



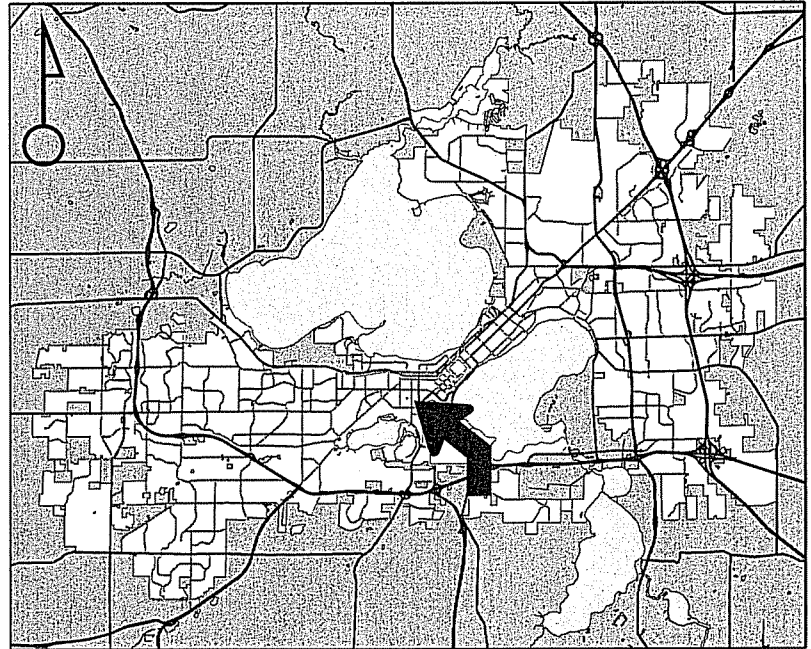
Location
1201-1211 Mound Street

Applicant
Mike Fisher-1200 Mound Street, LLC/
Michael S. Marty-Vierbicher & Randy
Bruce - Knothe & Bruce Architects

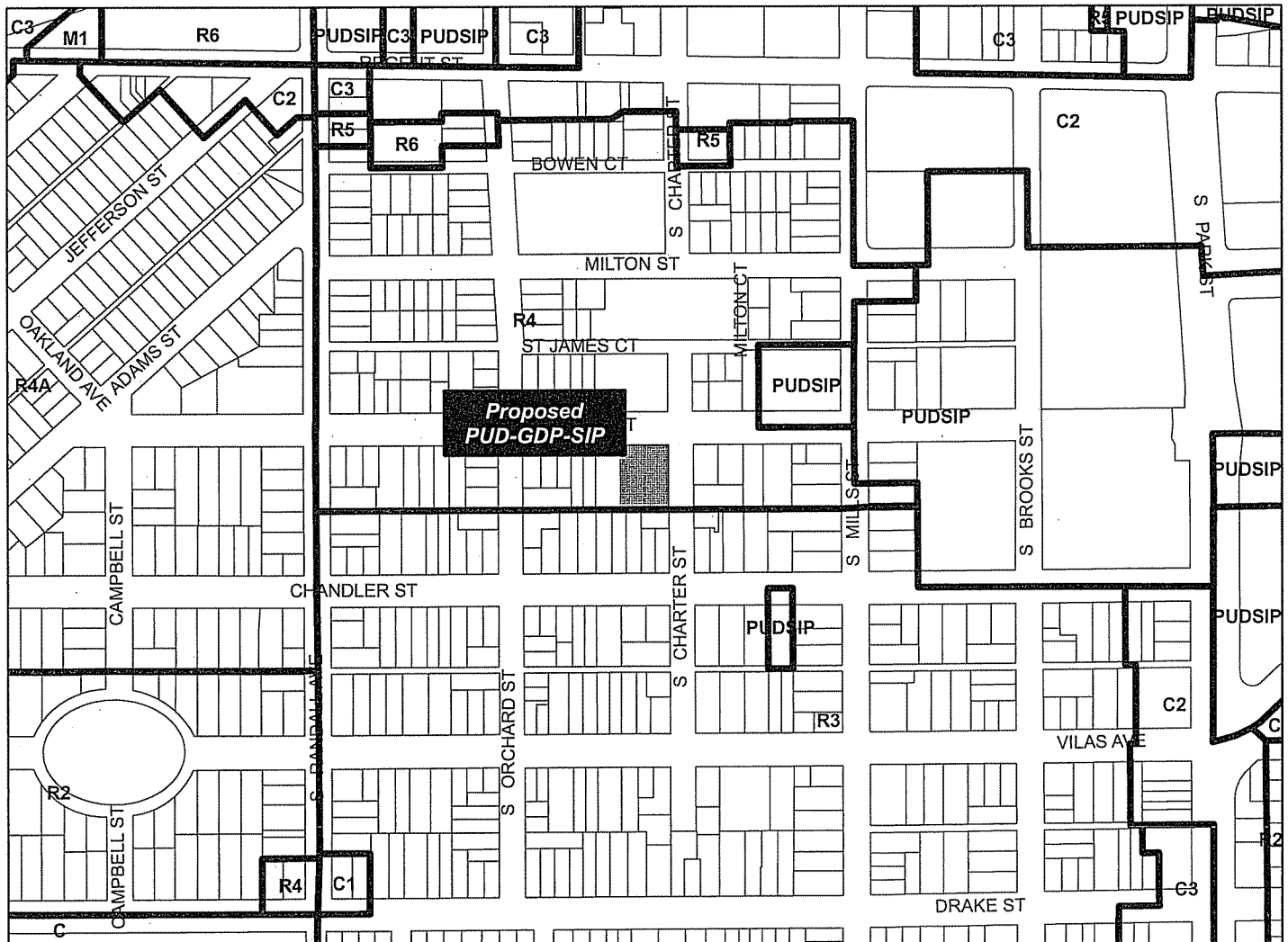
From: R4 To: PUD-GDP-SIP

Proposed Use
Subdivide 2 properties each containing
a two-family residence into 4 lots to
allow construction of 2 new two-family
residences

Public Hearing Date
Plan Commission
23 July 2012
Common Council
07 August 2012

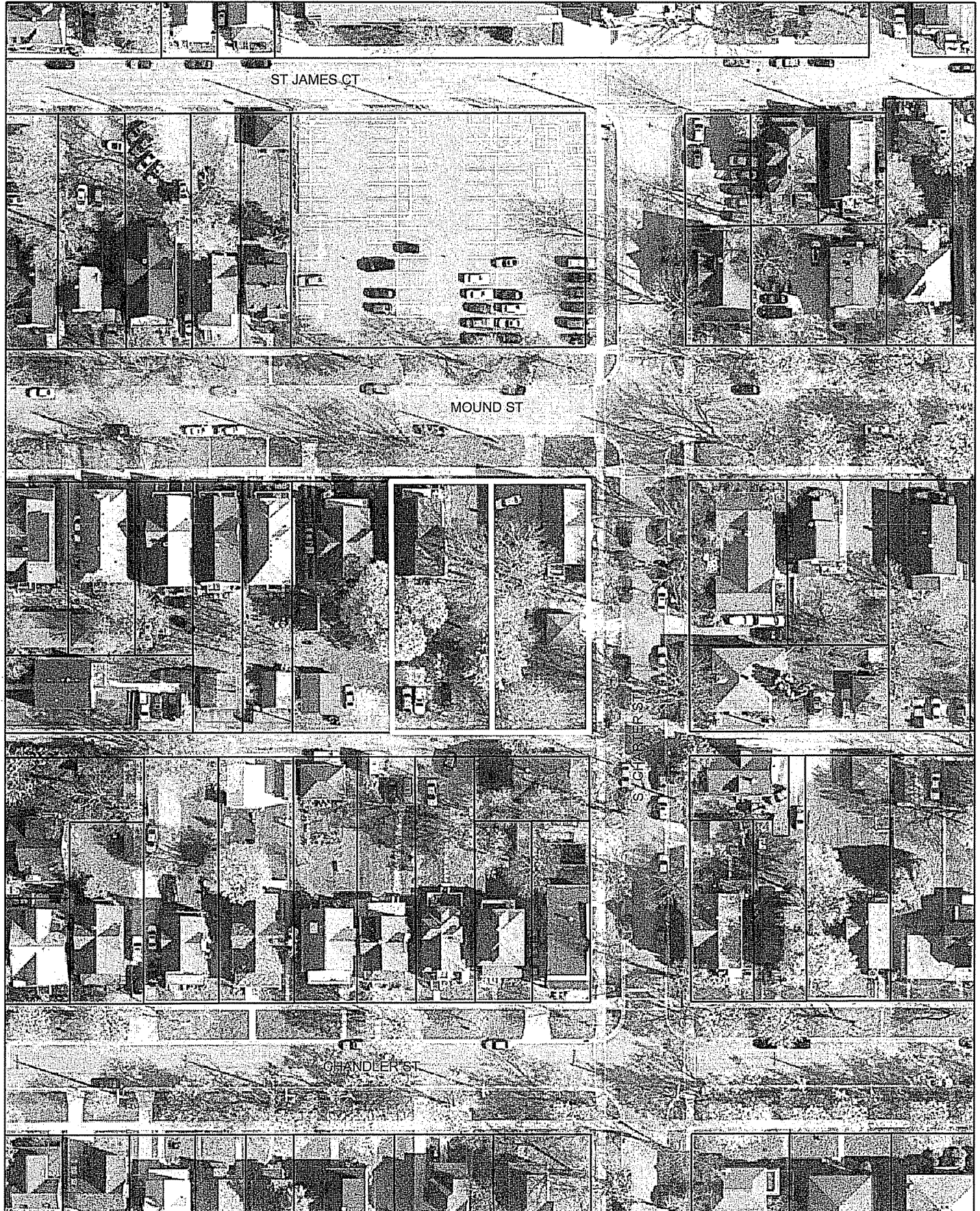


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 10 July 2012





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid <u>\$1250</u>	Receipt No. <u>131348</u>
Date Received <u>5/9/12</u>	
Received By <u>PDA</u>	
Parcel No. <u>0709-224-2201-4/2202-0</u>	
Aldermanic District <u>13 SUE ELLINGSON</u>	
GQ <u>CU</u>	
Zoning District <u>R4</u>	
For Complete Submittal	
Application <u>/</u>	Letter of Intent <u>✓</u>
IDUP <u>/</u>	Legal Descript. <u>✓</u>
Plan Sets <u>/</u>	Zoning Text <u>✓</u>
Alder Notification _____	Waiver _____
Ngrbrhd. Assn Not. _____	Waiver _____
Date Sign Issued _____	

1. Project Address: 1201 & 1211 Mound St Project Area in Acres: .41

Project Title (if any): 1201 Mound St.

