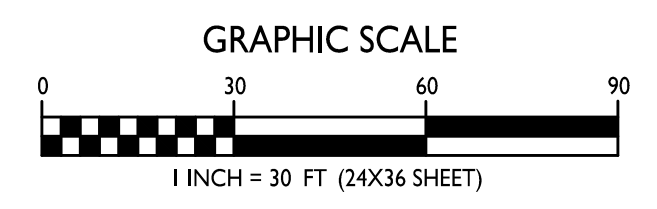
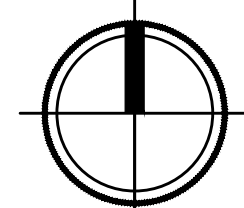
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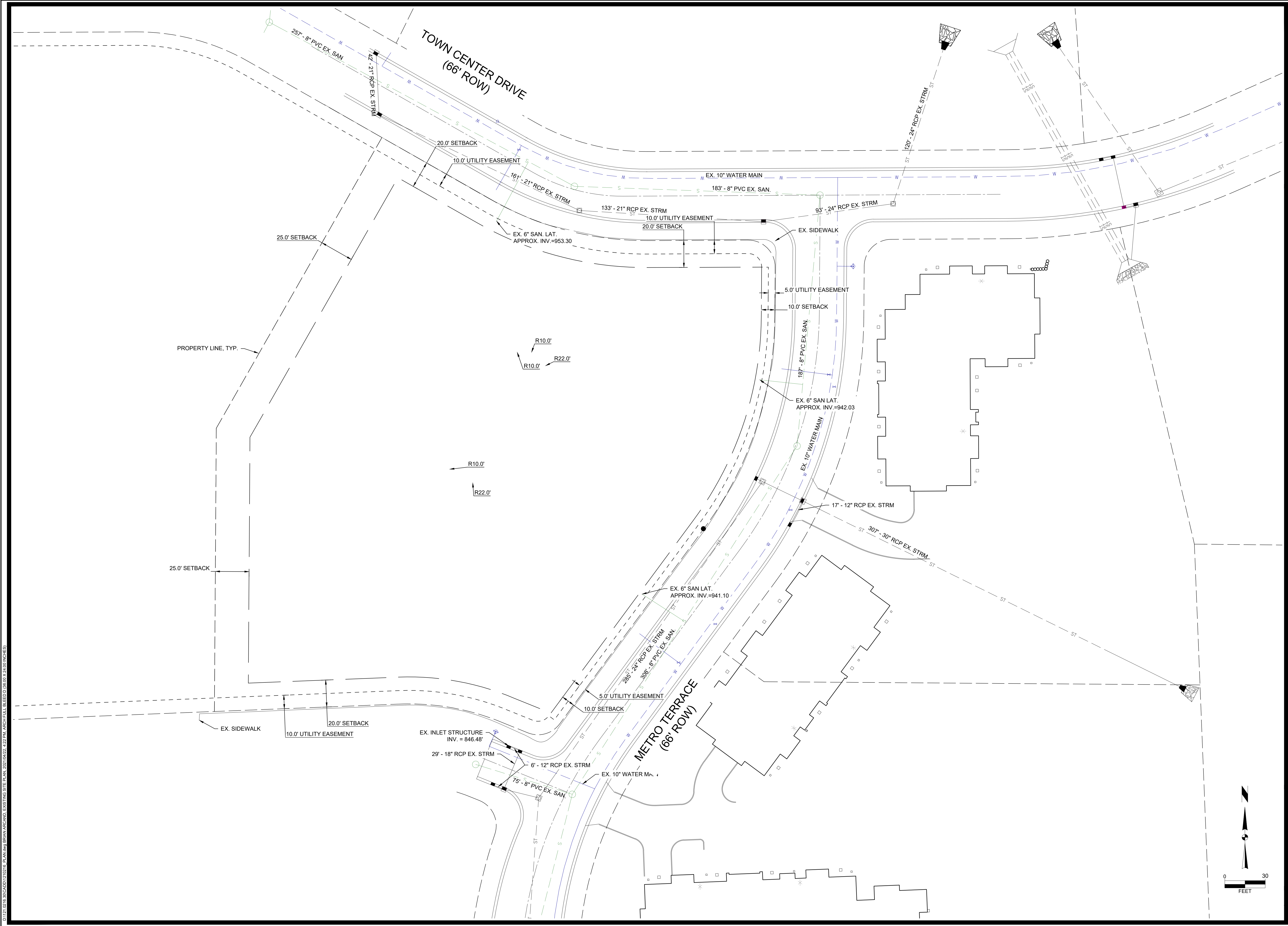
PROJECT NO. **2108**
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USABLE OPEN SPACE	
ZONING	PD
DWELLING UNITS	74
OPEN SPACE PROVIDED	21,017 S.F. (284 S.F./UNIT)

USABLE OPEN SPACE
C-1.4 1" = 30'-0"





MARK	REVISION	DATE	BY

CITY OF MADISON, DANE COUNTY, WI

PARKING ISLAND
04-22-21 BCA

REVISION
DATE
BY

Engineer: BCA
Checked By: MLC
Scale: 1" =
T-R-S: TTN-RRW-SS

Project No: 121.0216.30

6321 TOWN CENTER DRIVE

EXISTING SITE PLAN

SNYDER & ASSOCIATES, INC. |



D:\121.0216.30\CAUTION\1210216_Plan.dwg (BRAN) BRCAND. EXISTING SITE PLAN. 2/21/2022, 4:22 PM. ARCH PULL BLEED TO (0,0) X (24.00 INCHES)

NOTES

1. ALL CURB & GUTTER TO BE REJECT CURB UNLESS OTHERWISE NOTED ON SITE PLAN.

LEGEND

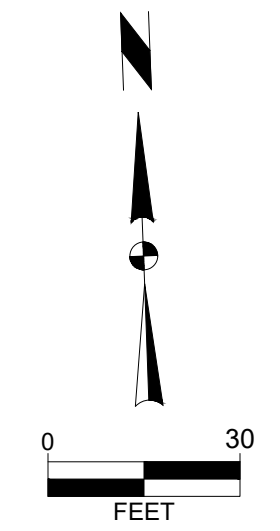
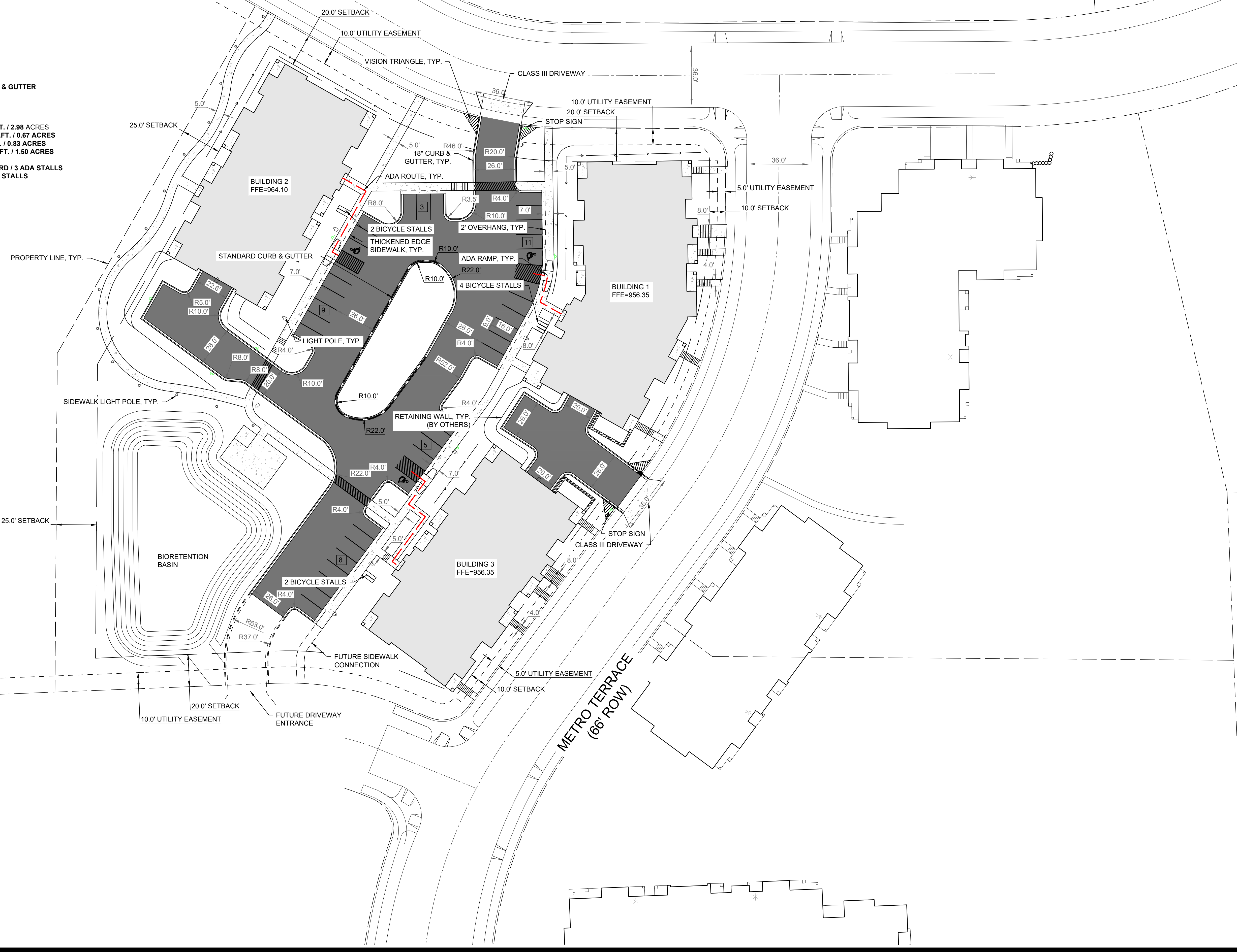
- ASPHALT
- CONCRETE
- ADA ROUTE
- STANDARD CURB & GUTTER

SITE DATA:

- LOT AREA 1129,851 SQ.FT. / 2.98 ACRES
- BUILDING AREA (FOOTPRINT) 129,257 SQ.FT. / 0.67 ACRES
- PAVED AREA 136,007 SQ.FT. / 0.83 ACRES
- TOTAL IMPERVIOUS AREA 165,264 SQ.FT. / 1.50 ACRES
- IMPERVIOUS SURFACE RATIO 150.3%
- SURFACE PARKING STALLS 33 STANDARD / 3 ADA STALLS
- BIKE PARKING STALLS 8 EXTERIOR STALLS

TOWN CENTER DRIVE
(66' ROW)

METRO TERRACE
(66' ROW)



6321 TOWN CENTER DRIVE
SITE PLAN
CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC. |

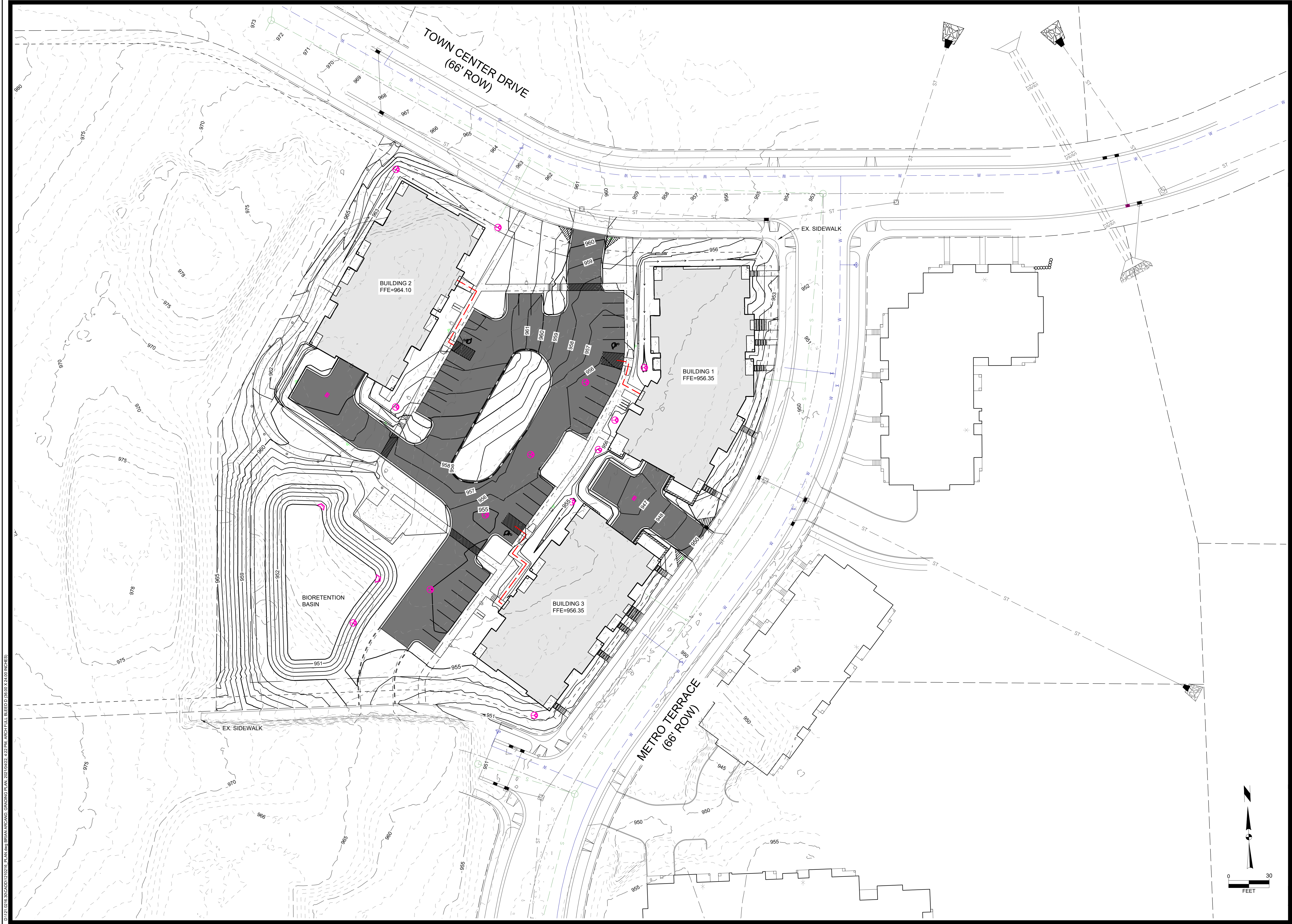
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MARK	REVISION	DATE	T =	
Engineer: BCA	Checked By: MLC	Date: 03-31-21	Scale: T =	
Technician: TECH			T-R-S: TTN-RRW-SS	
Project No: 121.0216.30				
Sheet C 2.1				



SNYDER & ASSOCIATES
 Project No: 121.0216.30
 Sheet C 2.1

6010 VOEGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

DATE: 02/18/2021 12:02:14 PM PLAN: 20210422_4227 PM ARCH: HULL BLEED D (8.00 X 24.00 INCHES)



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MARK	Engineer: BCA	Checked By: MLC	Date: 03-31-21	Scale: 1" =	T-R-S: TTN-RRW-SS
PARKING ISLAND	REVISION	DATE	BY	04-22-21	BCA
Project No: 121.0216.30					

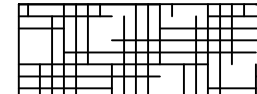

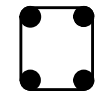
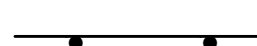
6321 TOWN CENTER DRIVE
GRADING PLAN
 CITY OF MADISON, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 121.0216.30
 Sheet C.2.2

D:\121.0216\30\CAUDY\1210216_Plan.dwg BRUN, ARCAD, EROSION CONTROL PLAN, 20210422, 4:22 PM ARCH PULL BLEED D (8.00 X 24.00 INCHES)

- LEGEND**
-  EROSION CONTROL MAT
 -  CONSTRUCTION ENTRANCE
 -  INLET PROTECTION
 -  SILT FENCE

EROSION MAT, TYP.

SILT FENCE, TYP.

INLET PROTECTION, TYP.

CONSTRUCTION ENTRANCE

CONSTRUCTION ENTRANCE

TOWN CENTER DRIVE
(66' ROW)

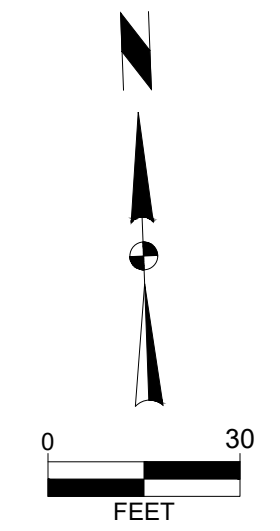
METRO TERRACE
(66' ROW)

BUILDING 2
FFE=964.10

BUILDING 1
FFE=956.35

BUILDING 3
FFE=956.35

BIORETENTION BASIN



MARK	Engineer: BCA	Checked By: MLC	Date: 03-31-21	Scale: 1" =	T-R-S: TTN-RRW-SS
PARKING ISLAND	REVISION	DATE	BY	04-22-21	BCA
Project No: 121.0216.30					

CITY OF MADISON, DANE COUNTY, WI

6321 TOWN CENTER DRIVE

6010 YOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

EROSION CONTROL PLAN

SNYDER & ASSOCIATES, INC.



Project No: 121.0216.30

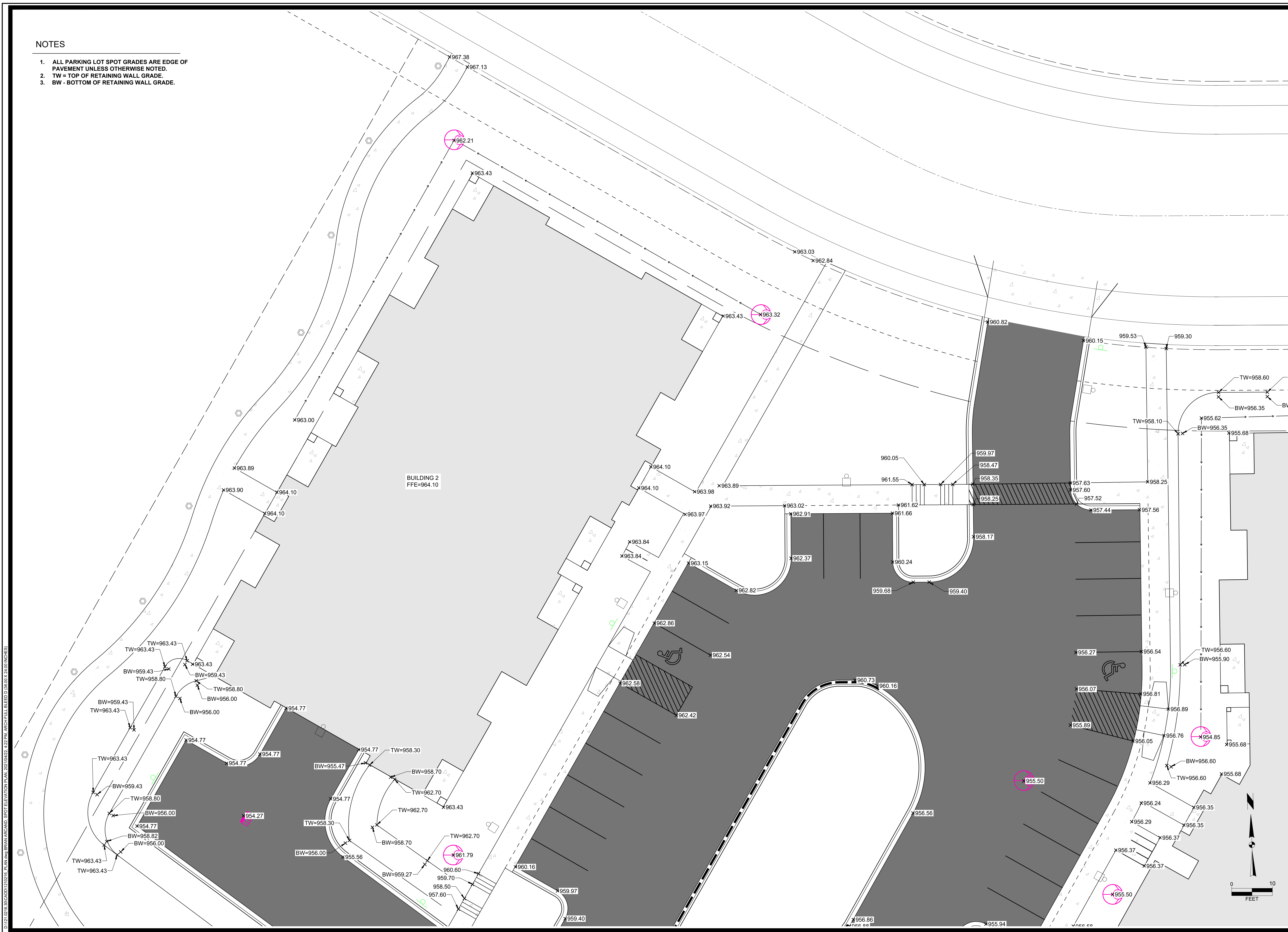
Sheet C.2.3

Sheet C.2.3

NOTES


1. ALL PARKING LOT SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. TW = TOP OF RETAINING WALL GRADE.
3. BW - BOTTOM OF RETAINING WALL GRADE.

DATE: 02/18/2016 12:02:16 PM ARCH: BRUNN, JACOBSON, SPOT ELEVATION PLAN, 2016/02/18 4:52 PM, ARCH FILL BLEED D (8.00 X 24.00 INCHES)



MARK	Engineer: BCA	Checked By: M.L.C.	Date: 03-31-21	Scale: 1" =	T-R-S: TTN-RRW-SS
PARKING ISLAND	REVISION	DATE	BY	04-22-21	BCA
Project No: 121.0216.30					

6321 TOWN CENTER DRIVE
SPOT ELEVATION PLAN
CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC. |



SNYDER & ASSOCIATES

Project No: 121.0216.30
 Sheet C.2.4

6010 YOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

Sheet C.2.4

NOTES

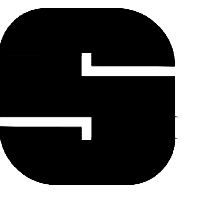
- 1. ALL PARKING LOT SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 2. TW = TOP OF RETAINING WALL GRADE.
- 3. BW - BOTTOM OF RETAINING WALL GRADE.



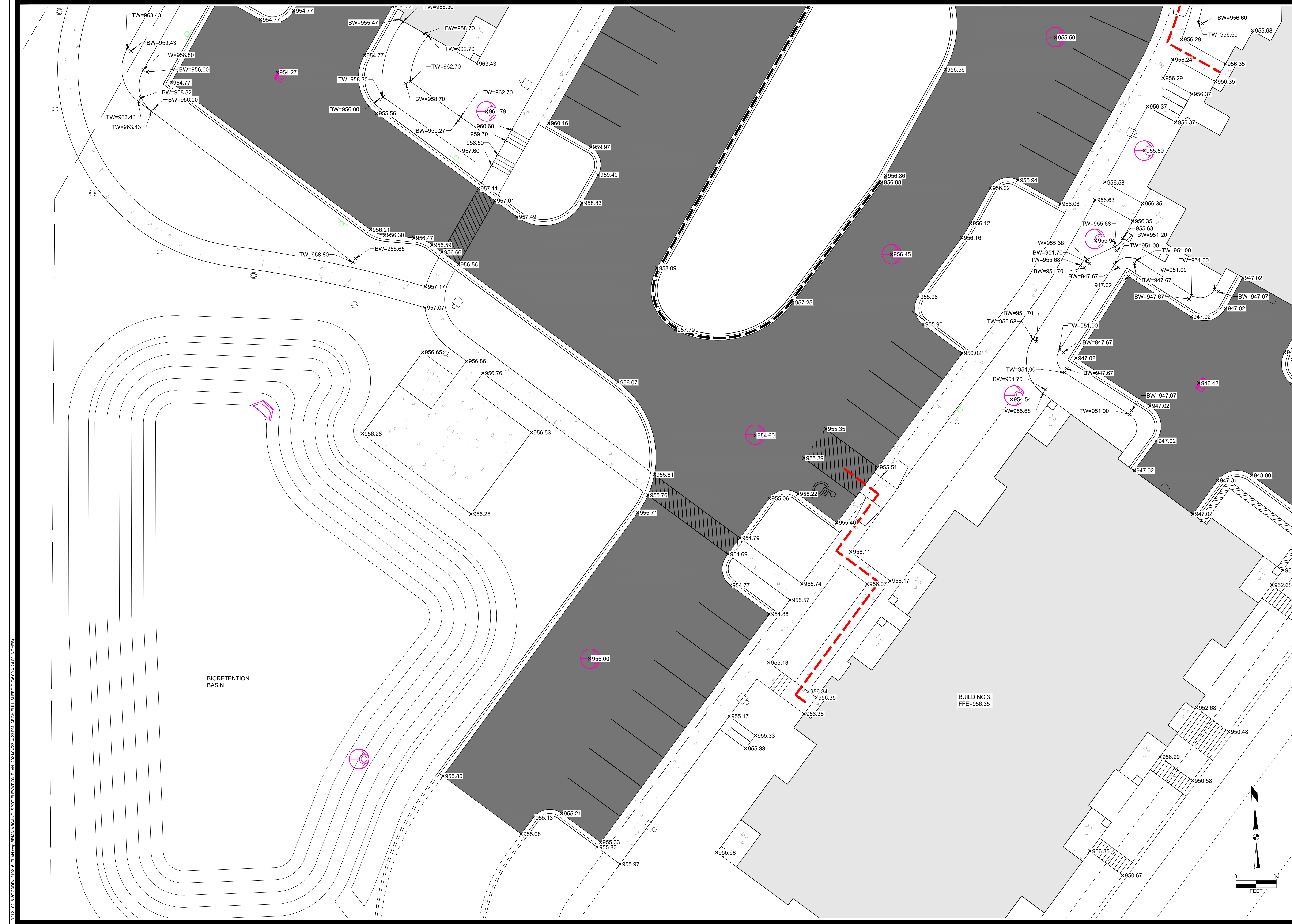
DATE: 02/18/2010 12:02:10 PM ARCH: BRUNN, JRC/AND. SPOT ELEVATION PLAN, 2010/02/27 4:23 PM ARCH: FULL BLEED D (8.5" X 11" INCHES)

MARK	ENGINEER	TECHNICAL	DATE	SCALE
PARKING ISLAND	BCA		04-22-21	BY
REVISION				
Checked By:	M.L.C.		03-31-21	T =
Engineer:	BCA			
Technician:	TTN-RRW-SS			

6321 TOWN CENTER DRIVE
SPOT ELEVATION PLAN
CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.


SNYDER & ASSOCIATES
 Project No: 121.0216.30
 Sheet C 2.5

Sheet C 2.5




DATE: 02/18/2019 12:02:14 PM PROJECT: 121.021630 ARCH: BRYAN ARCADIAN SPOT ELEVATION PLAN 2019/02/18 4:53 PM ARCH FILL BLEED D (8.00 X 24.00 INCHES)

MARK	PARKING ISLAND	DATE	04-22-21	BY	BCA
Engineer: BCA	Checked By: MLC	Date: 03-31-21	Scale: 1" =	Project No: 121.021630	Sheet C.2.6
Technician: TTT	Tech: TTT	Tech: TTT	Tech: TTT	Tech: TTT	Tech: TTT

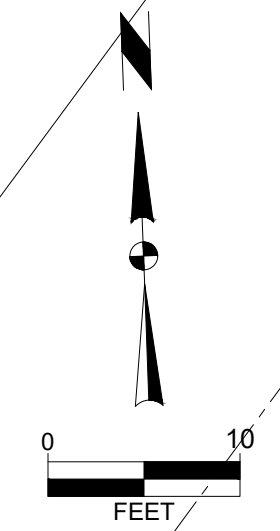
6321 TOWN CENTER DRIVE
SPOT ELEVATION PLAN
 CITY OF MADISON, DANE COUNTY, WI

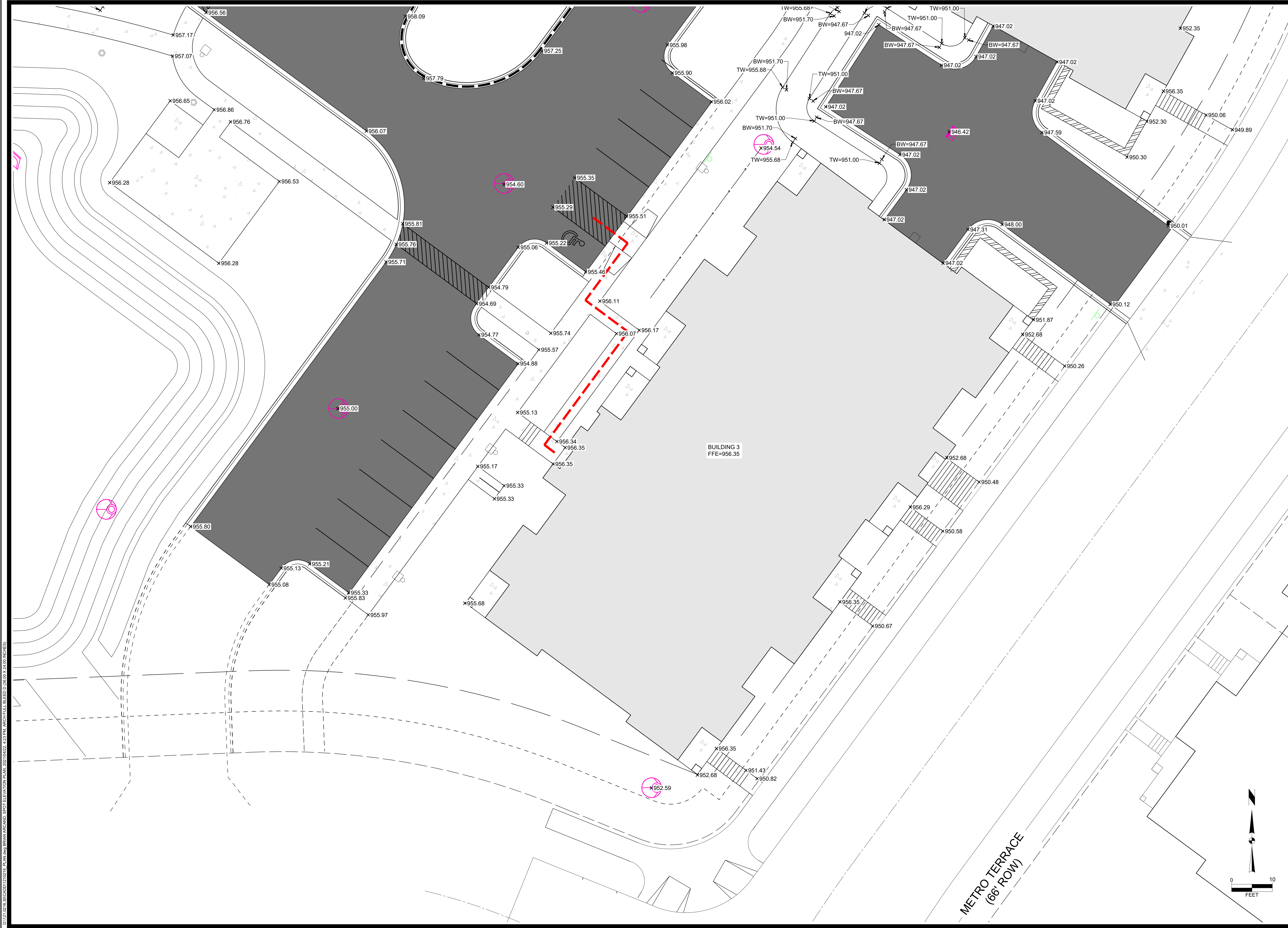
SNYDER & ASSOCIATES, INC.

