

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** 04008

DATE SUBMITTED: <u>July 19, 2006</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>July 26, 2006</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 6001 Kilpatrick Lane

ALDERMANIC DISTRICT: District 9, Ald. Cnare

OWNER/DEVELOPER (Partners and/or Principals) DJK Real Estate, LLC. ARCHITECT/DESIGNER/OR AGENT: Vandewalle & Associates  
120 East Lakeside Street  
Madison, WI 53715

CONTACT PERSON: Brian Munson  
Address: 120 East Lakeside Street  
Madison, WI 53715  
Phone: (608) 255-3988  
Fax: (608) 255-0814  
E-mail address: bmunson@vandewalle.com

- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
  - Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

July 19, 2006

Mr. Al Martin  
Department of Planning & Development  
City of Madison  
215 Martin Luther King Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985

Re: 6001 Kilpatrick Lane  
UDC Submittal

Dear Mr. Martin:

On behalf of David Simon, DJK Real Estate, LLC, we are pleased to submit for final approval the SIP and attached packet of information for the C2 Townhomes (6001 Kilpatrick Lane). In response to our initial UDC review, the front doors of the townhomes have been replaced with doors that have more windows. Two door styles have been used; one with a side light and band of windows along the top of the door (type A), and the other with a two-thirds window on the door (type B). These changes are evident in both the elevations and floor plans.

Owners:  
DJK Real Estate, LLC

Design Team:  
Vandewalle & Associates  
120 East Lakeside Street  
Madison, Wisconsin 53715  
Tel: (608) 255-3988  
Fax: (608) 255-0814

Mr. Brian Munson  
Mr. Chris Landerud

D'Onofrio Kottke  
7530 Westward Way  
Madison, Wisconsin 53717  
Tel: (608) 833-7530  
Fax: (608) 833-1089

Mr. Dan Day

Eppstein Uhen Architects  
222 W. Washington Ave, Suite 650  
Madison, Wisconsin 53703  
Tel: (608) 442-5350  
Fax: (608) 442-6680

Mr. Joseph Lee

Development Information:

LEGAL DESCRIPTION

Lot 3, of Certified Survey Map No. 11058  
City of Madison, Wisconsin

Project Name: C2 Townhomes  
Address: 6001 Kilpatrick Lane  
Parcel Number: 0710-112-0105-2  
Zoning: PUD-GDP Doc. # 3589157  
Grandview Commons Adopted August 9, 2002

Proposed Use: Neighborhood Center Mixed Use  
Schedule: Commencement - Fall 2006  
Completion - 2007

Lot Area: 24,654 square feet

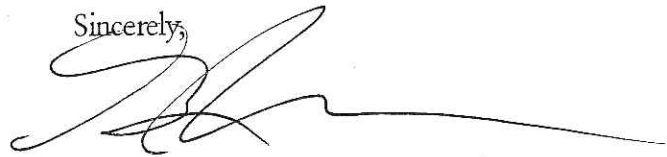
Floor Area: 20,786 square feet  
Floor Area Ratio: 0.84

Impervious Area: 10,820 square feet  
Impervious Area Ratio: 0.44

Surface Parking: 10 stalls  
Garage Parking: 20 stalls  
Total Parking: 30 stalls

Thank you for your time in reviewing this project.

Sincerely,



Brian Munson  
Project Manager

SIP Zoning Text

Grandview Commons  
Townhomes  
6001 Kilpatrick Lane

**Legal Description:**

Lot 3, of Certified Survey Map No. 11058  
City of Madison, Wisconsin

- A. Statement of Purpose:** This zoning district is established to allow for the construction of 10 residential townhome units.
- B. Permitted Uses:** Multi-Family Residential
- C. Lot Area:** 0.57 Acres (24,654 sq. ft.)
- D. Floor Area Ratio:** 0.84
  - 1. Maximum floor area ratio varies (set in the SIP).
  - 2. Maximum building height permitted is 45 feet.
- E. Yard Requirements:** As shown on approved plans.
- F. Landscaping:** As shown on approved plans.
- G. Accessory Off-Street Parking & Loading:** As shown on approved plans.
- H. Lighting:** As shown on approved plans.
- I. Signage:** Not applicable
- J. Family Definition:** The family definition of the PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison Ordinances for the R-4 zoning district.
- K. Alterations and Revisions:** No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alteration or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.



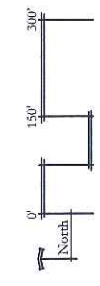
I - 3 9

# Grandview Commons Town Center

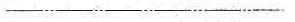








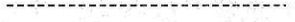
*Madison, Wisconsin*



Veridian Homes  
© 2006



**LEGEND**

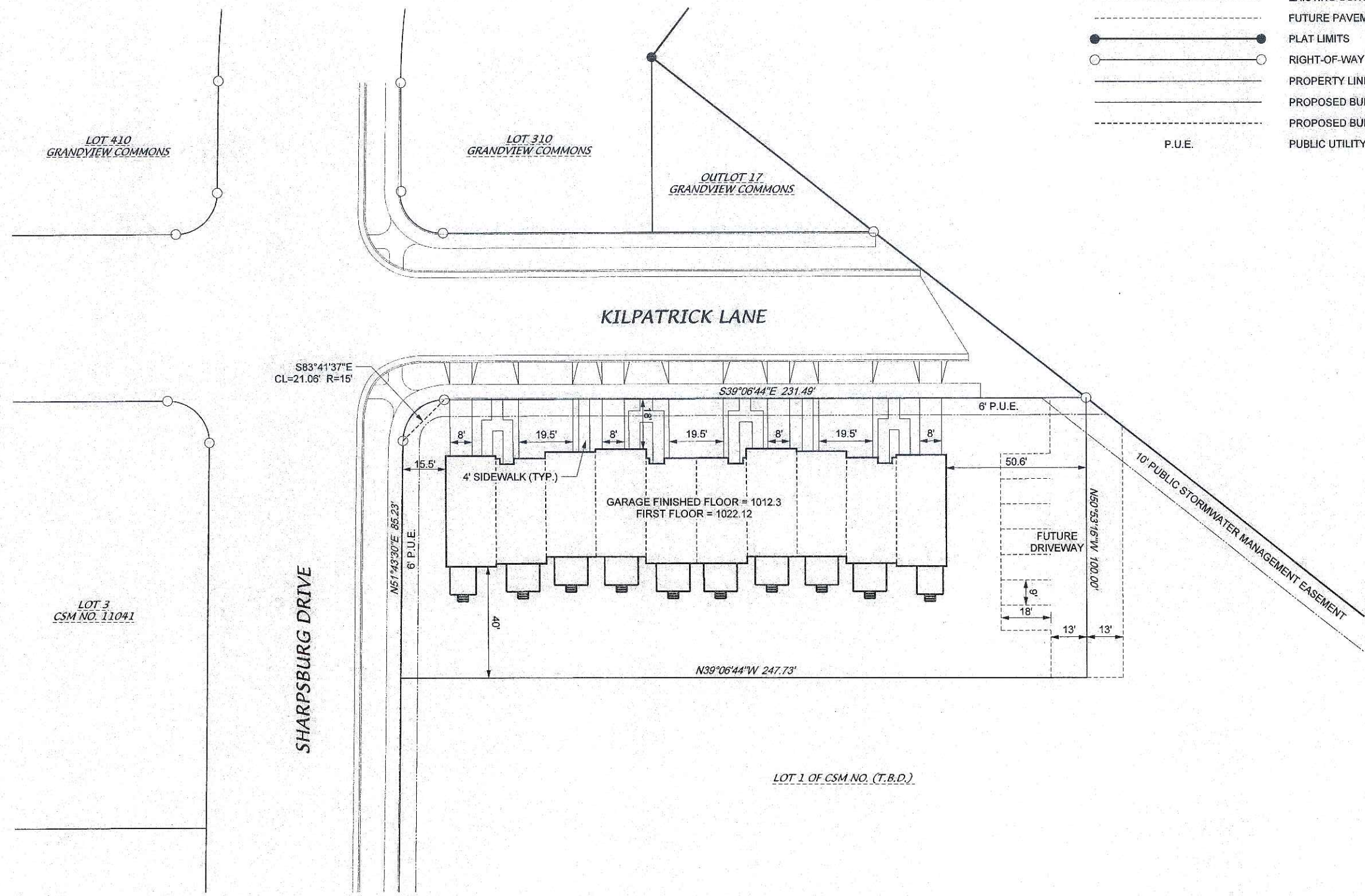
-  UTILITY EASEMENT
-  PROPOSED CONCRETE DRIVEWAY
-  EXISTING CONC. CURB & GUTTER
-  FUTURE PAVEMENT
-  PLAT LIMITS
-  RIGHT-OF-WAY
-  PROPERTY LINE
-  PROPOSED BUILDING
-  PROPOSED BUILDING UNIT LINES
-  PUBLIC UTILITY EASEMENT



