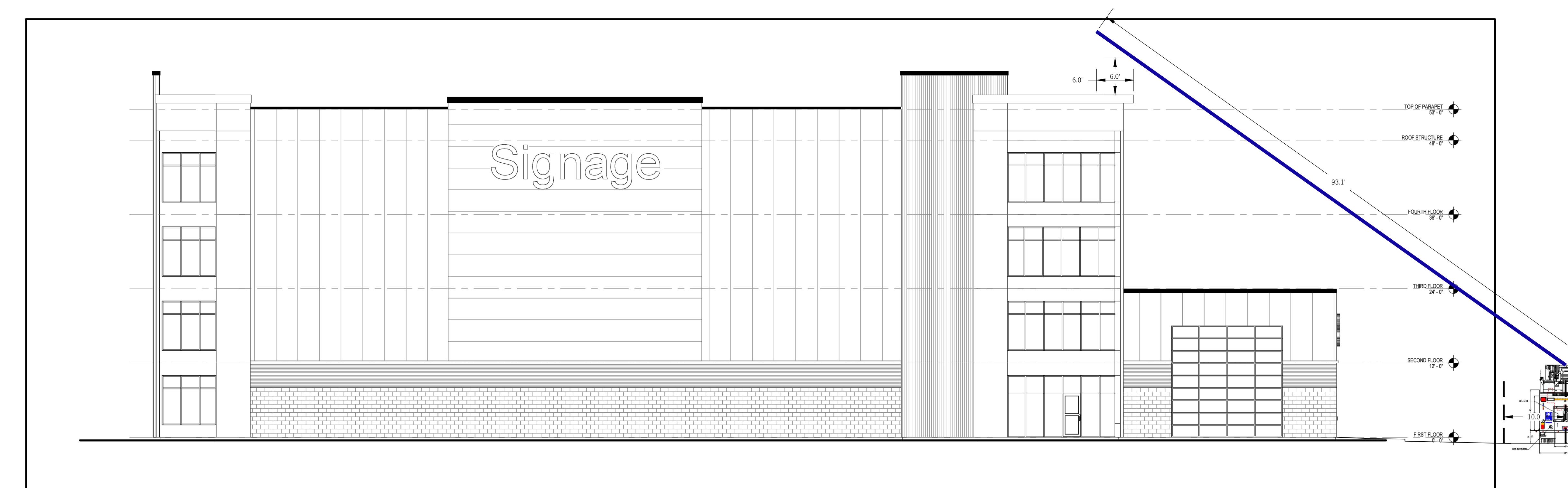
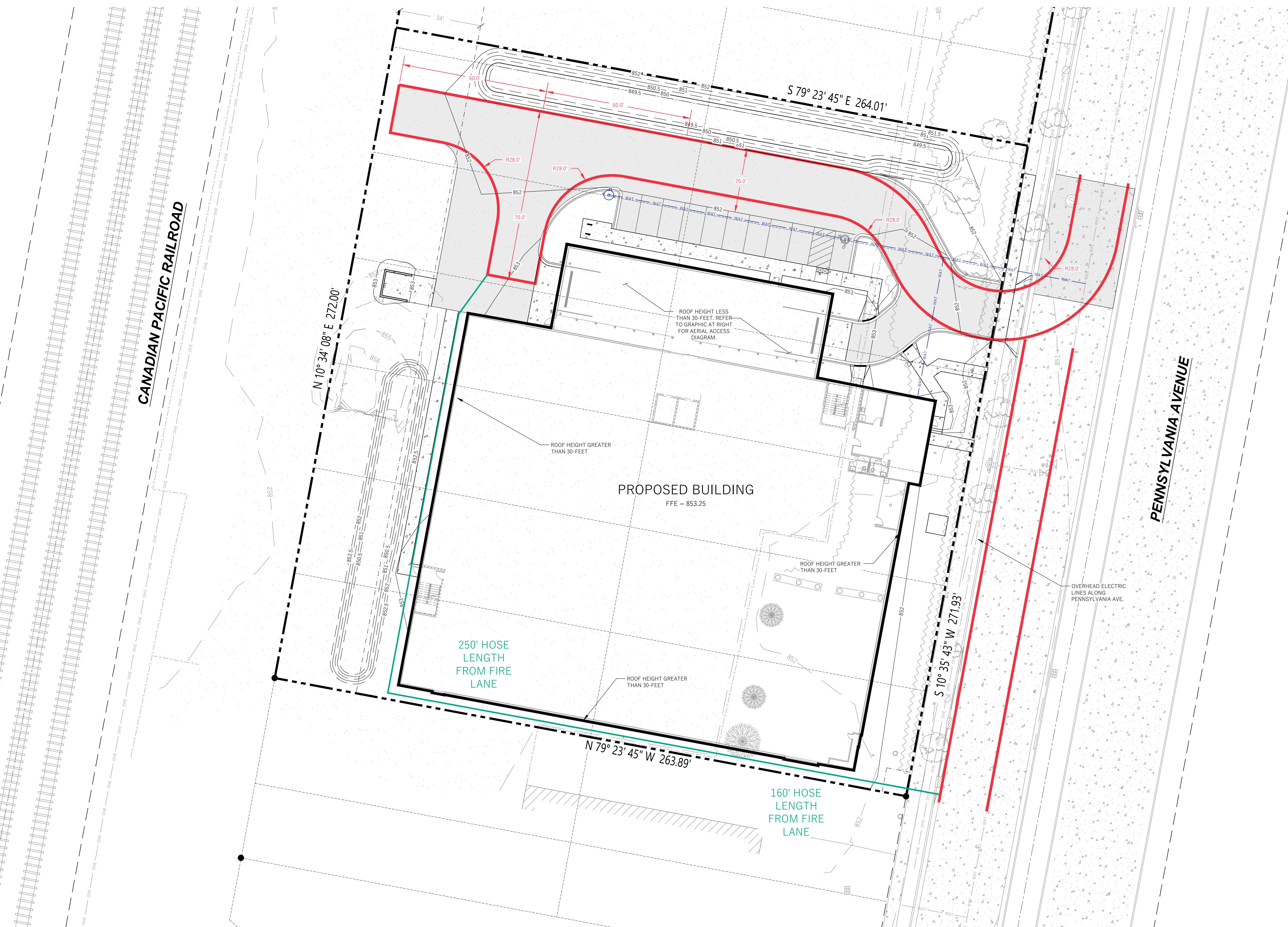
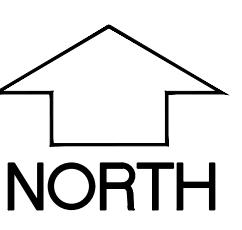


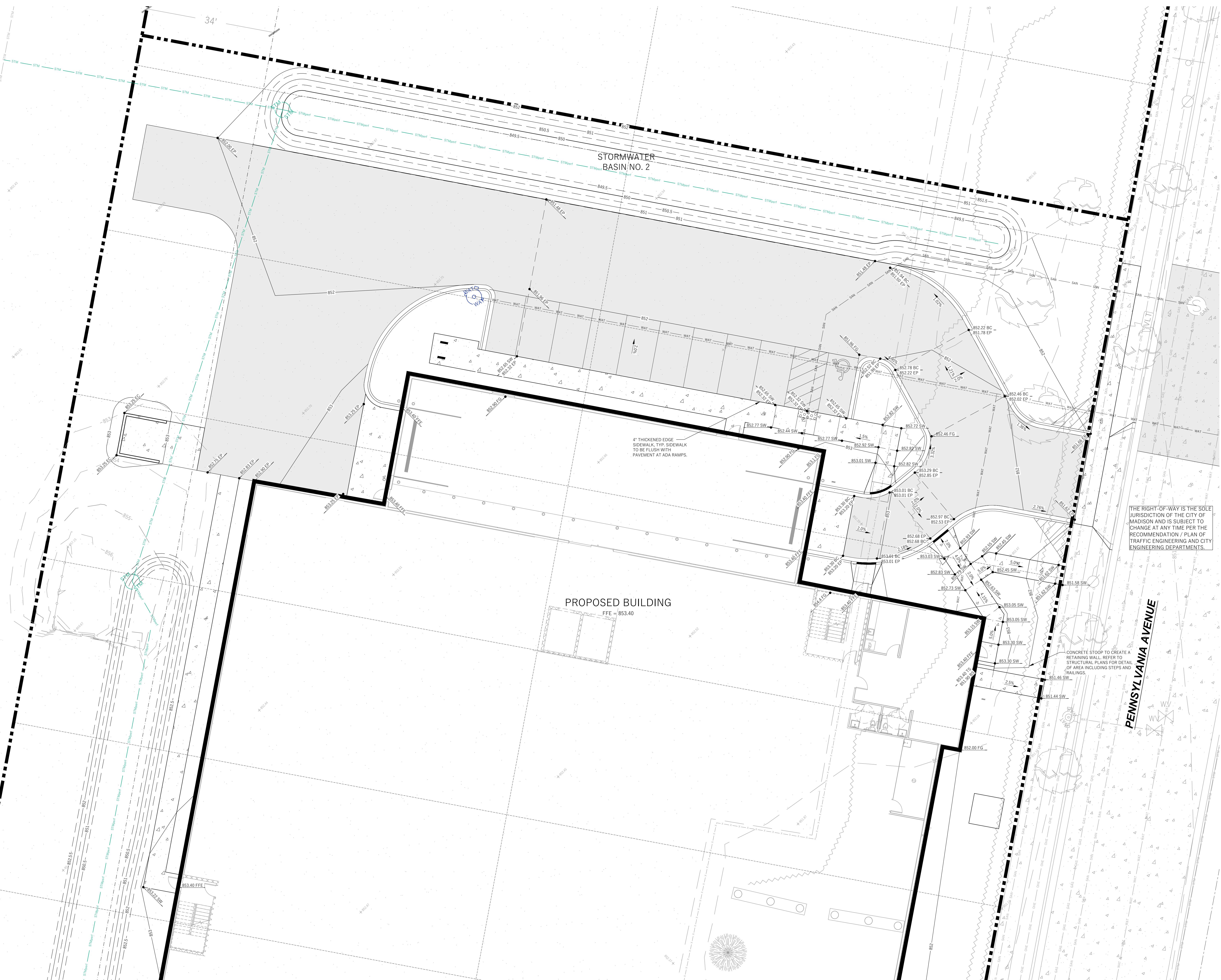
SECTION 14, TOWN 23, RANGE 23, BEING LOCATED IN PART OF THE SW1/4 OF THE NW1/4 & PART OF THE SE1/4 OF THE NW1/4 SECTION 6-T7N-R10E CITY OF MADISON, DANE COUNTY, WI