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Project No: 121.021630
 Sheet C.2.6





0/1/21/02/18:30/CADD/1210216/PLAN/ELEVATION PLAN 2021/10/22 4:23 PM ARCH PLOT BLEED D (8.5X11 X 24 INCHES)


MARK	REVISION	DATE	BY
	PARKING ISLAND	04-22-21	BCA

Engineer	Checked By	Scale	Date	Project No.
BCA	M.L.C.	"1" = "	03-31-21	121.0216.30

Technician
T.T.R.

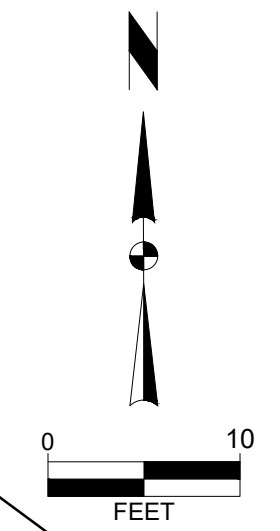
6321 TOWN CENTER DRIVE
 SPOT ELEVATION PLAN
 CITY OF MADISON, DANE COUNTY, WI
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Project No: 121.0216.30
 Sheet C.2.7

METRO TERRACE
(66' ROW)

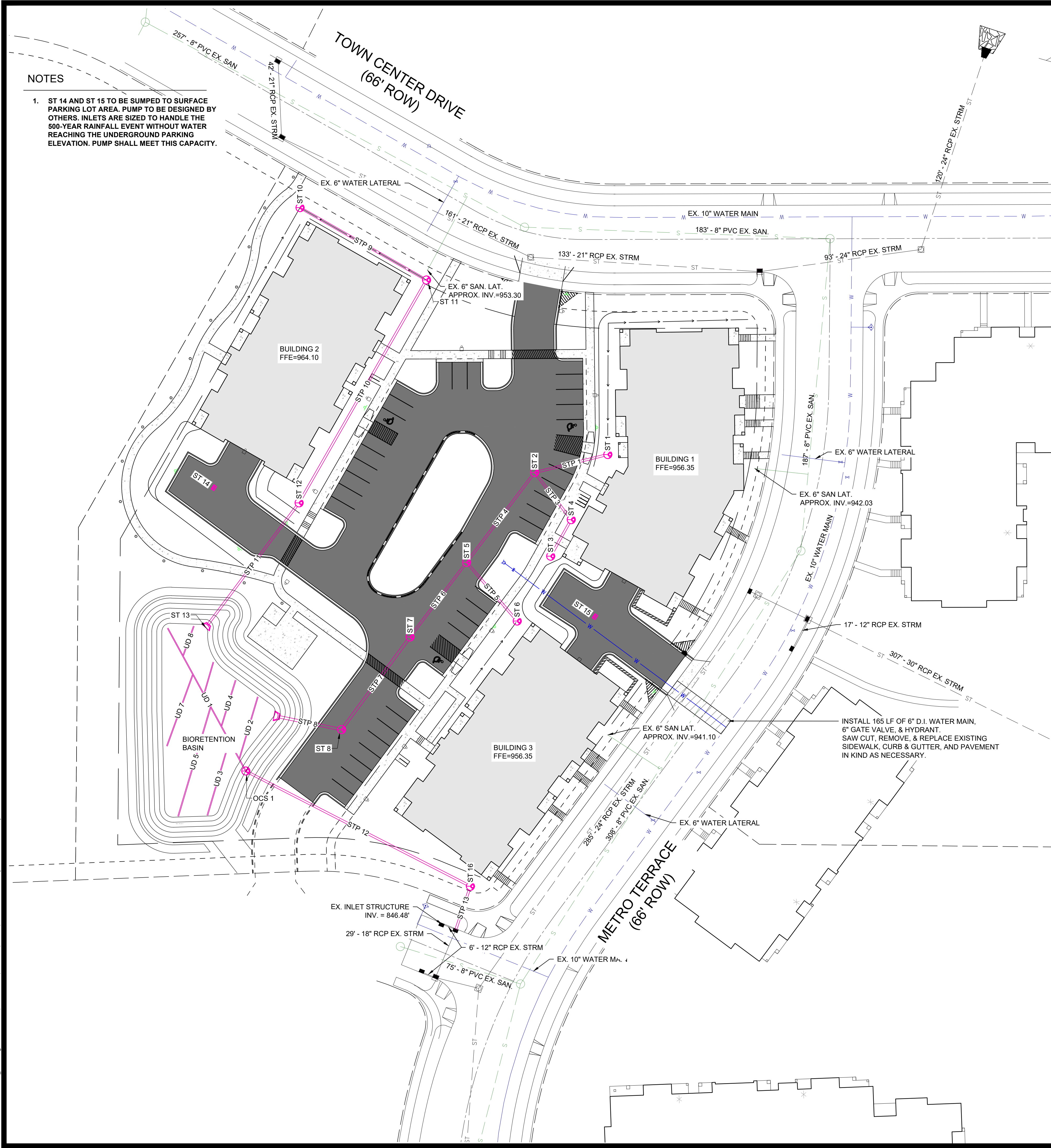


BUILDING 3
FFE=956.35



NOTES

- ST 14 AND ST 15 TO BE SUMPED TO SURFACE PARKING LOT AREA. PUMP TO BE DESIGNED BY OTHERS. INLETS ARE SIZED TO HANDLE THE 500-YEAR RAINFALL EVENT WITHOUT WATER REACHING THE UNDERGROUND PARKING ELEVATION. PUMP SHALL MEET THIS CAPACITY.

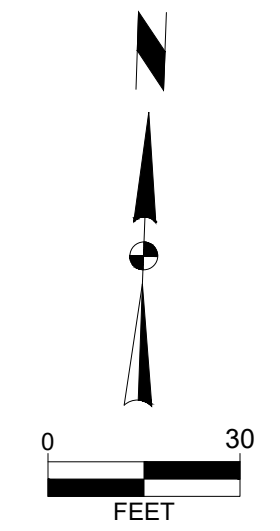


STRUCTURE TABLE

STRUCTURE NAME	RIM EL	STRUCTURE TYPE	INVERTS IN	INVERTS OUT	FRAME/GRATE
OCS 1	951.99	48" CONC. MH		SE = 947.50	R-4342
ST 1	955.31	48" CONC. MH		W = 952.20	R-4342
ST 2	955.50	48" CONC. MH	E = 951.88 SE = 951.88	SW = 951.88	R-1550
ST 3	956.90	48" CONC. MH		NE = 953.79	R-4342
ST 4	955.50	48" CONC. MH	SW = 952.70	NW = 952.70	R-4342
ST 5	956.45	48" CONC. MH	NE = 951.40 SE = 951.40	SW = 951.40	R-1550
ST 6	955.05	48" CONC. MH		NW = 951.94	R-4342
ST 7	954.60	48" CONC. MH	NE = 951.02	SW = 950.77	R-1550
ST 8	955.00	48" CONC. MH	NE = 950.30	W = 950.30	R-1550
ST 9	951.35	15" AE	E = 950.00		
ST 10	962.32	48" CONC. MH		SE = 959.21	R-4342
ST 11	963.32	48" CONC. MH	NW = 956.75	SW = 956.75	R-4342
ST 12	961.80	48" CONC. MH	NE = 952.42	SW = 952.42	R-4342
ST 13	951.11	12" AE	NE = 950.00		
ST 14	954.27	2'X3' CI			R-3067
ST 15	946.42	2'X3' CI			R-3067
ST 16	952.60	48" CONC. MH	NW = 946.64	S = 946.64	R-4342

STORM PIPE TABLE

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
STP 1	N12 HDPE	12	ST 1	ST 2	45	952.20	951.88	0.72%
STP 2	N12 HDPE	12	ST 3	ST 4	25	953.79	952.70	4.36%
STP 3	N12 HDPE	12	ST 4	ST 2	35	952.70	951.88	2.31%
STP 4	N12 HDPE	12	ST 2	ST 5	67	951.88	951.40	0.72%
STP 5	N12 HDPE	12	ST 6	ST 5	46	951.94	951.40	1.17%
STP 6	N12 HDPE	12	ST 5	ST 7	56	951.40	951.02	0.68%
STP 7	N12 HDPE	15	ST 7	ST 8	69	950.77	950.30	0.68%
STP 8	N12 HDPE	15	ST 8	ST 9	41	950.30	950.00	0.74%
STP 9	N12 HDPE	12	ST 10	ST 11	87	959.21	956.75	2.83%
STP 10	N12 HDPE	12	ST 11	ST 12	153	956.75	952.42	2.83%
STP 11	N12 HDPE	12	ST 12	ST 13	93	952.42	950.00	2.61%
STP 12	N12 HDPE	12	OCS 1	ST 16	150	947.50	946.64	0.57%
STP 13	N12 HDPE	12	ST 16		27	946.64	946.48	0.57%
UD 1	PVC	6			97	947.48	947.39	0.09%
UD 2	PVC	6			38	947.48	947.45	0.09%
UD 3	PVC	6			46	947.48	947.24	0.54%
UD 4	PVC	6			28	947.48	947.46	0.09%
UD 5	PVC	6			67	947.48	947.22	0.38%
UD 6	PVC	6			19	947.48	947.47	0.07%
UD 7	PVC	6			45	947.48	947.44	0.09%



MARK	Engineer: BCA	Checked By: M.L.C	Date: 03-31-21	Scale: 1" =	T.R.S. TTN-RRW-SS
PARKING ISLAND	REVISION	DATE	BY	04-22-21	BCA
Project No: 121.0216.30					

CITY OF MADISON, DANE COUNTY, WI

6010 JOGES ROAD
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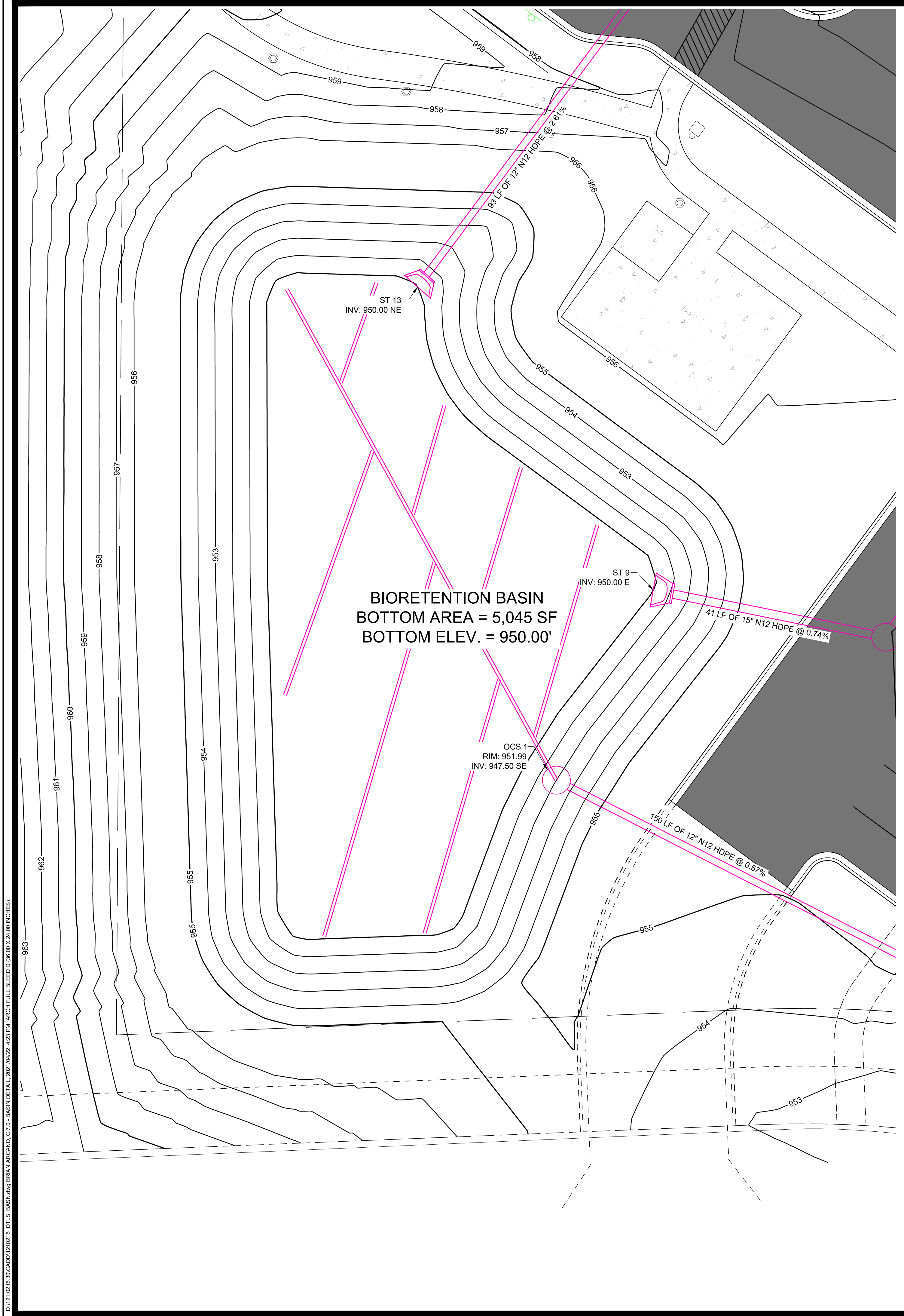
6321 TOWN CENTER DRIVE

UTILITY PLAN

SNYDER & ASSOCIATES, INC.

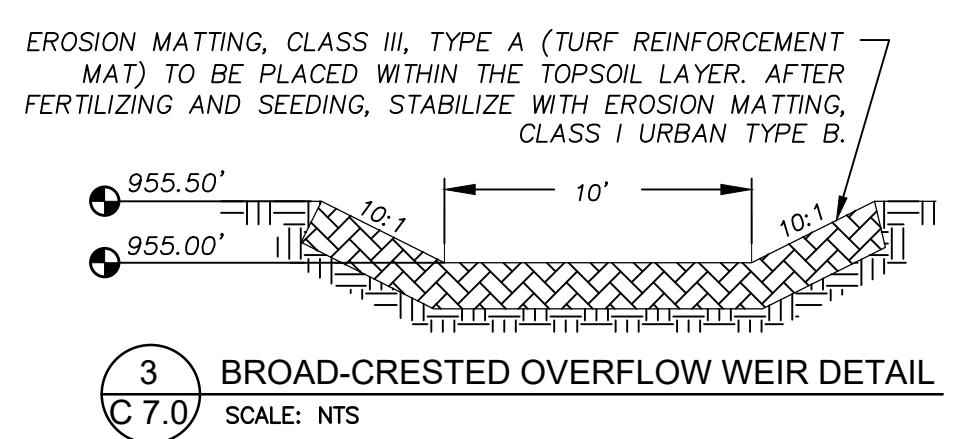
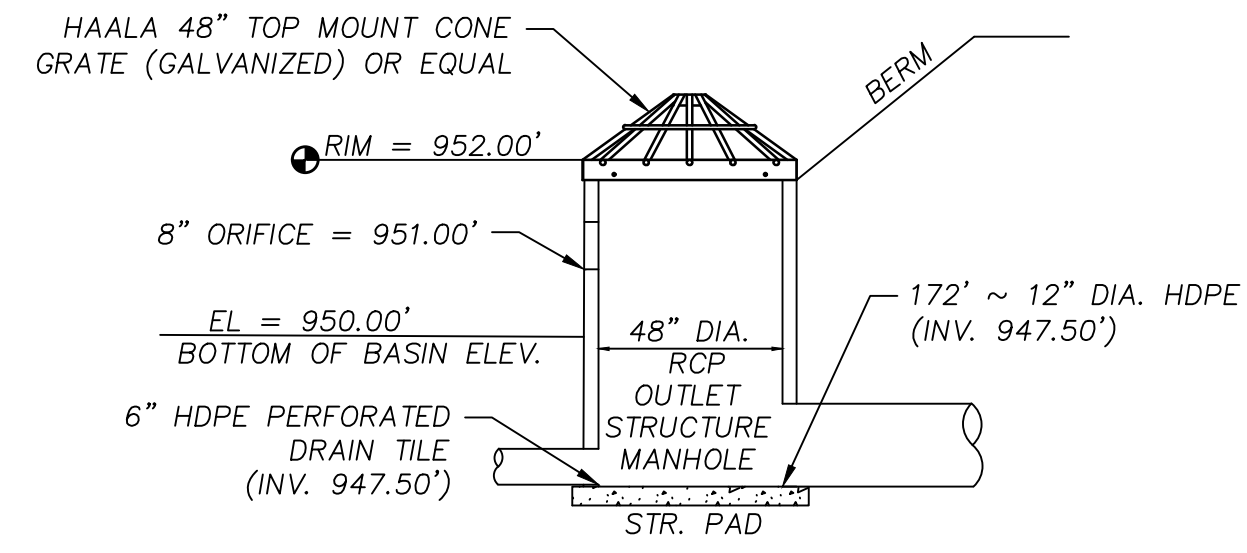
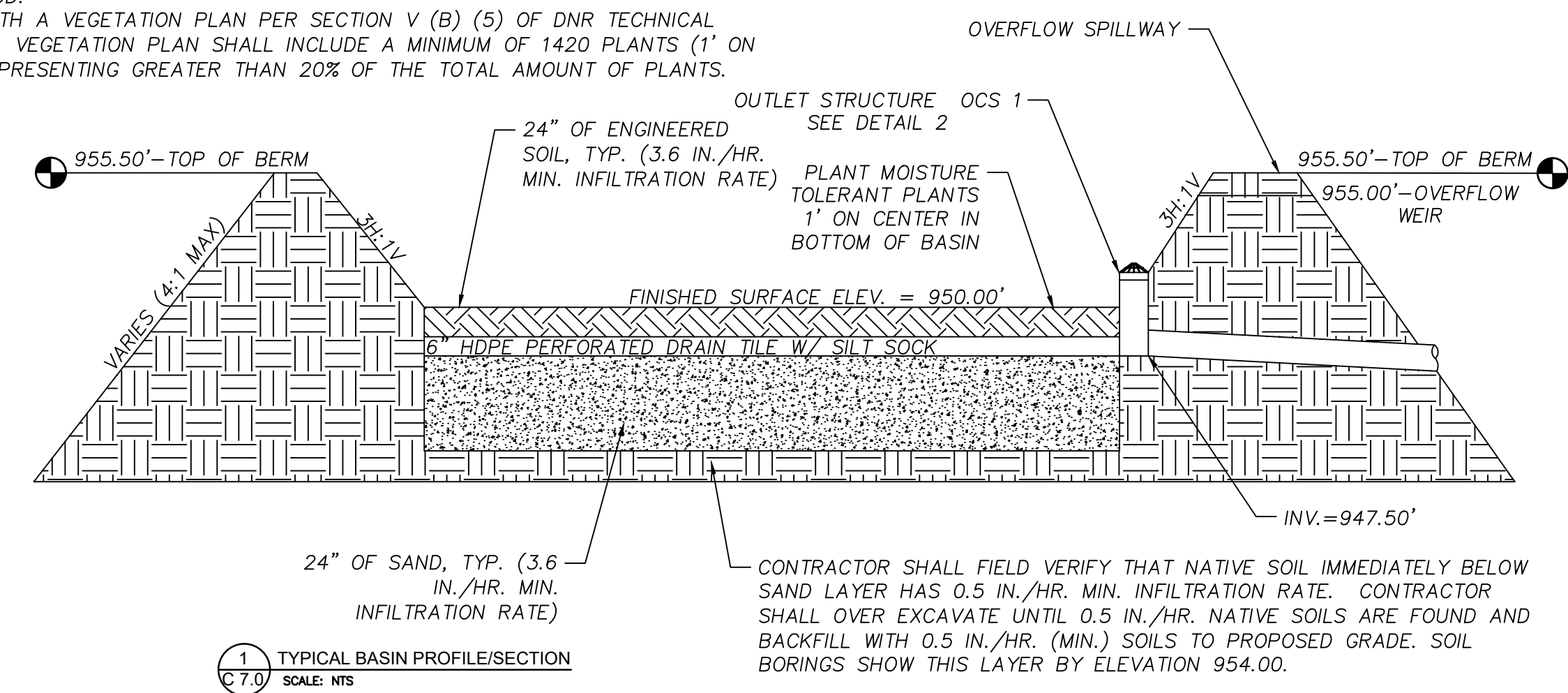


D:\121.0216.30\CA001\1210216_Plan.dwg BRUNN, ARCAD, UTILITY PLAN, 2021/04/22, 1:23 PM, ARCH/FULL BLEED/D (0,00 X 24,00) INCHES

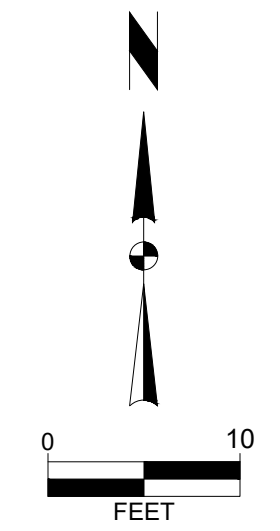
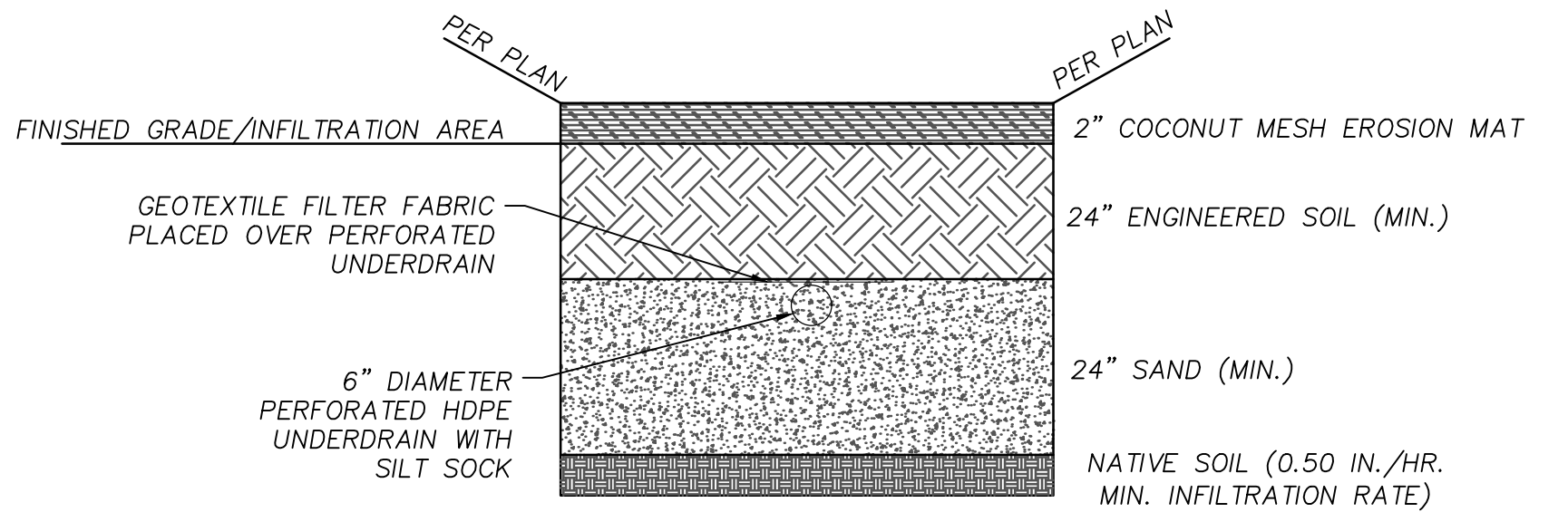


NOTES:

- CONTRACTOR AND OWNER SHALL ENSURE BIORETENTION BASIN IS INSTALLED, BROUGHT ON-LINE, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1004. FOR TECH. STANDARD 1004, SEE WEBSITE <http://dnr.wi.gov/topic/stormwater/documents/Bioretenion1004.pdf>
- BASIN SHALL BE ROUGH GRADED IN ORDER TO ACT AS A SILT BASIN DURING CONSTRUCTION. THE BASIN SHALL NOT BE EXCAVATED TO THE NATIVE INFILTRATION LAYER UNTIL ALL DISTURBED AREAS FLOWING TO THE BASIN HAVE BEEN RESTORED WITH GRASS OR SOD.
- CONTRACTOR TO PROVIDE THE VILLAGE WITH A VEGETATION PLAN PER SECTION V (B) (5) OF DNR TECHNICAL STANDARD 1004 PRIOR TO ANY PLANTING. VEGETATION PLAN SHALL INCLUDE A MINIMUM OF 1420 PLANTS (1' ON CENTER) WITH NO SINGLE PLANT TYPE REPRESENTING GREATER THAN 20% OF THE TOTAL AMOUNT OF PLANTS.



- BIORETENTION BASIN CONSTRUCTION METHODS, MATERIALS, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1004. FOR TECH. STANDARD 1004, SEE WEBSITE <http://dnr.wi.gov/topic/stormwater/documents/Bioretenion1004.pdf>
- A CLASS II, TYPE B EROSION MAT/BLANKET (I.E. COCONUT MAT) SHALL BE PLACED ON THE SURFACE OF THE BIORETENTION BASIN.
- ENGINEERED SOIL SHALL CONSIST OF 75-85% SAND AND 15-25% COMPOST BY VOLUME. SOILS BENEATH THE ABOVE SOIL STRUCTURE SHALL BE UNDERCUT AS NEEDED TO REACH A PERMEABLE LAYER.
- INFILTRATION AREA SHALL BE GRADED AND INSTALLED AFTER SITE DRAINING TO THE BASIN IS SEEDING AND VEGETATION IS ESTABLISHED.
- CONTRACTOR MUST EXCAVATE BASINS UNTIL REACHING THE SANDY LOAM SOIL LAYER. BACKFILL TO THE PEA GRAVEL/ENGINEERED SOIL LAYER SHALL CONSIST OF CLEAN SAND.
- MOISTURE TOLERANT PLANTS SHALL BE PLANTED IN THE BOTTOM OF BASIN SPACED ONE FOOT ON CENTER. PLUGS SHALL BE AGRECOL WET PRAIRIE SHORT STATURE MIX OR APPROVED EQUIVALENT.
- FIELD INFILTRATION TESTING: IMMEDIATELY AFTER ROUGH GRADING OF STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES, PROVIDE FIELD INFILTRATION TESTING CONDUCTED BY A THIRD-PARTY TESTING AGENCY TO VERIFY INFILTRATION RATES FOR ALL STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES. DETERMINE INFILTRATION RATES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) SITE EVALUATION FOR STORMWATER INFILTRATION, STANDARD 1002. FREQUENCY OF TESTING SHALL BE 1 TEST PER 5000 SQUARE FEET OF SURFACE AREA OF THE STORMWATER INFILTRATION DEVICE MEASURED AT THE DESIGN HIGH WATER LEVEL AND AT LEAST ONE TEST PER DEVICE. FURNISH A REPORT OF THE TEST RESULTS TO ARCHITECT/ENGINEER.



