

June 17, 2019

Kevin Firchow, Principal Planner
City of Madison, Planning Division
215 Martin Luther King, Jr. Blvd.
Madison, WI 53701-2985

Re: Urban Design Commission Application
2201 Zeier Road
Madison, WI 53704

Dear Mr. Firchow,

The following documents replace the package sent on 6/11/19 which contained the documents called for by the UDC on 5/29/19 to be added to the original submittal. This submittal includes both the original, as well as the added documents.

Please find 14 copies of the following documents:

- Cover Letter
- Urban Design Commission Application
- Original Letter of Intent
- Email dated 6/4/19 from Janine Glaeser detailing the additional requirements from the UDC
- Specification section 07-2400 Exterior Insulation and Finish System (with high impact EIFS highlighted)
- Sheet A4.1 – A4.1 Exterior Elevations (with high impact EIFS note highlighted)
- Aerial Site Maps
- Site Plan
- Proposed Exterior Elevations in black & white and color
- Existing Landscape Plan of the property from the original construction – Changes are being proposed
- Existing Utility Plan – No changes are proposed

- Existing HVAC Plan – No changes are proposed
- Sheet A4.1 – New Exterior Elevations with EIFS Note highlighted
- Sheet L1.0 – Landscape Demo Plan dated 6/12/19
- Sheet L1.0 – Landscape Demo Plan dated 6/12/19 with colored legend
- Sheet L1.1 – Landscape Plan dated 6/12/19.

I understand that we will be heard by the UDC at their regularly scheduled meeting on 6/26/19. I look forward to meeting with the Commission again.

Sincerely,



John Taylor, Sr. Project Manager

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____
Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 2201 Zeier Road, Madison, WI 53704

Title: At Home

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 6/26/19

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify

Conditional Use Alteration - Zoned CC

4. Applicant, Agent, and Property Owner Information

Applicant name Bob Atherton
Street address 1600 E. Plano Parkway
Telephone 972-265-6227

Company At Home Stores, LLC
City/State/Zip Plano, TX 75074
Email batherton@athome.com

Project contact person John Taylor
Street address 1207 Hampshire Lane, Ste. 105
Telephone 214-368-2525

Company Callaway Architecture
City/State/Zip Richardson, TX 75080
Email jtaylor@callawayarchitecture.com

Property owner (if not applicant) Steve Doran
Street address 6430 Bridge Road, Suite 230
Telephone 608-327-4000

City/State/Zip Madison, WI 53713
Email sdoran@galwaycompanies.com

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Kevin Firchow, Janine Glaser, and Matt Tucker on 2/26/19.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Bob Atherton Relationship to property At Home Construction PM

Authorizing signature of property owner  Date 6/11/19

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

April 10, 2019

Kevin Firchow, Principal Planner
City of Madison, Planning Division
215 Martin Luther King, Jr. Blvd.
Madison, WI 53701-2985

Re: Urban Design Commission Application
2201 Zeier Road
Madison, WI 53704

Dear Mr. Firchow,

Please find enclosed the following documents to be distributed and used for the upcoming Urban Design Commission Review of this project.

14 sets of the Application with Exhibits (11 X 17)

- Aerial Site Maps
- Site Plan
- Proposed Exterior Elevations in black & white and color
- Existing Landscape Plan of the property from the original construction. No changes are proposed.
- Existing Utility Plan - No changes are proposed.
- Existing HVAC Plans - No changes are proposed.

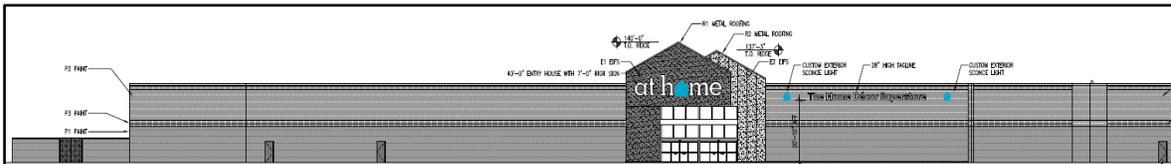
At Home will be acquiring the existing Shopko store at 2201 Zeier Road and performing an adaptive re-use to incorporate its own merchandising brand. At Home is a national Home Décor retailer with approximately 180 stores nationwide. Formerly known as "Garden Ridge", At Home is based in Plano, TX and has been successfully promoting the brand through new construction and renovations such as the one being proposed in this application. It is important, as an emerging retailer, to present a consistent and identifiable prototype image. This consistency will develop brand recognition just as the iconic images of companies such as Target, Best Buy and others enjoy within the consumer public.

The At Home brand, as it relates to the image is represented in the “Entry House”. This element, which is a stylized gable form, defines the image of the brand and reflects the company name. Important to the success of this branding image, and the visual strength of the “House”, is supported by the signage and the simple façade of the balance of the building.

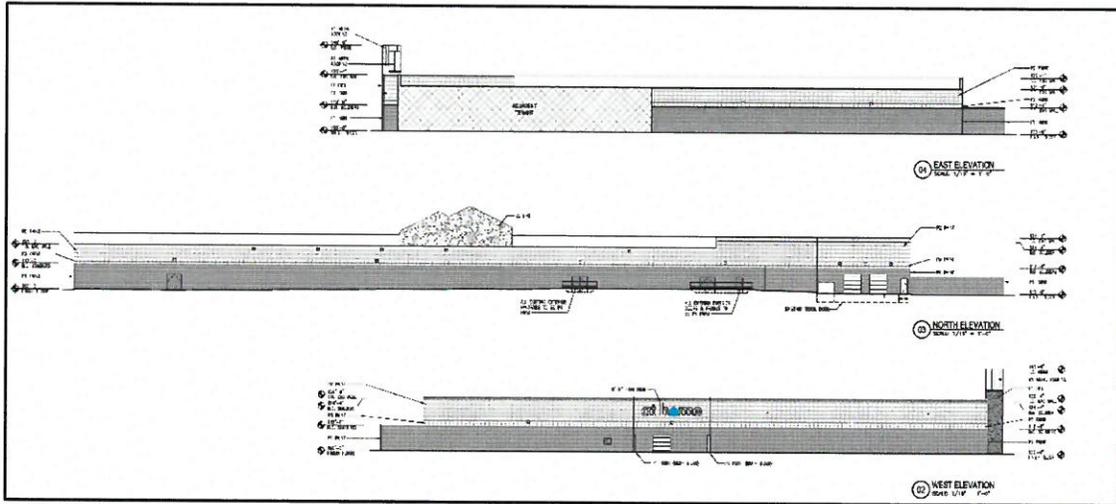
At our initial meeting on February 26, 2019, we focused on the process for obtaining administrative approval for our project. Your team indicated that type of approval would be contingent on at least two issues: not repainting the brick and not including tag line signage. At Home has since determined those two branding issues are important enough to justify the additional time required for a UDC hearing. They fully understand that one or both of those issues may not receive UDC approval.



Above is the existing front elevation of the Shopko building



The proposed revision to the exterior replaces the Shopko entry branding with the At Home “House”. The existing expansive EIFS entry element will be replaced with new brick to match the existing. The At Home sign will be a part of the House and a tagline with custom decorative sconces will be placed to one side.



The side Elevations will further delineate the brand and offer to break up the expansive building façade with vertical elements on the corners.

Callaway Architecture is pleased to have this opportunity to present this project to the Urban Design Commission and look forward to working with you and your team.

Sincerely,

A handwritten signature in black ink, appearing to read 'John Taylor', with a stylized flourish extending to the right.

John Taylor, Sr. Project Manager

John Taylor

From: Glaeser, Janine <JGlaeser@cityofmadison.com>
Sent: Tuesday, June 04, 2019 3:14 PM
To: John Taylor
Cc: Scott Stone; Cleveland, Julie; Firchow, Kevin
Subject: RE: At Home - Madison East - UDC Approval

Good afternoon John, thank you for your email. The UDC granted "Initial Approval" at the May 29th meeting which means that the project must return for "Final Approval" with more information on the landscaping plan and elevation material updates. We will have the meeting report available at the end of this week and can send a copy when it's available.

A few clarifications on the additional information UDC requested.

- The Commission requested that the exterior elevations show the EIFS material only above 6' and a durable material at the base.
- Regarding the landscape plan, the commission would like to see some landscaping added to the area where the outdoor garden center will be removed and documentation on what landscaping materials currently exist versus what was approved in 1987. They want to know how the property will be re-landscaped to meet the original approval plan.

Can your team submit updated materials by next Wednesday, June 12th for a June 26th UDC meeting?

Please feel free to contact us with any questions.

Thank you,



Janine Glaeser, AIA, LEED AP

Architect, Urban Design Planner
Department of Planning & Community & Economic Development
215 Martin Luther King Jr. Blvd., Suite 017 (Lower Level)
Madison, WI 53703
jglaeser@cityofmadison.com
T: 608.267.8740

From: John Taylor <JTaylor@callawayarchitecture.com>
Sent: Tuesday, June 04, 2019 10:52 AM
To: Glaeser, Janine <JGlaeser@cityofmadison.com>
Cc: Scott Stone <SStone@callawayarchitecture.com>
Subject: At Home - Madison East - UDC Approval

Hi Janine,

Will we be receiving written UDC approval / conditions from our hearing last week for the At Home project at 2201 Zeier Road?

Thanks!

