

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received _____ Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 4725 Tradewinds Parkway
Title: Synbiotic Health

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____
New development Alteration to an existing or previously-approved development
Informational Initial Approval Final Approval

3. Project Type

- Project in an Urban Design District
Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
Modifications of Height, Area, and Setback
Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name	<u>Steve Shulfer</u>	Company	<u>Sketchworks Architecture</u>
Street address	<u>2501 Parmenter St Ste 100B</u>	City/State/Zip	<u>Middleton, WI 53562</u>
Telephone	<u>608.836.7570</u>	Email	<u>sshulfer@sketchworksarch.com</u>
Project contact person	_____	Company	_____
Street address	_____	City/State/Zip	_____
Telephone	_____	Email	_____
Property owner (if not applicant)	_____	City/State/Zip	_____
Street address	_____	Email	_____
Telephone	_____		

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

Electronic Submittal


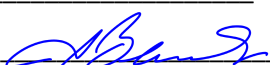
- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant  _____ Relationship to property _____
 Authorizing signature of property owner  _____ Date _____

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

April 24, 2023

City of Madison
Planning Division
Urban Design Commission
Attn: Jessica Vaughn
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-4635

RE: 4725 Tradewinds Parkway
Urban Design Submittal / Upgrade

Dear Jessica,

Upon submitting design drawings for a tenant buildout with minor modifications to the building exterior, it has come to our attention that the existing building exterior has not been completed in accordance with previously approved UDC and P&Z documents.

As we were not involved in the original approvals, nor the construction of the existing building shell, we are in a situation of trying to resolve the current conditions, as well as present these minor alterations for your approval.

Please accept this submission as a means to bridge the prior approval, as well as the needs of the new tenant, Synbiotic Health.

The attached submittal shows the following information:

- Neighborhood plan
- Site plan & Landscape plan (with minor modification to add mechanical screening)
- Landscape plan
- Exterior Elevations:
 - Prior Approved building shell design
 - Current “as-constructed” conditions
 - Proposed exterior modifications

Site modifications (shown in attached plans) are minimal and include only the addition of screening fences for pad-mounted equipment. An hvac pad to be located on the west side of the building will be added and screened with both a complimentary metal screen fence, and evergreen trees as shown. Additional process equipment to eventually be located on the rear / south side of the building, on the existing concrete apron, will be screened with the same fence design.

Our exterior shell design will include slight alteration of material placement, slight color change, windows to be relocated to locations previously identified as ‘future’, and mechanical unit

screening at grade. We are trying to remain true to the spirit of the original approval, but adding back the metal panels and window locations that were previously approved, as well as a canopy structure over the new tenant entry door.

We are not proposing a masonry accent material as was originally submitted, as that design no longer seems appropriate to this building.

Please feel free to contact us with any questions you may have regarding this request.

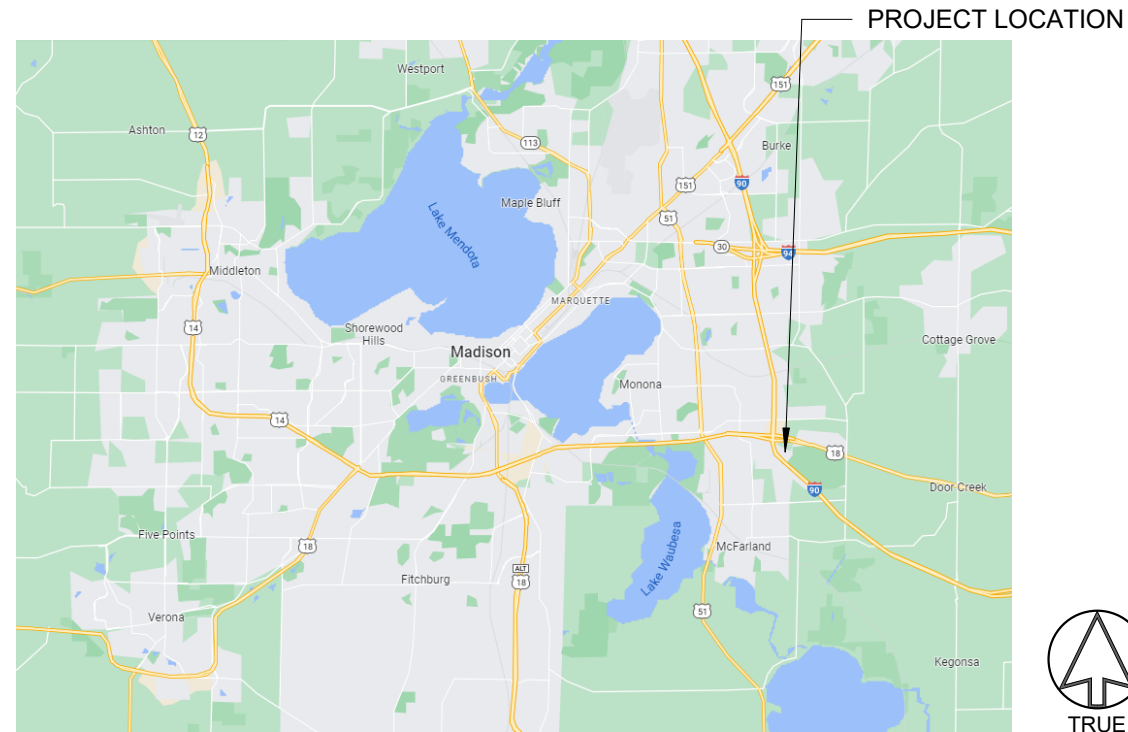
Respectfully,



Steve Shulfer, AIA
Sketchworks Architecture, LLC

SYNBIOTIC

4725 TRADEWINDS PARKWAY MADISON, WI 53718



PROJECT LOCATION

BUILDING LOCATION

SHEET INDEX

- G.0 TITLE SHEET
- G.1 AERIAL SITE VIEW
- AS.1 SITE PLAN - PROPOSED ALTERATION
- L.1 LANDSCAPE PLAN - PROPOSED ALTERATION
- A2.0 EAST ELEVATION
- A2.1 WEST ELEVATION
- A2.2 NORTH ELEVATION
- A2.3 SOUTH ELEVATION