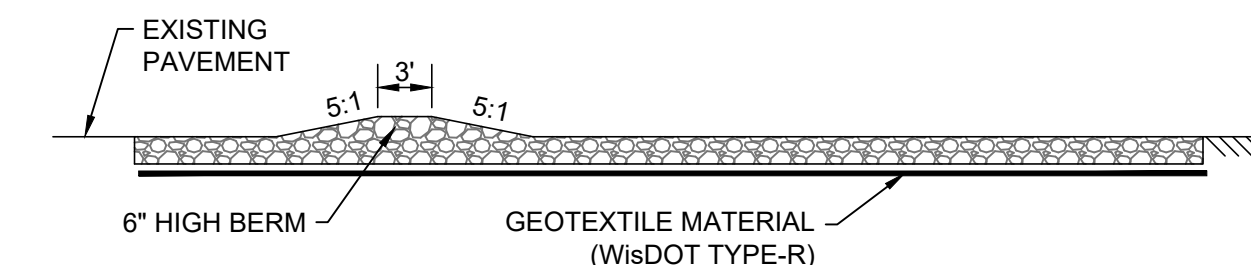
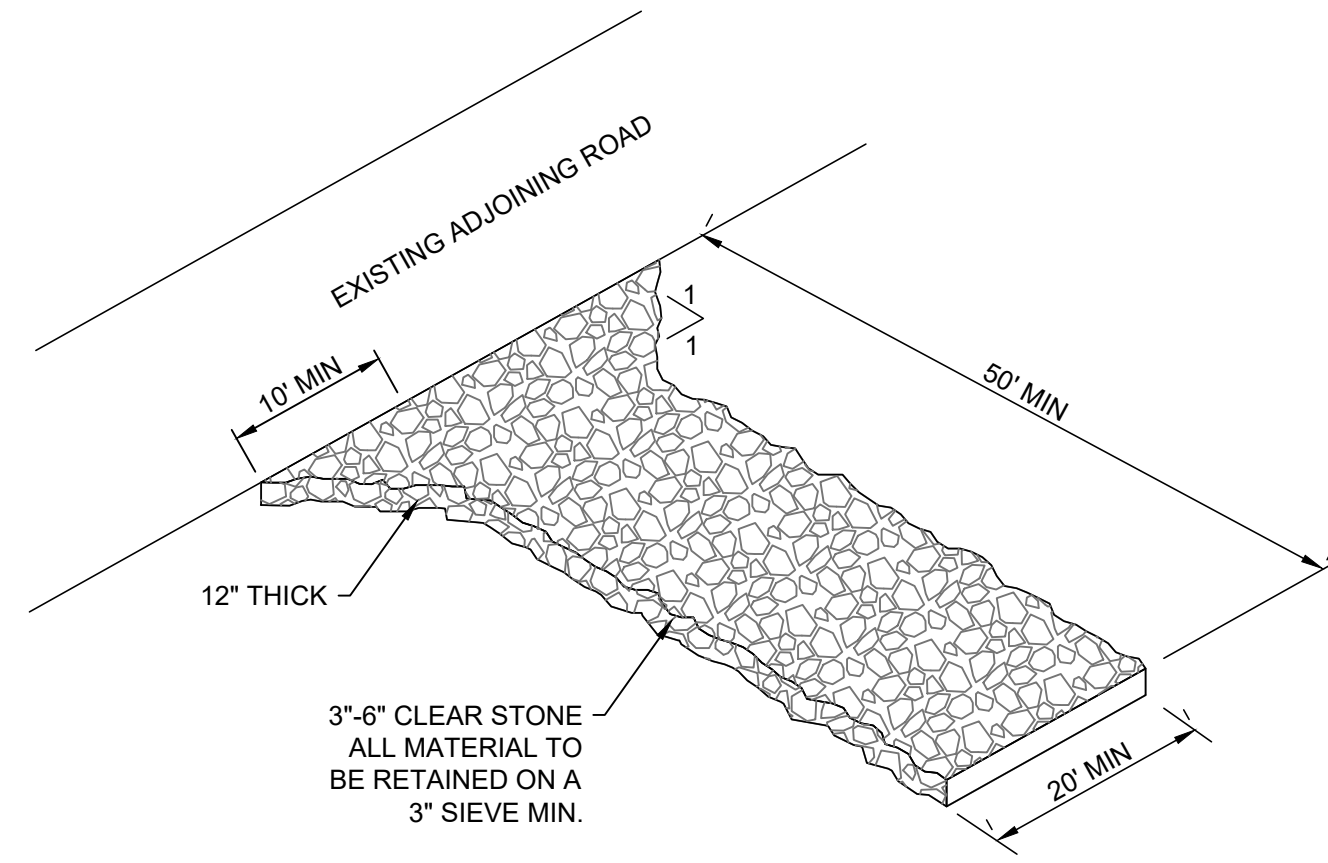
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REVISION		DATE	
MARK		Checked By:	M.L.C
Engineer: BCA		Date:	03-31-21
Technician: TTT		T-R-S:	TTT-RRW-SS
			Scale: 1" =
			Project No: 121.0216.30
			Sheet C 7.0

6321 TOWN CENTER DRIVE
 BASIN DETAIL
 CITY OF MADISON, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.

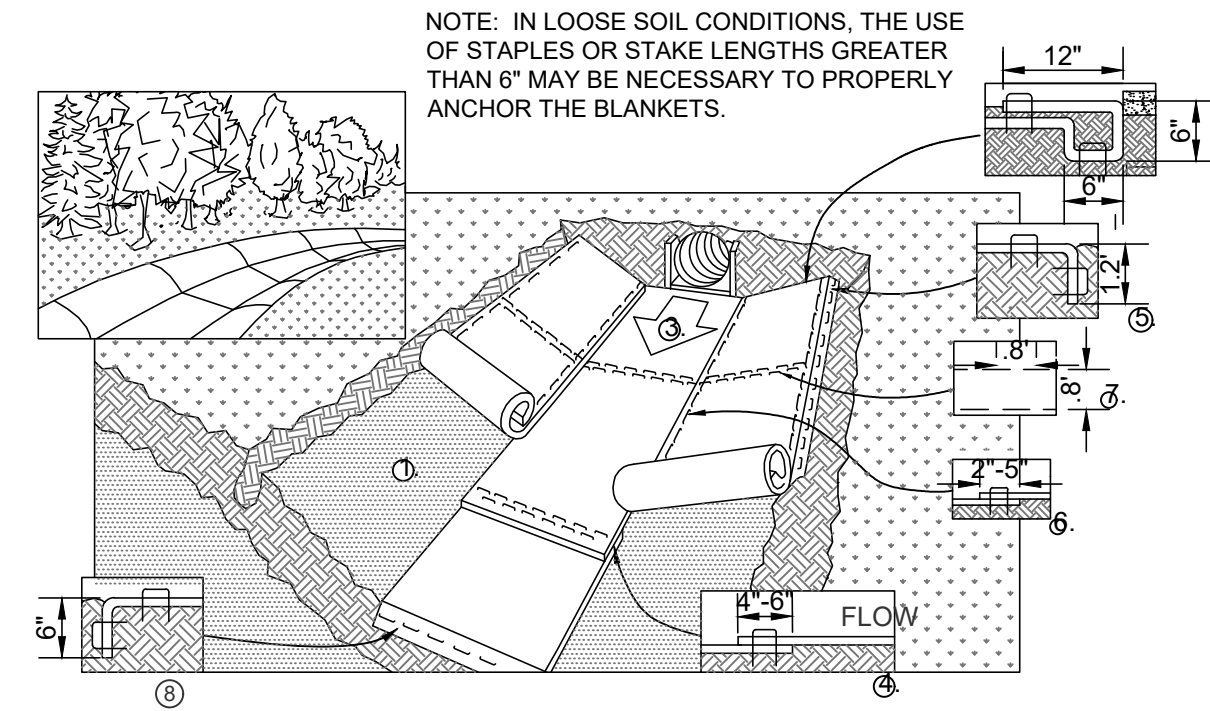
Project No: 121.0216.30
 Sheet C 7.0

D:\121.0216.30\CAD\1210216.DTLS - BASIN DETAIL - 20210422 - 4:23 PM - ARCH FULL BLEED D (8.00 X 24.00 INCHES)



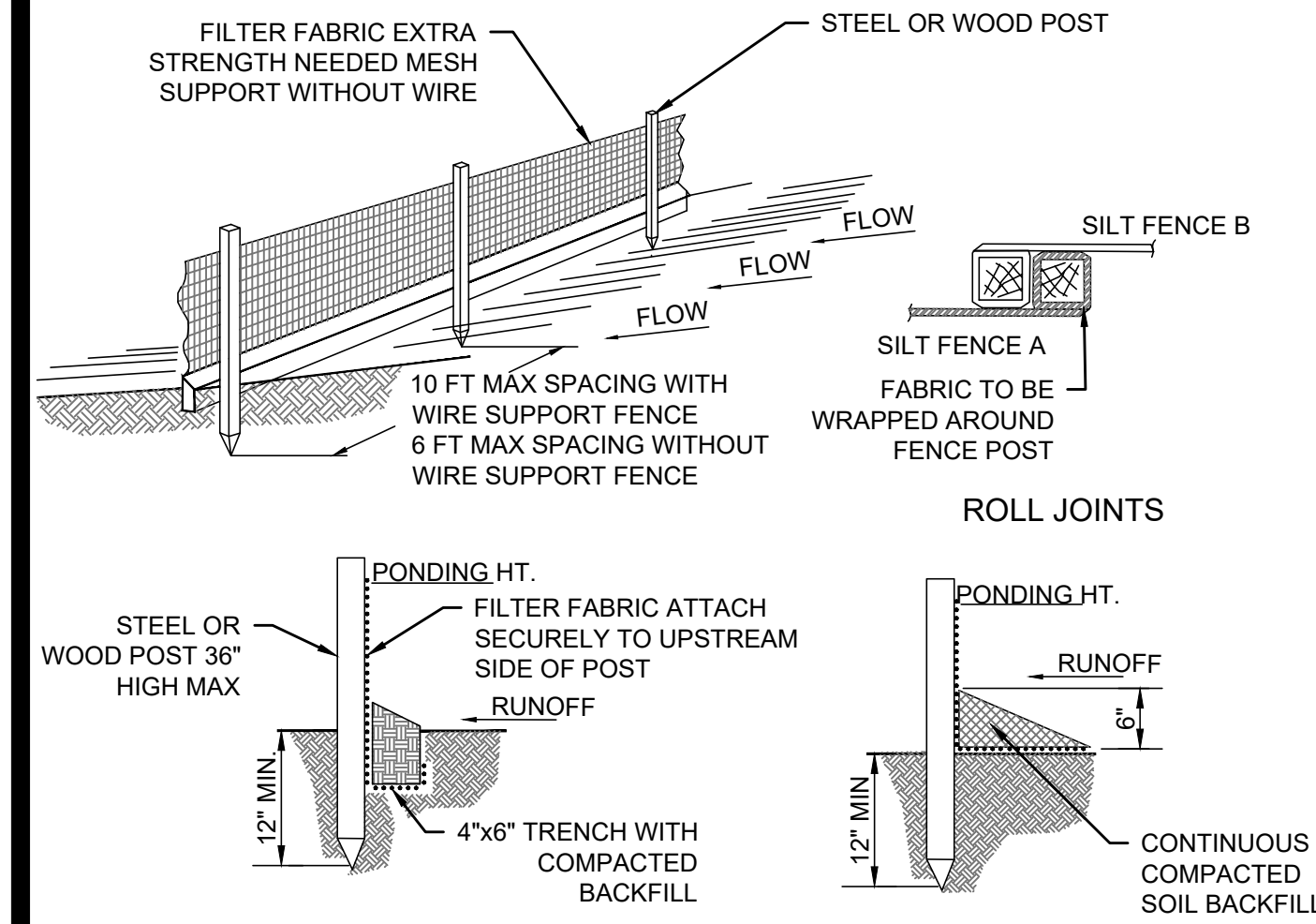
NOTE: MAINTAIN THE ROCK ENTRANCE TO PREVENT TRACKING ONTO PAVEMENT

1 STONE ENTRANCE DETAIL
7.1 NO SCALE



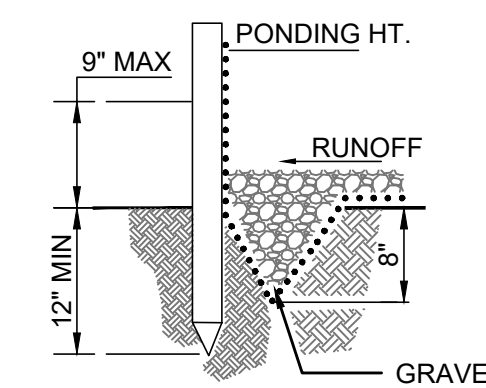
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING
- A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING
- EROSION MAT SHALL EXTEND FOR WHICHEVER IS GREATER: UPSLOPE ONE FOOT MIN. VERTICALLY FROM DITCH BOTTOM OR 6" HIGHER THAN DESIGN FLOW DEPTH
- EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS 1053

2 EROSION CONTROL MAT - CHANNEL INSTALLATION
7.1 NO SCALE



3 STANDARD DETAIL TRENCH WITH NATIVE BACKFILL

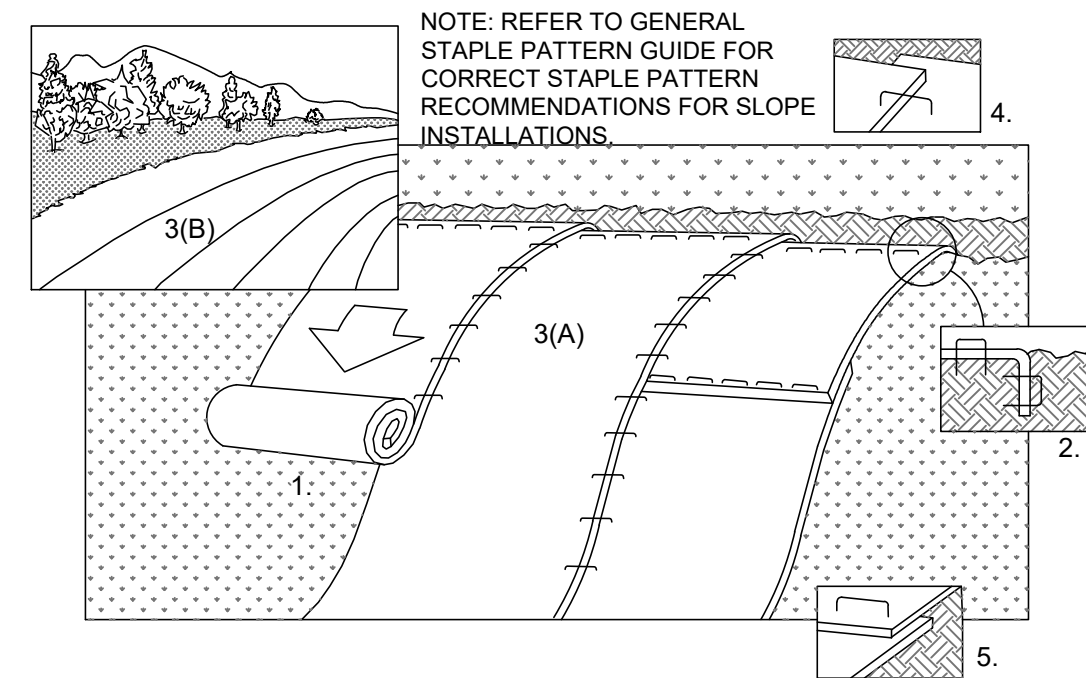
ALTERNATE DETAIL SOIL BACKFILL



ALTERNATE DETAIL TRENCH WITH GRAVEL

- NOTES:
- INSPECT FENCE WEEKLY AND AFTER EACH RAIN EVENT OF 0.5 INCHES AND REPAIR IF REQUIRED. REMOVE SEDIMENT WHEN NECESSARY OR WHEN SEDIMENT REACHES 1/2 OF FENCE HEIGHT
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY
 - SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056

3 SILT FENCE DETAIL
7.1 NO SCALE



- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING
 - ROLL THE BLANKETS (A) DOWN THE SLOPE (B) HORIZONTALLY ACROSS THE SLOPE
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP
 - WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART
 - ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER
 - EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD # 1052

4 EROSION CONTROL MAT - SLOPE INSTALLATION
7.1 NO SCALE

*FLOW RATINGS SHOWN ARE 50% MAXIMUM

NOTES:

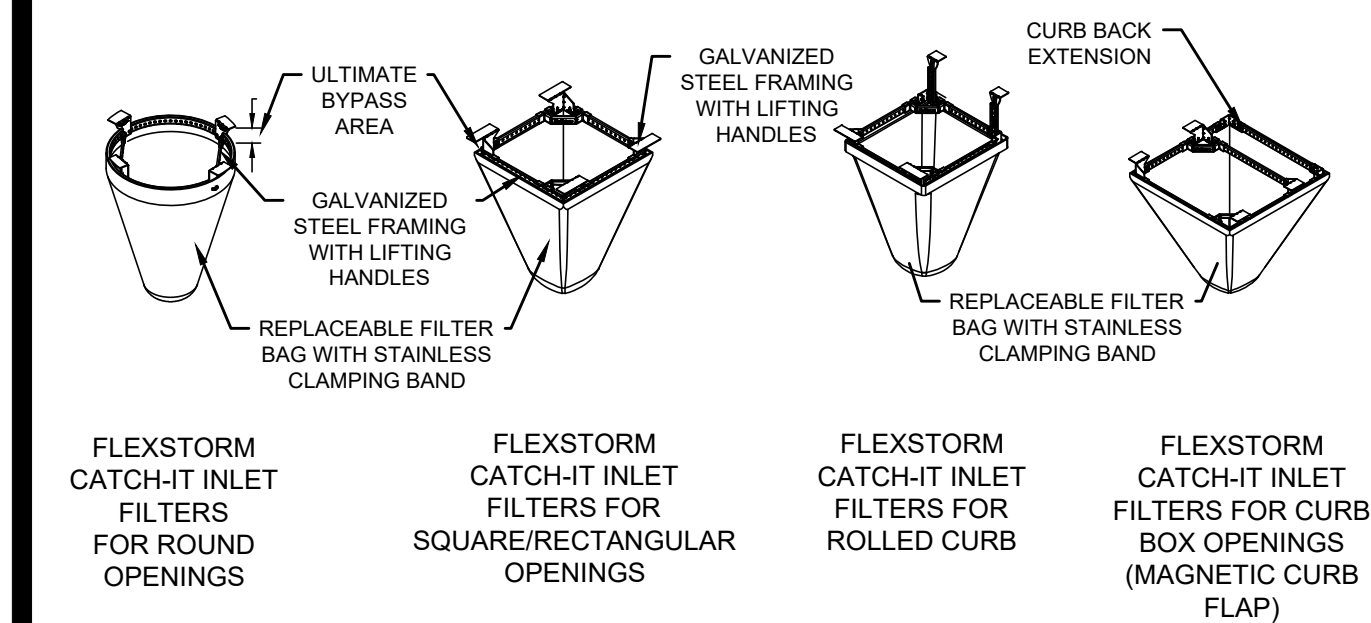
- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
- TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
- UPON ORDERING THE ADS PIN CONFIRMATION OF THE DOT CALL OUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)

Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft ²)	Flow Ratings (CFS)		ADS P/N
					FX	Bypass	
1040/1642/1733	Round	26	24	1.9	1.5	5.4	62MRDFX
3067 w/FLAP	Curb Box	35.25 x 17.75	33.0 x 15.0	3.8	1.9	5.6	62LCBEXFX
3067 EXTENDED BACK	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62LCBEXFX
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	2.2	3.3	62LCBFX
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	1.4	2.2	62MGBFX
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	2.0	5.2	62LSQFX



5 INLET PROTECTION DETAIL
7.1 SCALE: NTS

PROJECT NO.	121.0216.30
DATE	04-22-21
BY	BCA
REVISION	
CHECKED BY	M.L.C.
ENGINEER	BCA
TECHNICAL	T.T.N.R.R.W.S.S.
SCALE	1" = 1'
PROJECT	T.T.N.R.R.W.S.S.

CITY OF MADISON, DANE COUNTY, WI
6321 TOWN CENTER DRIVE
EROSION CONTROL DETAILS
6010 JOGES ROAD
MADISON, WISCONSIN 53716
608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.



MARK	Engineer: BCA	Checked By: MLC	Date: 03-31-21	Scale: 1" =	T-R-S: TTN-RRW-SS
REVISION	PARKING ISLAND	04-22-21	BCA	DATE	BY
Project No:	121.0216.30				
Sheet	C 7.2				

CITY OF MADISON, DANE COUNTY, WI
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 MADISON, WISCONSIN 53719
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6321 TOWN CENTER DRIVE
 STORM DETAILS
SNYDER & ASSOCIATES, INC.



SHOP DRILL FOUR 7/16" DIA. HOLES AS SHOWN

1" DIA. STD. PIPE FRAME
 3/4" DIA. ROD - MAX. WELD AT EACH PIPE

SLOPE ENDWALL AT THE SAME SLOPE AS THE STORM SEWER

4"x4"x3/16" ANGLES (4 REQ'D) WELD TO FRAME & PROVIDE 7/16" HOLE IN EACH ANGLE

ENDWALL DETAILS

PIPE GATE DETAILS

NOTES:
 - THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.

PAINTING SPECIFICATIONS:
 - THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

PREPARATION STEPS:
 1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
 2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
 3. ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

1 STANDARD ENDWALL DETAILS
 7.2 NO SCALE

2 STORM SEWER MANHOLE DETAIL
 7.2 NO SCALE

SEE PLAN SET FOR GRATE INFORMATION

6"-16" MEASURED INTERNALLY

26" DIA.

5" MIN.

VARIES

8"

THE USE OF WOOD WEDGES OR SHIMS FOR FRAME OR RING ADJUSTMENT IS NOT ALLOWED.

FRAME AND RINGS SHALL BE SET IN MORTAR (USE OF FLEXIBLE BUTYL RUBBER GASKET IS OPTIONAL)

MAXIMUM TOTAL CHIMNEY HEIGHT, EXCLUDING MANHOLE FRAME, SHALL NOT EXCEED 16 INCHES, WITH A MINIMUM OF 1 - 2 INCH PRECAST RING

PRECAST CONCRETE MANHOLE BARREL SECTIONS SHALL BE JOINED WITH PRE-LUBRICATED PIPE GASKET SEAL

THE ANNULAR SPACE BETWEEN THE PIPE AND MANHOLE WALL SHALL BE FILLED WITH CONCRETE TO THE HEIGHT OF THE BENCH

NOTES:
 1. FOR STRUCTURES LESS THAN 5.0' DEEP A PRECAST REINFORCED CONCRETE FLATTOP IS REQUIRED.
 WALL THICKNESS SHALL BE 5" FOR 48" MANHOLE AND 6" FOR 60" MANHOLE.

3 ENDWALL RIP-RAP DETAIL
 7.2 NO SCALE

FLARED END SECTION

PLAN

SECTION A-A

NOTES:
 GEOTEXTILE FILTER FABRIC SHALL BE TYPE "HR" UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 401.4.1.
 FOR PIPES GREATER THAN OR EQUAL TO 30" USE 1.5'.

3 ENDWALL RIP-RAP DETAIL
 7.2 NO SCALE

STORM SEWER PIPE
 NO SEWER PIPE JOINTS PERMITTED BETWEEN SUPPORTS

STYROFOAM BLOCK
 4 FT. WIDTH
 CENTERED AS SHOWN

UTILITY LINE

UTILITY LINE

LENGTH = O.D. OF PIPE + 6"

3" MIN.

18" MIN.

EACH PAIR OF SUPPORTS IN ANY SIZE IS ONE PAY ITEM

4 CONCRETE PIPE SUPPORT
 7.2 NO SCALE

ALTERNATE 1
 EYE BOLT AND TIE ROD ASSEMBLY
 (JOINT TIES FOR 72" DIA AND OVER CONCRETE PIPE)

ALTERNATE 2
 EYE BOLT AND TIE ROD ASSEMBLY
 (JOINT TIES FOR 18" TO 66" DIA CONCRETE PIPE)

ALTERNATE 3
 ADJUSTABLE TIE ROD
 (JOINT TIES FOR 12" TO 108" DIA CONCRETE PIPE)

ADJUSTABLE TIE ROD TABLE

PIPE DIAMETER	TIE ROD DIAMETER	D	L1	H	R
12" TO 30"	1/2"	1/2"	5"	1/2"	1 3/4"
66" TO 84"	3/4"	3/4"	5"	1/2"	5"
90" TO 104"	1"	1"	7"	1/2"	7 1/2"

GENERAL NOTES:
 CONCRETE CULVERT PIPE SHALL BE TIED TOGETHER IN THE MANNER ILLUSTRATED BY THIS DETAIL AND PER STANDARD SPEC. 502.7 (D)

THE CONTRACTOR MAY USE EITHER ALTERNATE 1, 2, OR 3 FOR DRAINAGE STRUCTURES UNLESS OTHERWISE STATED IN THE CONTRACT. THE MATERIALS, FABRICATION AND WORK NECESSARY TO THE CULVERT PIPE AS SHOWN ON THIS DETAIL WILL BE CONSIDERED INCIDENTAL TO THE CULVERT PIPE.

PLACEMENT OF (2) CAST-IN-PLACE INSERTS OR HOLES DURING FABRICATION FOR PIPE SECTIONS REQUIRING TIE RODS

DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR JOINT TIES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

TRANSVERSE SECTION

5 CONCRETE PIPE JOINT TIES
 7.2 NO SCALE

ALTERNATE 1
 EYE BOLT AND TIE ROD ASSEMBLY
 (JOINT TIES FOR 72" DIA AND OVER CONCRETE PIPE)

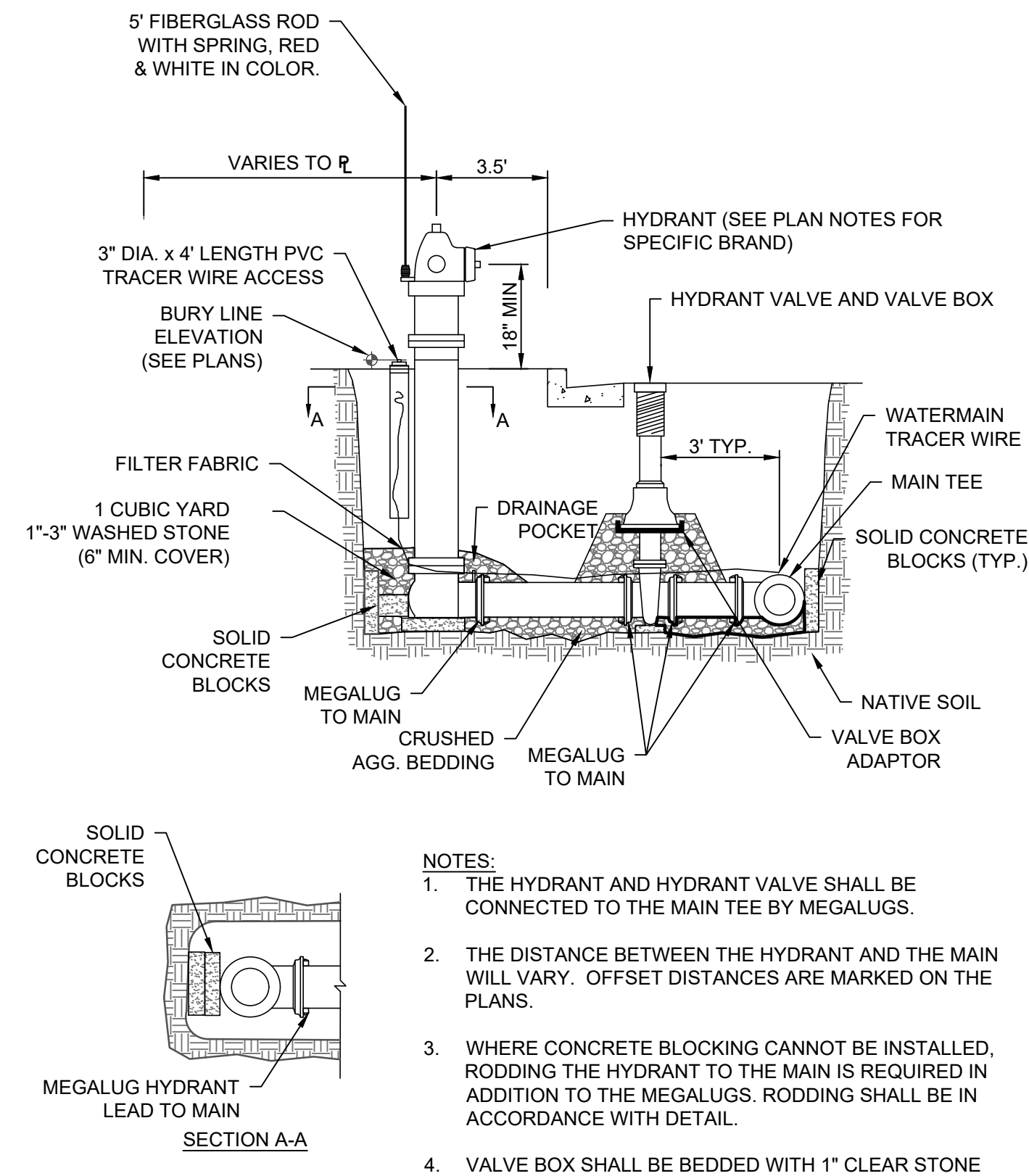
ALTERNATE 2
 EYE BOLT AND TIE ROD ASSEMBLY
 (JOINT TIES FOR 18" TO 66" DIA CONCRETE PIPE)

ALTERNATE 3
 ADJUSTABLE TIE ROD
 (JOINT TIES FOR 12" TO 108" DIA CONCRETE PIPE)

