


PENNSYLVANIA AVENUE STORAGE BUILDING

MADISON SQUARE STORAGE, LLC

2230 Pennsylvania Ave  
Madison, WI 53704



ANGUS-YOUNG  
ARCHITECTS/ENGINEERS  
Janesville | Madison

PENNSYLVANIA AVENUE STORAGE  
BUILDING

AY PROJECT NUMBER: 76850



Pennsylvania Avenue | Front

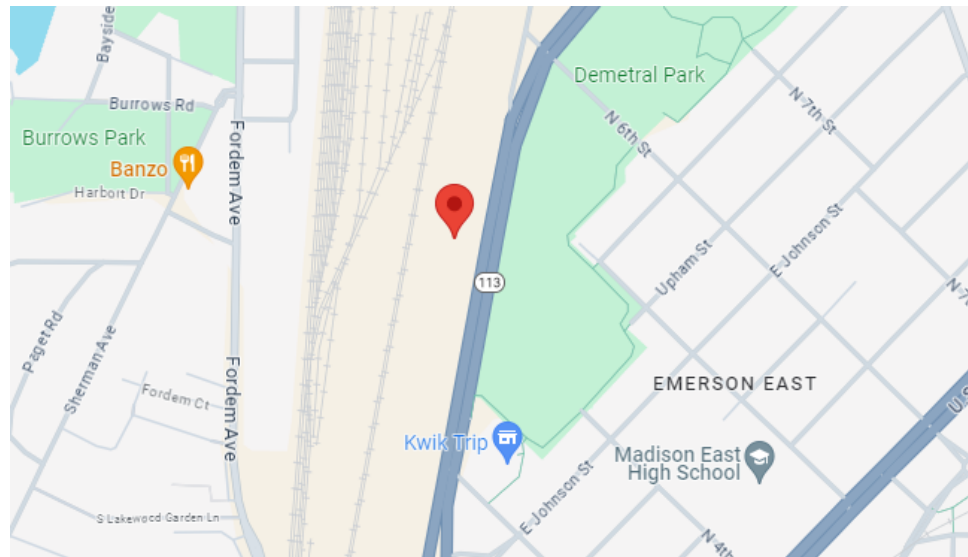
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REGULATORY DATA:

<b>BUILDING CODES:</b> OVERALL BUILDING:		2021 INTERNATIONAL BUILDING CODE
<b>ACCESSIBILITY:</b>		2009 ANSI A117.1
<b>USE AND OCCUPANCY CLASSIFICATION:</b> GROUP S1 - MODERATE HAZARD STORAGE		
<b>TYPE OF CONSTRUCTION:</b> TYPE I-B		
<b>FIRE PROTECTION SYSTEM:</b> AUTOMATIC SPRINKLER SYSTEM - NFPA 13		
<b>GENERAL BUILDING HEIGHT AND AREA:</b>		
AREA:		
TOTAL MAXIMUM ALLOWABLE	210,000 (PER 507.4 IBC 2015)	
TOTAL ACTUAL	123,400 SF	
STORIES:		
MAXIMUM ALLOWABLE	4 STORIES	
ACTUAL	4 STORIES	
HEIGHT:		
MAXIMUM ALLOWABLE	75'-0"	
ACTUAL	65'-0"	
<b>UNIT COUNT:</b>		
FIRST FLOOR	161	
SECOND FLOOR	243	
THIRD FLOOR	243	
FOURTH FLOOR	225	
TOTAL UNITS	873	

LOCATION MAP:



ISSUANCES / REVISIONS		
NO.	DESCRIPTION:	DATE:
1	UCC - LAND USE SUBMITTAL	03/20/2024

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PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT TEAM

<b>OWNER:</b> MADISON SQUARE STORAGE, LLC 902 WILLIAMSON STREET MADISON, WI 53703  CONTACT: ERIC WELCH EMAIL: PAINTINGERICWELCH@GMAIL.COM PHONE: 608-770-4020	<b>ARCHITECT:</b> ANGUS-YOUNG 555 SOUTH RIVER STREET JANESVILLE, WI 53548  CONTACT: BRANDON ADLER EMAIL: B.ADLER@ANGUSYOUNG.COM PHONE: 608-756-2326	<b>STRUCTURAL ENGINEER:</b> ANGUS-YOUNG 555 SOUTH RIVER STREET JANESVILLE, WI 53548  CONTACT: CAMERON HEERON EMAIL: C.HEERON@ANGUSYOUNG.COM PHONE: 608-756-2326	<b>LANDSCAPE ARCHITECT:</b> ANGUS-YOUNG 555 SOUTH RIVER STREET JANESVILLE, WI 53548  CONTACT: KATIE UDELL EMAIL: K.UDELL@ANGUSYOUNG.COM PHONE: 608-756-2326	<b>CIVIL ENGINEER:</b> WYSER ENGINEERING 300 EAST FRONT STREET MOUNT HOREB, WI 53572  CONTACT: ADAM WATKINS EMAIL: ADAM.WATKINS@WYSERENGINEERING.COM PHONE: 608-475-1864
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SCHEMATIC DESIGN SIGN-OFF

THESE DRAWINGS HAVE BEEN REVIEWED BY THE OWNER AND ARE ACCEPTED WITH THE CORRECTIONS INDICATED. THE DESIGN CONCEPTS, SITE IMPROVEMENTS, LAYOUT OF WALLS, DOORS AND WINDOWS ON THE FLOOR PLANS, BUILDING SCALE, APPEARANCE AND EXTERIOR MATERIALS WERE REVIEWED. THE CONSTRUCTION BUDGET HAS BEEN REVIEWED AND IS ACCEPTABLE. WITH THIS APPROVAL, THE OWNER ACKNOWLEDGES THE COMPLETION OF THE SCHEMATIC DESIGN PHASE OF THE PROJECT AND DIRECTS THE ARCHITECT TO PROCEED WITH THE DESIGN DEVELOPMENT PHASE.

Date

35	30	25	20	15	10	05
34	29	24	19	14	09	04
33	28	23	18	13	08	03
32	27	22	17	12	07	02
31	26	21	16	11	06	01

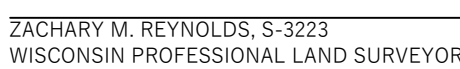
COVER SHEET

G001

C:\Revit\Local\Projects\76850\AY\2023\_ay\_nsmthb.rvt Sheet Size: 30" x 42" (Arch. E1)



Number	0001
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[illegible]

### LEGEND (PROPOSED)

	PROPOSED PROPERTY BOUNDARY
	EASEMENT
	BUILDING FOOTPRINT
	18" CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	STORMWATER TREATMENT FACILITY

### GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSE ENGINEERING ON JUNE 12 AND 13, 2023. WYSE ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR DUE TO ANY INACCURACIES, ERRORS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN, THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION, CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND AND EASEMENTS AS REQUIRED.
4. WYSE ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM ANY CITY OF MADISON CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTFALLS AND PUBLIC UTILITIES SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SEPARATE PLANS ISSUED BY THE CITY OF MADISON.

SITE INFORMATION BLOCK:

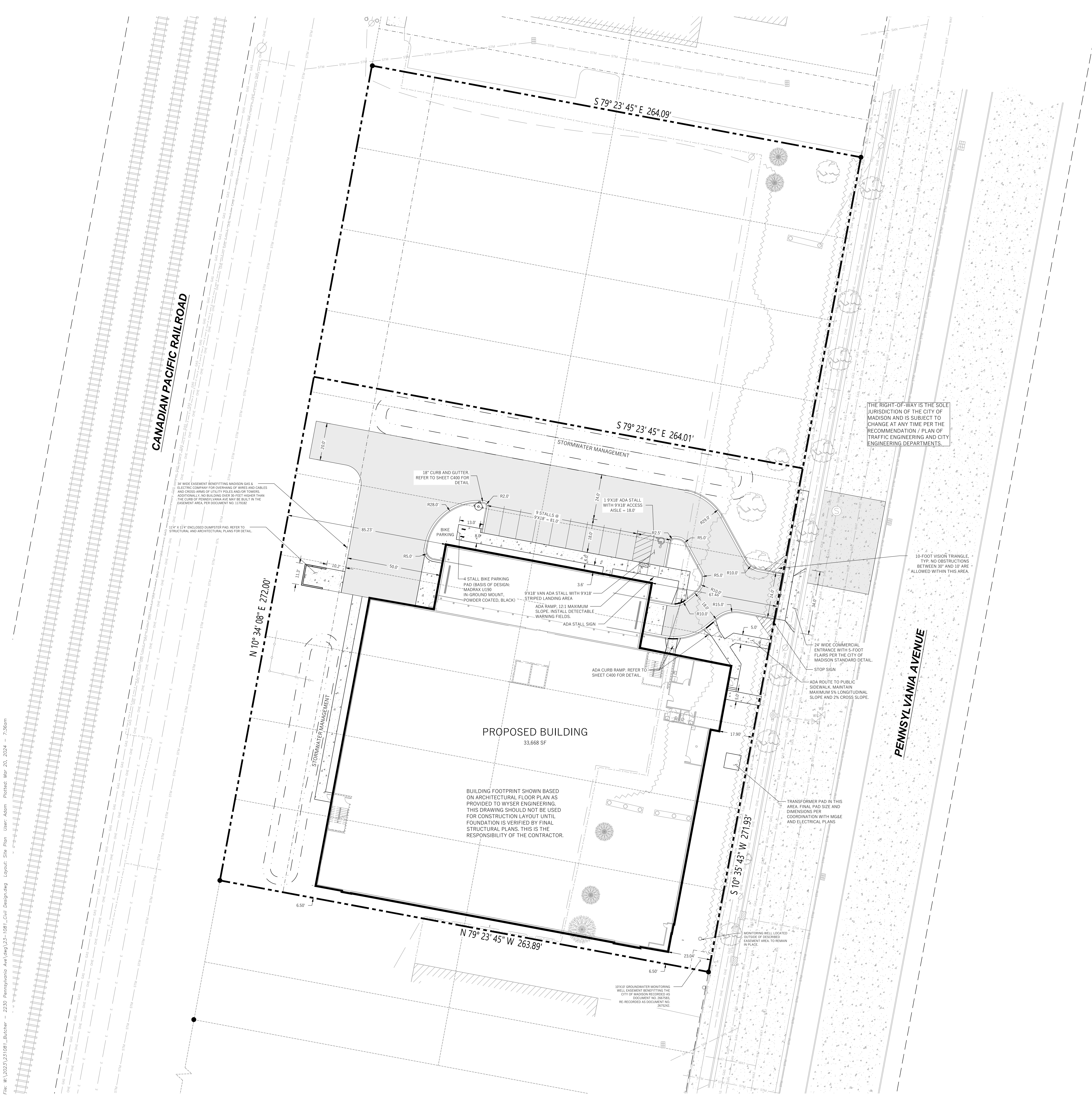
SITE ADDRESS: 2230 PENNSYLVANIA AVENUE  
SITE ACREAGE: 71,787 SQ.FT. (1.65 AC)  
USE OF PROPERTY: INDUSTRIAL  
ZONING: INDUSTRIAL - LIMITED (IL)

SETBACKS:  
FRONT YARD: 5 FEET  
REAR YARD: 30-FEET  
SIDE YARD: 5 FEET

TOTAL NUMBER OF PARKING STALLS: 10  
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 1  
TOTAL NUMBER OF BIKE STALLS: 4  
EXISTING IMPERVIOUS SURFACE AREA: 50,122 SQ.F.  
ROOFTOP: 0 SQ.FT.  
PAVED: 54,641 SQ.FT.  
EXISTING LOT COVERAGE: 76.1%

NEW IMPERVIOUS SURFACE AREA: 53,054 SQ.FT.  
ROOFTOP: 33,668 SQ.FT.  
PAVED: 15,338 SQ.FT.  
GRAVEL: 4,048 SQ.FT.  
PROPOSED LOT COVERAGE: 73.9%