2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)

<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: <u>R-4</u> to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<input type="checkbox"/> Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: <u>R-4</u> to PUD/PCD-GDP <input checked="" type="checkbox"/> Ex. Zoning: <u>R-4</u> to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan
<input type="checkbox"/> Conditional Use <input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Mike Fisher Company: 1200 Mound Street, LLC
 Street Address: 2249 Pinehurst City/State: Middleton, WI Zip: 53562
 Telephone: (608) 836-2940 Fax: () Email: fisherco@chorus.net

Project Contact Person: Randy Bruce Company: Knothe & Bruce Architects, LLC
 Street Address: 7601 University Ave, Suite 201 City/State: Middleton, WI Zip: 53562
 Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: The project will consist of subdividing two lots to create 4 lots. There will be a duplex on each lot, two of which are existing.

Development Schedule: Commencement September 2012 Completion July 2013

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 1250 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans: → *The site is located within the limits of* Greenbush Neighborhood Plan *Plan, which recommends:* residential development _____ *for this property.*

Pre-application Notification: Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request: → *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
 Sue Ellingson, District 13; 4/23

NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Kevin Firchow *Date:* 4/16 *Zoning Staff:* _____ *Date:* _____

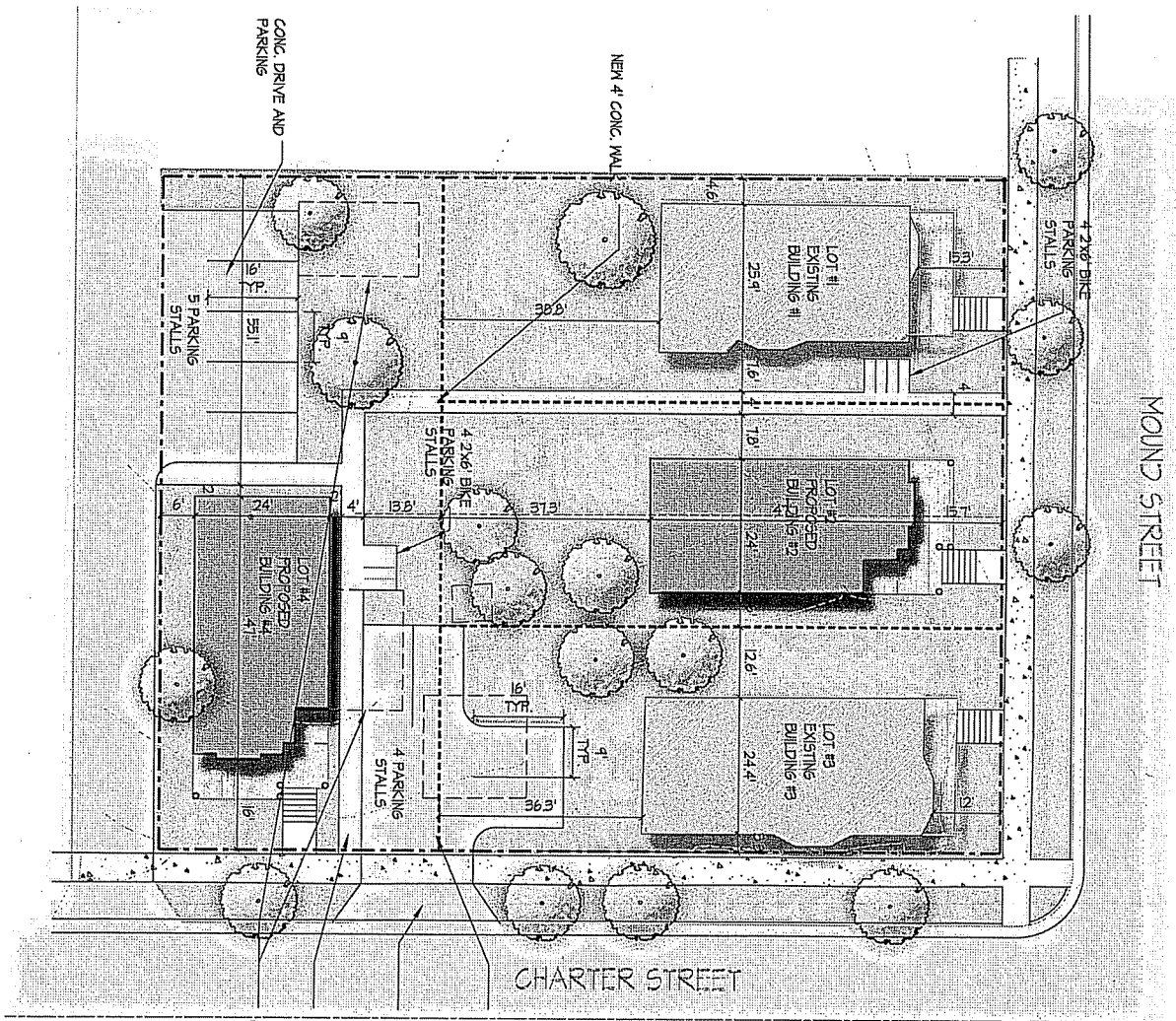
Check here if this project will be receiving a public subsidy. If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Michael Fisher Date 5/9

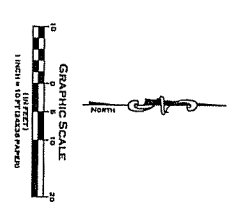
Signature [Signature] Relation to Property Owner _____