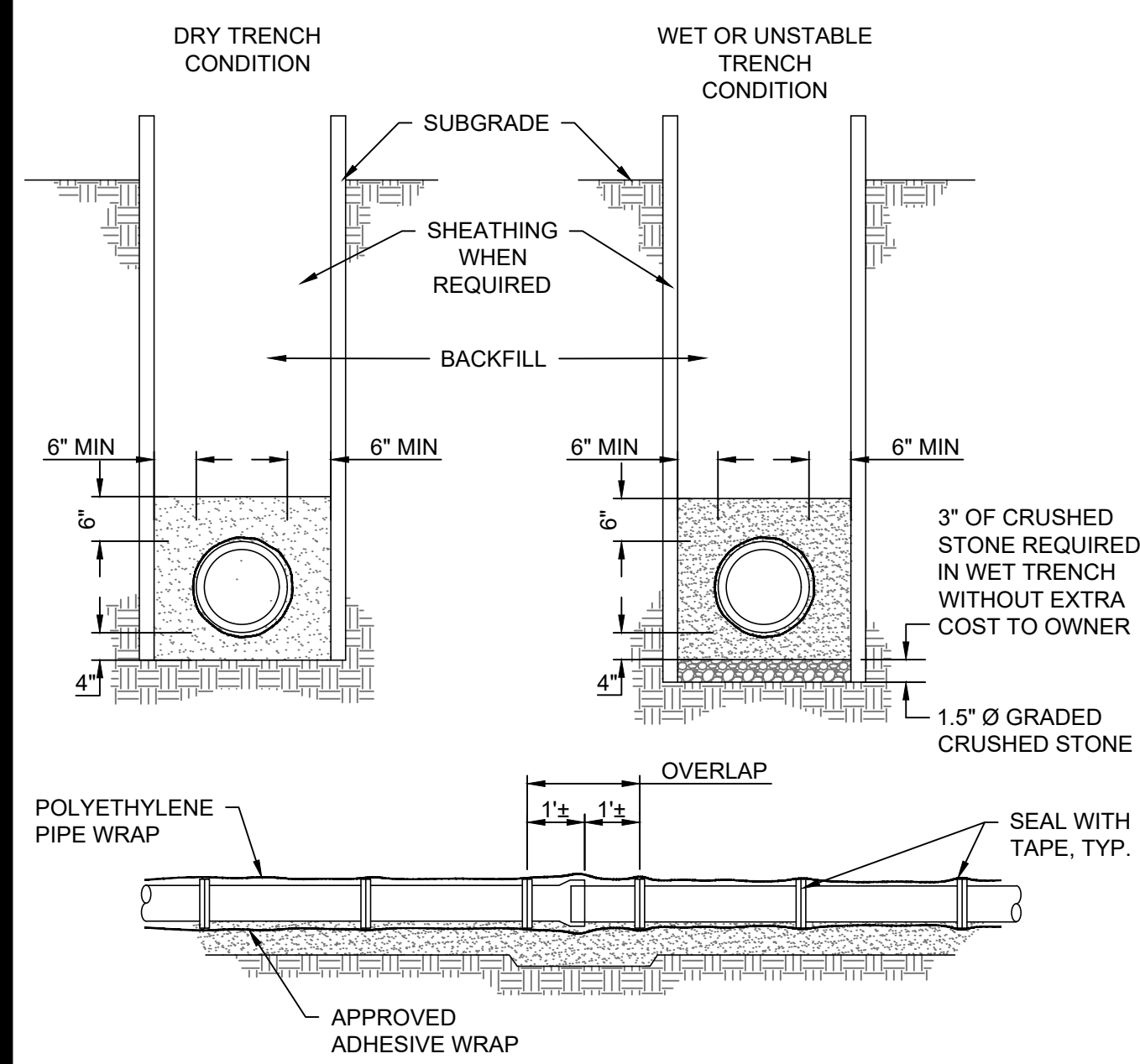
NOTE:
 TWO EYE BOLTS MAY BE USED WITH A 30° LONG THREADED ROD IN LIEU OF THE 90 DEG BENT TIE ROD EYE BOLT AND TIE ROD

EYE BOLT DIMENSION TABLE

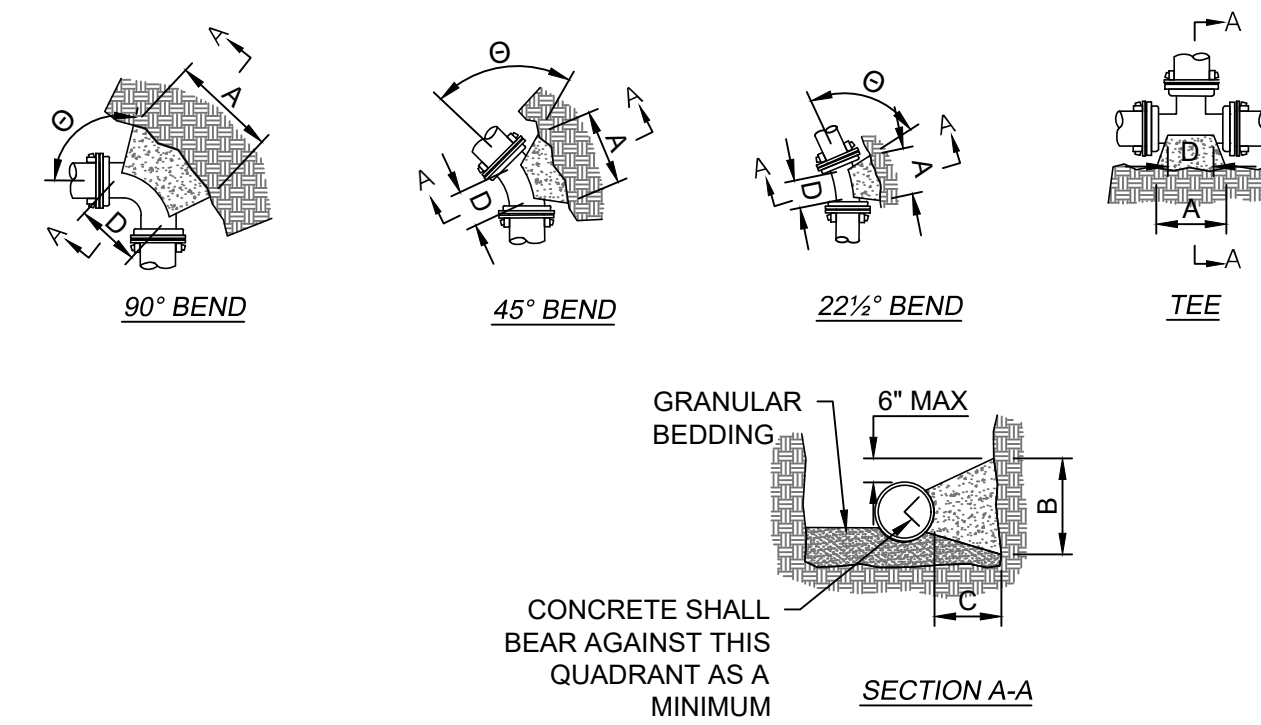
PIPE SIZE	TONGUE AND GROOVE PIPE	MODIFIED BELL PIPE
18" TO 24"	4 1/2"	6 1/4"
30"	5"	7"
36"	5 1/2"	7"
42"	6	
48"	6 1/2"	
60"	7 1/2"	
66"	8"	



1 STANDARD HYDRANT DETAIL
C 7.3 NO SCALE



2 WATER PIPE BEDDING DETAIL
7.3 NO SCALE

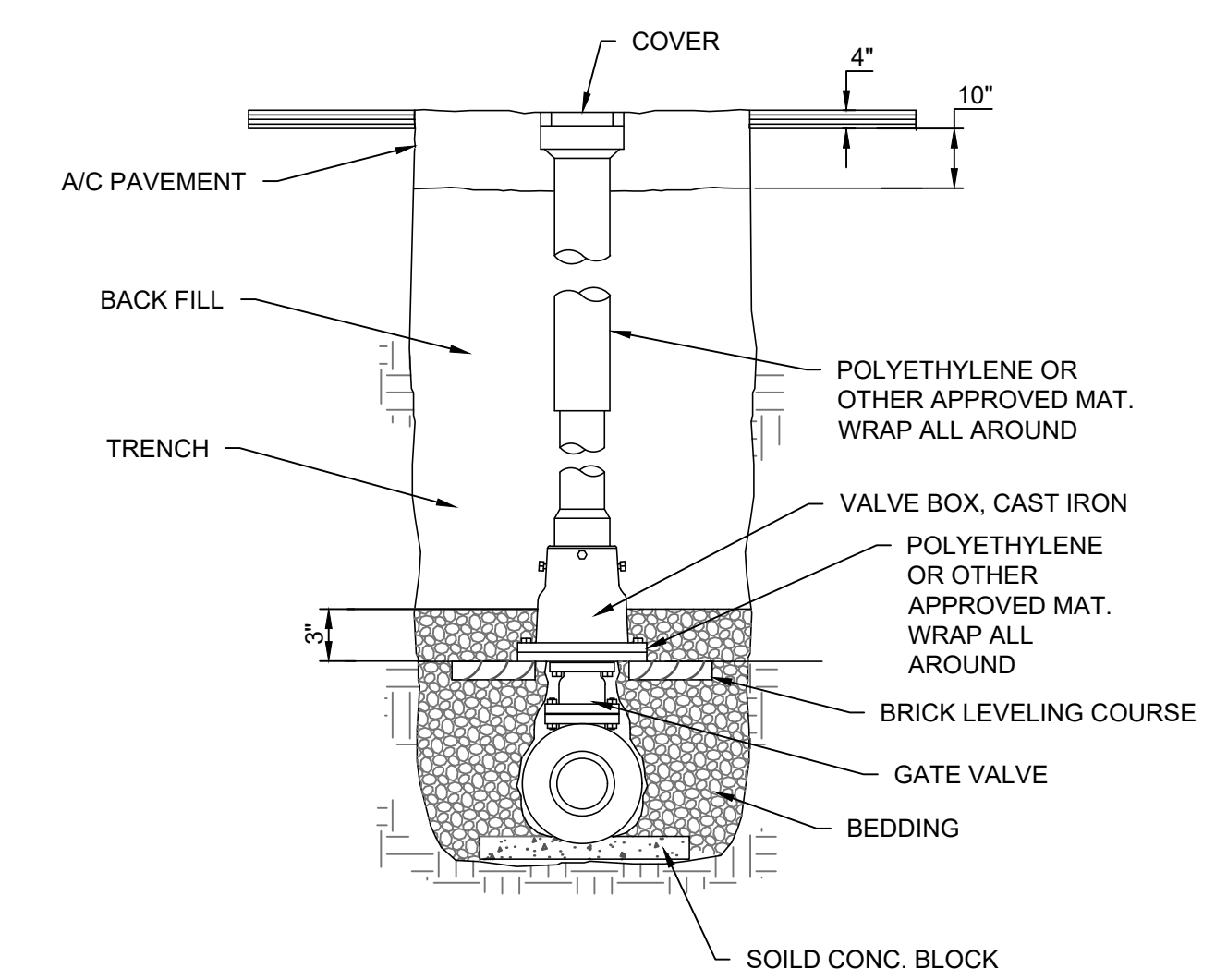


BUTTRESS DIMENSIONS

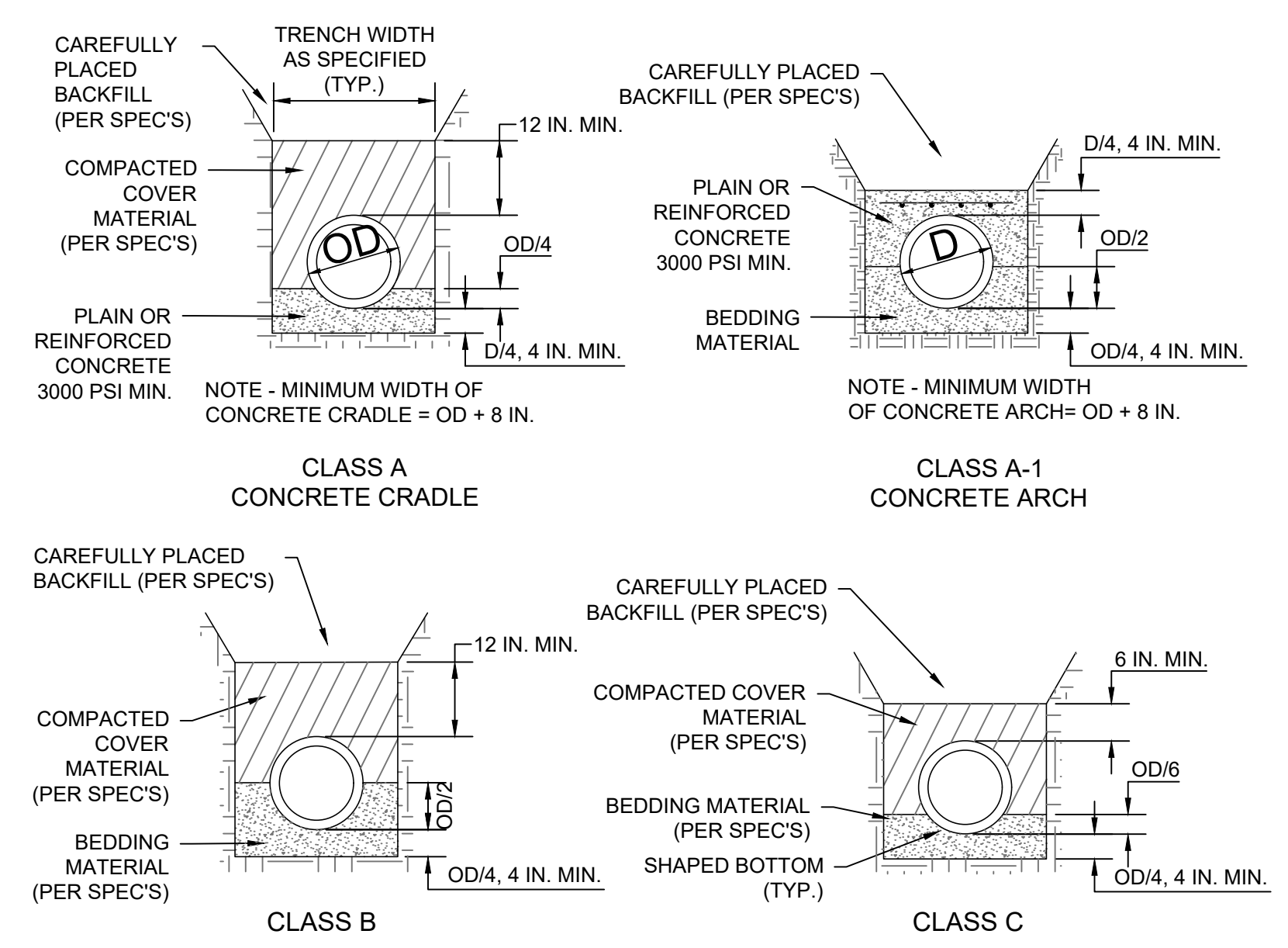
PIPE SIZE	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
6	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10/12	2'-3"	2'-0"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
14/18	3'-2"	2'-8"	1'-10"	1'-8"	2'-8"	2'-4"	3'-10"	2'-10"
18/20	4'-0"	3'-0"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
22/24	5'-3"	3'-4"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30	6'-3"	4'-3"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

* = FOR TEE THIS WILL BE THE BRANCH PIPE

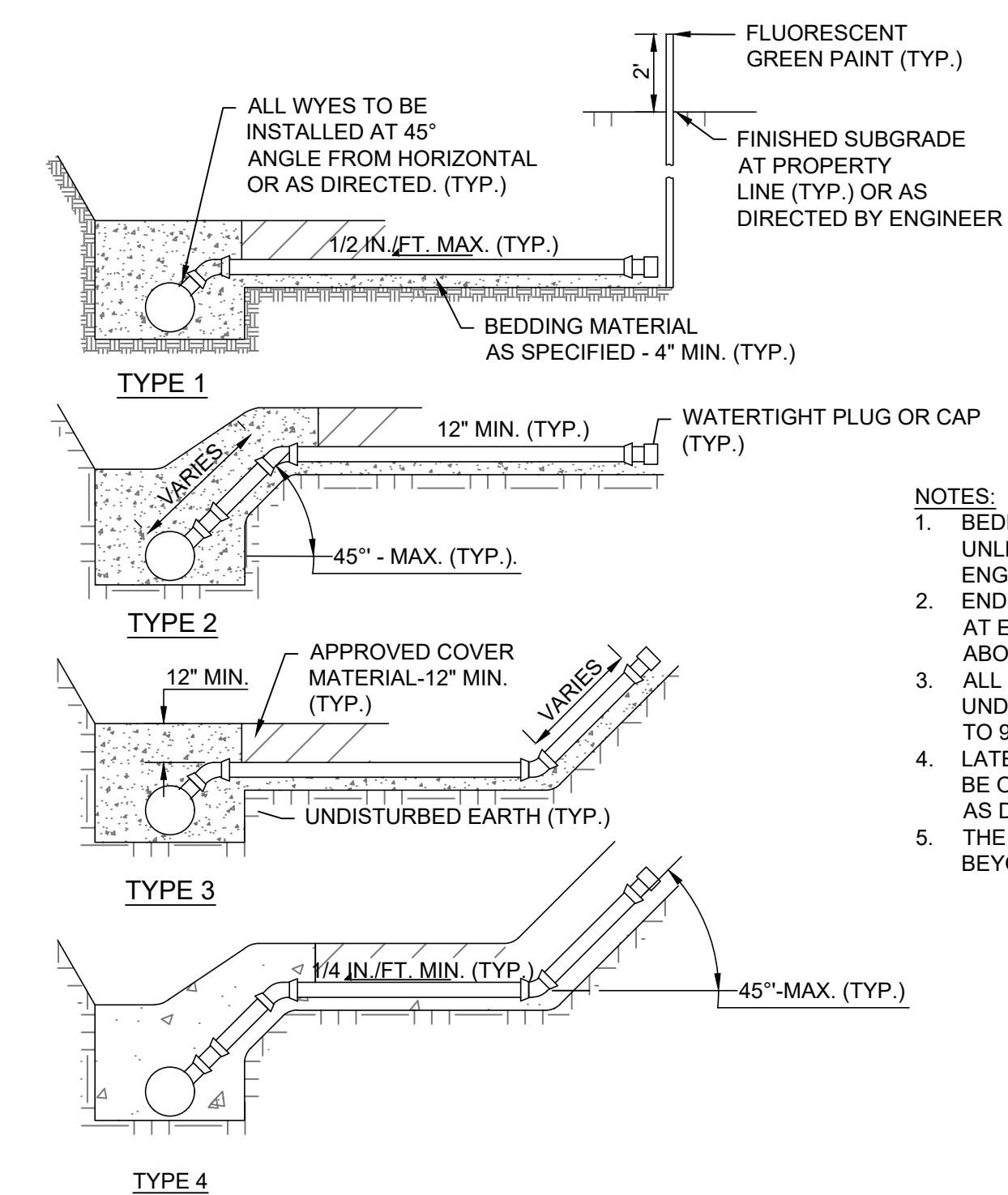
3 BUTTRESS DETAIL
7.3 NO SCALE



4 VALVE BOX DETAIL
7.3 NO SCALE



5 SANITARY SEWER BEDDING DETAIL
7.3 NO SCALE



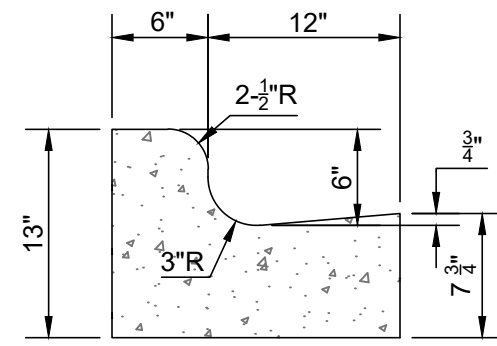
6 SANITARY SEWER DETAIL
7.3 NO SCALE

PROJECT NO.	121.0216.30
DATE	03-31-21
REVISION	04-22-21
BY	BCA
MARK	Engineer: BCA
Checked By:	M.L.C.
Scale:	1" =
Technician:	T.T.H.R.R.W.S.S.

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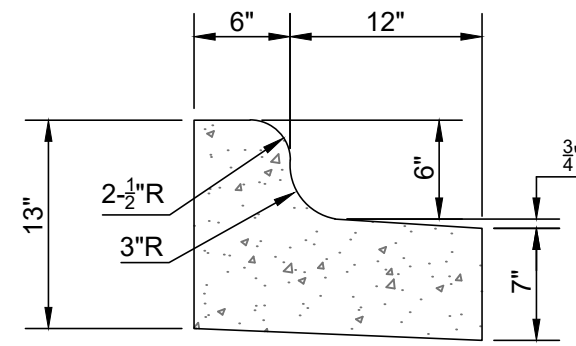




NOTES:

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
- THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

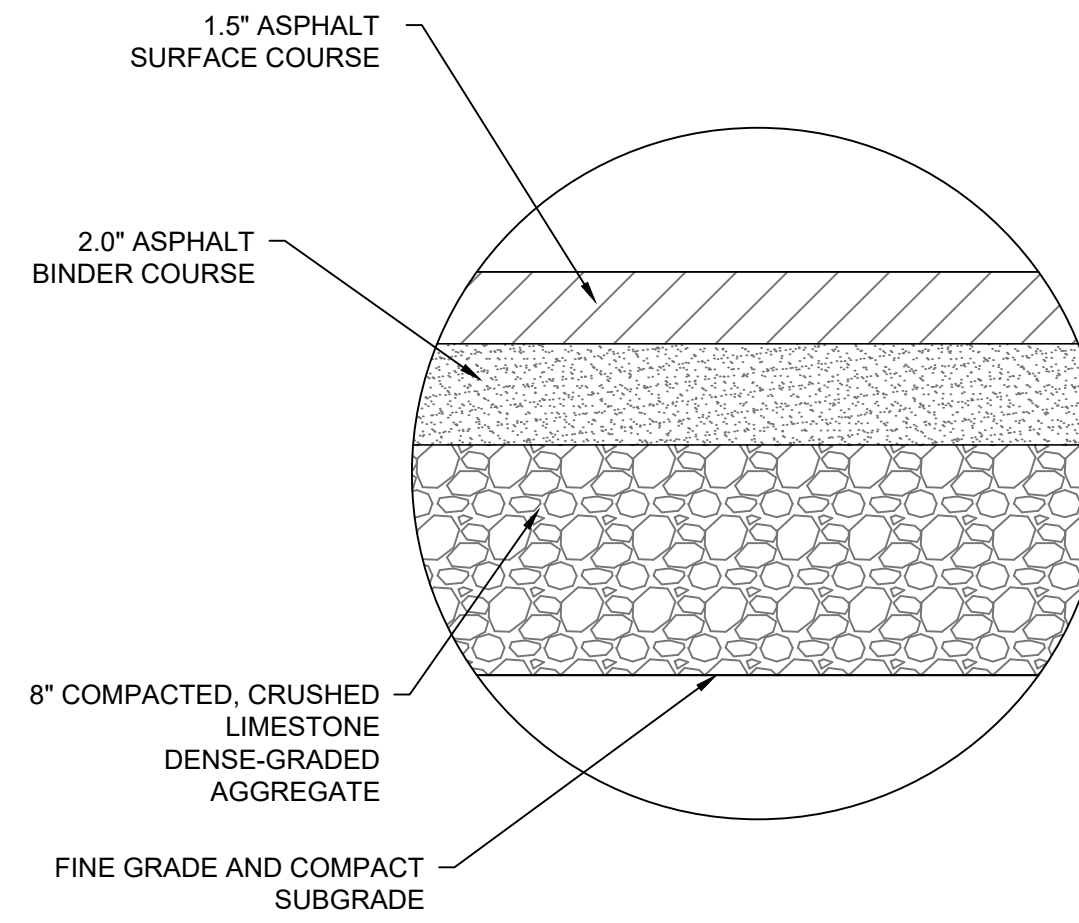
DETAIL# STANDARD CONCRETE CURB & GUTTER
SHEETNUMBER NO SCALE



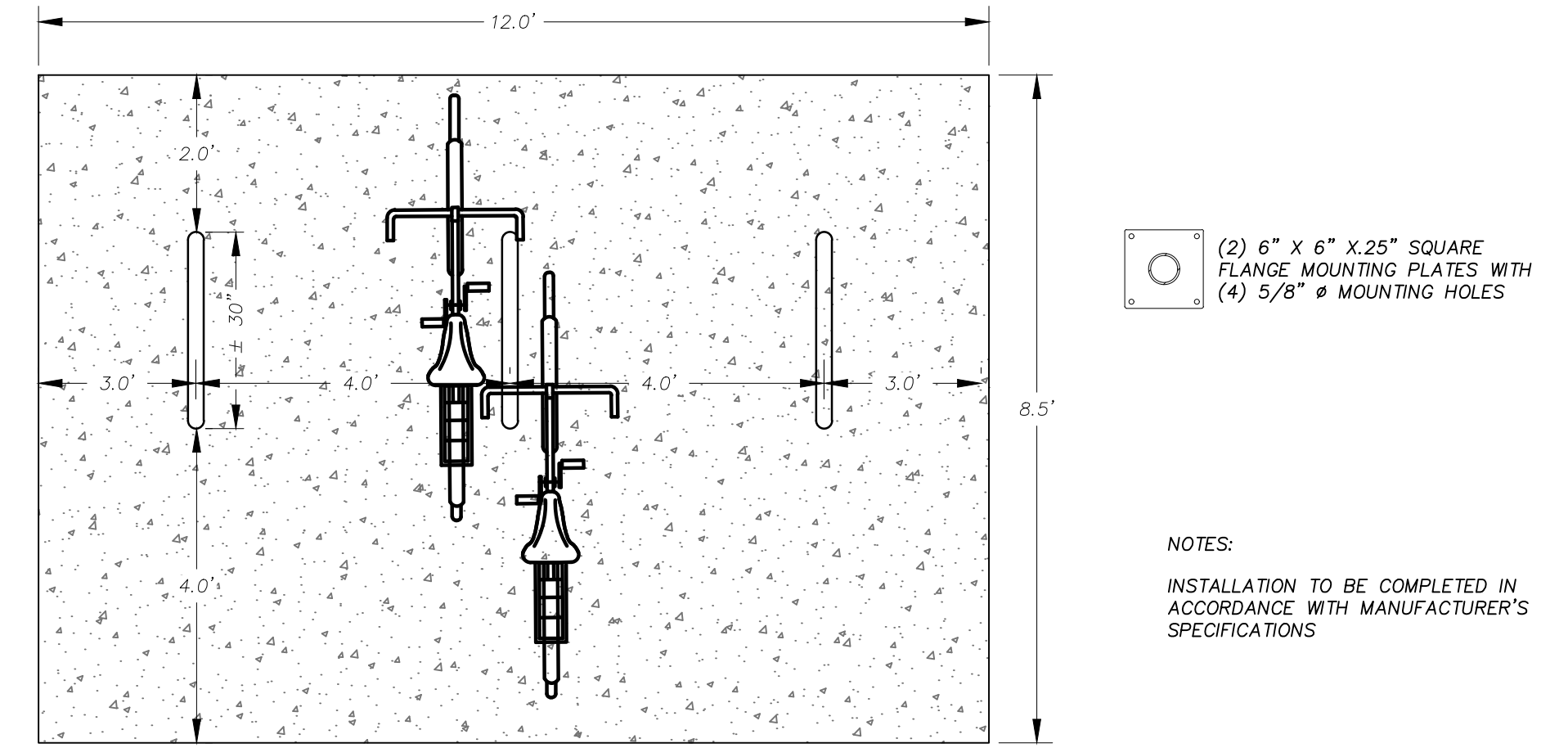
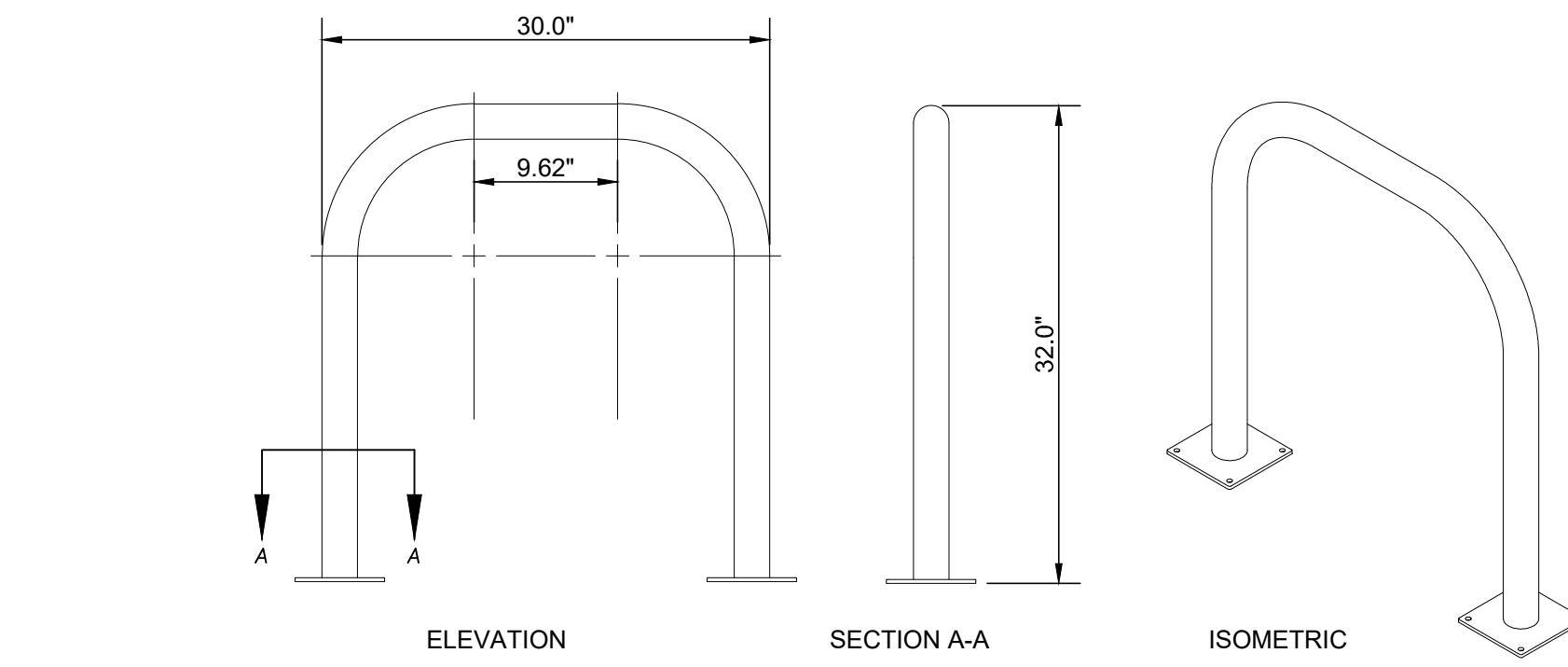
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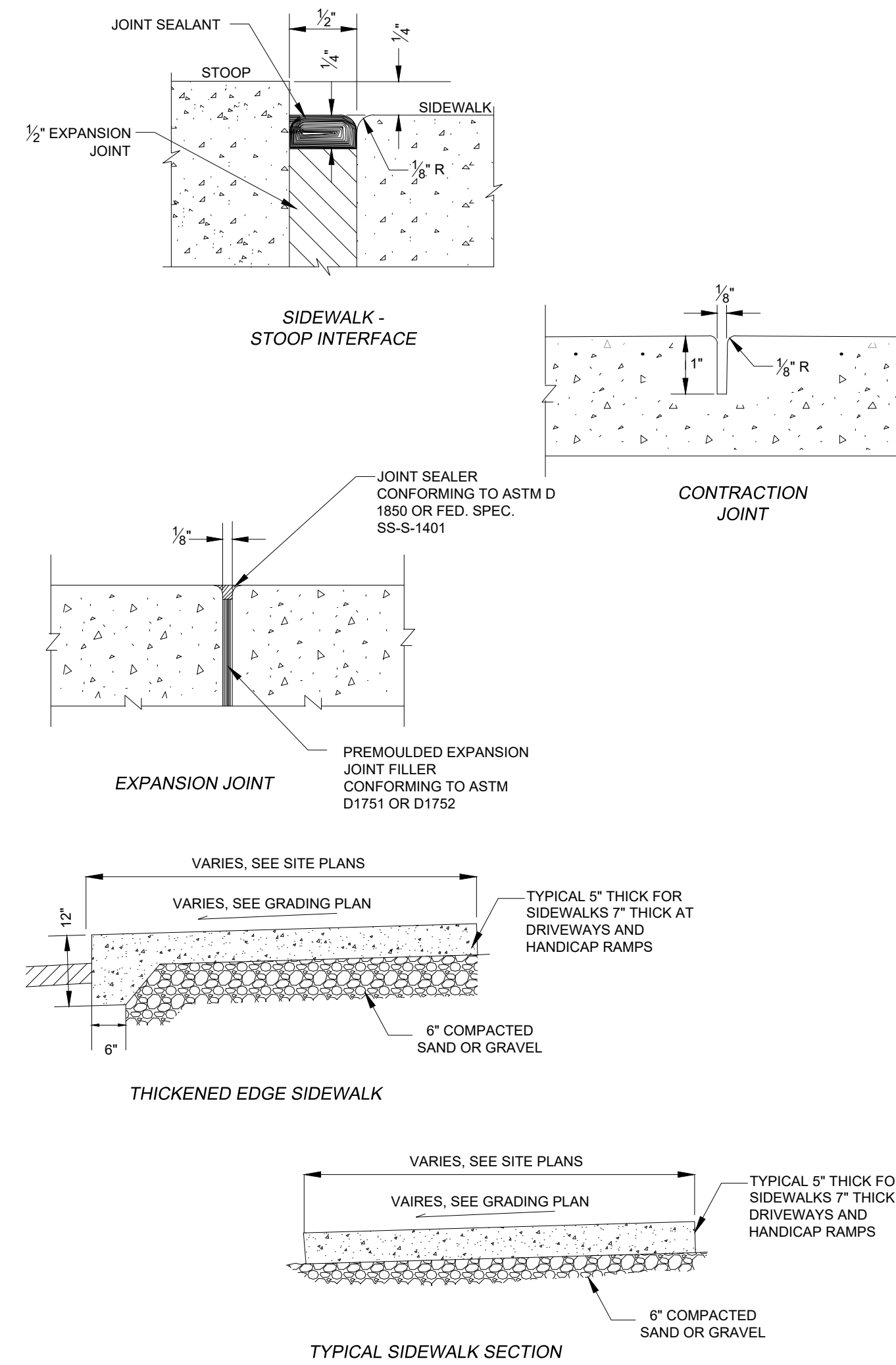
1 REJECT CONCRETE CURB & GUTTER
C 7.4 NO SCALE