MAXIMUM LOT COVERAGE 75%







**Contact Name & Phone #:** BRANDON ADLER - 608.756.2326

**FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

- |  |   |  |                              |
|--|---|--|------------------------------|
| 1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| If <b>no-sprinklered</b> , fire lines extend to within 150-feet of all portions of the exterior wall?  | <input type="checkbox"/> Yes            | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| If <b>sprinklered</b> , fire lines are within 250-feet of all portions of the exterior wall?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| 2. Is the fire line constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| a) Is the fire line a minimum unobstructed width of at least 20'-feet?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| b) Is the fire line unobstructed by vertical clearance of at least 13 1/2'-feet?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| c) Is the minimum inside turning radius of the fire line at least 28-feet?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| d) Is the grade of the fire line not more than a slope of 8%?  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| e) Is the fire line posted with signs? (Provide detail of signage)   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| f) Is a roll-back curb used as part of the fire line? (Provide detail of curb.)  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| g) Is a part of a sidewalk used as part of the required fire line? (Must support +85,000 lbs.)   | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| 3. Is the fire line obstructed by security gates or barricades? If yes:  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| a) Is the gate a minimum of 20-foot clearing?  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| b) Approved means of egress? (See Section 105.03.10)   | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| 4. Is the fire line dead-ended with a length greater than 150'-feet? <sup>230' FROM CENTER OF THE TURN-AROUND</sup>  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| If yes, does the area for turning around fire apparatus comply <sup>10' END OF AERIAL APPARATUS LANE</sup>   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| 5. Is any portion of the building to be used for high-pled storage in accordance with IFC Chapter 3206.6. If yes, see IFC 3206.6 for further requirements.             | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| 6. Is any part of the building greater than 30-feet above the grade plane?<br>If yes, answer the following questions:  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| a) Is the aerial apparatus fire line parallel to one entire side of the building and covering at least 25% of the perimeter?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| b) Is the near edge of the aerial apparatus fire line between 15' and 30' from the building?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| c) Are there any overhead power or utility lines located across the aerial apparatus fire line?  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| d) Are there any tree canopies expected to grow across the aerial fire line? (Based on mature canopy width of free species)  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| e) Does the aerial apparatus fire line have a minimum unobstructed width of 26'-feet?  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| f) Is the space between the aerial line and the building free of trees exceeding 20' in heights?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| 7. Are all portions of the required fire lines within 500-feet of at least 2 hydrants?<br><sup>25' FROM THE FIRE HYDRANT</sup> If yes, answer the following questions: | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| a) Is the fire line within 25'-feet of the required fire line? <sup>25' FROM THE PRIVATE HYDRANT</sup>   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| b) Is there at least 40' between a hydrant and the building?   | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| c) Are the hydrant's setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| d) Are hydrants located in parking lot situated a minimum of 3 1/2'-feet from the hydrant to the curb?   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
| e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located within 10'-feet of the fire line?                        | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            | <input type="checkbox"/> N/A |
- Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers

This worksheet is based on **MGO 34.503** and **IFC 2021 Edition Chapter 5 and Appendix D**; please see the codes for further information.

Revised 06/2022

PENNSYLVANIA AVENUE  
STORAGE BUILDING

CITY OF MADISON, DANE COUNTY, WI

Sheet Title: FIRE APPARATUS ACCESS PLAN

Revisions:

No.	Date:	Description
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Graphical  
Scale

Wyser  
Number

23-1081

Set  
Type

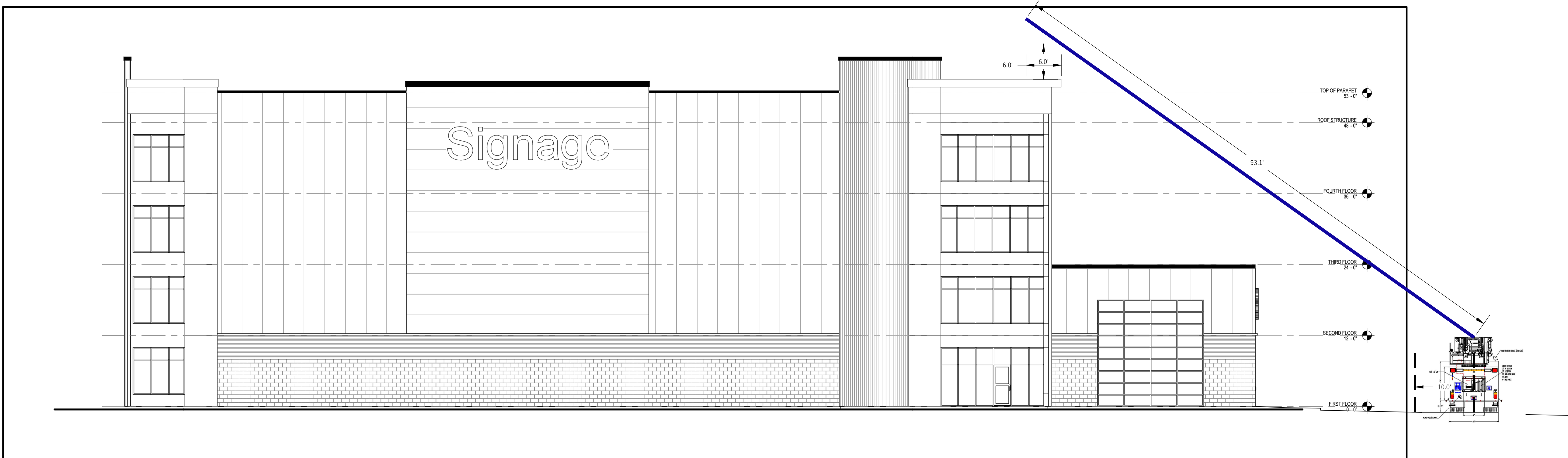
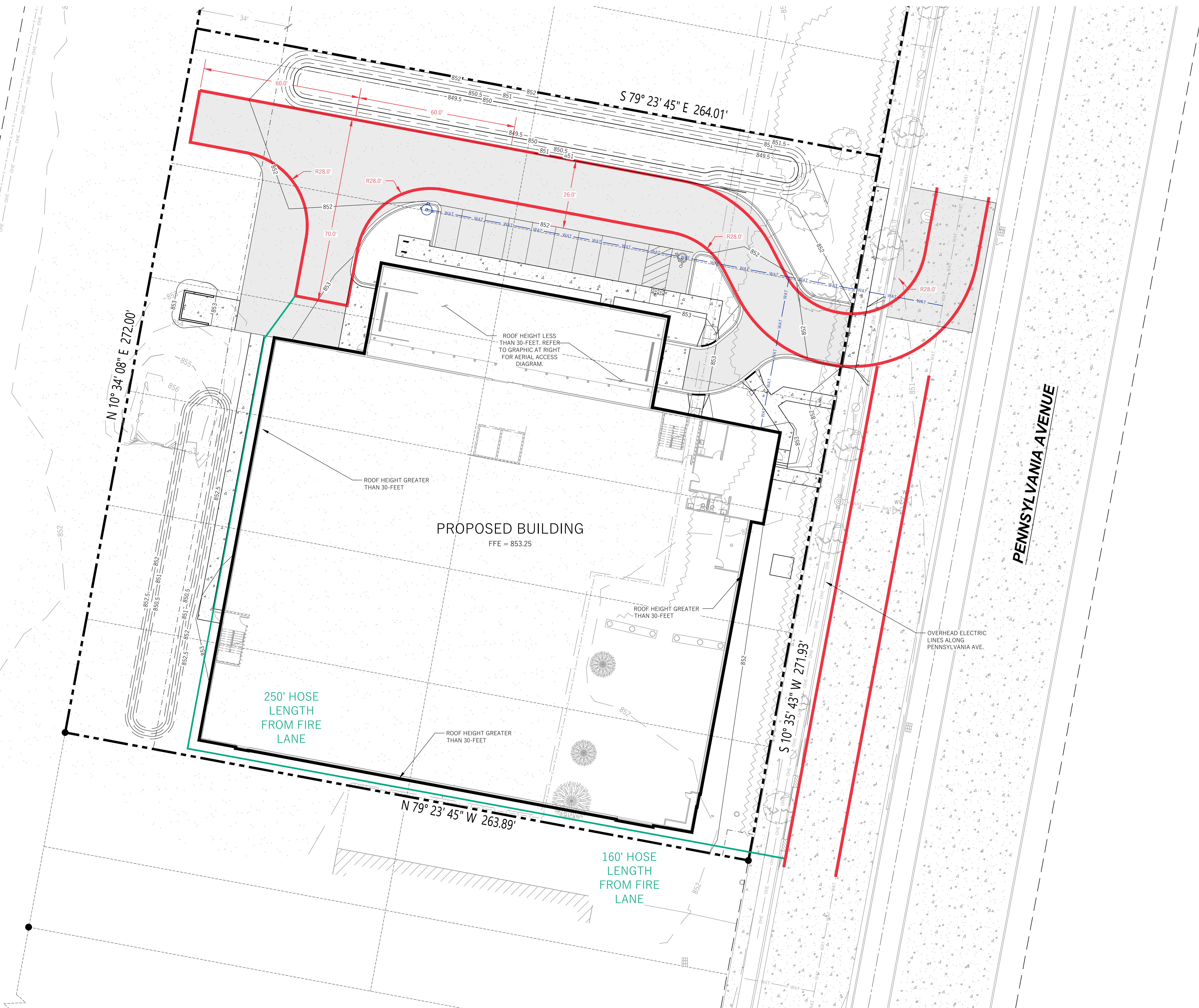
REVIEW

Date  
Issued

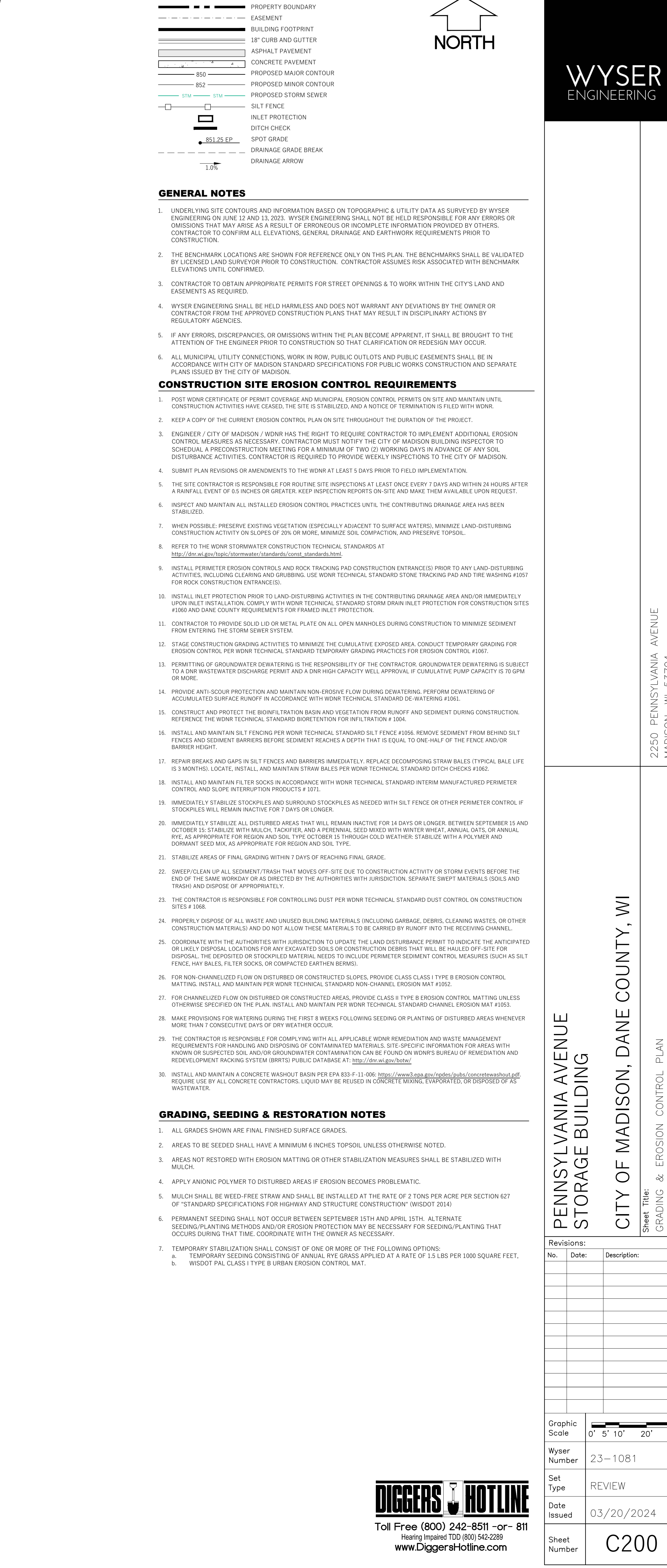
03/20/2024

Sheet

C101







1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON JUNE 12 AND 13, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF EROSION OR INCOMPLETE INFORMATION PROVIDED BY OTHERS.
2. CONTRACTOR SHALL CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
3. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
4. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND AND EASEMENTS AS REQUIRED.
5. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
6. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
7. ALL PLANS, UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SEPARATE PLANS SUBMITTED TO THE CITY OF MADISON.