ALIANSP LANDLINE SURVEY



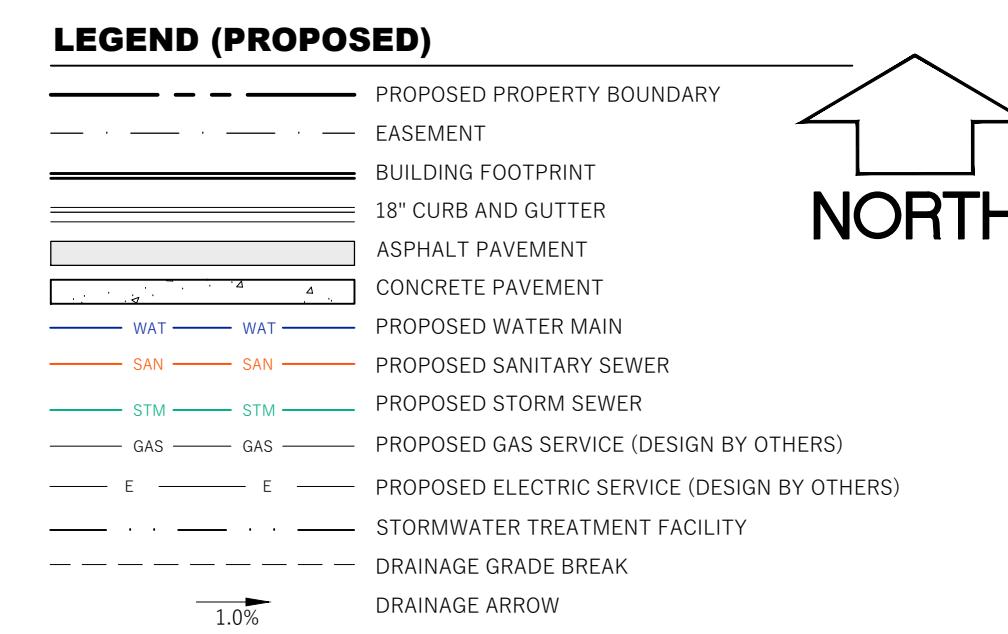
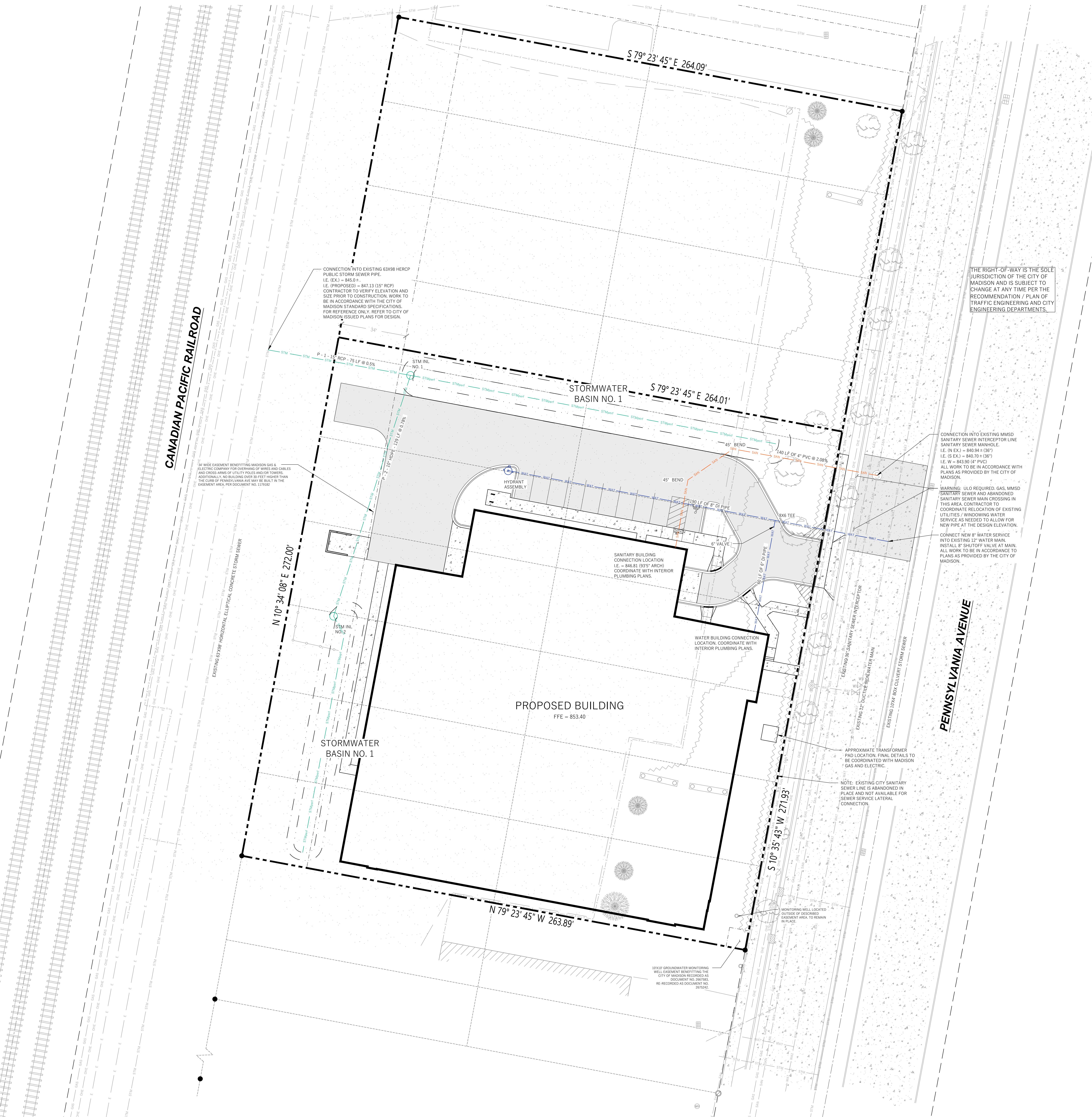
 City of Madison Fire Department 314 W Dayton Street, Madison, WI 53703 Phone: 608-264-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com	
Project Address: 2230 PENNSYLVANIA AVE Contact Name & Phone #: BRANDON ADLER - 608.756.2326	
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET	
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A a) Is the fire lane a minimum unobstructed width of at least 20-feet? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A b) Is the fire lane minimum vertical clearance at least 13 1/2'-feet? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A c) Is the turn radius inside turning radius of the fire lane at least 28'-feet? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A d) Is the grade of the fire lane not more than a slope of 8%? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A e) Is the fire lane posted as fire lane? (Provide detail of signage.) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A f) Is a rollable curb used as part of the fire lane? (Provide detail of curb.) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is an approved means of emergency operations installed, key vault, padlock or key switch? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
4. Is the fire lane dead-ended with a length greater than 150-feet? 230' FROM CENTER OF TEE TURNAROUND If yes, does the area for turning around fire apparatus comply with end of aerial apparatus lane? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes & <input type="checkbox"/> No <input type="checkbox"/> N/A	
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 24' of the perimeter? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A b) Is the next edge of the aerial apparatus fire lane between 15' and 30' from the building? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26'-feet? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A f) Is the distance between the aerial lines and the building, free of trees exceeding 20' in heights? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
7. Are there any other fire requirements within 500' feet of an test structure? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 70-feet on each side of the hydrant? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A 24' FOR THE PRIVATE HYDRANT b) Is there at least 40' between a hydrant and the building? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A c) Are the hydrant(s) setback no less than 5'-feet nor more than 10'-feet from the curb or edge of the structure? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A d) Are hydrants located in parking lot islands a minimum of 3 1/2'-feet from the hydrant to the curb? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2'-feet, within 5'-feet of a fire hydrant? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	
Attach an additional sheet if further explanation is required for any answers.	
This worksheet is based on MGO 34.503 and IFC 2021 Edition Chapter 5 and Appendix D; please see the codes for further information.	
Revised 06/2022	

2230 PENNSYLVANIA AVENUE CITY OF MADISON, DANE COUNTY, WI	
STORAGE BUILDING	
FIRE APPARATUS ACCESS PLAN	
<p>Street Title: 2230 PENNSYLVANIA AVENUE MADISON, WI 53704</p> <p>Revisions: No. Date: Description:</p>	
<p>Graphic Scale: 0' 5' 10' 20' 30'</p> <p>Wyser Number: 23-1081</p> <p>Set Type: REVIEW</p> <p>Date Issued: 03/20/2024</p> <p>Sheet Number: C101</p>	



LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED MAJOR CONTOUR
- 850
- 852
- PROPOSED MINOR CONTOUR
- 851
- 851.25
- 851.5
- 851.75
- 852.00
- 852.25
- 852.50
- 852.75
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NORTH