2 LIGHT DUTY ASPHALT PAVING DETAIL
C 7.4 NO SCALE



3 BIKE RACK DETAIL
C 7.4 NO SCALE



4 SIDEWALK DETAIL
C 7.4 NO SCALE

MARK	Engineer: BCA	Checked By: MLC	Date: 03-31-21	Scale: 1" =	T-R-S: TTN-RRW-SS
REVISION	04-22-21	DATE	BY		
PARKING ISLAND					
Project No:	121.0216.30				
Sheet	C 7.4				

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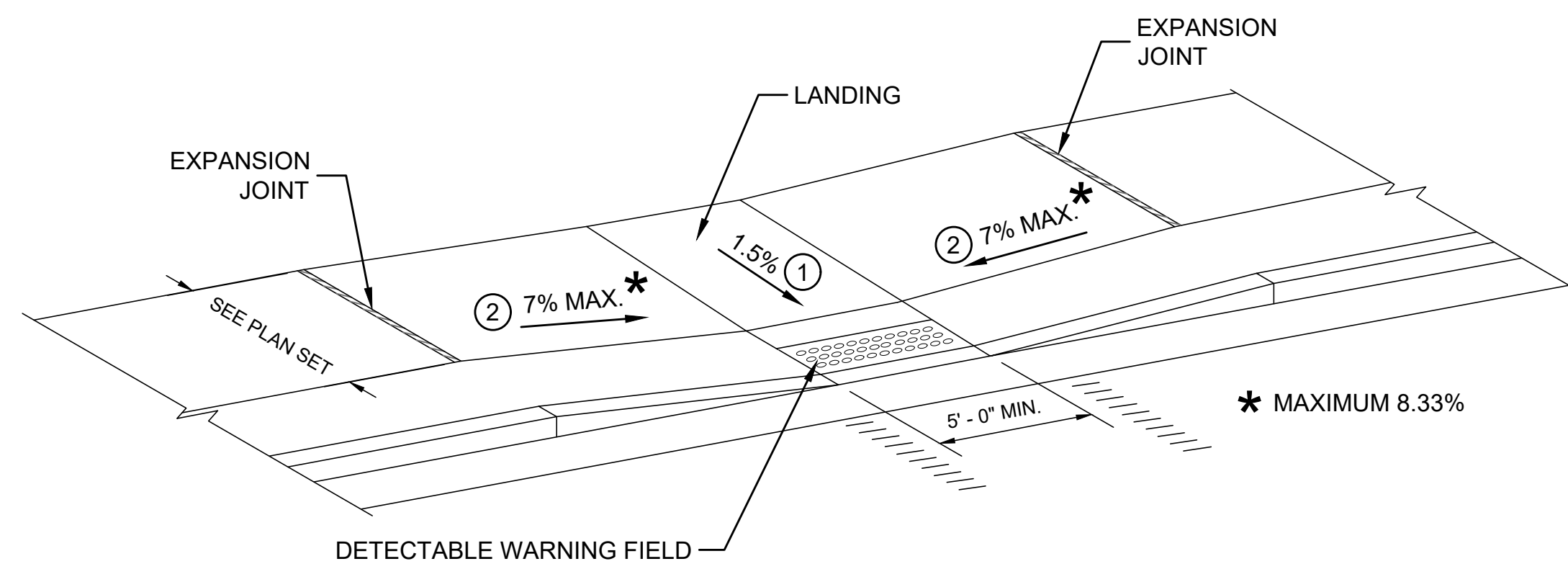
6321 TOWN CENTER DRIVE

MISC. DETAILS

SNYDER & ASSOCIATES, INC.



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MID BLOCK CROSSING

NOTE: THESE PARALLEL AND PARALLEL/PERPENDICULAR CURB RAMPS MAY BE USED AT INTERSECTIONS AND MID BLOCK LOCATIONS.

LEGEND

- 1/2" EXPANSION JOINT SIDEWALK
- CONTRACTION JOINT SIDEWALK
- ||||| PAVEMENT MARKING CROSSWALK (WHITE)

GENERAL NOTES

AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.

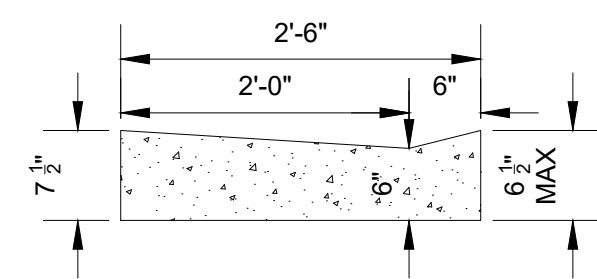
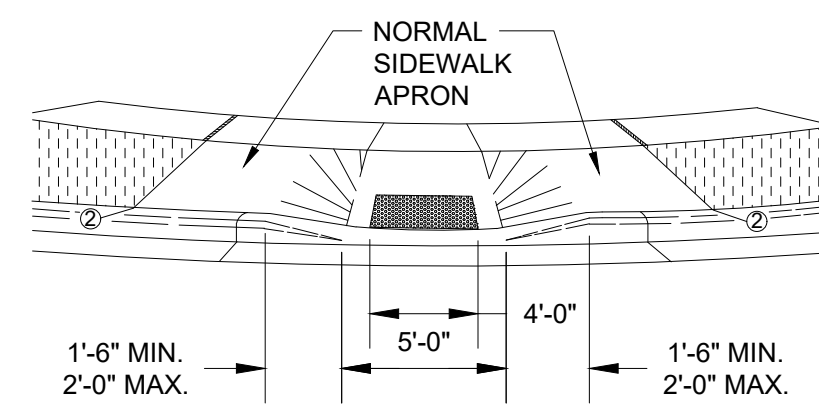
DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.

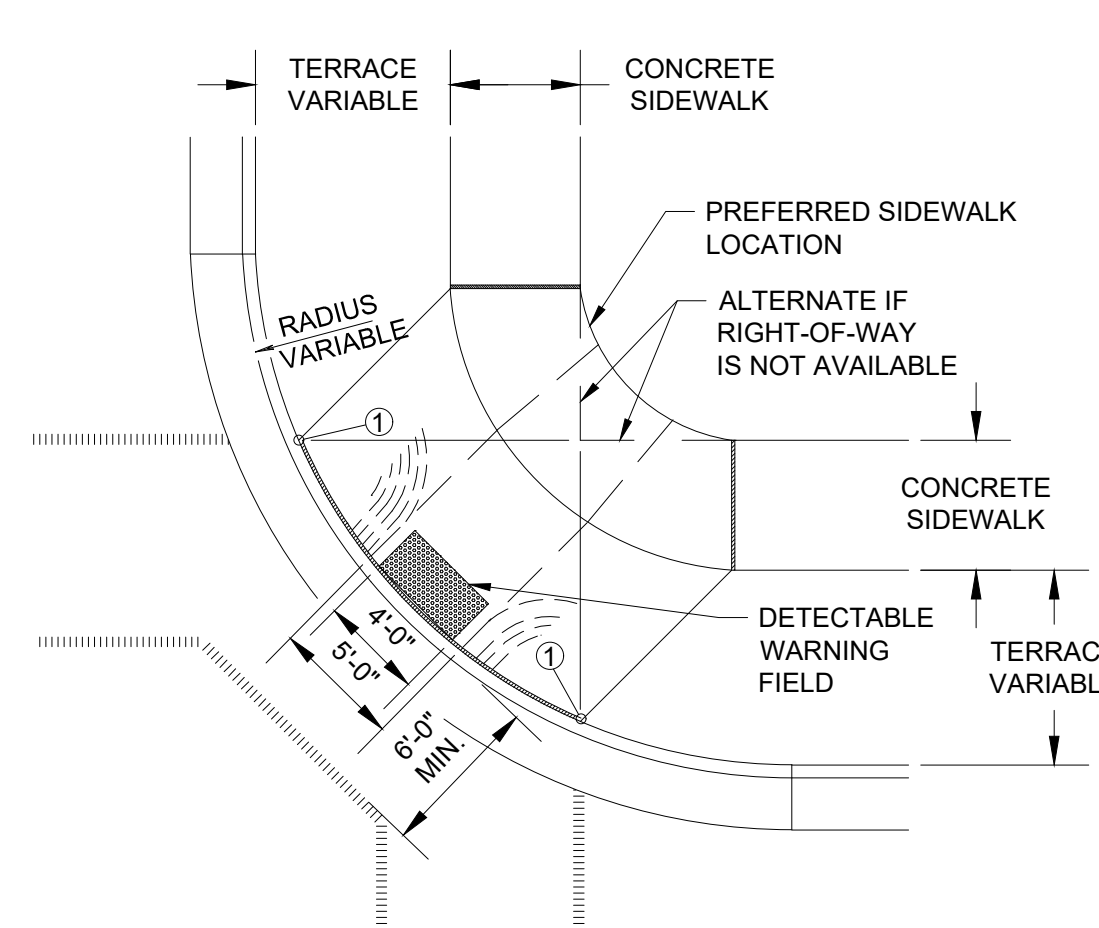
DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL BE FROM THE SAME MANUFACTURER.

- ① PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LEVEL LANDING SIZE IS 5 FEET BY 5 FEET.
- ② SLOPE SIDEWALK TOWARD LANDING AS SHOWN WHERE THERE IS NO TERRACE OR WHERE THE TERRACE WIDTH IS LESS THAN 6 FEET WIDE.

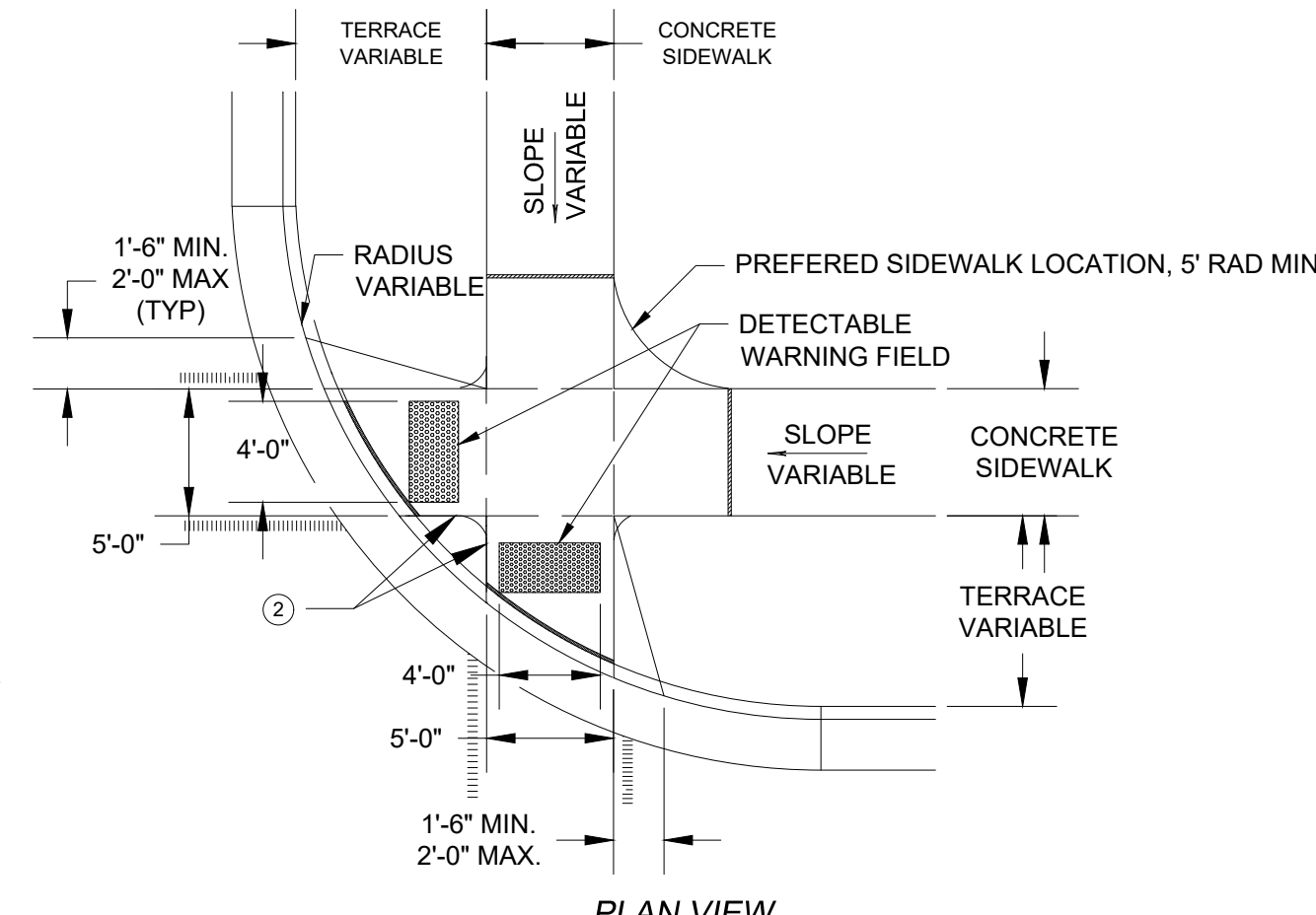
1 CURB RAMP TYPE 7B
C 7.5 NO SCALE



PROFILE VIEW AT CURB RAMP



PLAN VIEW (CENTER OF CORNER RADIUS)



PLAN VIEW (ON LINE WITH SIDEWALK)

NOTE: DETECTABLE WARNING FIELD SHALL BE 24"X48" METADOME PANEL WITH YELLOW EPOXY PAINT OR EQUIVALENT APPROVED BY THE CITY ENGINEER.

GENERAL NOTES

TYPE 2 RAMPS SHALL BE USED IN NEW DEVELOPMENTS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND DEVICES SHALL BE APPROVED BY THE CITY ENGINEER. THE COLOR OF THE DETECTABLE WARNING SHALL BE SAFETY YELLOW.

SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

- ① THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB.
- ② WHEN THIS DISTANCE IS LESS THAN 6'-0" IT MAY BE DIFFICULT TO ACHIEVE A 12H:1V SLOPE, OR FLATTER, ON THE RAMP. REDUCE CURB HEIGHT IN TRIANGLE AREA TO ACHIEVE 12H:1V SLOPE, OR FLATTER, ON RAMP. 2" MINIMUM CURB HEIGHT.

2 ADA RAMP DETAIL
C 7.5 NO SCALE

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MARK	Engineer: BCA	Checked By: MLC	Date: 03-31-21	Scale: 1" =	T-R-S: TTN-RRW-SS
PARKING ISLAND REVISION	04-22-21	BCA	DATE	BY	
Project No: 121.0216.30					

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NOTES

- CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OF ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- ANY DAMAGE TO THE PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- VISION TRIANGLES ARE SHOWN ON THE SITE PLAN AT ALL MINOR ROADWAYS AND DRIVEWAYS. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET WITHIN THE VISION TRIANGLE.

GENERAL CONDITIONS

- THE CONTRACTOR SHALL NOTIFY THE OWNER TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD LOCATING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- REMOVE SIDEWALKS TO THE NEAREST JOINT.
- SAW CUTS SHALL BE FULL DEPTH PRIOR TO REMOVAL.

GRADING

- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS BEEN STABILIZED WITH VEGETATION AND THE APPROVAL OF THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL GRADING, CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE ENGINEER BEFORE ANY MATERIAL IS PLACED.
- CONTRACTOR SHALL ADHERE TO THE ENCROACHMENT AGREEMENT (TRACT NUMBER 363-09-0014, 1-363-09-0014, AND 1-201-09-0030) WITH TRANSCANADA DATED FEBRUARY 3, 2020 FOR ANY CONSTRUCTION WITHIN OR NEAR THE GAS EASEMENTS OR WITHIN 25' OF ANY GAS MAIN.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

EROSION CONTROL

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE). CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR THIRTY DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
- DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING EROSION MAT IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- DEWATERING IS ANTICIPATED DUE TO GROUND WATER ELEVATIONS. ANY DEWATERING ACTIVITIES SHALL MEET DNR TECHNICAL STANDARD 1061. DEWATERING REQUIREMENTS WILL INCLUDE A TYPE II GEOTEXTILE BAG OR APPROVED EQUAL/ALTERNATIVE METHOD.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
- DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES.

PAVING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O. T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LA TEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:
SECTION 415 FOR CONCRETE PAVEMENT
SECTION 601 FOR CONCRETE CURB AND GUTTER
SECTION 602 FOR CONCRETE SIDEWALKS.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
PEDESTRIAN CROSSWALKS: WHITE
PARKING STALLS: YELLOW
ADA PARKINGSTALLS: BLUE

PAVEMENT AND CURB NOTES

- THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LA TEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (1/2-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE SUPERPAVE (E-*) IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
- ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE PG(***), AND LOWER LAYERS SHALL BE PG(***)
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (****), AND THE LOWER LAYER PAVEMENT SHALL BE (****).
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:
SECTION 415 FOR CONCRETE PAVEMENT
SECTION 601 FOR CONCRETE CURB AND GUTTER
SECTION 602 FOR CONCRETE SIDEWALKS.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
PARKING STALLS: WHITE
PEDESTRIAN CROSSWALKS: WHITE
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
ADA SYMBOLS: BLUE OR PER LOCAL CODE
FIRE LANES: PER LOCAL CODE
EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW

NOTE: PAVEMENT SHALL BE DESIGNED BY GEOTECHNICAL ENGINEER. MISSING INFORMATION ABOVE, DESIGNATED WITH (*), SHALL BE FILLED IN PER GEOTECHNICAL REPORT. CAUTION: INFORMATION BELOW SHALL BE USED ONLY AS A GUIDE.

* DENSE GRADED BASE GRADATIONS: 3-INCH, 1 1/4-INCH, OR 3/4-INCH (TYPICALLY 1 1/4-INCH)

** HMA SUPERPAVE TYPES: E-0.3, E-1, E-3, E-10, E-30 (TYPICALLY E-0.3 OR E-1 FOR MOST RESIDENTIAL AND COMMERCIAL PROJECTS)

*** PG BINDERS:
64-22 BASIC ASPHALT, TYPICALLY USED FOR PARKING LOTS
58-28 RECOMMENDED FOR OVERLAY PROJECTS
64-28 POLYMER ADDED, HIGH COST ASPHALT, LARGEST RANGE OF TEMP.
UPPER LAYER PG64-28, PG64-22, OR PG58-28
LOWER LAYER PG64-22 (IF UPPER LAYER IS PG64-xx OR HIGHER), OR PG58-28

**** HMA AGGREGATE GRADATIONS: 37.5 MM, 25.0 MM, 19.0 MM, 12.5 MM, 9.5 MM (TYPICALLY: 12.5 MM FOR UPPER LAYER, 19.0 MM FOR LOWER LAYER)

MARK	REVISION	DATE	BY
Engineer: BCA	Checked By: MLC	Date: 03-31-21	Scale: 1" =
Technician: TECH			T-R-S: TTN-RRW-SS
Project No: 121.0216.30			Sheet C 7.6


6321 TOWN CENTER DRIVE

NOTES

CITY OF MADISON, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC. |

5005 BOWLING STREET S.W.
CEDAR RAPIDS, IOWA 52404
319-362-9394 | www.snyder-associates.com

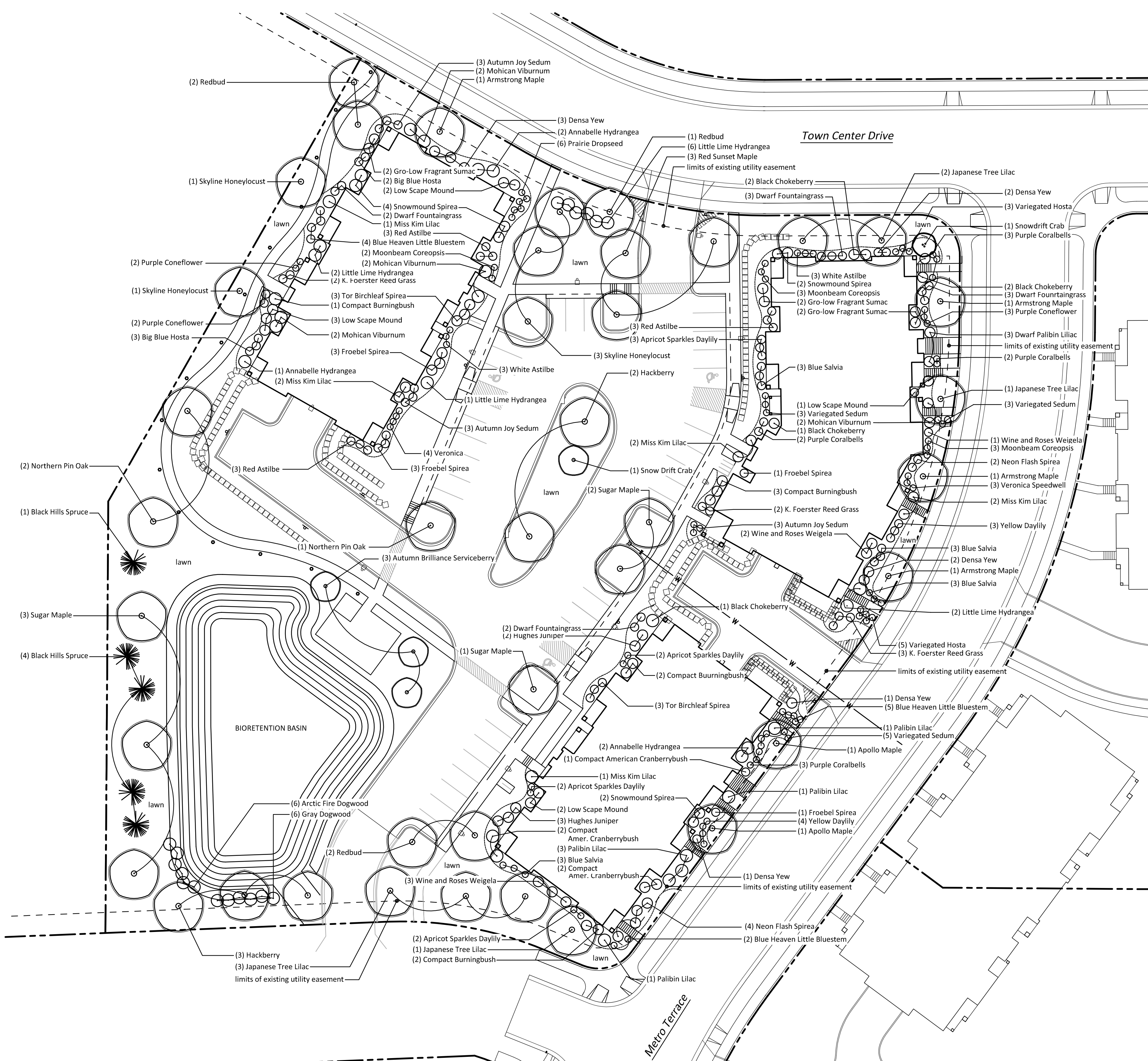


SNYDER & ASSOCIATES

Project No: 121.0216.30

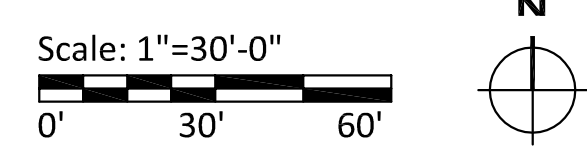
Sheet C 7.6

D:\121.0216.30\CADD\1210216.DTLS NOTE-ENG BRAN.ARCAND. NOTES. 20210402. 4:24 PM. ARCH FULL BLEED (08.00 X 24.00 INCHES)



1 LANDSCAPE PLAN

Notes:
 1. Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of mulch spread to a 4" min. depth over a pre-emergent herbicide.
 2. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation.
 3. "Wood mulch" to be finely shredded hardwood organic bark mulch, no dyed mulches, installed at a depth of 4".
 4. Contractor is responsible for repairing any and all damage to the adjacent properties. Planted areas shall be replanted, damaged lawn areas shall be repaired with sod and adjacent curbs and pavement shall be re-paved.
 5. Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.
 6. Landscape contractor shall verify topsoil depth and notify Owner of any deficiency. Replacement topsoil shall be clean of stones, weeds, and other debris.