POST WORK CERTIFICATE OF PERMIT COMPLETION AND MUNICIPAL EROSION CONTROL, PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WNRD.

2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.

3. ENGINEER / CITY OF MADISON / WORK HAS THE RIGHT TO REQUEST CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TO CONDUCT A PRELIMINARY CHECK OF EROSION CONTROL MEASURES. CONTRACTOR MUST MEET WITH THE CITY OF MADISON BUILDING INSPECTOR TO DISCUSS ANY DISTURBANCE ACTIVITIES. CONTRACTOR IS REQUIRED TO PROVIDE WEEKLY INSPECTIONS TO THE CITY OF MADISON.

4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WORK AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.

5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST EVERY 2 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION RECORDS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.

6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

7. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION ESPECIALLY ADJACENT TO SURFACE WATERS, MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.

8. REFER TO THE WORK STANDARD/CONSTRUCTION STANDARD STANDARDS AT <http://enr.wis.gov/https://standards.wisconsin.gov/standards.html>

9. INSTALL PERMANENT EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING CONSTRUCTION. PROVIDE CLEARLY MARKED AND OBVIOUS EROSION CONTROL STANDARDS STONE TRACKING PAD AND THE WASHING FURROW FOR ROCK CONSTRUCTION ENTRANCES(CS).

10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES TO MINIMIZE THE DRAINAGE AREA AND/OR IMMEDIATELY EXPOSED AREA OF THE DISTURBED SITE. PROVIDE INLET PROTECTION FOR ALL CONSTRUCTION SITES EXCEPT CONSTRUCTION SITES #1000 AND DANCE COUNTRY REQUIREMENTS FOR FRAMED INLET PROTECTION.

11. CONTRACTOR TO PROVIDE SODD LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR CONSTRUCTION OF THE EROSION CONTROL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1001.

13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WATER-DEWATERING PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR GREATER.

14. PROVIDE ANTI-SLOPE PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WORKER TECHNICAL STANDARD DEWATERING #1001.

15. CONSTRUCT AND PROTECT THE BIOFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WORKER TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.

16. INSTALL AND MAINTAIN SILT FENCING PER WORKER TECHNICAL STANDARD SILT FENCE #2066. REMOVE SEDIMENT FROM BEHIND SILT FENCING AND BARRIERS DURING BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.

17. REPAIR BARRIERS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSED STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WORKER TECHNICAL STANDARD DITCH CHECKS #2062.

18. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WORKER TECHNICAL STANDARD INTERIOR MANHOLES PERMITTER CONTROL AND SOIL INTERUPTION PROTECTION #1001.

19. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SOD OR OTHER PERMITTER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

20. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. DURING SEPTEMBER IS AND EARLY OCTOBER, WHEN THERE IS NO RISK OF FROST, THE DISTURBED AREAS SHOULD BE COVERED WITH WINTER HAY, ANNUAL, ORS OR ANNUAL SEED, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER IS THROUGH COLORED WEEDS. STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.

21. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.

22. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE SEDIMENT OR TRASH IS DISCHARGED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SEWAGE MATERIALS (SOLIDS AND TRASH) AND DISPOSE OF APPROPRIATELY.

23. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING MATERIALS PER WORKER TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1088.

24. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GRADING DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.

25. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSED LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE (SUCH AS SILT FENCE DEBRIS, THE FILTERED STOCKPILE SOIL, OR OTHER CONSTRUCTION DEBRIS) TO INCLUDE PERMITTER SEDIMENT CONTROL MEASURES (SILENT FENCE OR OTHER) TO PREVENT FURTHER CONSTRUCTION EARTHMOVEMENT.

26. FOR NON-CHANNELIZED FLOW ON UNDISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS II TYPE B EROSION CONTROL MATTING, INSTALL AND MAINTAIN PER WORKER TECHNICAL STANDARD NON-CHANNEL EROSION CONTROL #1062.

27. FOR CHANNELIZED FLOW ON UNDISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS SLOPES ARE FLAT. FOR CHANNELIZED FLOW ON UNDISTURBED AREAS, CLASS II TYPE B EROSION CONTROL MATTING IS REQUIRED AT #1000.


28. MAKE PROVISIONS FOR WATERING DURING THE FIRST 2 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 3 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

29. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WATER REPLETION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDING AND DISPOSING OF CONTAMINATED MATERIALS. SITE SPECIFIC INFORMATION OR AREAS WITH CONTAMINATED SOILS OR SOILS ON GROUNDWATER ARE AVAILABLE TO THE CONTRACTOR AT THE WISCONSIN BUREAU OF REMEDIATION AND DEWATERING RECKING SYSTEM (BRITS) PUBLIC DATA BASE AT: <http://dnr.wis.gov/botw/>

30. INSTALL AND MAINTAIN A CEMENT WASHOUT BASIN PER EPC 33-11.006: <http://www2.gov.wisconsin.gov/publications/2007/070203.pdf>

31. MAINTAIN ALL CONCRETE CONSTRUCTIONS. LIQUID MAY BE REUSED IN CONCRETE MIXTURES, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEEDING SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. MULCH SHALL BE WHEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION (WSDOT 2014)
6. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. AT PERMANENT SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
7. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
  - TEMPORARY SEEDING CONSISTING OF MULCH APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
  - WSDOT PL CLASS 1 TYPE B EROSION CONTROL MAT.

Revisions:		
No.	Date:	Description:
Graphic Scale		
Wyser Number	23-1081	
Set Type	REVIEW	
Date Issued	03/20/2024	
Sheet Number	C200	

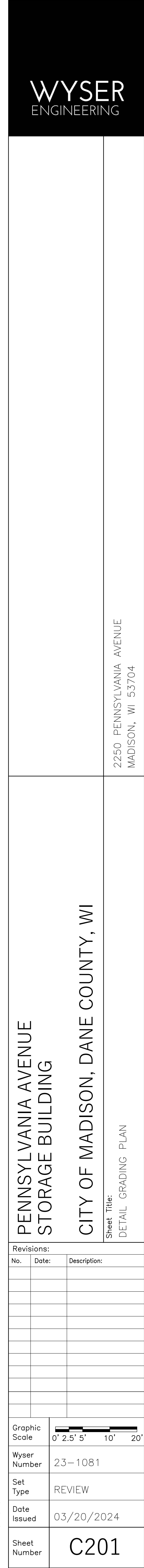


**LEGEND (PROPOSED)**


	PROPERTY BOUNDARY
	EASEMENT
	BUILDING FOOTPRINT
	18" CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM SEWER
	SPOT GRADE
	DRAINAGE GRADE BREAK
	DRAINAGE ARROW

**NORTH**

4. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSEY ENGINEERING ON JUNE 12 AND 13, 2023. WYSEY ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DATA OR FOR ANY RESULTS THAT MAY BE ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GROUND, DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
5. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARKS. ELEVATIONS UNTIL CONFIRMED.
6. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND AND EASEMENTS AS REQUIRED.
7. WYSEY ENGINEERING SHALL BE HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE CITY'S CONSTRUCTION PLANS THAT MAY RESULT IN DISPARITY ACTIONS BY REGULATORY AGENCIES.
8. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
9. ALL MUNICIPAL UTILITY CONNECTIONS, WORKS IN OR FOR PUBLIC OUTFALLS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SEPARATE PLANS ISSUED FOR THIS CITY AND PUBLIC.