John Taylor

Sr. Project Manager



1207 HAMPSHIRE LANE
SUITE 105
RICHARDSON, TX 75080
OFFICE: 214.368.2525 (105)
MOBILE: 469.680.9799

JTaylor@callawayarchitecture.com

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SECTION 07 2400

EXTERIOR INSULATION AND FINISH SYSTEM

PART 1 GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Moisture barrier.
 - 2. Rigid insulation.
 - 3. Reinforcing mesh.
 - 4. Finish coat.
 - 5. Trim and accessories.
- B. Related Sections:
 - 1. Division 01: Administrative, procedural, and temporary work requirements.

1.2 REFERENCES

- A. ASTM International (ASTM):
 - 1. C144 - Standard Specification for Aggregate for Masonry Mortar.
 - 2. C847 - Standard Specification for Metal Lath.
 - 3. C926 - Standard Practice for Application of Portland Cement-Based Plaster.
 - 4. C1513 - Standard Specification for Steel Tapping Screws for Cold-Formed Steel Framing Connections.
 - 5. E84 - Standard Test Method for Surface Burning Characteristics of Building Materials.
 - 6. E2098 - Standard Test Method for Determining Tensile Breaking Strength of Glass Fiber Reinforcing Mesh for Use in Class PB Exterior Insulation and Finish Systems (EIFS) after Exposure to a Sodium Hydroxide Solution.
- B. National Association of Architectural Metal Manufacturers (NAAMM) ML/SFA 920 - Guide Specifications for Metal Lathing and Furring.

1.3 SYSTEM DESCRIPTION

- A. Fire Hazard Classification: Maximum flame spread/smoke developed rating of 25/450, tested to ASTM E84.

1.4 SUBMITTALS

- A. Submittals for Review:
 - 1. Shop Drawings: Indicate joint layout and dimensions, system penetration details, and termination details.
 - 2. Product Data: Include primary and secondary product descriptions, application instructions, performance criteria, and list of sealants approved for use with system.
 - 3. Samples:
 - a. 12 x 12 inch finish coat samples in specified color and texture.
 - b. 6 inch long trim samples.
 - 4. Warranty: Sample warranty form.
- B. Quality Control Submittals:
 - 1. Certificates of Compliance:
 - a. Manufacturer's certification that installed system complies with requirements of Contract Documents.
 - b. Certificate of approval by Code authorities having jurisdiction over Project.
 - c. Certification from an independent testing laboratory that system meets fire hazard classification requirements.

1.5 QUALITY ASSURANCE

- A. Furnish EIFS system components from single manufacturer.
- B. Installer Qualifications: Minimum 2 years documented experience in work of this Section.

1.6 DELIVERY, STORAGE AND HANDLING

- A. Store materials in protected, dry area until used, at temperature between 40 and 90 degrees F.

1.7 PROJECT CONDITIONS

- A. Do not apply adhesives and coatings if:
 - 1. Ambient temperature is below 40 degrees F, or is expected to fall below that temperature within 24 hours after application.
 - 2. Relative humidity is above 85 percent and surface temperature is lower than 5 degrees F below dew point.
 - 3. Wind velocity is over 20 MPH.

1.8 WARRANTIES

- A. Furnish manufacturer's 5 year warranty providing coverage against air and water leakage through EIFS system.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Acceptable Manufacturers/Vendors: Refer to Section 01 1119 - Vendor/National Accounts List.
- B. Substitutions: Not permitted.

2.2 MATERIALS

- A. Moisture Barrier: Fluid-applied type; system manufacturer's standard product.
- B. Adhesive: Type recommended by system manufacturer.
- C. Rigid Insulation:
 - 1. ASTM C578, Type I, molded polystyrene, slotted on back side for drainage.
 - 2. Edges: Square.
 - 3. Minimum thickness: 1-1/2 inches.
 - 4. Thermal resistance: Minimum LTTR value of 5.0 per inch.
- D. Reinforcing: Glass fiber mesh, balanced open weave, alkaline resistant, treated for improved bond with coating, tested to ASTM E2098 and classified to EIMA impact classification.
 - 1. Standard impact mesh: Minimum 4.5 ounces per square yard.
 - 2. High impact mesh: Minimum 14.0 ounces per square yard.
 - 3. Corner mesh: Minimum 20.5 ounces per square yard.
- E. Finish Coat: EIMA Class PB, system manufacturer's standard product; refer to Drawings for color and texture.

2.3 ACCESSORIES

- A. Trim:
 - 1. Extruded PVC, perforated attachment flanges, of longest practical length.
 - 2. Corner bead: Beaded edge, size and profile to suit application.
 - 3. Casing bead: Thickness governed by system thickness, square edge.

- 4. Drainage casing: Thickness governed by system thickness, square edge, perforated for drainage.
- B. Fasteners: ASTM C1513, hot-dip galvanized or fluoropolymer coated steel, minimum [5/8] inch penetration into framing.
- C. Water: Clean and potable.

2.4 MIXES

- A. Finish Coat: Mix in accordance with manufacturer's instructions.

PART 3 EXECUTION

3.1 APPLICATION OF MOISTURE BARRIER

- A. Apply 4 inch wide reinforcing mesh centered over sheathing joints and 9 inch wide reinforcing mesh centered on interior and exterior corners. Apply adhesive completely covering mesh; trowel level and smooth.
- B. Apply moisture barrier in accordance with manufacturer's instructions to continuous and uniform coverage.

3.2 APPLICATION OF INSULATION AND REINFORCING

- A. Install system in accordance with ANSI/EIMA 99A and manufacturer's instructions.
- B. Install insulation in most economical manner, with joints offset joints from those in substrate. Stagger end joints in adjacent rows minimum 12 inches. Cut panels to fit at perimeter and around penetrations.
- C. Adhere insulation to substrate with beads of adhesive placed vertically for moisture drainage.
- D. Apply minimum 1/16 inch layer of adhesive over insulation board.
- E. Fully embed reinforcement in adhesive, wrinkle free.
- F. Lap ends and edges 2 inches minimum.
- G. Wrap reinforcement and adhesive around insulation edge at reveals, control joints and where system abuts dissimilar materials or stops with edge exposed , except at bottom edges.
- H. Install high impact mesh up to 8 feet above grade or paving.
- I. Install corner mesh for minimum 12 inches on both sides of external corners.
- J. Install drainage casing at wall base and over openings in walls. Seal corners and intersections.

3.3 APPLICATION OF FINISH COAT

- A. Apply in accordance with manufacturer's instructions.
- B. Work in continuous operation in each panel formed by trim and intersections to ensure even texture.
- C. Cut edges in clean and sharp where work joins other materials.
- D. Apply to uniform texture and color without streaks, laps, heavy buildups, and missed areas.
- E. Ensure consistent application and uniform appearance.

3.4 ADJUSTING

A. Touch up finish coat as required to obtain uniform texture.

END OF SECTION

EXTERIOR SEALANT SCHEDULE	
TILT/WALL JOINTS:	TREMCO DYNAMIC 100 NON-SAG POLYURETHANE SEALANT
TILT/WALL TO HM FRAMES:	TREMCO DYMERIC 240 FC MULTI-COMPONENT POLYURETHANE SEALANT
TILT/WALL TO STOREFRONT AND BREAK METAL:	TREMCO DYMERIC 240 FC MULTI-COMPONENT POLYURETHANE SEALANT
FROM EIFS TO MOST MATERIALS:	TREMCO SPECTREM 1 SINGLE COMPONENT SILICONE SEALANT

PAINT FORMULAS:

SHERWIN-WILLIAMS 7119	Order# 8288487	SHERWIN-WILLIAMS 7119	Order# 8288487
EXTERIOR FLAT	ARCHITECTURAL EIFS	EXTERIOR FLAT	ARCHITECTURAL EIFS
P-1 AT HOME DARK GRAY CUSTOM HANDBLITCH	SYMBOLLINE	P-2 EXTERIOR JENISON GRAY CUSTOM HANDBLITCH	SYMBOLLINE
CECILORHANT 02 02 64 128	01-White 08 08 11	CECILORHANT 02 02 64 128	01-White 08 08 11
01-Black 18 18 11	01-Blue 28 28 11	01-Black 18 18 11	01-Blue 28 28 11
02-Navy 28 28 11	02-Red 38 38 11	02-Navy 28 28 11	02-Red 38 38 11
03-Deep 48 48 11	03-White 58 58 11	03-Deep 48 48 11	03-White 58 58 11
04-White 68 68 11	04-Black 78 78 11	04-White 68 68 11	04-Black 78 78 11
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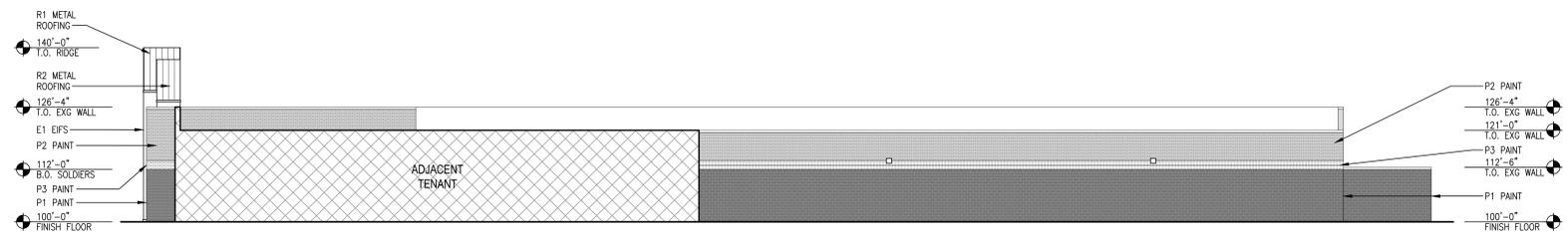
PAINT FORMULAS SHOWN ARE FOR 5 GALLON AMOUNT.