SCALE: 1" = 20'

DATE: 06-15-06

FN: 06-03-107  
ISSUED BY: ETL



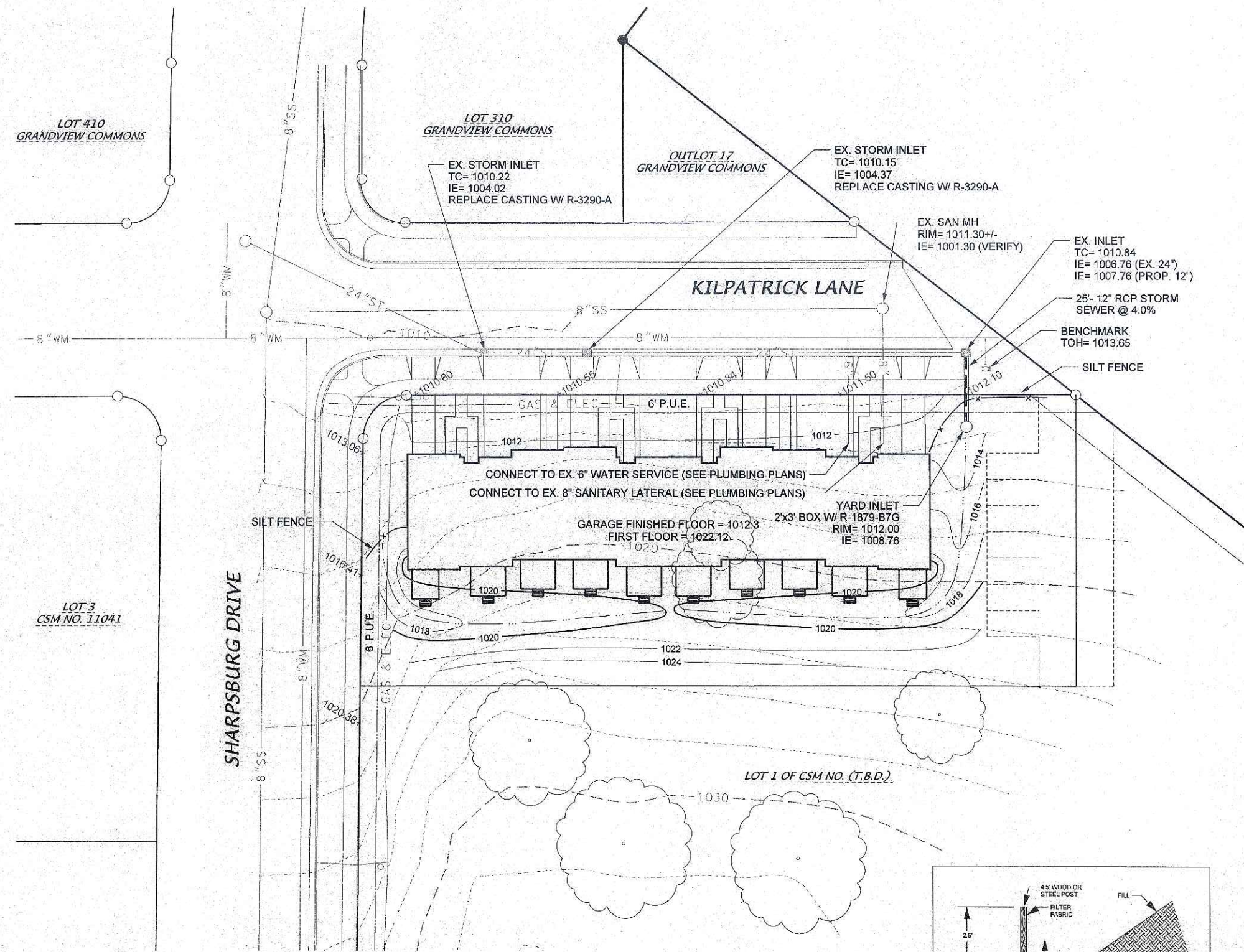
SITE PLAN

**GRANDVIEW COMMONS - "C2 SITE"**  
**LOT 2 OF CSM NO. (T.B.D.)**  
**CURRENTLY PART OF LOT 3 OF CSM NO. 11058**

KILPATRICK LANE  
 CITY OF MADISON, WISCONSIN

LOT AREA = 24,654 SF  
 FLOOR AREA = 20,786 SF  
 FLOOR AREA RATIO = 0.84  
 IMPERVIOUS AREA = 10,820 SF  
 IMPERVIOUS AREA RATIO = 0.44  
 SURFACE PARKING = 10 STALLS  
 GARAGE PARKING = 20 STALLS  
 TOTAL PARKING = 30 STALLS

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
**YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT**



**LEGEND**

	UTILITY EASEMENT
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING GAS & ELECTRIC LINES
	PROPOSED STORM SEWER
	EXISTING MANHOLE
	EXISTING INLET
	EXISTING CONC. CURB & GUTTER
	FUTURE PAVEMENT
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	SWALE / DRAINAGE ROUTE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PLAT LIMITS
	RIGHT-OF-WAY
	PROPERTY LINE
	PROPOSED BUILDING
	PUBLIC UTILITY EASEMENT



DATE: 06-15-06

FN: 06-03-107  
JPM/STP

GRADING & UTILITY PLAN

**GRANDVIEW COMMONS - "C2"**

**LOT 2 OF CSM NO. (T.B.D.)**

**CURRENTLY PART OF LOT 3 OF CSM #11058**

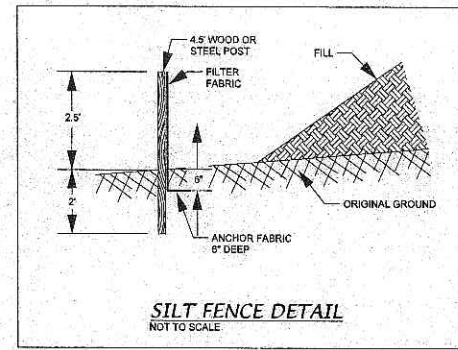
KILPATRICK LANE  
CITY OF MADISON, WISCONSIN

**UTILITY NOTES**

- 1) All site utilities shall conform to the City of Madison Standard Specifications, dated March 2004, and all subsequent addendums.
- 2) Site utility contractor shall notify the City of Madison prior to making any connections to the sanitary sewer.
- 3) The contractor shall make himself familiar with existing utilities and be responsible for their protection during construction.