ORIGINALLY APPROVED SITE PLANS FOR REFERENCE

- C2.0 SITE PLAN
- L1.0 LANDSCAPE PLAN
- L1.1 LANDSCAPE PLAN - NORTH
- L1.2 LANDSCAPE PLAN - SOUTH

SYNBIOTIC
INTERIOR BUILD-OUT
4725 TRADEWINDS PARKWAY
MADISON, WI 53718

TITLE SHEET

04/24/2023
UDC SUBMITTAL

G.0



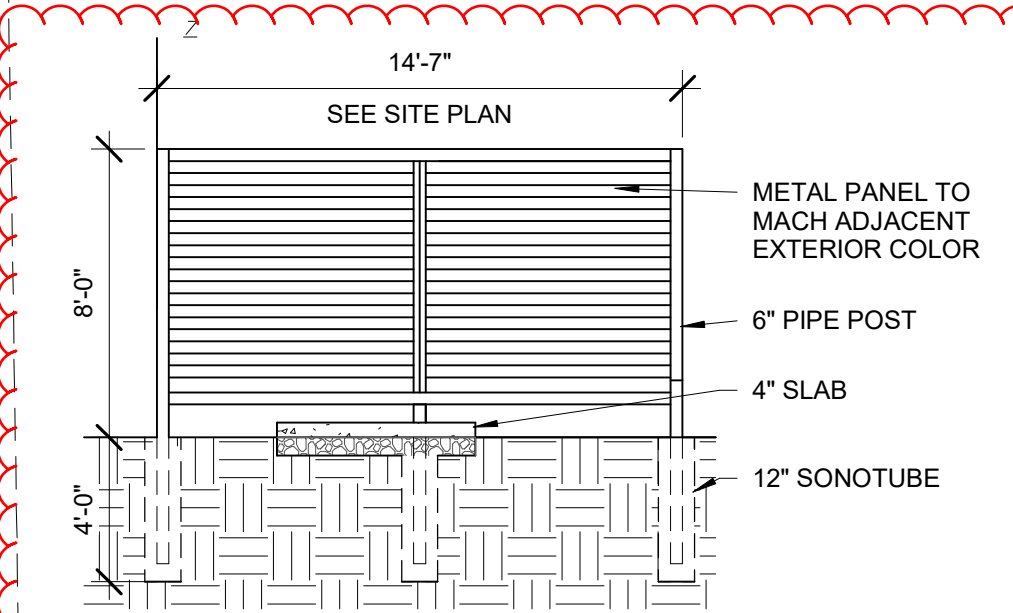
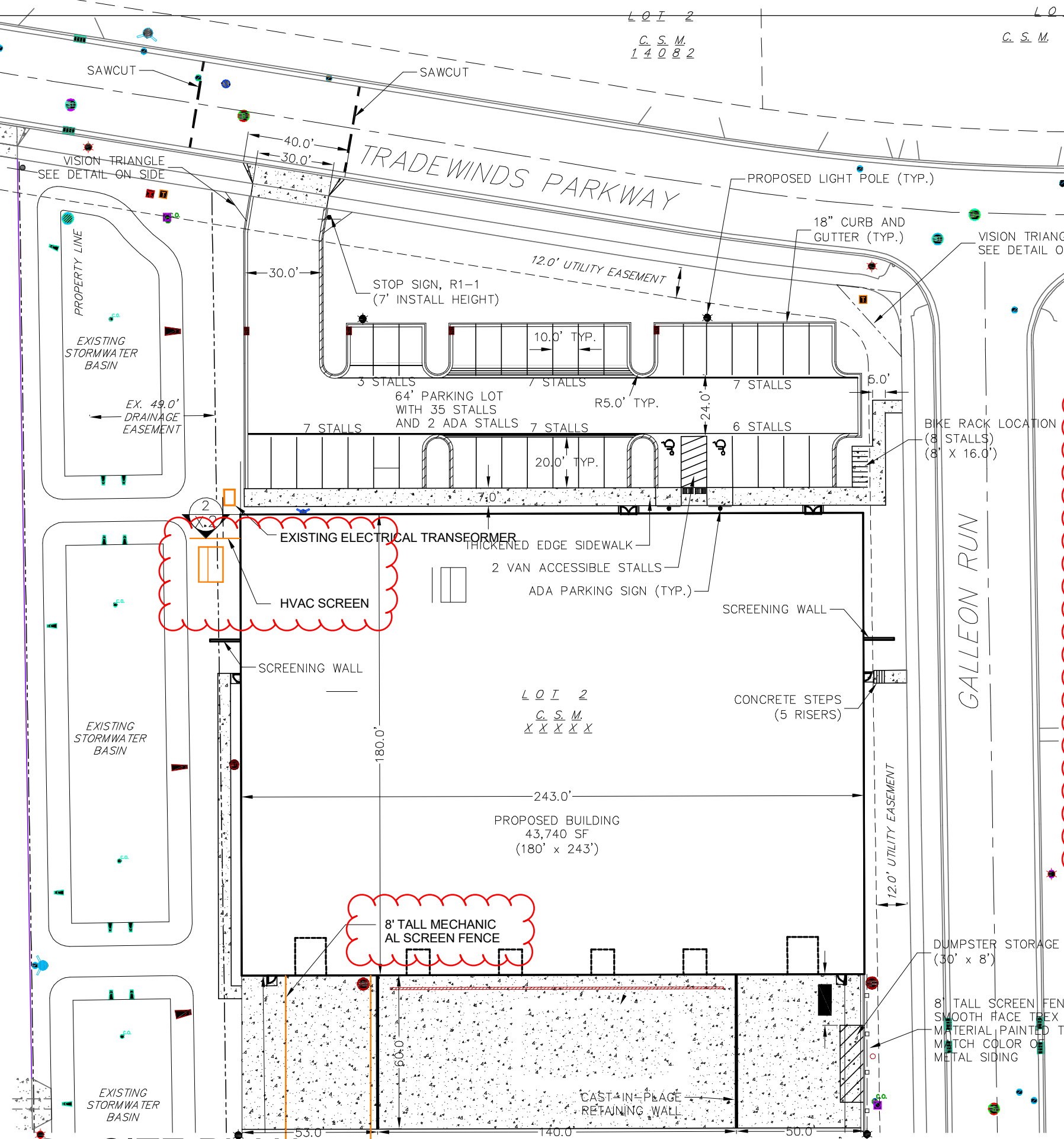
SYNBIOTIC
 INTERIOR BUILD-OUT
 4725 TRADEWINDS PARKWAY
 MADISON, WI 53718