- KEYED NOTES BY SYMBOL "Ⓢ":**
- PAINT EXISTING EIFS/BRICK WALL, COPING, HOLLOW METAL DOOR/FRAME, GUTTER/DOWNSPOUTS.
 - COORDINATE DEPTH OF HOUSE ON ROOF WITH STRUCTURAL FRAMING.
 - PAINT EXISTING WALL-MOUNTED EQUIPMENT & CONDUITS.
 - NEW WALL PACK TO REPLACE EXISTING, OR NEW LOCATION AS SHOWN.
 - ICONIC CUSTOM SCENCE LIGHTS FURNISHED AND INSTALLED BY GC.
 - NEW METAL STUD INFFILL, MATCH EXISTING FINISHES IN INFFILL AREA. REFER TO AD1.1 FOR LOCATIONS.
 - VERTICAL REVEAL - 1/2" V-GROOVE, TYP.
 - CANOPY FASCIA JOINT CENTERED ON STOREFRONT PANEL OR EDGE OF MULLION AS SHOWN.
 - WALL-MOUNTED PVC SPOUT OUTLET WITH 3" CONDUCTOR CONNECTION MOUNT ON WALL 1/2" ABOVE CONCRETE CURB (TO BOTTOM OF SPOUT). SPOUT SHALL BE CONFIGURED SUCH THAT LIP OF SPOUT CLEARS CURB. PVC DOWNSPOUT NOZZLE BY ARKMAN DESIGN & MANUFACTURING. FINISH TO BE ANODIZED BRONZE. INSTALL PER MANUFACTURER'S INSTRUCTION.
 - CONTROL JOINT
 - NEW STEEL RAMP FOR BALE STORAGE ACCESS

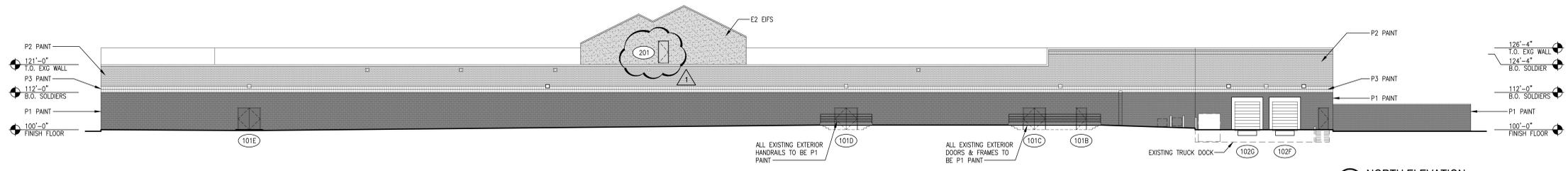
- EXTERIOR ELEVATION GENERAL NOTES:**
- DON NOT SCALE DRAWINGS.
 - DIMENSIONS ARE FROM COLLUM LINES, FACE OF EXTERIOR FINISH, OR ROUGH OPENING, UNLESS NOTED OTHERWISE.
 - PAINT ALL BOLLARDS, HANDRAILS, GUARDRAILS, AND OTHER SIMILAR SITE FEATURES TO MATCH ADJACENT STORE WALL COLOR, UNLESS NOTED OTHERWISE.
 - ANY EXTERIOR INSULATION & FINISH SYSTEM (EIFS) USED BELOW 10'-0" A.F.F. OR IN A HORIZONTAL APPLICATION SHALL BE HIGH-IMPACT RESISTANT CLASS.
 - EIFS TO BE APPLIED TO THE BALE STORAGE FRAME SHALL BE THE MANUFACTURER'S STANDARD GREY COLOR WHICH MOST CLOSELY MATCHES THE AT HOME EXTERIOR PAINT COLOR(S).
 - PROVIDE 1/2" FIRE RETARDANT TREATED PLYWOOD SHEATHING BEHIND SIGNAGE ON FRAMED ENTRY WALLS.
 - EXTERIOR DOOR FRAMES SHALL BE PAINTED TO MATCH DOOR COLOR.
 - METAL ROOF FASTENERS, FLASHING, AND CLOSURES SHALL MATCH THE COLOR/FINISH OF METAL ROOF PANELS.

EIFS NOTE

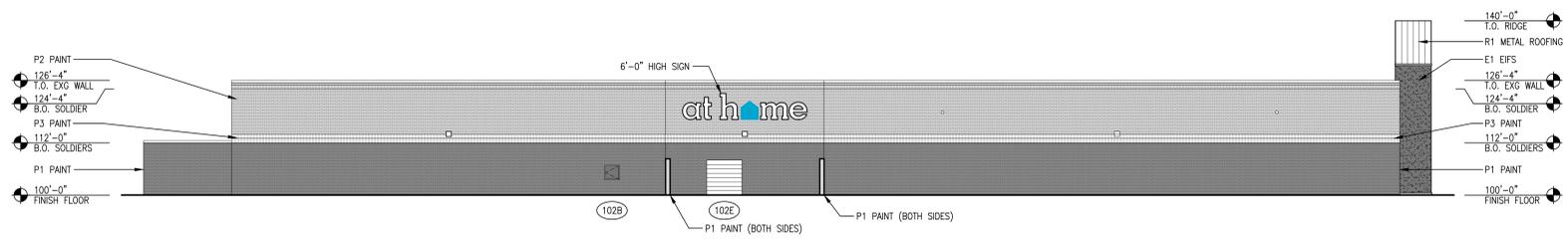
- EXTERIOR MATERIALS/FINISHES BY SYMBOL "xxx":**
- MATERIAL: ALUMINUM STOREFRONT/DOORS/CURTAINWALL COLOR/FINISH: CLEAR MILL FINISH
 - MATERIAL: ALUMINUM BREAK METAL ASSEMBLIES/COMPONENTS COLOR/FINISH: PRE-FINISHED TO MATCH STOREFRONT/DOORS
 - MATERIAL: PRE-FINISHED SHEET METAL FABRICATIONS COLOR/FINISH: PRE-FINISHED TO MATCH ADJACENT EXTERIOR WALL COLOR, UNLESS NOTED OTHERWISE.
 - MATERIAL: PRE-FINISHED SHEET METAL FABRICATIONS (COPINGS, CAPS) COLOR/FINISH: PRE-FINISHED BERRIDGE COLOR "SHASTA WHITE".
 - MATERIAL: THIN & FULL BRICK MANUFACTURER: GLEN-GERY; "KLAYCOAT" #K17-3700 "AT HOME" DARK GRAY. MATERIAL: MORTAR MANUFACTURER: ARGOS; MAGNOLIA DARK
 - MATERIAL: THIN & FULL BRICK MANUFACTURER: GLEN-GERY; "KLAYCOAT" #K17-3705 "AT HOME" JENISON GRAY. MATERIAL: MORTAR MANUFACTURER: SPECTRUM; GRAY-N
 - MATERIAL: THIN & FULL BRICK MANUFACTURER: GLEN-GERY; "KLAYCOAT" #K13-3056 "AT HOME" SW GREEK VILLA. MATERIAL: MORTAR MANUFACTURER: ARGOS; WHITE
 - MATERIAL: CMU "QUIK-BRIK" OLD CASTLE COMPANY COLOR/FINISH: SHADOW GRAY, TYPE A MATERIAL: MORTAR MANUFACTURER: ARGOS; MAGNOLIA DARK
 - MATERIAL: CMU "QUIK-BRIK" OLD CASTLE COMPANY COLOR/FINISH: MONUMENT WHITE, TYPE B MATERIAL: MORTAR MANUFACTURER: SPECTRUM; GRAY-N
 - MATERIAL: CMU "QUIK-BRIK" OLD CASTLE COMPANY COLOR/FINISH: ELITE WHITE, TYPE C MATERIAL: MORTAR MANUFACTURER: ARGOS; WHITE
 - MATERIAL: DRYVIT EIFS ATHO-01-1022-AT HOME EXTERIOR DARK GRAY FINISH: SANDEBBLE FINE
 - MATERIAL: DRYVIT EIFS ATHO-02-1022-AT HOME EXTERIOR JENISON GRAY FINISH: SANDEBBLE FINE
 - MATERIAL: DRYVIT EIFS ATHO-03-1022-AT HOME SW 7551 GREEK VILLA FINISH: SANDEBBLE FINE
 - MATERIAL: STO CORP. EIFS NA 18-0006 COLOR/ FINISH: "AT HOME EXTERIOR DARK GRAY"; FINISH: MEDIUM STOLIT.
 - MATERIAL: STO CORP. EIFS NA 17-0002 COLOR/ FINISH: "AT HOME EXTERIOR JENISON GRAY"; FINISH: MEDIUM STOLIT.
 - MATERIAL: STO CORP. EIFS NA 17-0004 COLOR/ FINISH: "SW 7551 GREEK VILLA"; FINISH: MEDIUM STOLIT.
 - MATERIAL: FORMLINERS COLOR/FINISH: 8"X16" SPLIT FACE BLOCK PATTERN (COLOR AS DETERMINED BY PAINT).
 - MATERIAL: GLASS/GLAZING BASIS OF DESIGN: INSULATED GLASS (TEMPERED AS REQUIRED BY CODE) SURFACE: SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: CLEAR
 - MATERIAL: GLASS/GLAZING BASIS OF DESIGN: SINGLE PANE GLASS (TEMPERED AS REQUIRED BY CODE) SURFACE: SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: CLEAR
 - MATERIAL: GLASS/GLAZING @ MAIN ENTRANCE BASIS OF DESIGN: "OLD CASTLE BUILDING ENVELOPE" SPANDREL SINGLE PANE GLASS SURFACE: SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: WARM GRAY
 - MATERIAL: GLASS/GLAZING @ MAIN ENTRANCE BASIS OF DESIGN: "OLD CASTLE BUILDING ENVELOPE" SPANDREL INSULATED PANE GLASS SURFACE: SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: WARM GRAY
 - MATERIAL: GLASS/GLAZING @ PSEUDO WINDOWS BASIS OF DESIGN: "OLD CASTLE BUILDING ENVELOPE" SPANDREL SINGLE PANE GLASS SURFACE: SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: GUN METAL
 - MATERIAL: GLASS/GLAZING @ PSEUDO WINDOWS BASIS OF DESIGN: "OLD CASTLE BUILDING ENVELOPE" SPANDREL INSULATED PANE GLASS SURFACE: SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: GUN METAL
 - MATERIAL: EXTERIOR PAINT COLOR/FINISH: SW COLOR "AT HOME EXTERIOR DARK GRAY"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
 - MATERIAL: EXTERIOR PAINT BASIS OF DESIGN: SHERWIN WILLIAMS COLOR/FINISH: SW COLOR "AT HOME EXTERIOR JENISON GRAY"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
 - MATERIAL: EXTERIOR PAINT BASIS OF DESIGN: SHERWIN WILLIAMS COLOR/FINISH: SW COLOR "SW 7551 GREEK VILLA"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
 - MATERIAL: STANDING SEAM METAL ROOFING COLOR/FINISH: PRE-FINISHED BERRIDGE COLOR "ZINC GRAY".
 - MATERIAL: STANDING SEAM METAL ROOFING COLOR/FINISH: PRE-FINISHED BERRIDGE COLOR "SHASTA WHITE".



