

# ALTA/NSPS LAND TITLE SURVEY

## CLIENT

Renner Architects

## SITE ADDRESS

3206 E. Washington Ave., City of Madison, Dane County, Wisconsin.

## LEGAL DESCRIPTION

PART OF OUTLOT 44 OF BURKE ASSESSORS' PLAT NO. 1, CITY OF MADISON, DANE COUNTY, WISCONSIN WHICH IS MORE FULLY DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST NORTHERLY CORNER OF SAID OUTLOT 44; THENCE SOUTH 43° 32' EAST, ALONG THE NORTHEAST LINE OF SAID OUTLOT 133.0 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 45° 30' WEST, 237.05 FEET TO THE EAST LINE OF NEWLY WIDENED MELVIN COURT; THENCE SOUTHEASTERLY ALONG SAID EAST LINE OF COURT ON A CURVE TO THE LEFT WHOSE RADIUS IS 66.52 FEET AND WHOSE LONG CHORD BEARS SOUTH 50° 25' 30" EAST FOR A DISTANCE OF 15.85 FEET; THENCE SOUTH 57° 16' EAST, ALONG NEW EAST LINE OF COURT, 81.45 FEET; THENCE EASTERLY ON A CURVE TO THE LEFT WHOSE RADIUS IS 25.0 FEET AND WHOSE LONG CHORD BEARS NORTH 83° 40' EAST FOR A DISTANCE OF 31.51 FEET TO THE NORTH LINE OF NEWLY WIDENED EAST WASHINGTON AVENUE; THENCE NORTH 44° 36' EAST, ALONG SAID NORTH LINE OF AVENUE, 190.80 FEET TO THE NORTHEAST LINE OF OUTLOT 44; THENCE NORTH 43° 32' WEST, ALONG SAID NORTHEAST LINE OF OUTLOT 111.85 FEET TO THE POINT OF BEGINNING.

## BASIS OF BEARINGS

Bearings are referenced to the Dane County Coordinate System.

## TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1090076-MAD, effective date of September 21, 2021 which lists the following easements and/or restrictions from schedule B-II:

1, 2, 3, 5 & 9 visible evidence shown, if any.

4, 6, 7, 8, 11 & 12 not survey related.

10. Utility Easement to Madison Gas and Electric Company, dated September 27, 1983, recorded/filed November 22, 1983 in Volume 5131, Page 71 as Document No. 1810352. Affects property by location, shown.

## VERTICAL DATUM

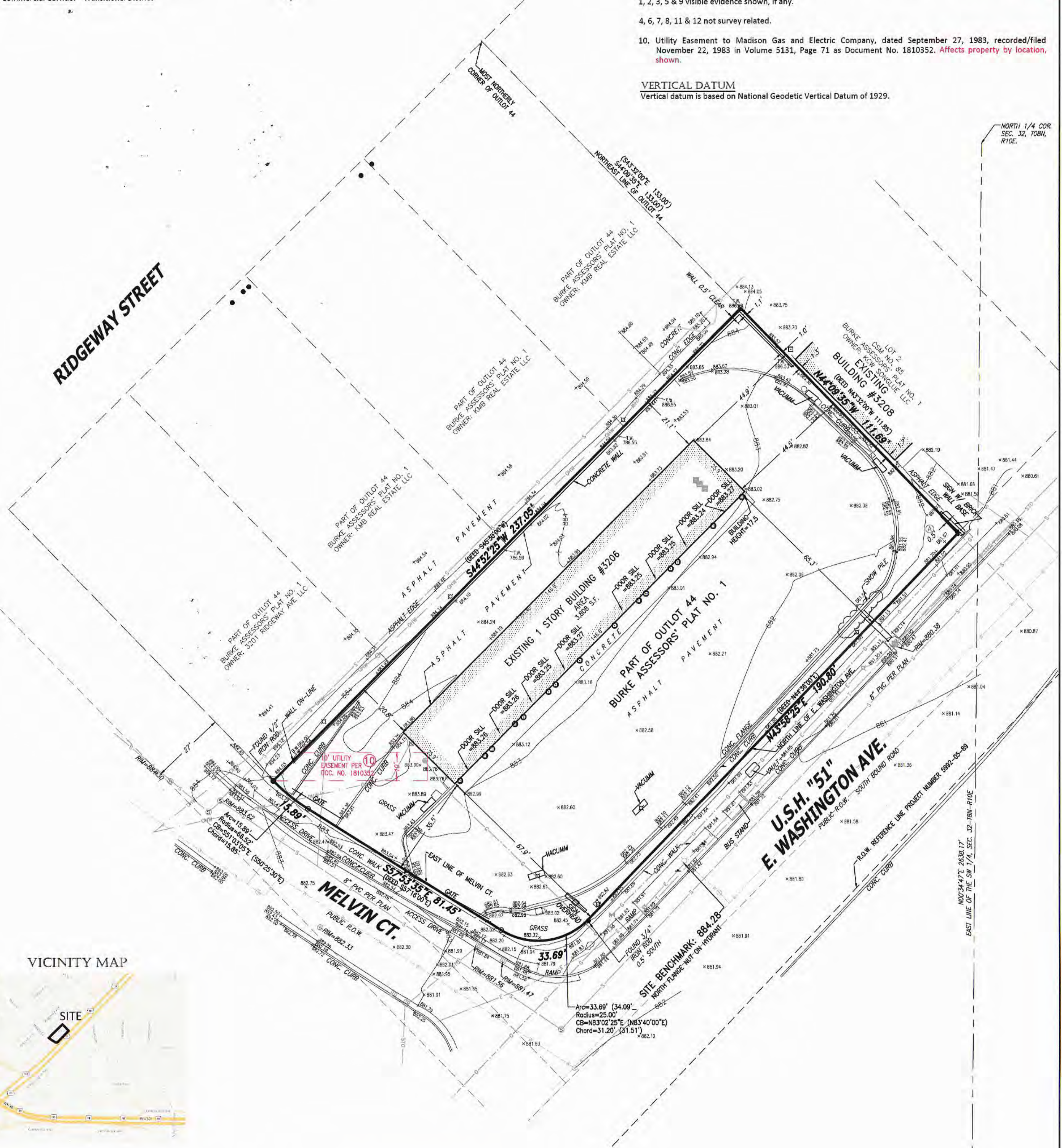
Vertical datum is based on National Geodetic Vertical Datum of 1929.

## TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Dane, Community Panel No. 55025C0427H, effective date of September 17, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
- The Land Area of the subject property is 25,522 square feet or 0.5859 acres.
- A zoning report has not been provided.
- There are no parking spaces marked on this site.
- No plans or reports provided by client.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20220203645. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- List the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements, if any. Identify the date and source of the zoning information.  
The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.  
Municipal Code: Sec. 28.067.  
Site is zoned: CC-T Commercial Corridor - Transitional District

FRONT YARD SETBACK	0' OR 5' 0' IF THE DISTANCE BETWEEN THE CURB AND PROPERTY LINE IS EQUAL TO OR GREATER THAN 15'. A NO-BUILD EASEMENT MAY BE USED TO ACHIEVE THE 15' DISTANCE. 5' IF THE DISTANCE BETWEEN THE CURB AND PROPERTY LINE IS LESS THAN 15'.
SIDE YARD SETBACK	0' OR 5' 0' IF THE DISTANCE BETWEEN THE CURB AND PROPERTY LINE IS EQUAL TO OR GREATER THAN 15' OR SHOWN ON THE SETBACK EXCEPTIONS MAP. A NO-BUILD EASEMENT MAY BE USED TO ACHIEVE THE 15' DISTANCE. 5' IF THE DISTANCE BETWEEN THE CURB AND PROPERTY LINE IS LESS THAN 15'.
SIDE YARD SETBACK: WHERE BUILDINGS ABUT RESIDENTIALLY-ZONED LOTS AT SIDE LOT LINE	MINIMUM SIDE YARD REQUIRED IN THE ADJACENT RESIDENTIAL DISTRICT
MAXIMUM HEIGHT	5 STORIES/78

CHAPUT LAND SURVEYS



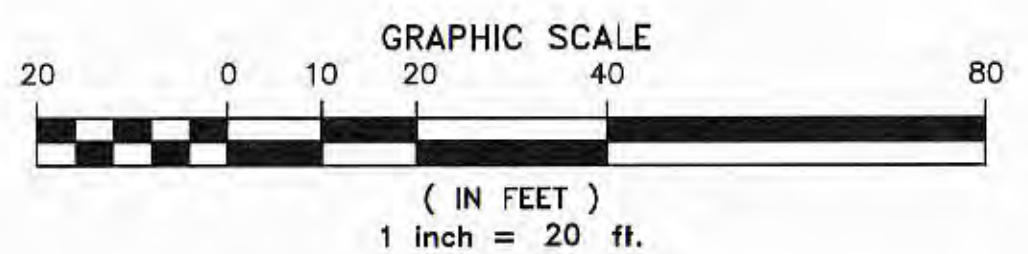
### VICINITY MAP



### LEGEND

- |                                  |                               |
|----------------------------------|-------------------------------|
| ● INDICATES FOUND 1" IRON PIPE   | □ TELEPHONE PEDESTAL          |
| ○ INDICATES SET 1" IRON PIPE     | □ CABLE PEDESTAL              |
| + INDICATES FOUND CHISELED CROSS | □ CONTROL BOX                 |
| ○ SANITARY MANHOLE               | □ FIBER OPTIC PEDESTAL/SIGN   |
| ○ SANITARY CLEANOUT OR VENT      | □ TRAFFIC LIGHT               |
| ○ SEPTIC TANK ACCESS COVER       | ○ COMMUNICATION MANHOLE       |
| ○ M.I.S. MANHOLE                 | ○ BOLLARD                     |
| ○ UNKNOWN MANHOLE                | ○ SOIL BORING/MONITORING WELL |
| ○ STORM MANHOLE                  | ○ WATER SURFACE               |
| ○ INLET (ROUND)                  | ○ WETLANDS FLAG               |
| ○ INLET (SQUARE)                 | ○ MARSH                       |
| □ CURB INLET                     | ○ FLAGPOLE                    |
| ○ STORM SEWER END SECTION        | ○ PARKING METER               |
| ○ GAS VALVE                      | ○ SIGN                        |
| ○ WATER VALVE                    | ○ MAILBOX                     |
| ○ HYDRANT                        | ○ RAILROAD CROSSING SIGNAL    |
| ○ WATER MANHOLE                  | ○ HANDICAP SPACE              |
| ○ WATER SERVICE CURB STOP        | ○ CONFEROUS TREE              |
| ○ WELL HEAD                      | ○ DECIDUOUS TREE              |
| ○ STAND PIPE                     | ○ SANITARY SEWER              |
| ○ WALL INDICATOR VALVE           | ○ STORM SEWER                 |
| ○ POST INDICATOR VALVE           | ○ WATERLINE                   |
| ○ LIGHT POLE                     | ○ MARKED GAS MAIN             |
| ○ SPOT/YARD LIGHT                | ○ MARKED ELECTRIC             |
| ○ UTILITY POLE                   | ○ OVERHEAD WIRES              |
| ○ GUY POLE                       | ○ MARKED TELEPHONE            |
| ○ GUY WIRE                       | ○ MARKED CABLE TV LINE        |
| ○ ELECTRIC MANHOLE               | ○ MARKED FIBER OPTIC          |
| ○ ELECTRIC PEDESTAL              | ○ BURIED ELECTRIC SERVICE     |
| ○ ELECTRIC METER                 | ○ BOARD FENCE                 |
| ○ TELEPHONE MANHOLE              | ○ CHAIN LINK FENCE            |
|                                  | ○ WIRE FENCE                  |

A SIGN BASE ENCRACHES ON PROPERTY LINE



TO: Lakhbir Singh  
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a)(b), 19, 20(a), 20(b) of Table A thereof. The field work was completed on February 10, 2022.