**AEIRIAL SITE
 VEW**

04/24/2023
 UDC SUBMITTAL

G.1

LOT 2
C.S.M. 14082
LOT 1
C.S.M. 14399

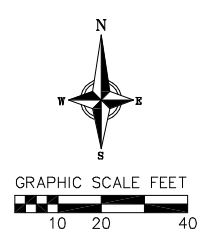


2 FENCE ELEVATION DETAIL
3/16" = 1'-0"

PROPOSED ADD OF MECHANICAL SCREEN FENCE TO SITE PLAN 4/2023

1 SITE PLAN
1" = 40'-0"

TRADEWINDS BUSINESS CENTRE



SYNBIOTIC
INTERIOR BUILD-OUT
4725 TRADEWINDS PARKWAY
MADISON, WI 53718

SITE PLAN

04/24/2023
UDC SUBMITTAL

AS.1

PLANT SCHEDULE

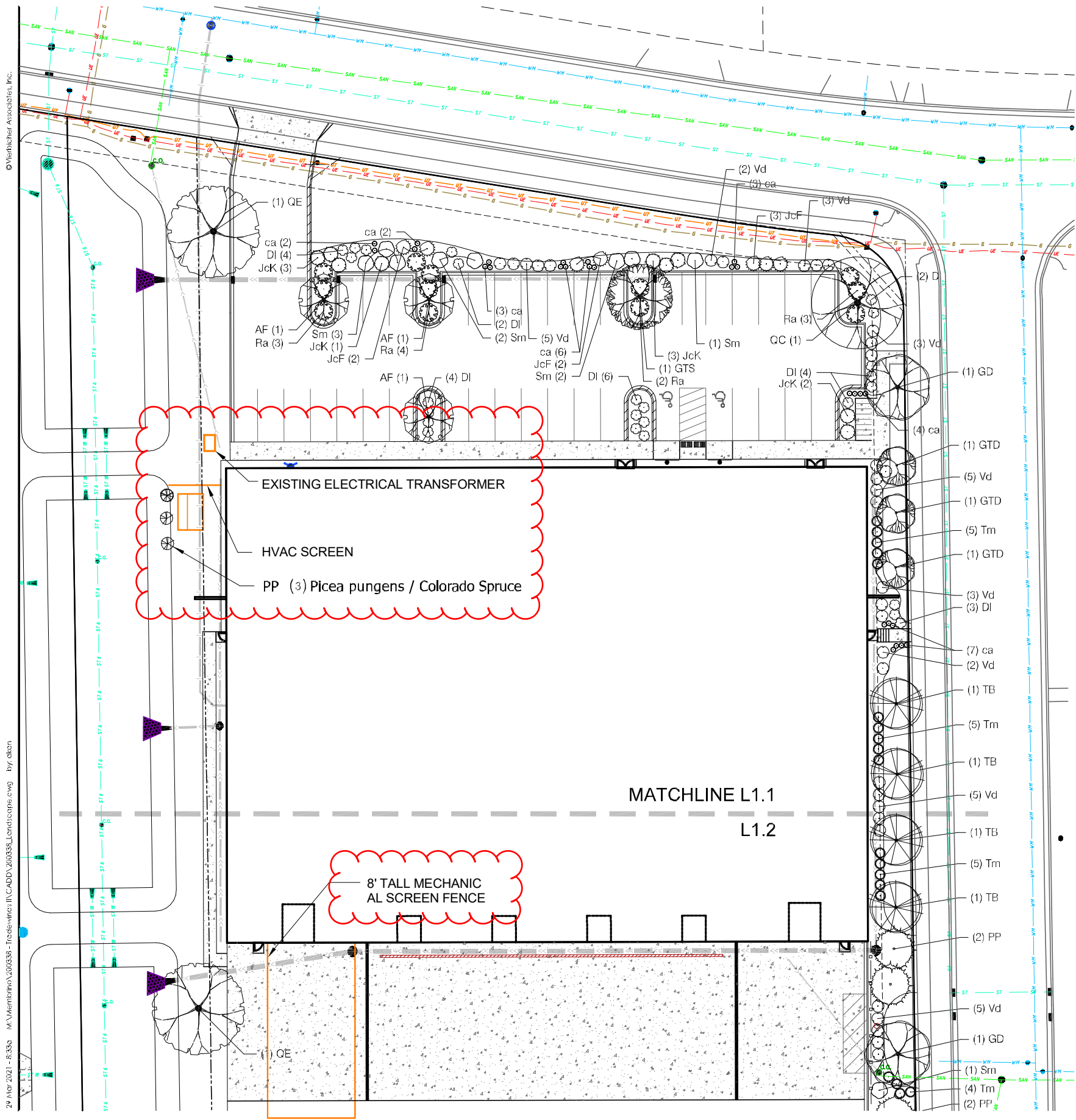
DECIDUOUS TREES	BOTANICAL / COMMON NAME
AF	Acer x freemanii 'Ed Gärtnier' / Ed Gärtnier Freeman Maple
GTD	Gleditsia triacanthos 'Draves' / Street Keeper Honey Locust
GTS	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust
GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree
QE	Quercus ellipsoidalis / Hills Oak
QC	Quercus robur x macrocarpa 'Demons' TM / Heritage Oak
TB	Tilia americana 'Boulevard' / Boulevard American Linden

EVERGREEN TREES	BOTANICAL / COMMON NAME
PP	Picea pungens / Colorado Spruce
PS	Pinus strobus / White Pine

DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME
DI	Diervilla lonicera / Dwarf Bush Honeysuckle
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
Sm	Syringa meyeri 'Palibin' / Dwarf Korean Lilac
Vd	Viburnum dentatum 'Little Joe' / Little Joe Viburnum

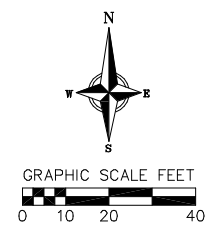
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
JcF	Juniperus chinensis 'Fairview' / Fairview Juniper
JcK	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfizer Juniper
Tm	Taxus x media 'Everlow' / Everlow Yew

PERENNIALS	BOTANICAL / COMMON NAME
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass



PROPOSED ADD OF MECHANICAL SCREEN FENCE AND EVERGREEN SCREENING. 4/2023

LANDSCAPE PLAN OTHERWISE MATCHES THAT WHICH WAS ORIGINALLY APPROVED IN 2021



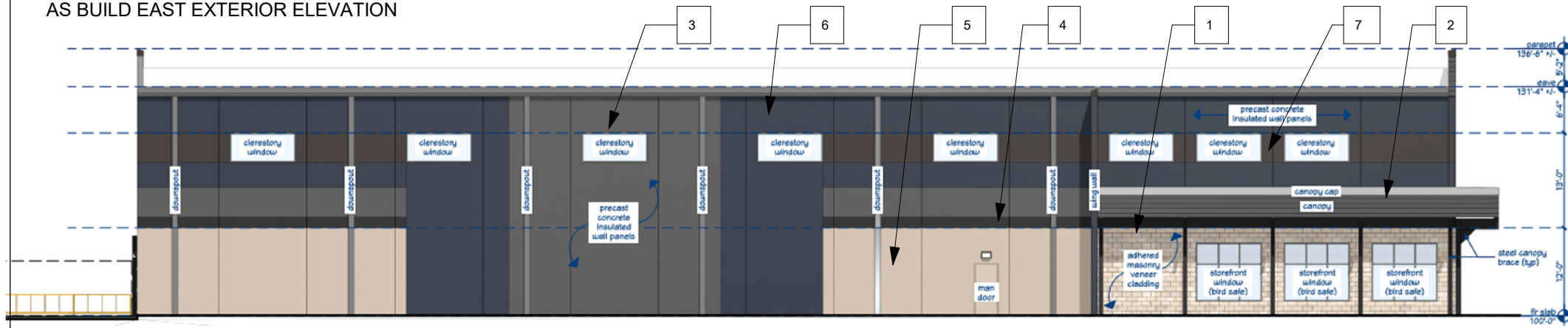
SYMBIOTIC
INTERIOR BUILD-OUT
4725 TRADEWINDS PARKWAY
MADISON, WI 53718

LANDSCAPE

04/24/2023
UDC SUBMITTAL



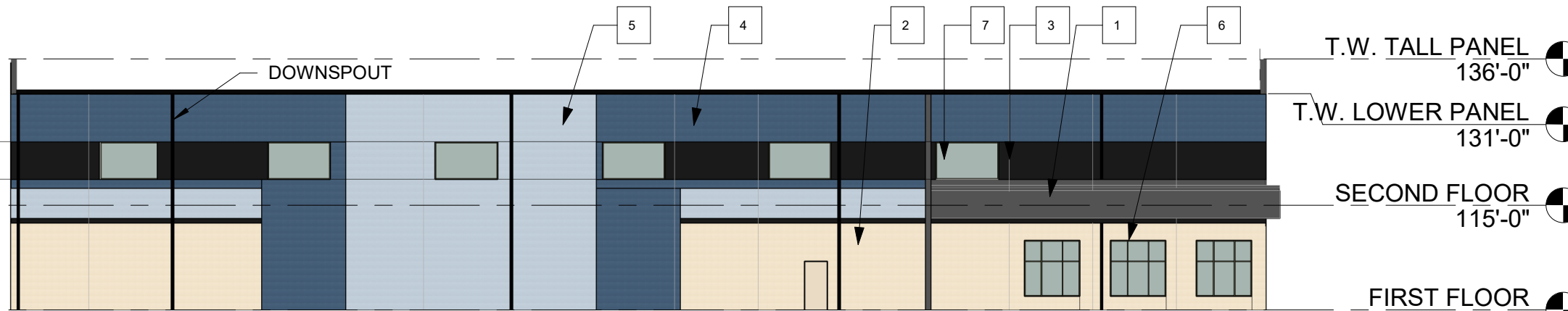
AS BUILT EAST EXTERIOR ELEVATION



WALL PANEL PAINT KEY

- 1 ADHERED MASONRY VENEER
- 2 FORMED METAL WALL PANEL
- 3 PRECAST CONCRETE PANEL FIELD COLOR #1 (LIGHT GREY)
- 4 PRECAST CONCRETE PANEL ACCENT COLOR #2 (BLACK)
- 5 PRECAST CONCRETE PANEL ACCENT COLOR #3 (BUFF)
- 6 PRECAST CONCRETE PANEL ACCENT COLOR #4 (BLUE)
- 7 PRECAST CONCRETE PANEL ACCENT COLOR #5 (BRONZE)