WYSER
ENGINEERING

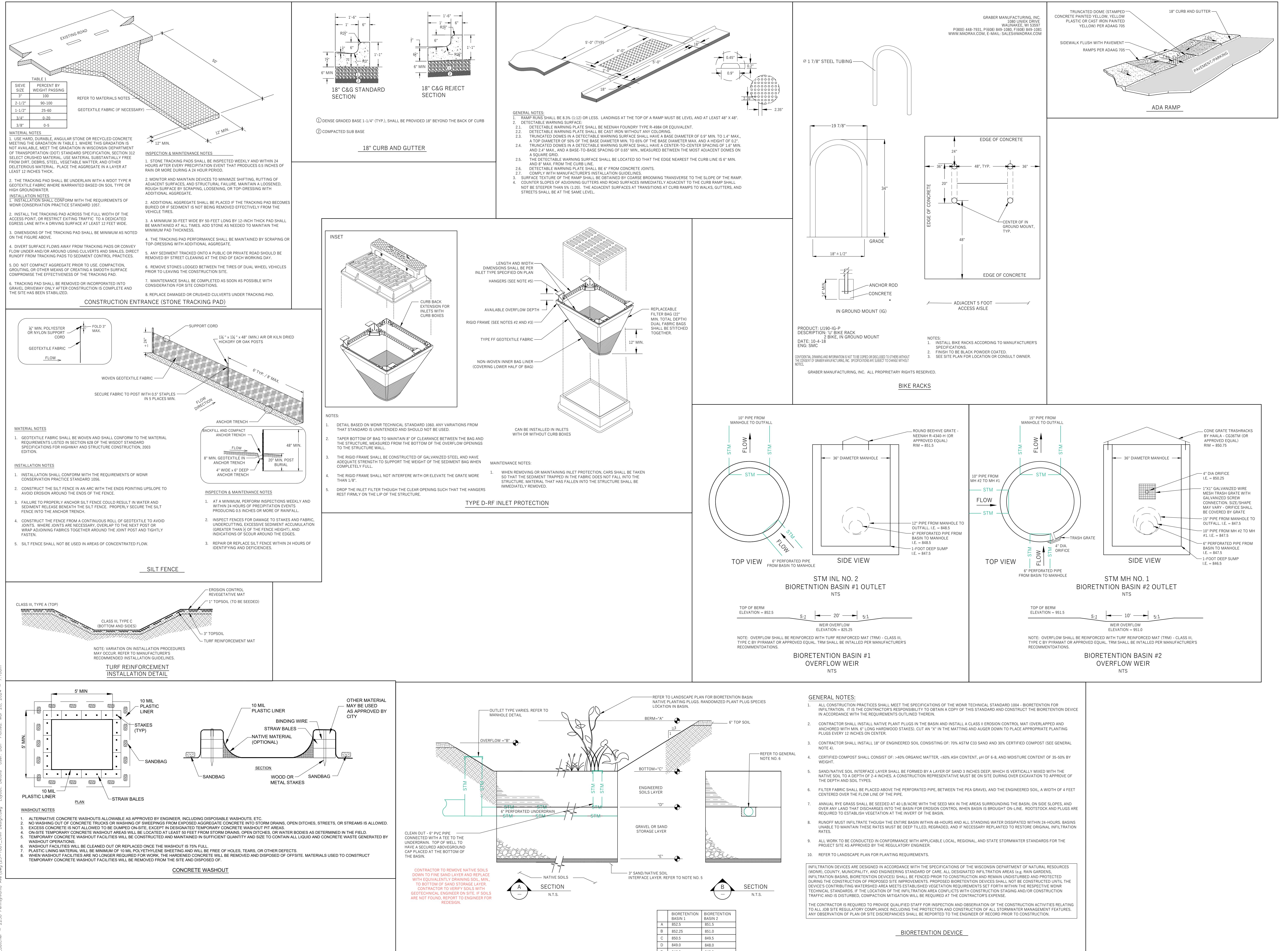
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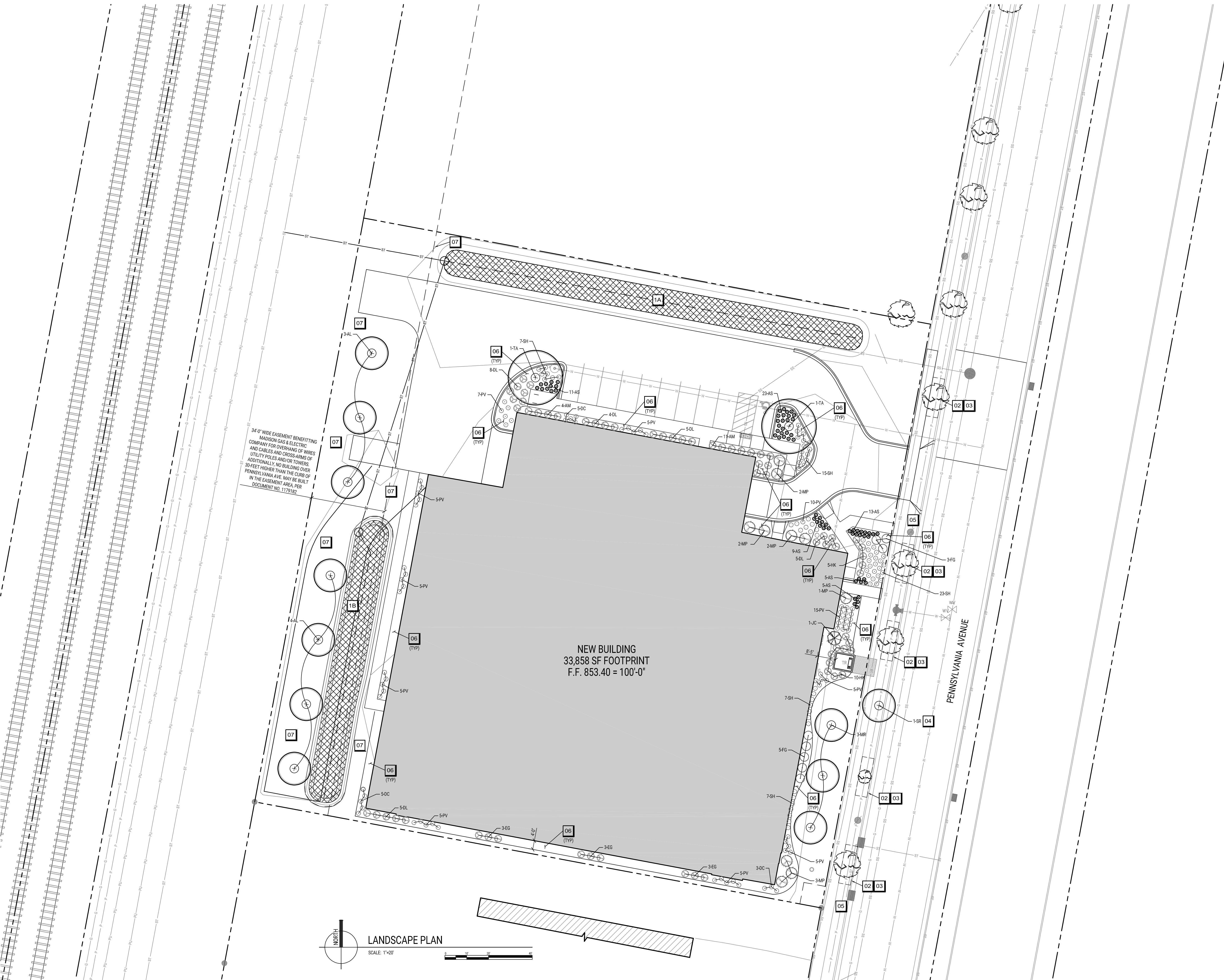
2230 PENNSYLVANIA AVENUE
MADISON, WI 53704

PENNSYLVANIA AVENUE
STORAGE BUILDING
CITY OF MADISON, DANE COUNTY, WI

Street Title:
UTILITY PLAN

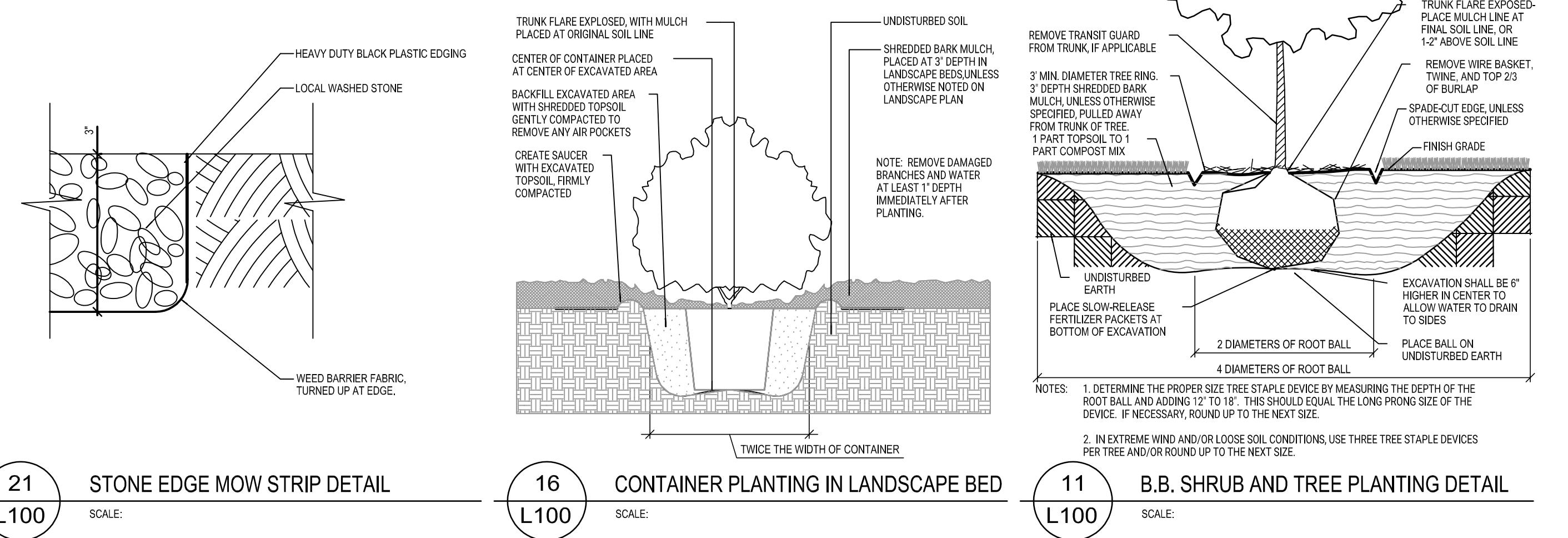
Revisions:	
No.	Date:
Description:	
Graphic Scale	0' 5' 10' 20' 30'
Wyser Number	23-1081
Set Type	REVIEW
Date Issued	03/20/2024
Sheet Number	C300





LANDSCAPE SYMBOL LEGEND	
	SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN SHRUB OR TREE
	DECIDUOUS SHRUB
	ORNAMENTAL GRASS
	PERENNIAL
	EXISTING VEGETATION
	EXISTING EVERGREEN

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.



LANDSCAPE PLANT LEGEND			
SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE
TR	<i>Amelanchier laevis 'Cumulus'</i>	Curruca Serviceberry	2" Cal. B.B. 2' H x 20" W 7
MR	<i>Melus 'Royal Raindrop'</i>	Royal Raindrop Crataegle	1.5" Cal. B.B. 20" H x 16" W 3
SR	<i>Syrinx reticulata 'Ivory Silk'</i>	Ivory Silk Japanese Tree Lilac	2" Cal. B.B. 20" H x 20" W 1
TA	<i>Tilia americana 'Sentry'</i>	Sentry American Linden	3" Cal. B.B. 50" H x 25" W 2
SHRUBS:			
AM	<i>Aronia melanocarpa 'Morton'</i>	Iroquois Beauty Black Chokeberry	3' H 3 Gallon 3' H x 5' W 11
DL	<i>Dierama litoricera</i>	Dwarf Bush Honeysuckle	18-24" H 3-4' W 27
EG	<i>Euonymus alatus 'Smagred'</i>	Emerald 'n' Gold Arborvitae	3-4' H 2" H x 3' W 9
HK	<i>Fragaria ananassa 'Beaver Creek'</i>	Beaver Creek Foottollherilla	24" H 3 Gallon 3-4' H x 3' W 8
JC	<i>Hypericum 'Kalmianum'</i>	St. John's Wort	4-5 Gallon 3 Gallon 4-5' H x 3' W 15
JP	<i>Juniperus chinensis 'Fairview'</i>	Fairview Upright Juniper	4' High B.B. 15" H x 6-7" W 1
MP	<i>Myrica pensylvanica</i>	Northern Bayberry	18" High 3 Gallon 4-5' H x 4-5' W 10
GRASSES:			
DC	<i>Deschampsia cespitosa 'Goldschleier'</i>	Goldschleier Tufted Hair Grass	1 Gallon 24" H / W 13
PV	<i>Panicum virgatum 'Rottstrabbus'</i>	Rotstrabbus Switch Grass	1 Gallon 4' H x 2' W 72
SH	<i>Sporobolus heterolepis</i>	Prarie Dropseed	1 Gallon 24" H x 2' W 59
PERENNIALS:			
AS	<i>Allium 'Summer Beauty'</i>	Summer Beauty Onion	4.5" Pot 18" H x 12" W 66

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 APPROVED BY
 JAD

 REVIEWED BY
 BMA

 DRAWN BY
 KAU

LANDSCAPE PLAN

L100



Northwest Corner | Back of Loading Zone

2220 Bonnycastle Ave | Madison, Wisconsin 53704

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A003

The logo for Angus-Young Architects/Engineers. It features a stylized, bold 'AY' monogram in red and orange. Below the monogram, the company name 'ANGUS-YOUNG' is written in a large, bold, black sans-serif font. Underneath that, 'ARCHITECTS/ENGINEERS' is written in a slightly smaller, bold, black sans-serif font.