Date of Map: February 14, 2022



Donald C. Chaput  
Professional Land Surveyor  
Registration Number 5-1316

**CHAPUT**  
LAND SURVEYS

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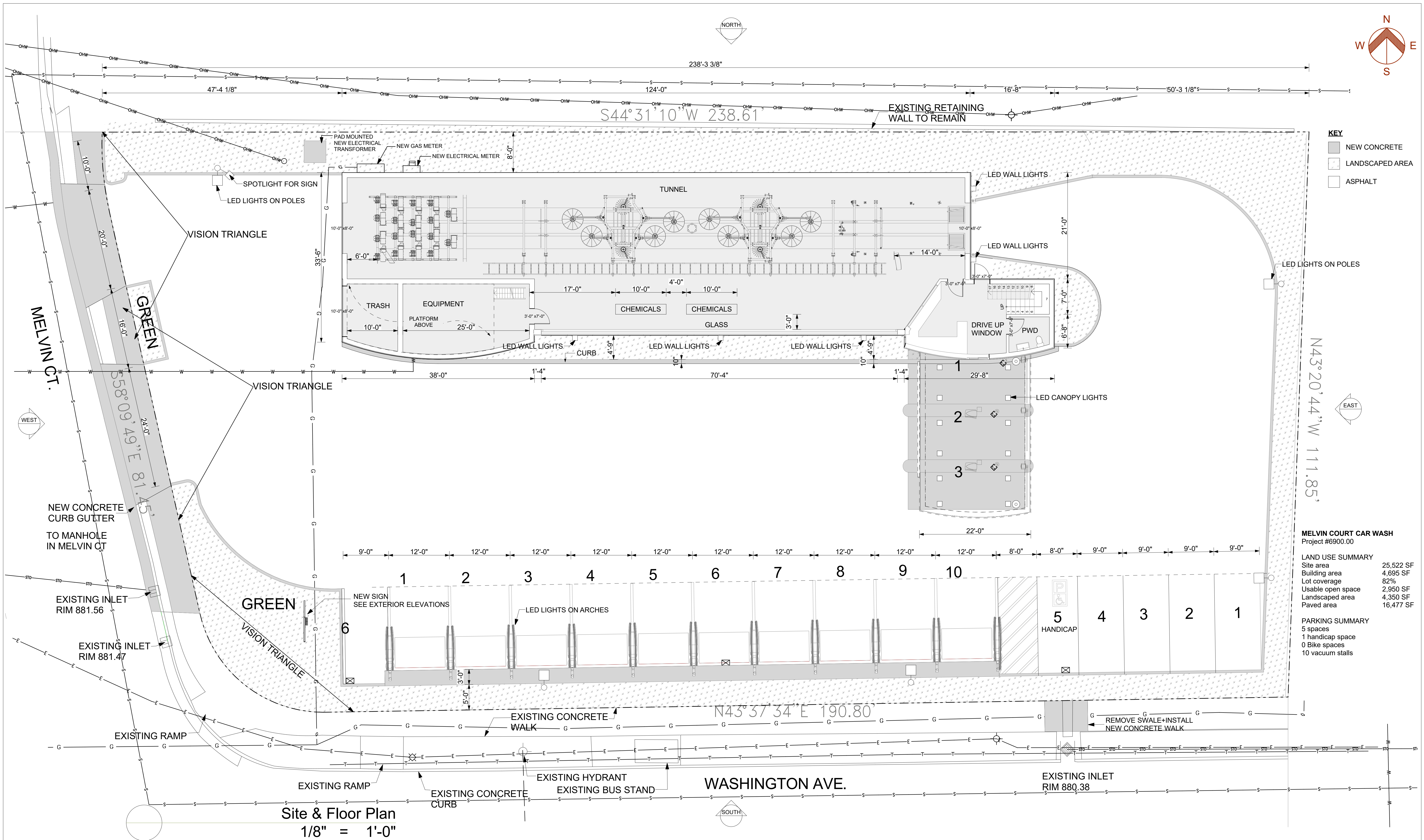
Date	Revision description

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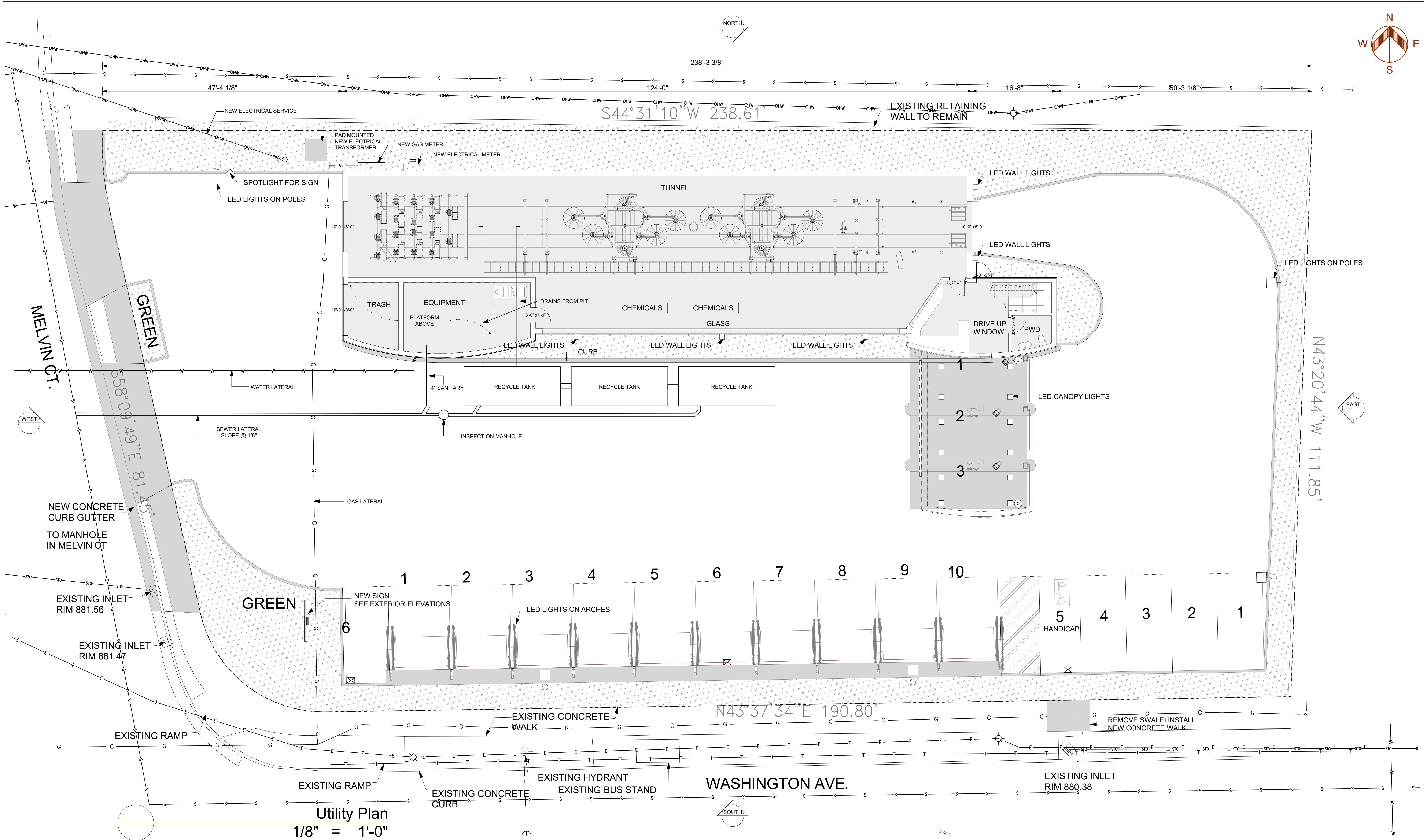
Drawing No. 20220214LT4019-far

Survey 5Y















**SITE INFORMATION**

USDA PLANT HARDNESS ZONE	5a (-20 to -15 Degrees F)	DESIGN COMPLIANCE:
LOT ZONING	CC-T - COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT	THIS LANDSCAPE PLAN IS ACCURATE AND IN COPLAINACE WITH THE CITY OF MADISON 28.142 - LANDSCAPING AND SCREENING REQUIREMENTS.
TOTAL LOT AREA	25,522 SQ. FT. (0.59 Acres)	(3) LANDSCAPE PLAN AND DESIGN STANDARDS,
SITE BUILDING AREA	4,695 SQ. FT. (0.11 Acres)	(4) LANDSCAPE CALCULATIONS AND DISTRIBUTION,
LOT DEVELOPED AREA	20,827 SQ. FT. (0.48 Acres)	(5) DEVELOPMENT FRONTAGE LANDSCAPING,
TOTAL IMPERVIOUS AREA	21,172 SQ. FT. (0.49 Acres)	(6) INTERIOR PARKING LOT LANDSCAPING,
TOTAL LOT GREENSPACE	4,350 SQ. FT. (0.10 Acres)	(7) FOUNDATION PLANTINGS
SITE LANDSCAPE PERCENTAGE	17.0%	
TOTAL PARKING STALLS	6 STALLS	
	10 VACUUM STALLS	

LANDSCAPE CALCULATIONS AND DISTRIBUTION  
 DEVELOPED AREA IS DEFINED AS THAT AREA WITHIN A SINGLE CONTIGUOUS BOUNDARY EXCLUDING THE AREA OF ANY BUILDING FOOTPRINT AT GRADE  
 TOTAL LOT AREA 25,522 SQ. FT - SITE BUILDING AREA 4,695 SQ. FT. = TOTAL DEVELOPED AREA 20,827 SQ. FT.  
 (A) FOR THE CC-T DISTRICTS, FIVE (5) POINT SHALL BE PROVIDED PER THREE HUNDRED (300) SQUARE FEET OF DEVELOPED AREA  
 (20,827 / 300) X 5 = 347.1 LANDSCAPE POINTS REQUIRED  
 752 LANDSCAPE POINTS ARE PROVIDED ALONG  
 \*TREES MUST BE WITHIN DEVELOPED AREA AND CANNOT COMPRISE MORE THAN 40% (30%) OF TOTAL REQUIRED POINTS

28.142(5) DEVELOPMENT FRONTAGE LANDSCAPING  
 (A) ONE (1) OVERSTORY DECIDUOUS TREE AND SIX (6) SHRUBS SHALL BE PLANTED FOR EACH THIRTY (30) LINEAL FEET OF LOT FRONTAGE  
 (2) ORNAMENTAL TREES OR (1) TALL EVERGREEN TREE CAN BE SUBSTITUTED FOR (1) OVERSTORY DECIDUOUS TREE  
 TOTAL STREET FRONTAGE = 322 LINEAL FEET OF LOT FRONTAGE THEREFORE:  
 (11) OVERSTORY DECIDUOUS TREES ARE REQUIRED 11 TOTAL - NEW OVERSTORY DECIDUOUS TREES ARE PROVIDED

(65) SHRUBS ARE REQUIRED: 65 TOTAL - NEW BROADLEAF DECIDUOUS AND CONIFEROUS EVERGREEN SHRUBS ARE PROVIDED

STREET FRONTAGE LANDSCAPE POINTS  
 667 LANDSCAPE POINTS ARE PROVIDED

1,419 TOTAL PROJECT LANDSCAPE POINTS ARE PROVIDED

(6) INTERIOR PARKING LOT LANDSCAPING - ALL PARKING LOTS WITH TWENTY (20) OR MORE PARKING SPACES SHALL BE LANDSCAPED IN ACCORDANCE WITH THE FOLLOWING INTERIOR PARKING LOT STANDARDS  
 ONE (1) DECIDUOUS CANOPY TREE FOR EVERY ONE HUNDRED SIXTY (160) SQUARE FEET OF REQUIRED LANDSCAPED AREA. NONE REQUIRED

(7) FOUNDATION PLANTINGS  
 FOUNDATION PLANTINGS SHALL BE INSTALLED ALONG BUILDING FACADES. EXCEPT WHERE BUILDING FACADES DIRECTLY ABUT THE SIDEWALK, PLAZA, OR OTHER HARDSCAPE FEATURES. FOUNDATION PLANTINGS SHALL CONSIST PRIMARILY OF SHRUBS, PERENNIALS, AND NATIVE GRASSES.

