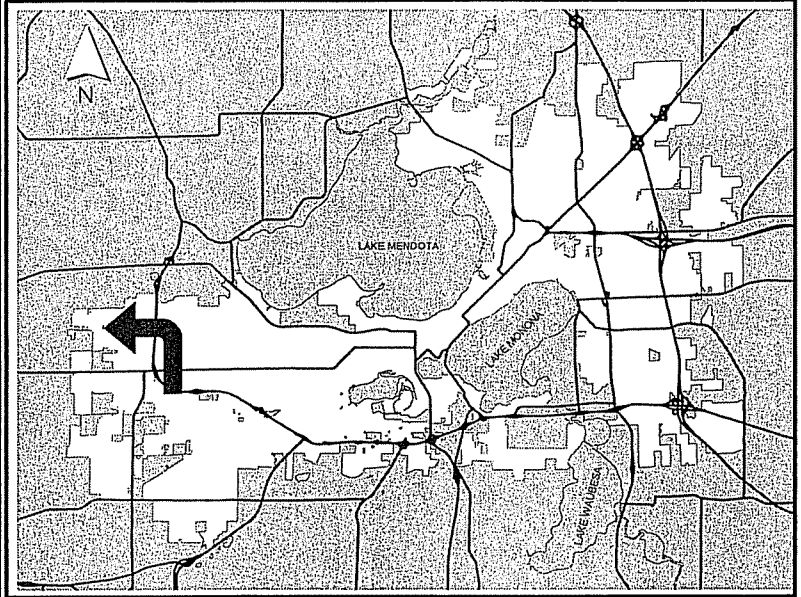
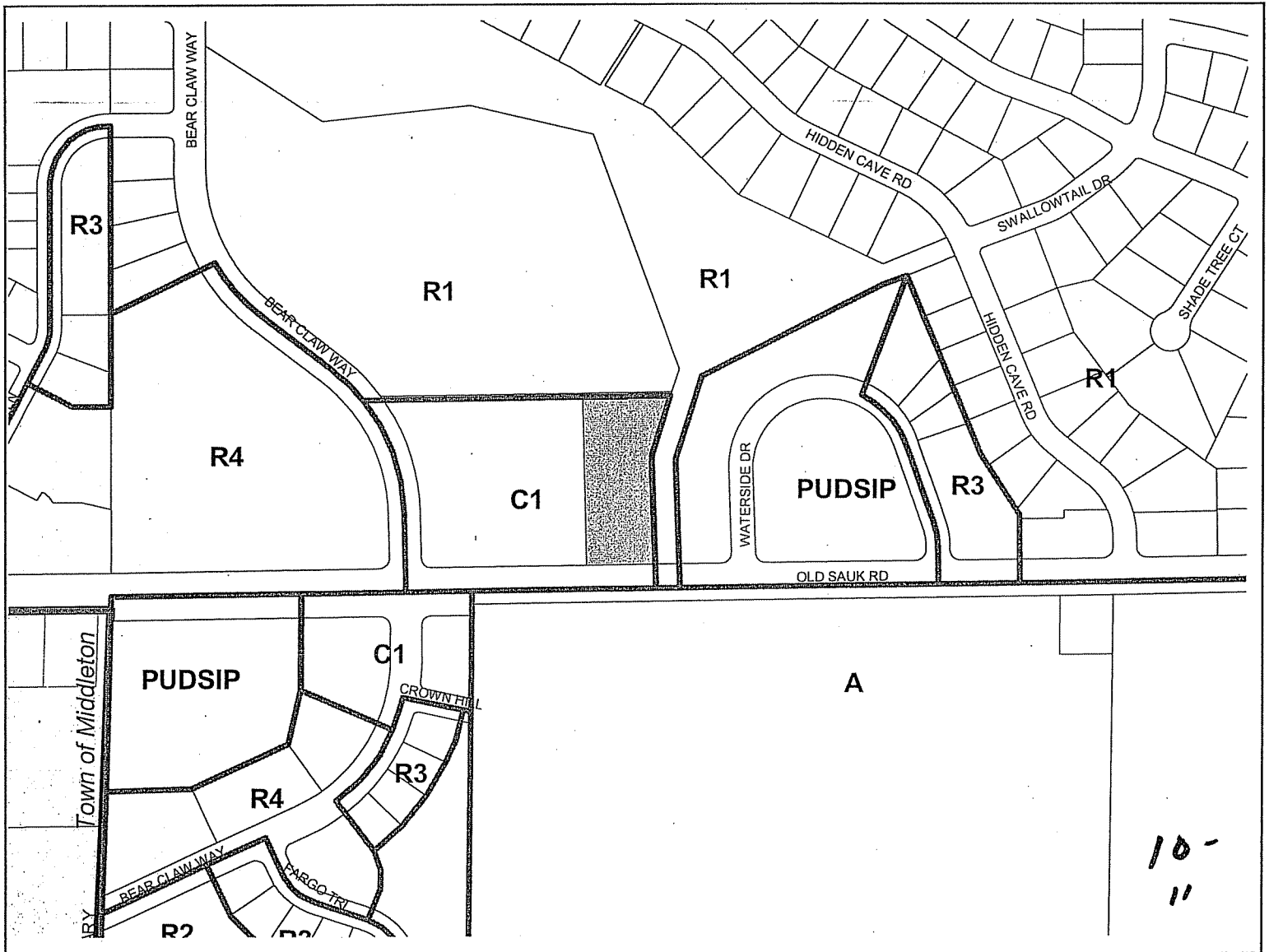


CITY OF MADISON Proposed Rezoning & Conditional Use

Location: 9320 Old Sauk Road
 Applicant: Mike Hershberger - Urban Solutions Inc/
J. Randy Bruce - Knothe & Bruce
 From C-1 District(s)
 To R-4 District(s)
 Existing Use: Vacant Land
 Proposed Use: 30 Condominium Units
 File No. _____
 Public Hearing Dates:
 Plan Commission 20 June 2005
 Common Council 05 July 2005



For Questions contact: Bill Roberts at: 266-5974 or broberts@cityofmadison.com or City Planning at 266-4635