**EROSION CONTROL NOTES**

- 1) Upon completion of initial site grading, foundation excavation and backfill, silt fence shall be installed and all disturbed areas along the Kilpatrick Lane side of the building shall be covered with heavily applied straw mulch, woodchips or stone. The mulch or stone material shall be periodically reapplied as needed to maintain cover.
- 2) A temporary straw bale inlet filter shall be installed as soon as the yard inlet is set and maintained until permanent cover is established. The filter shall be inspected after every rainfall and cleaned as necessary.
- 3) Erosion control is the responsibility of the Contractor until acceptance of this project. Erosion control measures as shown on the approved plan shall be the minimum precautions allowed. The contractor shall be responsible for recognizing and correcting erosion control problems that are a result of construction activities.
- 4) Additional erosion control measures, as requested in writing by the City inspector, shall be installed within 24 hours.
- 5) Any stockpiles on site for more than 10 days shall be stabilized with mulch, vegetative cover, tarp or other means approved by the City inspector. Any stockpiles shall be located in the area south of the proposed building.
- 6) All disturbed areas are to be restored in accordance with the Landscape Plan, but at a minimum, lawn areas are to be restored with seed, fertilizer and mulch.
- 7) Any disturbed areas within the public street right-of-way shall be restored with 4" topsoil, seed, fertilizer and mulch.



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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**LEGEND**

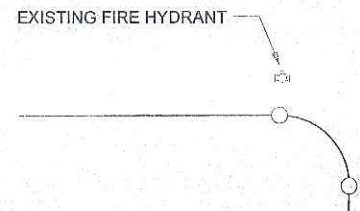
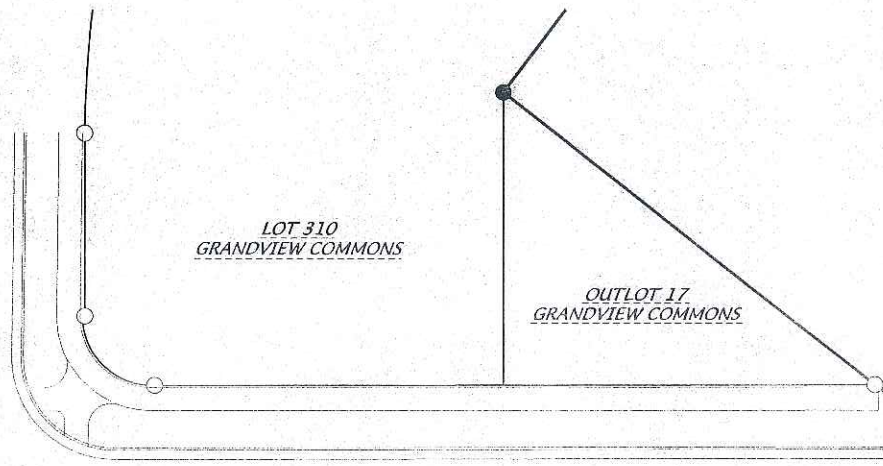
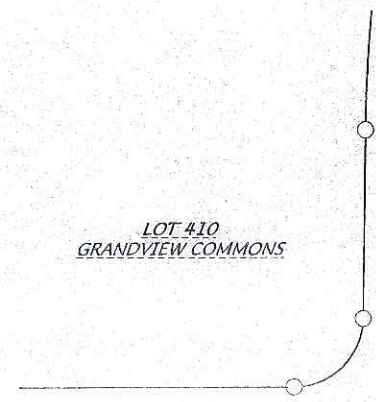
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SCALE: 1" = 20'

DATE: 06-15-06

FN: 06-03-107  
DRAWN BY: CIL

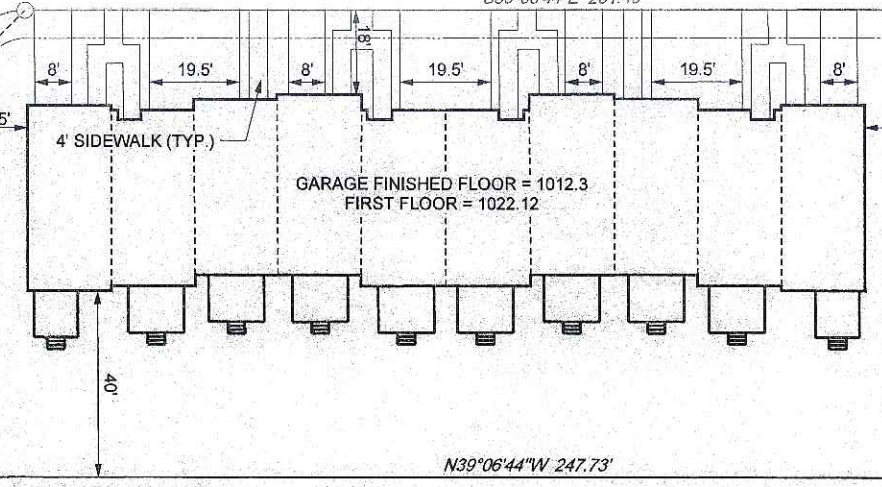


LOT 3  
CSM NO. 11041

S83°41'37"E  
CL=21.06' R=15'

SHARPSBURG DRIVE

N51°43'30"E 65.23'  
6' P.U.E.



KILPATRICK LANE

S39°06'44"E 231.49'

6' P.U.E.

EXISTING FIRE HYDRANT

FUTURE DRIVEWAY

50.6'

N65°53'16"W 100.00'

10' PUBLIC STORMWATER MANAGEMENT EASEMENT

EXISTING FIRE HYDRANT  
180' WEST OF PROPERTY CORNER

N39°06'44"W 247.73'

LOT 1 OF CSM NO. (T.B.D.)

**FIRE ACCESS PLAN**  
**GRANDVIEW COMMONS - "C2 SITE"**  
**LOT 2 OF CSM NO. (T.B.D.)**  
**CURRENTLY PART OF LOT 3 OF CSM NO. 11058**  
 KILPATRICK LANE  
 CITY OF MADISON, WISCONSIN

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**LANDSCAPE NOTES**

**GENERAL**

**Digging**  
 Contact local Digger's Hotline prior to any digging.

**Topsoil**  
 Topsoil shall be classified as a sandy loam soil to silty loam. No organic topsoil from peaty sources will be accepted. Topsoil imported from a local supplier shall be stripped and stockpiled for more than 12 months to be relatively free of viable weed seeds. Topsoil shall be sifted and/or screened to be free of stones and clay lumps, plants or other extraneous materials.

**Fine Grading**  
 Inspect site and verify that adequate topsoil has been provided for all seed and planting beds. Remove all trash and stone exceeding 2 inches in diameter from areas to a depth of 2 inches prior to bed preparation and planting. Fine grade to within 1/2" of finished grade. All lawn areas to be sloped evenly to sheet drain and approximate contours on grading plan.

**Boulder Retaining Walls**  
 Walls shall be made with fieldstone boulders varying in size from 8" to 36" in diameter. Obtain approval from landscape architect for specific type and source of boulders prior to ordering material. Each wall shall be uniform final elevation across the top, with variation along the bottom elevation per grading plan.

**PLANTING**

**Plant starter mix**  
 A 2:1 ratio mix of two parts peat moss and one part manure. Available at certified peat & sod, New Berlin, WI (414-542-2270 for information) or approved equal.

**Substitutions**  
 Substitutions/changes of plantings must be approved by landscape architect.

**Plant staking**  
 Landscape contractor shall stake trees and shrub locations in the field and obtain approval from landscape architect prior to planting.

**Trees**  
 Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Tree holes to be at least 2 ft max the spread diameter of the root ball. Use shovel to rough up sides of exposed walls. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

**Shrubs**  
 Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

**Perennials**  
 Condition topsoil in perennial planting beds by adding 3" plant starter mix. Add bone meal and magnesium, each at the rate of 1-2 lbs. per 100 S.F. Add granular sulfur at the rate of 3-4 lbs. per 100 S.F. Roll to blend and re-grade as necessary. Set plant depth to be same as grown in nursery. Water in well.

**MULCHING**

Install a 3" layer of shredded bark throughout tree, shrub, and perennial planting beds. For trees in lawn, install a 4-5" diameter circle of mulch around each tree. Do not allow mulch to touch plant stems. Contractor shall provide shredded bark mulch from disease-free hardwood trees. Provide generally flat bark, maximum of 1" wide and 4" long, graded down to sawdust, and relatively free of deleterious matter.