(8) SCREENING ALONG DISTRICT BOUNDARIES  
 SCREENING SHALL CONSIST OF A SOLID WALL, SOLID FENCE, OR HEDGE WITH YEAR-ROUND FOLIAGE, BETWEEN SIX (6) AND EIGHT (8) FEET IN HEIGHT, EXCEPT THAT WITHIN THE FRONT YARD SETBACK AREA.

**CONTRACTOR NOTE:** THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR IS/ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND 'SIGN OFF' WITH THE CITY OF MADISON. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE CITY OF MADISON.

**LANDSCAPE POINTS TABLE**

PLANT TYPE	POINTS	MINIMUM SIZE AT INSTALLATION
OVERSTORY DECIDUOUS TREE	35	2 1/2 INCH CALIPER MEASURED DIAMETER AT BREAST HEIGHT (DBH) MINIMUM 12'-14' HGT. 5-6 FEET TALL
TALL EVERGREEN TREE (I.E. PINE, SPRUCE)	35	
ORNAMENTAL TREE	15	1 1/2 INCH CALIPER
UPRIGHT EVERGREEN SHRUB (I.E. ARBORVITAE)	10	3-4 FEET TALL
SHRUB, DECIDUOUS	3	#3 GALLON CONTAINER SIZE
SHRUB, EVERGREEN MIN. 12"-24"	4	#3 GALLON CONTAINER SIZE
ORNAMENTAL GRASSES/PERENNIALS	2	#1 GALLON CONTAINER SIZE MIN. 8"-18"
ORNAMENTAL/DECORATIVE FENCING OR WALL	4 PER 10 LN. FT.	N/A
EXISTING SIGNIFICANT SPECIMEN TREE MAXIMUM POINTS PER TREE: 200	14/CALIPER INCH DBH	MINIMUM SIZE: 2 1/2 INCH CALIPER DBH *TREES MUST BE WITHIN DEVELOPED AREA AND CANNOT COMPRISE MORE THAN 40% (30%) OF TOTAL REQUIRED POINTS
LANDSCAPE FURNITURE FOR PUBLIC SEATING AND/OR TRANSIT CONNECTIONS	5 POINTS / "SEAT"	*FURNITURE BE WITHIN DEVELOPED AREA, PUBLICALLY ACCESSIBLE, AND CANNOT COMPRISE MORE THAN 5% OF TOTAL REQUIRED POINTS

**EXISTING CONDITIONS GENERAL NOTES**

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

**LANDSCAPE PLAN GENERAL NOTES**

- PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.
- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
  - ALL PLANTINGS SPECIFIED FOR THE MELVIN COURT CARWASH PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
  - ALL DEVIATIONS FROM THE APPROVED MELVIN COURT CARWASH PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
  - ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
  - PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
  - ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
  - CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
  - QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
  - CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
  - WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
  - ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
  - GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
  - ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
  - FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
  - ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.  
**PER EVERY 100 SQUARE FEET ADD:** ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
  - ALL SHRUBS TO BE POKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
  - PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
  - ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
  - PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
  - ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
  - WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
  - LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
  - DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**  
 20% KENTUCKY BLUE GRASS  
 15% NEWPORT KENTUCKY BLUE GRASS  
 15% SR 2100 Kentucky Bluegrass  
 25% Creeping Red Fescue  
 15% Replicator Perennial Ryegrass  
 10% Fiesta 4 Perennial Ryegrass  
 APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
  - DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.  
**MAINTENANCE NOTE:**  
 MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
    - NECESSARY IRRIGATION (IF REQUIRED)
    - INTEGRATED PEST MANAGEMENT,
    - PROPER FERTILIZATION
    - TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
    - REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
    - WEED MANAGEMENT AND BED CARE.
  - ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECIEVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECIEVE AN APPLIATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
  - MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN, PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
  - LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.	TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800)-242-8511, (262) 432-7910 (877) 500-8592 www.Digger hotline.com OR	 <p><b>811</b> Know what's below. Call before you dig.</p>	TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE. (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)
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**INSITE**  
LANDSCAPE DESIGN

Landscape Consulting  
 & Master Planning Design Services

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 Wauwatosa, WI 53226  
 Tel (414) 476-1204  
 www.insitedesigninc.com  
 mdavis@insitedesigninc.com

Project:

## MELVIN COURT CARWASH

3206 E. Washington Avenue  
 Madison, WI 53704

**Issuance and Revisions:**

Date	Number	Description
08/08/22		Plan Commission Submittal

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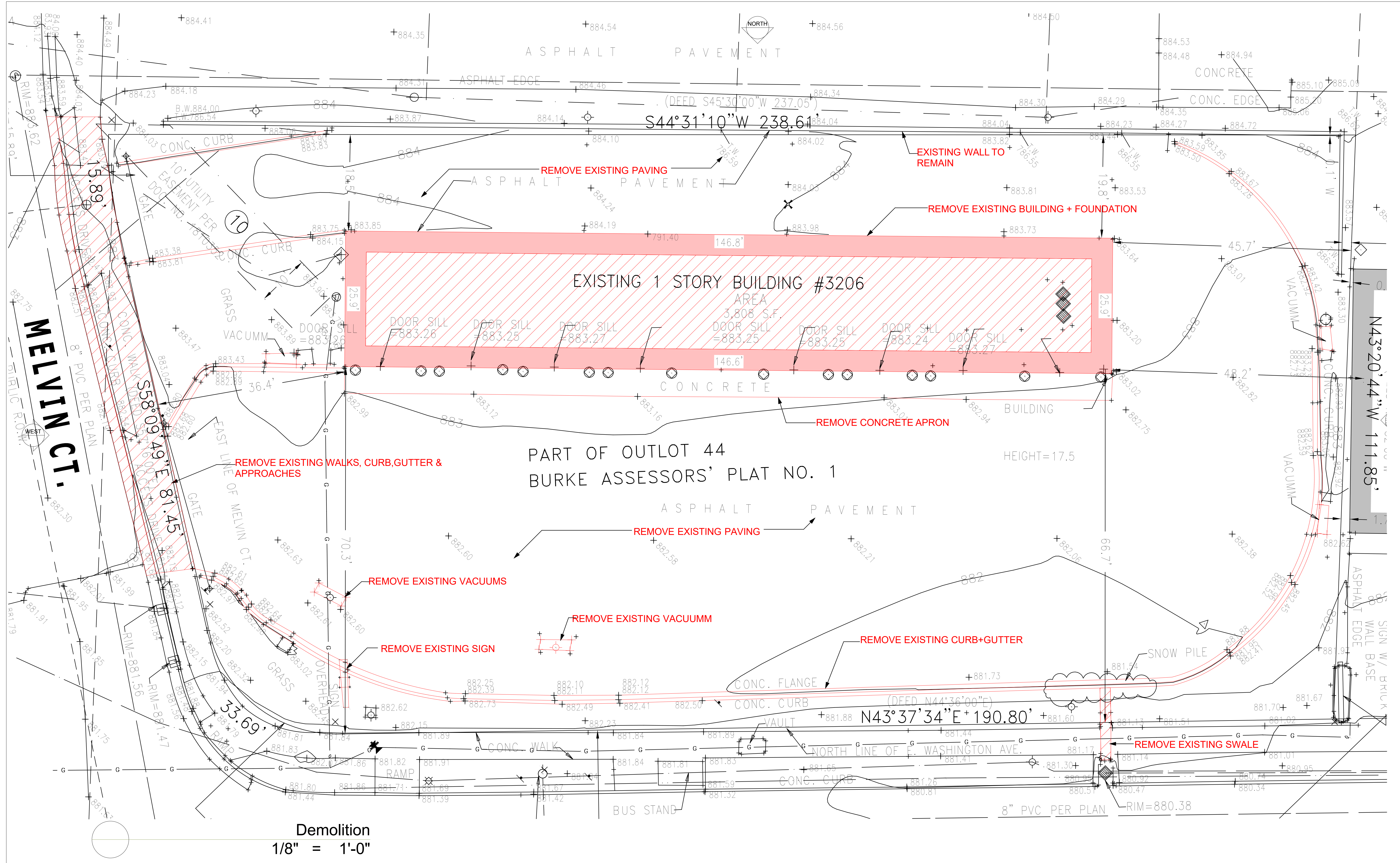
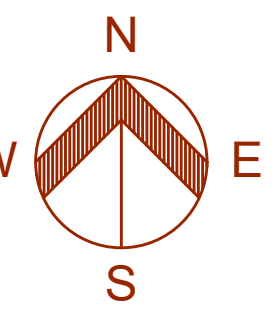
Sheet Title:  
 PROPOSED LANDSCAPE PLAN GENERAL NOTES, AND PLAN REQUIREMENT INFORMATION

Date of Drawing: 08/08/22  
 Scale: NONE  
 Drawn By: MCD  
 Job Number: L22-059  
 Sheet Number:

# LSP1.0

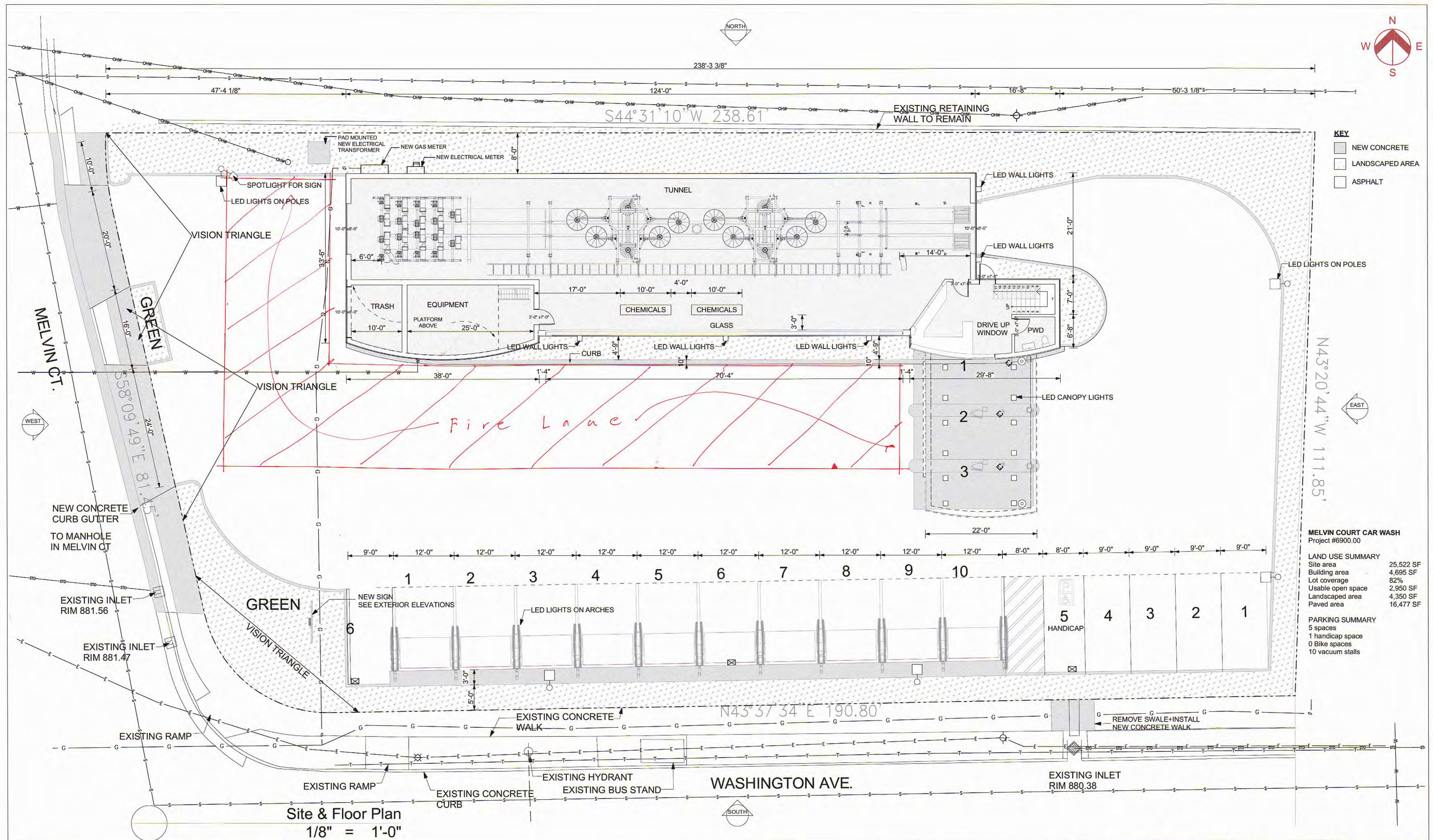
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Demolition  
1/8" = 1'-0"





**RENNER**  
architects

Renner Architects - 414.273.6637 - kerry@rennerarchitects.com

# Melvin Ct Car Wash

1/8" = 1'-0"

SHEET FL

Date: 05 August 2022



Project:

**MELVIN COURT  
CARWASH**

3206 E. Washington Avenue  
Madison, WI 53704

Issuance and Revisions:

Date	Number	Description
08/08/22		Plan Commission Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN,  
GENERAL NOTES,  
AND PLANT MATERIAL TABLE

Date of Drawing: 08/08/22

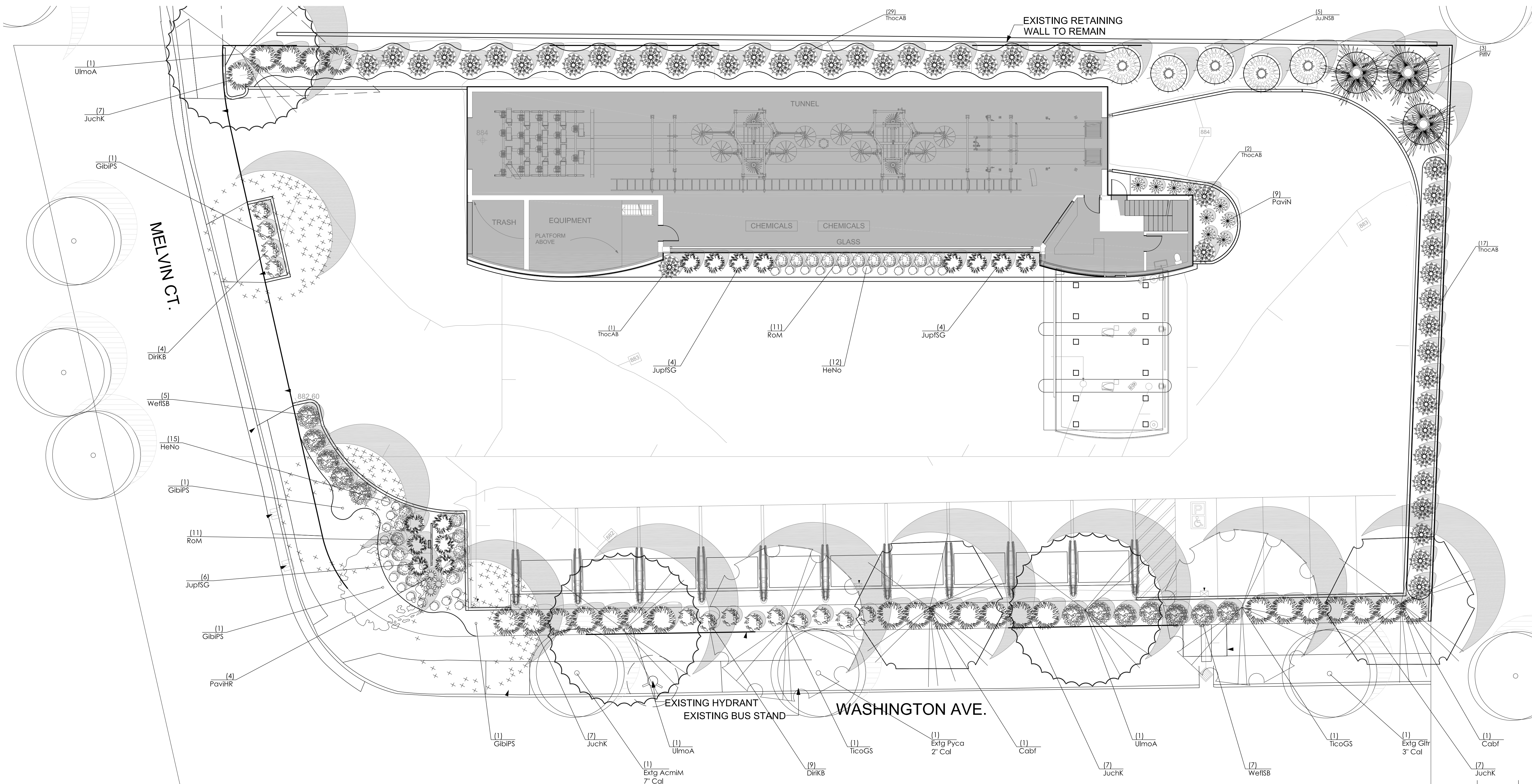
Scale: 1" = 10'-0"

Drawn By: MCD

Job Number: L22-059

Sheet Number:

**LSP1.1**



**1 PROPOSED LANDSCAPE PLAN**

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
<b>Broadleaf Deciduous Tree</b>						
2	Cabf	☼	<i>Carpinus betulus</i> 'Fastigiata'	Pyramidal EuropeanHornbeam	2 1/2'-Cal - B&B	1
3	GibiPS	☼	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2'-Cal - B&B	1, 7
1	PycaCS	☼	<i>Pyrus callerana</i> 'Cleveland Select'	Cleveland Select Calery Pear	2 1/2'-Cal - B&B	1
2	TicoGS	☼	<i>Tilia cordata</i> 'Green Spire'	Green Spire Linden	2 1/2'-Cal - B&B	1
3	UlmoA	☼	<i>Ulmus</i> 'Morton' 'Accolade'	Accolade Elm	2 1/2'-Cal - B&B	1
-	Extg	☼	Existing to Remain	Existing to Remain	Existing	2
<b>Broadleaf Deciduous Shrub</b>						
13	DinkB	☼	<i>Diervilla rivularis</i> 'SMNDRSF'	Kodiak Black Diervilla	18" - Cont	5
22	RoM	☼	<i>Rosa</i> 'Meimirof'	Apricot Drift Groundcover Rose	18" - Cont	5
12	WeftSB	☼	<i>Weigela florida</i> 'Bokrasopin'	Sonic Bloom Pink Reblooming Weigela	18" - 24" - Cont	5

Comments

- Straight central leader, full & even crown. Prune only after planting.
- Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and visibility for both pedestrians and motorists.
- Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil and sow turf grass seed as required.
- Evenly shaped upright tree/shrub with full branching to the ground.
- Full, well rooted plant, evenly shaped.
- Full, well rooted plant.
- Male only

Conifer Evergreen Tree

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	PfivV	☼	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	6' - B&B	4
<b>Conifer Evergreen Shrub</b>						
5	JuJNSB	☼	<i>Juniperus</i> 'J.N. Select Blue'	Star Power Juniper	3' - 4' - B&B	4
28	JuchK	☼	<i>Juniperus chinensis</i> 'Kalay's Compact'	Kalay's Compact Juniper	18" - 24" - B&B	5
14	JupfSG	☼	<i>Juniperus x pfitzeriana</i> 'MonSan'	Sea of Gold Juniper	18" - 24" - B&B	5
49	ThocAB	☼	<i>Thuja occidentalis</i> 'Art Boe'	North Pole Arborvitae	3' - 4' - B&B	4

Perennial Grass

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
4	PavfHR	☼	<i>Panicum virgatum</i> 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	6
9	PavfN	☼	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1-Gal - Cont	6

Perennial

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
27	HeNo	☼	<i>Hemerocallis</i> x 'Nosteratu'	Trophytaker Nosteratu Daylily	1-Gal - Cont	6

Existing Right of Way Street Tree Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Existing Size	Comments
1	AcmiM	☼	Existing <i>Acer miyabei</i> 'Morton'	Existing State Street Miyabe Maple	7"-Cal - B&B	
1	Clfr	☼	Existing <i>Gleditsia triacanthos</i>	Existing Honeylocust	3"-Cal - B&B	
1	Pyca	☼	Existing <i>Pyrus callerana</i>	Existing Calery Pear	2"-Cal - B&B	

**EXISTING TREE REMOVAL NOTE:**  
ANY AND ALL EXISTING TREE REMOVAL MUST BE COMMUNICATED AND COORDINATED WITH THE CITY OF MADISON FORESTRY DEPARTMENT PRIOR TO THE PROJECT PLAN COMMISSION MEETING. IN THE EVENT THERE IS A NEED FOR ANY EXISTING TREES TO BE REMOVED, IT IS TO BE COORDINATED WITH FORESTRY AND SEPARATE COMMENTS MUST BE PROVIDED PRIOR TO ISSUING A STREET TREE REMOVAL PERMIT.