MADISON SQUARE STORAGE, LLC

PENNSYLVANIA AVENUE STORAGE BUILDING

230 Pennsylvania Ave
Madison, WI 53704

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BMA

DRAWN BY
JMB

LMB

NORTHWEST RENDERING



Southwest Corner | Back

C:\Revit\LocalProjects\76850\PA\7/2023.ayz\msmith.rvt

Sheet Size: 30" x 42" (Arch E)

2230 Pennsylvania Ave | Madison Square Storage

AY
ANGUS-YOUNG
ARCHITECTS/ENGINEERS
Janesville | Madison

MADISON SQUARE
STORAGE, LLC

PENNSYLVANIA AVENUE
STORAGE BUILDING

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SOUTHWEST RENDERING

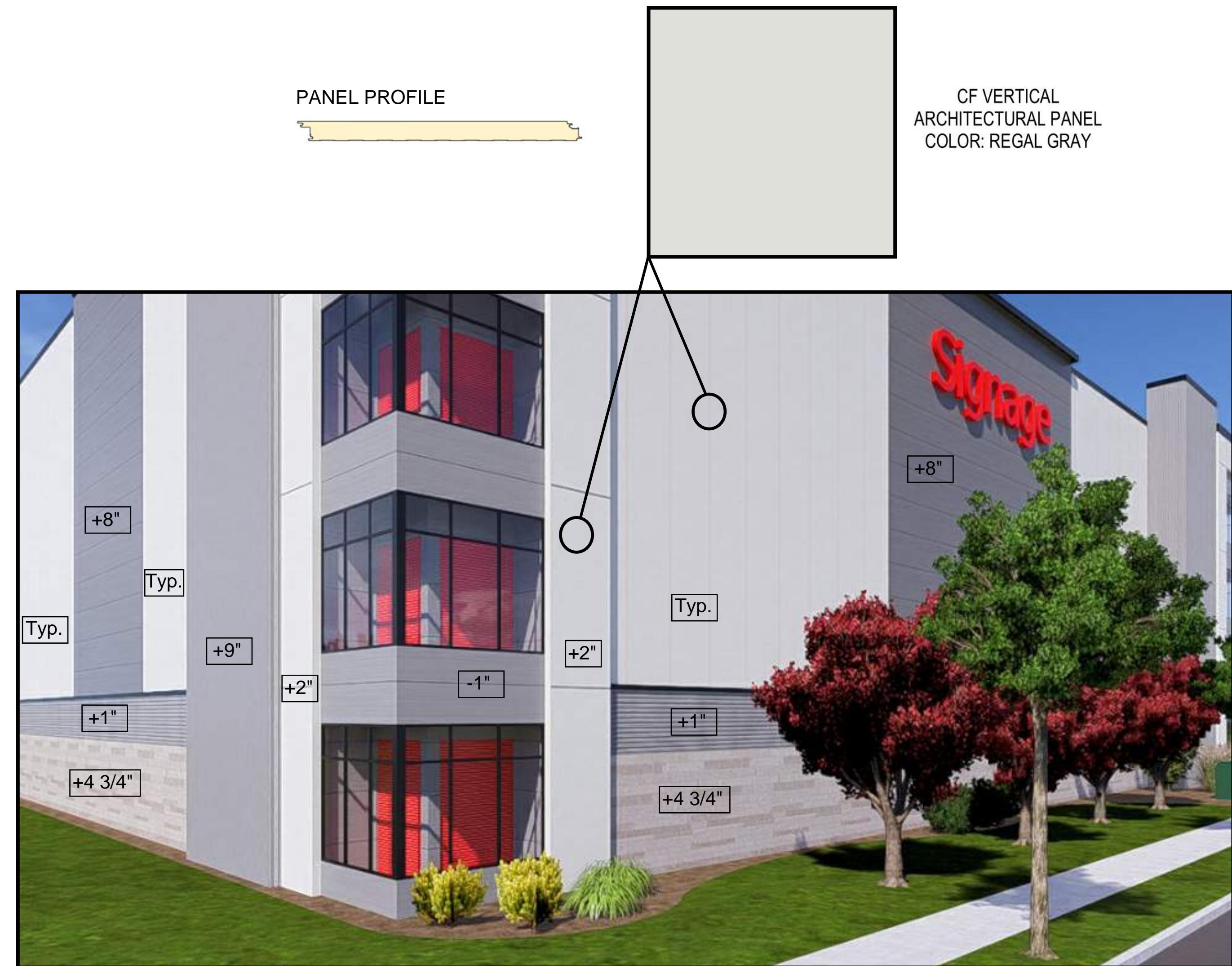
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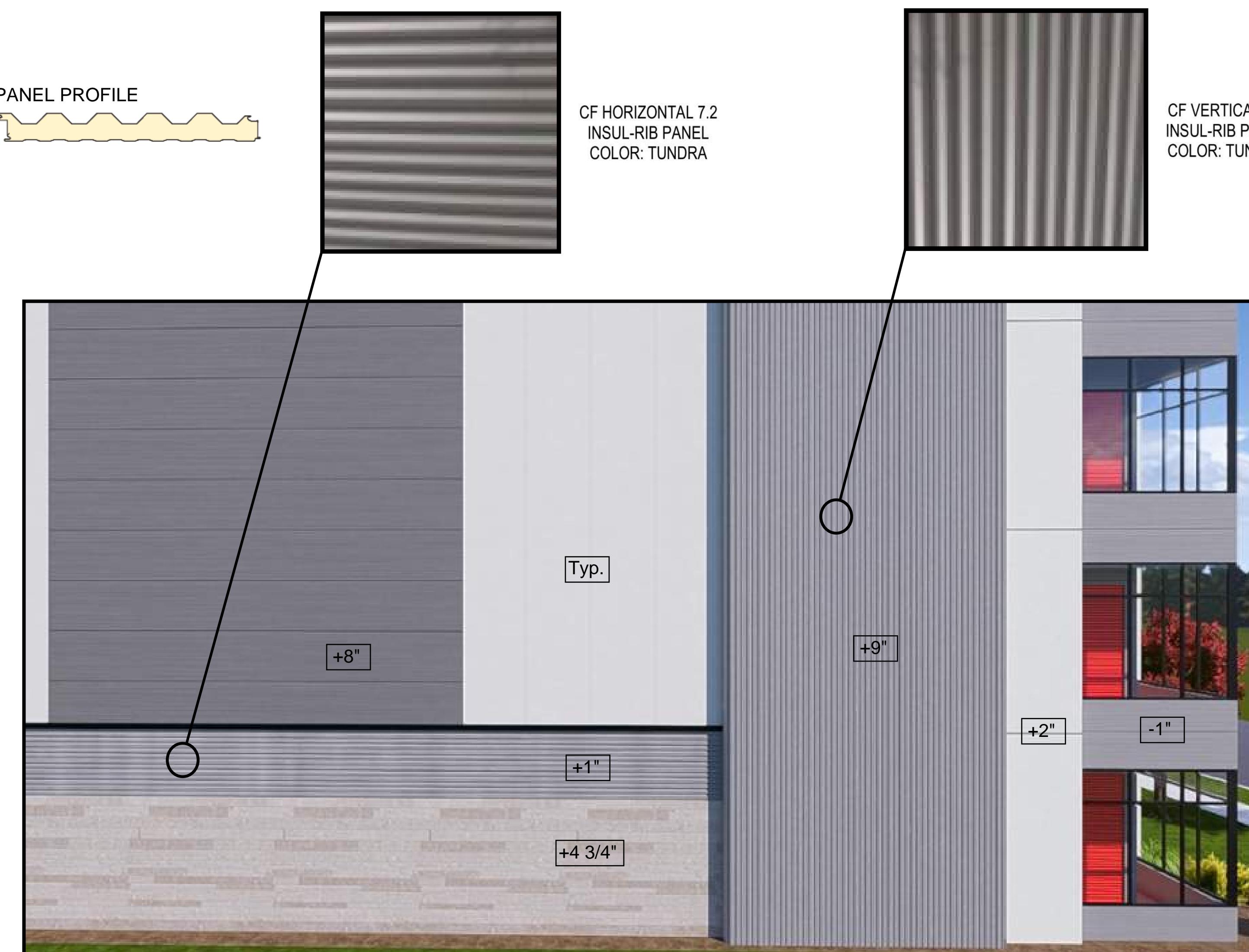