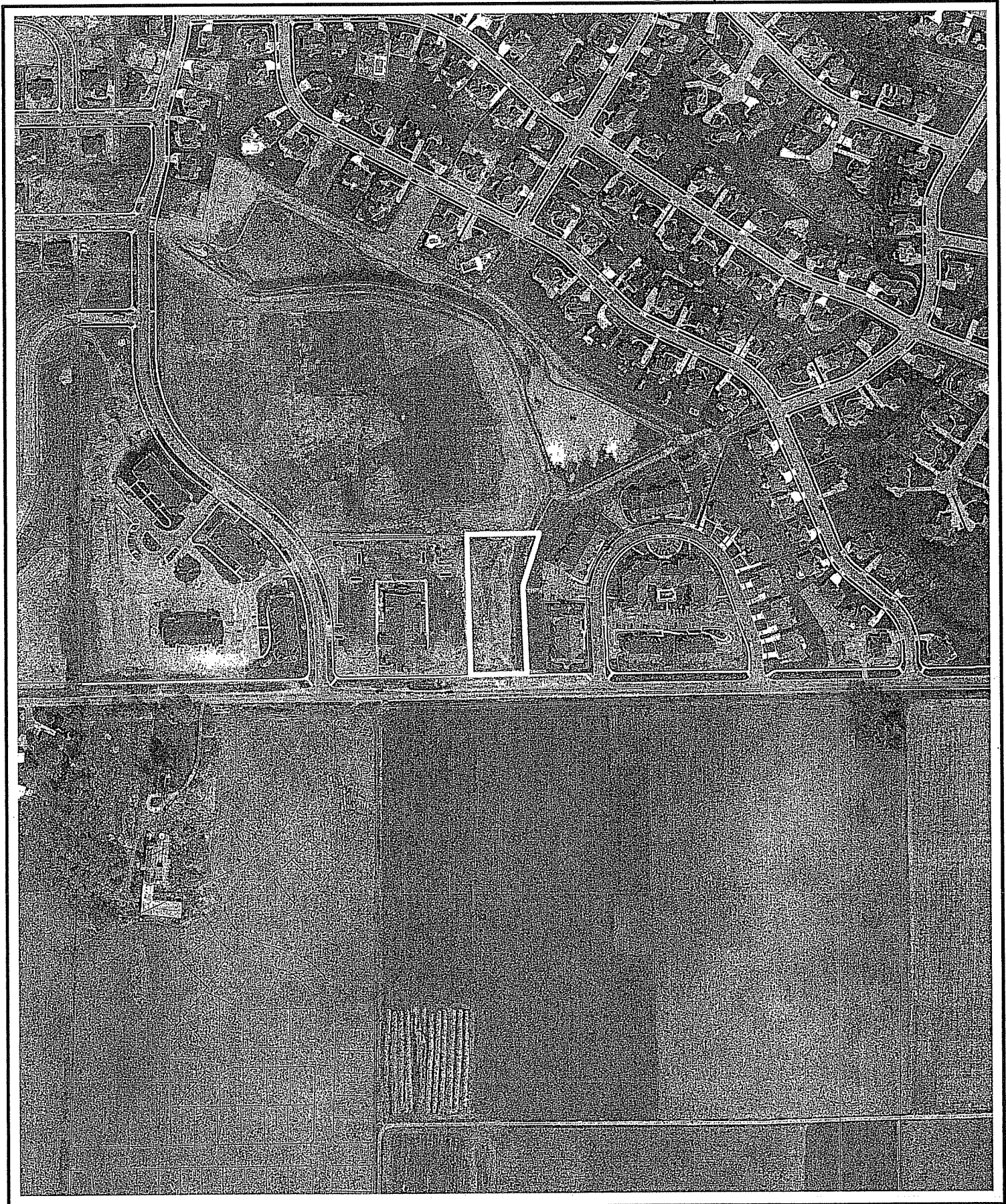


9320 Old Sauk Road

400 0 400 Feet



Date of Aerial Photography - April 2003



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11

LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- Application effective February 18, 2005

FOR OFFICE USE ONLY:

Amt. Paid 1450 Receipt No. _____
Date Received 4-27-05
Received By RJT
Parcel No. 0708-164-0851-6
Aldermanic District 9, Paul Skidmore
GQ pl pro hold,
Zoning District C1
For Complete Submittal
Application Letter of Intent
IDUP N/A Legal Descript.
Plan Sets Zoning Text N/A
Alder Notification Waiver _____
Ngrhd. Assn Not. Waiver _____
Date Sign Issued _____

1. **Project Address:** 9320 Old Sauk Road **Project Area in Acres:** 1.8 Acres

Project Title (if any): Blackhawk Lofts,

2. **This is an application for:** (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input checked="" type="checkbox"/> Rezoning from <u>C-1</u> to <u>PRD/R-4</u>	<input type="checkbox"/> Rezoning from _____ to <u>PUD/PCD-SIP</u>	
<input type="checkbox"/> Rezoning from _____ to <u>PUD/PCD-GDP</u>	<input type="checkbox"/> Rezoning from <u>PUD/PCD-GDP</u> to <u>PUD/PCD-SIP</u>	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: J.Randy Bruce Company: Knothe & Bruce Architects, LLC
Street Address: 7601 University Avenue Suite 201 City/State: Middleton, WI Zip: 53562
Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com
Project Contact Person: Mike Hershberger Company: Urban Solutions, Inc.
Street Address: 700 Rayovac Drive City/State: Madison, Wisconsin Zip: 53711
Telephone: (608) 274-3100 Fax: (608) 274-3200 Email: mike@urbanresults.com
Property Owner (if not applicant): Blackhawk Partners, LLC
Street Address: 700 Rayovac drive City/State: Madison, Wisconsin Zip: 53711

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: Three buildings of ten units each.
Thirty units total of two bedroom two story condominium town homes with underground and surface parking.

Development Schedule: Commencement October 2005 Completion Summer 2007

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5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 1,450.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications for Zoning Map Amendments shall be in accordance with all adopted City of Madison land use plans:

→ The site is located within the limits of the Blackhawk Neighborhood Development Plan, which recommends: a medium density residential development for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Paul Skidmore, District 9: Feb 01, 2005. Joe Kellerman of Blackhawk Neighborhood Association: Feb 20, 2005.

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Tim Parks Date 25Jan05 | Zoning Staff Kathy Voeck Date 25Jan05

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name J. Randy Bruce Date 26Apr05
 Signature *J. Randy Bruce* Relation to Property Owner Architect/Agent
 Authorizing Signature of Property Owner *Michael D. ...* Date 4-26-05 **10-11**

April 27, 2005

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701-2985

Re: Letter of Intent
Blackhawk Lofts
Rezoning C-1 to PRD/R-4
9320 Old Sauk Road
Madison, WI

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, plan commission and common council consideration of approval.

Organizational structure:

Owner:	Michael Hershberger Blackhawk Partners, LLC 700 Rayovac Drive Madison, WI 53711 608-274-3100 608-274-3200 fax	Architect:	Knothe & Bruce Architects, LLC 7601 Elmwood Avenue, Ste 201 Middleton, WI 53562 608-836-3690 608-836-6934 fax rbruce@knothebruce.com
Project:	Blackhawk Lofts 9320 Old Sauk Road Madison, WI	Landscape Design:	Ken Saiki Design 303 S Paterson St # 1 Madison, WI 53703 608-251-3600 608-251-2330
Engineer:	D'Onofrio Kottke & Associates, Inc. 7530 Westward Way Madison, WI 53717 (608) 833-7530 (608) 833-1089 fax		

10-11

7601 University Ave, Ste 201
Middleton, Wisconsin 53562
p (608) 836-3690
f (608) 836-6934

Introduction:

The subject site is located on the southern edge of the Blackhawk Neighborhood on the north side of Old Sauk Road. It is lot 285, in the fifth addition to the Blackhawk subdivision. The sites surrounding the property are mostly developed and consist of a Mormon church to the west, an apartment development (Waterside Apartments) to the east, a public park and greenway to the north, and a recently platted a single-family subdivision south of Old Sauk Road. The site is currently zoned C-1 and this application requests rezoning to R-4/Planned Residential Development.

The alderperson and the neighborhood association have expressed support for the rezoning to allow for additional owner-occupied housing in this location.

Site Development Data

Densities:

Dwelling Units	30 Units
Lot Area	78,321 sf (1.8 acres)
Lot Area / D.U.	2,610.7 sf/du.
Density	16.7 du/acre

Dwelling Unit Mix:

<u>Two bedrooms</u>	<u>30</u>
Total	30

Site Coverage:

	<u>Area</u>
Building Coverage	24,918 sf (32%)
Pavement Coverage	22,622 sf (29%)
Open Space	30,781 sf (39%)
Usable Open Space	16,440 sf (21%)
Usable Open Space/Unit	548 sf/unit

Vehicular Parking Ratio:

Underground Garage	54 stalls
<u>Surface Parking</u>	<u>8 stalls</u>
Total Parking	62 stalls
Parking Ratio	2.1 stalls/du

Bicycle Parking Ratio:

Underground Garage	30 stalls
<u>Surface Parking</u>	<u>4 stalls</u>
Total Parking	34 stalls
Parking Ratio	1.1 stalls/du

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Site and Building Architecture:

The proposed townhome development consists of three 10-unit buildings for a total of 30 units. The townhomes are two stories over an underground parking garage with 2 bedrooms and 2 ½ baths. All of the condominiums have private entry porches which expand the livable space and encourage the social and recreational activities in the courtyards.

The site plan is organized to provide building frontage along Old Sauk Road to the south and the public park to the north while creating two central landscaped courtyards. Vehicular access is provided along the east end of the site and is designed to minimize the paving and provide convenient access to the underground parking. The majority of the parking for the residences is accommodated in the underground parking with visitor parking located along the entrance drive, screened from the public view. Pedestrian and bicycle usage is accommodated by the integrated sidewalk system that connects to Old Sauk Road.

Significant landscape buffers are proposed for this project. A cooperative landscape plan is proposed along the west property line to buffer the parking lot to the west. A greenway that runs along the east side of the site will also be landscaped while maintaining its function for storm water management. Within the site the landscaping plan enhances the building architecture and reinforces the courtyard geometry.