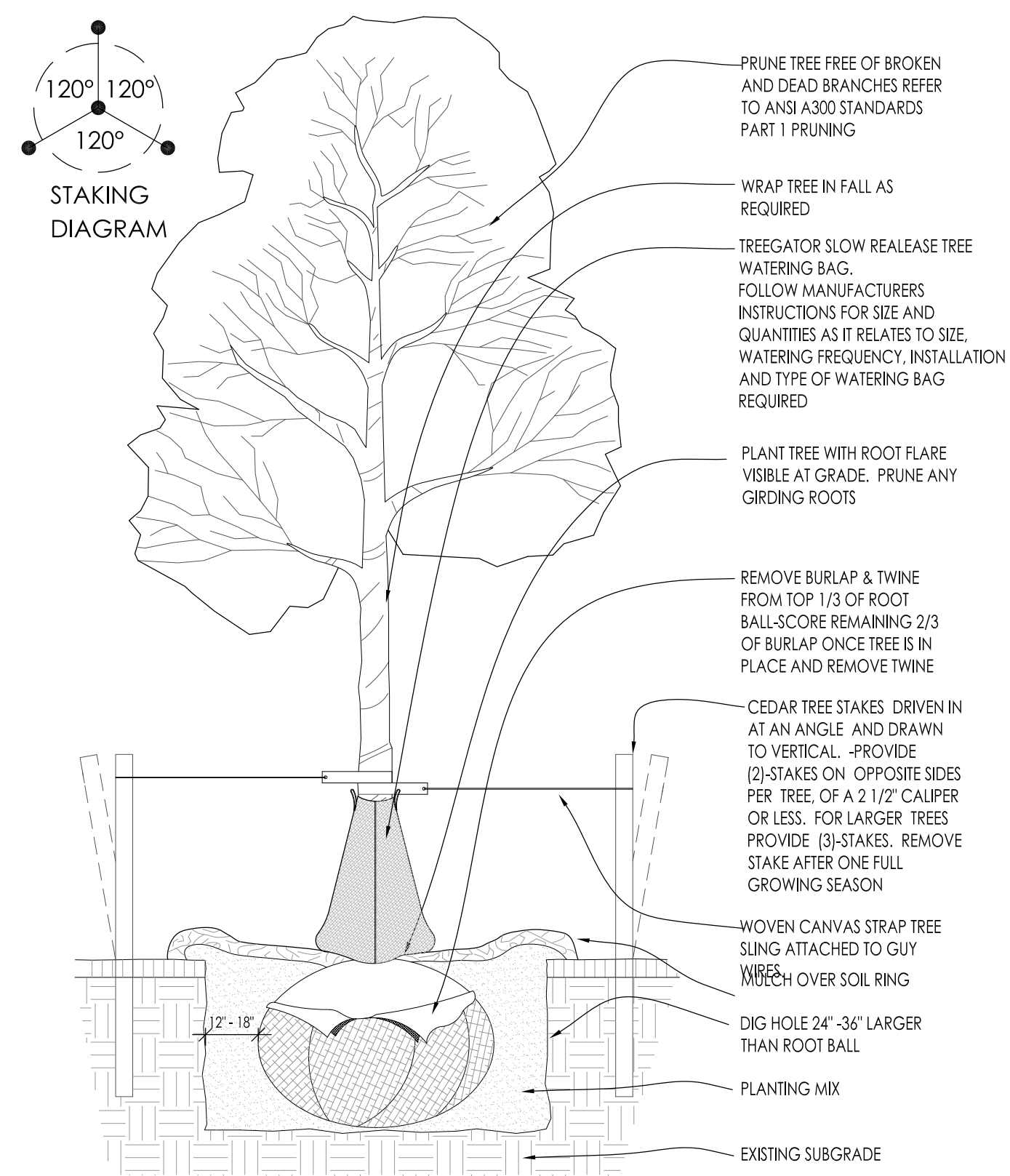
**EXCAVATION NOTE:**  
NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4814 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING.

**TREE PROTECTION NOTE:**  
STREET TREE PROTECTION ZONE FENCING IS REQUIRED FOR ALL EXISTING TREES. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE. REFER TO 4/LSP1.2 FOR FOR FURTHER INFORMATION.

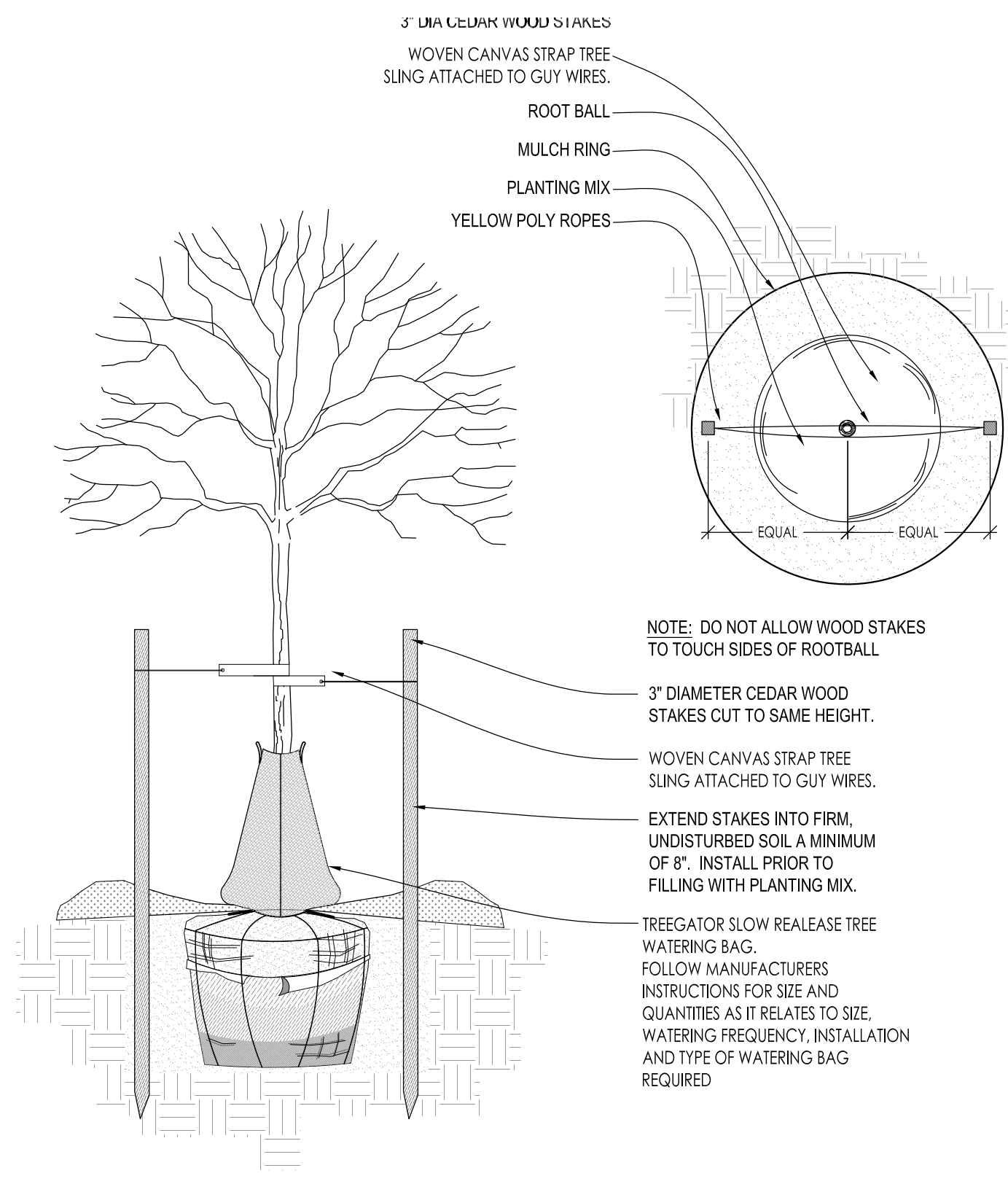
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L22-059 - MELVIN COURT CARWASH - 08/08/2022