**BED EDGING**

All planting beds adjacent to turf areas shall be edged with a straight-face poly-vinyl edging, Slim-Edg, by Oly-Ola Edgings, Inc., or approved equal. Install per manufacturer's instructions.

**TURF SEEDING**

Proportions by common name by weight  
 A. Baron kentucky bluegrass 20 %  
 B. Liberty kentucky bluegrass 20 %  
 C. Penitawn fescue 20 %  
 D. Phalaris II perennial ryegrass 20 %  
 E. Palmer II perennial ryegrass 20 %

Apply at the rate of 5 lbs. per 1000 S.F.

Method of grass seeding may be varied at discretion of Contractor on their responsibility to establish smooth, uniform turf composed of the grasses specified.

- Spread lawn fertilizer per manufacturer's specifications.
- Do not seed following rain or if surface has been compacted by rain.
- Do not seed when wind velocity exceeds 6 m.p.h.
- Method of mulching may be varied at discretion of contractor. Fiber mulch to be mixed with seed and fertilizer if hydroseeding. Or, protect seeded areas by spreading straw mulch to form a continuous blanket over seeded areas.
- Keep seeded moist for next 4 weeks.

**MAINTENANCE**

Maintenance Period - Contractor shall provide regular maintenance until a date of 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide minimum of 1" of water per week throughout the maintenance period for all planting areas.

**PLANT GUARANTEE**

The landscape contractor shall guarantee to replace, without charge, any woody plant material (deciduous or evergreen trees & shrubs) that dies within one year of installation, providing the owner gives normal plant care (regular watering). The owner must report plant losses within the guarantee period.

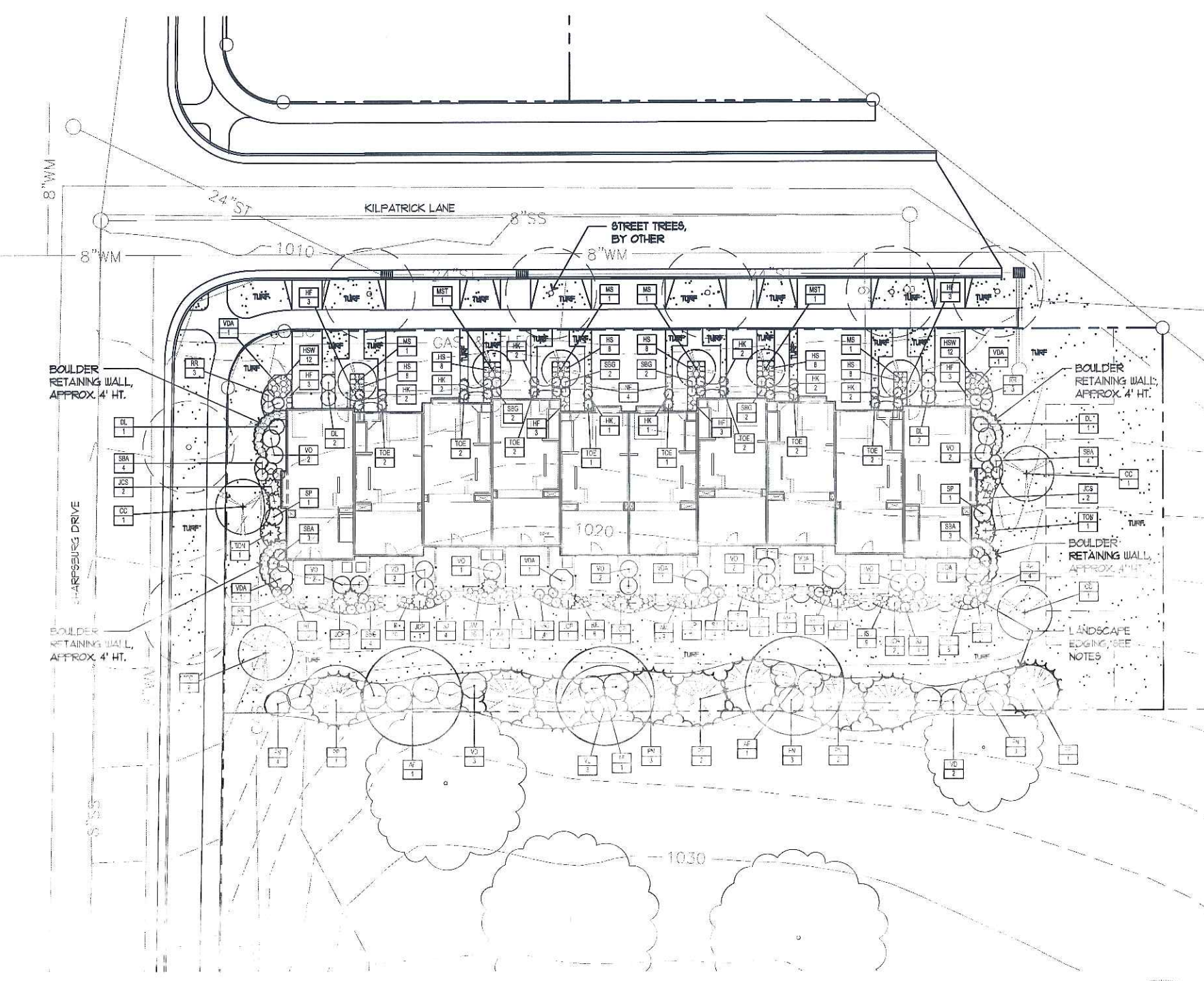
**PLANTING SCHEDULE**

Deciduous Trees							
SYM.	BOTANICAL NAME	COMMON NAME	HT.	SIZE	COND.	LEAF FAL.	POINTS
AF	Acer x hybrid 'Autumn Blaze'	Autumn Blaze Maple	3'	2.5' Col.	5/5	As shown	1
Evergreen Trees							
SYM.	BOTANICAL NAME	COMMON NAME	HT.	SIZE	COND.	LEAF FAL.	POINTS
PP	Picea pungens	Colorado Green Spruce	4'	6" Ht.	5/5	As shown	1
PN	Pinus nigra	Austrian Pine	5'	6" Ht.	5/5	As shown	1
Ornamental Trees							
SYM.	BOTANICAL NAME	COMMON NAME	HT.	SIZE	COND.	LEAF FAL.	POINTS
CR	Crataegus baccata 'Winter Gem'	Thornless Crataegus	4'	2" Col.	5/5	As shown	1
MS	Morus x 'Sentinel'	Sentinel Mulberry	4'	2" Col.	5/5	As shown	1
MST	Morus x 'Sugar Tyme'	Sugar Tyme Crabapple	2.5'	2" Col.	5/5	As shown	1
Deciduous Shrubs							
SYM.	BOTANICAL NAME	COMMON NAME	HT.	SIZE	COND.	LEAF FAL.	POINTS
DL	Dicentra spectabilis	Dwarf Bush Hollyhock	6"	2" Col.	5/5	As shown	1
FN	Forsythia x 'Northern Gold'	Northern Gold Forsythia	10'	36" Ht.	5/5	As shown	2
HK	Hypericum calycinum 'Ames'	Ames Korn St. Johnswort	14"	2" Col.	5/5	As shown	1
RR	Rosa 'Red Merlot'	Red Merlot Rose	3'	2" Col.	5/5	As shown	1
SBA	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	7'	18" Ht.	5/5	As shown	2
SRG	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	7'	18" Ht.	5/5	As shown	2
SJ	Spiraea japonica 'Little Princess'	Little Princess Spiraea	12'	18" Ht.	5/5	As shown	2
SP	Spiraea prunifolia	Brdo-weir Spiraea	2'	36" Ht.	5/5	As shown	1
VDA	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	7'	36" Ht.	5/5	As shown	2
VD	Viburnum dentatum	Arrowwood Viburnum	5'	36" Ht.	5/5	As shown	2
VL	Viburnum lentago	Nannyberry Viburnum	3'	36" Ht.	5/5	As shown	1
VO	Viburnum opulus 'Compactum'	Compact European Viburnum	15'	18" Ht.	5/5	As shown	2
Evergreen Shrubs							
SYM.	BOTANICAL NAME	COMMON NAME	HT.	SIZE	COND.	LEAF FAL.	POINTS
JCS	Juniperus chinensis 'Blz. comp.	Compact Blue Juniper	14"	24" Ht.	5/5	As shown	1
JCS	Juniperus chinensis 'Sera Green'	Sera Green Juniper	3'	36" Ht.	5/5	As shown	1
TOE	Taxus occidentalis 'emerald'	Emerald Arborvitae	15'	50" Ht.	5/5	As shown	2
TON	Taxus occidentalis 'Nigra'	Nigra Arborvitae	2'	50" Ht.	5/5	As shown	1
Perennials							
SYM.	BOTANICAL NAME	COMMON NAME	HT.	SIZE	COND.	LEAF FAL.	POINTS
AK	Aspidistra x 'Anonchima'	Anonchima	20"	1" Col.	5/5	As shown	1
HS	Hemerocallis 'Stella d'oro'	Low Yellow Day Lily	20"	1" Col.	5/5	As shown	1
HSW	Hemerocallis 'Summer White'	Summer White Day Lily	24"	1" Col.	5/5	As shown	1
HF	Hosta 'Plantation White'	Plantation White	20"	1" Col.	5/5	As shown	1
HS	Hemerocallis 'Summer White'	Summer White Day Lily	24"	1" Col.	5/5	As shown	1
NS	Nepenthes 'Lips of Venus'	Lips of Venus	4"	1" Col.	5/5	As shown	1
RT	Rubus 'Fragola'	Fragola	40"	1" Col.	5/5	As shown	1