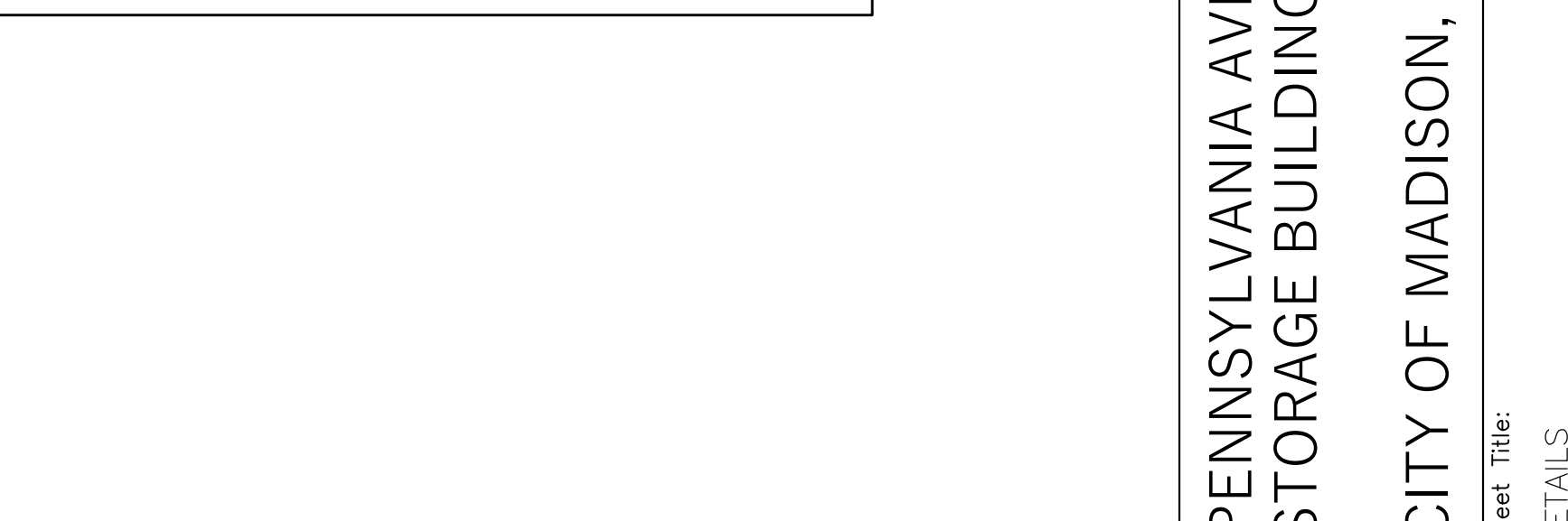
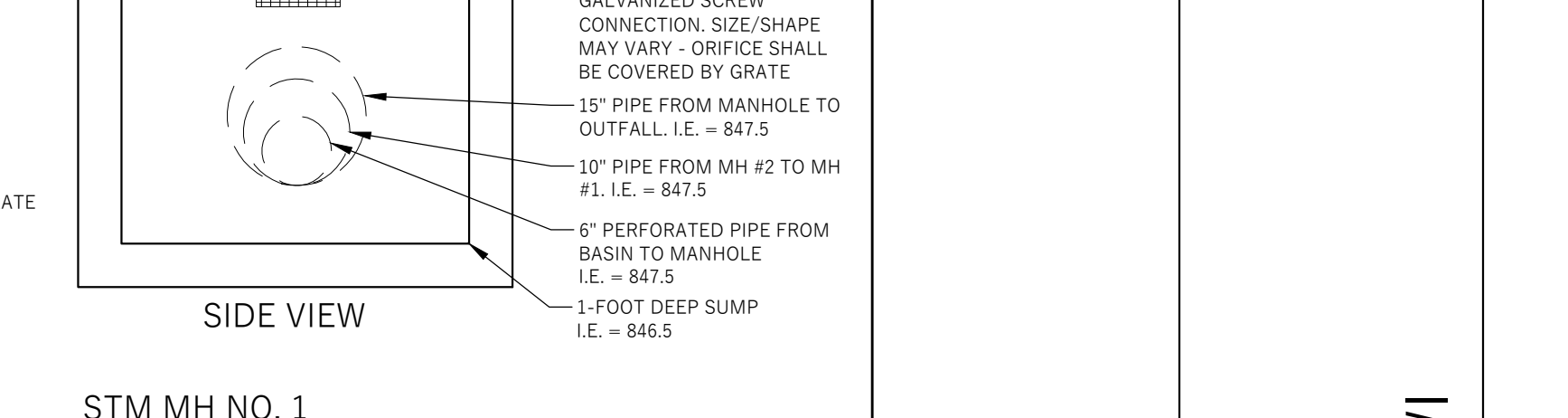
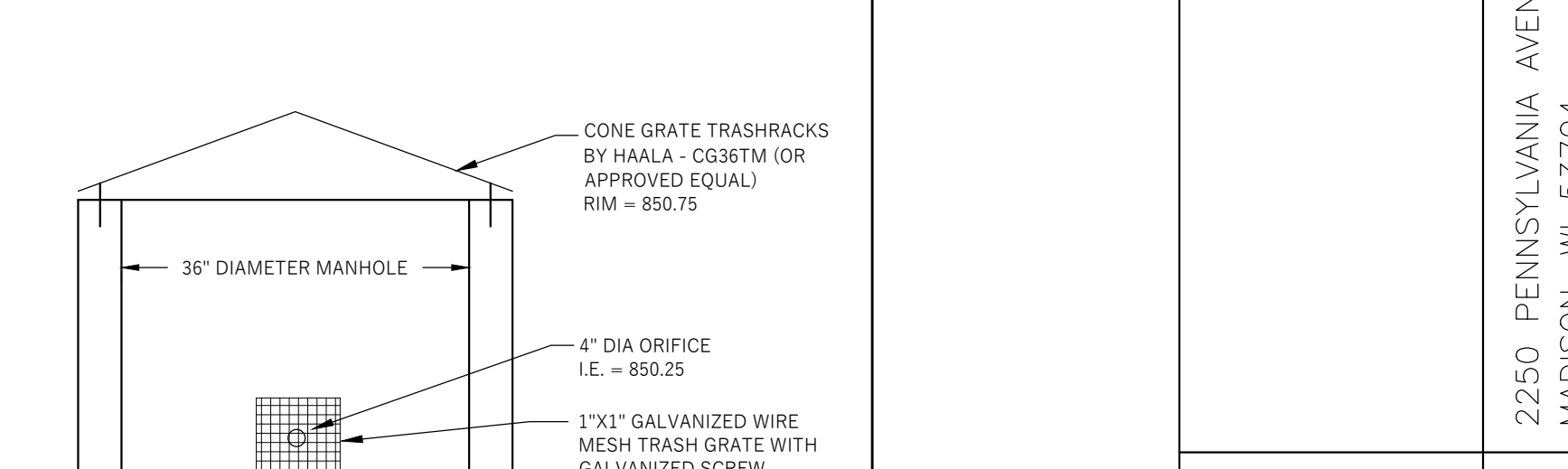
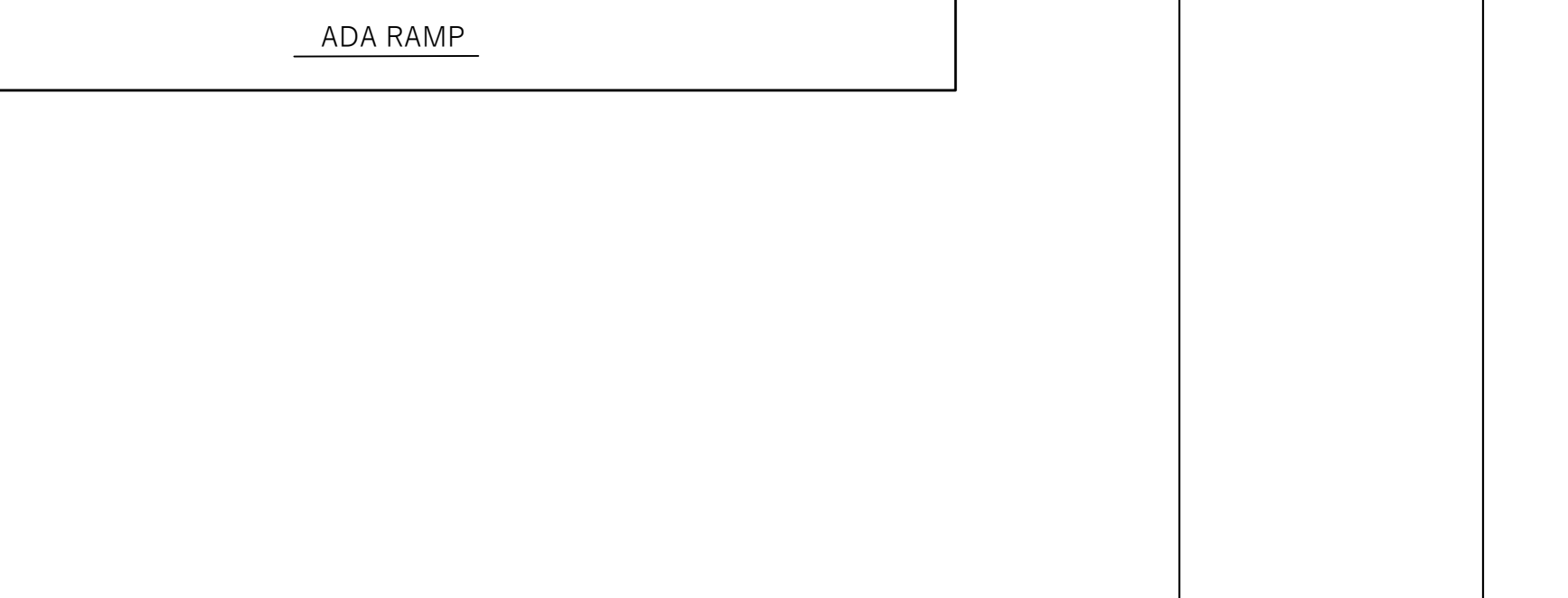
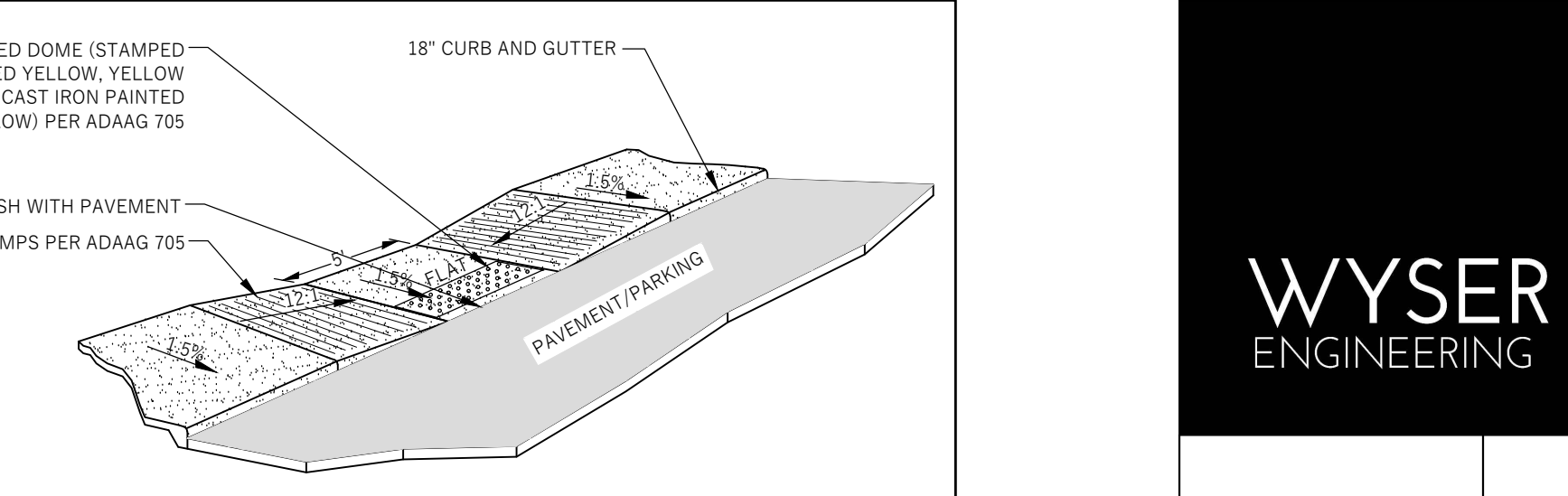