The exterior architecture is influenced by Prairie style architecture, combining masonry and horizontal Hardi-plank siding for an attractive and low maintenance exterior.

Project Schedule & Management:

It is anticipated that Blackhawk Lofts will be constructed over a 2 year period. Phase I will consist of one building with construction starting October 2005 or as soon as all necessary approvals and permits are obtained. Phase I should be completed in the spring of 2006. The remaining two buildings should be completed by summer 2007 although the construction will proceed as market conditions dictate.


The development will be owned and operated as a condominium property. The condominium association will provide all the requisite private services for a well-managed and maintained development. The condominiums will be available to family residents although few school age children are anticipated from this project.

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Letter of Intent
9320 Old Sauk Road
April 27, 2005
Page 4

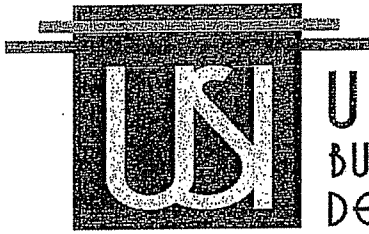
Thank you for your time in reviewing our proposal.

Very truly yours,



J. Randy Bruce, AIA
Managing Member

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URBAN SOLUTIONS, INC.
BUILDING VALUES
DEVELOPING RELATIONSHIPS

Inclusionary Dwelling Unit Plan

For

Blackhawk Lofts
9320 Old Sauk Road
Madison, WI

Presented by:

Urban Solutions, Inc.
April 11, 2005

REAL ESTATE DEVELOPMENT

10-11

General Development Characteristics

BLACKHAWK LOFTS is a proposed 30-unit owner-occupied condominium community on 1.8 Acres, located at 9320 Old Sauk Road.

The owner-occupied condominium community will consist of (3) - 10 Unit Buildings for a total of 30 dwelling units with a density of 16.67 dwelling units per acre. Private underground parking stalls in each building will provide the project with additional open space and enhance the quality of living for the condominium owners. Pedestrian and bicycle usage will be facilitated by convenient bicycle parking and sidewalks that connect to the main street. The architectural design theme reflects a craftsman style look. Landscaping on the site will contribute to an attractive environment and provide additional screening to the existing Mormon church property to the west and the Waterside Apartments to the east of this development. The site is currently vacant with very minimal landscaping.

Organizational Structure for BLACKHAWK LOFTS

Urban Solutions, Inc. will develop BLACKHAWK LOFTS. The project will be a Phased development as market conditions warrant with Phase I commencing October 2005 with completion in March 2006. Tri-North or a similar quality general contractor will construct the owner-occupied condominium project. Michael Hershberger of Urban Solutions, Inc. was the co-developer (in 2004) of Sauk Ridge Condominiums located at 8704 Old Sauk Road.

Upon construction completion, the development will be professionally managed by Wisconsin Management, Inc. or a similar quality experienced property manager. Wisconsin Management, Inc. currently manages over 2500 rental units in various communities. The property manager will work closely with City Staff to insure compliance with all Inclusionary Zoning policies, procedures and certifications.

This development will provide a total of 16.67% of its owner-occupied units meeting the 80% AMI guidelines to be in compliance with the IZ Ordinance. See attached IZ Unit Mix and Projected Sales Prices.

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Development Team

Project: BLACKHAWK LOFTS
30-Unit Project
9320 Old Sauk Road, Madison, WI

Owner: Blackhawk Partners, LLC

Developer: Urban Solutions, Inc.
700 Ray O Vac Drive, Madison, WI 53711
608-274-3100

Contractor: Tri-North or similar quality general contractor

Management: Wisconsin Management, Inc. or similar quality property manager

Architect: Knothe & Bruce Architects, LLC
7601 University Ave., Suite 201
Middleton, WI 53562
608-836-3690

Project Scheduling/Phasing

Phase I: Building #1 - 10 Units
Commencement: October 2005
Completion: March 2006

Phase II: Building #2 - 10 Units
Commencement: March 2006
Completion: September 2006

Phase III: Building #3 - 10 Units
Commencement: September 2006
Completion: March 2007

Note: Phases II-III commencement and completion dates are subject to market conditions. Developer reserves the right to adjust schedule and number of units per phase at its sole discretion.

Buildings and Architectural Character

The architectural design theme was determined utilizing a traditional neighborhood design theme. The proposed development, although not within a traditional neighborhood design planned unit development, is a naturally occurring traditional neighborhood setting. Individual private-entry porches support the use of public

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outdoor space and generate social activity. The residents will have the opportunity to walk to church, a public park, water features (Blackhawk pond), and various retailers and commercial uses. The design is appropriate for the location.

The building height has been limited to two stories to provide a scale that is compatible with the surrounding properties. The exterior materials will be a combination of horizontal siding, stone veneer and painted accent trim elements. The facades are well articulated and detailed, and the overall effect produces a high quality residential environment.

The surface parking is limited with the majority of the parking located beneath the buildings. Landscape buffers are planned at the perimeter of the site to soften the impact on adjacent parcels.

IZ Unit Mix and Sizes

BLACKHAWK LOFTS will contain all two bedroom units. The IZ units will contain approximately 1,150 square feet and substantially exceed the minimum square footage as required by the IZ ordinance.

See the attached chart indicating unit size, mix and proposed sales prices. The inclusionary zoning units will be distributed proportionately throughout the development.

Unit Type	Square Feet	Total Units	Inclusionary Zoning Units	Projected Sales Prices
Unit A	1,522	12	0	\$220,000 (Market)
Unit B	1,496	6	0	\$210,000 (Market)
Unit C	1,524	6	0	\$215,000 (Market)
Unit D	1,152	6	5	\$140,000 (IZ*) to \$199,900 (Market)
Totals		30	5	

*For further IZ pricing information, see spreadsheet calculations on the following page

The development is not seeking any incentives or alternatives to Inclusionary Zoning.

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PART 1 - DEVELOPMENT INFORMATION:

Project or Plat: Blackhawk Lofts

Project Address: 9320 Old Sauk Road Project Area (in acres): 1.8

Developer: Urban Solutions, Inc. Representative: Michael D. Hershberger
 Street Address: 700 Rayovac Drive City/State: Madison WI Zip: 53711
 Telephone: (608) 274-3100 Fax: (608) 274-3200 Email: mike@urbanresults.com

Agent, if Any: Randy Bruce Company: Knothe & Bruce
 Street Address: 7601 University Ave. City/State: Middleton WI Zip: 53562
 Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com

PART 2 - PROJECT CONTENTS:

Complete the following table as it pertains to this project:

Residential Use	MARKET-RATE UNITS		INCLUSIONARY UNITS		Total Units	Acres
	Owner-Occupied Units	Renter-Occupied Units	Owner-Occupied Units	Renter-Occupied Units		
Single-Family	sjfkvSJFD					
Duplexes	KJWEBF					
Multi-Family	25		5		30	1.8
TOTAL	25		5		30	1.8

PART 3 - AFFORDABLE HOUSING DATA:

Number of Inclusionary Dwelling Units Proposed by Area Median Income (AMI) Level and Minimum Sale/Rent Price							
Owner-Occupied Units	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI						5	5
Anticipated Sale Price						140,000	140,000
Rental Units	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI							
Maximum Monthly Rent Price							

PART 4 - DWELLING UNIT COMPARISON:

Complete the following table as it pertains to this project:

	MARKET-RATE UNITS					INCLUSIONARY UNITS				
	Studio / Effic	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms	Studio / Effic	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms
Owner-Occupied Units with:			25					5		
Minimum Floor Area:			1400-1500					1150		
Rental Units With:										
Minimum Floor Area:										

PART 5 – INCENTIVES: Section 28.04 (25) of the Zoning Ordinance provides the opportunity for applicants in projects where affordable dwelling units are required or where the developer has agreed to pay money in lieu of inclusionary dwelling units, to receive one or more incentives as compensation for complying with the Inclusionary Zoning requirements. Each of the eleven incentives listed below are affixed a point value. The incentive points available to an applicant is dependent upon the number of affordable dwelling units proposed at the various area median income (AMI) levels. The program rewards projects both for having a higher number of affordable dwelling units provided at lower AMI levels, and for having a higher percentage of affordable dwelling units incorporated into the development. The incentive and the corresponding number of points available are listed below. (MAP=Maximum Available Points) Please mark the box next to the incentives requested.