Total Points 630

**PLANTING REQUIREMENTS (CALCULATED FROM WORKSHEET, 0 PARKING STALLS)**

**NO. OF CANOPY SHADE TREES REQUIRED** 0  
**NO. OF POINTS REQUIRED** 0



**REVISIONS**

NO.	DATE	DESCRIPTION

**Grandview Commons - Town Center**  
**C2 TOWNHOMES LANDSCAPE PLAN**  
 MADISON, WISCONSIN

**LANDSCAPE PLAN**  
 1" = 16'-0"

WISCONSIN LANDSCAPE ARCHITECT  
 JAMES J. SCHAEFER  
 389 MADISON, WI  
 SCALE: 1" = 16'-0"  
 DATE: 6/21/06  
 DRAWN BY: JDS  
 GRANDVIEW - C2 LINDSCP  
**L1.0**



**EPPSTEIN UHEN**  
ARCHITECTS  
milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
tel 414 271 5550 fax 414 271 7794  
madison 222 West Washington Ave, Suite 650  
Madison, Wisconsin 53703  
tel 608 442 5350 fax 608 442 6880

PROJECT  
**GRANDVIEW COMMONS  
BUILDING - 'C2'**  
KILPATRICK LANE  
MADISON, WISCONSIN

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be utilized for final bidding or construction related purposes.