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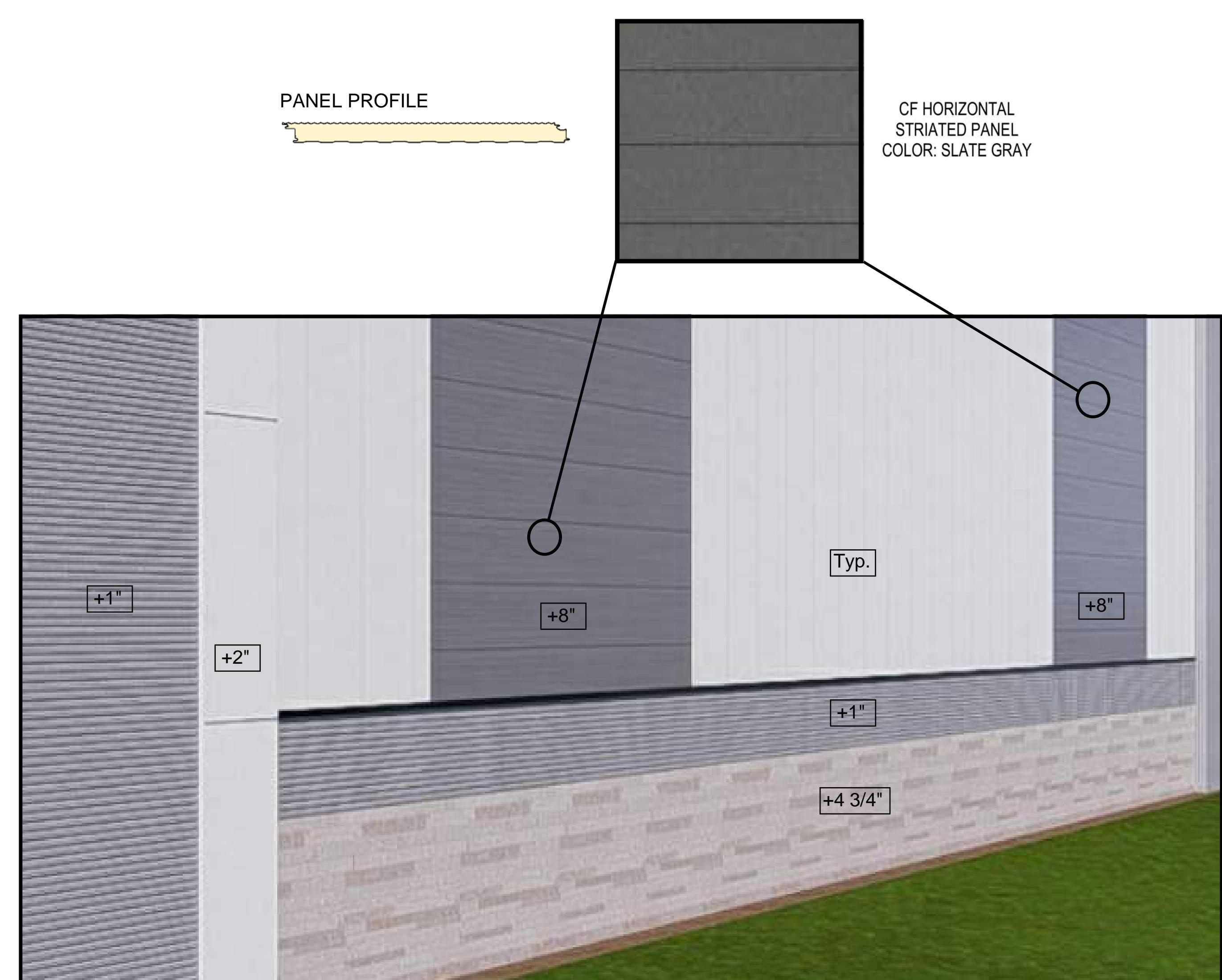
NOTE: ELEVATION TAGS SHOWN HERE ARE IN
REFERENCE TO FACE OF FACADE ARTICULATION
FROM STANDARD 3" PANEL.



CF ARCHITECTURAL | VERTICAL FIELD & INFILL



INSUL-RIB PANEL | VERTICAL ACCENT & HORIZONTAL BAND



STRIATED PANEL | HORIZONTAL ACCENT

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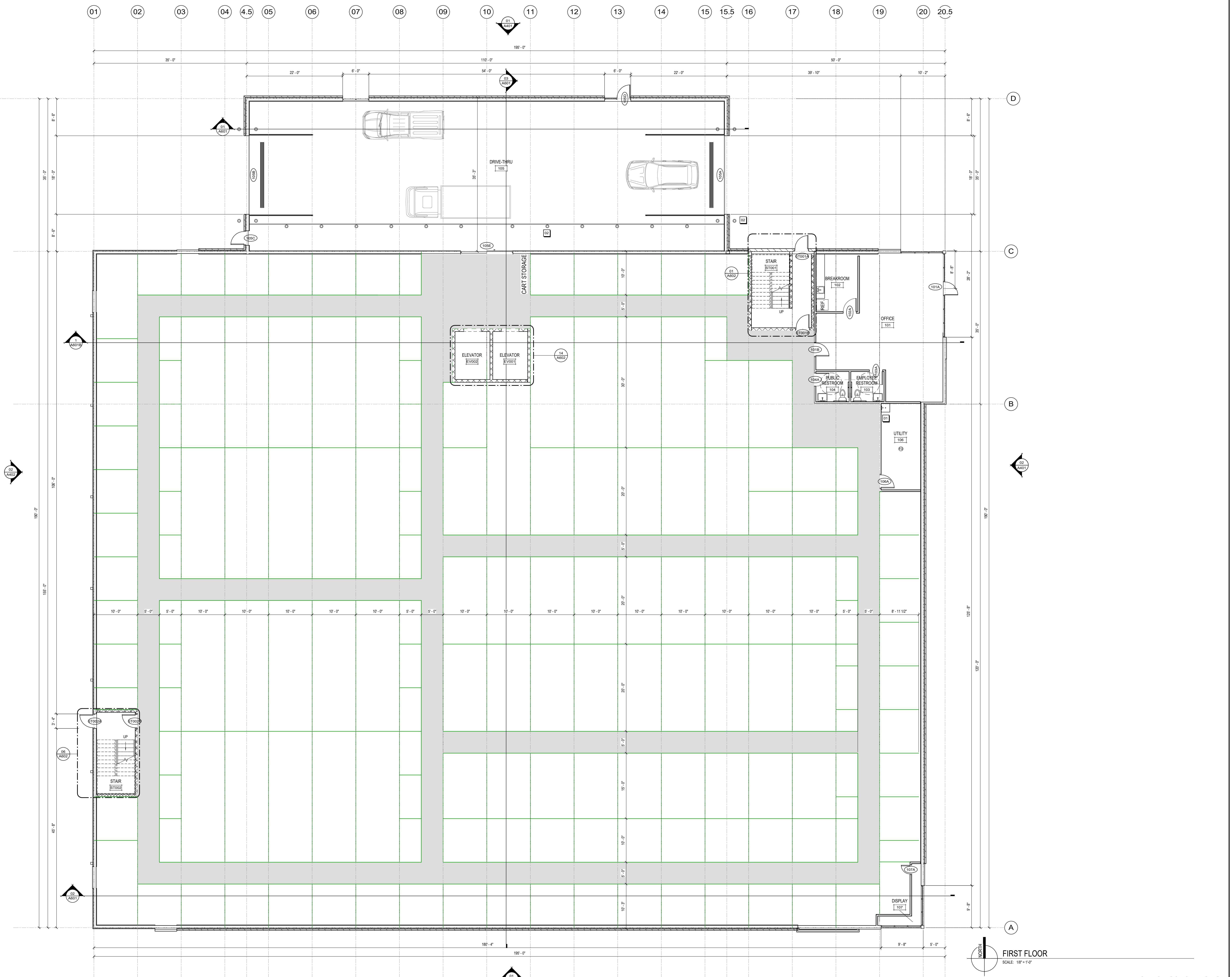
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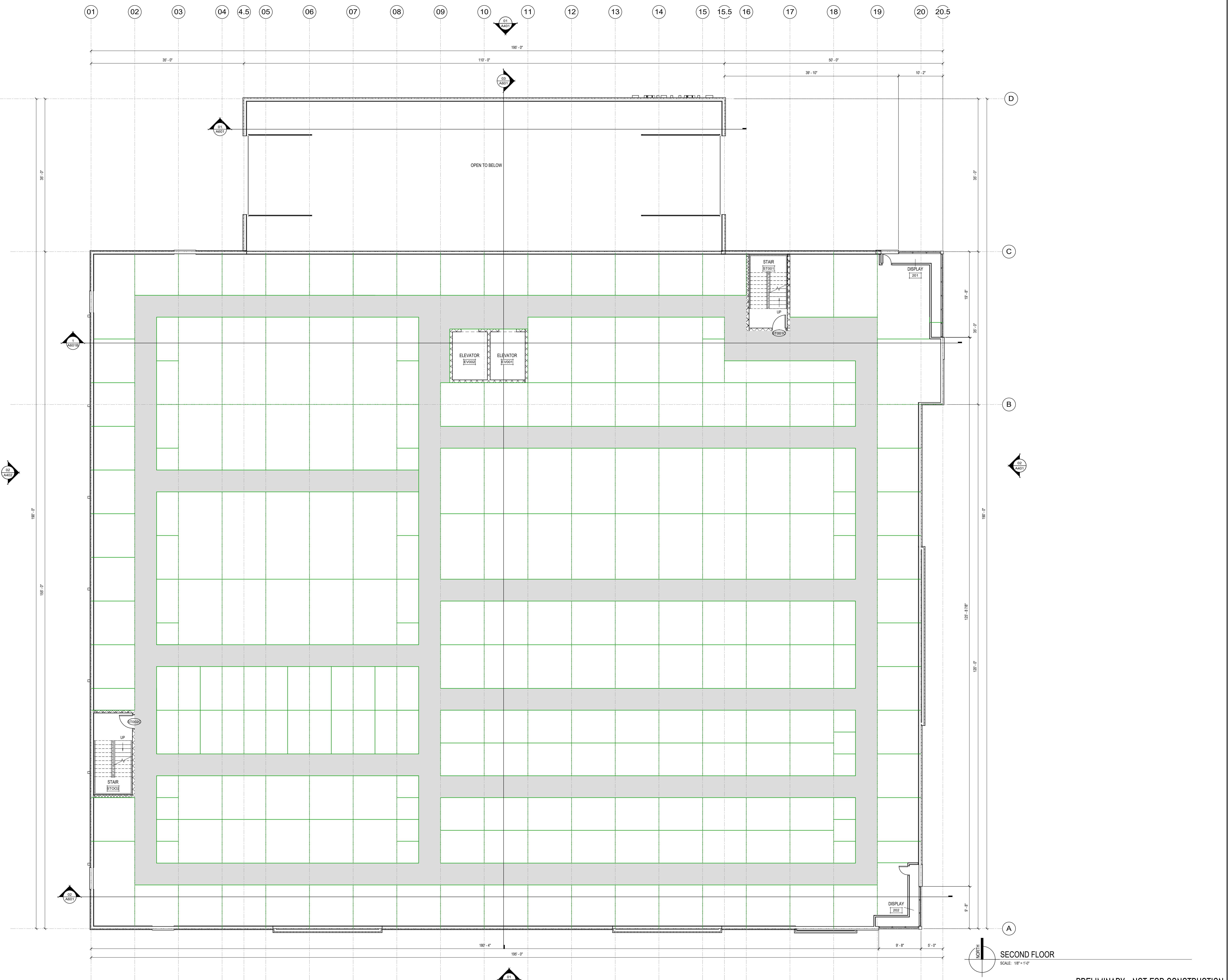
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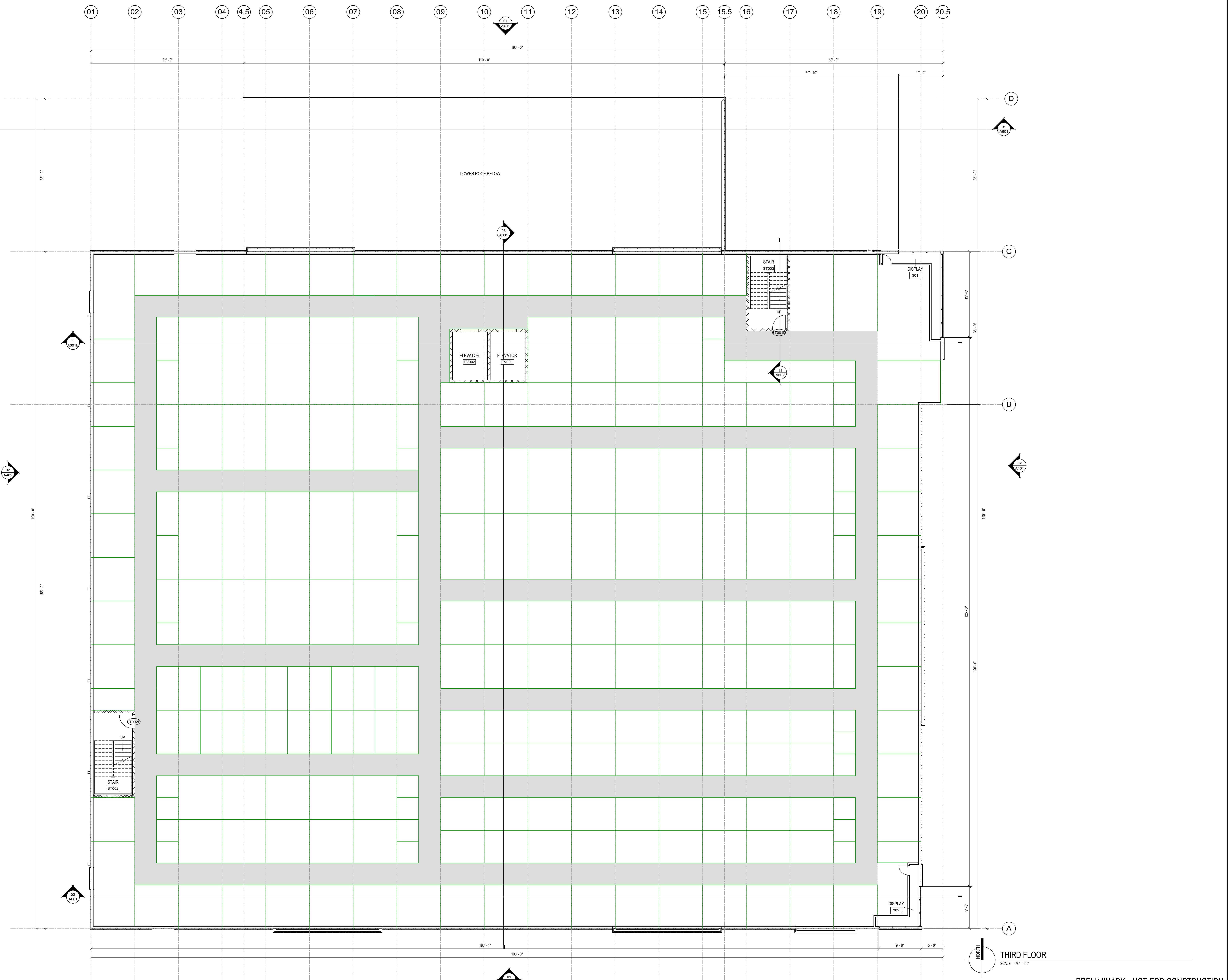
LMB