Authorizing Signature of Property Owner [Signature] Date 5/9

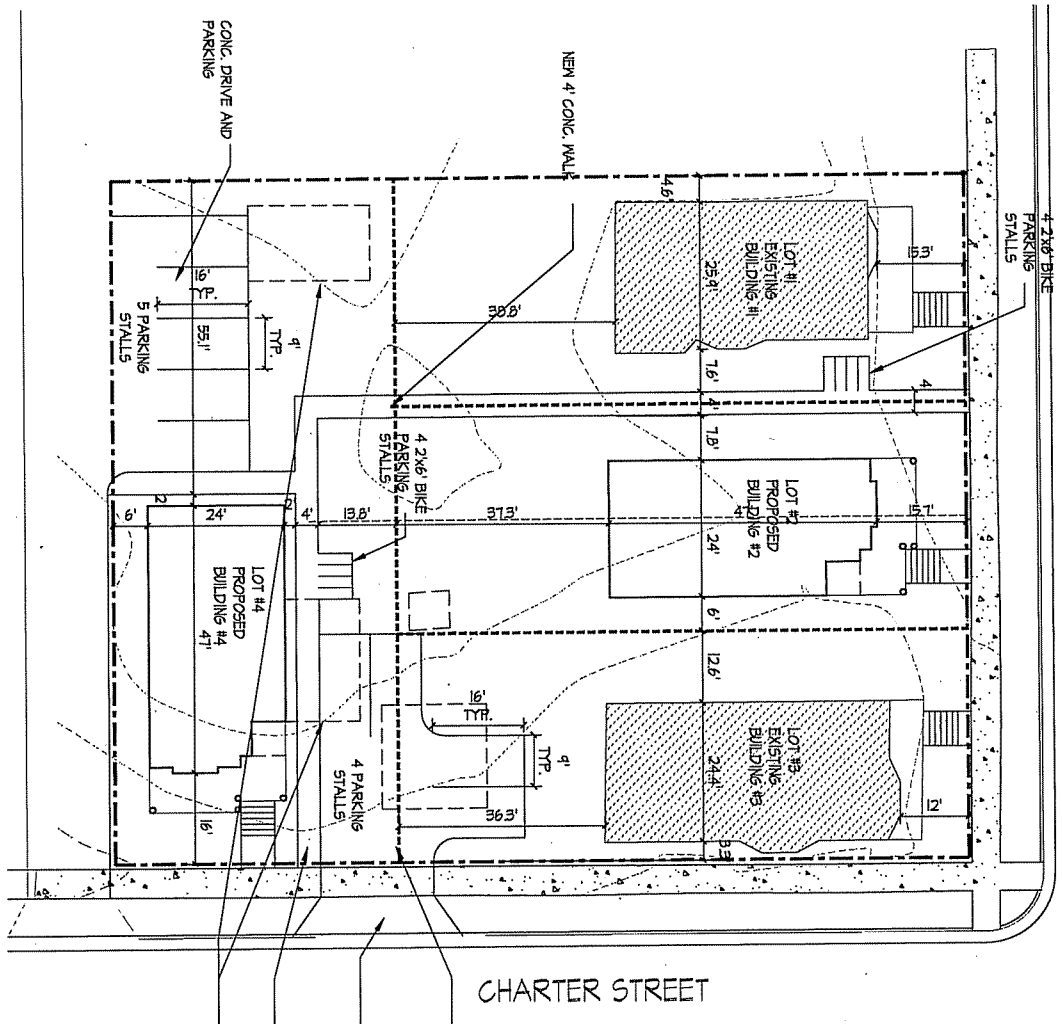


Mound Street Development
 Site Plan

May 29, 2012
KNOTHE & BRUCE
architects



MOUND STREET

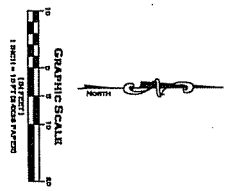


CHARTER STREET

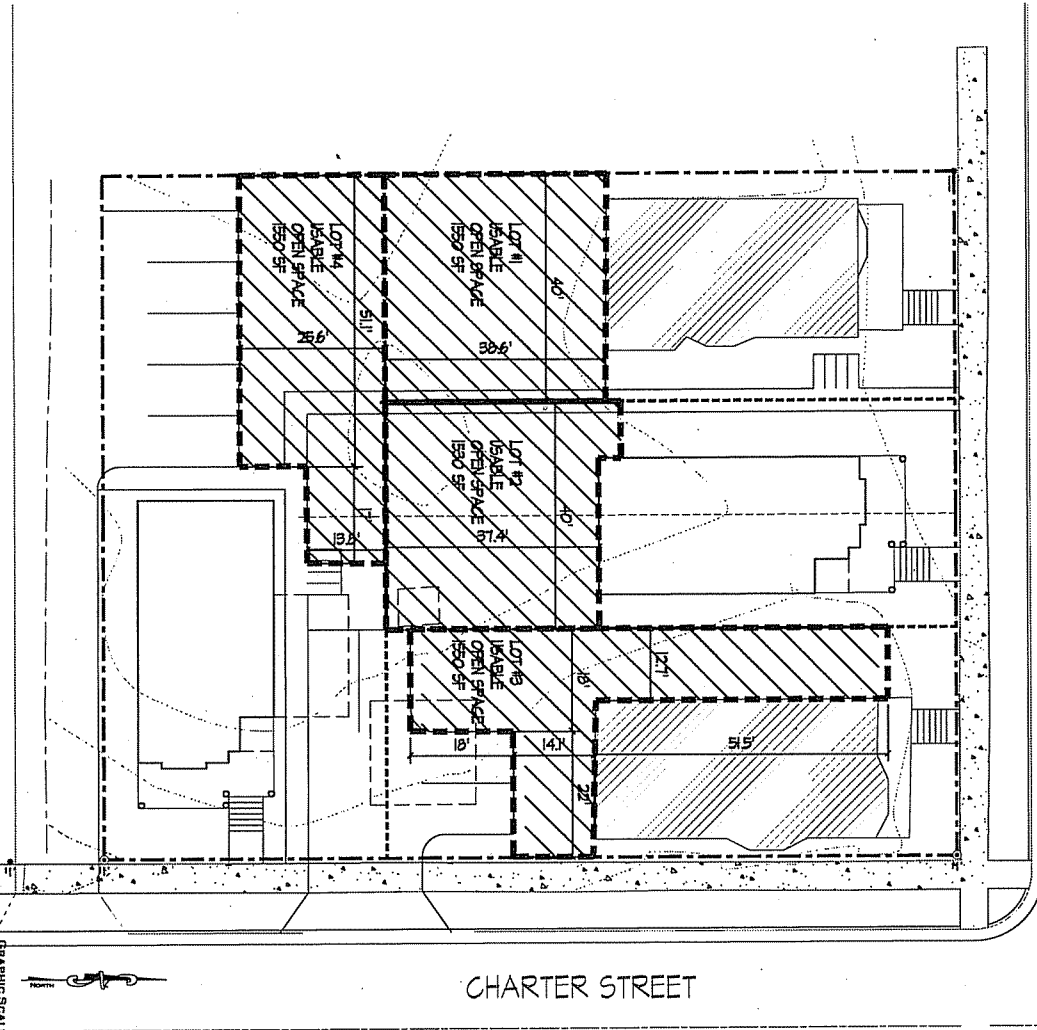
CONC. DRIVE AND PARKING
 NEW 4' CONC. WALL
 NEW DRIVEWAY APPROACH IN ACCORDANCE WITH WADSWORTH GENERAL ORD. SECTION 10.08.4
 NEW 4' CONC. WALK
 GARAGE OPTION

SHEET INDEX	
C-10	SITE PLAN
C-11	BASEL ERECTION SPACE
C-12	EXISTING CONDITIONS
C-13	SITE DEMOLITION PLAN
C-21	GRADING AND EROSION CONTROL PLAN
C-21	UTILITY PLAN
L-10	LANDSCAPE PLAN
A-11	BUILDING #2 FLOOR PLAN
A-12	BUILDING #3 FLOOR PLAN
A-13	BUILDING #4 FLOOR PLAN
A-14	BUILDING #4 FLOOR PLAN
A-21	BUILDING #2 ELEVATIONS
A-22	BUILDING #3 ELEVATIONS

SITE DEVELOPMENT STATISTICS	
LOT #1	4000 SQ. FT. / 0.1 ACRES
LOT #2	2100 SQ. FT. / 0.05 ACRES
LOT #3	4000 SQ. FT. / 0.1 ACRES
LOT #4	2100 SQ. FT. / 0.05 ACRES
LOT #5	2100 SQ. FT. / 0.05 ACRES
LOT #6	4000 SQ. FT. / 0.1 ACRES
LOT #7	2100 SQ. FT. / 0.05 ACRES
LOT #8	4000 SQ. FT. / 0.1 ACRES
LOT #9	2100 SQ. FT. / 0.05 ACRES
LOT #10	4000 SQ. FT. / 0.1 ACRES
LOT #11	2100 SQ. FT. / 0.05 ACRES
LOT #12	4000 SQ. FT. / 0.1 ACRES
LOT #13	2100 SQ. FT. / 0.05 ACRES
LOT #14	4000 SQ. FT. / 0.1 ACRES
LOT #15	2100 SQ. FT. / 0.05 ACRES
LOT #16	4000 SQ. FT. / 0.1 ACRES
LOT #17	2100 SQ. FT. / 0.05 ACRES
LOT #18	4000 SQ. FT. / 0.1 ACRES
LOT #19	2100 SQ. FT. / 0.05 ACRES
LOT #20	4000 SQ. FT. / 0.1 ACRES
LOT #21	2100 SQ. FT. / 0.05 ACRES
LOT #22	4000 SQ. FT. / 0.1 ACRES
LOT #23	2100 SQ. FT. / 0.05 ACRES
LOT #24	4000 SQ. FT. / 0.1 ACRES
LOT #25	2100 SQ. FT. / 0.05 ACRES
LOT #26	4000 SQ. FT. / 0.1 ACRES
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LOT #30	4000 SQ. FT. / 0.1 ACRES
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LOT #40	4000 SQ. FT. / 0.1 ACRES
LOT #41	2100 SQ. FT. / 0.05 ACRES
LOT #42	4000 SQ. FT. / 0.1 ACRES
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LOT #51	2100 SQ. FT. / 0.05 ACRES
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LOT #70	4000 SQ. FT. / 0.1 ACRES
LOT #71	2100 SQ. FT. / 0.05 ACRES
LOT #72	4000 SQ. FT. / 0.1 ACRES
LOT #73	2100 SQ. FT. / 0.05 ACRES
LOT #74	4000 SQ. FT. / 0.1 ACRES
LOT #75	2100 SQ. FT. / 0.05 ACRES
LOT #76	4000 SQ. FT. / 0.1 ACRES
LOT #77	2100 SQ. FT. / 0.05 ACRES
LOT #78	4000 SQ. FT. / 0.1 ACRES
LOT #79	2100 SQ. FT. / 0.05 ACRES
LOT #80	4000 SQ. FT. / 0.1 ACRES
LOT #81	2100 SQ. FT. / 0.05 ACRES
LOT #82	4000 SQ. FT. / 0.1 ACRES
LOT #83	2100 SQ. FT. / 0.05 ACRES
LOT #84	4000 SQ. FT. / 0.1 ACRES
LOT #85	2100 SQ. FT. / 0.05 ACRES
LOT #86	4000 SQ. FT. / 0.1 ACRES
LOT #87	2100 SQ. FT. / 0.05 ACRES
LOT #88	4000 SQ. FT. / 0.1 ACRES
LOT #89	2100 SQ. FT. / 0.05 ACRES
LOT #90	4000 SQ. FT. / 0.1 ACRES
LOT #91	2100 SQ. FT. / 0.05 ACRES
LOT #92	4000 SQ. FT. / 0.1 ACRES
LOT #93	2100 SQ. FT. / 0.05 ACRES
LOT #94	4000 SQ. FT. / 0.1 ACRES
LOT #95	2100 SQ. FT. / 0.05 ACRES
LOT #96	4000 SQ. FT. / 0.1 ACRES
LOT #97	2100 SQ. FT. / 0.05 ACRES
LOT #98	4000 SQ. FT. / 0.1 ACRES
LOT #99	2100 SQ. FT. / 0.05 ACRES
LOT #100	4000 SQ. FT. / 0.1 ACRES