ISSUANCE AND REVISIONS

DATE	DESCRIPTION

UDC SUBMITTAL  
SHEET TITLE  
**GARAGE PLAN, FIRST  
FLOOR PLAN & WINDOW  
SCHEDULE**

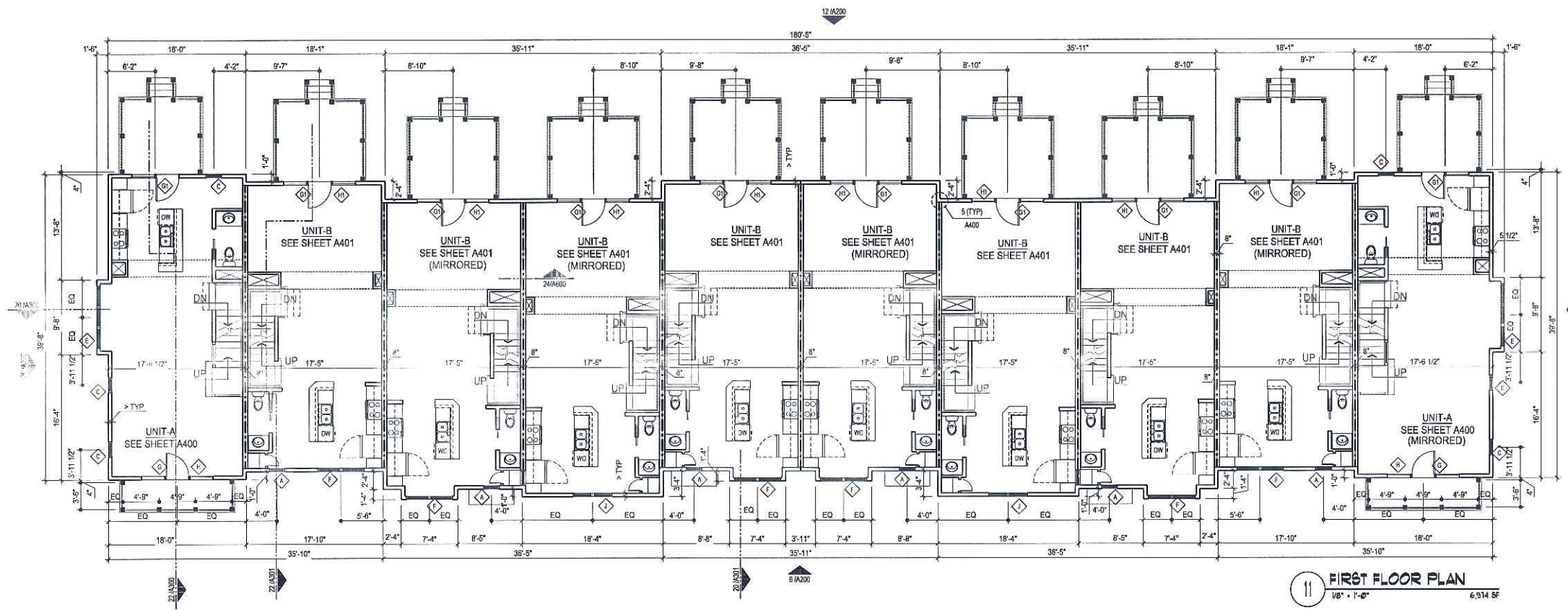
APPROVAL

SPACE PLAN (FLOOR/APPENDIX)	DD	CD	FFE
DATE			
NAME			
DEPARTMENT			

PROJECT MANAGER **WWR**  
PROJECT NUMBER **103237-03**  
DATE **JULY 18, 2006**  
SHEET NUMBER

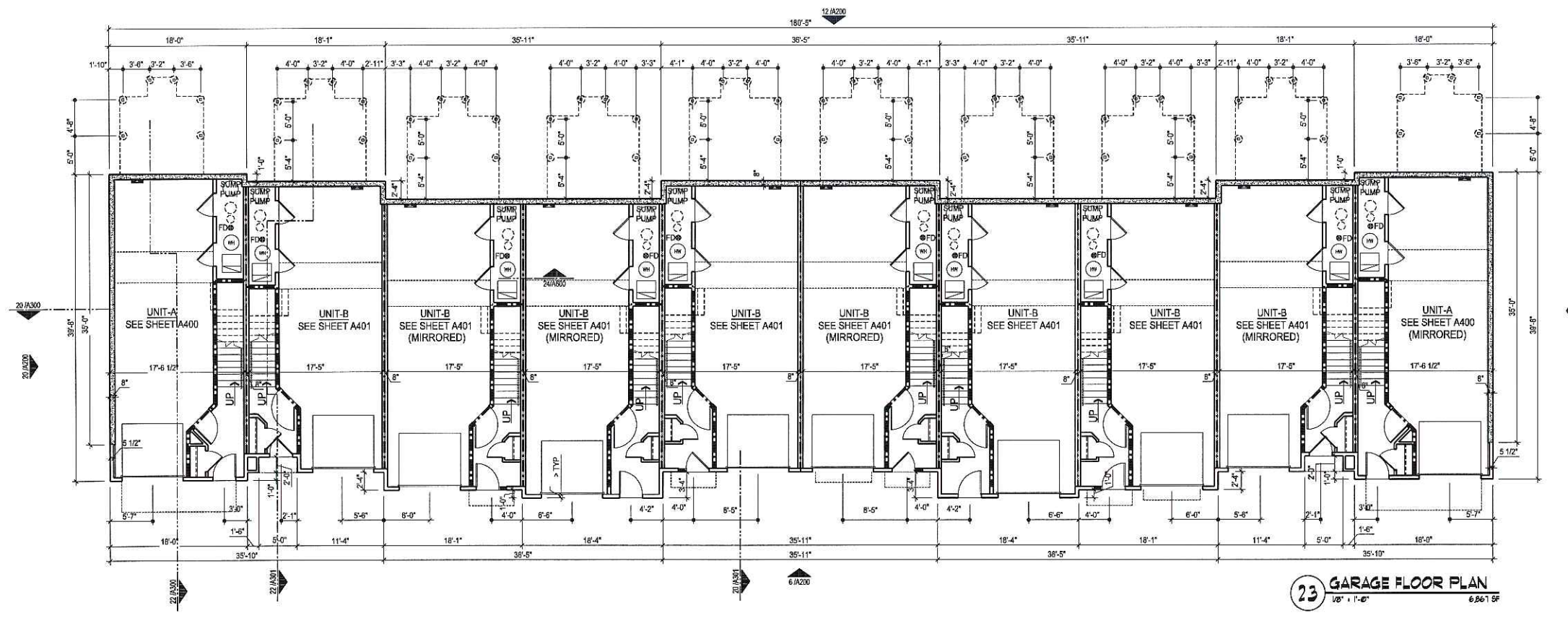


**A100**



**GENERAL NOTES**

1. DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
2. ALL FOUNDATION WALLS SHALL BE 8" THICK UNLESS OTHERWISE NOTED.
3. VERIFY NUMBER OF RISERS & PORCHES w/ FINAL GRADE.
4. ALL UNIT DEMISING WALLS ARE TO RUN FROM TOP OF FOUNDATION WALL TO BOTTOM OF ROOF SHEATHING. SEE SHEET A-600.
- 5.



**TOWNHOME WINDOW SCHEDULE**

ID TAG	WINDOW SIZE (NOMINAL)	WINDOW TYPE
◇	(1) 2'-0" x 2'-0"	FIXED
◇	(2) 2'-0" x 2'-0"	FIXED
◇	(1) 2'-0" x 4'-0"	SINGLE HUNG
◇	(2) 2'-6" x 6'-6"	SINGLE HUNG
◇	(3) 2'-8" x 5'-0" w/ (3) 2'-8" x 1'-2" TRANSOM	SINGLE HUNG
◇	(2) 3'-0" x 5'-6"	SINGLE HUNG
◇	6'-0" x 6'-8" w/ 6'-0" x 1'-2" TRANSOM	CTR SWING FRENCH DOOR
◇	6'-0" x 6'-8" w/ 6'-0"	CTR SWING FRENCH DOOR
◇	3'-0" x 6'-8" w/ 3'-0" x 1'-2" TRANSOM	FIXED FRENCH DOOR
◇	3'-0" x 6'-8" w/ 3'-0"	FIXED FRENCH DOOR
◇	NOT USED	--
◇	(2) 2'-8" x 5'-6" w/ (2) 2'-8" x 1'-2" TRANSOM	SINGLE HUNG

WINDOW NOTES:  
1. ALL 3'-0" WIDE BEDROOM WINDOWS & PATIO DOORS MUST MEET EGRESS CLEARANCE REQUIREMENTS - VERIFY WITH MANUFACTURER.  
2. PROVIDE TEMPERED GLASS AT ALL SASHES AT THE FOLLOWING LOCATIONS:  
WITHIN 2'-0" OF EXIT/ENTRANCE DOORS OR  
WITHIN 2'-0" OF THE FLOOR  
3. VERIFY R.O. SIZES WITH MANUFACTURER  
4. R.O. SIZES FOR MULTIPLE WINDOW UNITS: FOR LEATHERSHIELD VISION 2000 WINDOWS, SUBTRACT 1/4" FROM THE R.O. FOR EACH ADDITIONAL WINDOW BEYOND A SINGLE.



**EPSTEIN UHEN**  
ARCHITECTS  
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PROJECT  
**GRANDVIEW COMMONS**  
BUILDING - 'C2'

KILPATRICK LANE  
MADISON, WISCONSIN

**PROGRESS DOCUMENTS**

These documents reflect progress and shall not be subject to change, including optional detail. These are not final construction documents and should not be utilized for final bidding or construction related purposes.

ISSUANCE AND REVISIONS

DATE	DESCRIPTION

**UDC SUBMITTAL**  
SHEET TITLE  
**SECOND FLOOR PLAN, ROOF PLAN & WINDOW SCHEDULE**

**APPROVAL**

SPACE PLAN	DD	CD	FFE
DATE			
NAME			
DEPARTMENT			

PROJECT MANAGER **WWR**

PROJECT NUMBER **103237-03**

DATE **JULY 18, 2006**

SHEET NUMBER

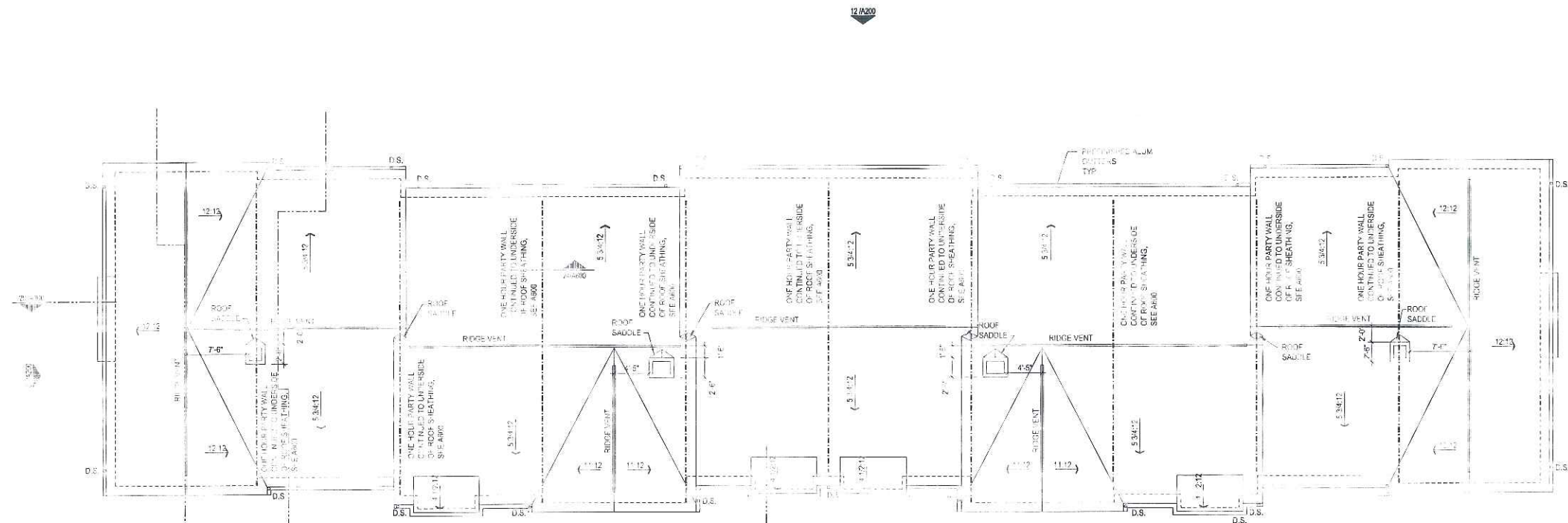
- GENERAL NOTES**
1. DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
  2. FOUNDATION WALLS SHALL BE 8" MIN. THICK UNLESS OTHERWISE NOTED.
  3. FINISH FLOOR NUMBER OF FINISH FLOOR TO BE INDICATED.
  4. ALL UNIT PERIMETER WALLS (CONCRETE OR CMU) SHALL BE 8" THICK UNLESS OTHERWISE NOTED. FOUNDATION WALL TO BOTTOM OF ROOF SHALL BE 8" UNLESS OTHERWISE NOTED.