FIRST FLOOR PLAN

A101







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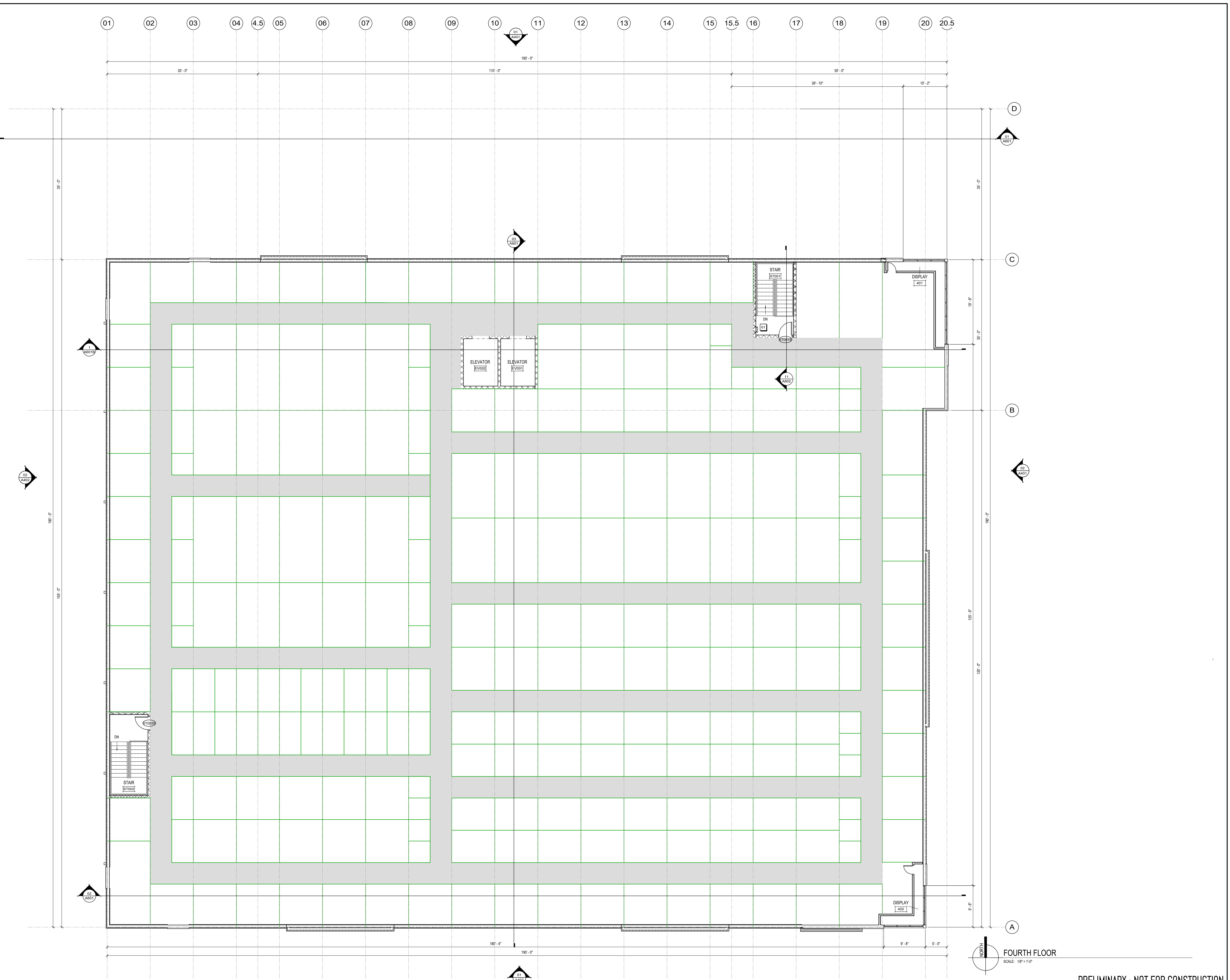
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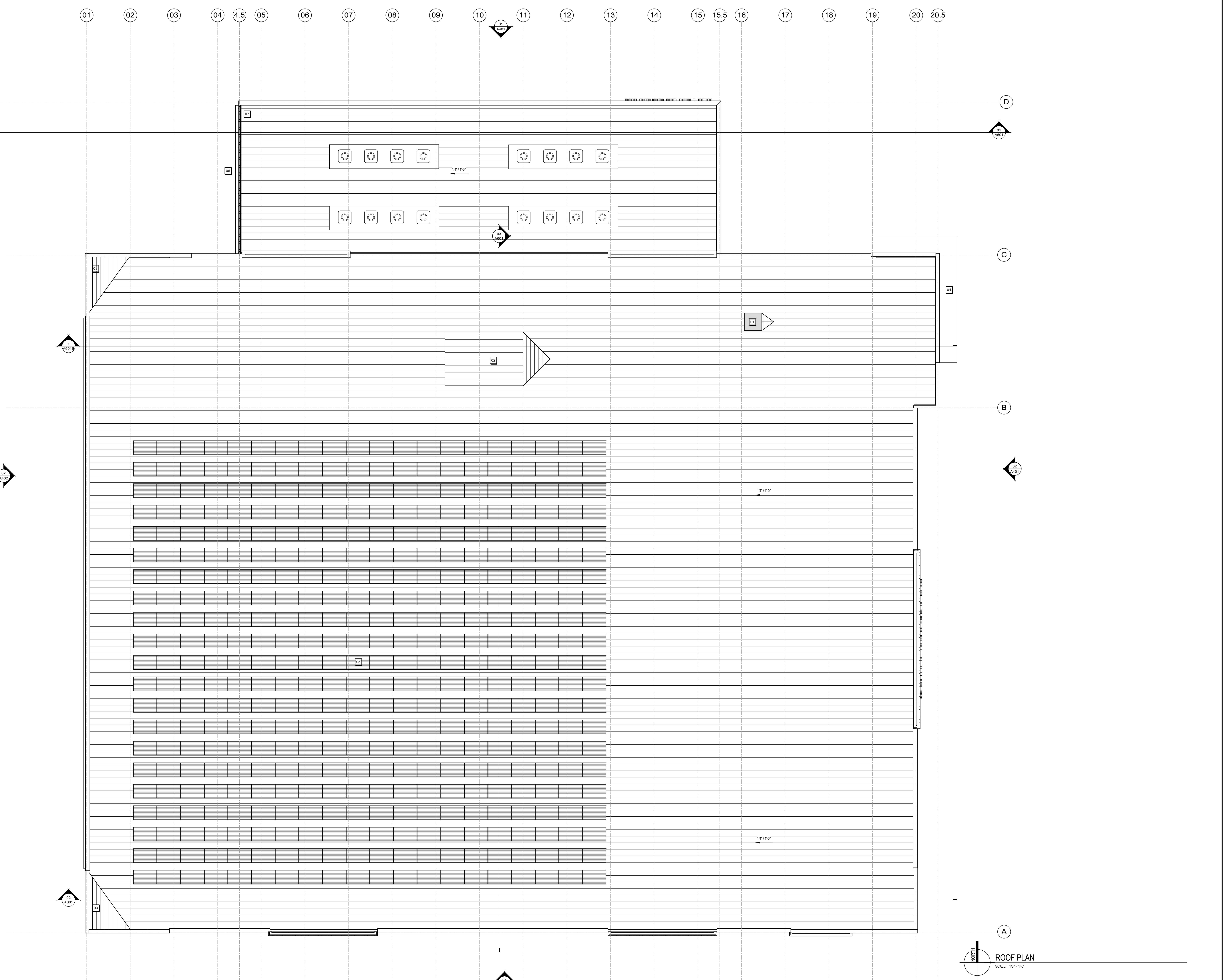
LMB