MOUND STREET



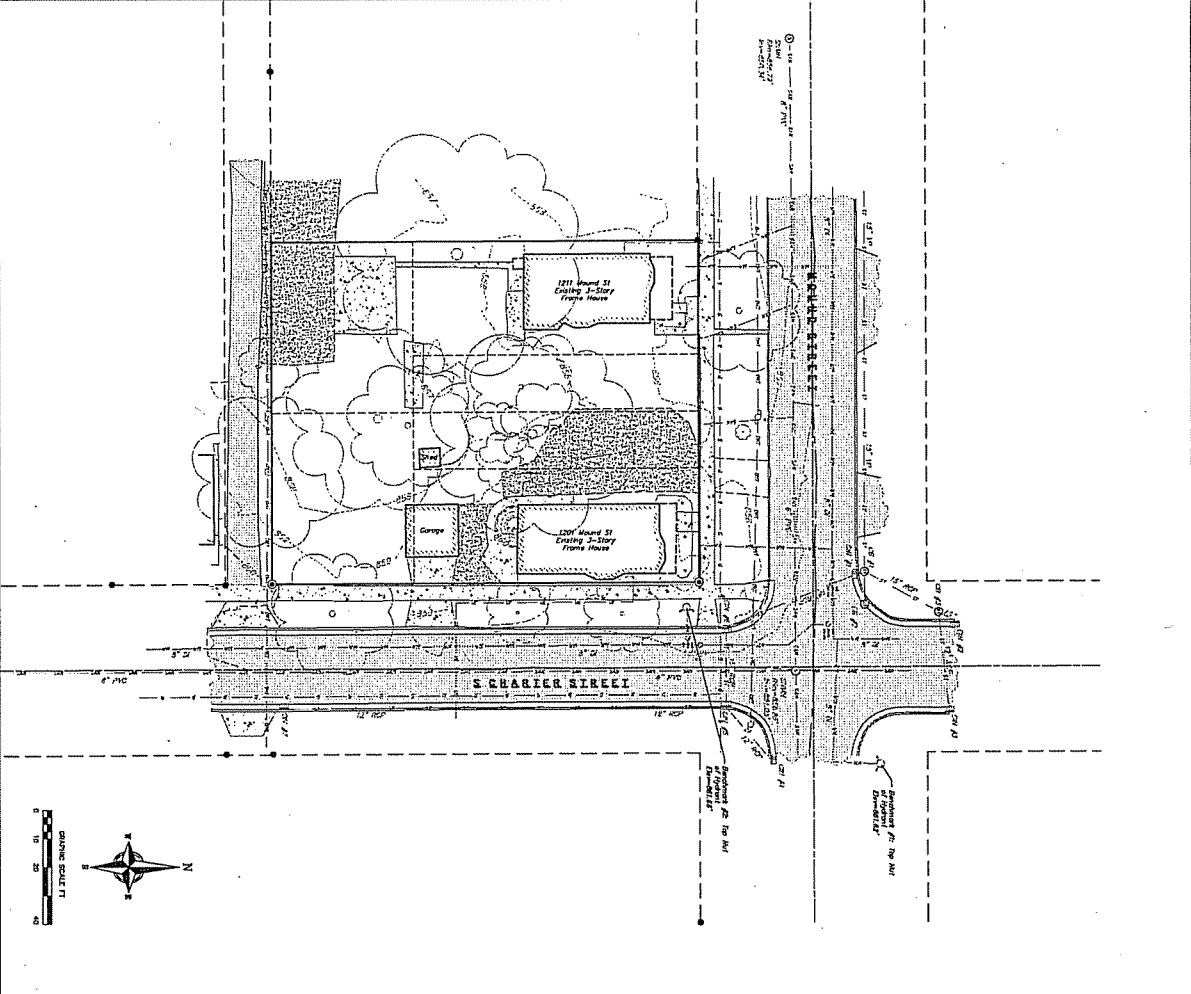
**KNOTHE
& BRUCE
ARCHITECTS**
7101 University Avenue Suite 201
Madison, Wisconsin 53712
608.261.2810 Fax 608.493.4

Notes

Revision
May 9, 2012 - RPD-SP

Project Title
1201 Mound St

Drawing Title
Open Usable Space Plan
Project No. 1203
Drawing No. C-11



STORM SEWER STRUCTURE TABLE

STRUCTURE	INVERT (ft)	WVERT (ft)
CH #1	607.88	-
CH #2	607.77	-
CH #3	608.13	-
CH #4	607.81	603.00
CH #5	608.04	-
CH #6	608.21	-
CH #7	608.36	605.20
CH #8	607.88	604.80
CH #9	608.08	606.99

REVISION TABLE

REVISION	DATE	DESCRIPTION	ELEVATION
BM #1	05-08-12	FIELD SURVEY	601.82
BM #2	05-08-12	FIELD SURVEY	601.86

EXISTING TOPOGRAPHIC LEGEND

- 10' --- EXISTING MAJOR CORNER
- 5' --- EXISTING MAJOR CORNER
- 1" --- EXISTING SHARVARY STREET (SEE NOTES)
- 1" --- EXISTING WATER MAIN (SEE NOTES)
- 1" --- EXISTING STORM SEWER (SEE NOTES)
- 1" --- EXISTING GAS MAIN
- 1" --- EXISTING OVERHEAD COMMUNICATIONS
- 1" --- EXISTING UNDERGROUND ELECTRIC
- 1" --- EXISTING SANITARY MANHOLE
- 1" --- EXISTING SANITARY CLEANOUT
- 1" --- EXISTING SEWER VENT
- 1" --- EXISTING WATER MAIN VALVE
- 1" --- EXISTING WATER MAINHOLE
- 1" --- EXISTING CURB STOP
- 1" --- EXISTING FIRE HYDRANT
- 1" --- EXISTING CURB INLET
- 1" --- EXISTING FLOOD INLET
- 1" --- EXISTING STORM MAINHOLE
- 1" --- EXISTING UTILITY POLE
- 1" --- EXISTING DRAINAGE
- 1" --- EXISTING CONCRETE
- 1" --- EXISTING TRAIL
- 1" --- EXISTING SPRING

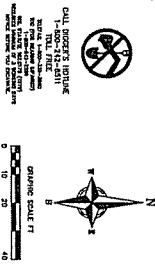
SYMBOL LEGEND

- FOUND 1 1/4" IRON ROD
- FOUND 3/4" IRON ROD

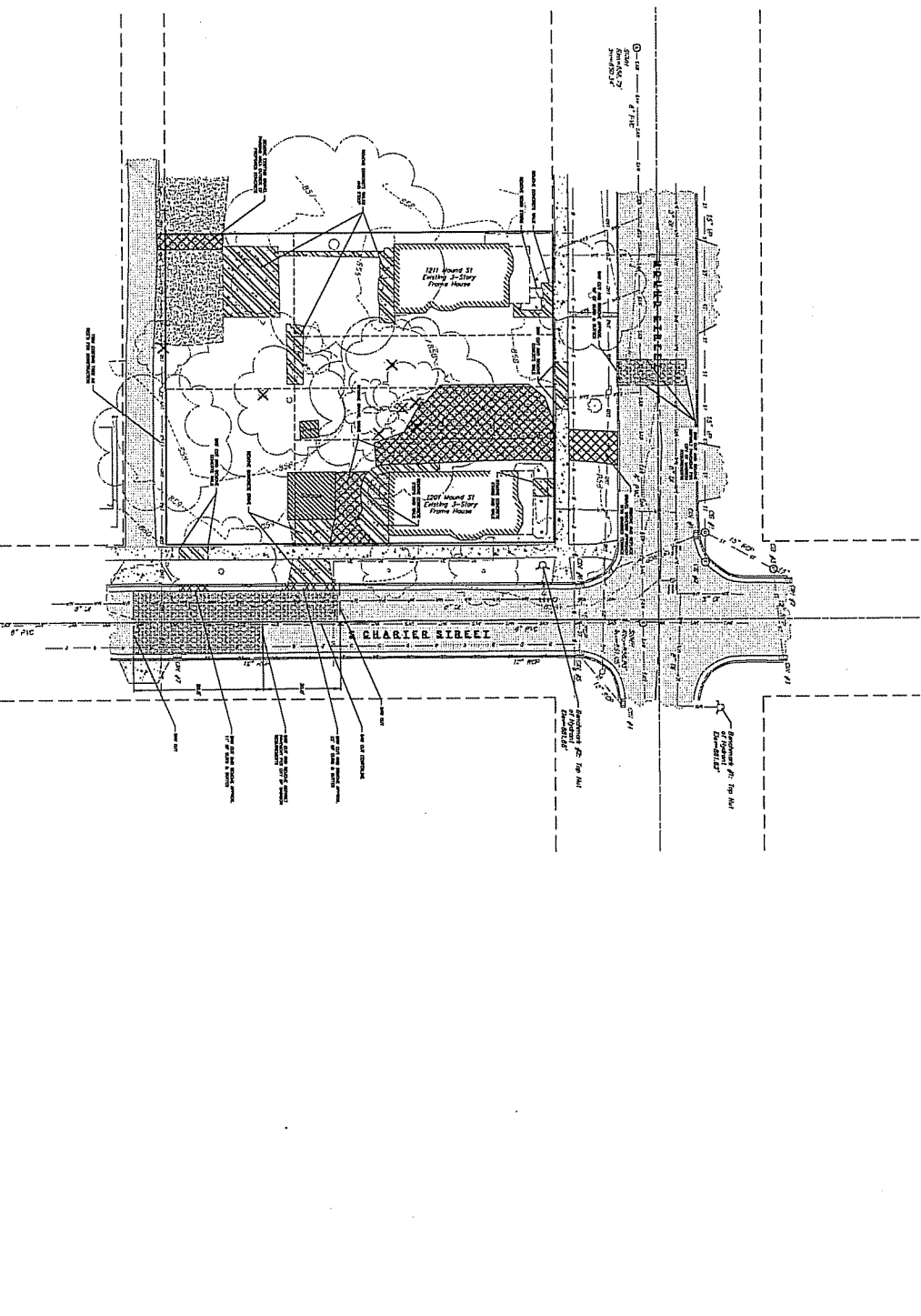
NOTES:

1. This survey was approved based upon information provided in this insurance policy 2008031. Effective date February 20, 2008 of information surveyed in the General Survey of the City of Madison, Wisconsin, dated February 20, 2003 at 5:08am.
2. This survey is based upon field survey work performed on conditions other than July 4, 2012 as not established by the survey.
3. Utility locations were field located based upon available, visible, above ground structures, upon maps provided to utility companies and/or their agents. No warranty is given to the utility marking by others or that of this office.
4. The survey was performed for the purpose of providing a location of buried utilities and structures for the survey. A location of buried utilities and structures is not a guarantee of their location. The survey is not a guarantee of their location. The survey is not a guarantee of their location.
5. The survey was performed for the purpose of providing a location of buried utilities and structures for the survey. A location of buried utilities and structures is not a guarantee of their location. The survey is not a guarantee of their location.
6. The survey was performed for the purpose of providing a location of buried utilities and structures for the survey. A location of buried utilities and structures is not a guarantee of their location. The survey is not a guarantee of their location.
7. The total area of the parcel surveyed is 18,313 square feet.
8. The survey was performed for the purpose of providing a location of buried utilities and structures for the survey. A location of buried utilities and structures is not a guarantee of their location. The survey is not a guarantee of their location.
9. The survey was performed for the purpose of providing a location of buried utilities and structures for the survey. A location of buried utilities and structures is not a guarantee of their location. The survey is not a guarantee of their location.