Incentive	MAP	Incentive	MAP
<input type="checkbox"/> Density Bonus (varies by project)	3	<input type="checkbox"/> Cash subsidy from Inclusionary Unit Reserve Fund up to \$10,000 per unit for up to 50% of the affordable units provided.	2
<input type="checkbox"/> Parkland Development Fee Reduction	1	<input type="checkbox"/> Cash subsidy from Inclusionary Unit Reserve Fund of \$5000 for up to 50% of on-site affordable units in projects with 49 or fewer detached units or projects with four or more stories and 75% of parking provided underground.	2
<input type="checkbox"/> Parkland Dedication Reduction	1	<input type="checkbox"/> Neighborhood Plan preparation assistance	1
<input type="checkbox"/> Off-street Parking Reduction up to 25%	1	<input type="checkbox"/> Assistance obtaining housing funding information	1
<input type="checkbox"/> Non-City provision of street tree planting	1		
<input type="checkbox"/> One addl. story in Downtown Design Zones	1		
<input type="checkbox"/> Residential parking permits in a PUD/PCD	1		
<input type="checkbox"/> Incentives Not Assigned a Point Value by Ordinance (Explain): _____			

PART 6 – WAIVER: The Plan Commission may waive the requirement to provide inclusionary dwelling units in the development if the applicant can present clear and convincing financial evidence that providing the required number of inclusionary dwelling units on-site renders providing the required number of inclusionary units financially infeasible. In such a case, a developer may request a waiver to provide the units off-site, assign the obligation to provide the units to another party, or pay cash in lieu of the units, or any combination of the above. If the waiver is granted, the required units may be provided as new construction off-site in another development within **one mile** of the subject development; off-site units shall be provided at least 1.25 times the number of units if provided within the subject development. Off-site units must be constructed within one year of the time that they would have been constructed within the subject development. The applicant may opt to pay money into the Inclusionary Unit Reserve Fund based on contribution rates established in Section 28.04 (25) of the Zoning Ordinance. If provision of the inclusionary dwelling units through the waiver is still financially infeasible, the developer may seek a reduction in the percent of units to the point where the project becomes financially feasible. If such a waiver is requested, a detailed explanation shall be provided in the required project narrative demonstrating the financial infeasibility of complying with the ordinance requirements and the rationale for the alternative proposed.

- If a waiver is requested, **please mark this box** and include all of the necessary information required by the Zoning Ordinance and IZ Program Policy & Protocols to support your request.

PART 7 – APPLICANT'S DECLARATION:

The signer shall attest that this application has been completed accurately and includes all requests for incentives or waivers; that they have attended both required pre-application staff meetings and given the required notice to the district alderperson and neighborhood association(s) prior to filing this application; and that all required information will be submitted on the corresponding application for zoning and/or subdivision approval by the Plan Commission. The applicant shall begin the declaration by stating below whether or not the project complies with the various requirements of the inclusionary zoning ordinance. Check the applicable box and provide any supporting

Standards for Inclusionary Dwelling Units (IDUs)	Will Comply	Will not comply	Additional comments
Exterior Appearance of IDUs are similar to Market rate.	X		
Proportion of attached and detached IDU units is similar to Market rate.	X		
Mix of IDUs by bedroom size is similar to market rate.	X		

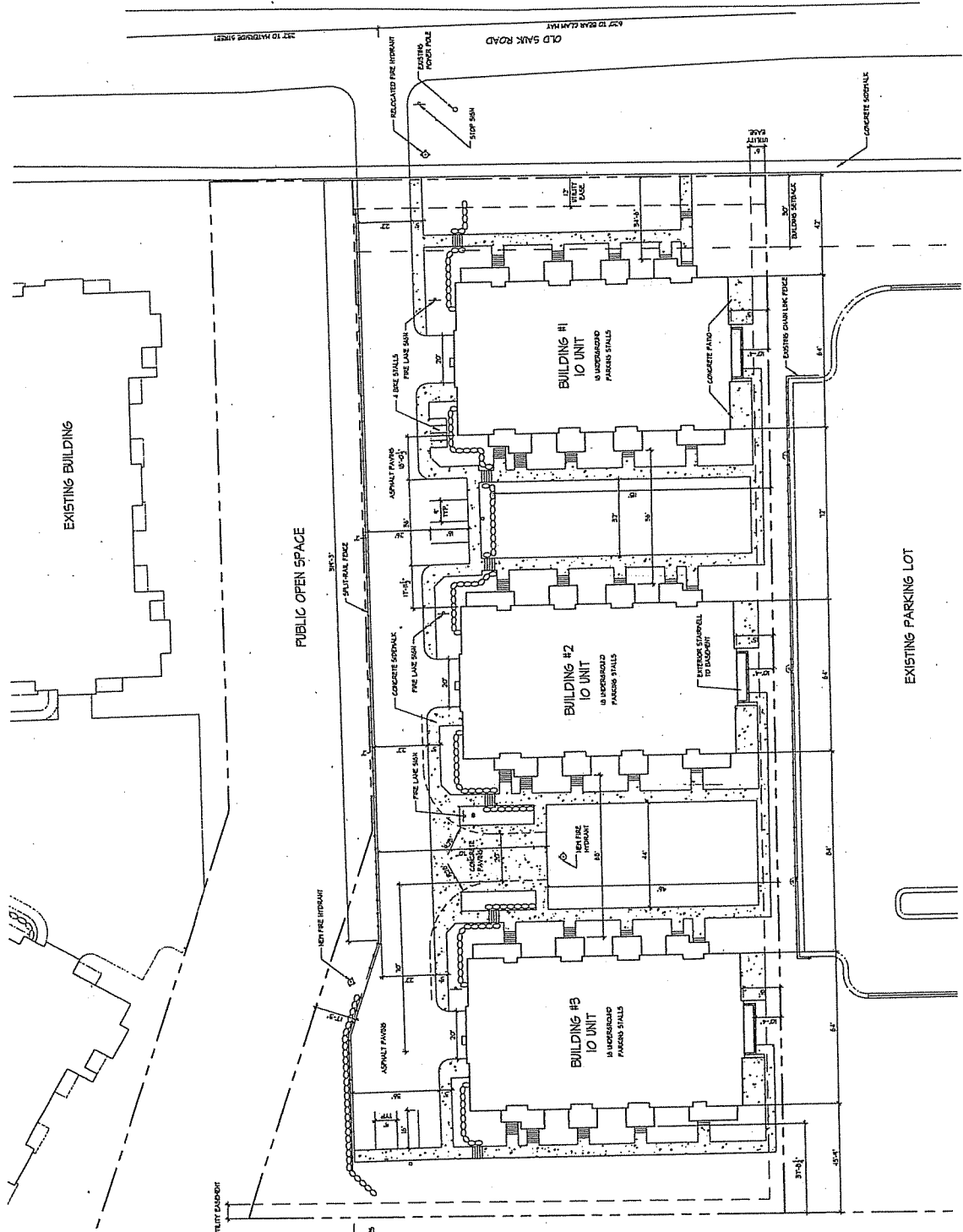
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Standards for Inclusionary Dwelling Units (IDUs) [continued]	Will Comply	Will not comply	Additional comments
IDUs are dispersed throughout the project.	X		
IDUs are to be built in phasing similar to market rate.	X		
Pricing fits within Ordinance standards	X		
Developer offers security during construction phase in form of deed restriction.	X		
Developer offers enforcement for for-sale IDUs in form of option to purchase or for rental in form of deed restriction.	X		
Developer describes marketing plan for IDUs.	X		
Developer acknowledges need to inform buyers/renters of IDU status, responsibilities for notification.	X		
Terms of sale or rent.	X		
	Yes	No	Additional comments
Developer has arranged to sell/rent IDUs to non-profit or CDA to meet IDU expectations.		X	
Developer has requested waiver for off-site or cash payment.		X	
Developer has requested waiver for reduction of number of units.		X	
Other:			

- The applicant discussed this development proposal with representatives from the Planning Unit, Zoning Administrator and Community Development Block Grant Office on: → January 25, 2005
- The applicant presented a preliminary development plan for this project to the Interdepartmental Review Staff Team on: → April 14, 2005
- The applicant notified Alderperson Paul Skidmore of District 9 of this development proposal in writing on: → February 1, 2005
- The applicant also notified Joe Kellerman of the Blackhawk neighborhood in writing on: February 20, 2005
- The Inclusionary Dwelling Unit Plan Application package contains ALL of the materials required as noted on this form. I, as the undersigned, acknowledge that incomplete or incorrect submittals may cause delays in the review of this project. I am also familiar with the ongoing developer responsibilities summarized on page #2 of this application and outlined in the Inclusionary Zoning Ordinance and Program Policy and Protocols.