APPROVED EAST EXTERIOR ELEVATION



COLOR MATERIAL KEY:

- 1 FORMED METAL PANEL
- 2 PRECAST CONCRETE COLOR #1 (BUFF)
- 3 PRECAST CONCRETE COLOR #2 (BLACK)
- 4 PRECAST CONCRETE COLOR #3 (DARK BLUE)
- 5 PRECAST CONCRETE COLOR #4 (LIGHT BLUE)
- 6 CLEAR ANODIZED ALUMINUM FRAMED
- 7 CLEAR ANODIZED ALUMINUM FRAMED GLAZING SYSTEM

PROPOSED EAST EXTERIOR ELEVATION

SYNBIOTIC
INTERIOR BUILD-OUT
4725 TRADEWINDS PARKWAY
MADISON, WI 53718

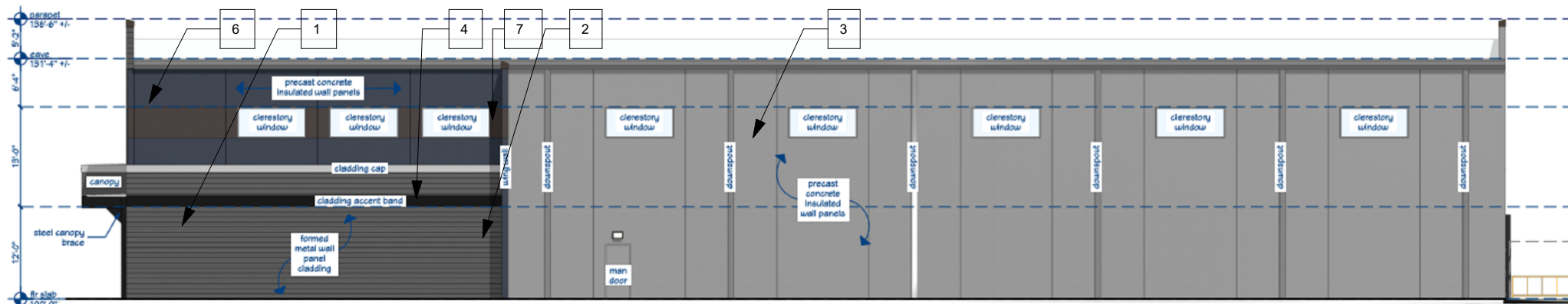
EAST ELEVATION

04/24/2023
UDC SUBMITTAL

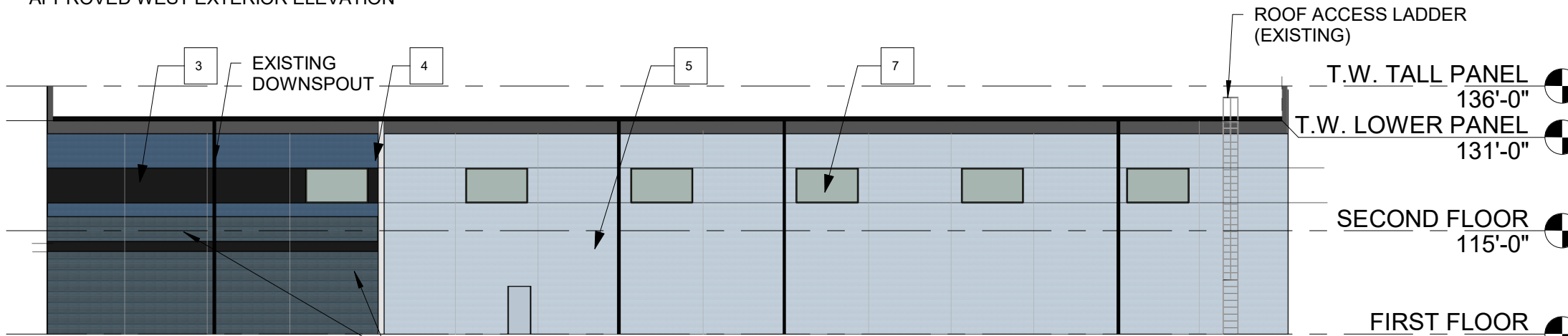
A2.0



AS BUILT WEST EXTERIOR ELEVATION



APPROVED WEST EXTERIOR ELEVATION



PROPOSED WEST EXTERIOR ELEVATION
ADD METAL PANEL TO WALL AND COVER THE FUTURE FRAMED OPENINGS

WALL PANEL PAINT KEY

- 1 ADHERED MASONRY VENEER
- 2 FORMED METAL WALL PANEL
- 3 PRECAST CONCRETE PANEL FIELD COLOR #1 (LIGHT GREY)
- 4 PRECAST CONCRETE PANEL ACCENT COLOR #2 (BLACK)
- 5 PRECAST CONCRETE PANEL ACCENT COLOR #3 (BUFF)
- 6 PRECAST CONCRETE PANEL ACCENT COLOR #4 (BLUE)
- 7 PRECAST CONCRETE PANEL ACCENT COLOR #5 (BRONZE)

COLOR MATERIAL KEY:

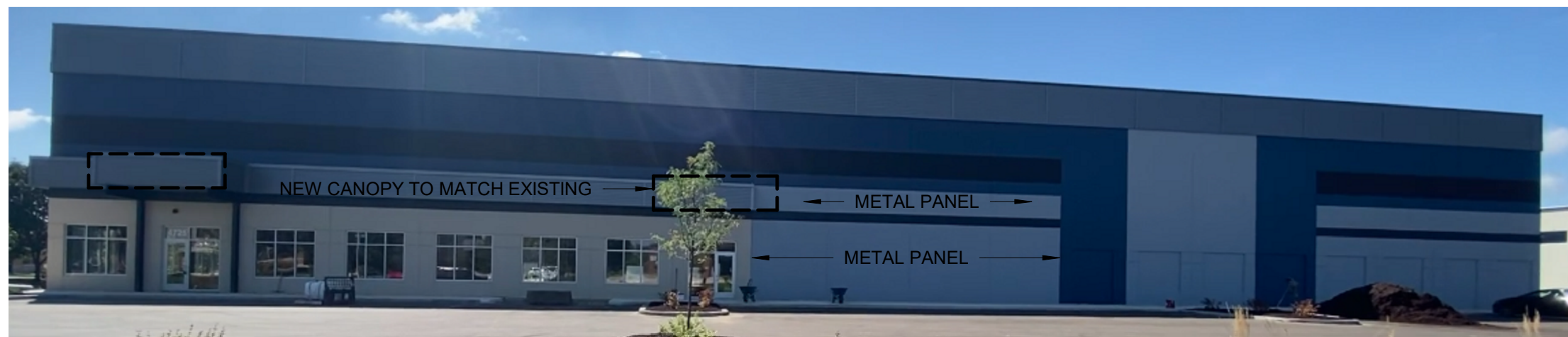
- 1 FORMED METAL PANEL
- 2 PRECAST CONCRETE COLOR #1 (BUFF)
- 3 PRECAST CONCRETE COLOR #2 (BLACK)
- 4 PRECAST CONCRETE COLOR #3 (DARK BLUE)
- 5 PRECAST CONCRETE COLOR #4 (LIGHT BLUE)
- 6 CLEAR ANODIZED ALUMINUM FRAMED
- 7 CLEAR ANODIZED ALUMINUM FRAMED GLAZING SYSTEM