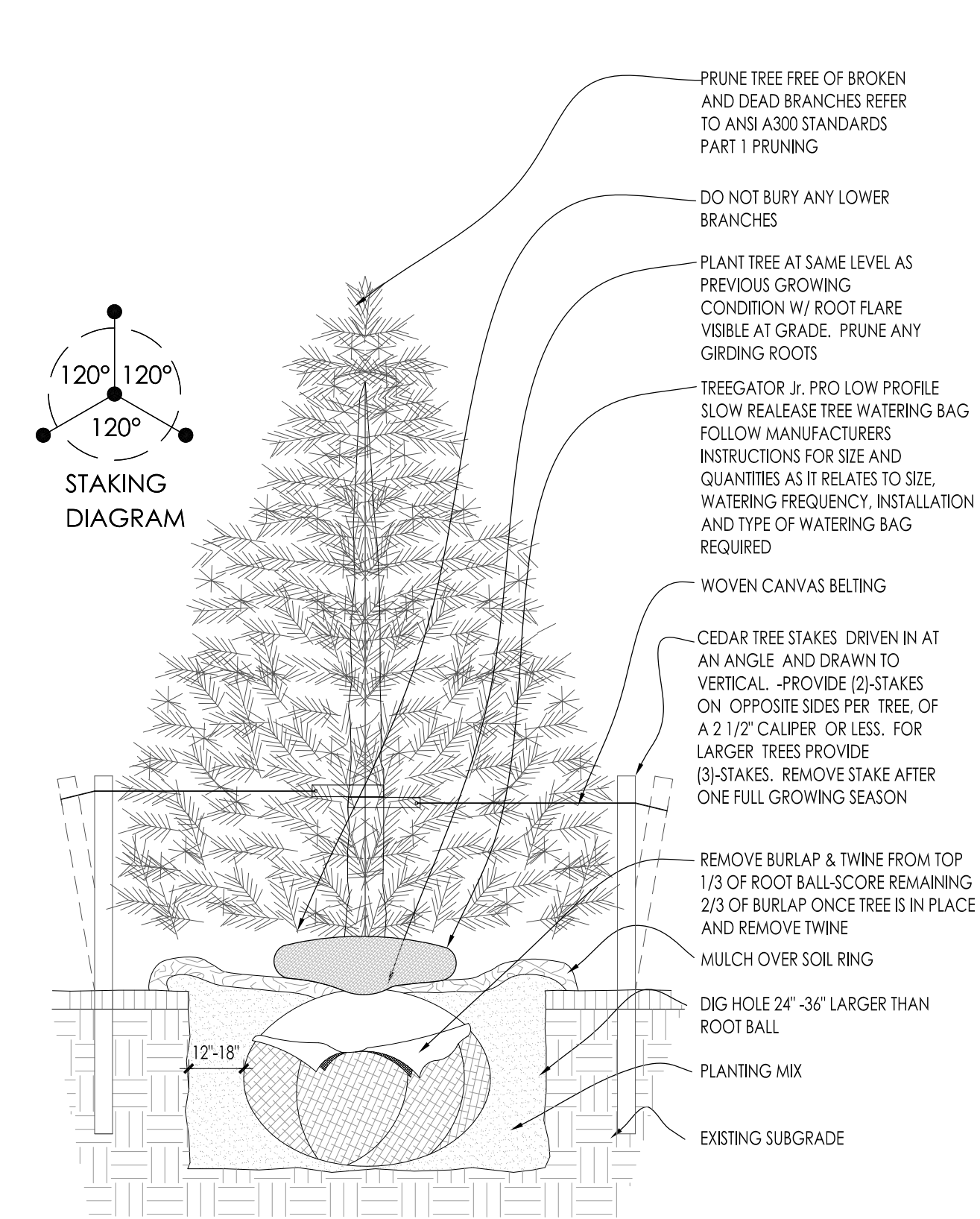




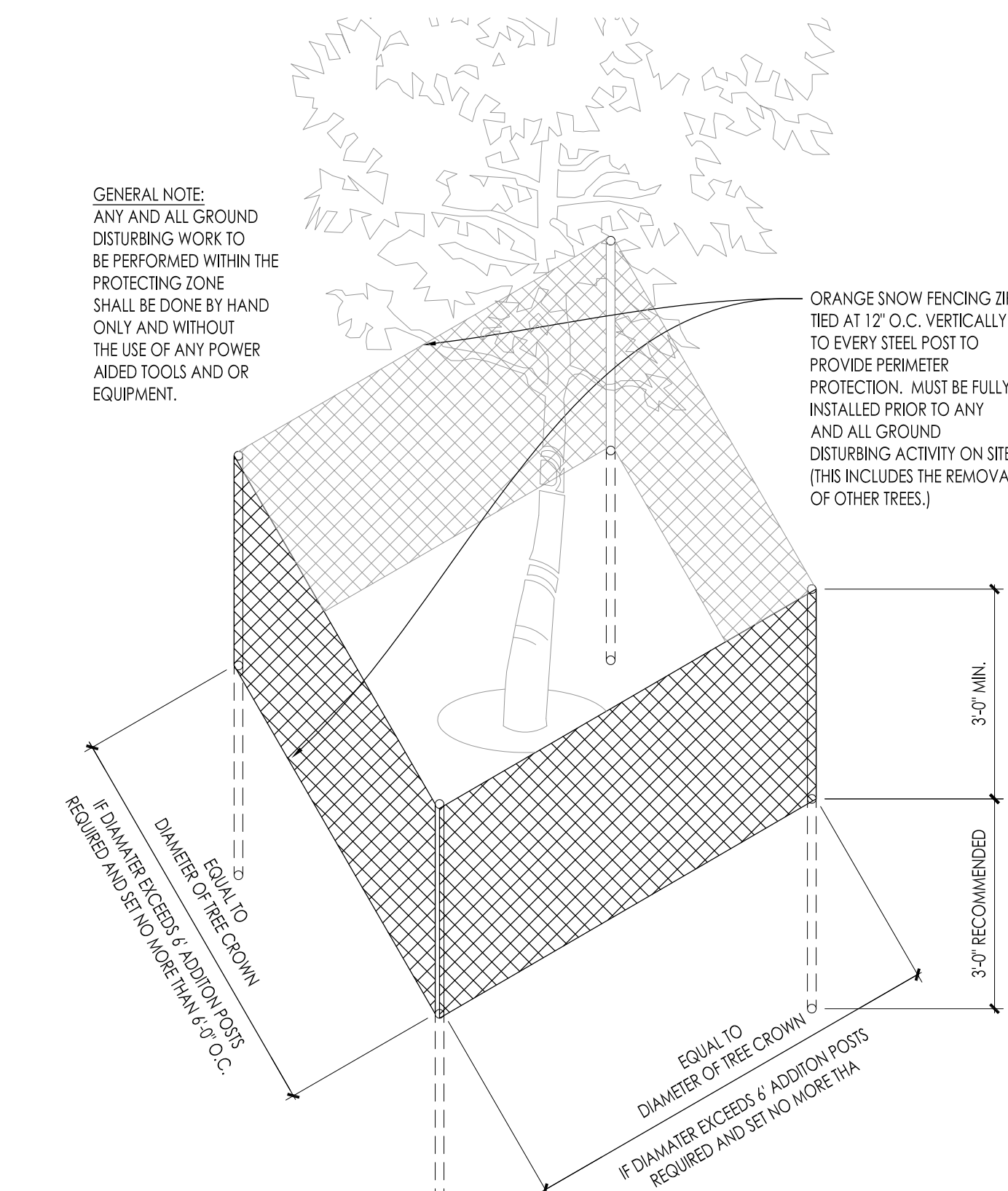
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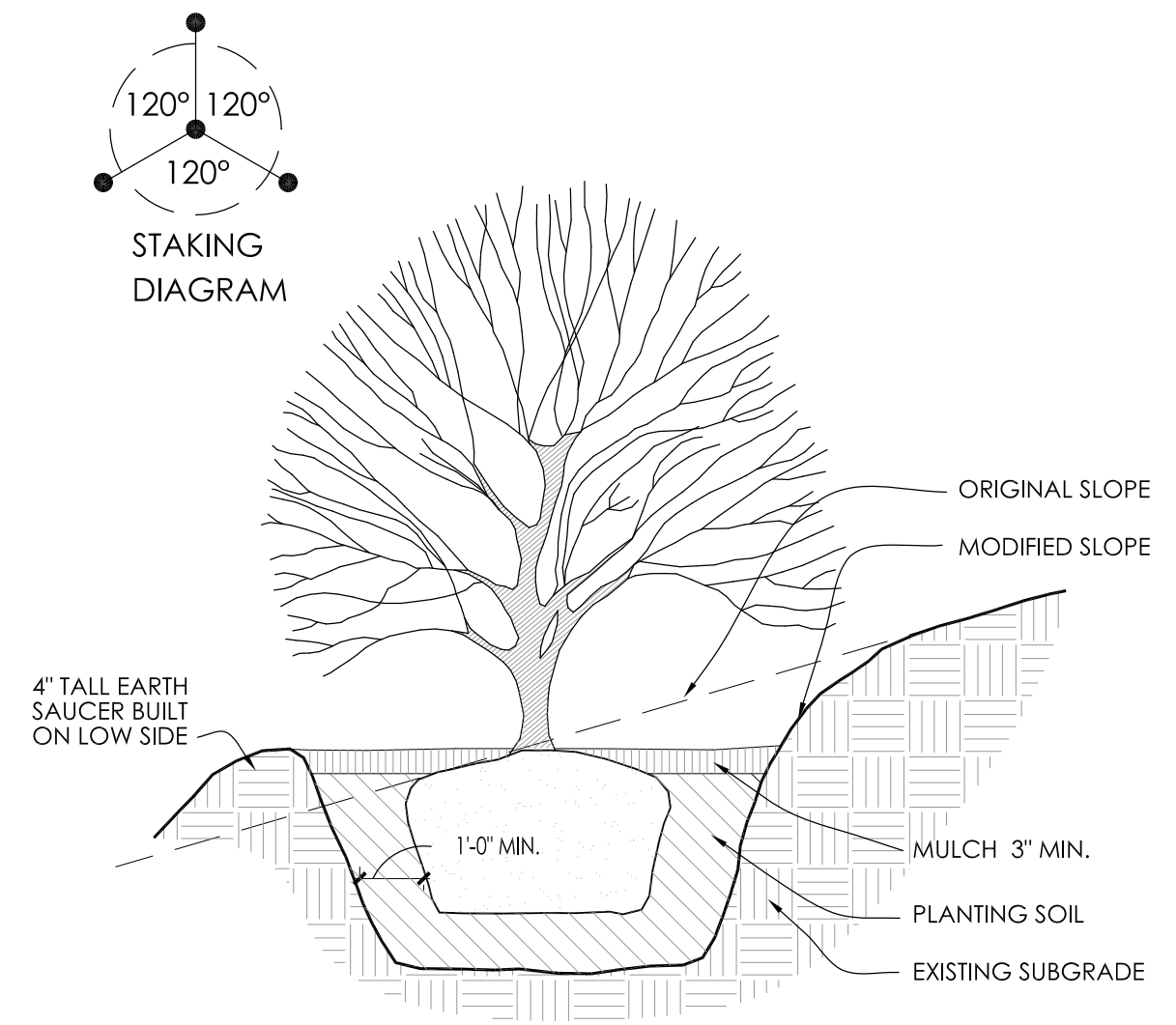
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



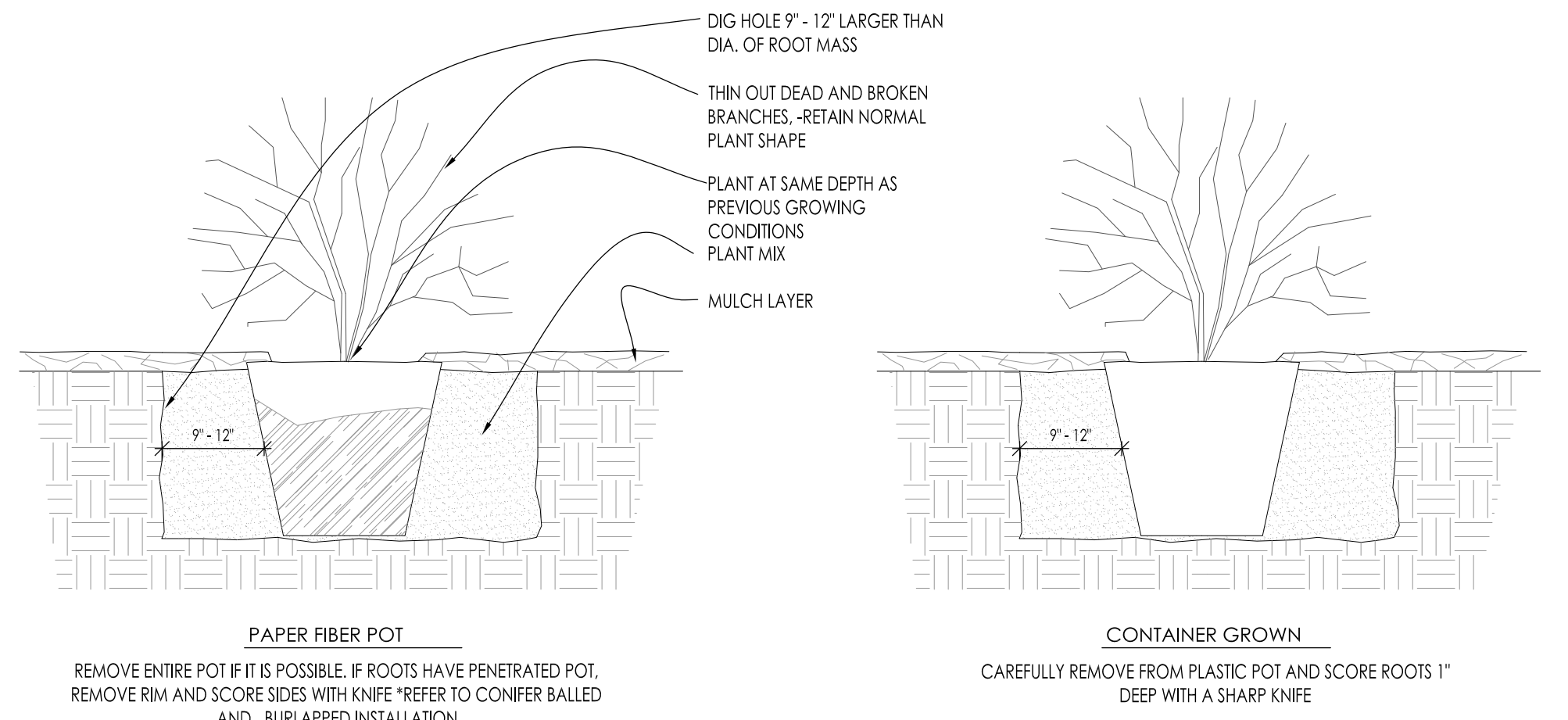
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