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>05-08-12</td> <td>SITE PLAN SUBMITTAL</td> </tr> </tbody> </table>	NO.	DATE	REMARKS	1	05-08-12	SITE PLAN SUBMITTAL	<p>EXISTING CONDITIONS</p> <p>1201 & 1211 MOUND STREET LOTS 5 & 6, OF BLOCK 11, OF BOWENS ADDITION CITY OF MADISON, DANE COUNTY, WISCONSIN</p>	<p>vierbicher planners engineers advisors</p> <p>REGINA BURKE 1110 MONROE STREET, SUITE 201 MADISON, WISCONSIN 53715 Phone: (608) 262-3332 Fax: (608) 262-3323</p>
NO.	DATE	REMARKS						
1	05-08-12	SITE PLAN SUBMITTAL						



DEMOLITION LEGEND	
	REMOVAL OF EXISTING CONCRETE
	REMOVAL OF EXISTING STRUCTURE
	REMOVAL OF EXISTING ASPHALT
	REMOVAL OF EXISTING GRAVEL
	REMOVAL OF EXISTING SOIL
	REMOVAL OF EXISTING CURB
	REMOVAL OF EXISTING SIDEWALK
	REMOVAL OF EXISTING DRIVE



REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	03-08-12		

REMARKS
SITE PLAN SUBMITTAL

SITE DEMOLITION PLAN
1201 & 1211 MOUND STREET
LOTS 5 & 6 OF BLOCK 11 OF BOWENS ADDITION
CITY OF MADISON, DANE COUNTY, WISCONSIN

vierbicher
planners | engineers | advisors

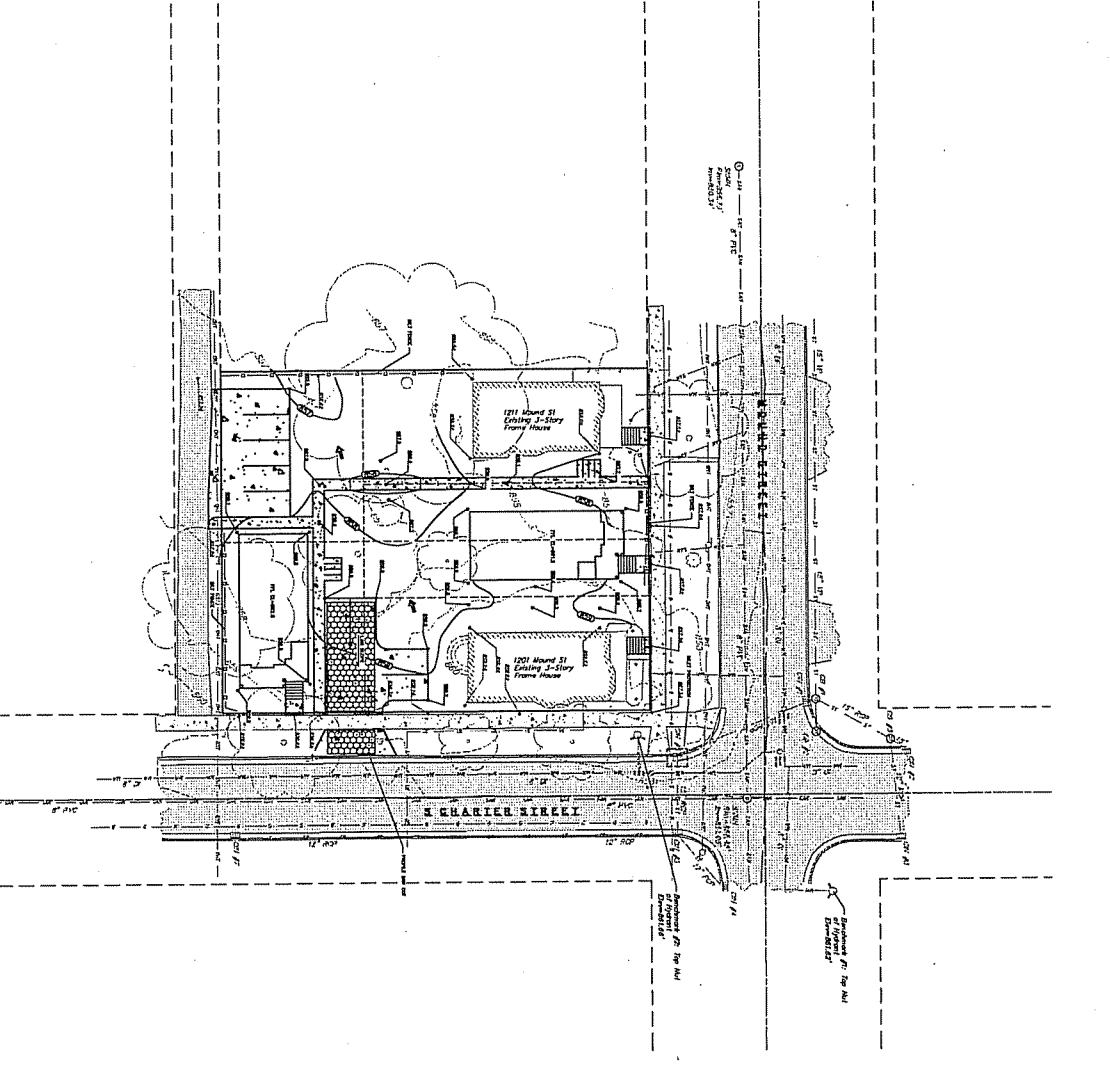
KEESBURG • MADISON • PRASKE OUI CHEN
885 Walnut Street, Suite 201, Madison, Wisconsin 53703
Phone: (608) 634-2333 Fax: (608) 634-2333

DATE	06-05-12
PROJECT NO.	332218
SHEET	C-1.3
TITLE	DEMOLITION

- ### EROSION CONTROL MEASURES
1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND THE NATIONAL BEST MANAGEMENT PRACTICES (NBMPP) MANUAL (http://www.epa.gov/nbpmpp/).
 2. CONSTRUCTION SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE NATIONAL BEST MANAGEMENT PRACTICES (NBMPP) MANUAL (http://www.epa.gov/nbpmpp/).
 3. INITIAL EROSION CONTROL MEASURES (INCLUDING PLS, PREVENTIVE SLOPE TREATMENT, ETC.) MUST BE INSTALLED PRIOR TO ANY EROSION CONTROL MEASUREMENTS.
 4. THE CONSTRUCTION SHALL MAINTAIN ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE NATIONAL BEST MANAGEMENT PRACTICES (NBMPP) MANUAL (http://www.epa.gov/nbpmpp/).
 5. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 6. A TYPICAL EROSION CONTROL PLAN SHALL BE INSTALLED TO PREVENT EROSION FROM THE CONSTRUCTION SITE. THE TYPICAL EROSION CONTROL PLAN SHALL BE INSTALLED PRIOR TO ANY EROSION CONTROL MEASUREMENTS.
 7. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 8. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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 14. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 15. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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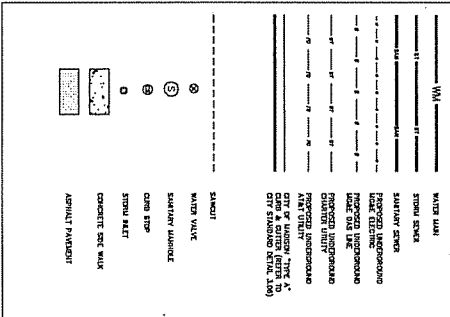
PROPOSED LEGEND

PROPOSED CONTOURS
 EXISTING CONTOURS
 CITY OF MADISON (TYPE 1)
 CITY OF MADISON (TYPE 2)
 CITY OF MADISON (TYPE 3)
 CITY OF MADISON (TYPE 4)
 CITY OF MADISON (TYPE 5)
 CITY OF MADISON (TYPE 6)
 CITY OF MADISON (TYPE 7)
 CITY OF MADISON (TYPE 8)
 CITY OF MADISON (TYPE 9)
 CITY OF MADISON (TYPE 10)
 CITY OF MADISON (TYPE 11)
 CITY OF MADISON (TYPE 12)
 CITY OF MADISON (TYPE 13)
 CITY OF MADISON (TYPE 14)
 CITY OF MADISON (TYPE 15)
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 CITY OF MADISON (TYPE 19)
 CITY OF MADISON (TYPE 20)

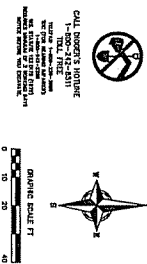
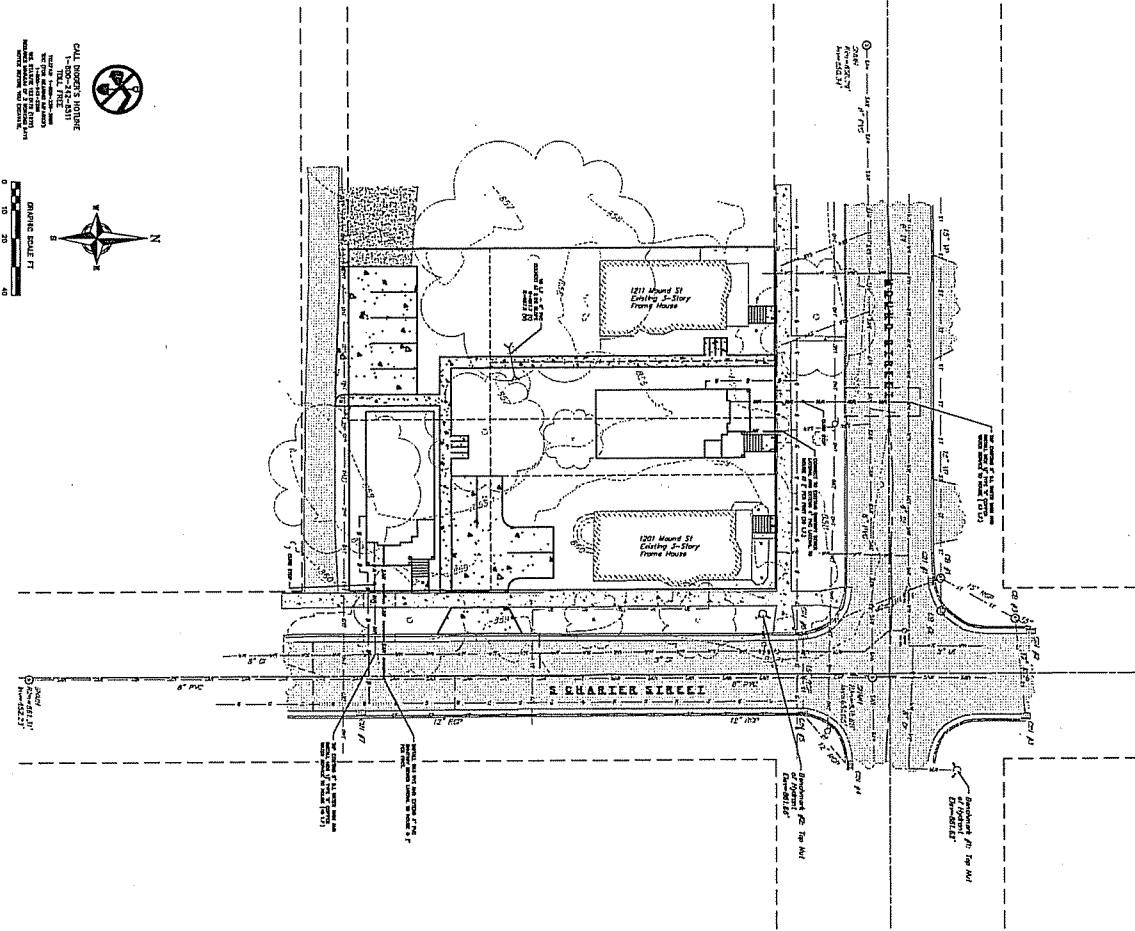