- ROOF NOTES**
1. ALL EXHAUST & VENT PENETRATIONS SHALL BE LOCATED AT THE REAR ELEVATIONS.
  2. GUTTERS & DOWNSPUTS  
PROVIDE PREFINISHED 5" TYPE 'K' GUTTERS AND 3" CORRUGATED REC' ANGULAR DOWNSPUTS UNLESS OTHERWISE NOTED. CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPUTS AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.
  3. ALL EAVE OVERHANGS SHALL BE 1'-2" UNLESS OTHERWISE NOTED.
  4. ALL RAKE OVERHANGS SHALL BE 1'-2" UNLESS OTHERWISE NOTED.
  5. PROVIDE ICE & WATER SHIELD @ ALL EAVES, VALLEYS, ROOF SADDLES & WALL/ROOF INTERSECTIONS. RUN ICE & WATER SHIELD 12" MIN. FROM FACE OF WALL @ EAVE LOCATIONS AND 3'-0" MIN. FROM VALLEY LOCATION @ VALLEY LOCATIONS. RUN ICE & WATER SHIELD UP VERTICAL FACE OF WALL 1'-6" MIN.

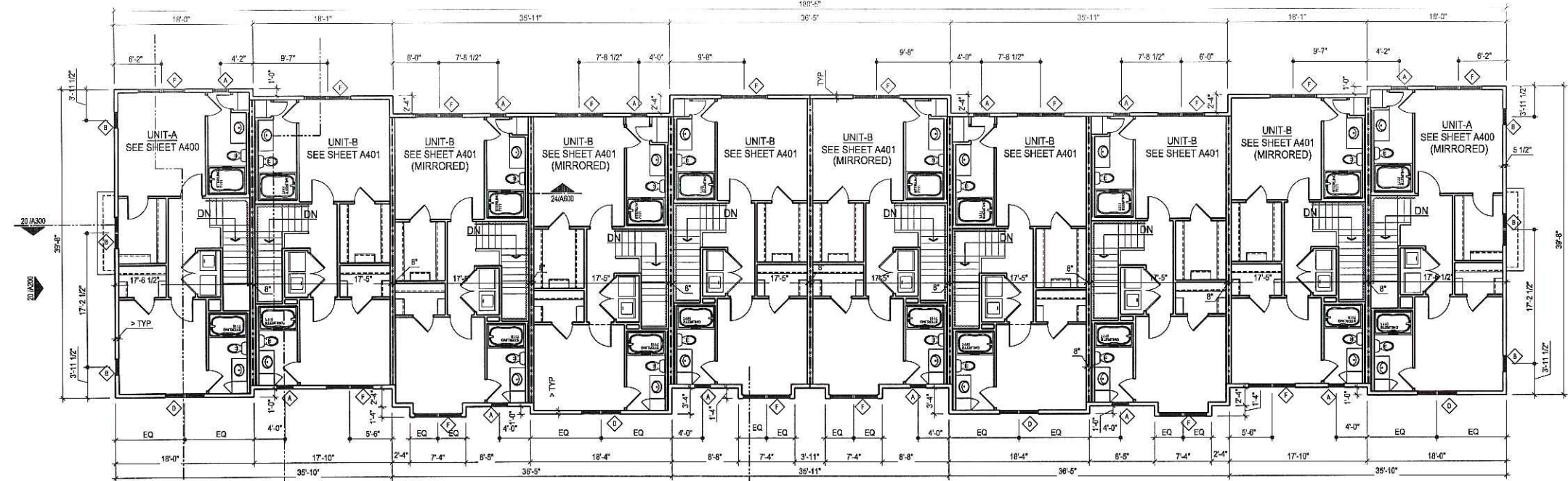
**TOWNHOME WINDOW SCHEDULE**

ID TAG	WINDOW SIZE (NOMINAL)	WINDOW TYPE
◇	(1) 2'-0" x 2'-0"	FIXED
◇	(2) 2'-0" x 2'-0"	FIXED
◇	(1) 2'-0" x 4'-0"	SINGLE HUNG
◇	(2) 2'-6" x 6'-6"	SINGLE HUNG
◇	(3) 2'-8" x 5'-0" w/ (3) 2'-8" x 1'-2" TRANSOM	SINGLE HUNG
◇	(2) 3'-0" x 5'-6"	SINGLE HUNG
◇	6'-0" x 6'-8" w/ 6'-0" x 1'-2" TRANSOM	CTR. SWING FRENCH DOOR
◇	6'-0" x 6'-8" w/ 6'-0"	CTR. SWING FRENCH DOOR
◇	3'-0" x 6'-8" w/ 3'-0" x 1'-2" TRANSOM	FIXED FRENCH DOOR
◇	3'-0" x 6'-8" w/ 3'-0"	FIXED FRENCH DOOR
◇	NOT USED	...
◇	(2) 2'-8" x 5'-6" w/ (2) 2'-8" x 1'-2" TRANSOM	SINGLE HUNG

- WINDOW NOTES:**
1. ALL 3'-0" WIDE BEDROOM WINDOWS & PATIO DOORS MUST MEET EGRESS CLEARANCE REQUIREMENTS - VERIFY WITH MANUFACTURER.
  2. PROVIDE TEMPERED GLASS AT ALL SASHES AT THE FOLLOWING LOCATIONS:  
- WITHIN 2'-0" OF EXIT/ENTRANCE DOORS OR  
- WITHIN 2'-0" OF THE FLOOR
  3. VERIFY R.O. SIZES WITH MANUFACTURER
  4. R.O. SIZES FOR MULTIPLE WINDOW UNITS: FOR WEATHERSHIELD VISION 1000 WINDOWS, SUBTRACT 1/2" FROM THE R.O. FOR EACH ADDITIONAL WINDOW BEYOND A SINGLE.



**11 ROOF PLAN**  
1/8" = 1'-0"



**23 SECOND FLOOR PLAN**  
1/8" = 1'-0"





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PROJECT  
**GRANDVIEW COMMONS**  
BUILDING - 'C'

KILPATRICK LANE  
MADISON, WISCONSIN

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be utilized for final bidding or construction related purposes.