SYNBIOTIC
INTERIOR BUILD-OUT
4725 TRADEWINDS PARKWAY
MADISON, WI 53718

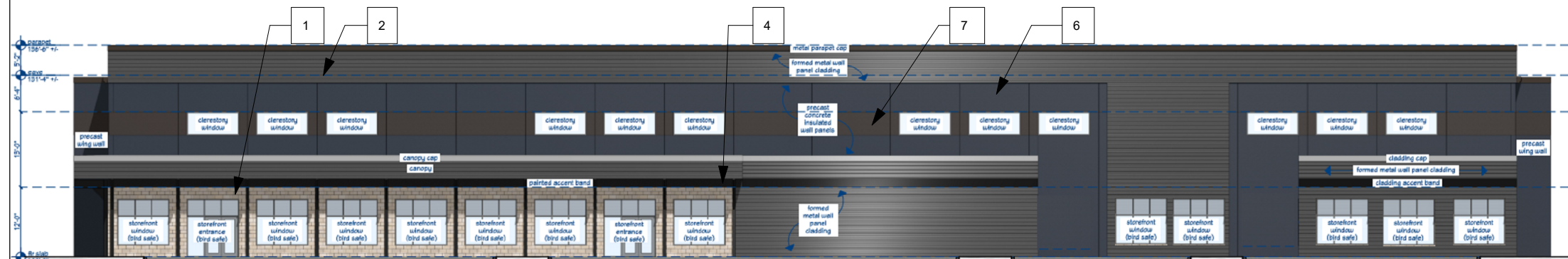
WEST
ELEVATION

04/24/2023
UDC SUBMITTAL

A2.1



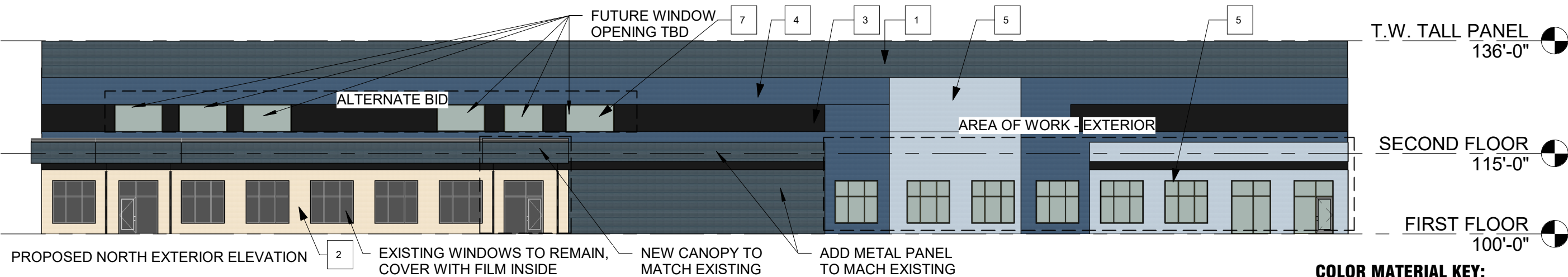
AS BUILT NORTH EXTERIOR ELEVATION



APPROVED NORTH EXTERIOR ELEVATION

WALL PANEL PAINT KEY

- 1 ADHERED MASONRY VENEER
- 2 FORMED METAL WALL PANEL
- 3 PRECAST CONCRETE PANEL FIELD COLOR #1 (LIGHT GREY)
- 4 PRECAST CONCRETE PANEL ACCENT COLOR #2 (BLACK)
- 5 PRECAST CONCRETE PANEL ACCENT COLOR #3 (BUFF)
- 6 PRECAST CONCRETE PANEL ACCENT COLOR #4 (BLUE)
- 7 PRECAST CONCRETE PANEL ACCENT COLOR #5 (BRONZE)



PROPOSED NORTH EXTERIOR ELEVATION

EXISTING WINDOWS TO REMAIN, COVER WITH FILM INSIDE
NEW CANOPY TO MATCH EXISTING
ADD METAL PANEL TO MACH EXISTING

COLOR MATERIAL KEY:

- 1 FORMED METAL PANEL
- 2 PRECAST CONCRETE COLOR #1 (BUFF)
- 3 PRECAST CONCRETE COLOR #2 (BLACK)
- 4 PRECAST CONCRETE COLOR #3 (DARK BLUE)
- 5 PRECAST CONCRETE COLOR #4 (LIGHT BLUE)
- 6 CLEAR ANODIZED ALUMINUM FRAMED
- 7 CLEAR ANODIZED ALUMINUM FRAMED GLAZING SYSTEM