DATE: 05-04-12 DRAWN: JAC CHECKED: GJE	REVISIONS		NO. DATE REMARKS
	NO.	DATE	
	1	05-04-12	SITE PLAN SUBMITTAL
PROJECT NO. C-21	GRADING AND EROSION CONTROL PLAN		
	1201 & 1211 MOUND STREET LOTS 5 & 6 OF BLOCK 11 OF BOWENS ADDITIONS CITY OF MADISON, DANE COUNTY, WISCONSIN		
		REEDSBURG - MADISON - PEARSON OR CUREN 778 FOUR CORNERS BLVD. #200 REEDSBURG, WISCONSIN 53157 PHONE: (608) 854-0333 FAX: (608) 854-0335	

PROPOSED LEGEND



- UTILITY NOTES:**
1. PROVIDE WATER MAIN AND SERVICES SHALL BE LOCATED FROM LEVEL C-111, EXCEPT FOR APPROVED EXISTING UTILITIES THAT CORRESPOND TO EXISTING RECORDS.
 2. ALL UTILITIES SHALL BE LOCATED WITHIN THE PROPOSED CONCRETE FOOTING WALLS.
 3. A 6" DIA. CONCRETE UTILITY SERVICE SHALL BE PROVIDED TO EACH UNIT TO SERVE AS A MAIN FOR ALL UTILITIES TO BE LOCATED WITHIN THE CONCRETE FOOTING WALLS.
 4. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 5. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 6. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 7. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 8. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 9. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 10. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 11. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 12. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 13. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.
 14. ALL UTILITIES SHALL BE LOCATED WITHIN THE CONCRETE FOOTING WALLS AND SHALL BE PROTECTED BY A 1/2" THICK CONCRETE SLAB.



REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	05-08-12		
SITE PLAN SUBMITTAL			

UTILITY PLAN
 1201 & 1211 MOUND STREET
 LOTS 5 & 6 OF BLOCK 11 OF BOWENS ADDITION
 CITY OF MADISON, DANE COUNTY, WISCONSIN

vierbicher
 planners | engineers | advisors
 KEESBURG - MADISON - WAUWATOSH - WAUKESHA
 777 Foster Drive, Suite 300 - Madison, Wisconsin 53717
 Phone: (608) 254-4322 Fax: (608) 253-0222

SYMBOL KEY:

- 1 APPLY 3" OF DOUBLE-SHREDED HARDWOOD MULCH
- 2 RESEED EXISTING TURF GRASS AS NECESSARY
- 3 SEED TURF GRASS
- 4 SHOVEL CUT EDGE

EX. NEXT TREE: NEW & EXISTING PLANTINGS INCLUDED IN LANDSCAPE WORKSHEET

City of Madison - Landscape Worksheet

NEW PARKING LOT A

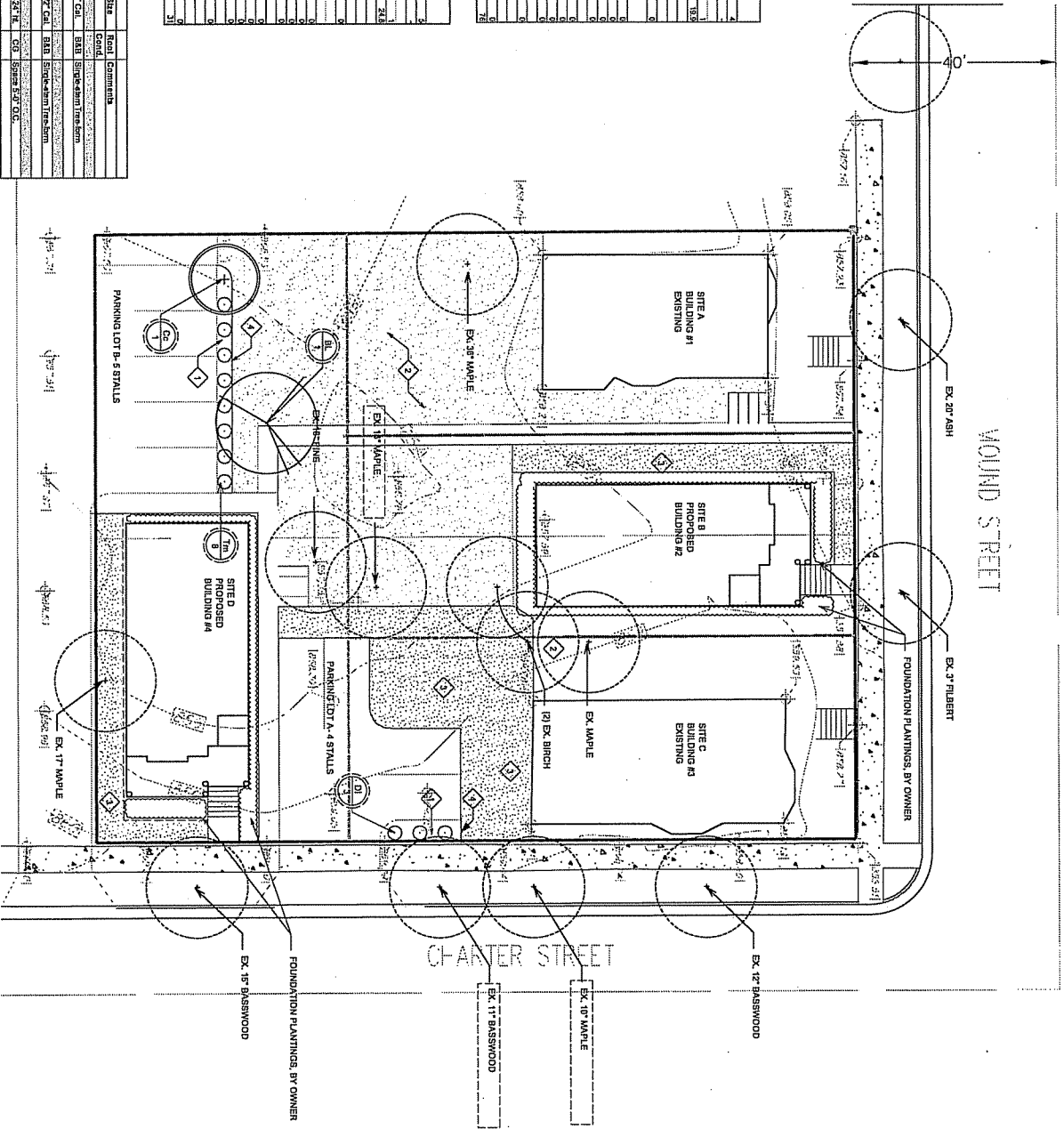
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Grass	1	1	1	1	
Grass	2	2	2	2	
Grass	3	3	3	3	
Grass	4	4	4	4	
Grass	5	5	5	5	
Grass	6	6	6	6	
Grass	7	7	7	7	
Grass	8	8	8	8	
Grass	9	9	9	9	
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Grass	44	44	44	44	
Grass	45	45	45	45	
Grass	46	46	46	46	
Grass	47	47	47	47	
Grass	48	48	48	48	
Grass	49	49	49	49	
Grass	50	50	50	50	

City of Madison - Landscape Worksheet

NEW PARKING LOT B

Element	Plant	Quantity	Material	Quantity	Notes
Grass	1	1	1	1	
Grass	2	2	2	2	
Grass	3	3	3	3	
Grass	4	4	4	4	
Grass	5	5	5	5	
Grass	6	6	6	6	
Grass	7	7	7	7	
Grass	8	8	8	8	
Grass	9	9	9	9	
Grass	10	10	10	10	
Grass	11	11	11	11	
Grass	12	12	12	12	
Grass	13	13	13	13	
Grass	14	14	14	14	
Grass	15	15	15	15	
Grass	16	16	16	16	
Grass	17	17	17	17	
Grass	18	18	18	18	
Grass	19	19	19	19	
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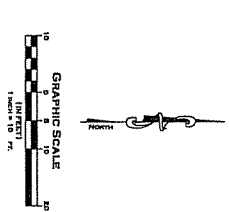
Symbol	Plant Name	Quantity	Material	Quantity	Notes
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2	Grass	2	2	2	
3	Grass	3	3	3	
4	Grass	4	4	4	
5	Grass	5	5	5	
6	Grass	6	6	6	
7	Grass	7	7	7	
8	Grass	8	8	8	
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46	Grass	46	46	46	
47	Grass	47	47	47	
48	Grass	48	48	48	
49	Grass	49	49	49	
50	Grass	50	50	50	



1 LANDSCAPE PLAN

KNOTHE & BRUCE ARCHITECTS
 7701 University Avenue Suite 201
 Madison, Wisconsin 53706
 608-263-3400 Fax: 608-263-8854