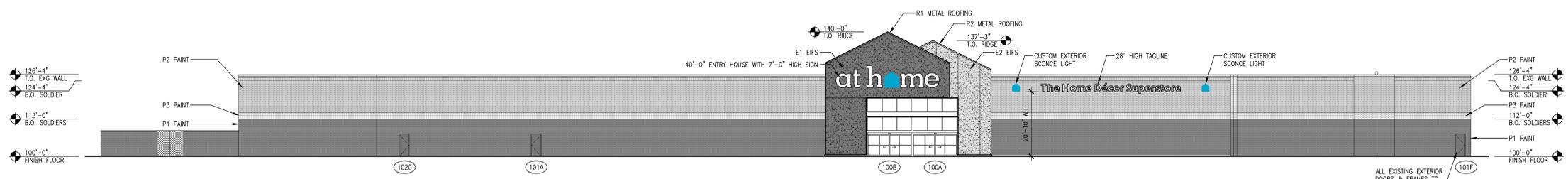
04 EAST ELEVATION
SCALE: 1/16" = 1'-0"



03 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



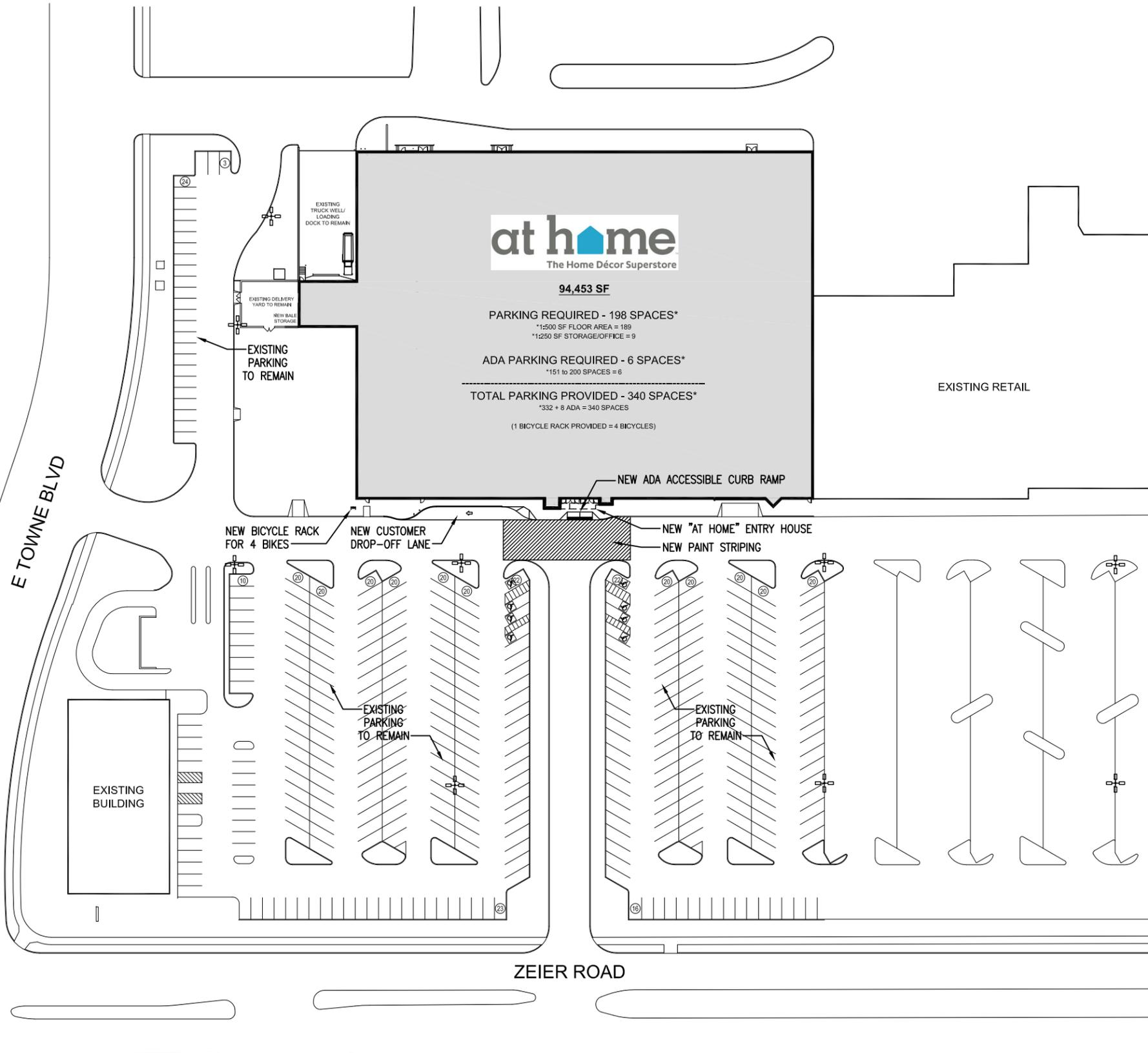
02 WEST ELEVATION
SCALE: 1/16" = 1'-0"



01 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"







at home
The Home Décor Superstore

94,453 SF

PARKING REQUIRED - 198 SPACES*

*1,500 SF FLOOR AREA = 189
*1,250 SF STORAGE/OFFICE = 9

ADA PARKING REQUIRED - 6 SPACES*

*151 to 200 SPACES = 6

TOTAL PARKING PROVIDED - 340 SPACES*

*332 + 8 ADA = 340 SPACES

(1 BICYCLE RACK PROVIDED = 4 BICYCLES)