Landscape Calculations and Distribution (28.142):
 Five (5) landscape points shall be provided per each (300) sf of developed area
 Total sf of developed area = 79,203 sf
 Developed area divided by (300) x 5 = 1,320 Points Required

Development Frontage Landscaping
 Total lf of lot frontage = 967 lf (includes future un-built road frontage)
 Required Trees = 32 * Provided Trees = 26
 Required Shrubs = 161 ** Provided Shrubs = 74

Tabulation of Points and Credits (includes Development Frontage Landscaping):

Plant Type/Element	Min. size	Points	Proposed Qty.	Pts.
Overstory Deciduous Tree	2 1/2" cal.	35	28	980
Ornamental Tree	1 1/2" cal.	15	17	255
Tall Evergreen Tree	5' ht.	35	5	175
Shrub, deciduous	18" or 3 gal.	3	128	384
Shrub, evergreen	18" or 3 gal.	4	14	56
Ornamental grasses/perennials	18" or 3 gal.	2	142	284
Ornamental fence or wall	na	4 per 10 lf	-	-
Total				2,134

2,134 Total Points Provided (1,320 Required)

* waiver for 6 frontage trees requested due to existing perimeter utility easement and limited available space
 ** waiver for 87 frontage shrubs requested due to limited amount of space and existing perimeter utility easement

TREES

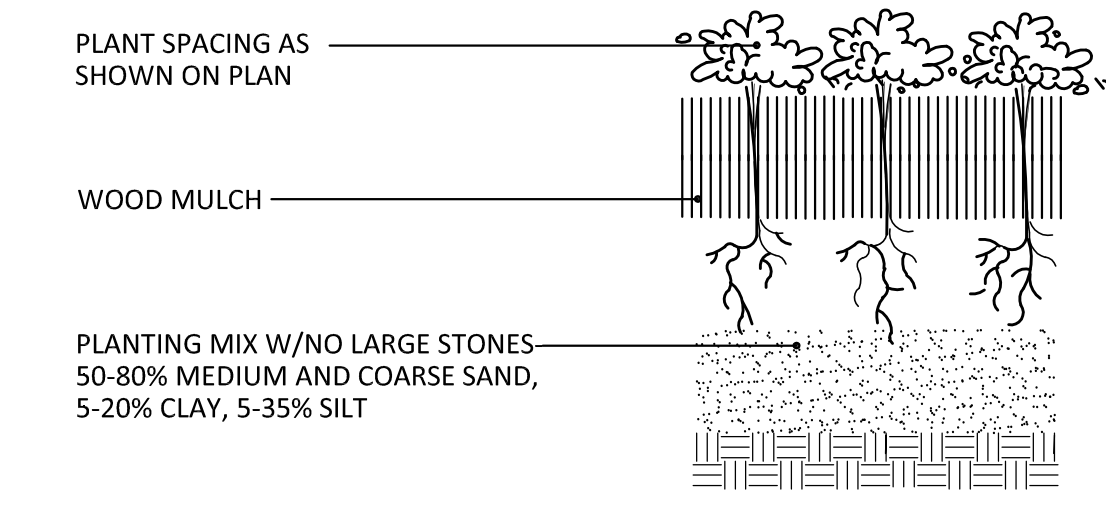
TREE	SIZE	ROOT	QTY.
Apollo Maple	2 1/2" CAL.	B&B	2
Autumn Brilliance Serviceberry	2 1/2" CAL.	B&B	3
Red Sunset Maple	2 1/2" CAL.	B&B	3
Skyline Honeylocust	2 1/2" CAL.	B&B	5
Sugar Maple	2 1/2" CAL.	B&B	6
Redbud	2 1/2" CAL.	B&B	5
Black Hills Spruce	6'	B&B	5
Hackberry	2 1/2" CAL.	B&B	5
Snowdrift Crab	6'	B&B	2
Northern Pin Oak	2 1/2" CAL.	B&B	3
Armstrong Maple	2 1/2" CAL.	B&B	4
Japanese Tree Lilac	2 1/2" CAL.	B&B	7

SHRUBS

SHRUB	SIZE	CONT.	QTY.
Annabelle Hydrangea	18"	CONT.	5
Neon Flash Spirea	18"	CONT.	6
Black Chokeberry	18"	CONT.	6
Compact Burningbush	3'	CONT.	8
Compact American Cranberrybush	3'	CONT.	5
Dwarf Korean Lilac (Palibin)	3'	CONT.	9
Froebel Spirea	18"	CONT.	8
Gro-Low Fragrant Sumac	18"	CONT.	6
Miss Kim Lilac	3'	CONT.	8
Mohican Viburnum	4'	CONT.	8
Tor Birchleaf Spirea	18"	CONT.	6
Wine and Roses Weigela	18"	CONT.	6
Low Scape Mound	18"	CONT.	8
Snowmound Spirea	18"	CONT.	9
Hughes Juniper	18"	CONT.	5
Gray Dogwood	3'	CONT.	6
Arctic Fire Dogwood	3'	CONT.	6
Little Lime Hydrangea	3'	CONT.	10

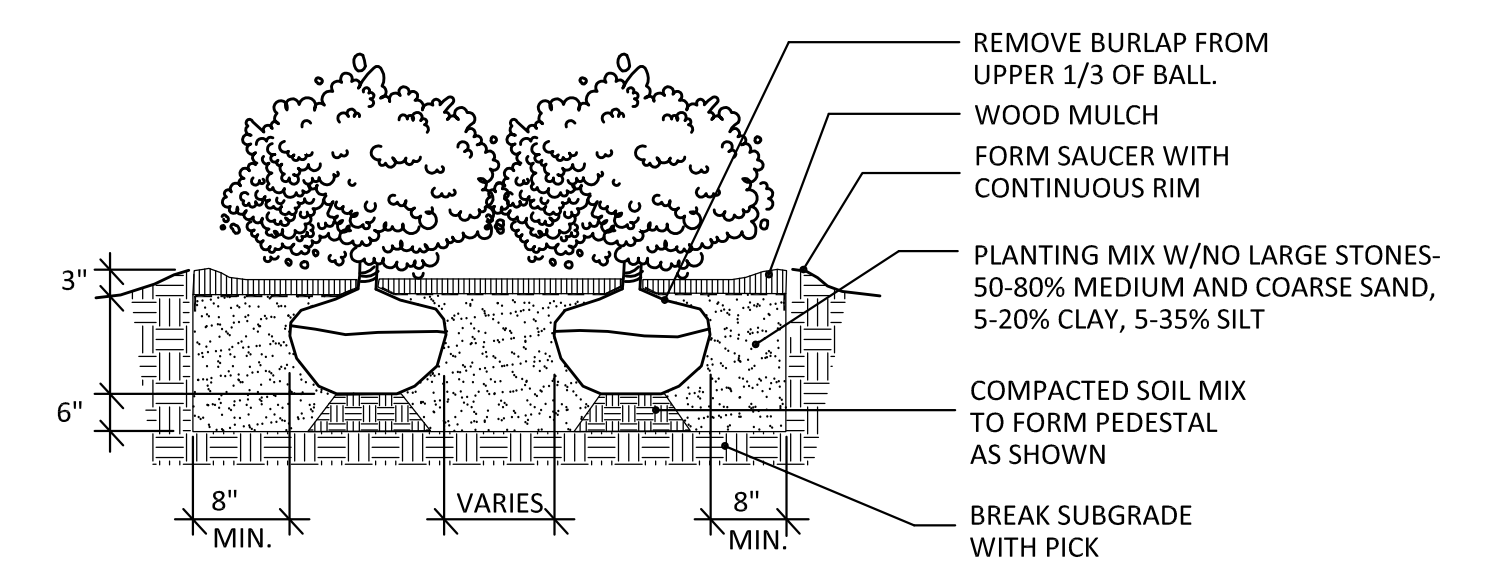
PERENNIALS

PERENNIAL	SIZE	CONT.	QTY.
Autumn Joy Sedum	1 GAL.	CONT.	9
Big Blue Hosta	1 GAL.	CONT.	5
Blue Salvia	1 GAL.	CONT.	12
Dwarf Fountaingrass	1 GAL.	CONT.	10
Moonbeam Coreopsis	1 GAL.	CONT.	8
Apricot Sparkles Daylily	1 GAL.	CONT.	9
Blue Heaven Little Bluestem	1 GAL.	CONT.	11
Purple Coralbells	1 GAL.	CONT.	10
Red Astilbe	1 GAL.	CONT.	9
Variegated Hosta	1 GAL.	CONT.	8
Variegated Sedum	1 GAL.	CONT.	11
Veronica (Speedwell)	1 GAL.	CONT.	7
White Astilbe	1 GAL.	CONT.	6
Yellow Daylily	1 GAL.	CONT.	7
Karl Foerster Feather Reed Grass	1 GAL.	CONT.	7
Purple Coneflower	1 GAL.	CONT.	7
Prairie Dropseed	1 GAL.	CONT.	6



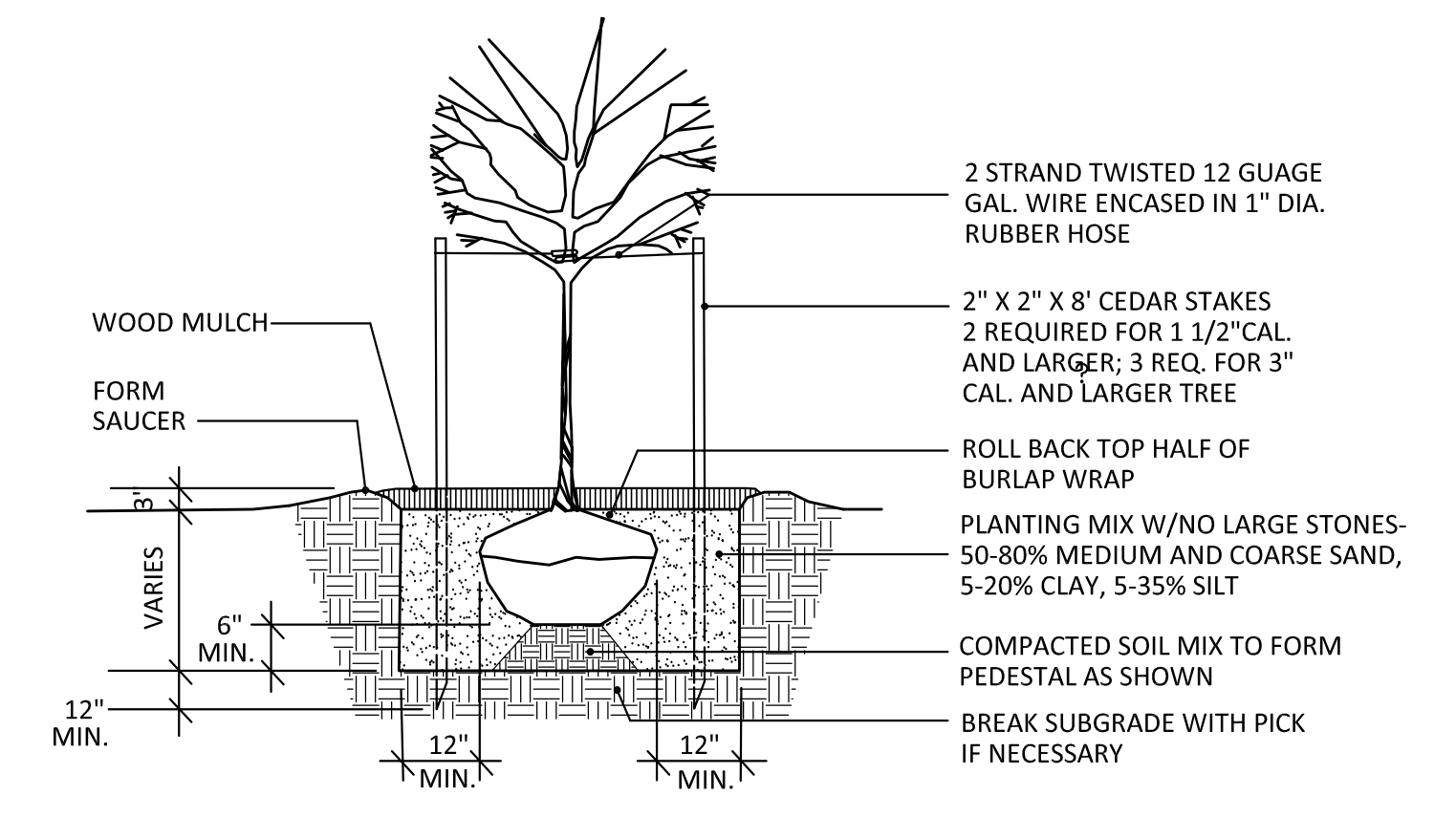
2 PERENNIAL PLANTING

NTS



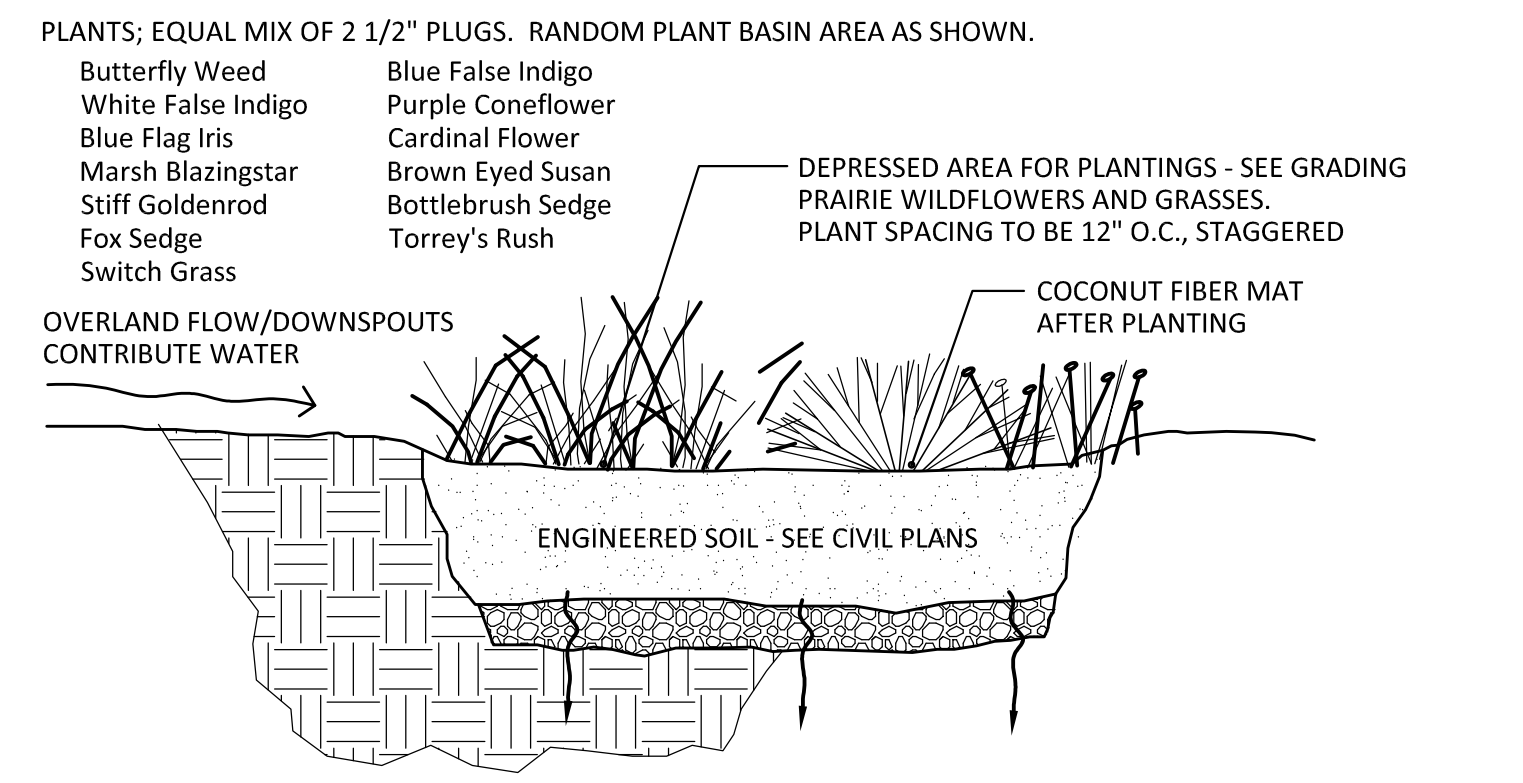
3 SHRUB PLANTING

NTS



4 TREE PLANTING

NTS



5 BIORETENTION BASIN PLANTS

NTS



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ARCHITECTS

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608.836.3690 Middleton, WI 53562

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Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021

PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

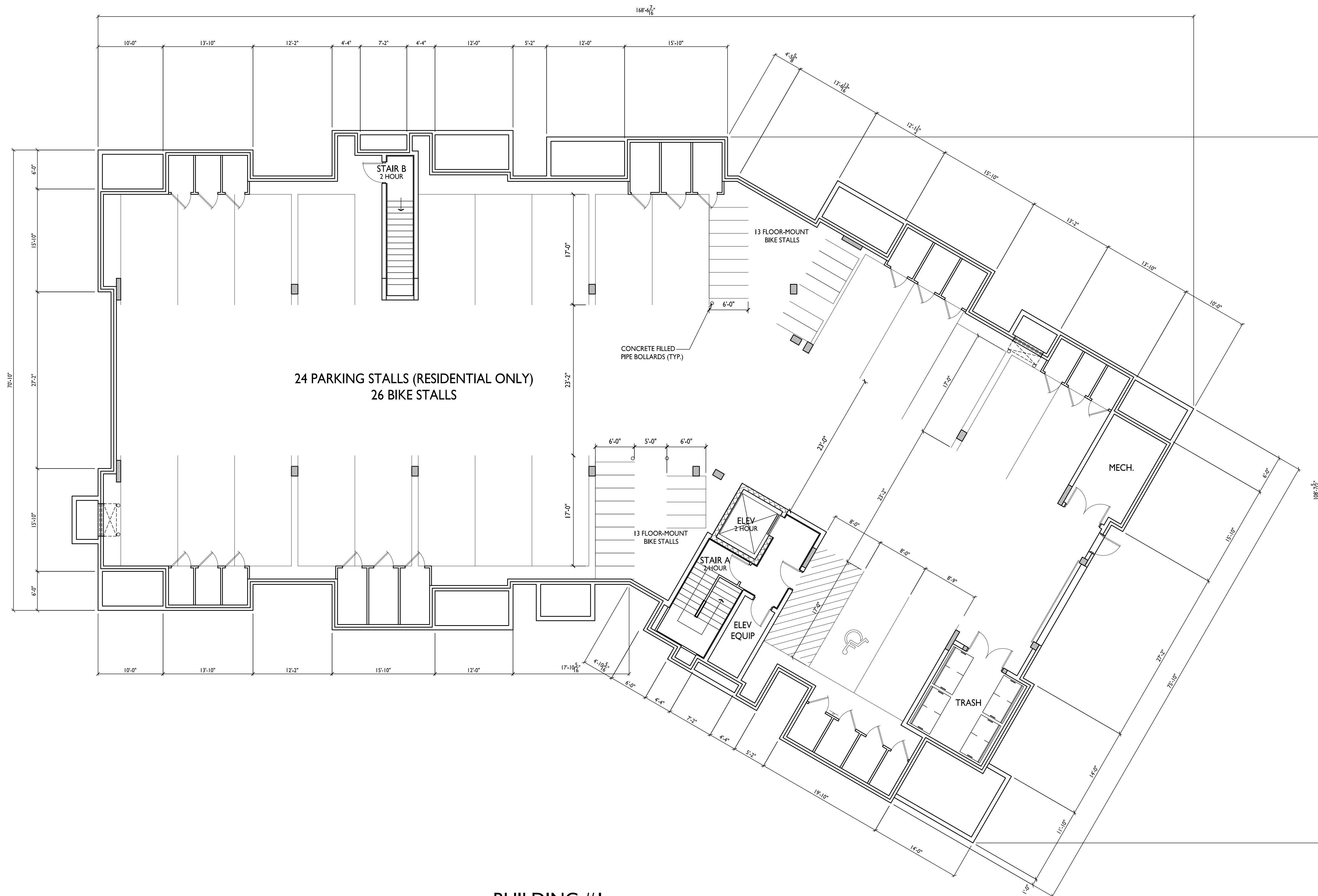
6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #1
Basement Floor
Plan**

SHEET NUMBER

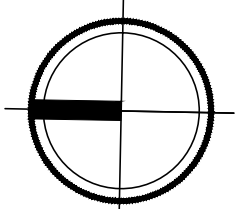
A-1.0

PROJECT NO. **2108**

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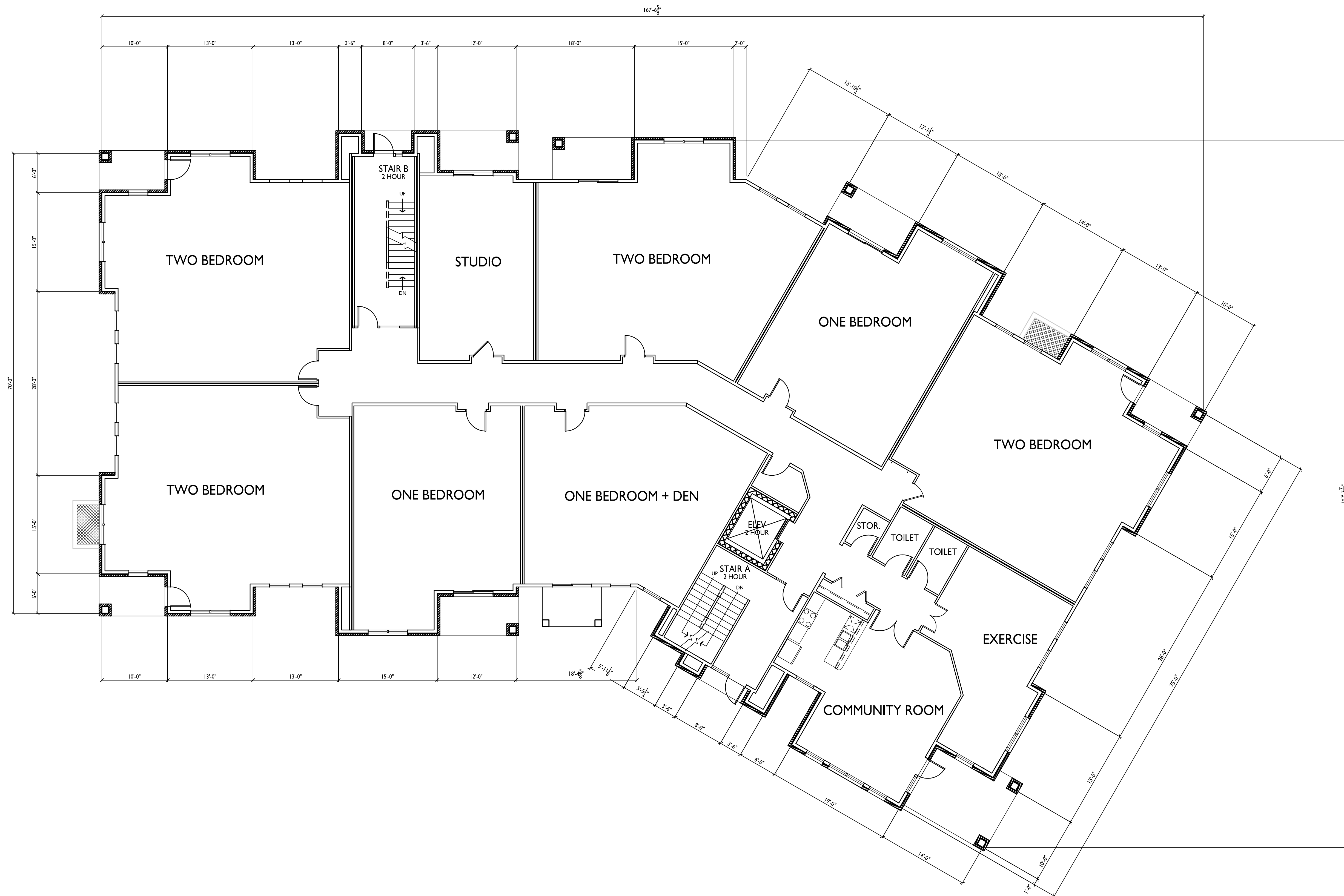
**BUILDING #1
BASEMENT FLOOR PLAN**
A-1.0 1/8" = 1'-0"





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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #1
First Floor Plan**

**BUILDING #1
FIRST FLOOR PLAN**
1/8" = 1'-0"
A-1.1

SHEET NUMBER

A-1.1

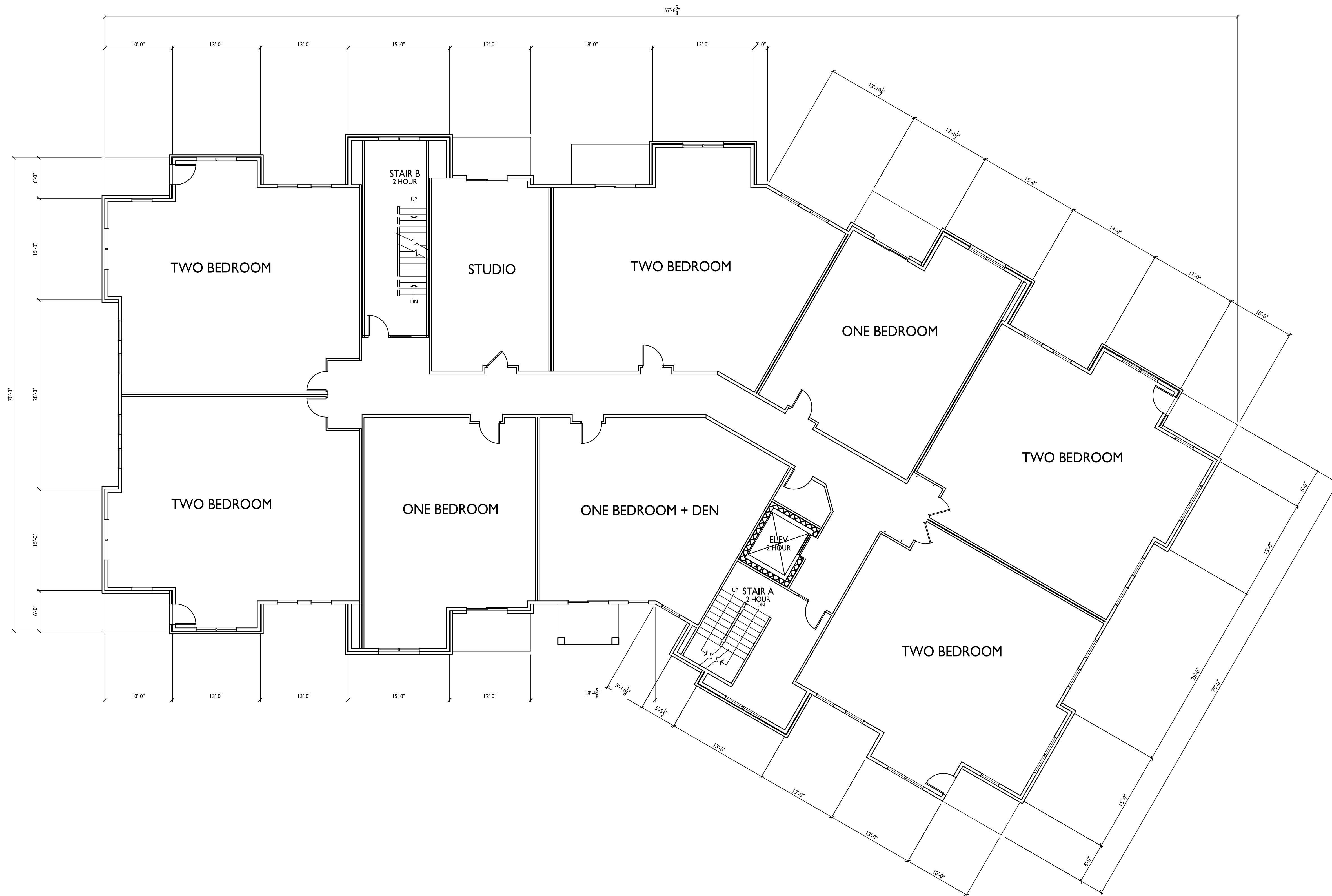
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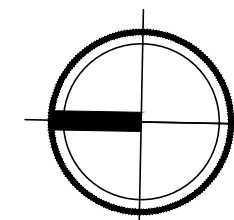


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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #1
Second Floor Plan**

**BUILDING #1
SECOND FLOOR PLAN**
1/8" = 1'-0"



SHEET NUMBER

A-1.2

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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

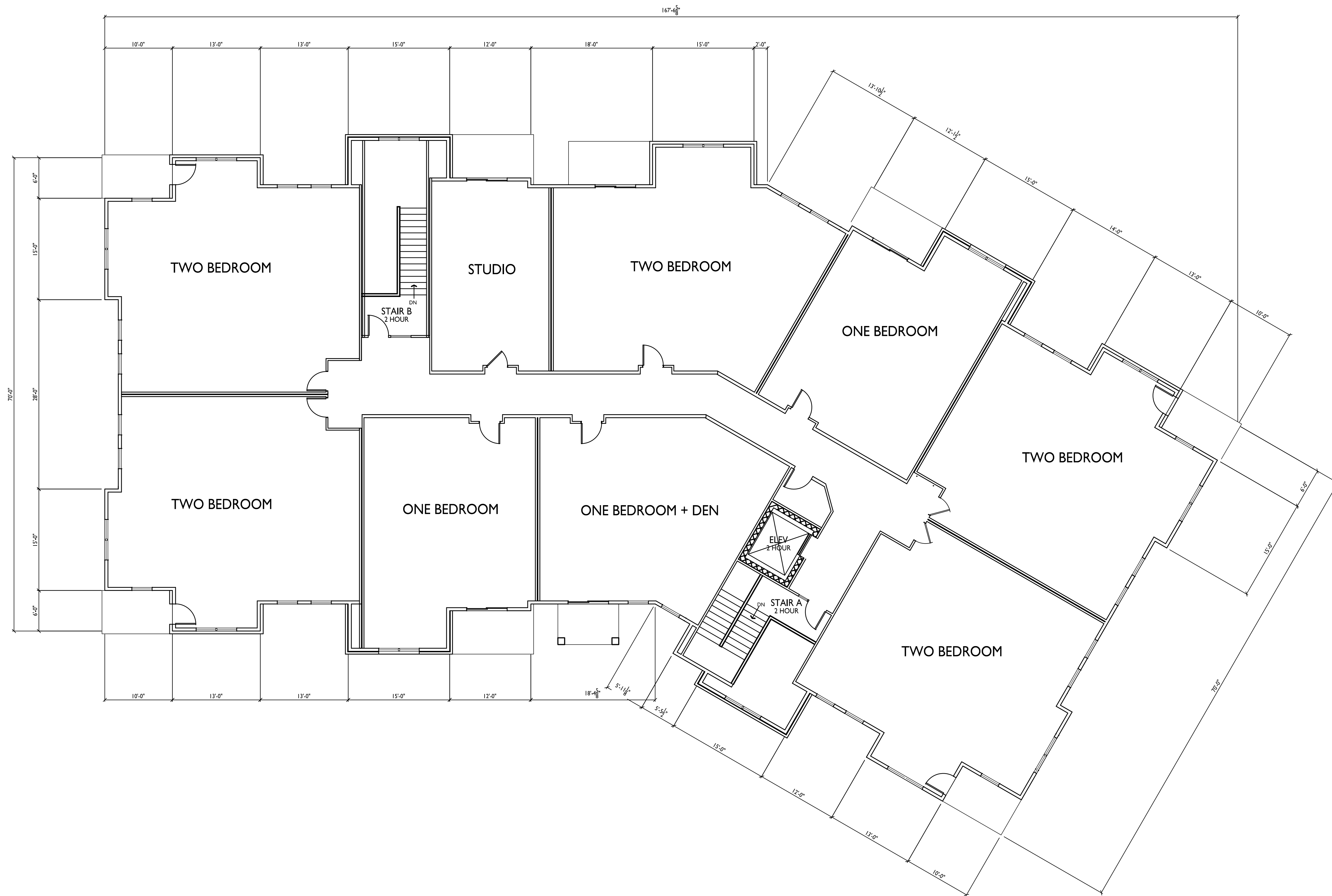
6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #1
Third Floor Plan**