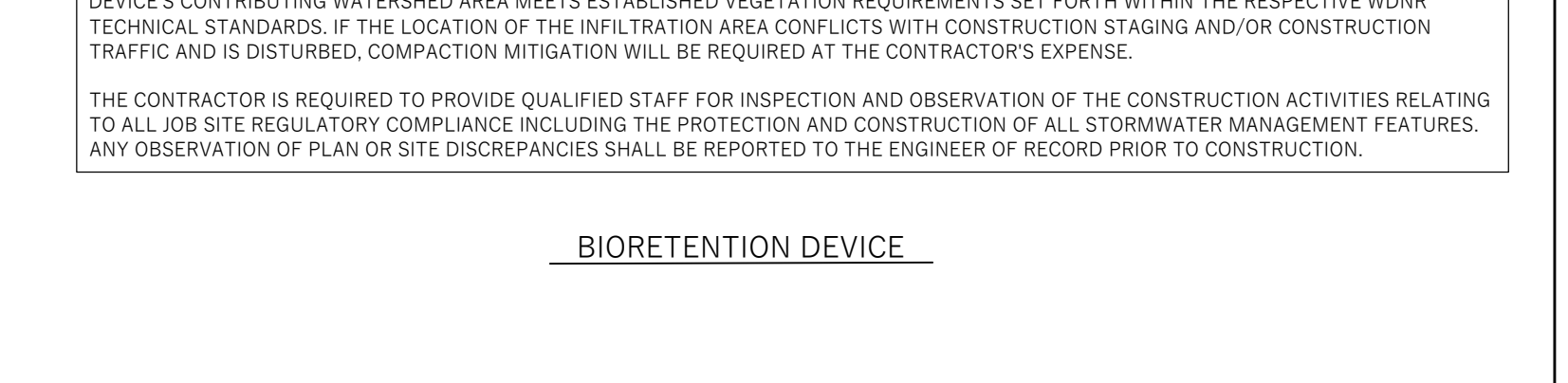
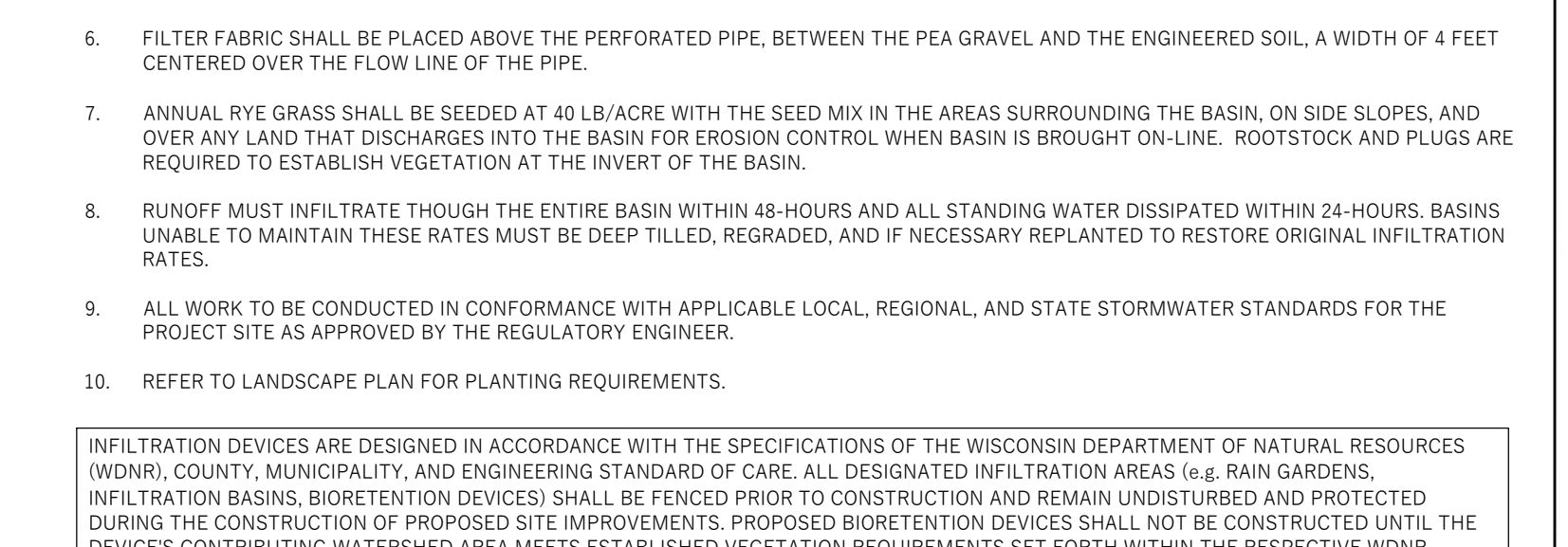
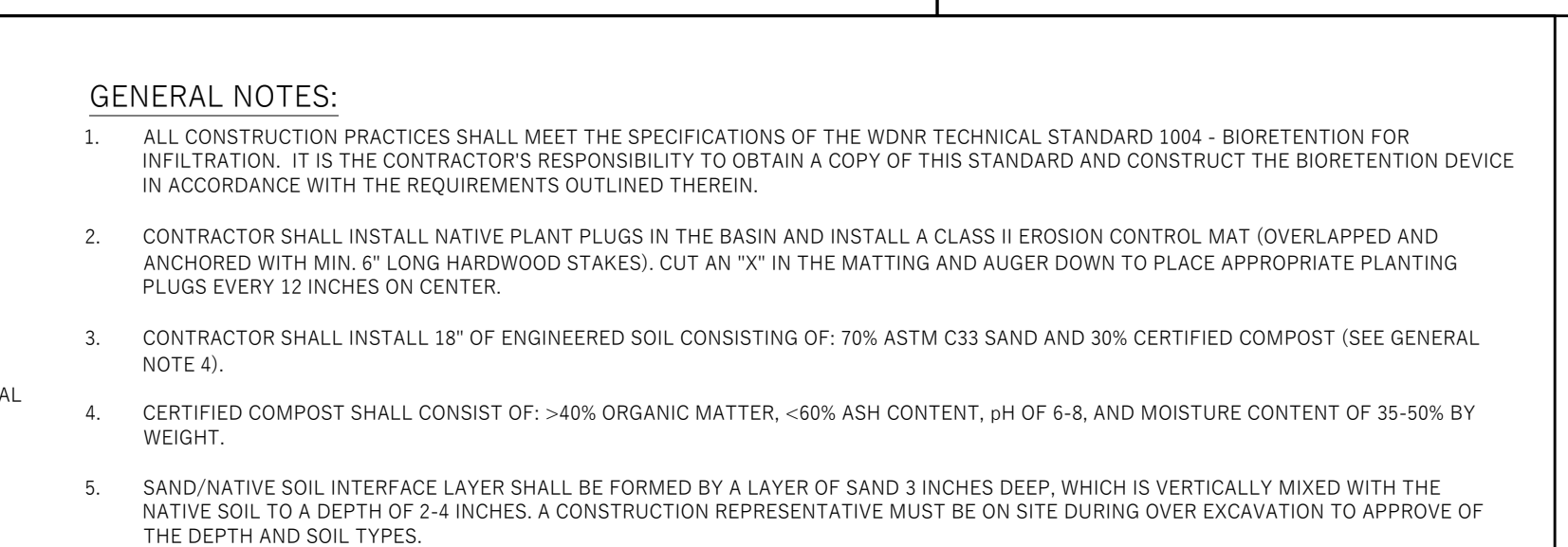
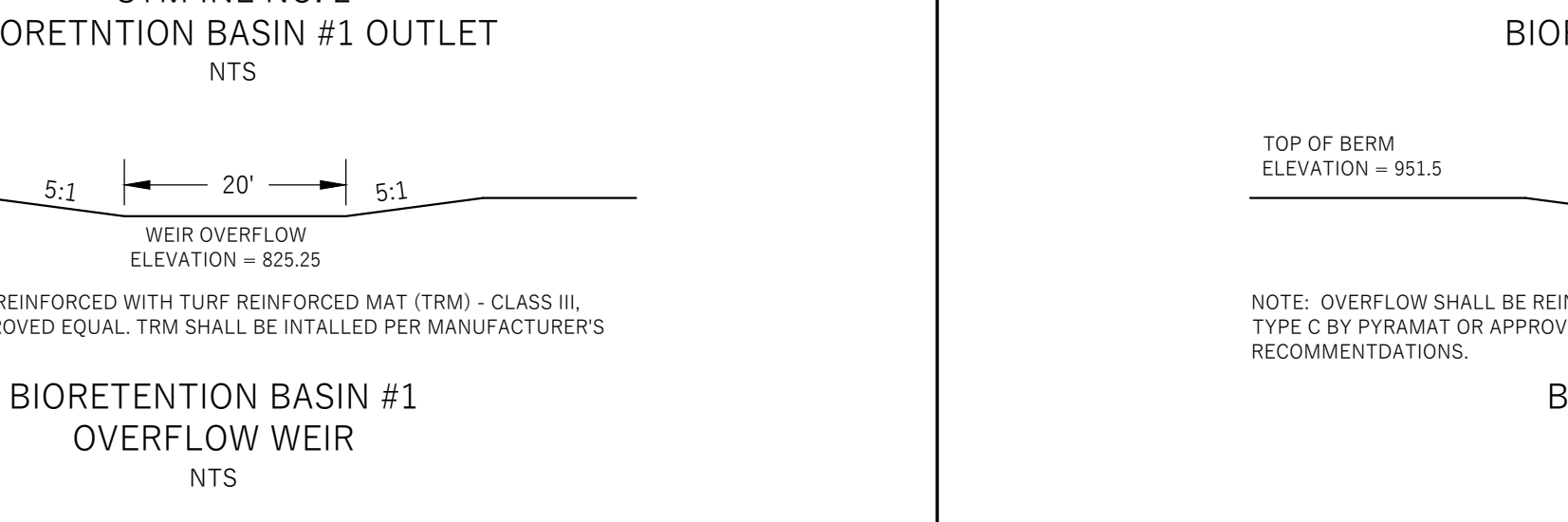
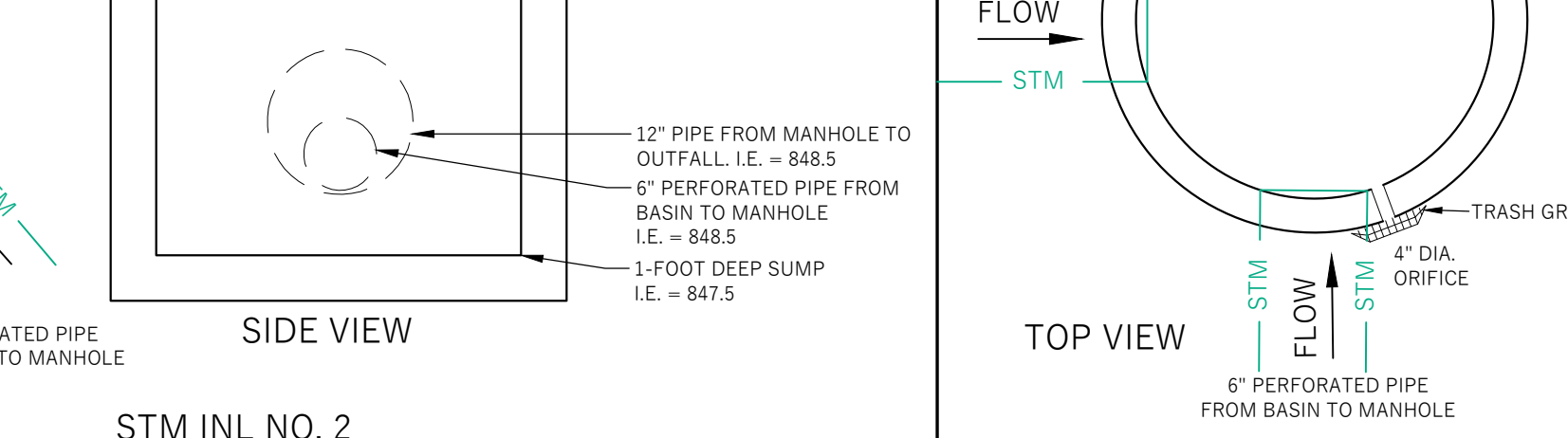