E TOWNE BLVD

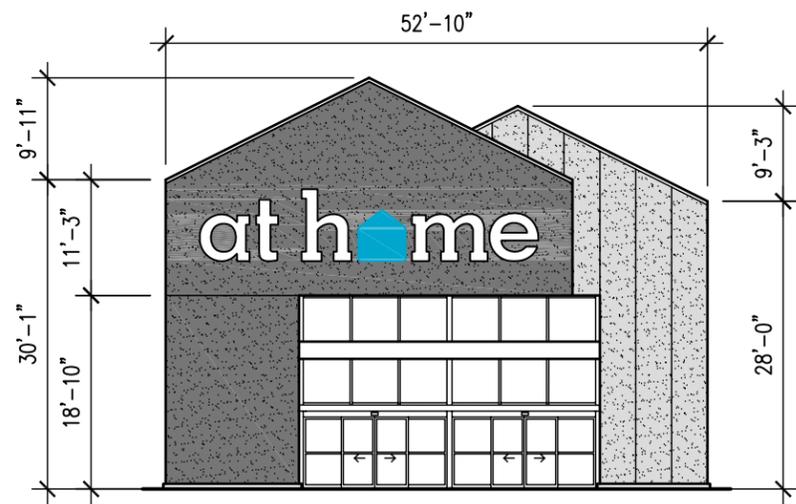
ZEIER ROAD



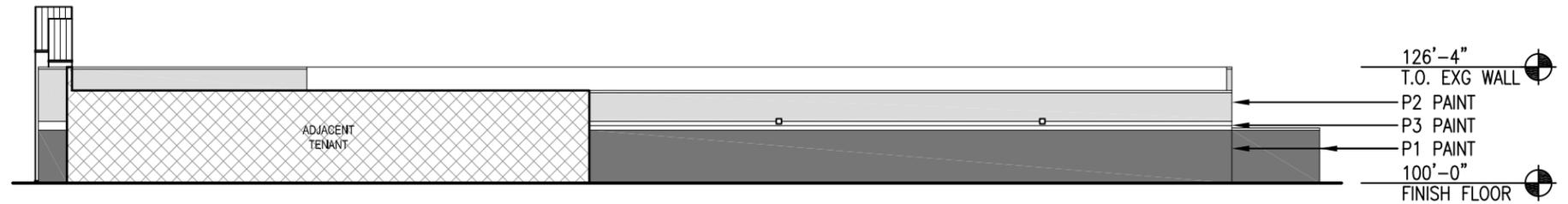
01 ARCHITECTURAL SITE PLAN

At Home Store #263
Madison, Wisconsin

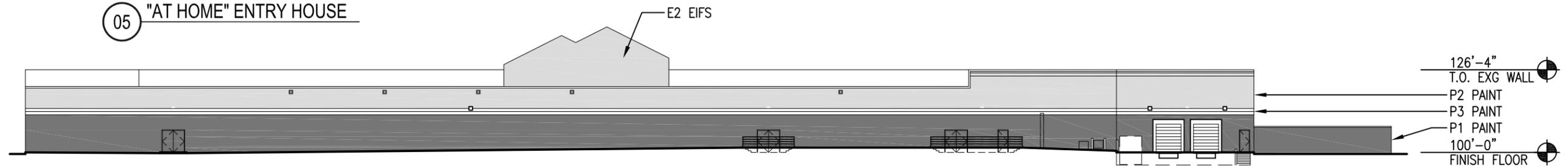
callaway
architecture
1207 HAMPSHIRE LN, ST# 105, RICHARDSON, TX 75080
PHONE: 214.368.2525 PROJECT#: 19009 DATE: 04.10.19



05 "AT HOME" ENTRY HOUSE

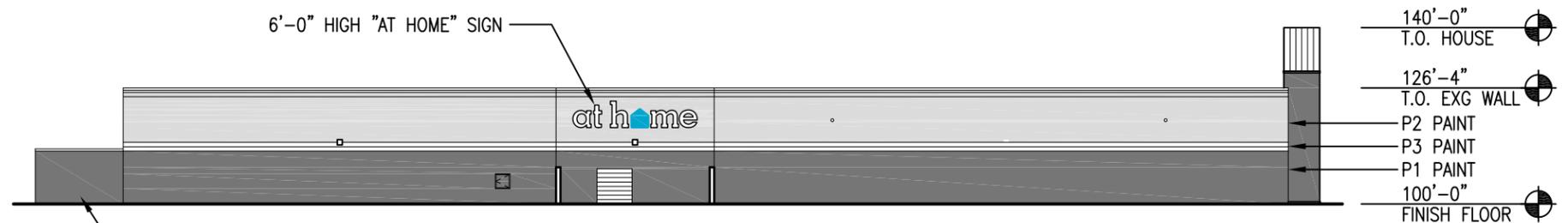


04 EAST ELEVATION

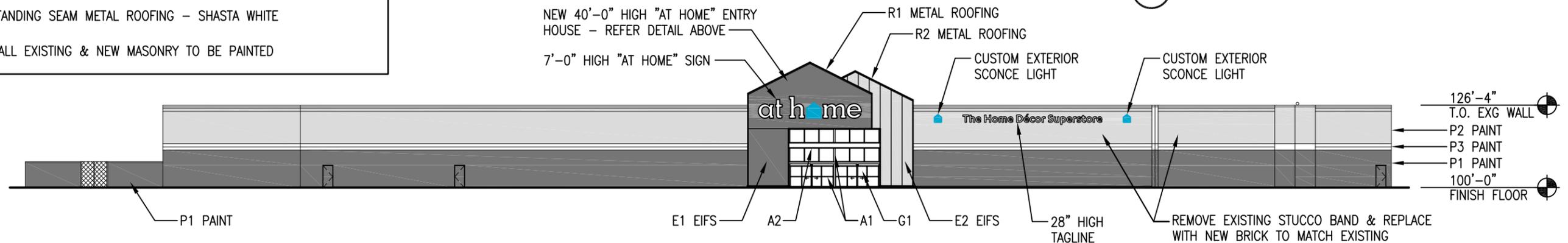


03 NORTH ELEVATION

EXTERIOR MATERIALS SCHEDULE	
A1	ALUMINUM STOREFRONT (CLEAR ANODIZED FINISH)
A2	ALUMINUM CANOPY (CLEAR ANODIZED FINISH)
E1	EIFS - SAND FINISH (COLOR MATCH "AT HOME" DARK GRAY)
E2	EIFS - SAND FINISH (COLOR MATCH "AT HOME" JENISON GRAY)
G1	GLAZING - LOW-E CLEAR, TEMPERED
P1	EXTERIOR PAINT - SW COLOR "AT HOME" DARK GRAY
P2	EXTERIOR PAINT - SW COLOR "AT HOME" JENISON GRAY
P3	EXTERIOR PAINT - SW COLOR 7551 GREEK VILLA
R1	STANDING SEAM METAL ROOFING - ZINC GREY
R2	STANDING SEAM METAL ROOFING - SHASTA WHITE
NOTE: ALL EXISTING & NEW MASONRY TO BE PAINTED	



02 WEST ELEVATION



01 SOUTH ELEVATION

At Home Store #263
Madison, Wisconsin

THIS DRAWING IS INTENDED FOR REVIEW ONLY AND MAY NOT BE USED FOR CONSTRUCTION OR BUILDING PERMIT.

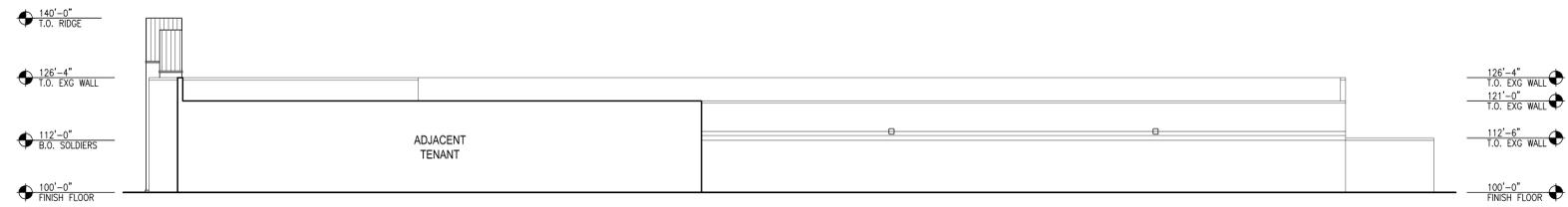
(AOR SEAL OR DISCLAIMER)
 04.11.19

DRAWING ISSUES:

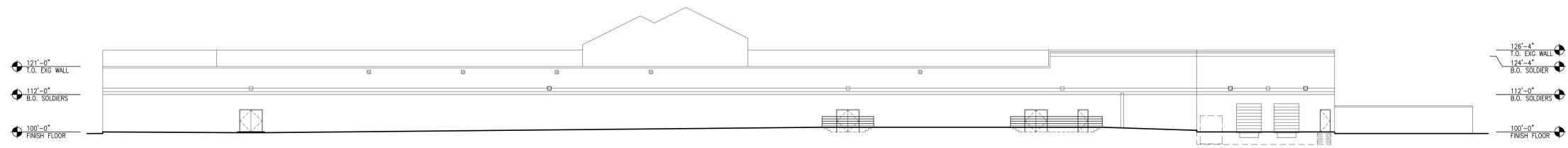
JOB NO: 19009

NEW EXTERIOR ELEVATIONS

A4.1



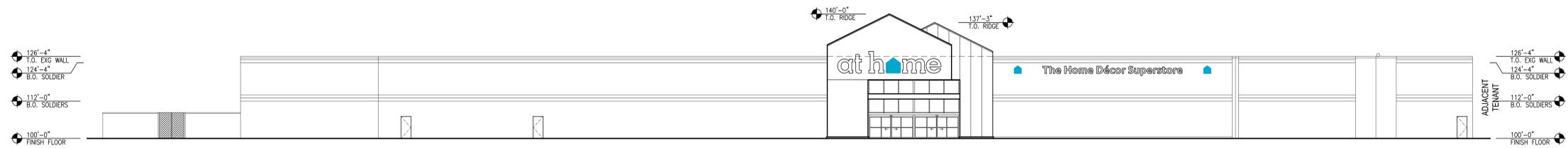
04 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