Applicant Signature Michael D. Hershberger Date 4/26/05 10-11

Printed Name Michael D. Hershberger Phone (608) 274-3100



SITE DATA

PROPOSED BLDG.	180,356 SQ. FT. (10,116 ACRES)
LOT AREA	10,116 SQ. FT. (10,116 ACRES)
UNDEVELOPED LOT AREA	21,000 SQ. FT. (0.48 ACRES)
PROPOSED PARKING STALLS	54 STALLS
PROPOSED UNDERGROUND PARKING SPACES	43 SPACES
PROPOSED TOTAL PARKING	97 SPACES

PROPOSED USES
50.7 RESIDENT UNITS
24,000 SQ. FT. OFFICE
22,000 SQ. FT. RETAIL
30,000 SQ. FT. FOOD
TOTAL PROPOSED GROSS FLOOR AREA
76,000 SQ. FT.
TOTAL PROPOSED GROSS FLOOR AREA
76,000 SQ. FT.

SITE PLAN
1" = 32'-0"
C-11



10 01



D'ONOFRIO, KOTKKE
AND ASSOCIATES, INC.
2320 WESTHAWK AVE
MADISON, WISCONSIN 53713
TEL: 608-233-7828
FAX: 608-233-0888

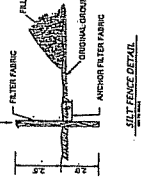
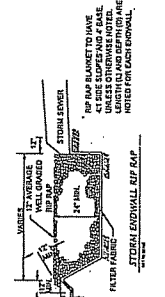
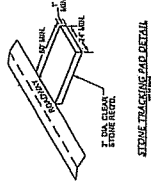
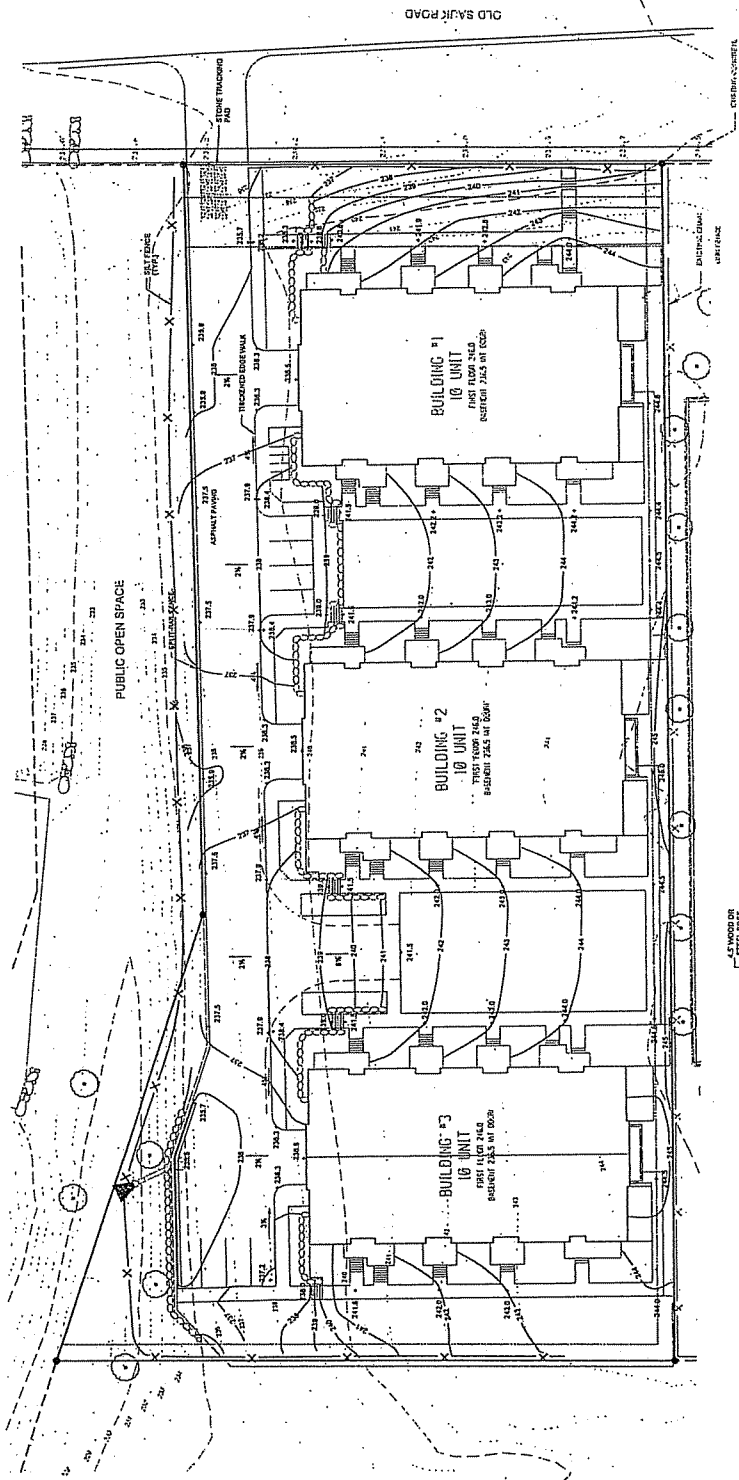
BLACKHAWK LOFTS CONDOMINIUMS
LOT 285 FIFTH ADDITION TO BLACKHAWK SUBDIVISION
CITY OF MADISON, DANE COUNTY, WISCONSIN

DATE: 4-27-05
REV:
FN: 05-03-103
SCALE: 1" = 20'



- SITE CHANGES AND EROSION CONTROL NOTES**
- 1) Slope grades and swales to be shown have been recorded on the plans to be used for grading and erosion control.
 - 2) All the grading and erosion control details shown on the plans shall be installed in accordance with the standards of the City of Madison.
 - 3) Slope tracking lines shall be installed at the top of the slope. Slope tracking lines shall be a minimum of 24 inch wide and shall be installed at the top of the slope. Slope tracking lines shall be installed at the top of the slope.
 - 4) All areas shall be installed at the top of the slope.
 - 5) Areas shown with a cross-hatched pattern shall be protected with a concrete curb, metal curb, or other suitable erosion control device.

- 6) Discharged areas within the street right-of-way shall be paved with concrete, asphalt, or other suitable material.
- 7) All areas shown with a cross-hatched pattern shall be protected with a concrete curb, metal curb, or other suitable erosion control device.
- 8) Erosion control devices shall be installed in accordance with the standards of the City of Madison.
- 9) Slope tracking lines shall be installed at the top of the slope. Slope tracking lines shall be a minimum of 24 inch wide and shall be installed at the top of the slope.
- 10) All areas shall be installed at the top of the slope.
- 11) Areas shown with a cross-hatched pattern shall be protected with a concrete curb, metal curb, or other suitable erosion control device.