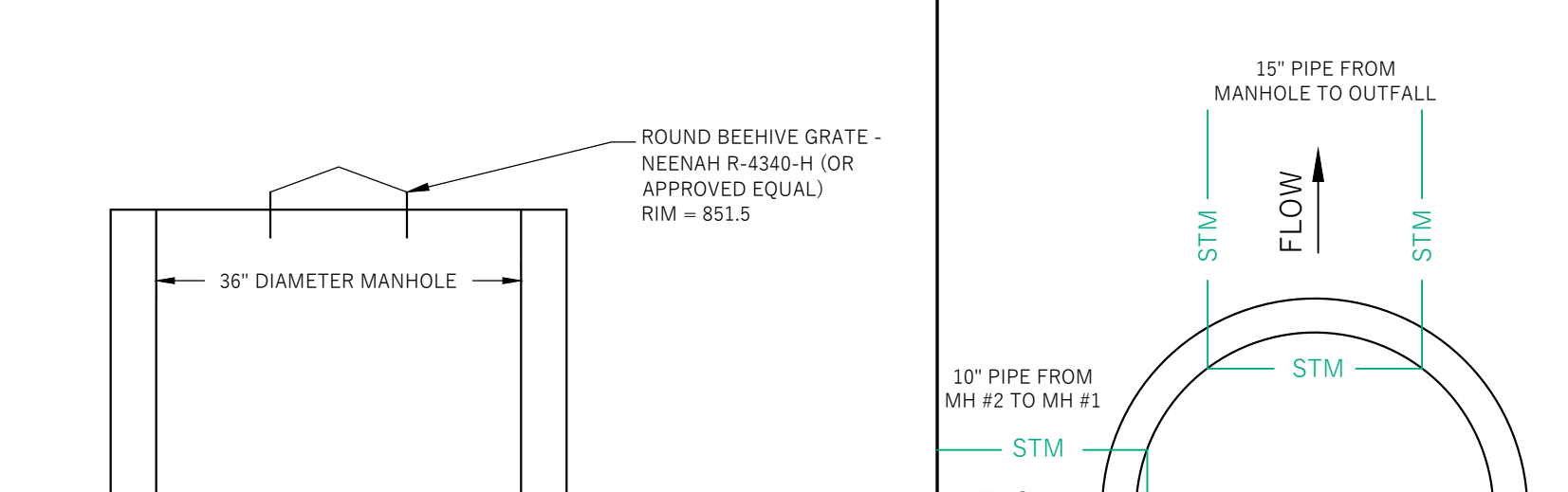
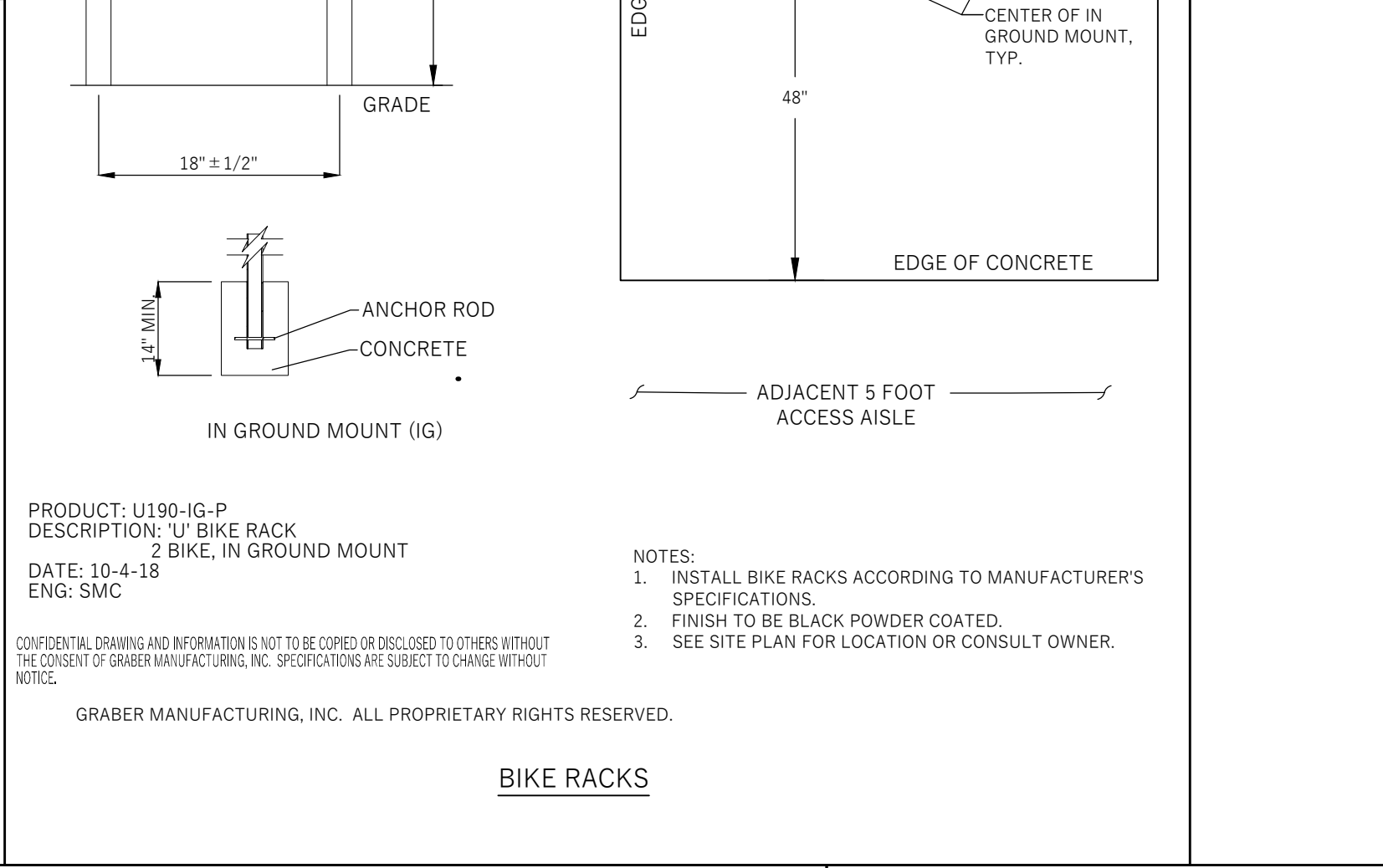
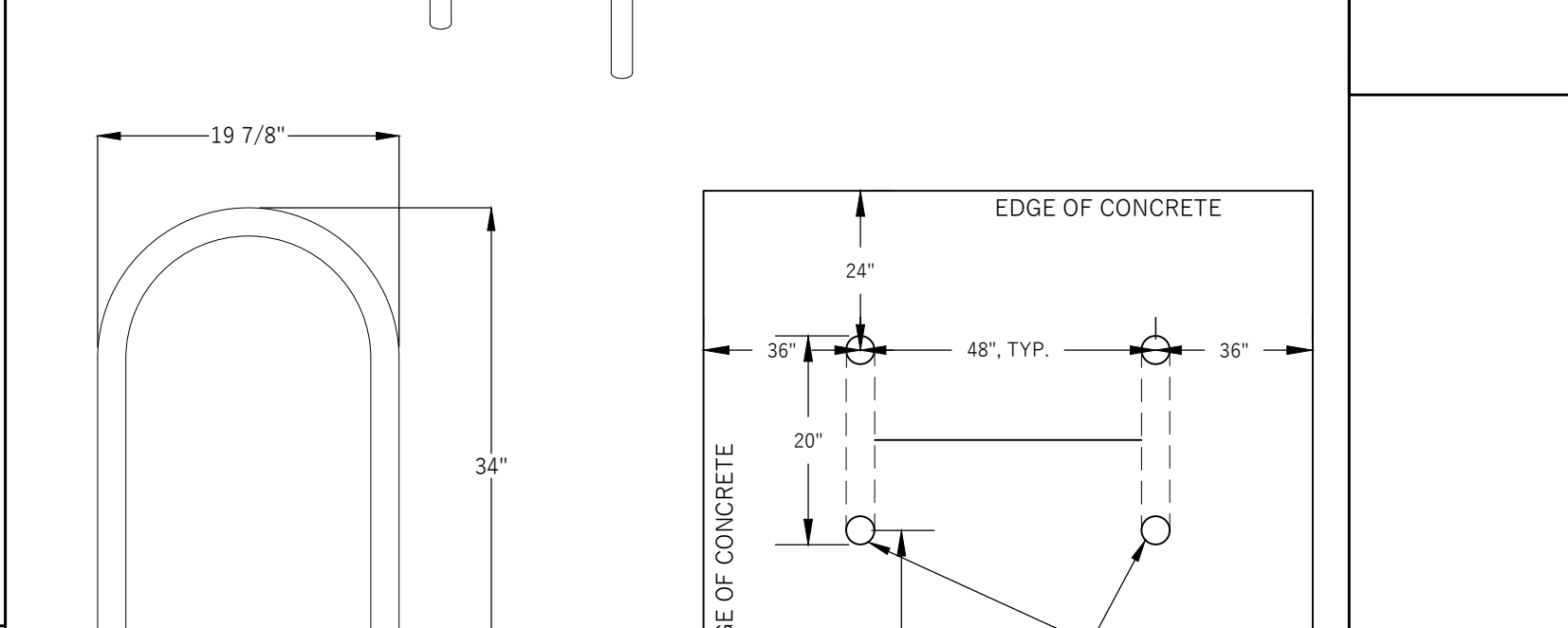
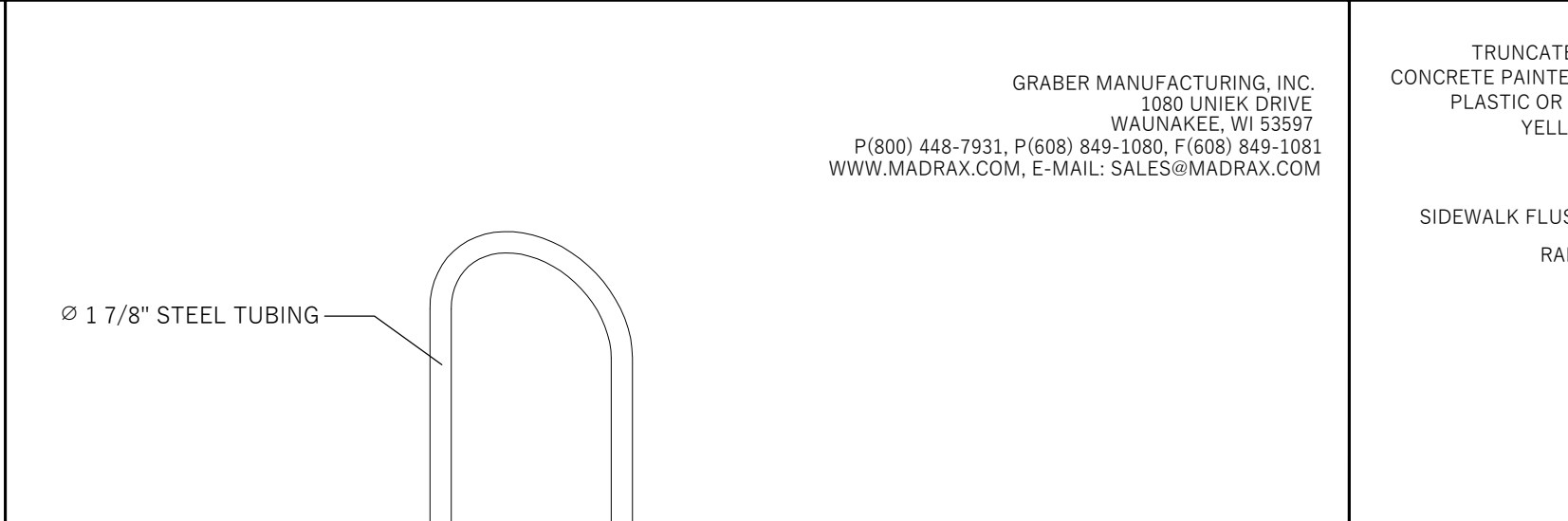
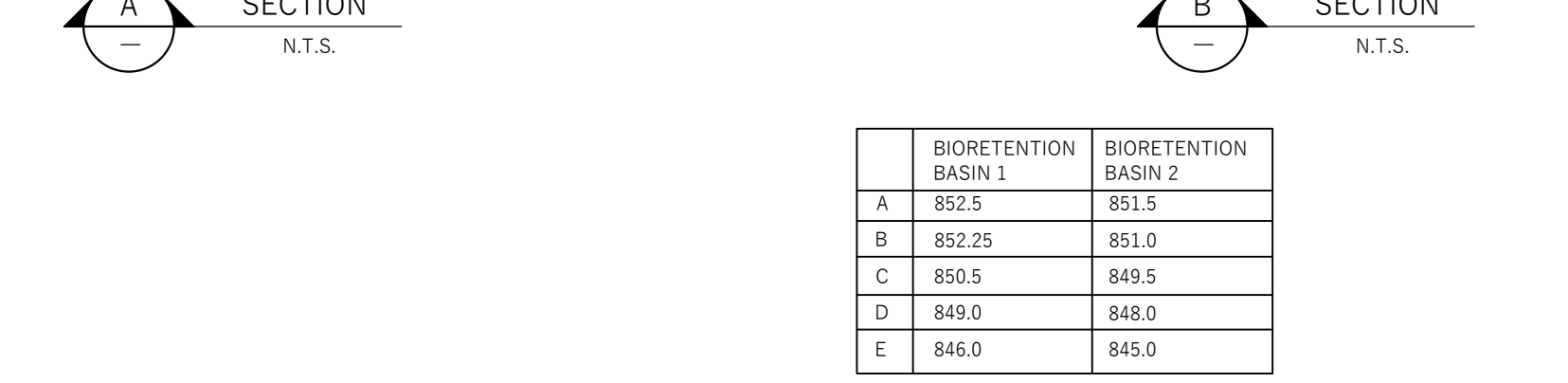