SYNBIOTIC
INTERIOR BUILD-OUT
4725 TRADEWINDS PARKWAY
MADISON, WI 53718

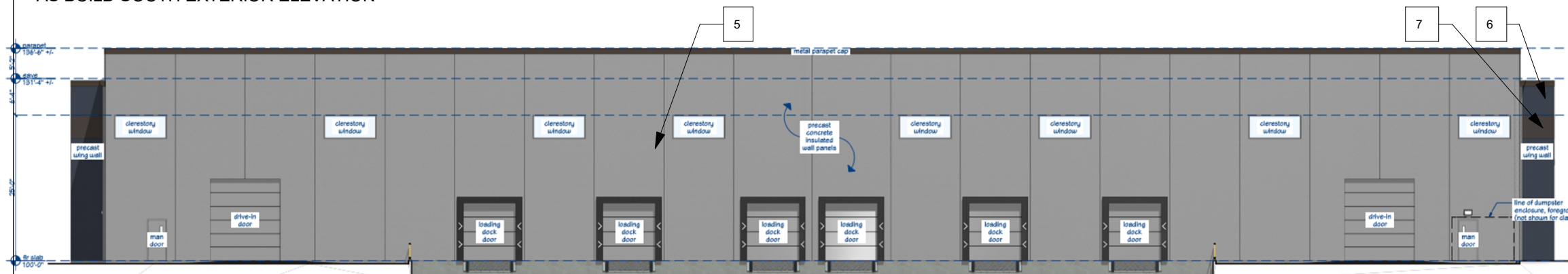
NORTH ELEVATION

04/24/2023
UDC SUBMITTAL

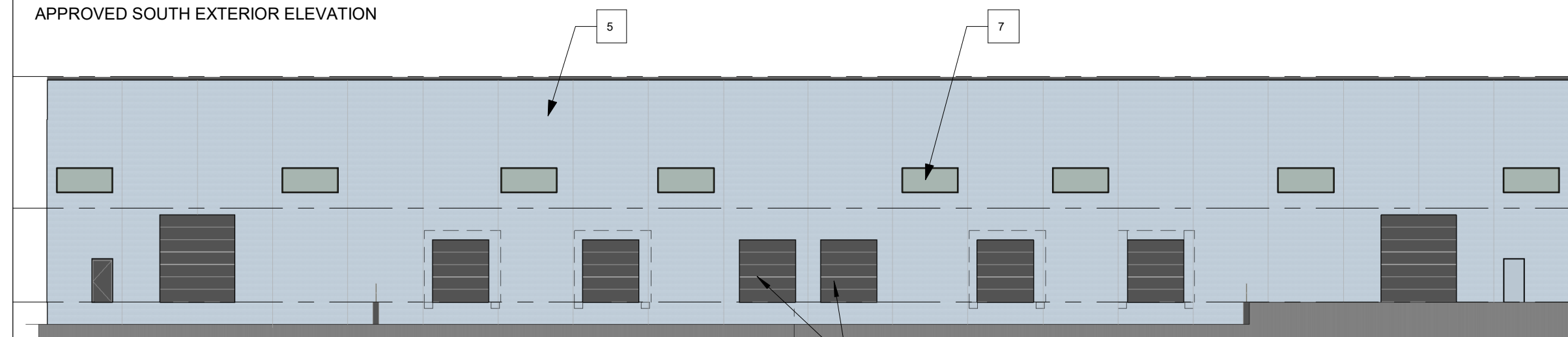
A2.2



AS BUILD SOUTH EXTERIOR ELEVATION



APPROVED SOUTH EXTERIOR ELEVATION



PROPOSED SOUTH EXTERIOR ELEVATION

PAINT EXISTING DOOR BLACK TO MATCH COLOR DOCK DOORS

WALL PANEL PAINT KEY

- 1 ADHERED MASONRY VENEER
- 2 FORMED METAL WALL PANEL
- 3 PRECAST CONCRETE PANEL FIELD COLOR #1 (LIGHT GREY)
- 4 PRECAST CONCRETE PANEL ACCENT COLOR #2 (BLACK)
- 5 PRECAST CONCRETE PANEL ACCENT COLOR #3 (BUFF)
- 6 PRECAST CONCRETE PANEL ACCENT COLOR #4 (BLUE)
- 7 PRECAST CONCRETE PANEL ACCENT COLOR #5 (BRONZE)

T.W. TALL PANEL 136'-0"

SECOND FLOOR 115'-0"

FIRST FLOOR 100'-0"

COLOR MATERIAL KEY:

- 1 FORMED METAL PANEL
- 2 PRECAST CONCRETE COLOR #1 (BUFF)
- 3 PRECAST CONCRETE COLOR #2 (BLACK)
- 4 PRECAST CONCRETE COLOR #3 (DARK BLUE)
- 5 PRECAST CONCRETE COLOR #4 (LIGHT BLUE)
- 6 CLEAR ANODIZED ALUMINUM FRAMED GLAZING SYSTEM
- 7 CLEAR ANODIZED ALUMINUM FRAMED GLAZING SYSTEM

SYNBIOTIC
INTERIOR BUILD-OUT
4725 TRADEWINDS PARKWAY
MADISON, WI 53718

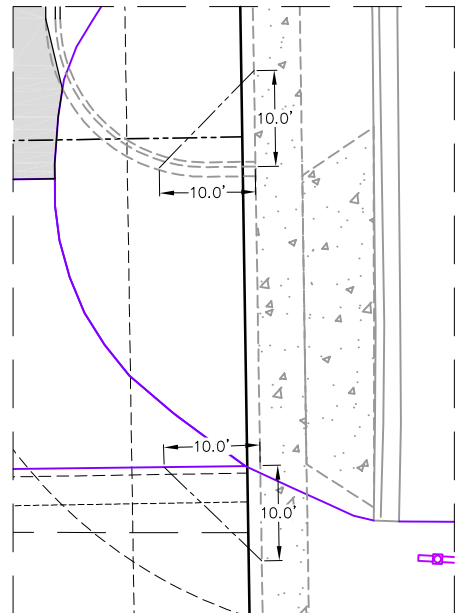
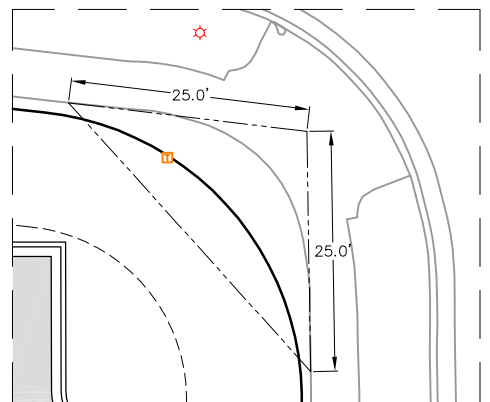
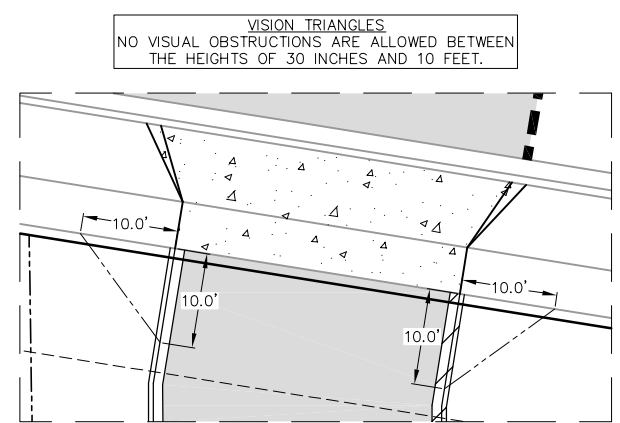
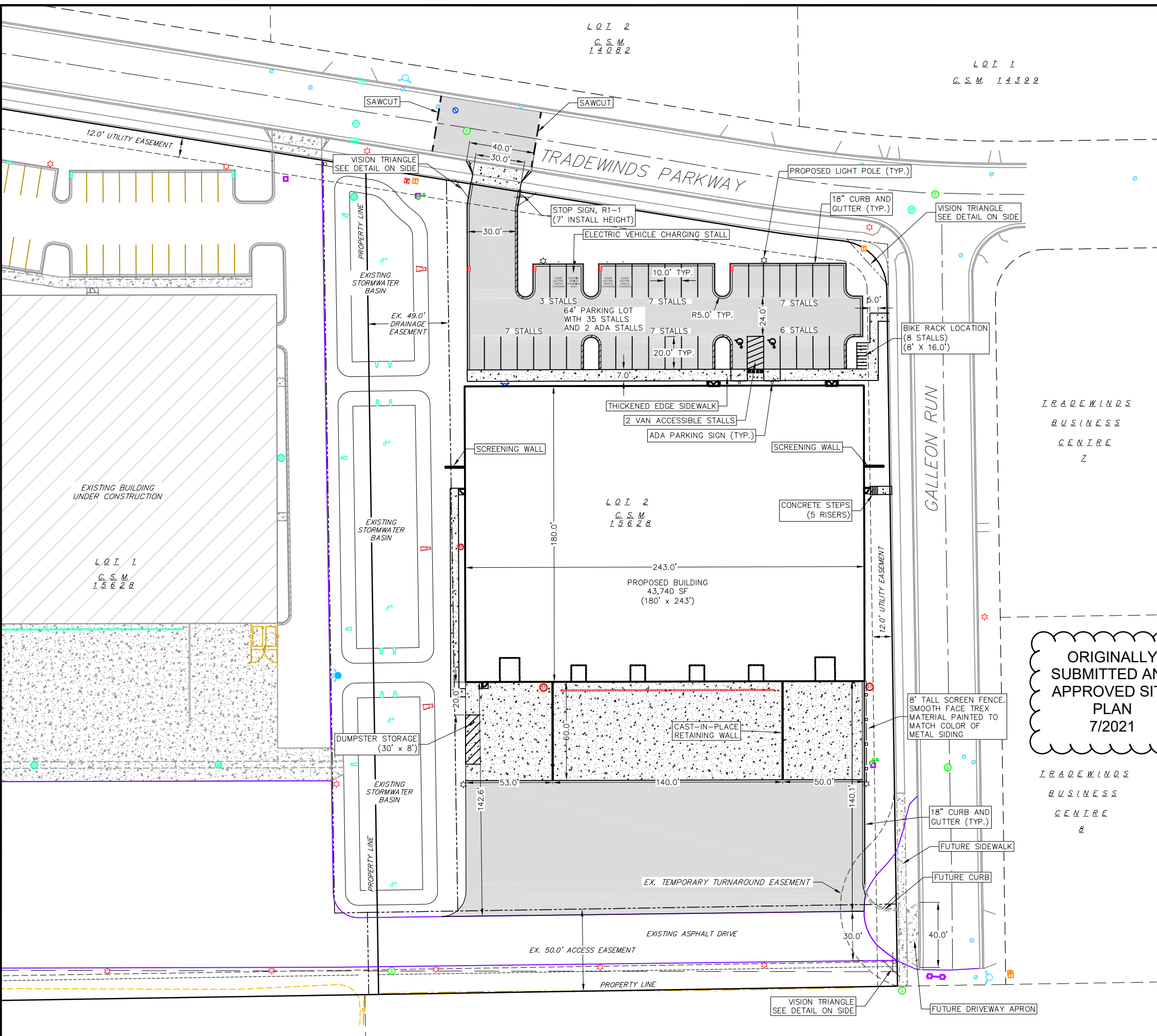
SOUTH
ELEVATION