ISSUANCE AND REVISIONS

DATE	DESCRIPTION

UDC SUBMITTAL

SHEET TITLE  
**EXTERIOR ELEVATIONS & MATERIAL KEY**

APPROVAL

SPACE PLAN	DD	CD	FFE
DATE			
NAME			
DEPARTMENT			

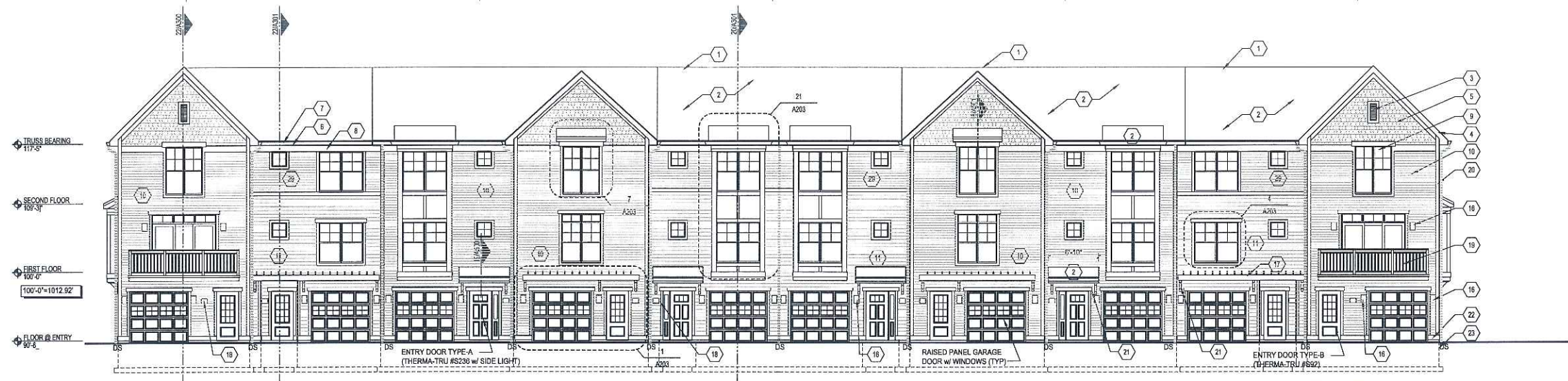
PROJECT MANAGER      WWR

PROJECT NUMBER      103237-03

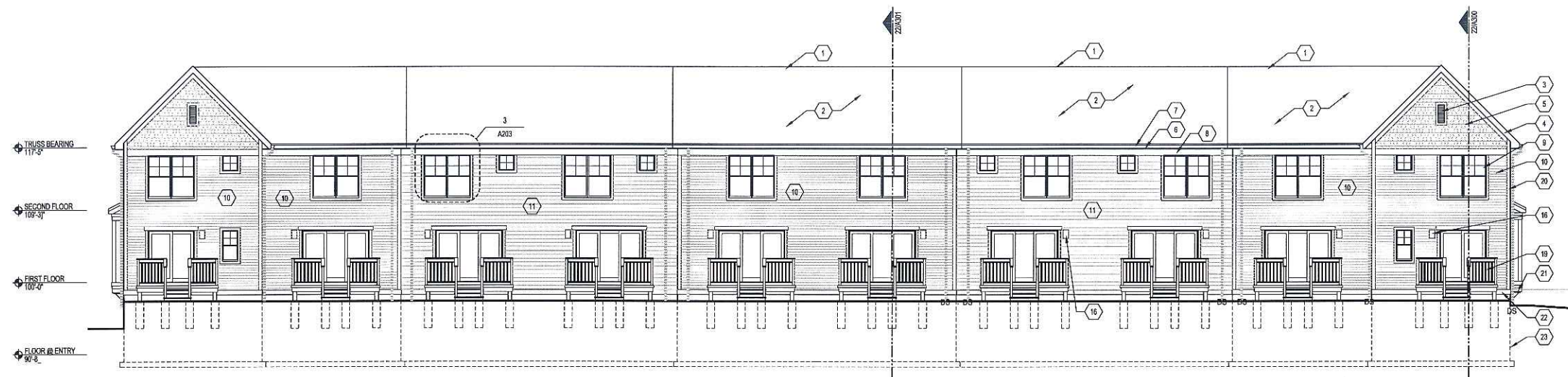
DATE      JULY 18, 2006

SHEET NUMBER

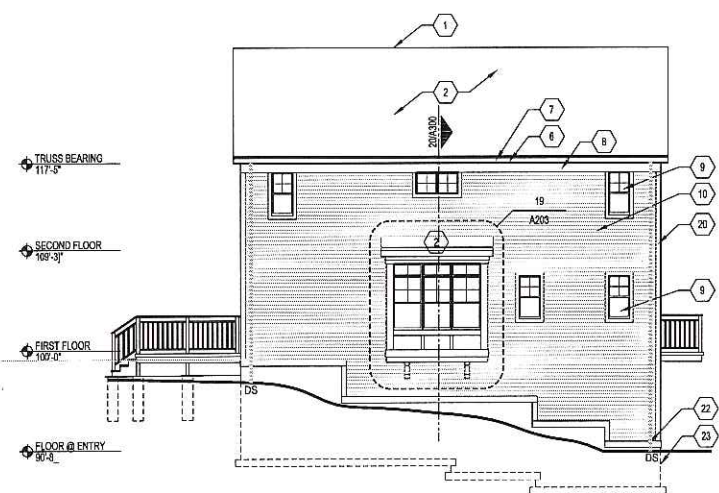
**A200**



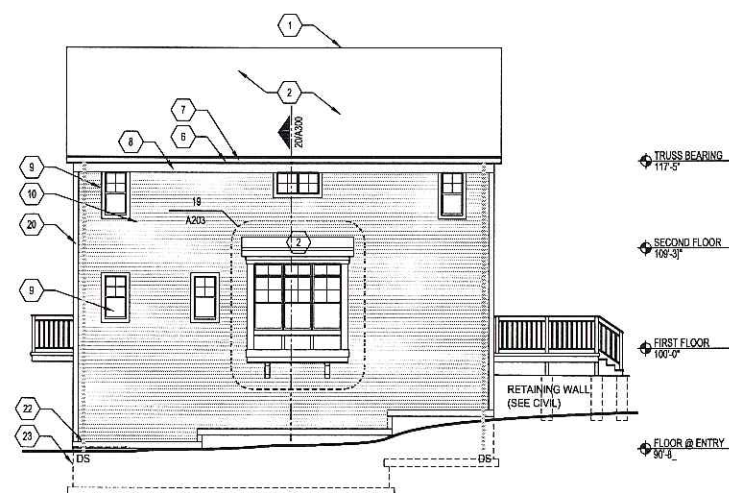
**6 FRONT ELEVATION**  
1/8" = 1'-0"



**12 REAR ELEVATION**  
1/8" = 1'-0"



**20 SIDE ELEVATION**  
1/8" = 1'-0"



**22 SIDE ELEVATION**  
1/8" = 1'-0"

TOWNHOUSE MATERIAL KEY		13	5 1/2" "AZEK" TRIM (PAINT)	19	5 1/2" "AZEK" CORNER TRIM (PAINT)
1	SHINGLED RIDGE VENT	17	ALUMINUM GUTTERS & DOWNSPOUTS (PAINT)	14	"AZEK" TRIM (SIZE VARIES) (PAINT)
2	FIBERGLASS SHINGLES TYPICAL AT ALL SLOPED ROOF ASSEMBLIES	18	TYPICAL FRIEZE BOARD 5/16x8 "AZEK" TRIM (SEE SECTIONS) (PAINT)	15	SMOOTH FINISH CEMENT BOARD PANEL (PAINT)
3	"M-BWOOD" 2" x 24" DECORATIVE GABLE VENT	19	SINGLE HUNG VINYL WINDOWS SEE 3 & 4/A203 FOR TRIM DETAILS	16	EXTERIOR LIGHT FIXTURE LOCATION (KITCHLER MODEL# 36-41P2)
4	TYPICAL RAKE PREFINISHED ALUMINUM WRAPPED & RAKE FASCIA	20	CEMENT BOARD SIDING 'A' 4" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR	17	PAINTED WOOD TRELLIS - SEE 21/A500
5	SHAKE CEMENT BOARD SIDING (PAINT)	21	CEMENT BOARD SIDING 'B' 6" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR	18	8"x10" PAINTED CEMENT BOARD ADDRESS PLATE (1/2" ROUTERD EDGES)
6	TYPICAL FASCIA "QUALITY EDGE" PREFINISHED ALUMINUM WRAPPED & FASCIA ON 2x SUB-FASCIA	22	3 1/2" "AZEK" TRIM (PAINT)	19	PAINTED WOOD RAILING
		23		20	NOT USED
		24		21	DECORATIVE BRACKET (SEE DETAIL 1/A500)
		25		22	TYPICAL SKIRT BOARD 5/16x8 "AZEK" TRIM (PAINT)
		26		23	CONCRETE FOUNDATION
		27		24	PREFINISHED METAL CHIMNEY CAP
		28		25	CEMENT BOARD SIDING 'C' 4" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR
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