SHEET NUMBER

A-1.3

PROJECT NO. **2108**

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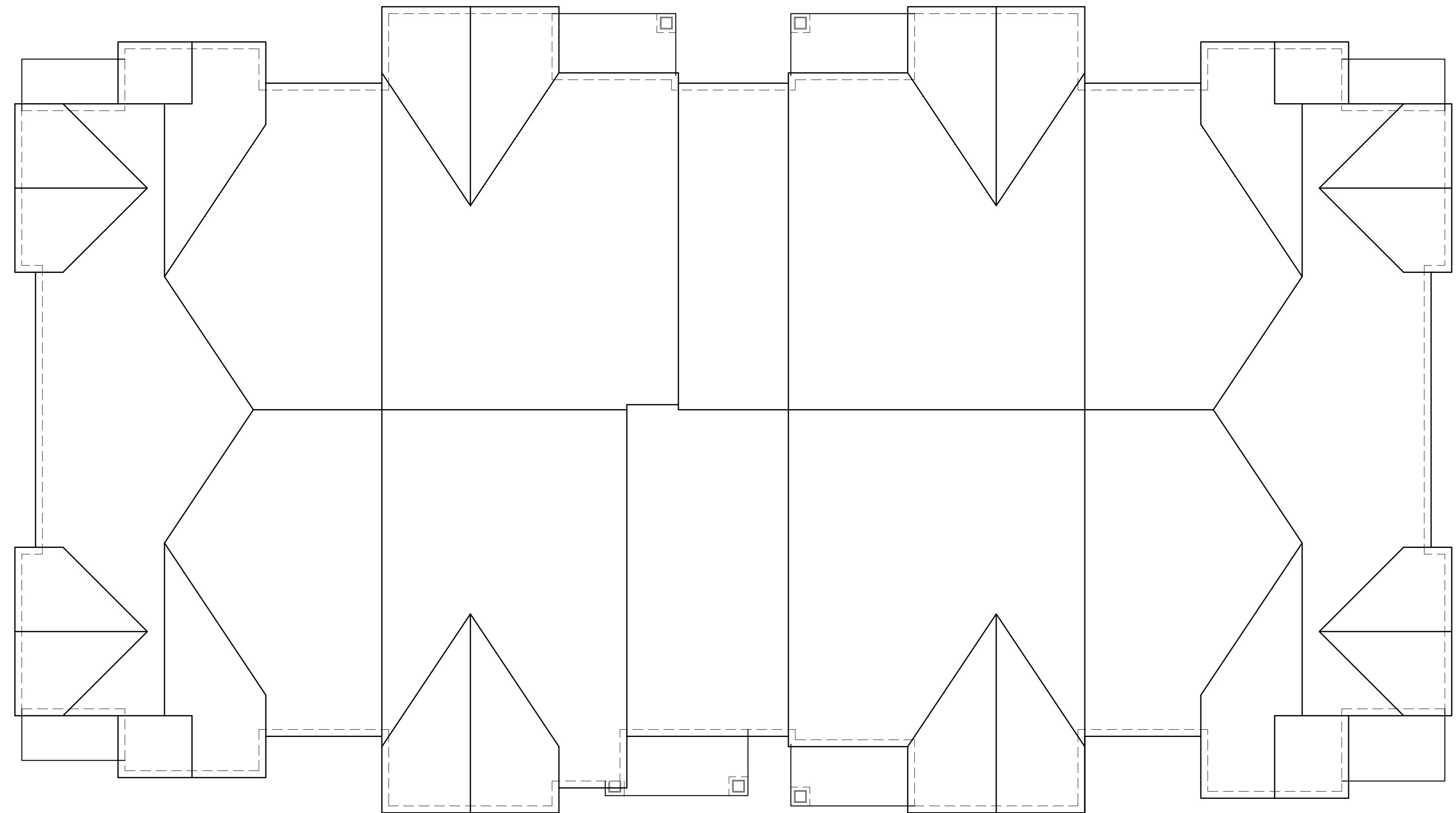


**BUILDING #1
THIRD FLOOR PLAN**
1/8" = 1'-0"
A-1.3



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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #1
Roof Plan**

**BUILDING #1
ROOF PLAN**
1
A-1.4 1/8" = 1'-0"

SHEET NUMBER

A-1.4

PROJECT NO. **2108**

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TYPICAL MATERIALS:

- ASPHALT SHINGLES
- COMPOSITE BOARD & BATTEN
- COMPOSITE FASCIA & SOFFIT
- COMPOSITE HORIZ. SIDING
- COMPOSITE WINDOW TRIM
- PREFABRICATED ALUMINUM RAILING
- PRECAST HEAD AND SILL
- BRICK SOLDIER COARSE
- BRICK
- PRECAST BAND
- RECESSED BRICK COURSE



BUILDING #1
EAST ELEVATION ALONG METRO TERRACE
1
A-2.1
1/8"=1'-0"

TYPICAL MATERIALS:

- ASPHALT SHINGLES
- COMPOSITE BOARD & BATTEN
- COMPOSITE FASCIA & SOFFIT
- COMPOSITE HORIZ. SIDING
- COMPOSITE WINDOW TRIM
- PREFABRICATED ALUMINUM RAILING
- BRICK SOLDIER COARSE
- BRICK
- PRECAST HEAD AND SILL
- PRECAST BAND
- RECESSED BRICK COURSE



BUILDING #1
NORTH ELEVATION ALONG TOWN CENTER DR.
2
A-2.1
1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

ISSUED
Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021
Issued for Updated LUA/UDC - April 29, 2021

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Building #1
Exterior
Elevations

SHEET NUMBER

A-2.1

PROJECT NO. **2108**

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TYPICAL MATERIALS:

- ASPHALT SHINGLES
- COMPOSITE BOARD & BATTEN
- COMPOSITE FASCIA & SOFFIT
- COMPOSITE HORIZ. SIDING
- COMPOSITE WINDOW TRIM
- PREFABRICATED ALUMINUM RAILING
- PRECAST HEAD AND SILL
- BRICK SOLDIER COARSE
- BRICK
- PRECAST BAND
- RECESSED BRICK COURSE



BUILDING #1
WEST ELEVATION
1
A-2.2
1/8"=1'-0"

TYPICAL MATERIALS:

- ASPHALT SHINGLES
- COMPOSITE BOARD & BATTEN
- COMPOSITE FASCIA & SOFFIT
- COMPOSITE HORIZ. SIDING
- COMPOSITE WINDOW TRIM
- PREFABRICATED ALUMINUM RAILING
- PRECAST HEAD AND SILL
- BRICK SOLDIER COARSE
- BRICK
- RECESSED BRICK COURSE



BUILDING #1
SOUTH ELEVATION
2
A-2.2
1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

ISSUED
Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021
Issued for Updated LUA/UDC - April 29, 2021

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Building #1
Exterior
Elevations

SHEET NUMBER

A-2.2

PROJECT NO. **2108**

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- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - PRECAST HEAD AND SILL
 - BRICK SOLDIER COARSE
 - BRICK



BUILDING #1
EAST ELEVATION ALONG METRO TERRACE
 1
 A-2.1 1/8"=1'-0"

ISSUED
 Issued for Land Use Submittal - March 31, 2021
 Issued for UDC Submittal - March 31, 2021

- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - BRICK SOLDIER COARSE
 - BRICK
 - PRECAST HEAD AND SILL
 - PRECAST BAND



BUILDING #1
NORTH ELEVATION ALONG TOWN CENTER DR.
 2
 A-2.1 1/8"=1'-0"

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
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FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

6321 Town Center Dr
 Madison, Wisconsin
 SHEET TITLE
Building #1
Exterior
Elevations

SHEET NUMBER

A-2.1

- TYPICAL MATERIALS:
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - PRECAST HEAD AND SILL
 - BRICK SOLDIER COURSE
 - BRICK
 - PRECAST SAND



BUILDING #1
WEST ELEVATION
 1
 A-2.2
 1/8"=1'-0"

ISSUED
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- TYPICAL MATERIALS:
- ASPHALT SHINGLES
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 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - PRECAST HEAD AND SILL
 - BRICK SOLDIER COURSE
 - BRICK
 - RECESSED BRICK COURSE



BUILDING #1
SOUTH ELEVATION
 2
 A-2.2
 1/8"=1'-0"

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

6321 Town Center Dr
 Madison, Wisconsin
 SHEET TITLE
Building #1
Exterior
Elevations

SHEET NUMBER

A-2.2



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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

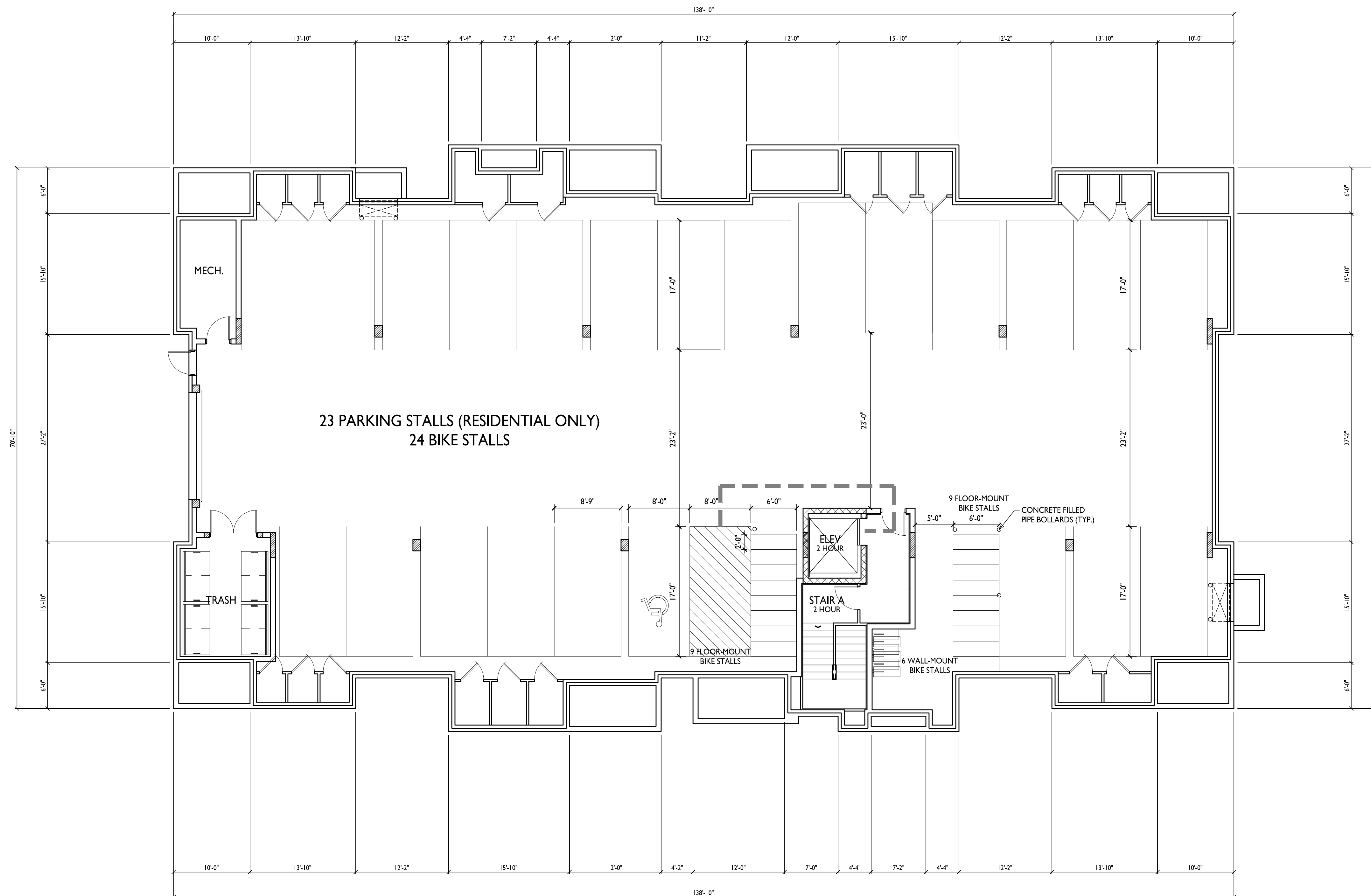
6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #2
Basement Floor
Plan**

SHEET NUMBER

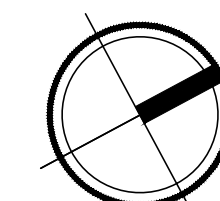
A-1.0

PROJECT NO. **2108**

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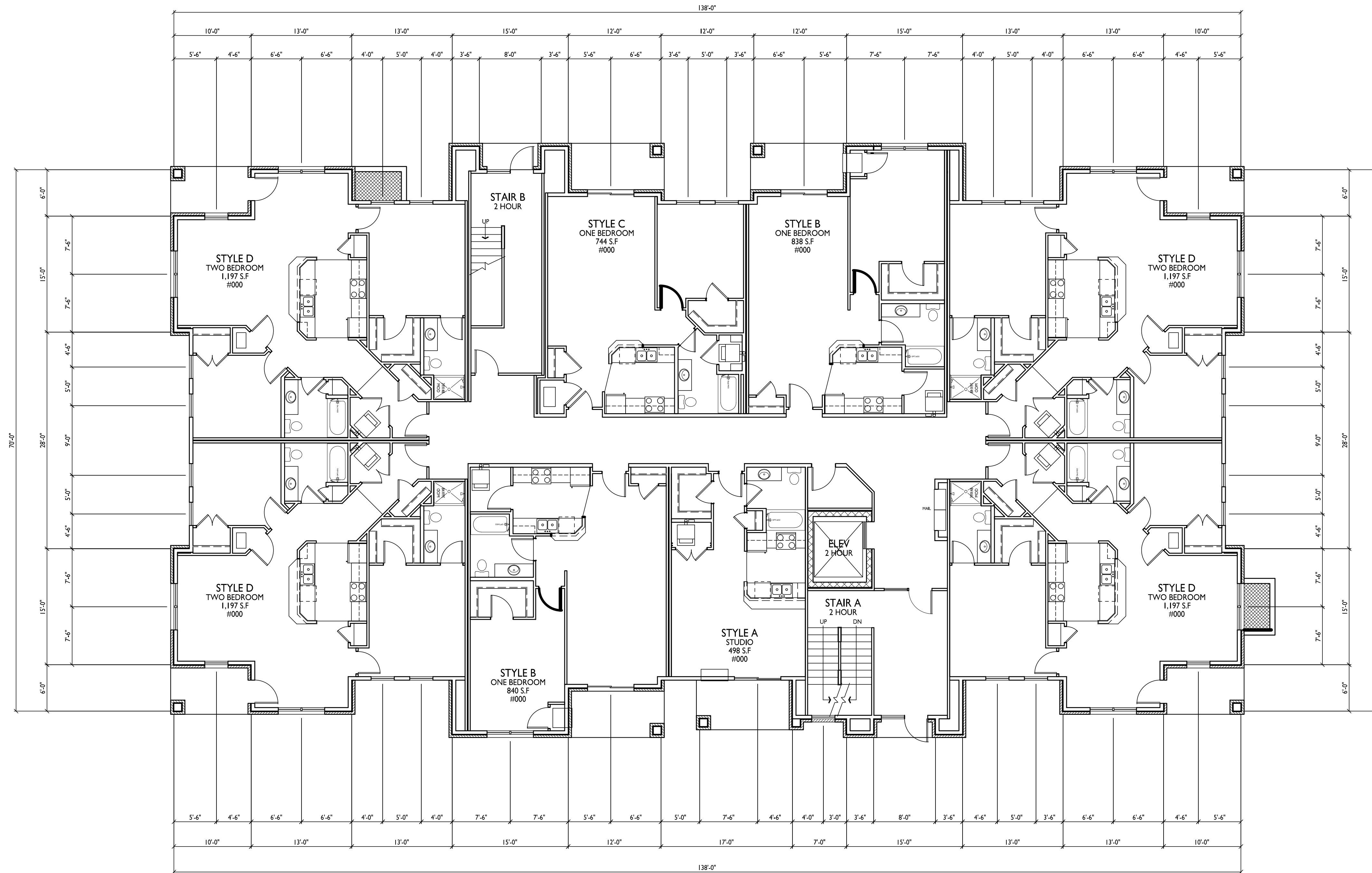
**BUILDING #2
BASEMENT FLOOR PLAN**
1/8" = 1'-0"





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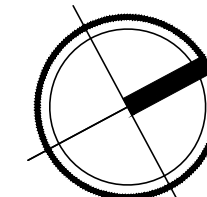


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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #2
First Floor Plan &
Typical Unit Plans**

**BUILDING #2 FIRST FLOOR PLAN &
TYPICAL UNIT PLANS**
1
A-1.1 1/8" = 1'-0"



SHEET NUMBER

A-1.1

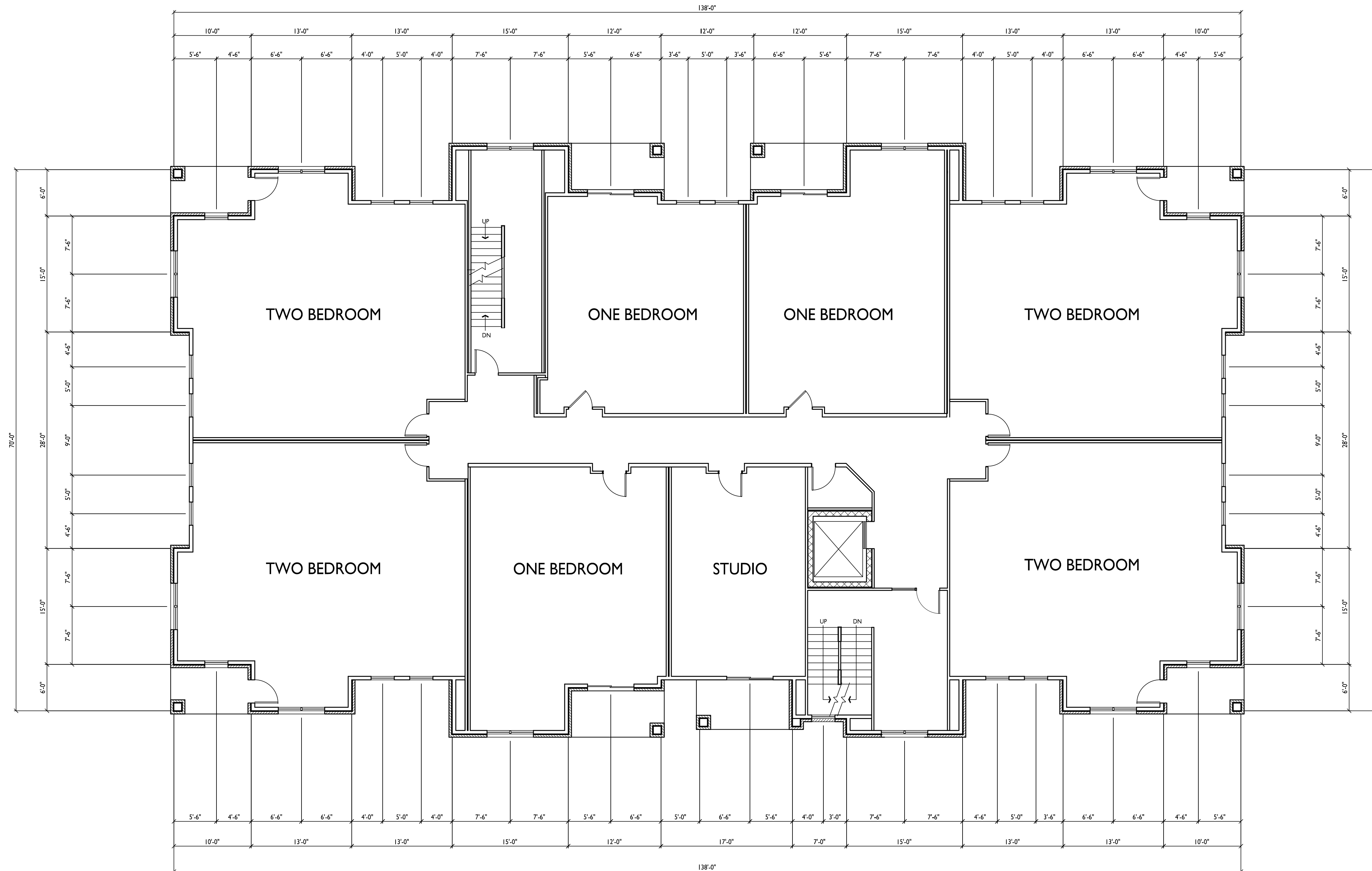
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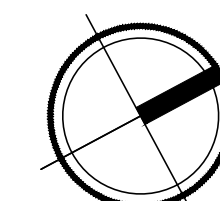


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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #2
Second Floor Plan**

**BUILDING #2
SECOND FLOOR PLAN**
1
A-1.2
1/8" = 1'-0"



SHEET NUMBER

A-1.2

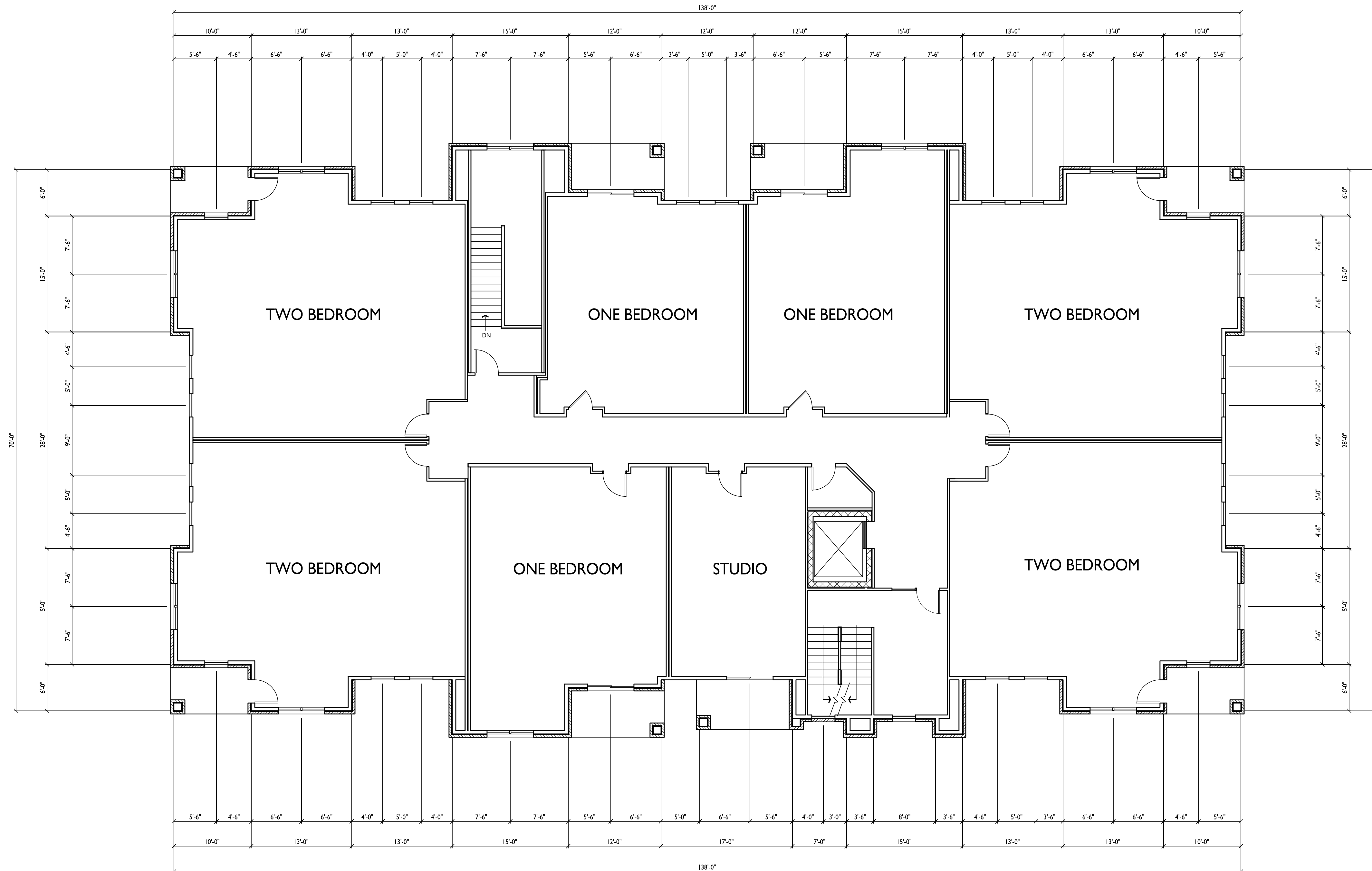
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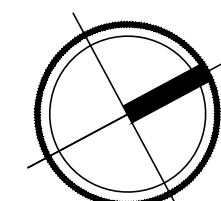


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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #2
Third Floor Plan**

**BUILDING #2
THIRD FLOOR PLAN**
1
A-1.3 1/8" = 1'-0"



SHEET NUMBER

A-1.3

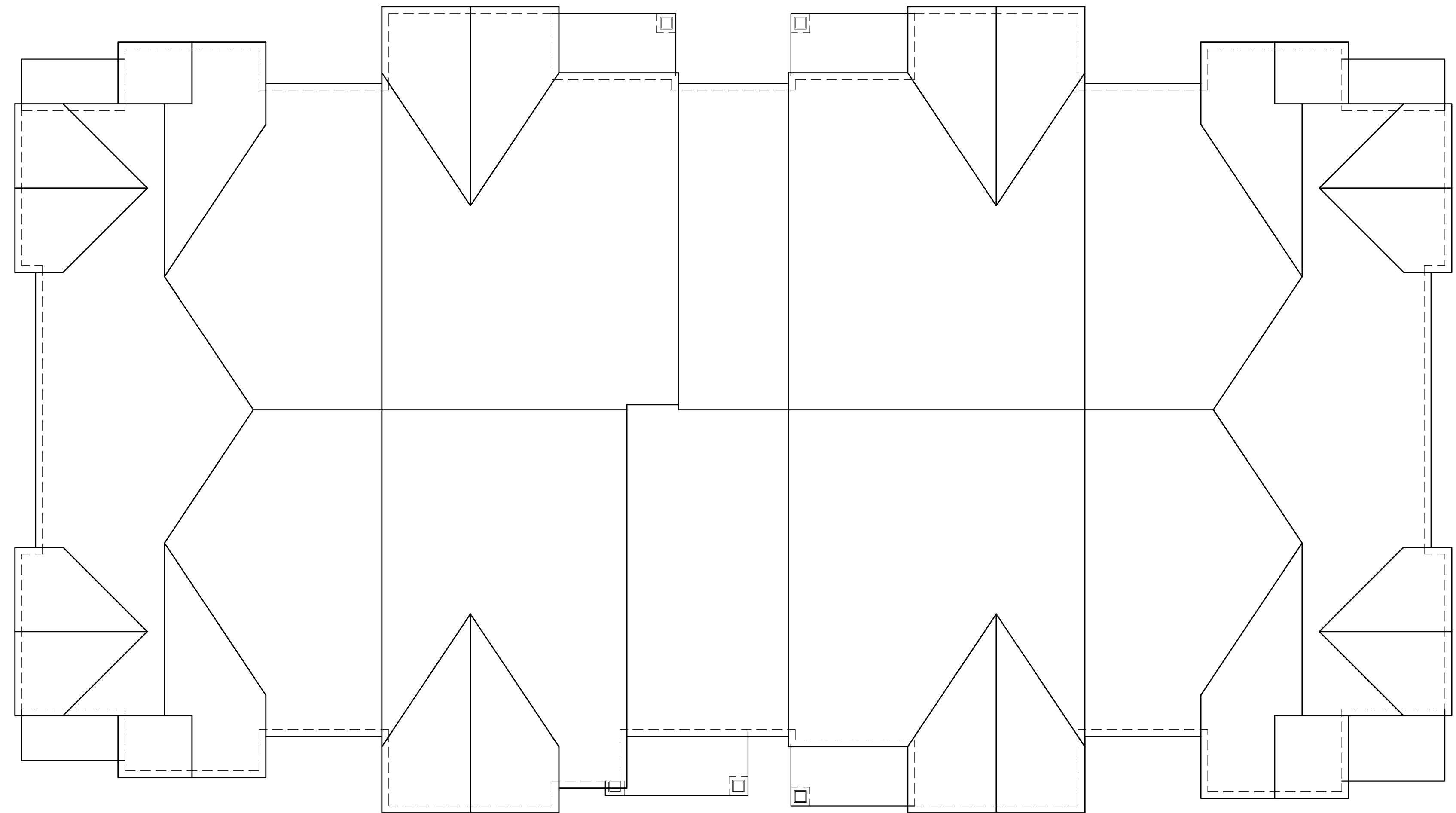
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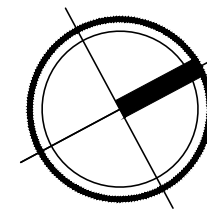


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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #2
Roof Plan**

**BUILDING #2
ROOF PLAN**
1
A-1.4
1/8" = 1'-0"



SHEET NUMBER

A-1.4

PROJECT NO. **2108**

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BUILDING #2
EAST ELEVATION

1
A-2.1

1/8"=1'-0"



BUILDING #2
NORTH ELEVATION ALONG TOWN CENTER DR.