FOURTH FLOOR PLAN

A104

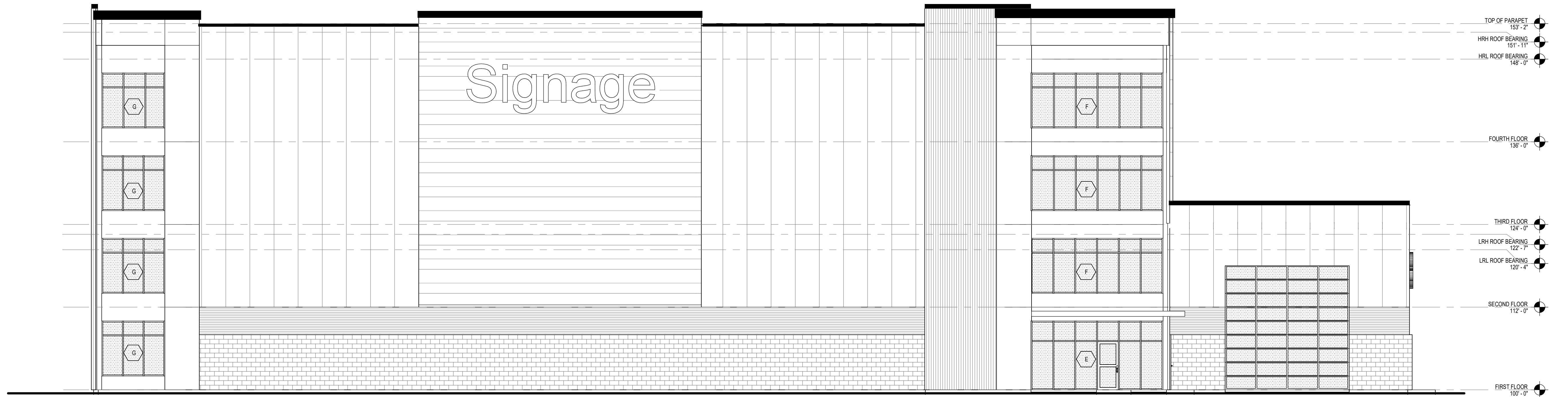
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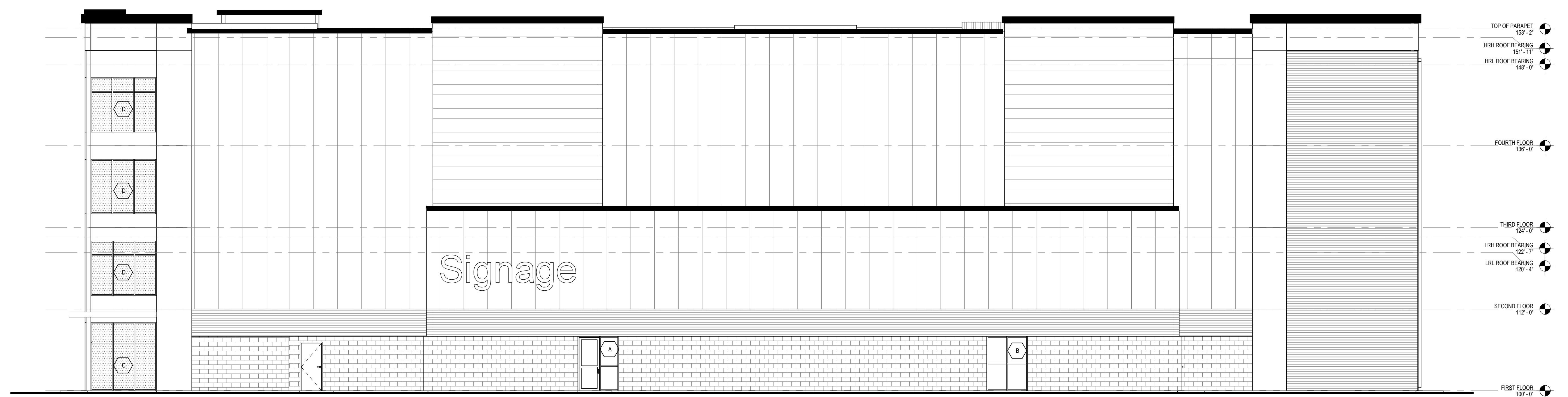


A105

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02 EAST ELEVATION
A401
SCALE: 18'-0" x 1'-0"



01 NORTH ELEVATION
A401
SCALE: 18'-0" x 1'-0"

A401

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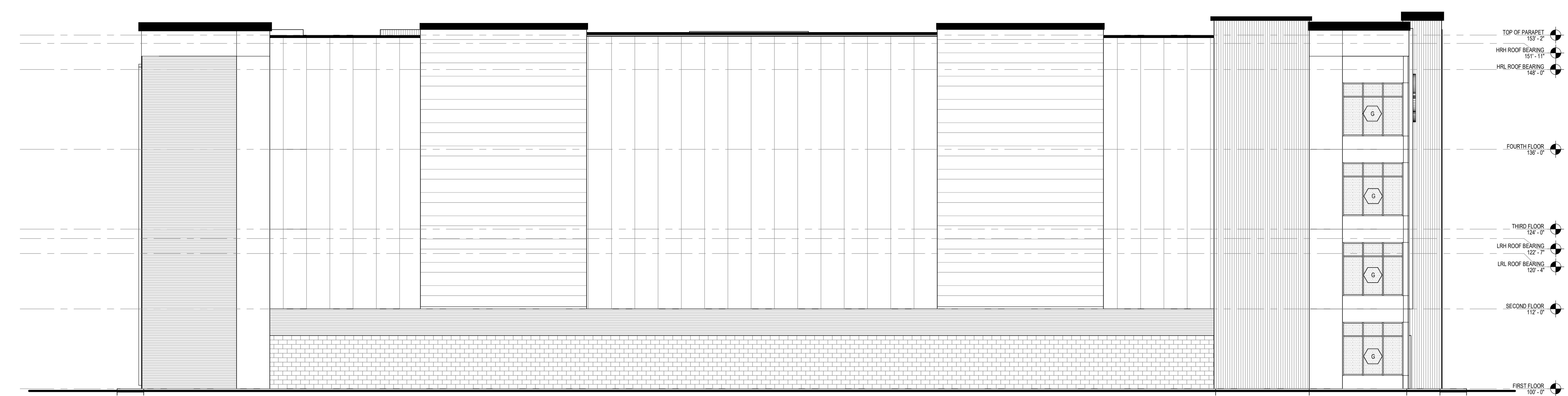
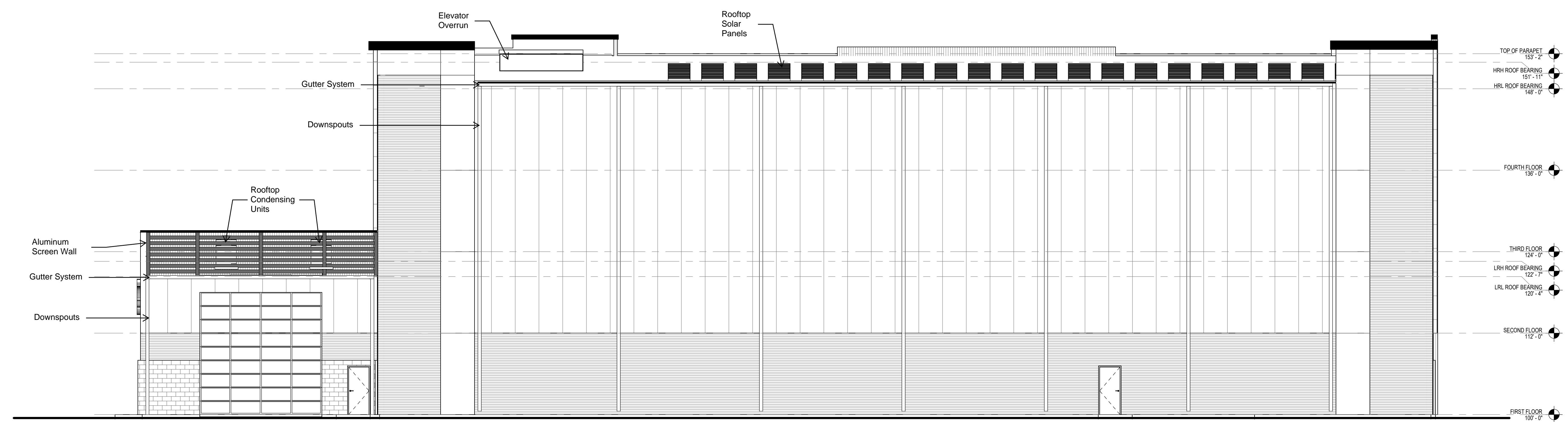
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EXTERIOR ELEVATIONS