LANDSCAPE ARCHITECT
 KNOTHE & BRUCE ARCHITECTS
 7701 University Avenue Suite 201
 Madison, Wisconsin 53706
 608-263-3400 Fax: 608-263-8854



Revision
 City Summit - Aug 9th, 2012

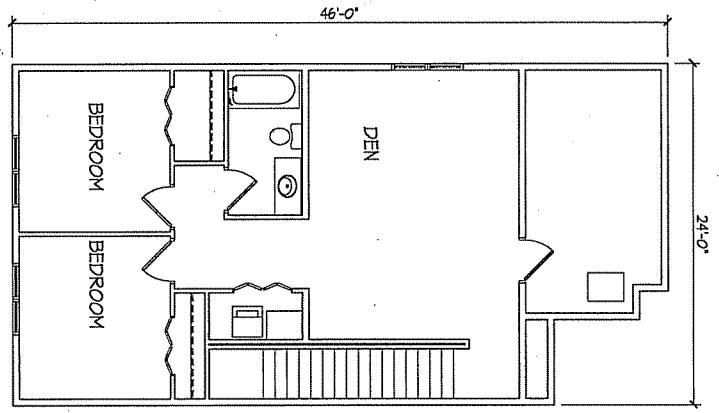
Project No.
 1201 & 1211 Mound Street

Site 5 & 6, of Block 11, of Brown Addition
 City of Madison, Dane County Wisconsin
 Overall Landscape Plan
 Project No.
 L-110

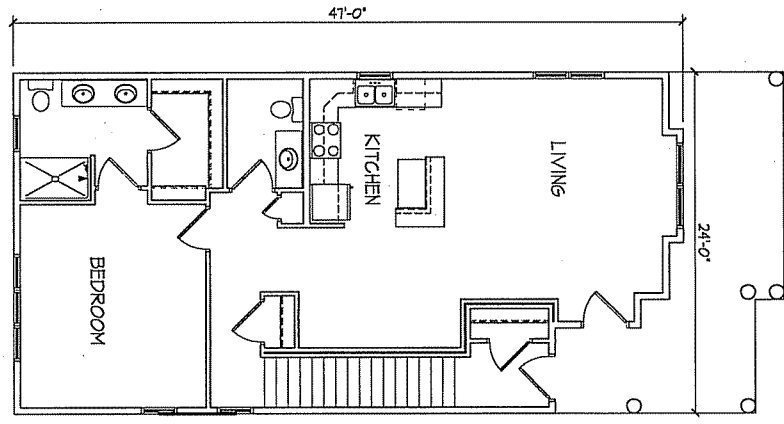
Consultant

Notes

Revision
 02/28/2014 - 149 1/2 2014
 02/28/2014 - 149 1/2 2014



○ BASEMENT FLOOR PLAN
 1/11/14



○ FIRST FLOOR PLAN
 1/11/14

Project Title
 1201 Mound St

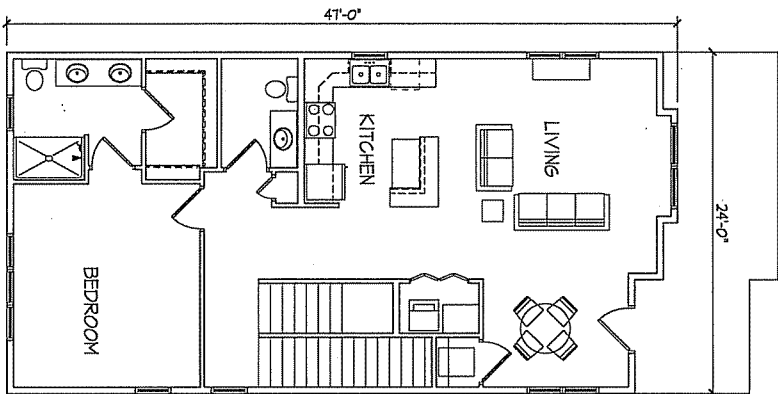
Location
 Madison, WI

Owner
 Building 2
 Floor Plans

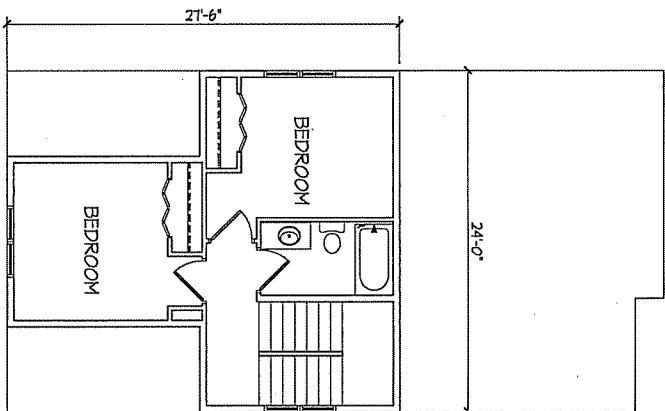
Project No.
 1203

Drawn by
 A-11

Check by
 [Signature]



SECOND FLOOR PLAN
1/11/10'

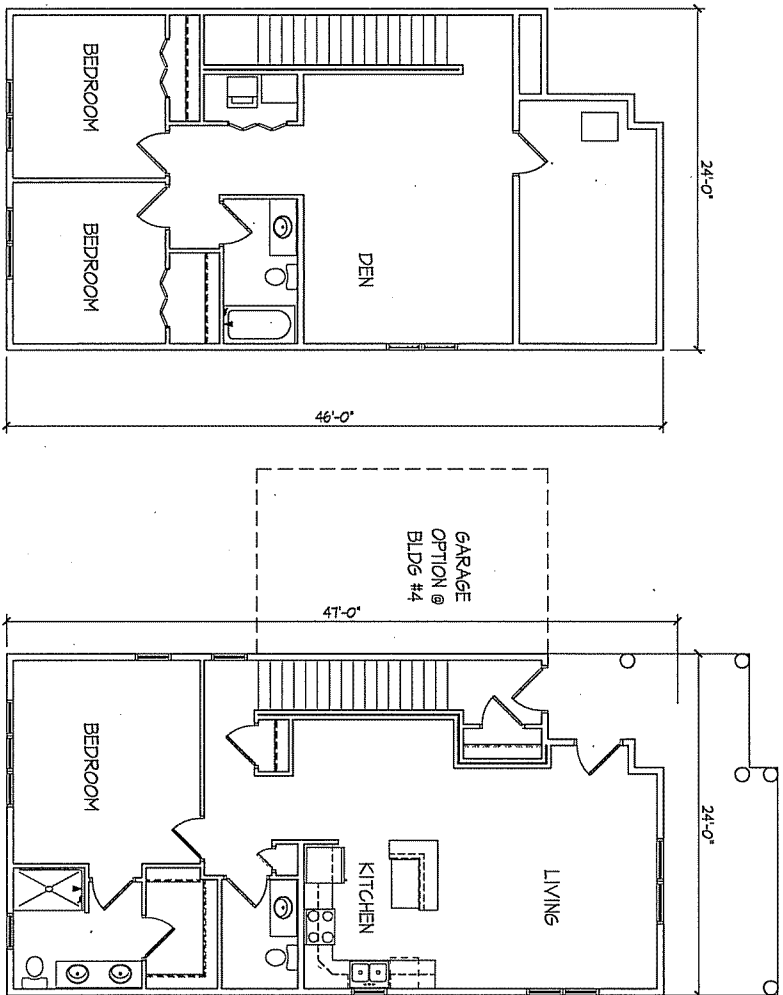


LOFT FLOOR PLAN
1/11/10'

Consultant

Notes

Architect
 608.263.5100 - Fax 608.263.5101
 608.263.5100 - Fax 608.263.5101



○ BASEMENT FLOOR PLAN

○ FIRST FLOOR PLAN

Project Site
 1201 Mound St

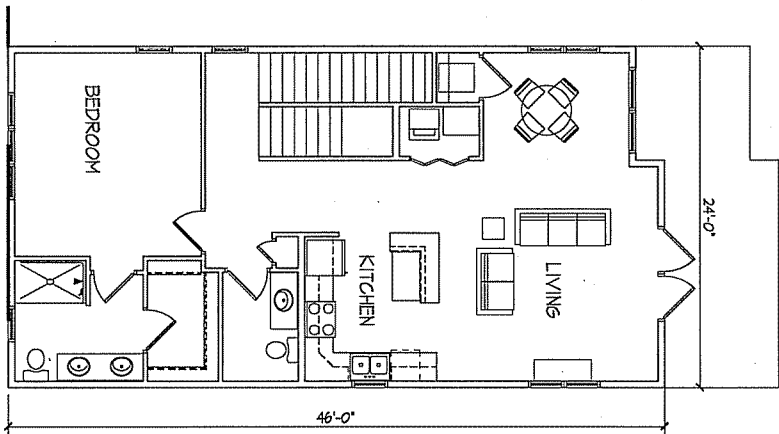
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 Drawing Title
BUILDING 4
FLOOR PLANS

Project No. 1208
 Drawing No. A-13

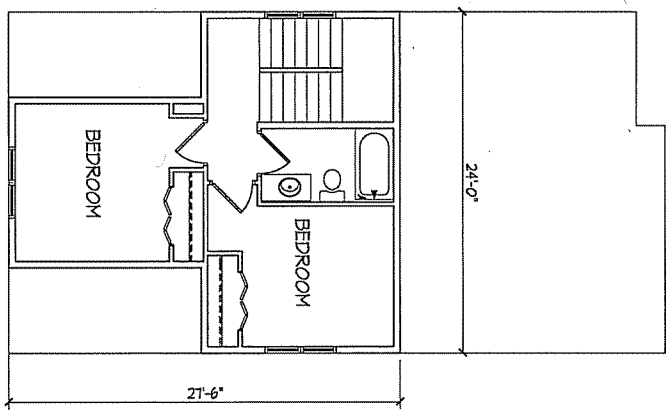
Architect
 KNOTHE & BRUCE ARCHITECTS

Consultant

Notes



○ SECOND FLOOR PLAN
1/11/10



○ LOT FLOOR PLAN
1/11/10

Annotation
05/25/2010 - 10/11/2010
06/25/2010 - 10/11/2010

Project Title
1201 Mound St

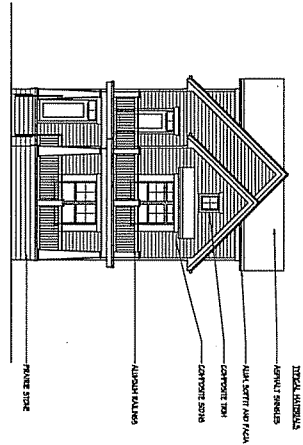
Madison, MI
Owner Title
Building 4
Floor Plans
Project No.
1208
Drawing No.
A-14