2
A-2.1

1/8"=1'-0"

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Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021
Issued for Updated LUA/UDC - April 29, 2021

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Building #2
Exterior
Elevations

SHEET NUMBER

A-2.1



BUILDING #2
WEST ELEVATION

1
A-2.2 1/8"=1'-0"



BUILDING #2
SOUTH ELEVATION

2
A-2.2 1/8"=1'-0"

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Issued for Updated LUA/UDC - April 29, 2021

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Building #2
Exterior
Elevations

SHEET NUMBER

A-2.2

PROJECT NO. **2108**

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- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - PRECAST HEAD AND SILL
 - BRICK SOLDIER COARSE
 - BRICK
 - PRECAST BAND



BUILDING #2
EAST ELEVATION
 1
 A-2.1 1/8"=1'-0"

- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - BRICK
 - BRICK SOLDIER COARSE
 - PRECAST HEAD AND SILL



BUILDING #2
NORTH ELEVATION ALONG TOWN CENTER DR.
 2
 A-2.1 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

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PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

6321 Town Center Dr
 Madison, Wisconsin
 SHEET TITLE
Building #2
Exterior
Elevations

SHEET NUMBER

A-2.1

- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - PRECAST HEAD AND SILL
 - BRICK SOLDIER COARSE
 - BRICK



BUILDING #2
WEST ELEVATION
 1
 A-2.2 1/8"=1'-0"

- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - BRICK
 - BRICK SOLDIER COARSE
 - PRECAST HEAD AND SILL
 - PRECAST BAND



BUILDING #2
SOUTH ELEVATION
 2
 A-2.2 1/8"=1'-0"

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PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

6321 Town Center Dr
 Madison, Wisconsin
 SHEET TITLE
Building #2
 Exterior
 Elevations

SHEET NUMBER
A-2.2
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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

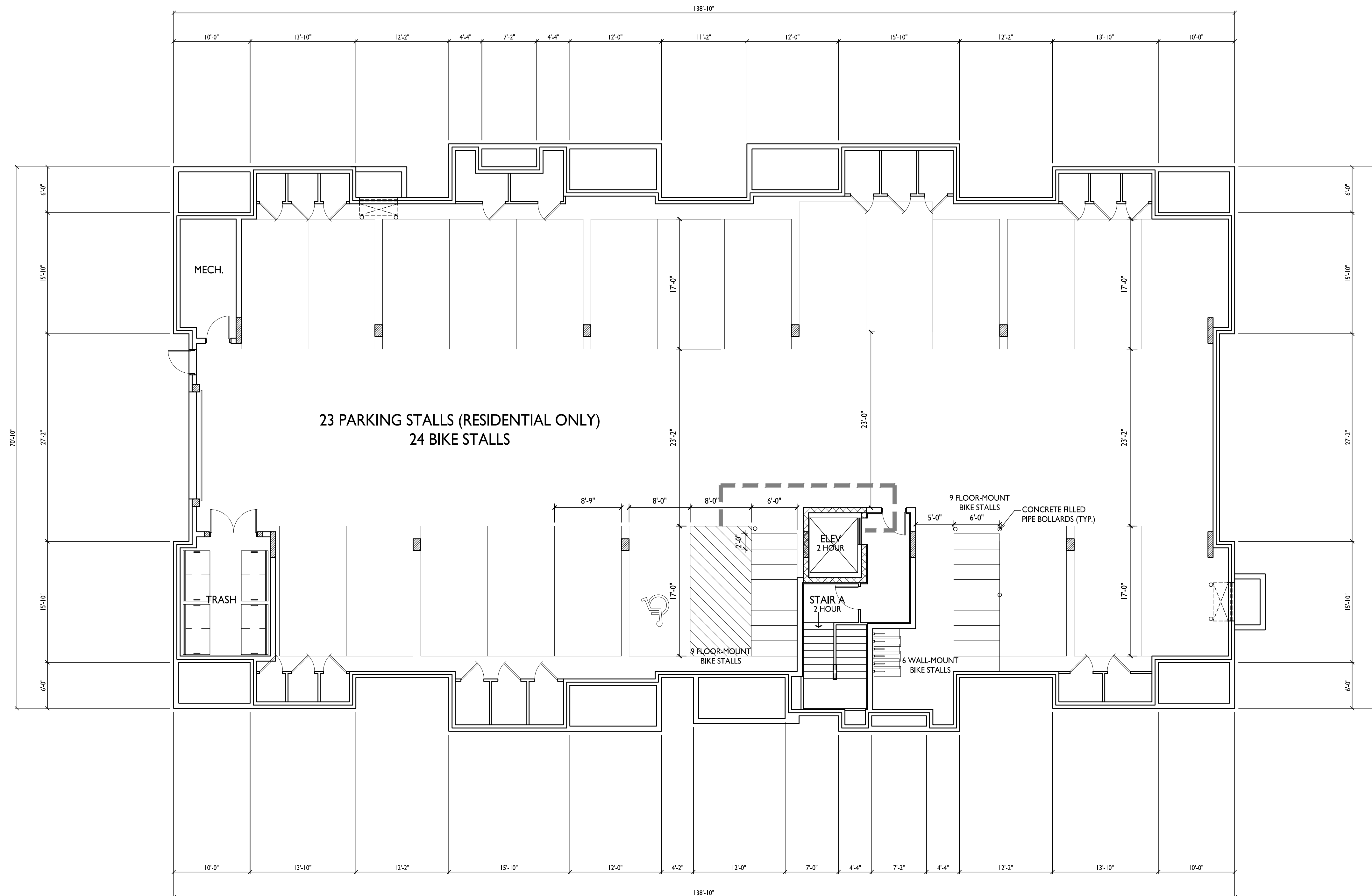
6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #3
Basement Floor
Plan**

SHEET NUMBER

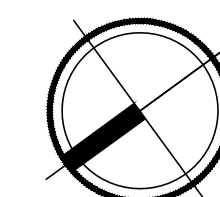
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**BUILDING #3
BASEMENT FLOOR PLAN**
1/8" = 1'-0"





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PROJECT TITLE
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METRO TECH
APARTMENTS**

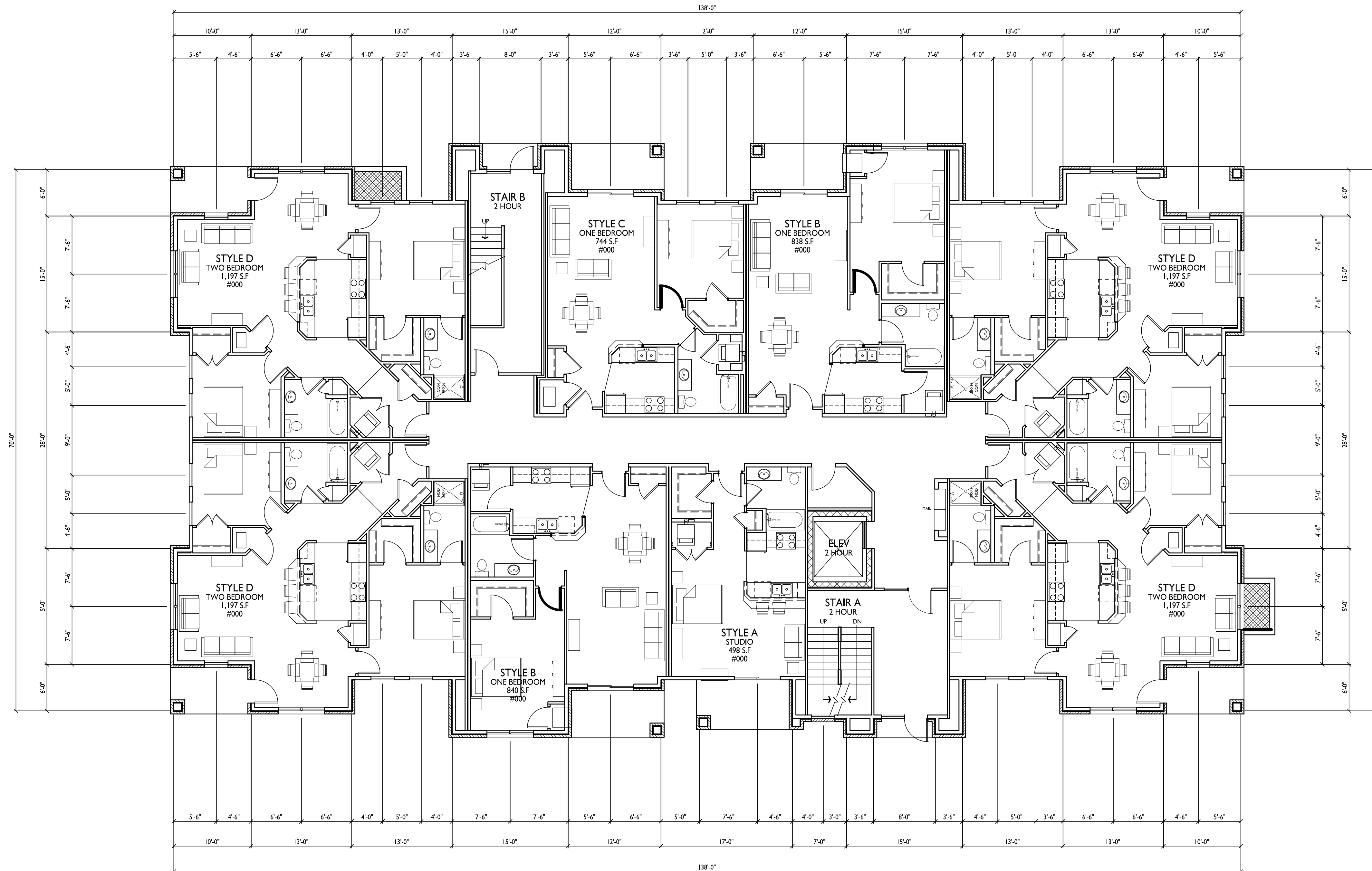
6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #3
First Floor Plan**

SHEET NUMBER

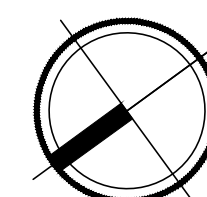
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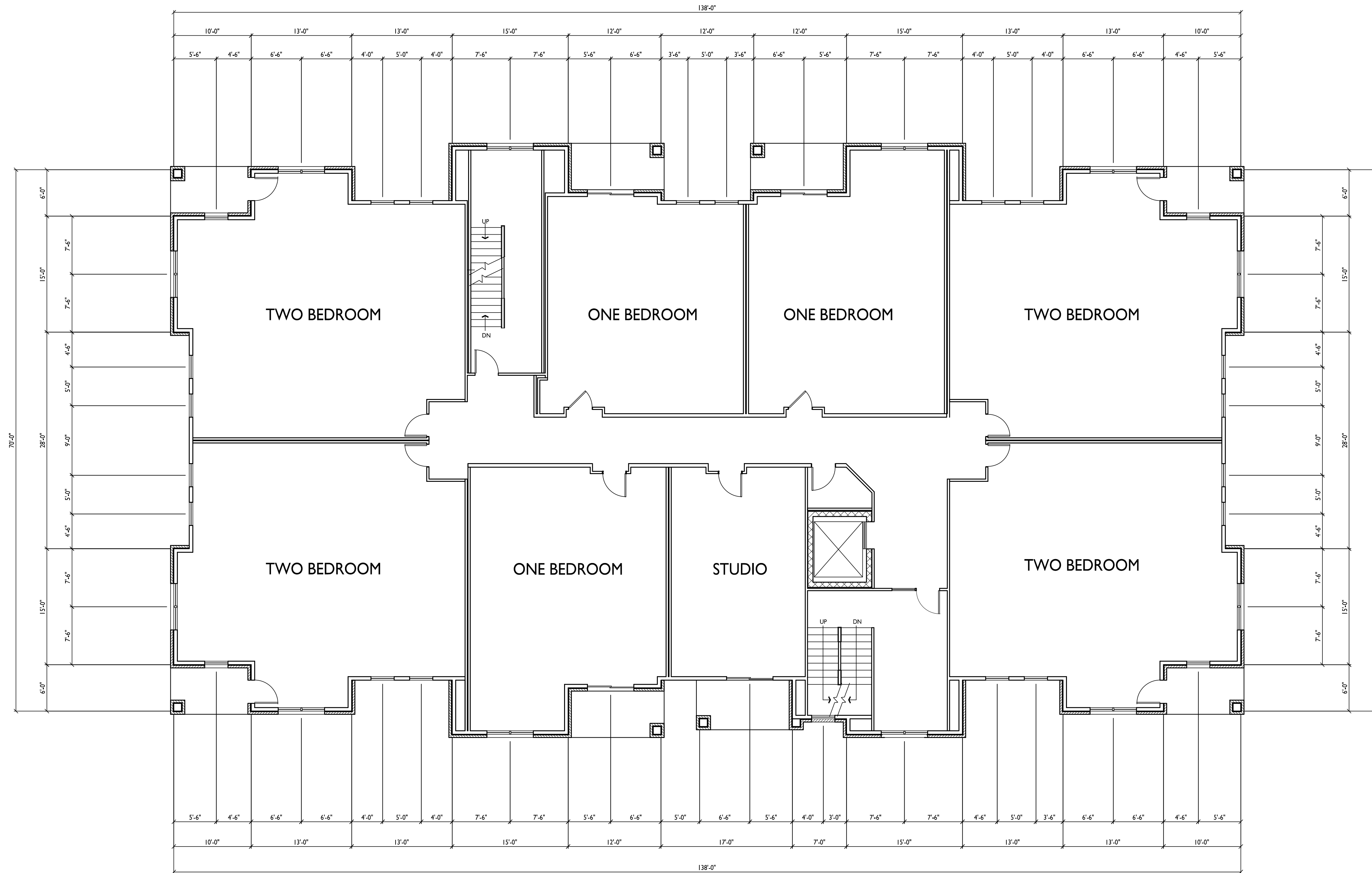
**BUILDING #3
FIRST FLOOR PLAN**
1/8" = 1'-0"





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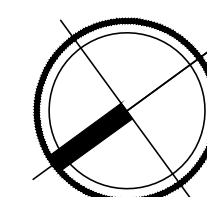


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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #3
Second Floor Plan**

**BUILDING #3
SECOND FLOOR PLAN**
1/8" = 1'-0"



SHEET NUMBER

A-1.2

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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

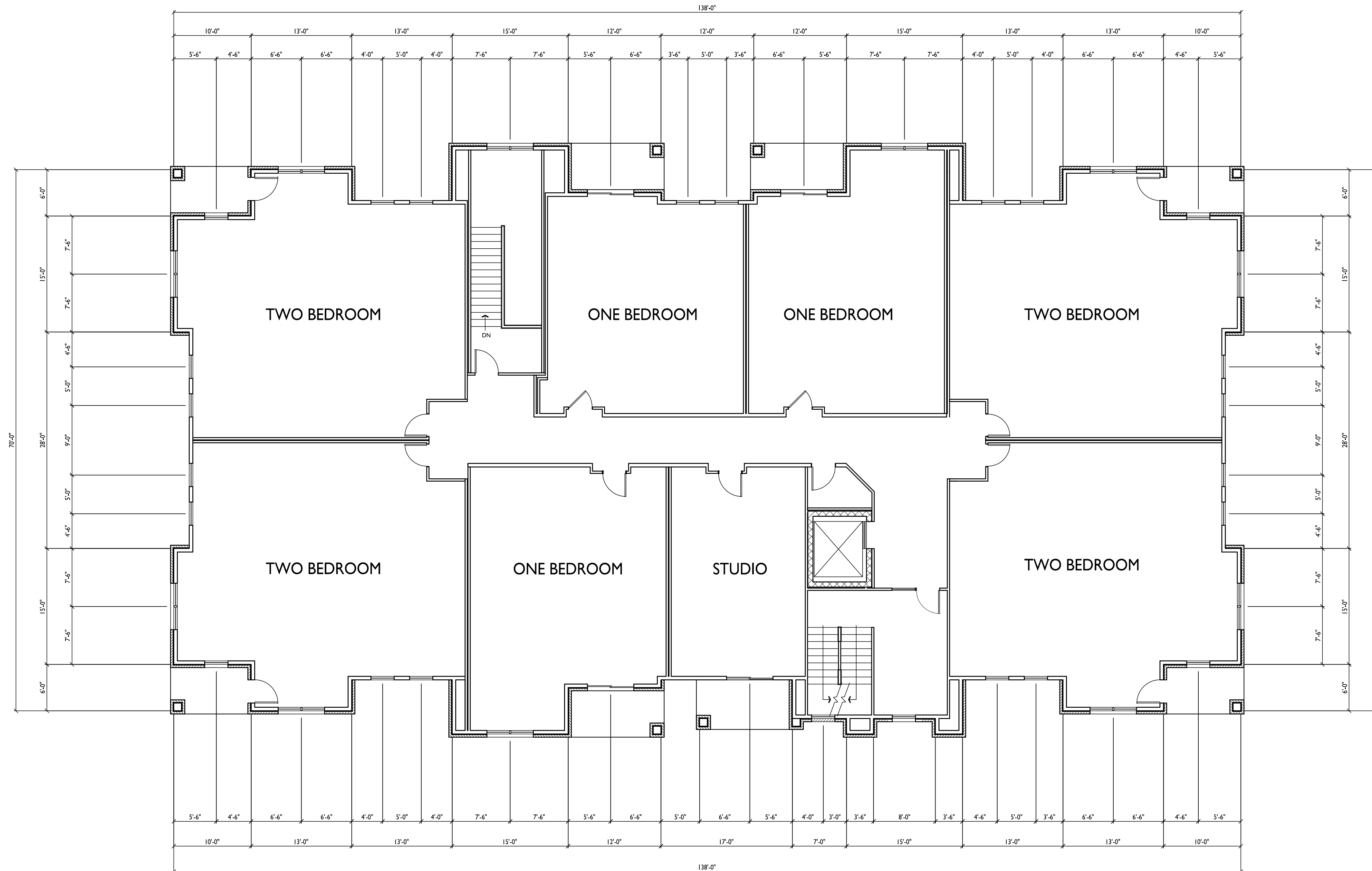
6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #3
Third Floor Plan**

SHEET NUMBER

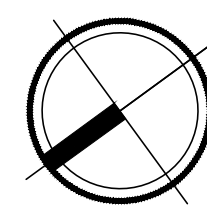
A-1.3

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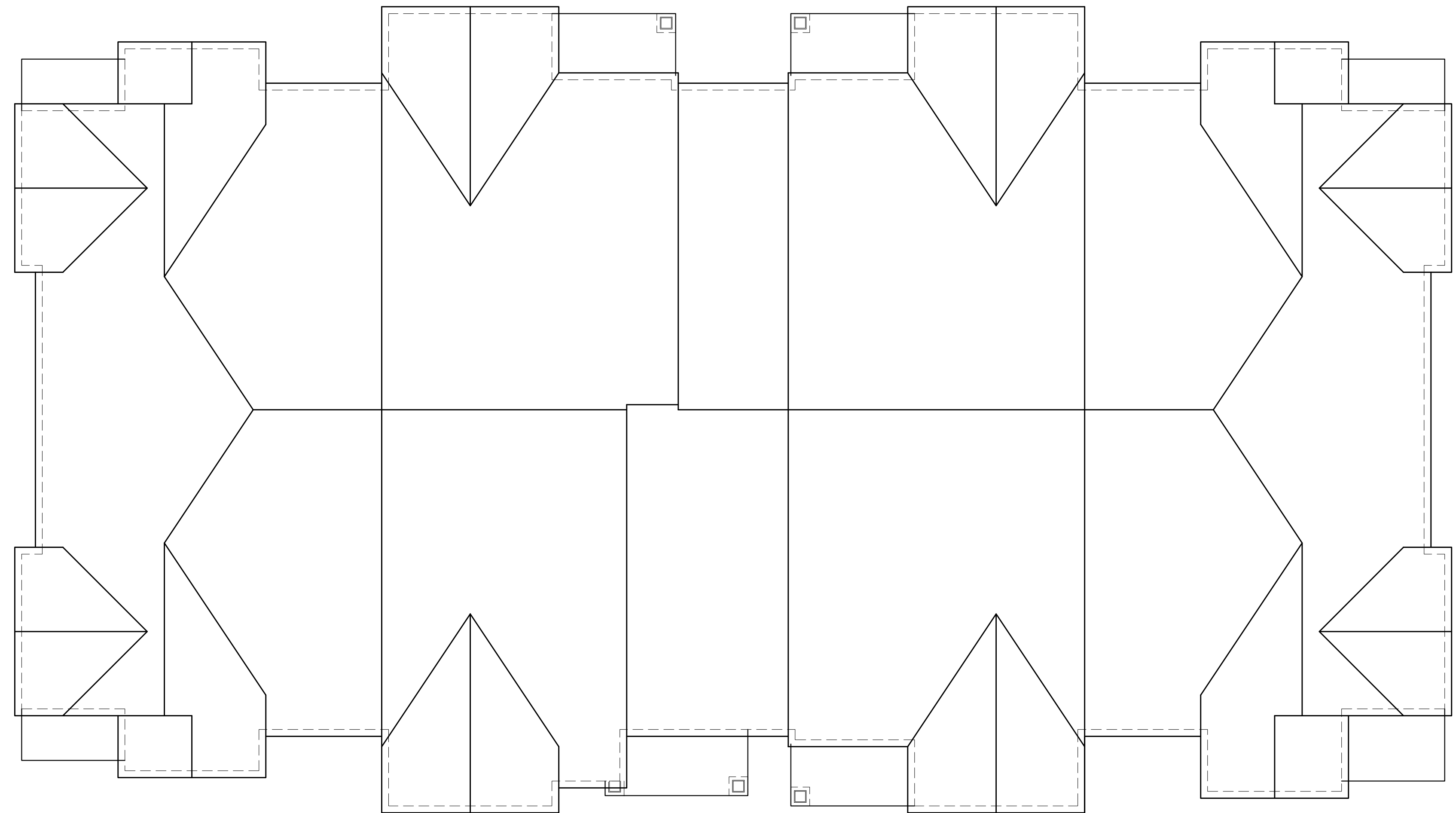
**BUILDING #3
THIRD FLOOR PLAN**
1
A-1.3 1/8" = 1'-0"





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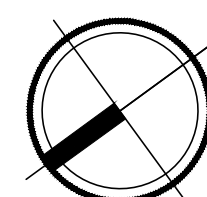


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PROJECT TITLE
**ELLEFSON
METRO TECH
APARTMENTS**

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
**Building #3
Roof Plan**

**BUILDING #3
ROOF PLAN**
1
A-1.4 1/8" = 1'-0"



SHEET NUMBER

A-1.4

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TYPICAL MATERIALS:

- ASPHALT SHINGLES
- COMPOSITE BOARD & BATTEN
- COMPOSITE FASCIA & SOFFIT
- COMPOSITE HORIZ. SIDING
- COMPOSITE WINDOW TRIM
- PREFABRICATED ALUMINUM RAILING
- PRECAST HEAD AND SILL
- BRICK SOLDIER COARSE
- BRICK
- PRECAST BAND
- RECESSED BRICK COURSE

BUILDING #3
EAST ELEVATION ALONG METRO TERRACE
1
A-2.1
1/8"=1'-0"



TYPICAL MATERIALS:

- ASPHALT SHINGLES
- COMPOSITE BOARD & BATTEN
- COMPOSITE FASCIA & SOFFIT
- COMPOSITE HORIZ. SIDING
- COMPOSITE WINDOW TRIM
- PREFABRICATED ALUMINUM RAILING
- BRICK
- BRICK SOLDIER COARSE
- PRECAST HEAD AND SILL
- PRECAST BAND
- RECESSED BRICK COURSE

BUILDING #3
SOUTH ELEVATION
2
A-2.1
1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

ISSUED
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PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Building #3
Exterior
Elevations

SHEET NUMBER

A-2.1

PROJECT NO. **2108**
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TYPICAL MATERIALS:

- ASPHALT SHINGLES
- COMPOSITE BOARD & BATTEN
- COMPOSITE FASCIA & SOFFIT
- COMPOSITE HORIZ. SIDING
- COMPOSITE WINDOW TRIM
- PREFABRICATED ALUMINUM RAILING
- PRECAST HEAD AND SILL
- BRICK SOLDIER COARSE
- BRICK
- PRECAST BAND
- RECESSED BRICK COURSE

BUILDING #3
WEST ELEVATION
1
A-2.2
1/8"=1'-0"



TYPICAL MATERIALS:

- ASPHALT SHINGLES
- COMPOSITE BOARD & BATTEN
- COMPOSITE FASCIA & SOFFIT
- COMPOSITE HORIZ. SIDING
- COMPOSITE WINDOW TRIM
- PREFABRICATED ALUMINUM RAILING
- BRICK
- BRICK SOLDIER COARSE
- PRECAST HEAD AND SILL
- PRECAST BAND
- RECESSED BRICK COURSE

BUILDING #3
NORTH ELEVATION
2
A-2.2
1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

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PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Building #3
Exterior
Elevations

SHEET NUMBER

A-2.2

PROJECT NO. **2108**
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BUILDING #3
EAST ELEVATION ALONG METRO TERRACE
 1
 A-2.1 1/8"=1'-0"

- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - PRECAST HEAD AND SILL
 - BRICK SOLDIER COURSE
 - BRICK

ISSUED
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BUILDING #3
SOUTH ELEVATION
 2
 A-2.1 1/8"=1'-0"

- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - BRICK
 - BRICK SOLDIER COURSE
 - PRECAST HEAD AND SILL

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

6321 Town Center Dr
 Madison, Wisconsin
Building #3
Exterior
Elevations

SHEET NUMBER
A-2.1
 PROJECT NO. **2108**
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- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - PRECAST HEAD AND SILL
 - BRICK SOLDER COURSE
 - BRICK

BUILDING #3
WEST ELEVATION
1
A-2.2 1/8"=1'-0"

ISSUED
Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021



- TYPICAL MATERIALS:**
- ASPHALT SHINGLES
 - COMPOSITE BOARD & BATTEN
 - COMPOSITE FASCIA & SOFFIT
 - COMPOSITE HORIZ. SIDING
 - COMPOSITE WINDOW TRIM
 - PREFABRICATED ALUMINUM RAILING
 - BRICK
 - BRICK SOLDER COURSE
 - PRECAST HEAD AND SILL

BUILDING #3
NORTH ELEVATION
2
A-2.2 1/8"=1'-0"

PROJECT TITLE
ELLEFSON
METRO TECH
APARTMENTS

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

6321 Town Center Dr
Madison, Wisconsin
SHEET TITLE
Building #3
Exterior
Elevations

SHEET NUMBER

A-2.2



Metro Tech Apartments

Building #1
April 23, 2021





Metro Tech Apartments

Building #1 & #3
April 23, 2021





Metro Tech Apartments

Building #3
April 23, 2021





Metro Tech Apartments

Building #2
April 23, 2021





Metro Tech Apartments

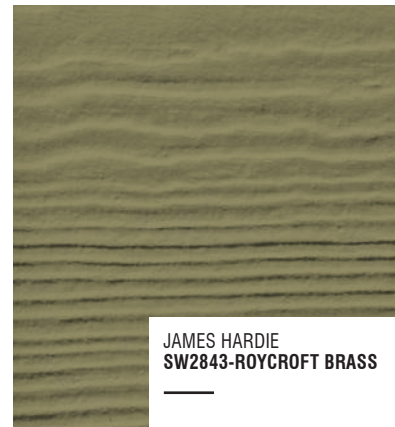
Building #1
April 23, 2021





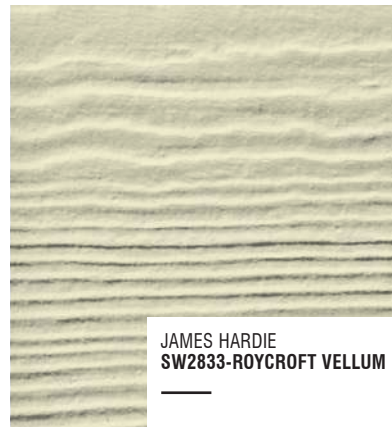
GAF TIMBERLINE
APPALACHIAN SKY

SHINGLES



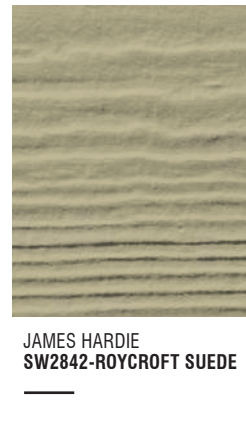
JAMES HARDIE
SW2843-ROYCROFT BRASS

HORIZONTAL SIDING



JAMES HARDIE
SW2833-ROYCROFT VELLUM

**PANEL SIDING
COMPOSITE SIDING & TRIM**



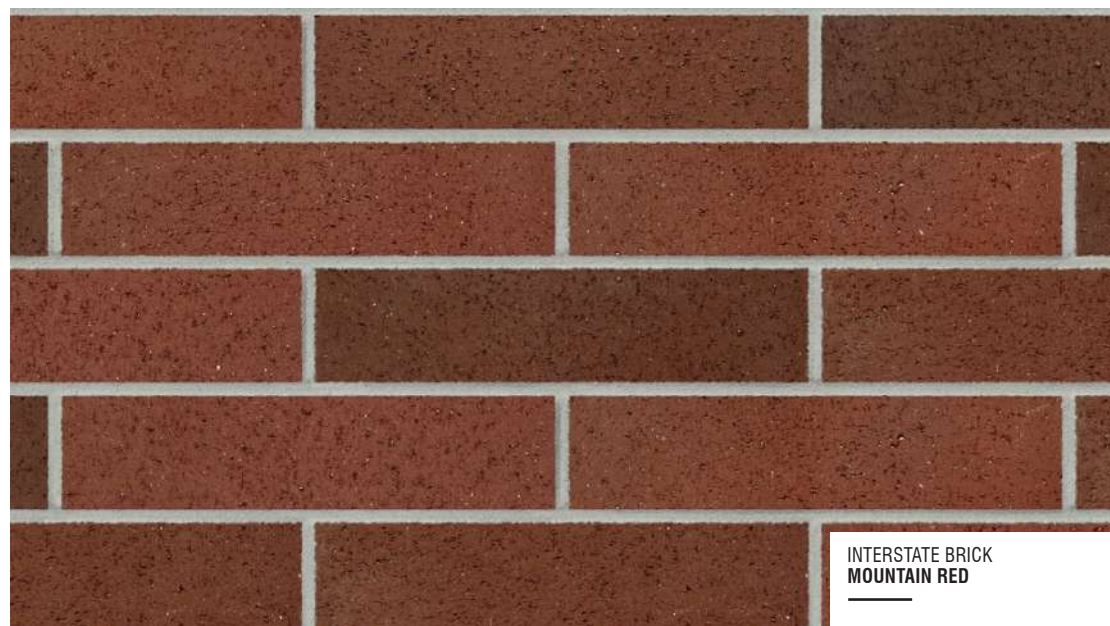
JAMES HARDIE
SW2842-ROYCROFT SUEDE

TRIM



EDWARDS
BUFF | SMOOTH

CAST STONE SILLS, HEADS & BANDS



INTERSTATE BRICK
MOUNTAIN RED

BRICK VENEER



MANUFACTURER
DARK BRONZE

**COMMON ENTRY DOORS
ALUM. RAILINGS**



MANUFACTURER
ALMOND

**WINDOWS
UNIT ENTRY DOORS**

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
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**ELLEFSON
METRO TECH
APARTMENTS**

6321 TOWN CENTER DR.
MADISON, WI

MARCH 31, 2021
KBA PROJECT 2108