03 NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

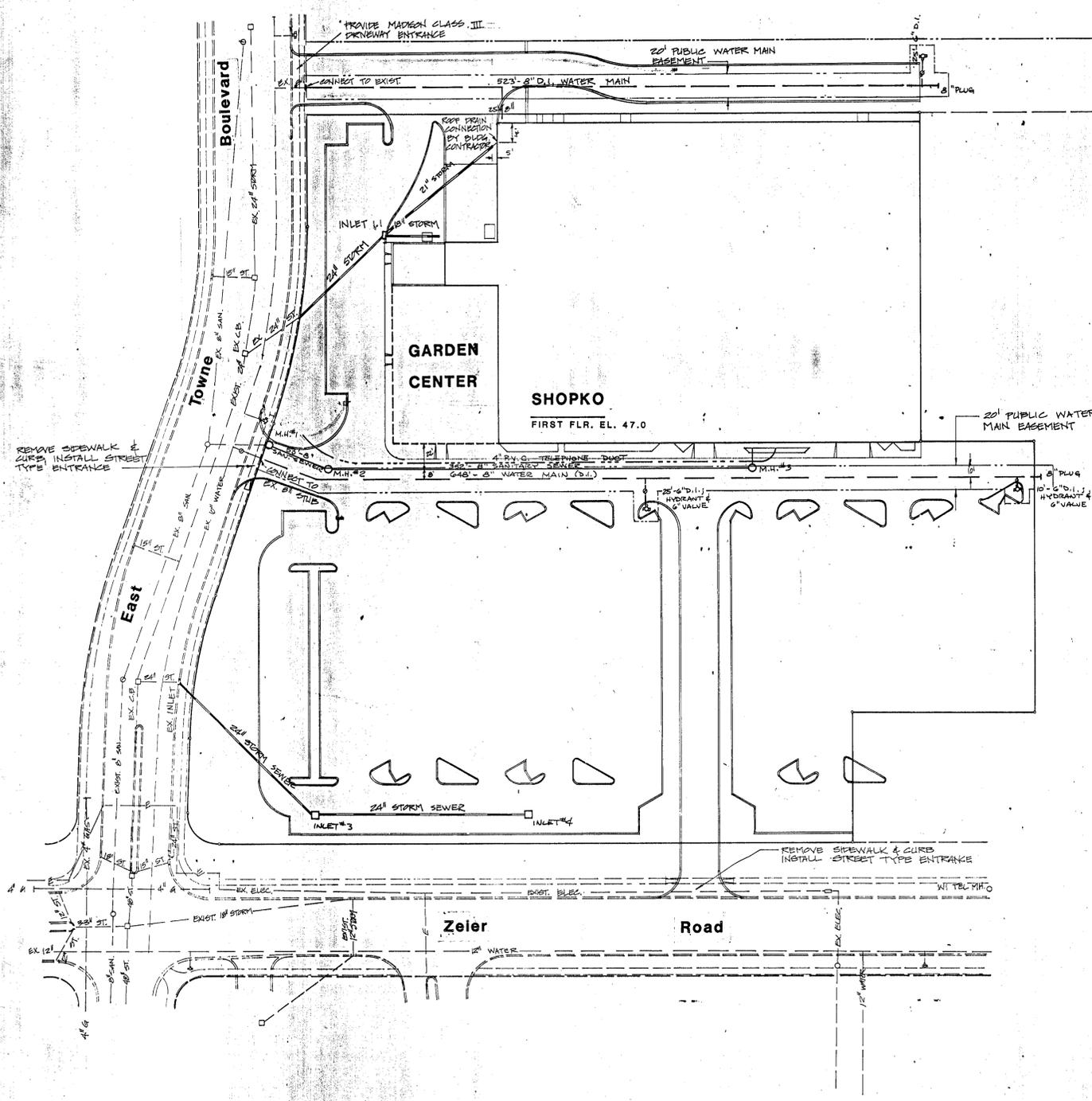


02 WEST ELEVATION
 SCALE: 1/16" = 1'-0"



01 SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"

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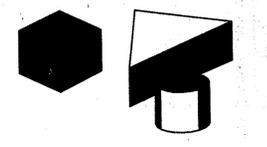


Scale: 1"=50'
 F.N. 87 05 116
 Date: 6-17-87
 Page 3 of 8

Shopko - Commercial Development
 UTILITY PLAN
 Located in the SW 1/4 & SE 1/4 of the NW 1/4 & the NW 1/4 &
 NE 1/4 of the SW 1/4 of Sec. 27, T8N, R10E,
 City of Madison, Dane County, Wisconsin

**D'ONOFRIO KOTTKE
 AND ASSOCIATES, INC.**
 7830 WESTWARD WAY
 MADISON, WISCONSIN 53717
 AREA CODE 608-833-7530

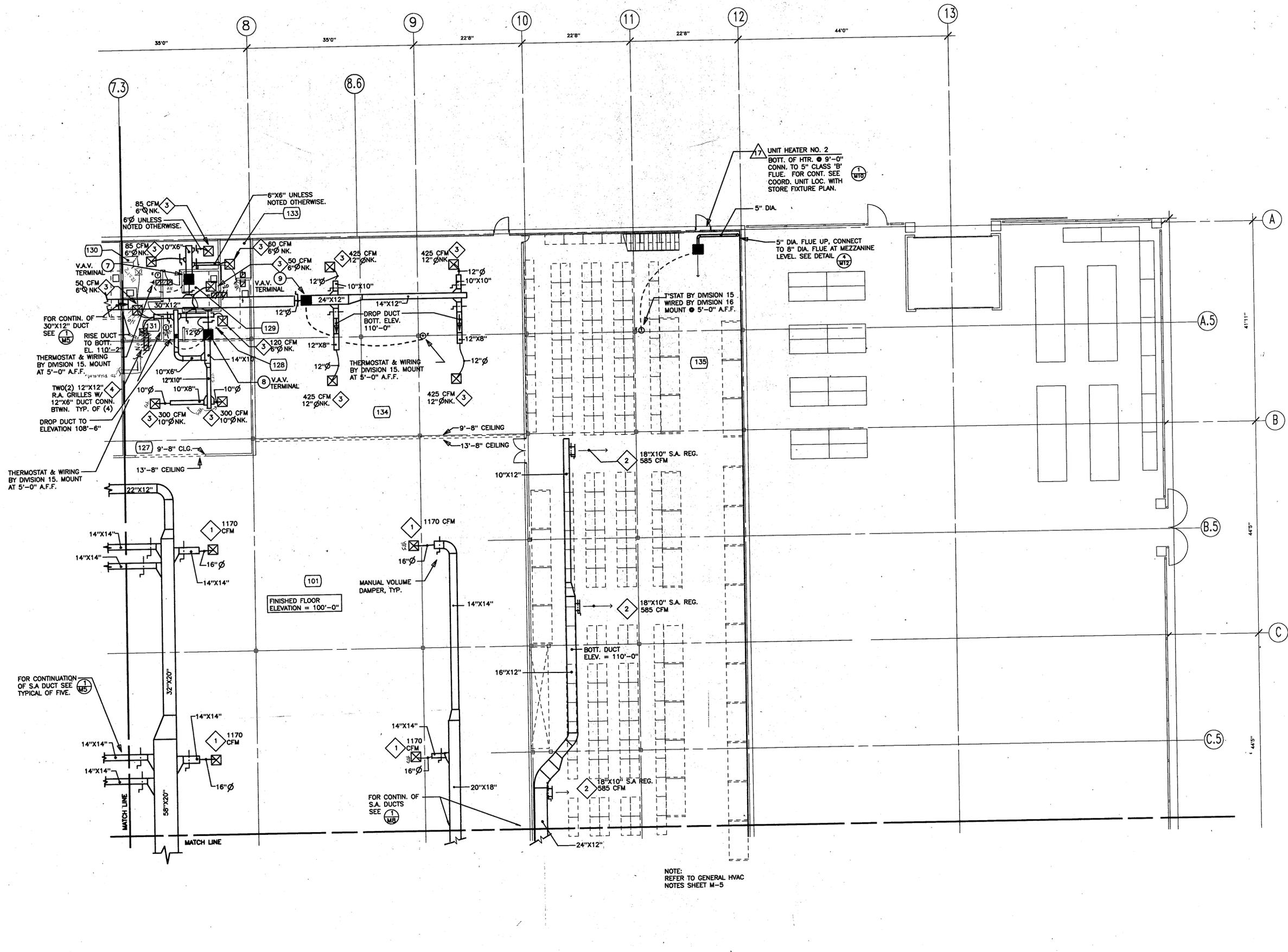
#20



I hereby certify that the design, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Wisconsin.
Date 7/16/87
Signed *[Signature]*

No.	Date	Revision Description

Project No. 87-30	Sheet
Date 7/16/87	M6
Drawn by MDW	of M14
Checked by SFR, EB	



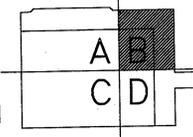
NOTE: REFER TO GENERAL HVAC NOTES SHEET M-5

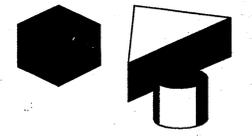
1 QUADRANT B HVAC PLAN
M6 SCALE: 1/8"=1'-0"

BACKGROUND MERCHANDISING PLOT-BID -ET
7/16/87



KEY PLAN





SHOPKO
STORE #
MADISON, WISCONSIN
PROTOTYPE P94

HVAC PLAN
QUAD "C"