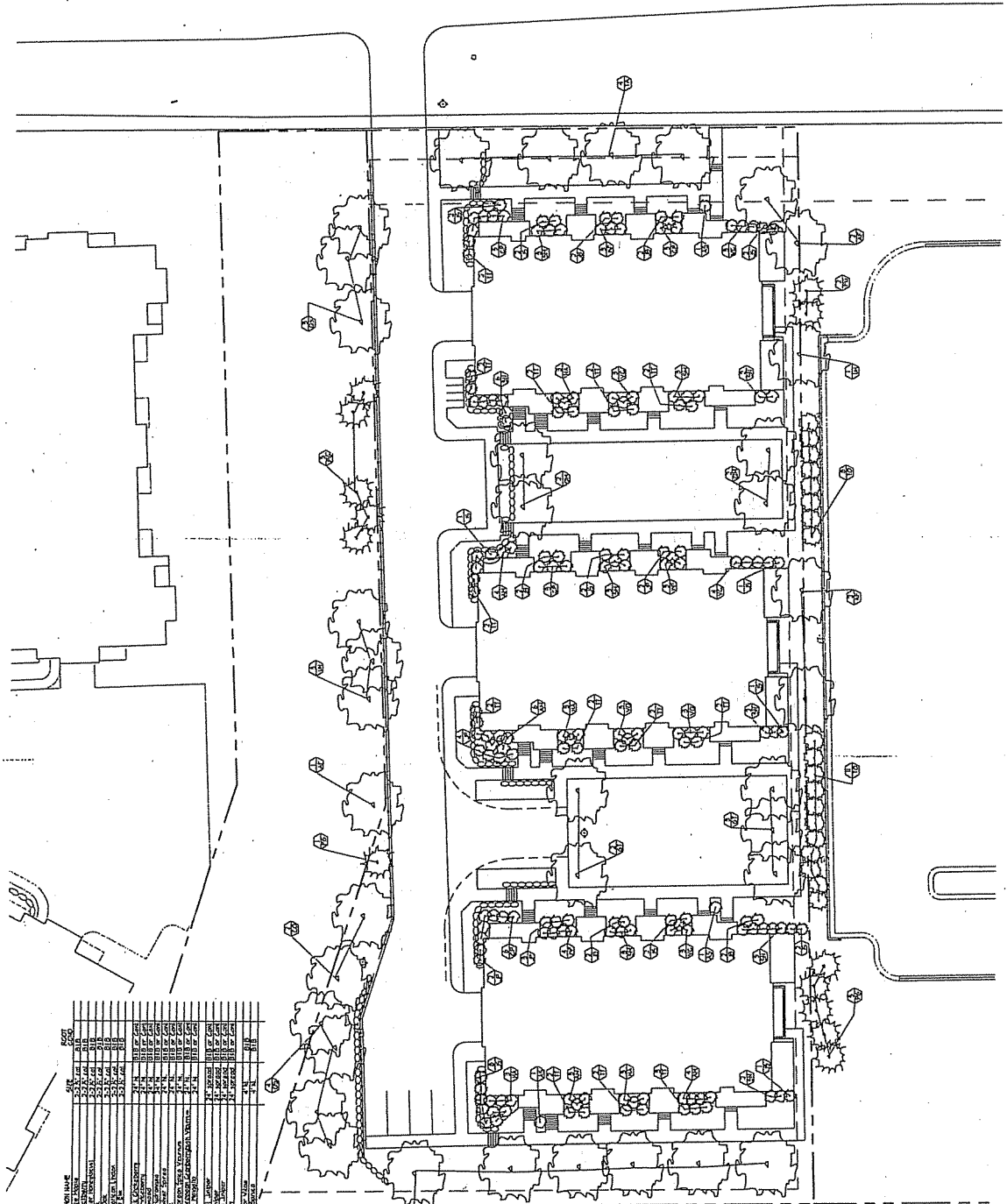


POB SIP BLANKET TO HAVE 24" MIN. STONE LAYER. UNLESS OTHERWISE NOTED, INDICATE FOR EACH DETAIL.

24" MIN. STONE LAYER. UNLESS OTHERWISE NOTED, INDICATE FOR EACH DETAIL.

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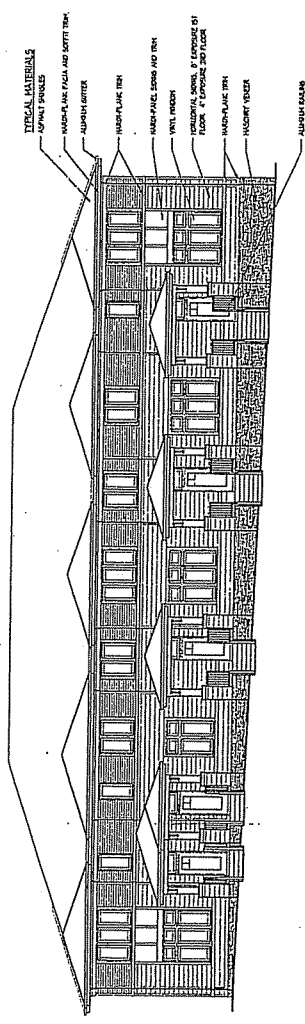
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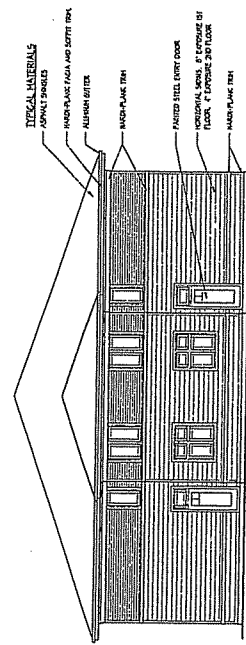
PLANT LEGEND

SYMBOL	COMMON NAME	SIZE	PLANT CODE
1	AMERICAN BIRCH	12" DB	12DB
2	AMERICAN HORNBEAM	12" DB	12DB
3	AMERICAN RED CEDAR	12" DB	12DB
4	AMERICAN SYPHARE	12" DB	12DB
5	AMERICAN WHITE BIRCH	12" DB	12DB
6	AMERICAN YEW	12" DB	12DB
7	AMERICAN DOGWOOD	12" DB	12DB
8	AMERICAN HICKORY	12" DB	12DB
9	AMERICAN LARCH	12" DB	12DB
10	AMERICAN OAK	12" DB	12DB
11	AMERICAN PINE	12" DB	12DB
12	AMERICAN SPRUCE	12" DB	12DB
13	AMERICAN TYPHOGLOSS	12" DB	12DB
14	AMERICAN WALNUT	12" DB	12DB
15	AMERICAN WHITE PINE	12" DB	12DB
16	AMERICAN YEW	12" DB	12DB
17	AMERICAN DOGWOOD	12" DB	12DB
18	AMERICAN HICKORY	12" DB	12DB
19	AMERICAN LARCH	12" DB	12DB
20	AMERICAN OAK	12" DB	12DB
21	AMERICAN PINE	12" DB	12DB
22	AMERICAN SPRUCE	12" DB	12DB
23	AMERICAN TYPHOGLOSS	12" DB	12DB
24	AMERICAN WALNUT	12" DB	12DB
25	AMERICAN WHITE PINE	12" DB	12DB
26	AMERICAN YEW	12" DB	12DB
27	AMERICAN DOGWOOD	12" DB	12DB
28	AMERICAN HICKORY	12" DB	12DB
29	AMERICAN LARCH	12" DB	12DB
30	AMERICAN OAK	12" DB	12DB
31	AMERICAN PINE	12" DB	12DB
32	AMERICAN SPRUCE	12" DB	12DB
33	AMERICAN TYPHOGLOSS	12" DB	12DB
34	AMERICAN WALNUT	12" DB	12DB
35	AMERICAN WHITE PINE	12" DB	12DB
36	AMERICAN YEW	12" DB	12DB
37	AMERICAN DOGWOOD	12" DB	12DB
38	AMERICAN HICKORY	12" DB	12DB
39	AMERICAN LARCH	12" DB	12DB
40	AMERICAN OAK	12" DB	12DB
41	AMERICAN PINE	12" DB	12DB
42	AMERICAN SPRUCE	12" DB	12DB
43	AMERICAN TYPHOGLOSS	12" DB	12DB
44	AMERICAN WALNUT	12" DB	12DB
45	AMERICAN WHITE PINE	12" DB	12DB
46	AMERICAN YEW	12" DB	12DB
47	AMERICAN DOGWOOD	12" DB	12DB
48	AMERICAN HICKORY	12" DB	12DB
49	AMERICAN LARCH	12" DB	12DB
50	AMERICAN OAK	12" DB	12DB
51	AMERICAN PINE	12" DB	12DB
52	AMERICAN SPRUCE	12" DB	12DB
53	AMERICAN TYPHOGLOSS	12" DB	12DB
54	AMERICAN WALNUT	12" DB	12DB
55	AMERICAN WHITE PINE	12" DB	12DB
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71	AMERICAN PINE	12" DB	12DB
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75	AMERICAN WHITE PINE	12" DB	12DB
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77	AMERICAN DOGWOOD	12" DB	12DB
78	AMERICAN HICKORY	12" DB	12DB
79	AMERICAN LARCH	12" DB	12DB
80	AMERICAN OAK	12" DB	12DB
81	AMERICAN PINE	12" DB	12DB
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85	AMERICAN WHITE PINE	12" DB	12DB
86	AMERICAN YEW	12" DB	12DB
87	AMERICAN DOGWOOD	12" DB	12DB
88	AMERICAN HICKORY	12" DB	12DB
89	AMERICAN LARCH	12" DB	12DB
90	AMERICAN OAK	12" DB	12DB
91	AMERICAN PINE	12" DB	12DB
92	AMERICAN SPRUCE	12" DB	12DB
93	AMERICAN TYPHOGLOSS	12" DB	12DB
94	AMERICAN WALNUT	12" DB	12DB
95	AMERICAN WHITE PINE	12" DB	12DB
96	AMERICAN YEW	12" DB	12DB
97	AMERICAN DOGWOOD	12" DB	12DB
98	AMERICAN HICKORY	12" DB	12DB
99	AMERICAN LARCH	12" DB	12DB
100	AMERICAN OAK	12" DB	12DB