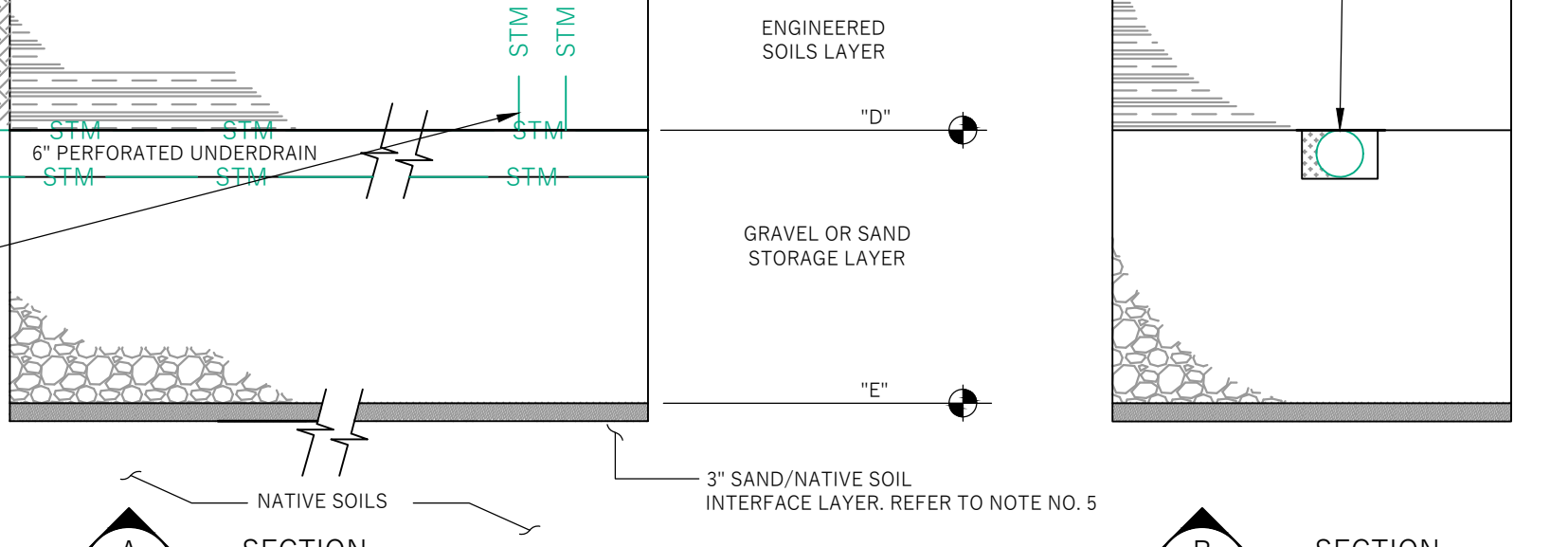
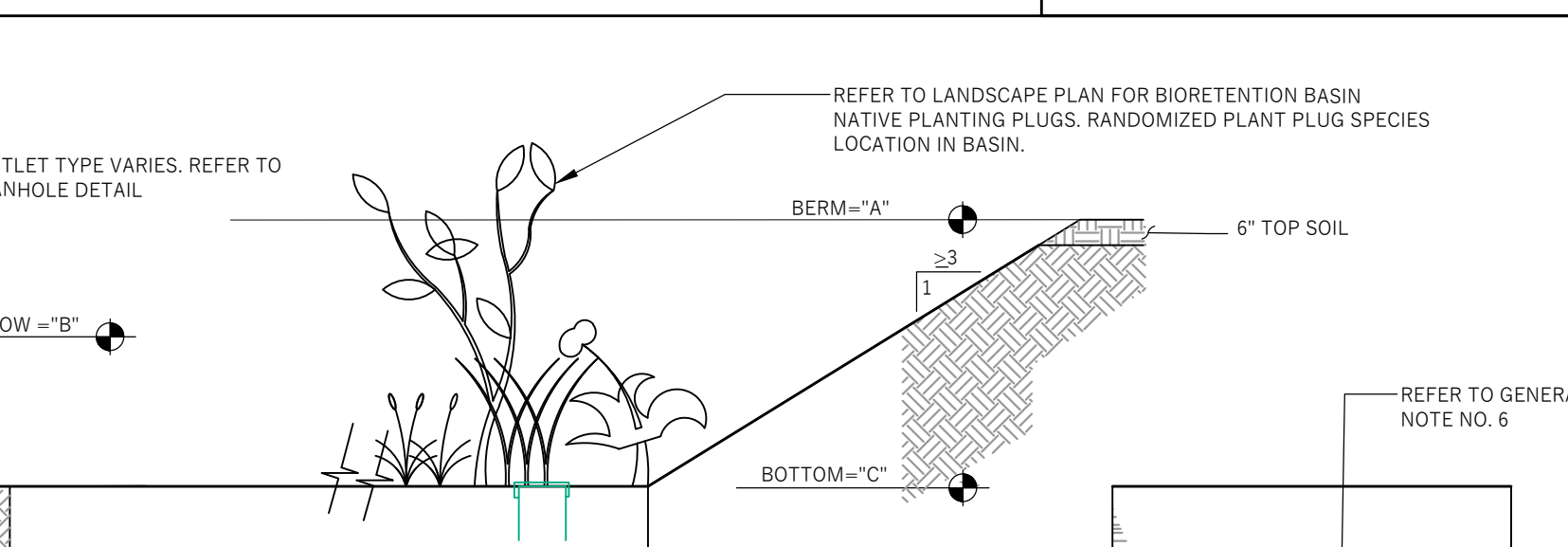
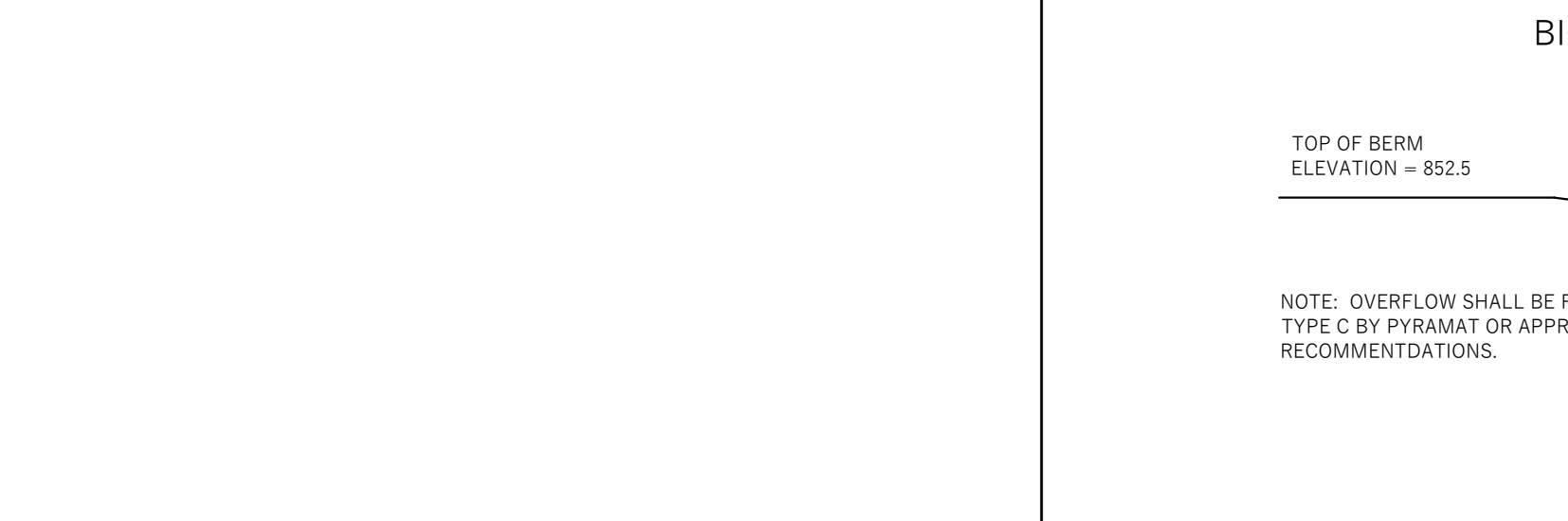
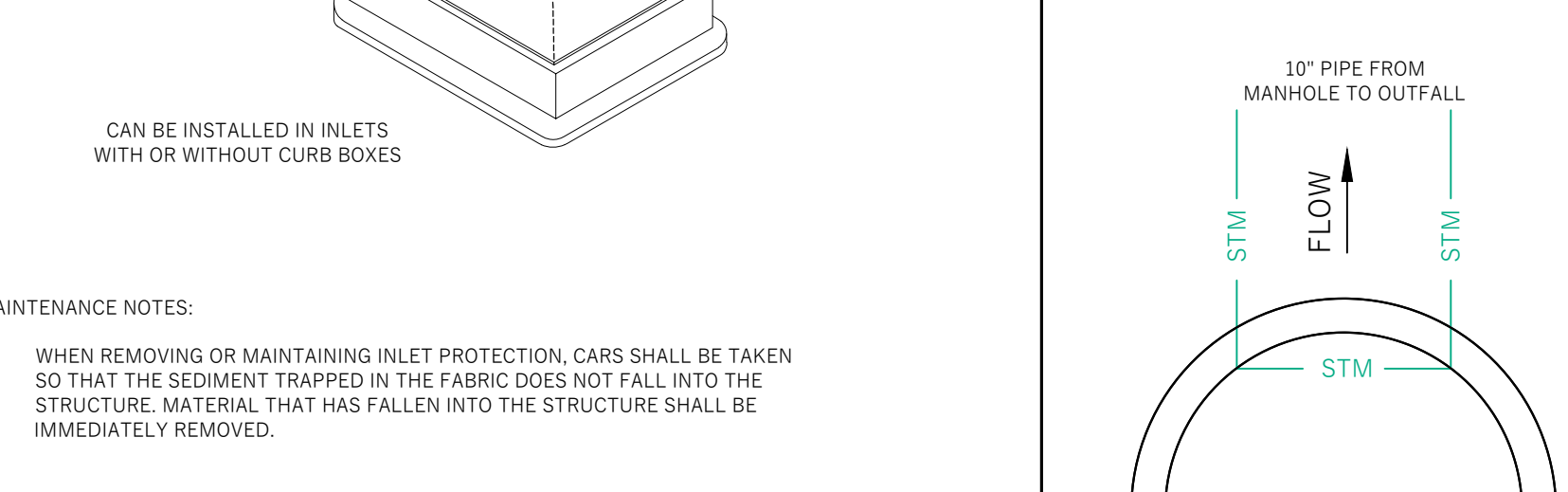
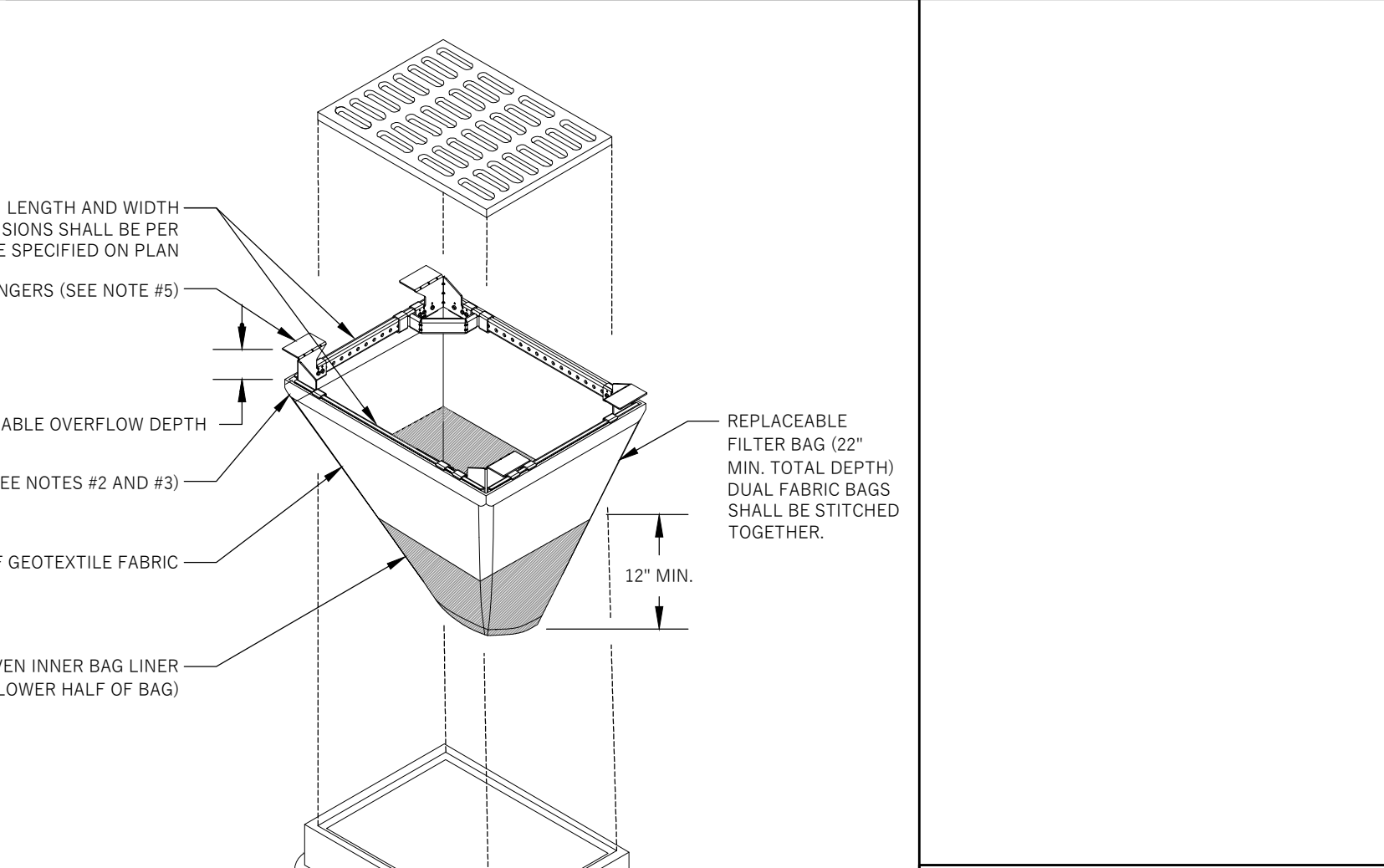