04/24/2023
UDC SUBMITTAL

A2.3

L O I 2
C. S. M.
1 4 0 8 2

L O I 1
C. S. M.
1 4 3 9 9



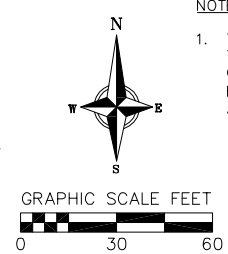
ORIGINALLY
SUBMITTED AND
APPROVED SITE
PLAN
7/2021

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

NOTES:

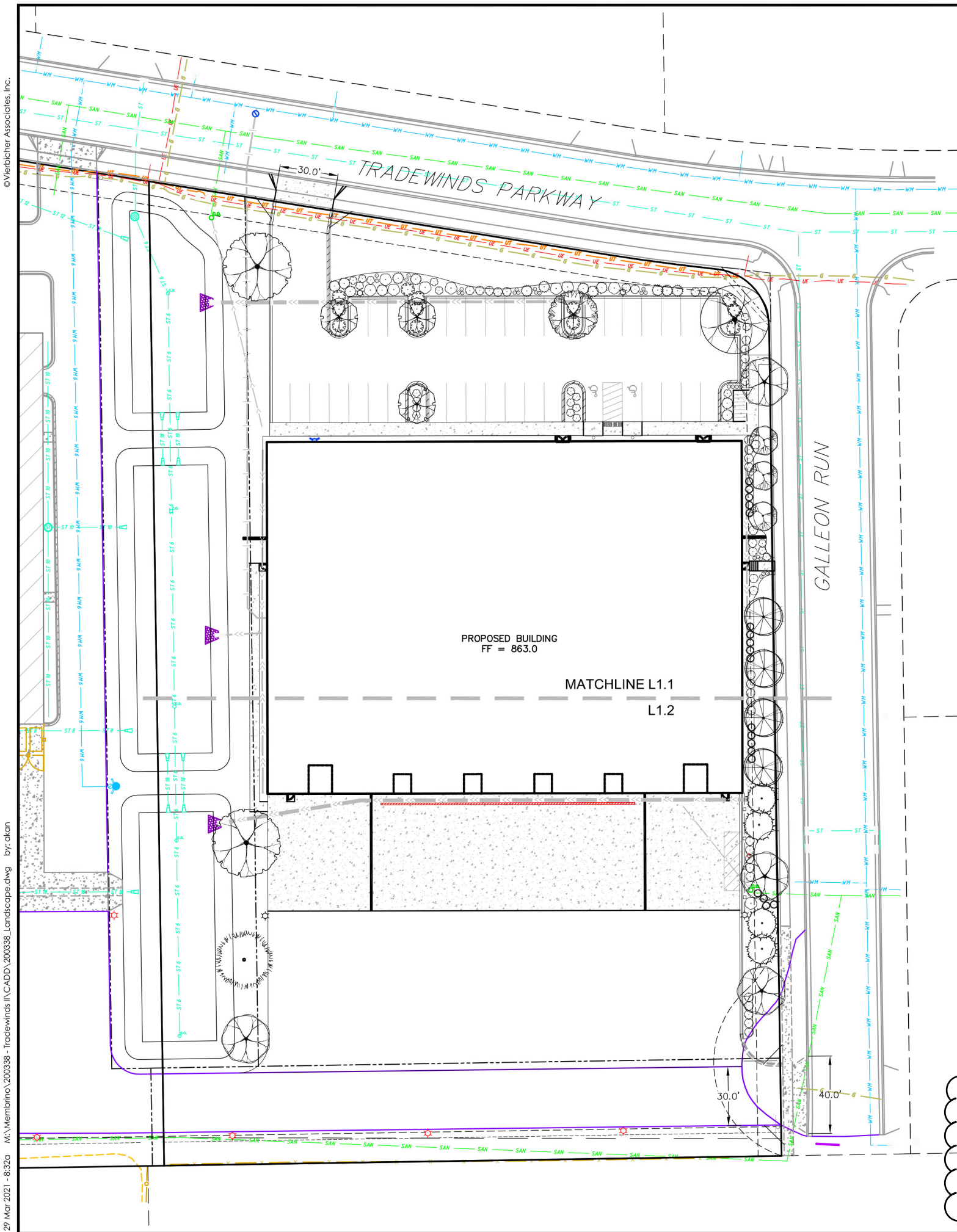
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY POINT AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



TOTAL SITE AREA	= 150,282 SF (3.45± ACRES)
BUILDING AREA	= 43,740 SF (1.00± ACRES)
TOTAL IMPERVIOUS AREA	= 105,584 SF (2.42± ACRES)
IMPERVIOUS PERCENT	= 70%