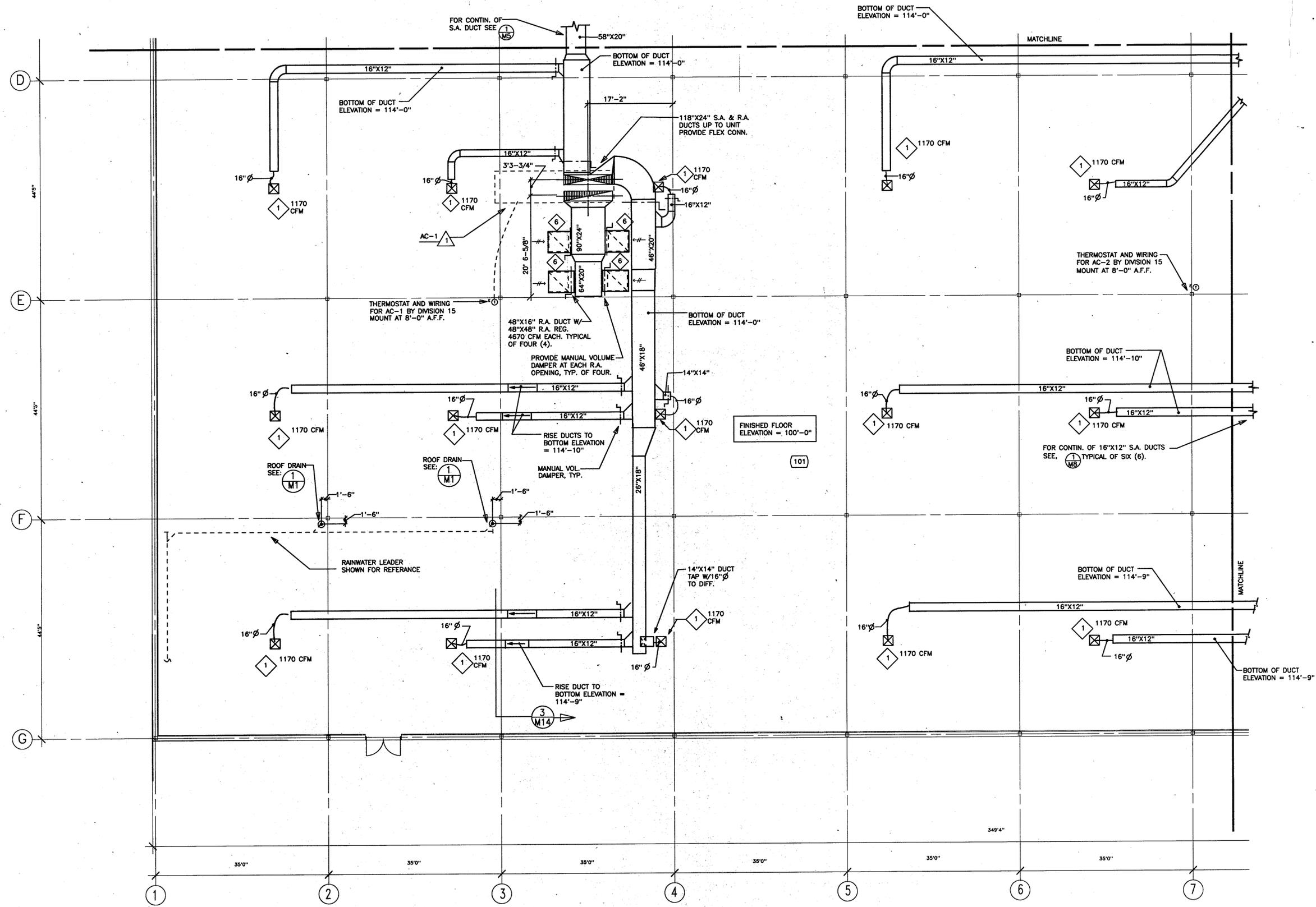
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly registered engineer under the laws of the State of Wisconsin.
E-18394
ST. JOSEPH, MO. FEBRUARY 18, 1954
Date 7/16/87

Signed *[Signature]*

No.	Date	Revision Description

JUL 21 1987

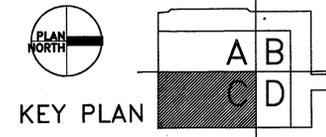
Project No. 87-30	Sheet
Date 7/16/87	M7
Drawn by MDW	
Checked by SFR, EB	of 14

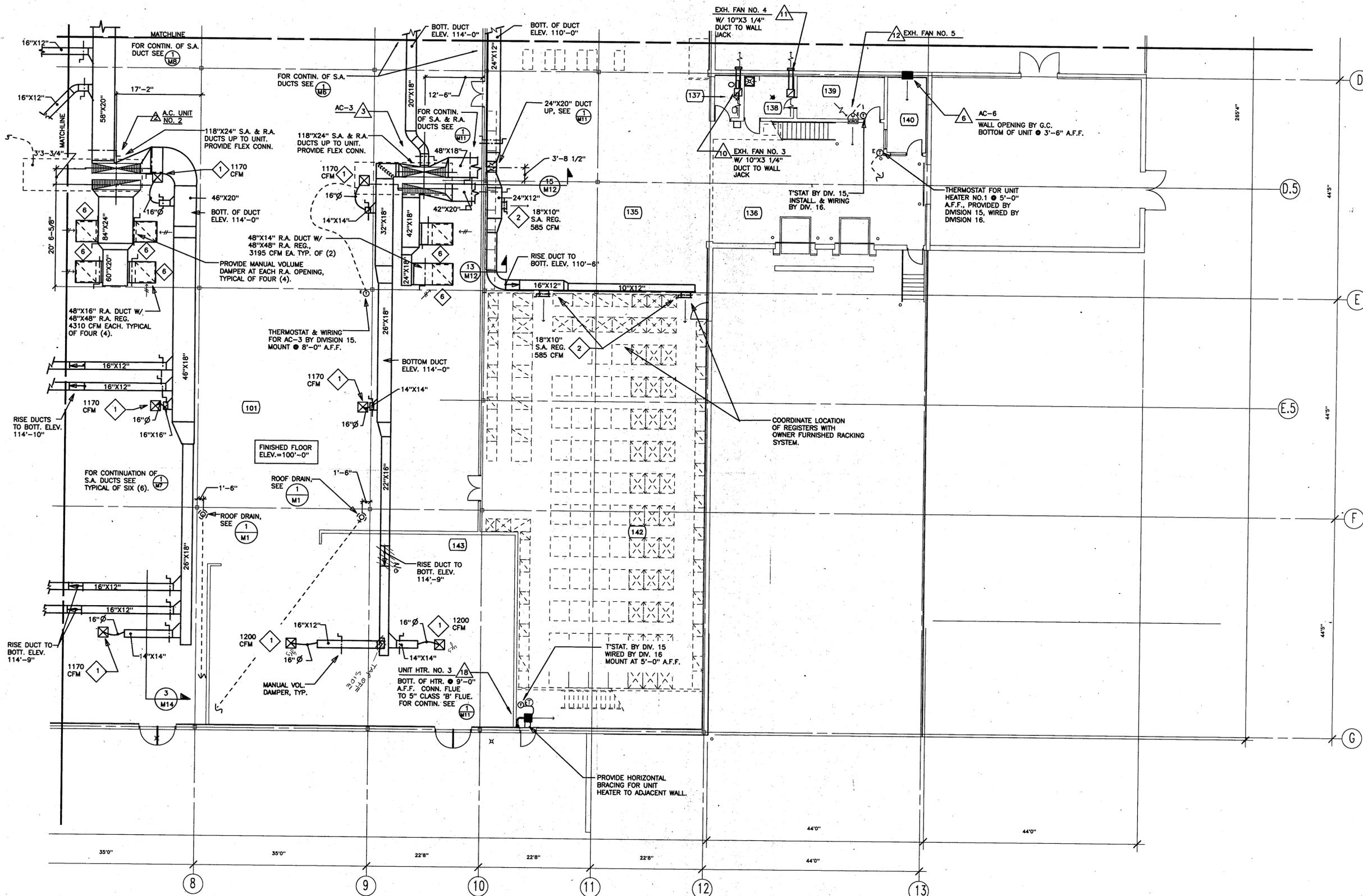
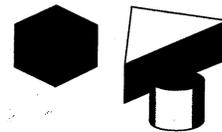


NOTE:
FOR GENERAL HVAC
NOTES SEE SHEET M-5

1
M7 **QUADRANT C HVAC PLAN**
SCALE: 1/8"=1'-0"

BACKGROUND MERCHANDISING PLOT-BID SET
7/28/87 7/16/87





NOTE:
FOR GENERAL HVAC
NOTES SEE SHEET M5

1
M8 QUADRANT D HVAC PLAN
SCALE: 1/8"=1'-0"

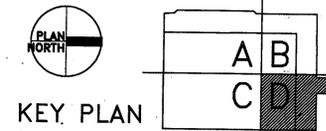
SHOPKO
STORE # 80
MADISON, WISCONSIN
PROTOTYPE P94

HVAC PLAN
QUAD "D"