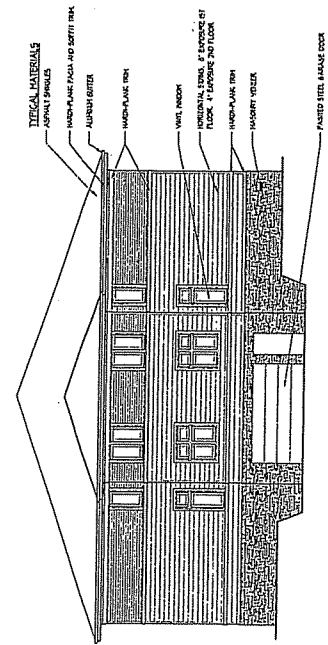
11-11



1 TYPICAL FRONT ELEVATION
1/8" = 1'-0"

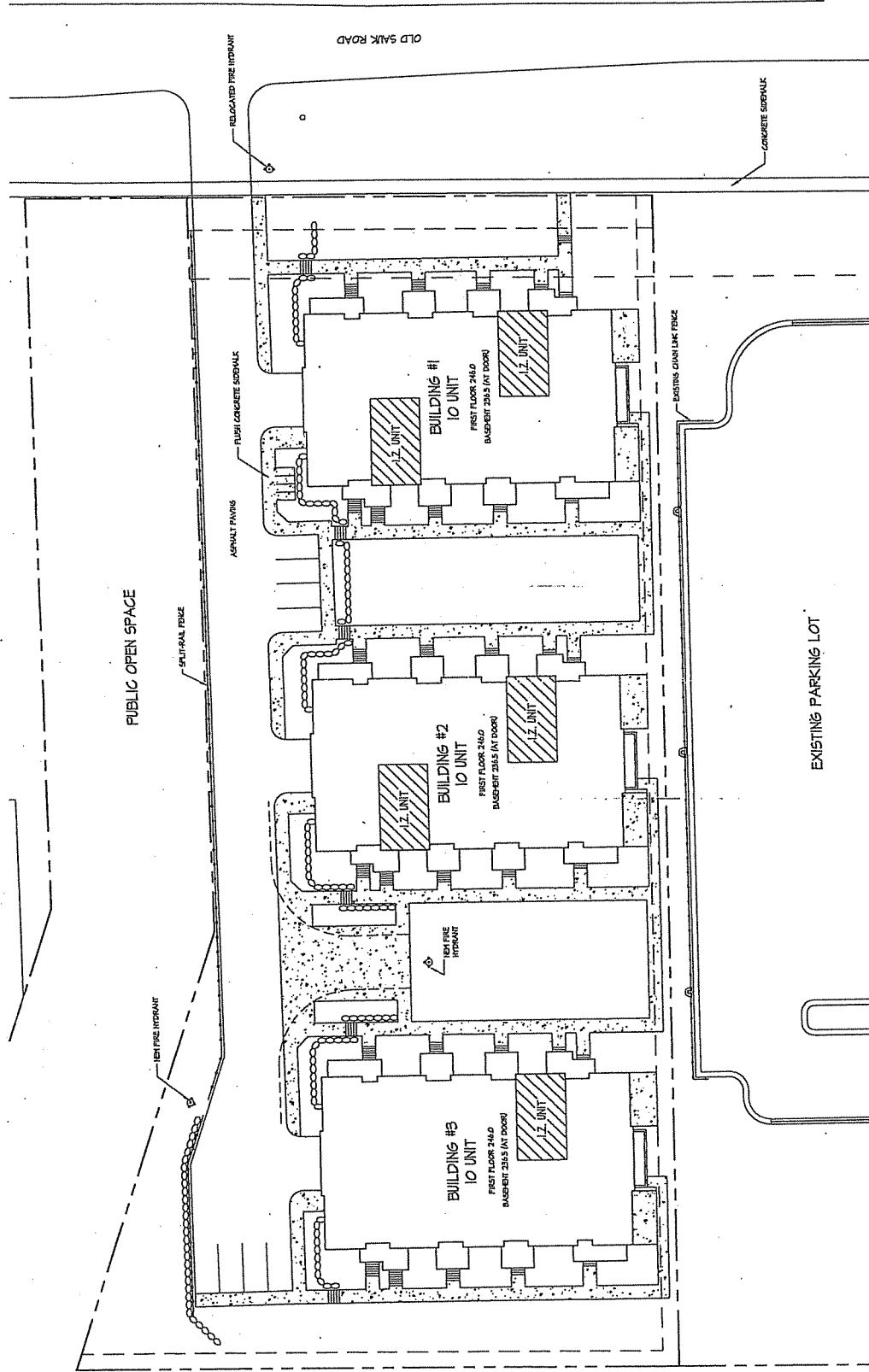


2 TYPICAL WEST ELEVATION
1/8" = 1'-0"

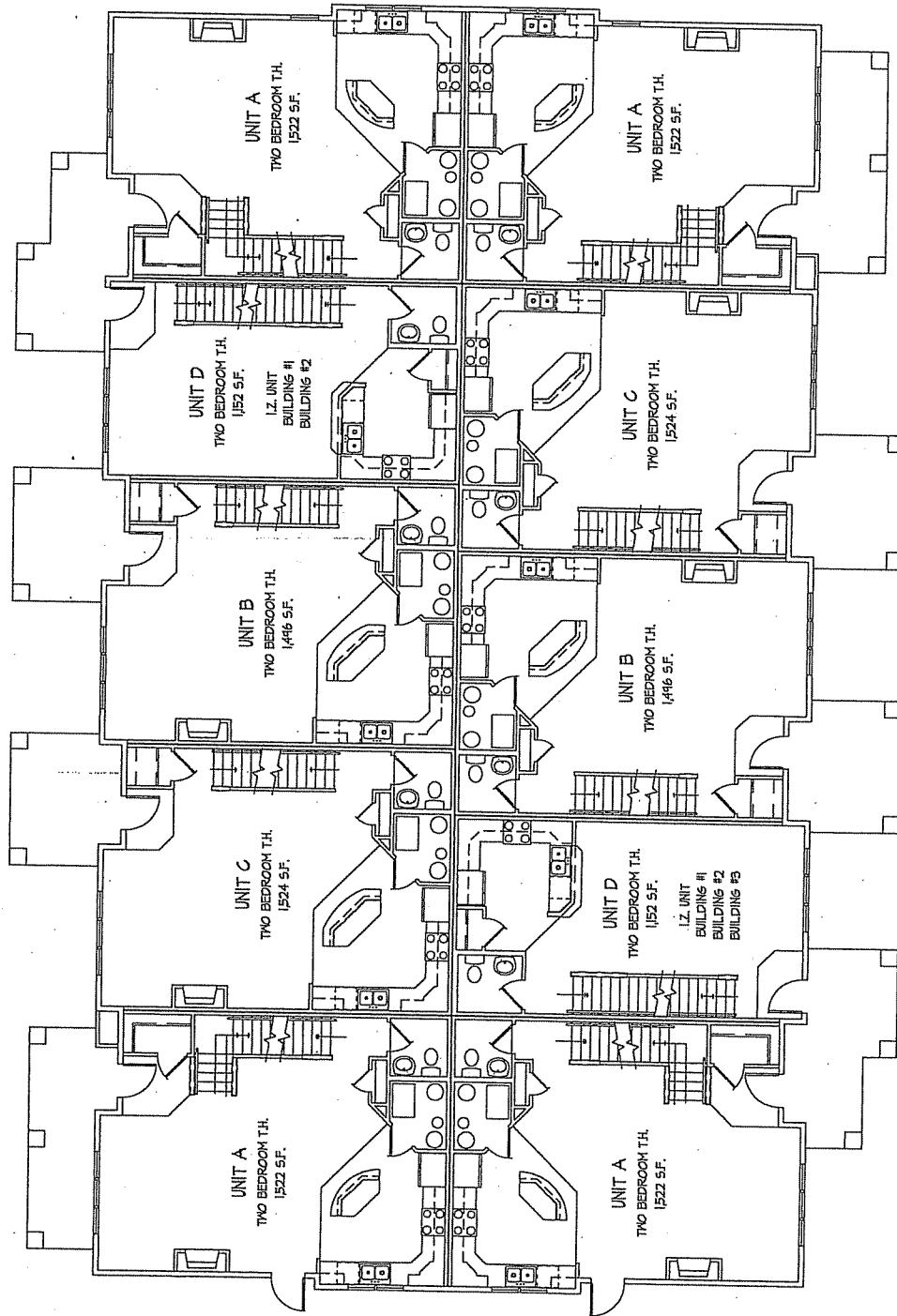


3 TYPICAL EAST ELEVATION
1/8" = 1'-0"