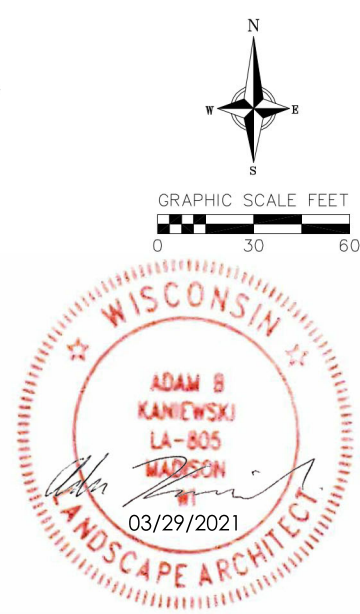
REVISIONS	NO.	DATE	REMARKS
1	03/02/21		Traffic Re-submittal
2	07/02/21		EV Parking

DATE: 07/02/21
DRAFTER: DPER
CHECKED: _____
PROJECT NO.: 200338



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
AF	Acer x freemanii 'Ed Gartner' / Ed Gartner Freeman Maple	B & B	2.5" Cal	3
GTD	Gleditsia triacanthos 'Draves' / Street Keeper Honey Locust	B & B	2.5" Cal	3
GTS	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2.5" Cal	1
GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2.5" Cal	4
QE	Quercus ellipsoidalis / Hills Oak	B & B	2.5" Cal	2
QC	Quercus robur x macrocarpa 'Clemons' TM / Heritage Oak	B & B	2.5" Cal	1
TB	Tilia americana 'Boulevard' / Boulevard American Linden	B & B	2.5" Cal	4
EVERGREEN TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
PP	Picea pungens / Colorado Spruce	B & B	6' ht.	4
PS	Pinus strobus / White Pine	B & B	6' ht.	1
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
DI	Diervilla lonicera / Dwarf Bush Honeysuckle	Cont.	3 Gal.	25
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	Cont.	3 Gal.	12
Sm	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	Cont.	7 Gal.	9
Vd	Viburnum dentatum 'Little Joe' / Little Joe Viburnum	Cont.	5 Gal.	38
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
JcF	Juniperus chinensis 'Fairview' / Fairview Juniper	B & B	5' ht.	7
JcK	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper	Cont.	5 Gal.	9
Tm	Taxus x media 'Everlow' / Everlow Yew	Cont.	5 Gal.	19
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	Cont.	1 Gal.	27



GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be seeded with WI DOT Seed Mix #40 or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permaloc CleanLine 3/8" x 4" or equal, color black anodized.

City of Madison Landscape Worksheet						
Address:	4725 Tradewinds Pkwy	Date:	1/19/2021	Zoning:	IL	
Total Square Footage of Developed Area:	(Site Area) 150282		-	(Building Footprint at Grade)	43,740	= 105584 sf
Total Landscape Points Required (<5 ac):	105,584 / 100 = 1,056		x 1 = 1,056			1,056
Landscape Points Required >5 ac:	0 / 100 = 0		x 1 = -			
		Credits/ Existing Landscaping		New/ Proposed Landscaping		
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35		0	18	630
Tall Evergreen Tree	5-6 feet tall	35		0	5	175
Ornamental tree	1.5" cal	15		0	0	0
Upright evergreen shrub	3-4 feet tall	10		0	7	70
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3		0	84	252
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4		0	28	112
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2		0	27	54
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0
Existing significant specimen tree	Min. Size 2.5" cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Max. points per tree: 200		0		0
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points	5 points per "seat"		0		0
Sub Totals				0		1293
				Total Points Provided:	1293	

ORIGINALLY SUBMITTED AND APPROVED SITE PLAN 7/2021

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 © Vierbicher Associates, Inc.

planners | engineers | advisors
Phone: (800) 261-3898

Landscape Plan

Tradewinds II

City of Madison

Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

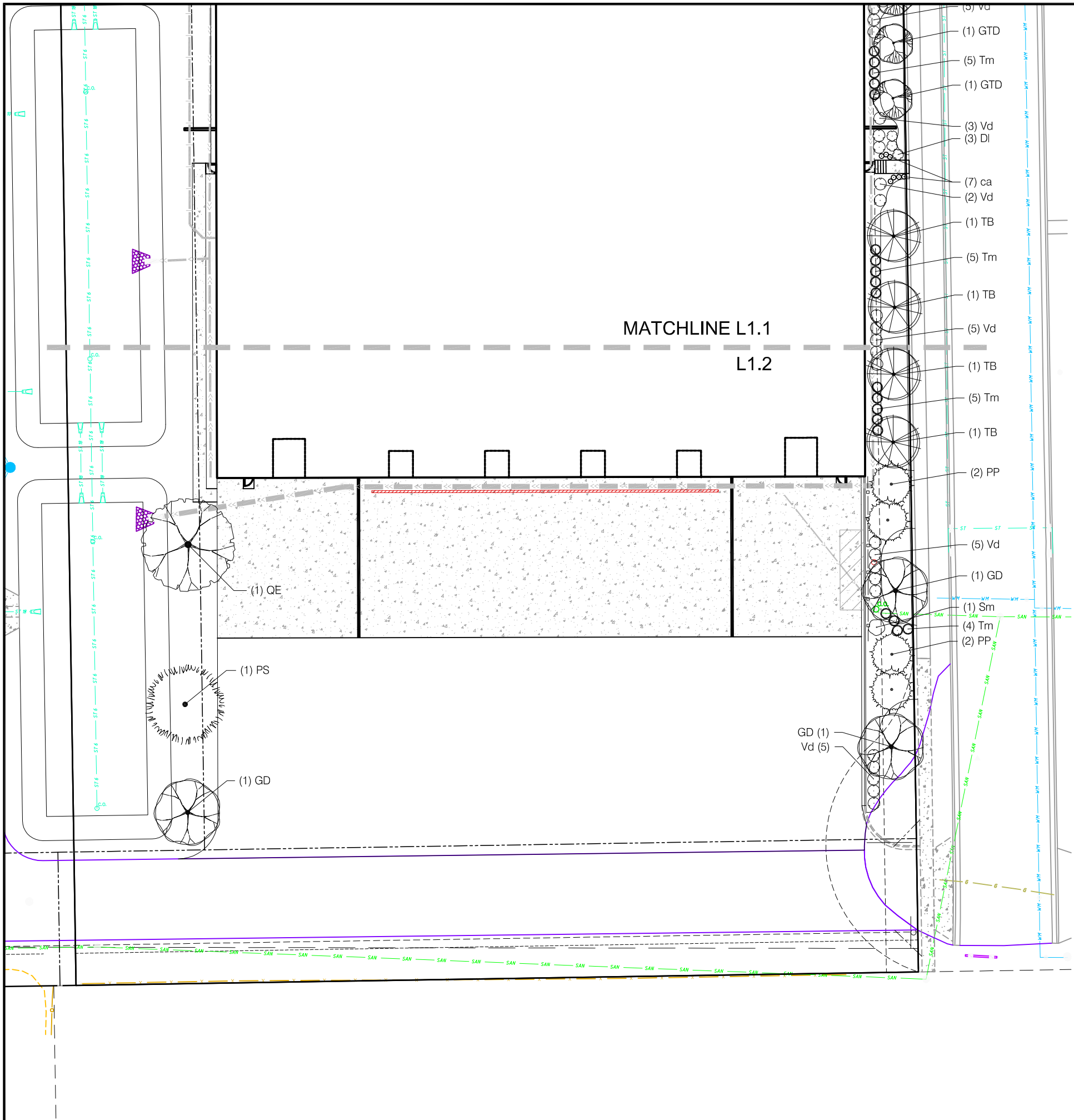
DATE: 03/29/2021

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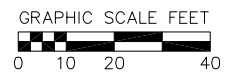
PROJECT NO. 200338

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