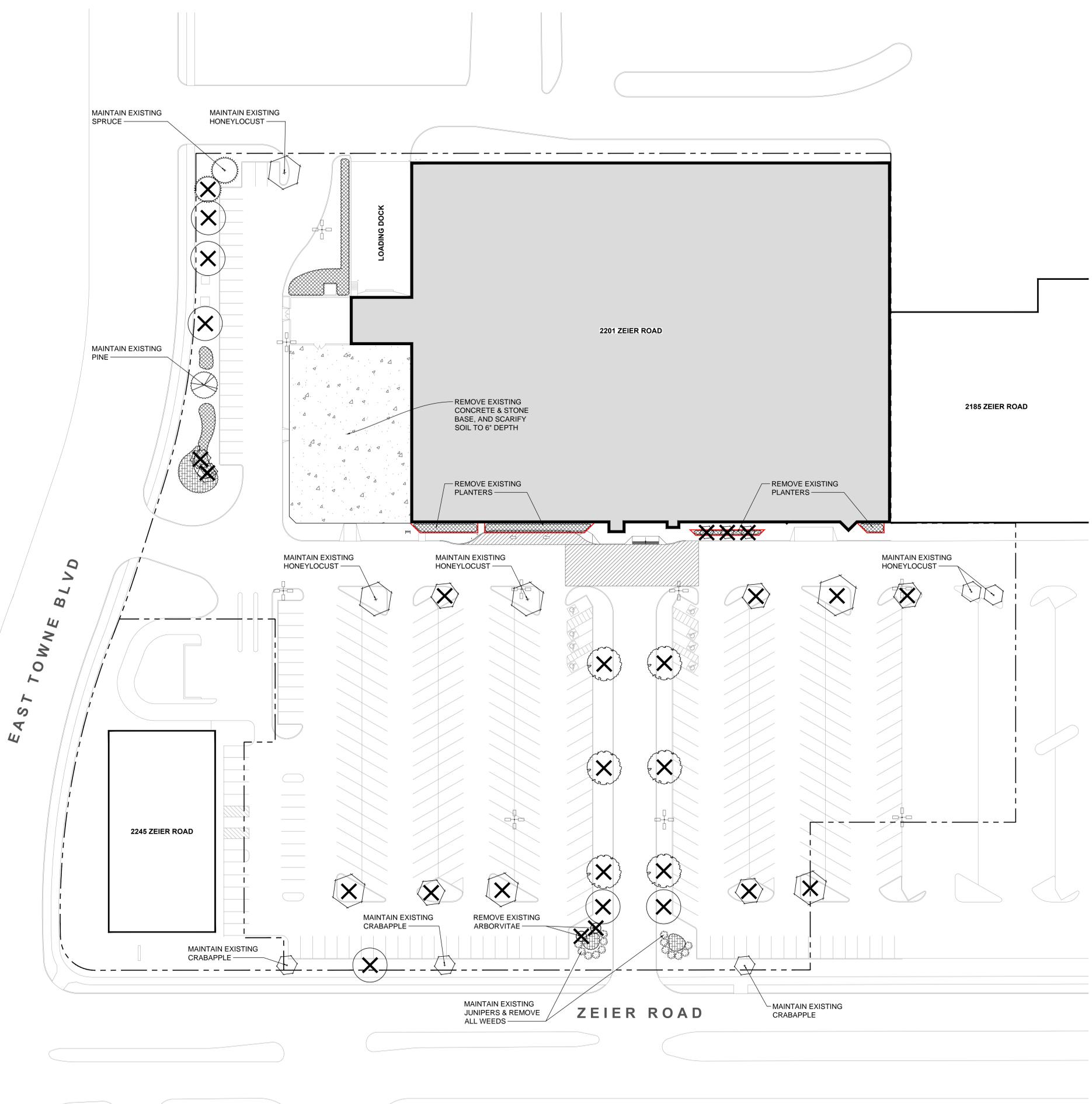
I hereby certify that the design, specification, or report was prepared by me or under my direct supervision, and I am a duly Registered Engineer under the laws of the State of Minnesota.
Date 7/16/87
Signed *[Signature]*

No.	Date	Revision Description

Project No. 87-30 Sheet
Date 7/16/87 M8
Drawn by MDW
Checked by SFR, EB of 14



BACKGROUND
7/8/87
PLOT-BID SET
7/16/87



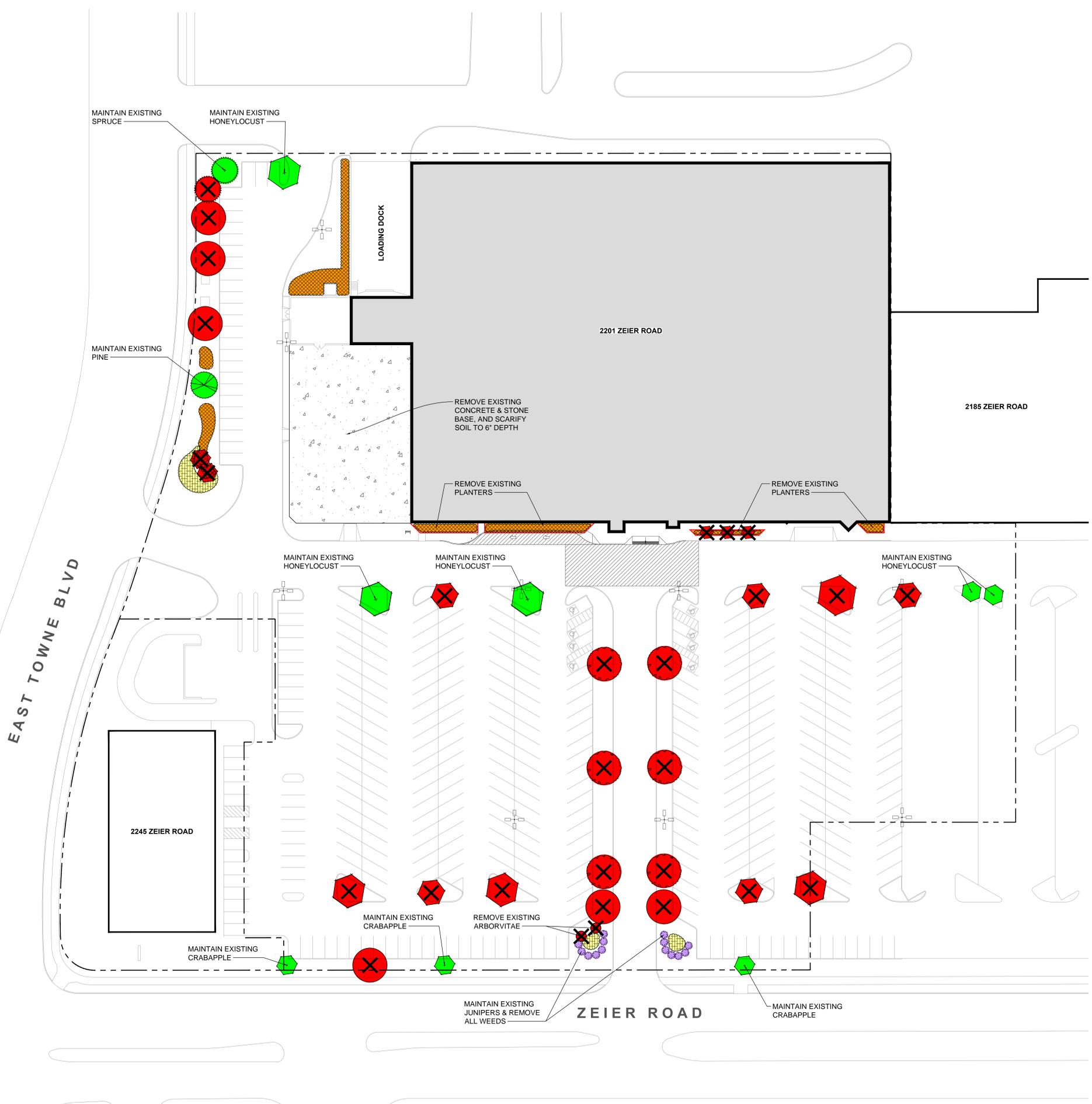
GROUND COVER LEGEND

- REMOVE EXISTING CONCRETE & STONE BASE
SCARIFY SOIL TO 6" DEPTH
- CLEAR, GRUB & REMOVE ALL EXISTING VEGETATION
- EXISTING SHRUBS TO REMAIN & BE REJUVENATION PRUNED
- CLEAR, GRUB & REMOVE ALL EXISTING TREE

LANDSCAPE PLAN NOTES

1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
4. LAWN AREAS & DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC, PER MANUFACTURER'S SPECIFICATIONS.
5. SHRUBS TO BE REJUVENATION PRUNED SHALL BE CUT BACK TO WITHIN 6" OF FINISH GRADE.
6. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO ELIMINATE ALL DEAD WOOD & CROSSING BRANCHES AND PROMOTE PROPER AIR & LIGHT PENETRATION.
7. EXISTING TREE CANOPIES THAT ENCRONCH ONTO PARKING SPACES OR DRIVE LANES SHALL BE LIMBED UP TO PROVIDE A 14' MIN CLEARANCE.
8. ALL TREE PRUNING SHALL BE CONDUCTED BY A CERTIFIED ARBORIST.
9. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.





GROUND COVER LEGEND

- REMOVE EXISTING CONCRETE & STONE BASE
SCARIFY SOIL TO 6" DEPTH
- CLEAR, GRUB & REMOVE ALL EXISTING VEGETATION
- EXISTING SHRUBS TO REMAIN & BE REJUVENATION PRUNED
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4. LAWN AREAS & DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC. PER MANUFACTURER'S SPECIFICATIONS.
5. SHRUBS TO BE REJUVINATION PRUNED SHALL BE CUT BACK TO WITHIN 6" OF FINISH GRADE.
6. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO ELIMINATE ALL DEAD WOOD & CROSSING BRANCHES AND PROMOTE PROPER AIR & LIGHT PENETRATION.
7. EXISTING TREE CANOPIES THAT ENCRONCH ONTO PARKING SPACES OR DRIVE LANES SHALL BE LIMBED UP TO PROVIDE A 14' MIN CLEARANCE.
8. ALL TREE PRUNING SHALL BE CONDUCTED BY A CERTIFIED ARBORIST.
9. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

Existing Plant Health Legend

- Healthy Appearance - needs pruning
- Diseased, dying, damaged, or severely mis-shaped
- Shrubs overgrown and/or over taken by undesirables
- Healthy appearance shrubs - rejuvenation needed
- Healthy appearance shrubs - weeds intermixed