10-11



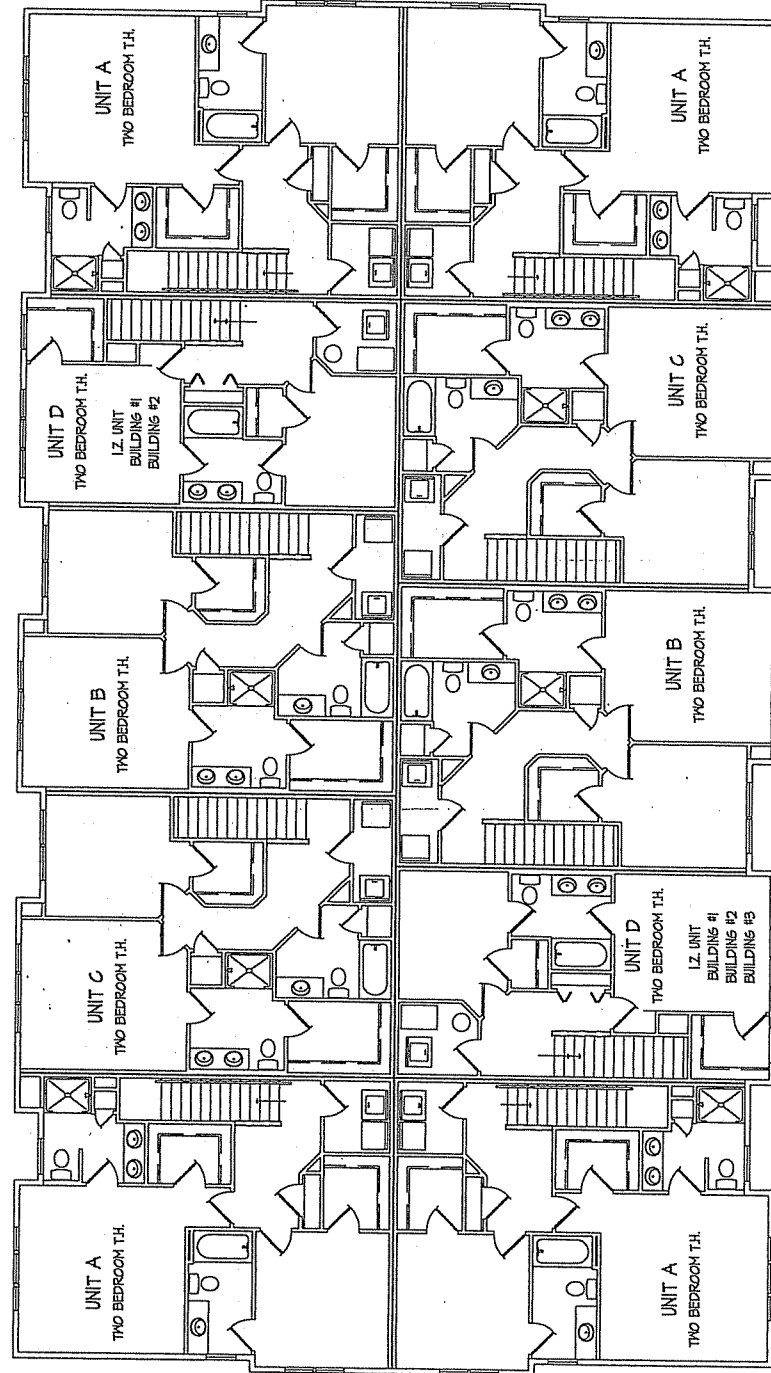
11-01



2 TYPICAL FIRST FLOOR PLAN

9/23" = 1'-0"

10-11

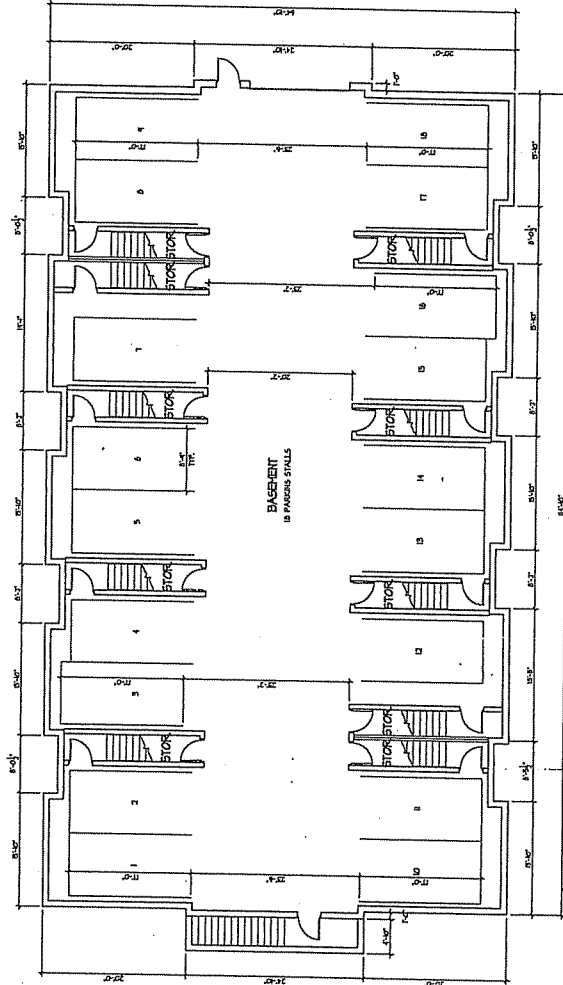


3 TYPICAL SECOND FLOOR PLAN

3/27 = 1'-0"



10-11



BASEMENT FLOOR PLAN
10' = 1" = 10'

10-11