MADISON SQUARE
STORAGE, LLC

PENNSYLVANIA AVENUE
STORAGE BUILDING

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Madison, WI 53704



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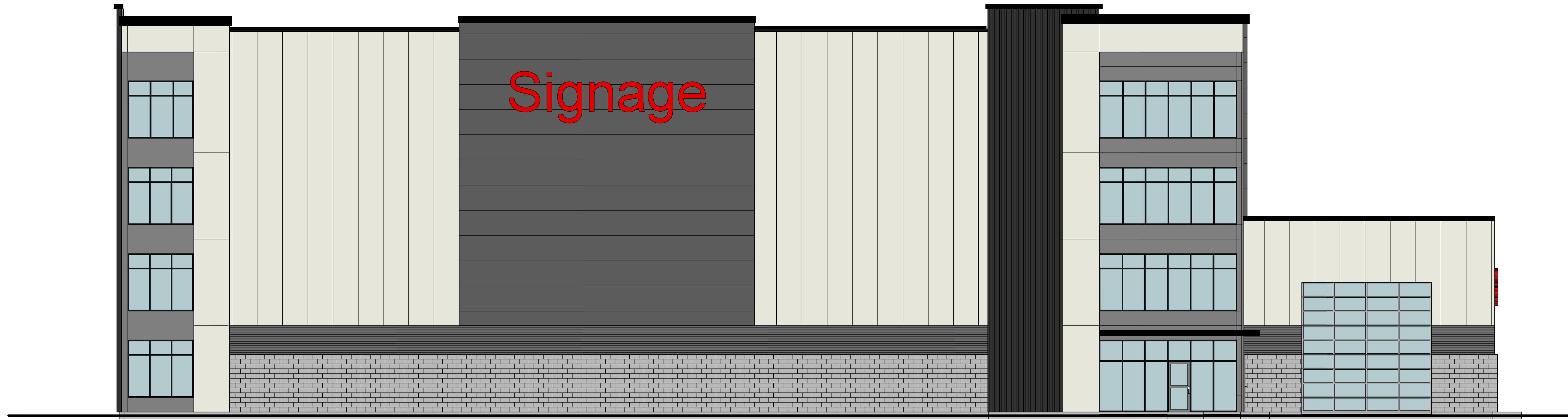
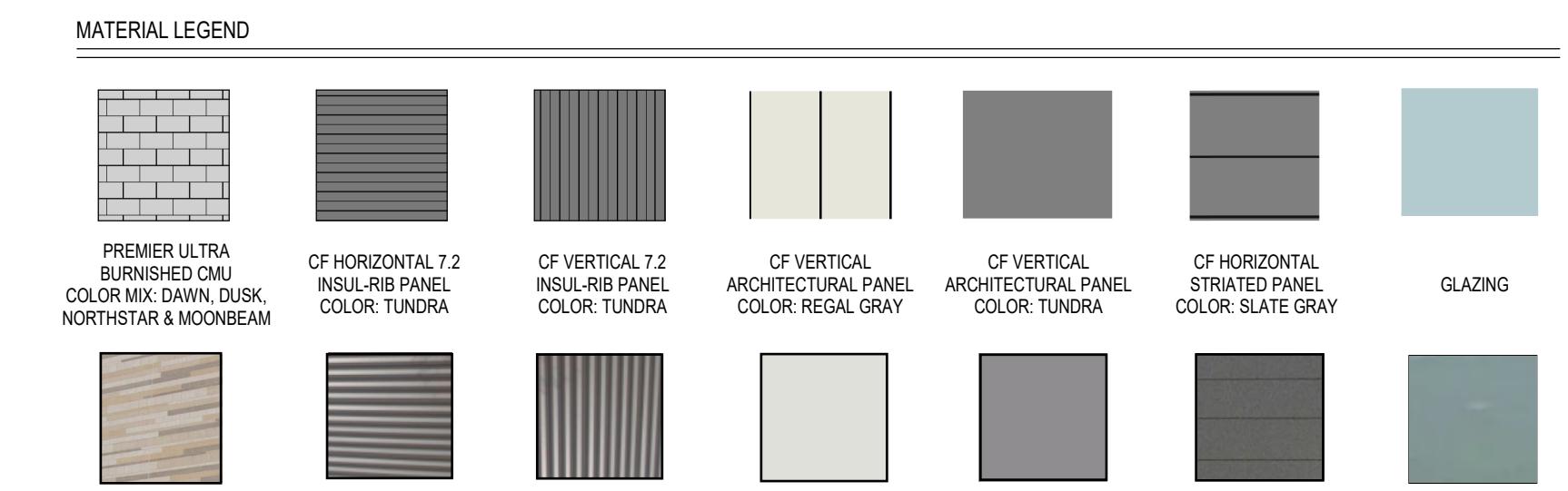
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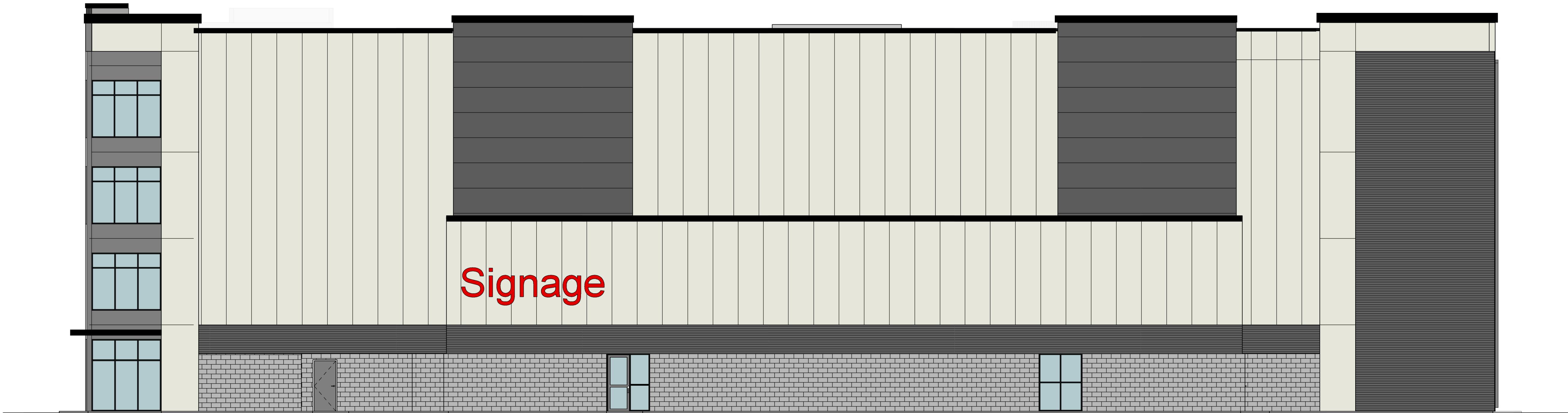
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EXTERIOR ELEVATIONS

A402



02 EAST ELEVATION - COLORED
A403 SCALE: 1/8" = 1'-0"



01
A403 NORTH ELEVATION - COLORED
SCALE: 1/8" = 1'-0"

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A403

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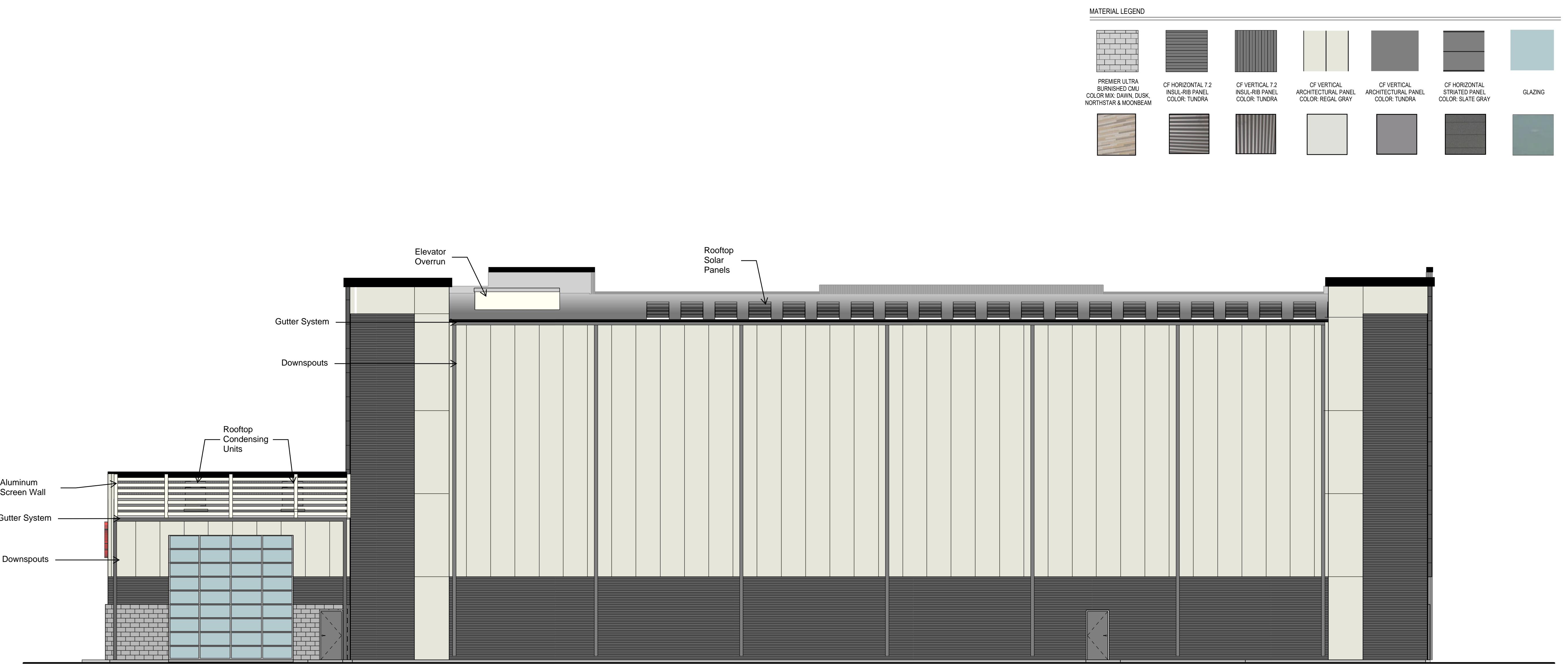
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EXTERIOR ELEVATIONS - COLOR

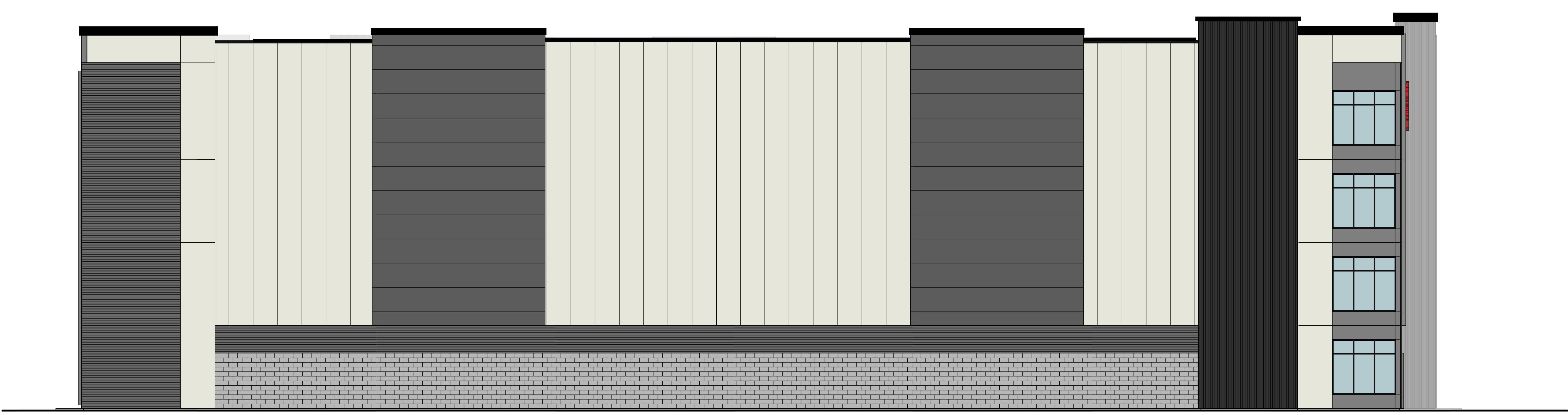
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Sheet Size: 30" x 42" (Arch E1)



02
A404 WEST ELEVATION - COLORED
SCALE: 1/8" = 1'-0"



01
A404 SOUTH ELEVATION - COLORED
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS - COLOR