**KNOTHE
& BRUCE
ARCHITECTS**

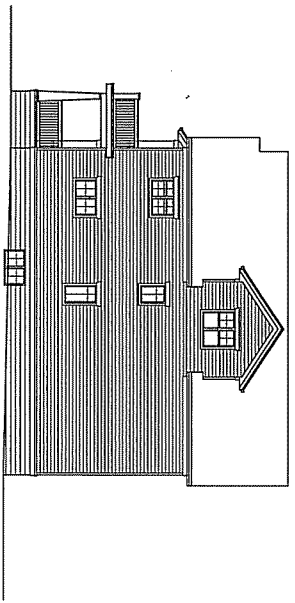
7401 University Avenue Suite 201
Madison, Wisconsin 53712
608.261.5210 Fax 608.261.7174

Consultant

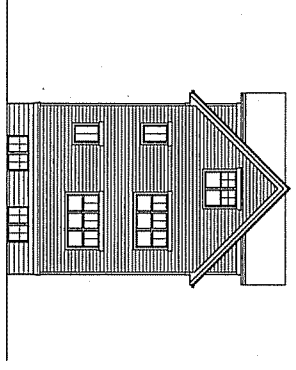
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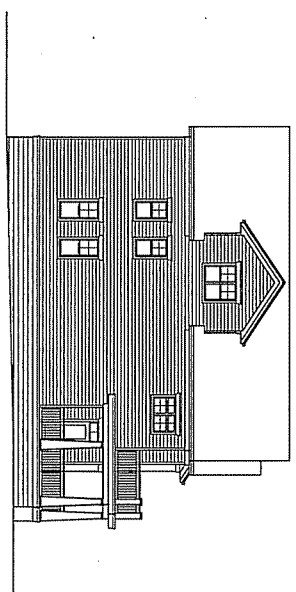
FRONT ELEVATION
1/8" = 1'-0"



SIDE ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



SIDE ELEVATION
1/8" = 1'-0"

Revision
09/28/2014 - 10/1/2014
02/25/2014 - 10/20/2014

Project File
1201 Mound St

Madison, WI
Drawing Title
BLDG #2
Elevations
Project No.
1203
Drawing No.
A-21

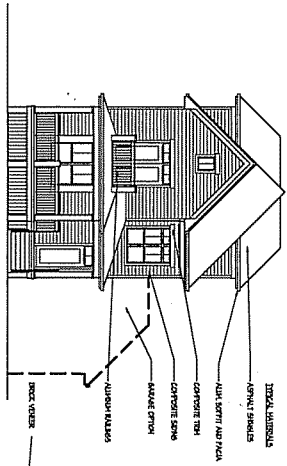
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KNOTHE & BRUCE ARCHITECTS

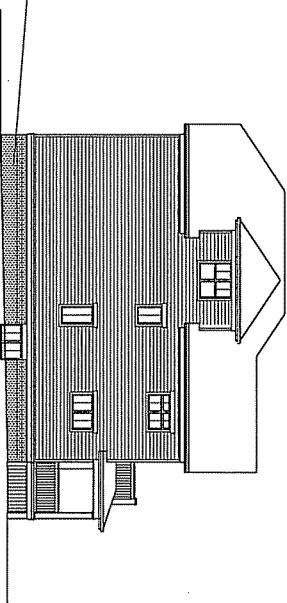
7401 University Avenue Suite 201
 Middleton, Wisconsin 53524
 608.832.2890 Fax 608.832.2891

Consultant:

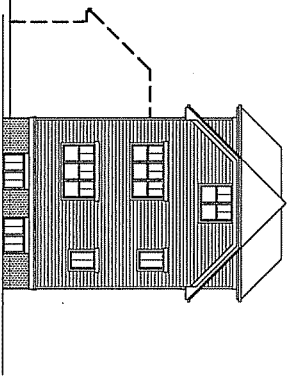
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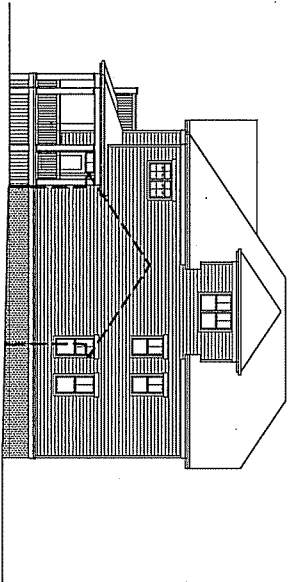
FRONT ELEVATION
 1/8" = 1'-0"



SIDE ELEVATION
 1/8" = 1'-0"



REAR ELEVATION
 1/8" = 1'-0"



SIDE ELEVATION
 1/8" = 1'-0"

Revision
 0101 SUBMITTAL - 1/14, 1, 2004
 0102 SUBMITTAL - 1/14, 1/2, 2004

Project Title
 1201 Mound St

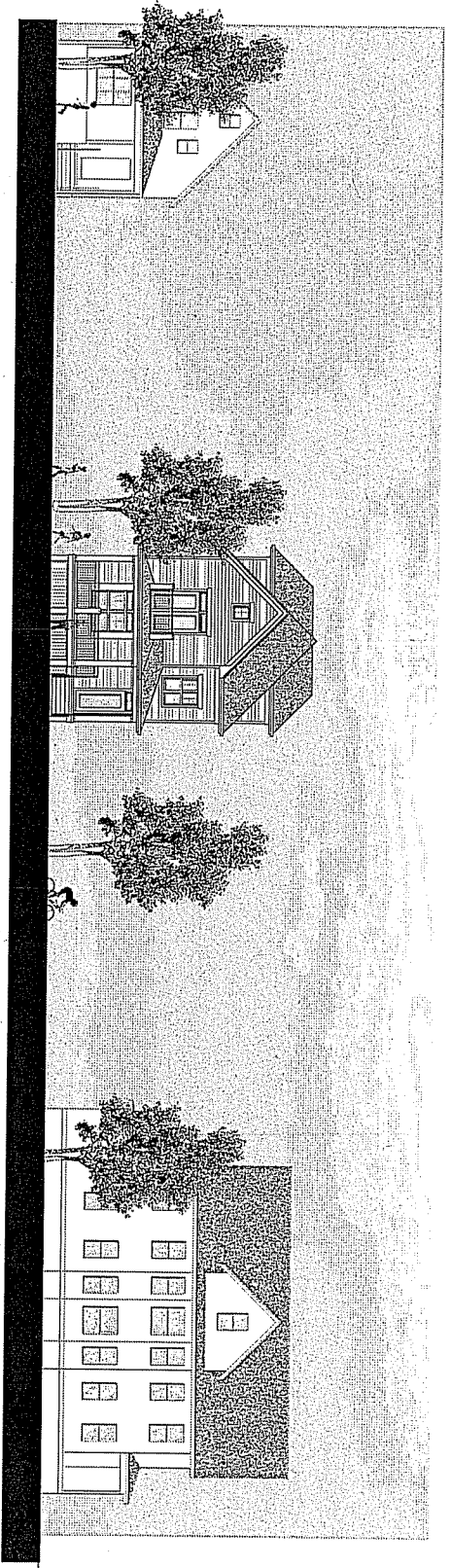
Madison, WI

Building Title
 BLDG #4
 Elevations

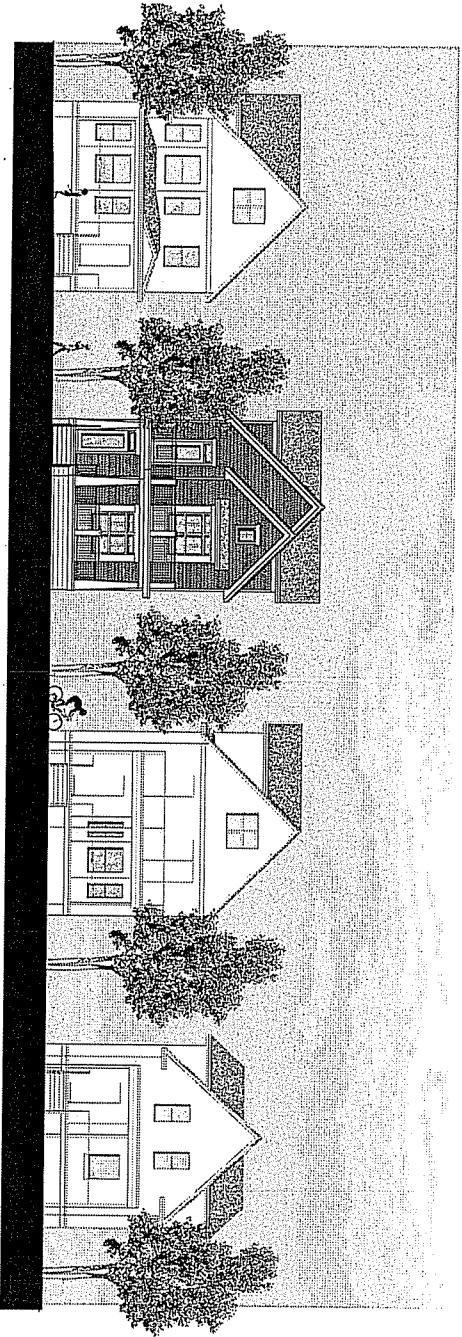
Project No. 1203
 Drawing No. A-22

Small text at the bottom left corner, likely a disclaimer or copyright notice.

Charter Street Elevation



Mound Street Elevation



Mound Street Development

Elevations

March 28, 2012

KNOTHE
& BRUCE
architects