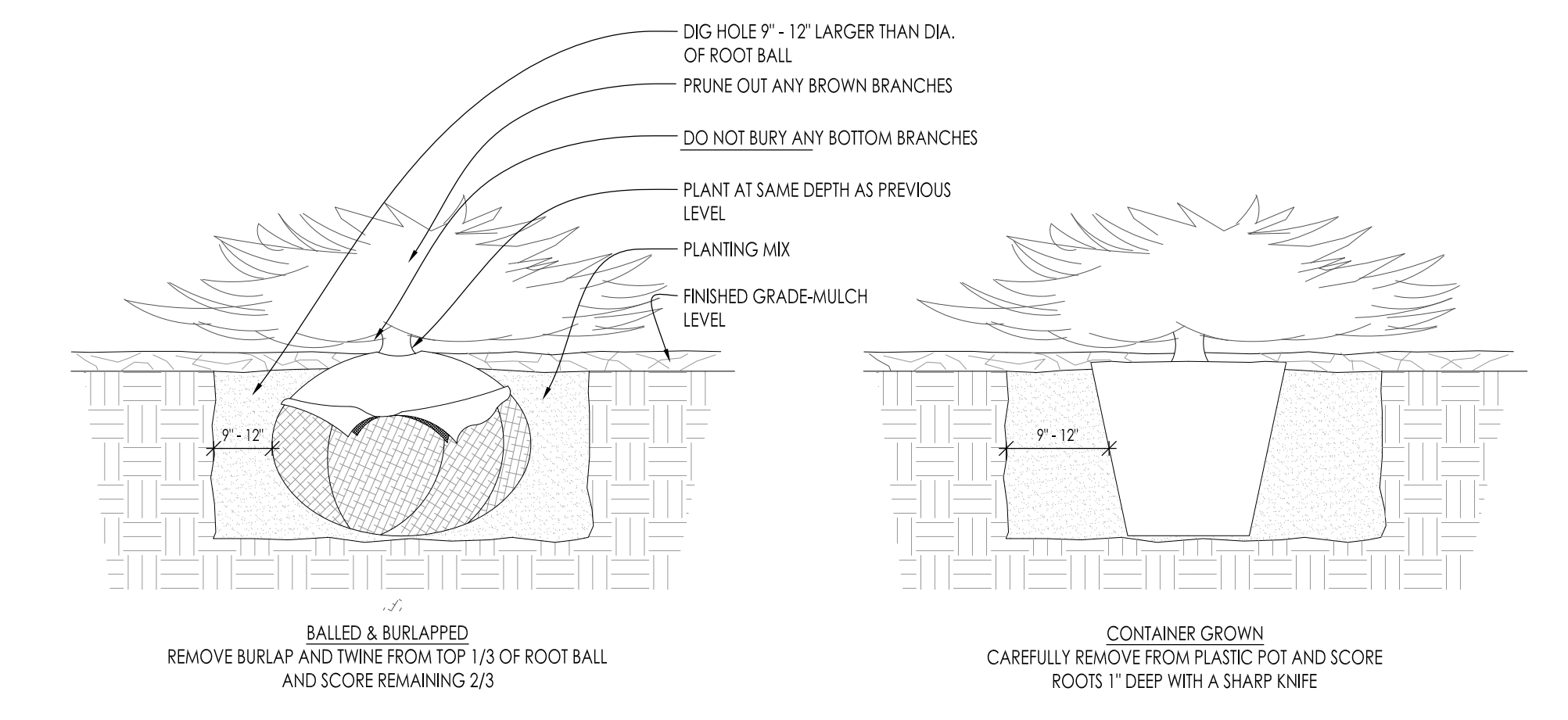
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



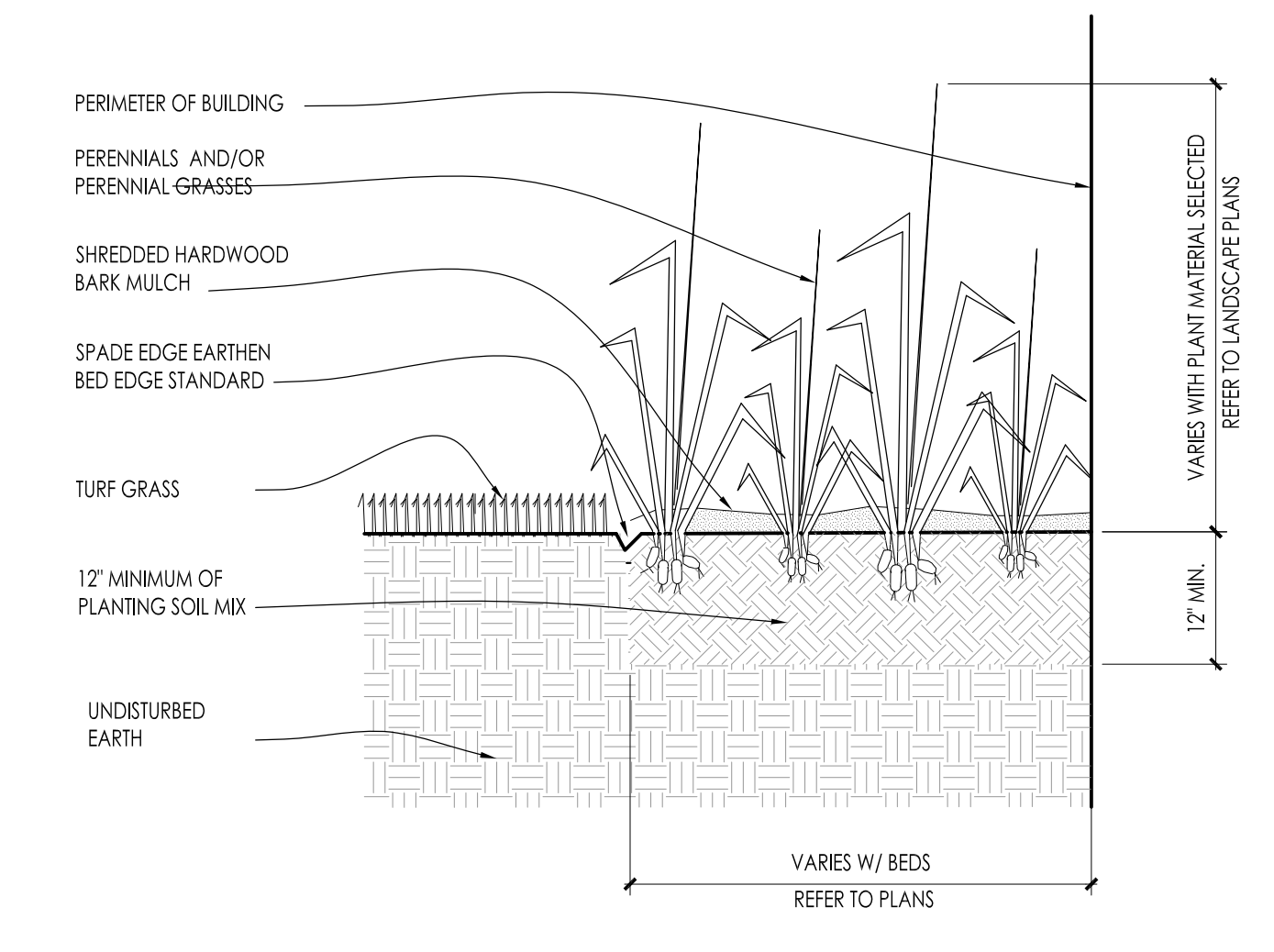
5 SLOPE PLANTING DETAIL SCALE: NONE REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING



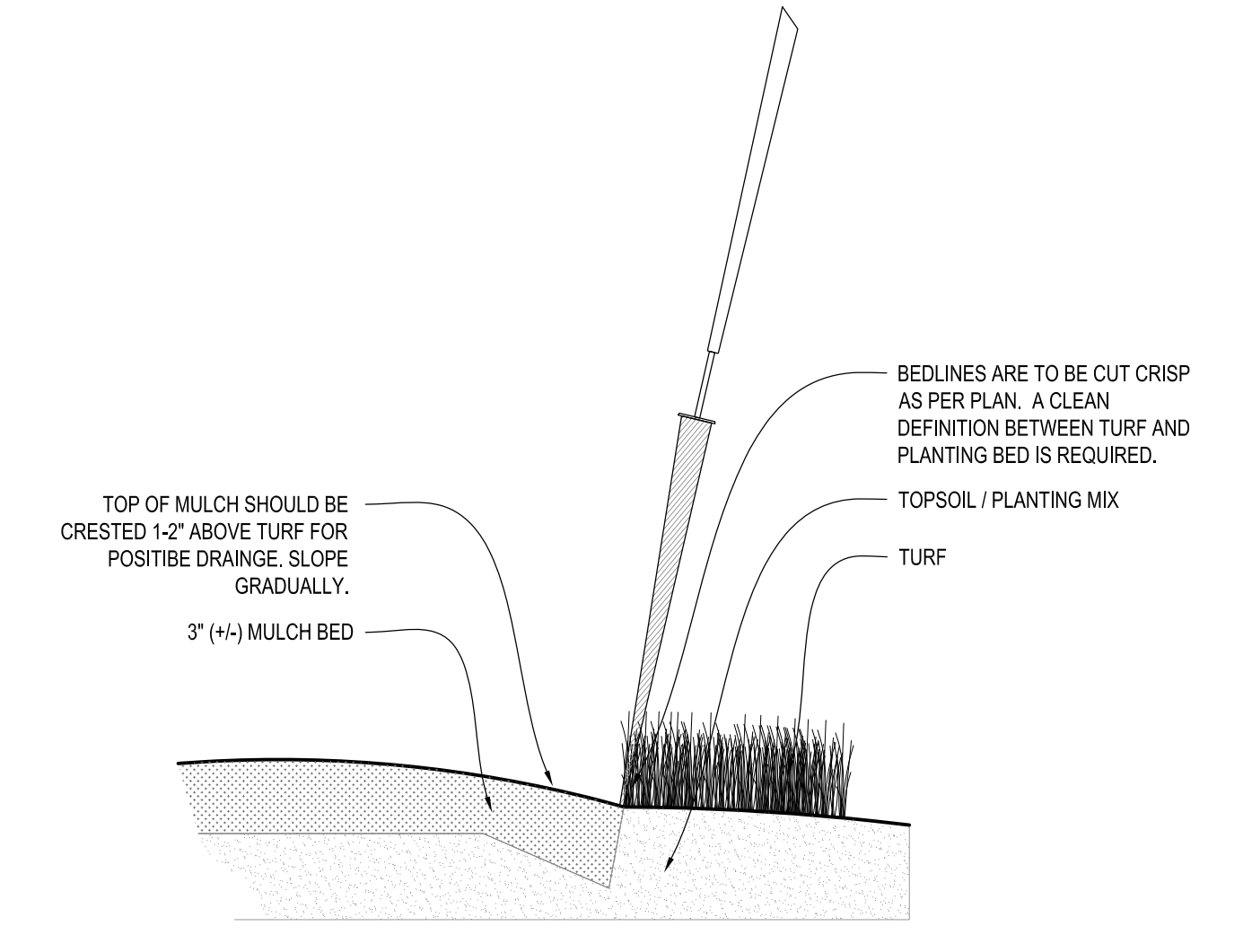
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE

**InSITE**  
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11525 W. North Avenue, Suite 1B  
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Tel (414) 476-1204  
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Project:  
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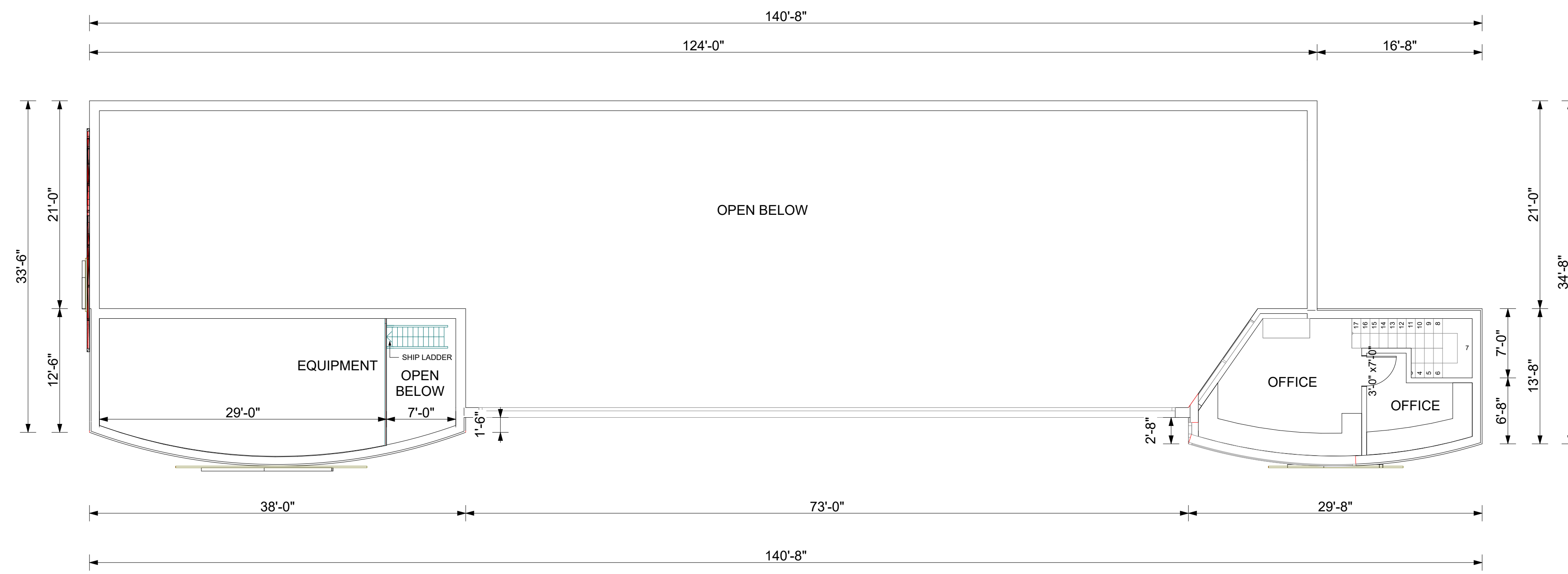
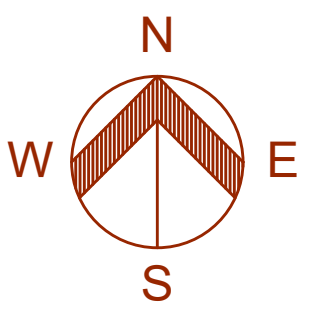
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Sheet Title:  
PROPOSED LANDSCAPE PLAN, PLANTING DETAILS  
Date of Drawing: 08/08/22  
Scale: As Noted  
Drawn By: MCD  
Job Number: L22-059  
Sheet Number:

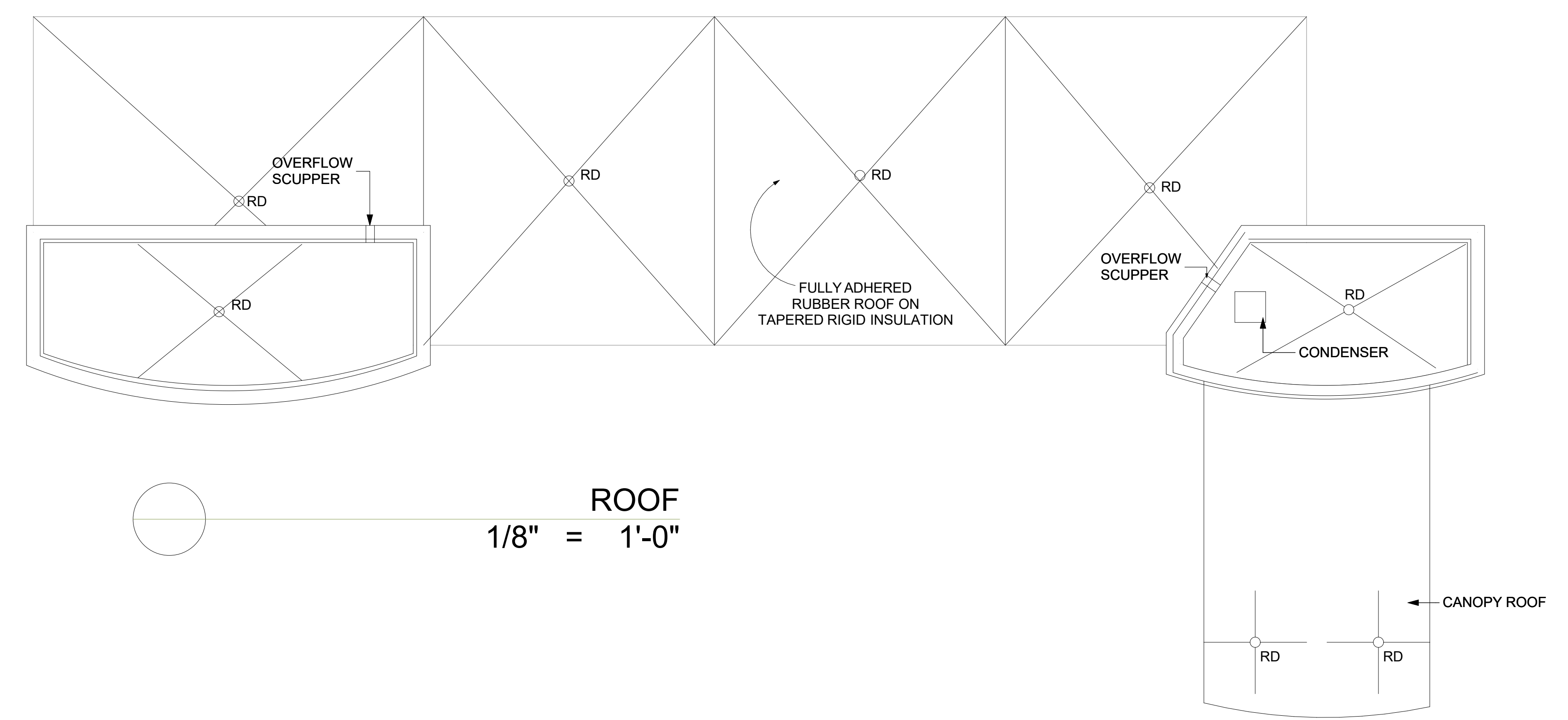
**LSP1.2**

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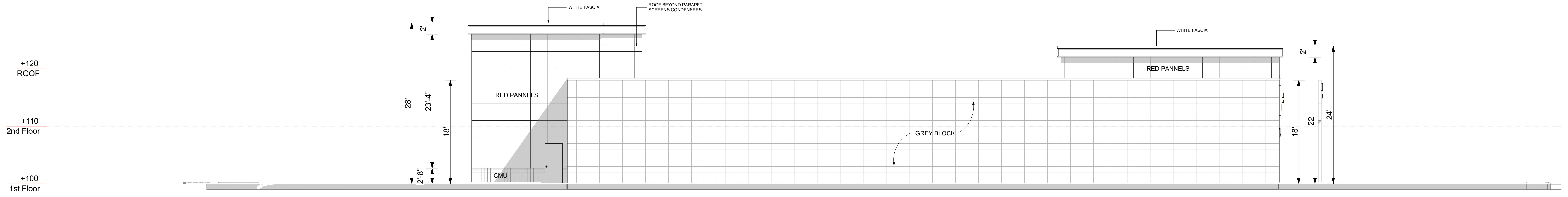


2nd Floor  
1/8" = 1'-0"

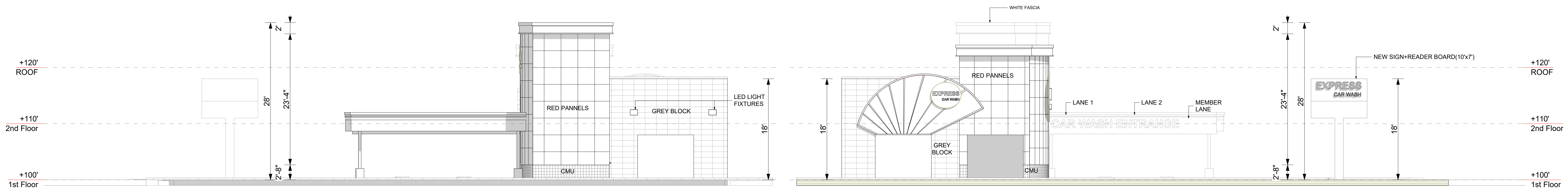


ROOF  
1/8" = 1'-0"



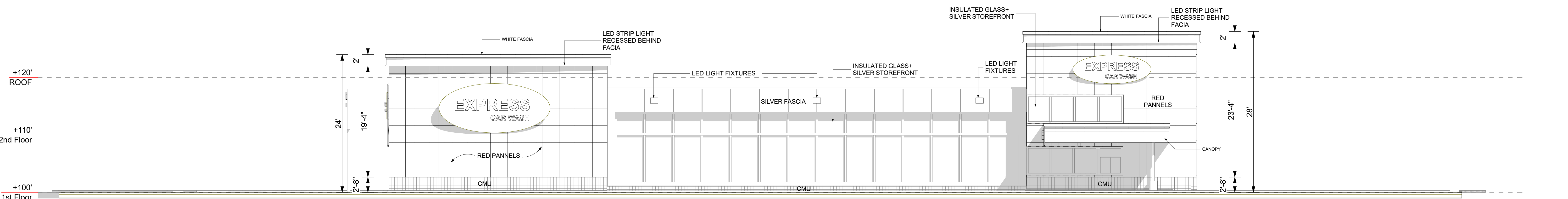


**NORTH ELEVATION**  
1/8" = 1'-0"



**EAST ELEVATION**  
1/8" = 1'-0"

**WEST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION**  
1/8" = 1'-0"









**R E N N E R**  
*architects*

Renner Architects - 414.273.6637 - kerry@rennerarchitects.com

# Melvin Ct Car Wash

SHEET 08

Date: 08 August 2022