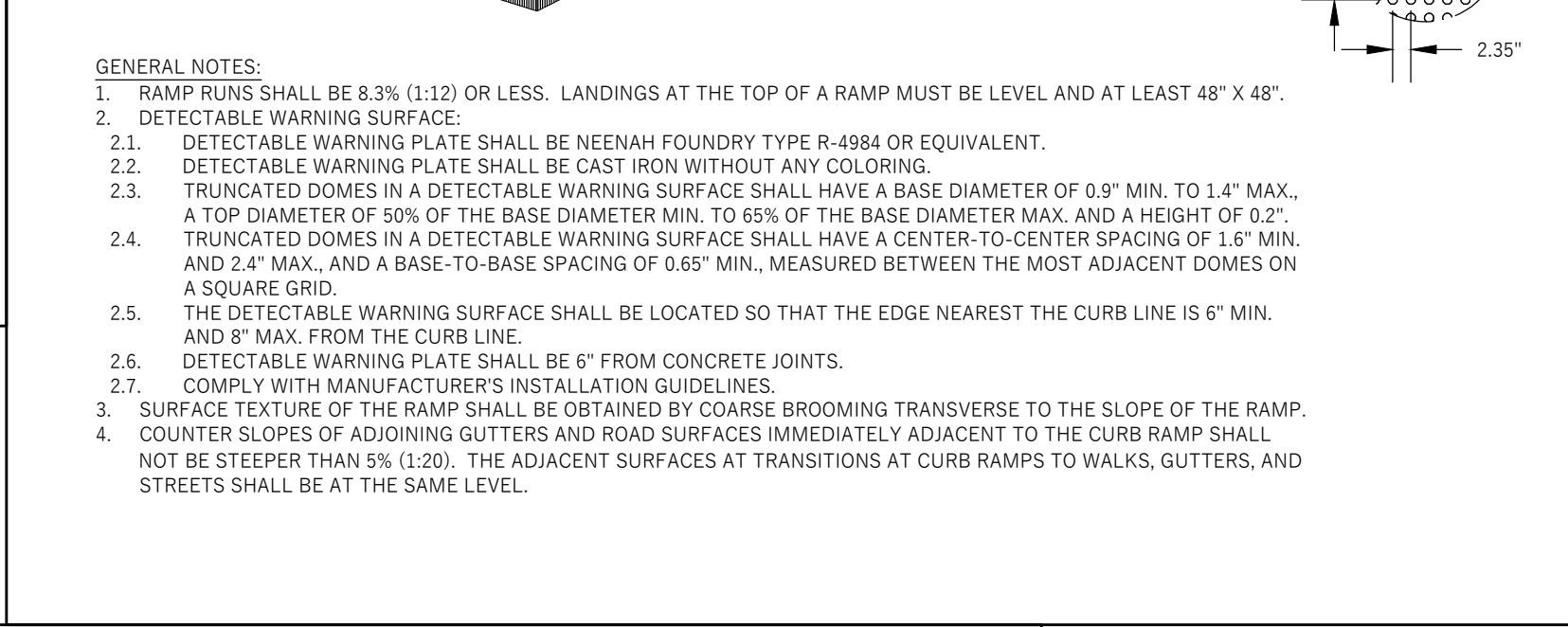
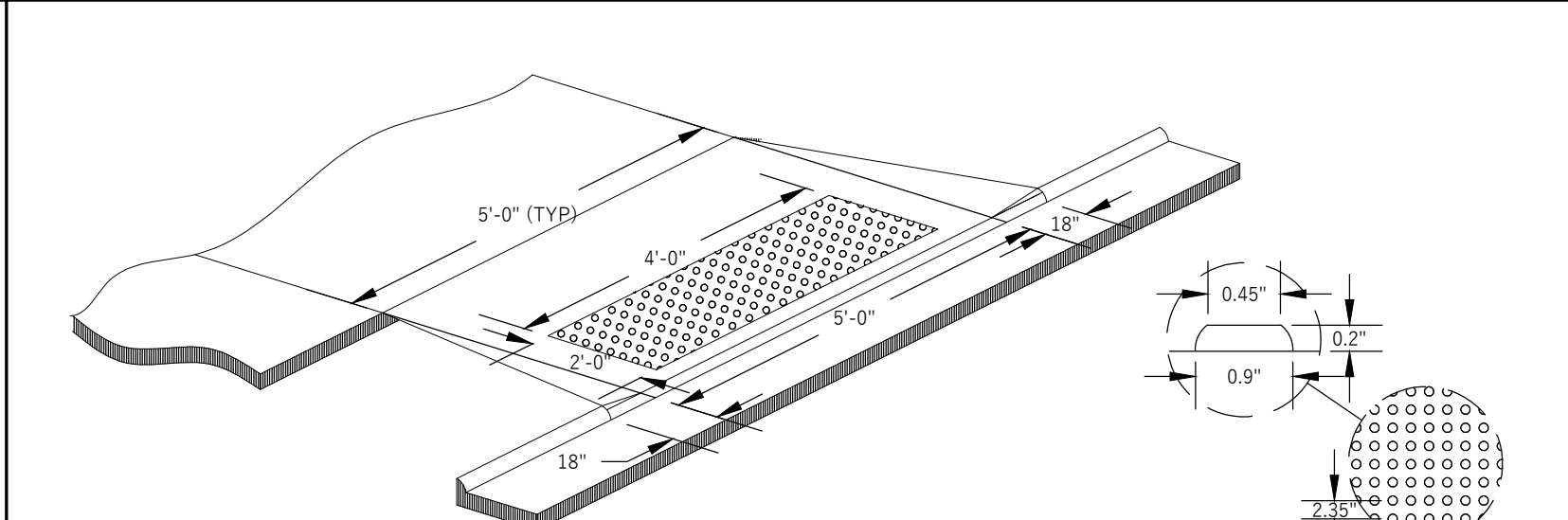
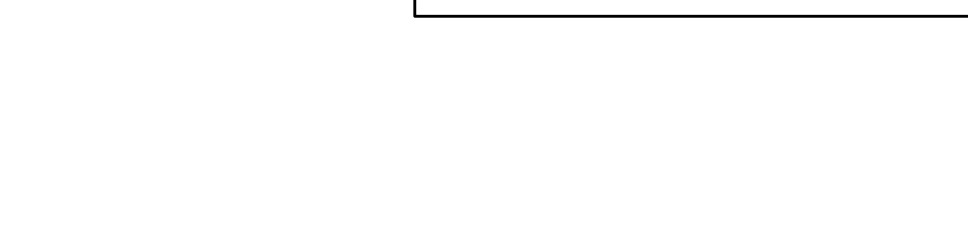
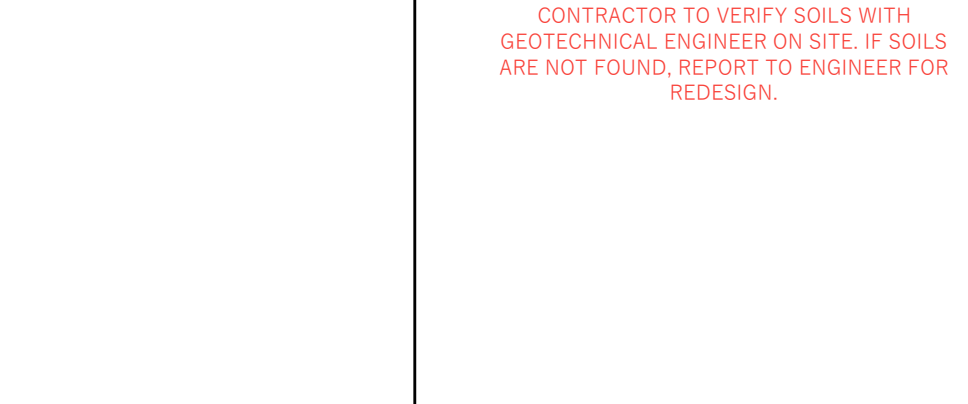
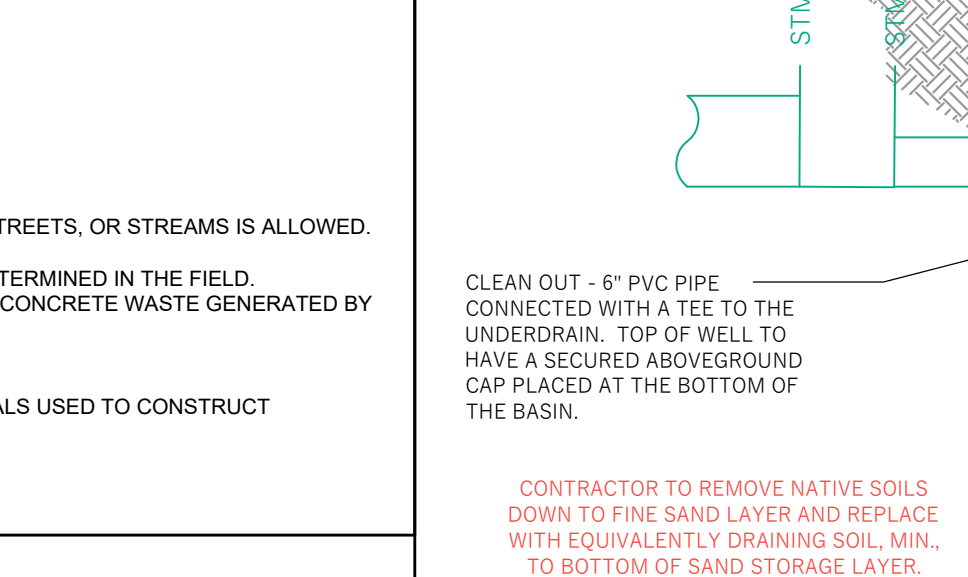
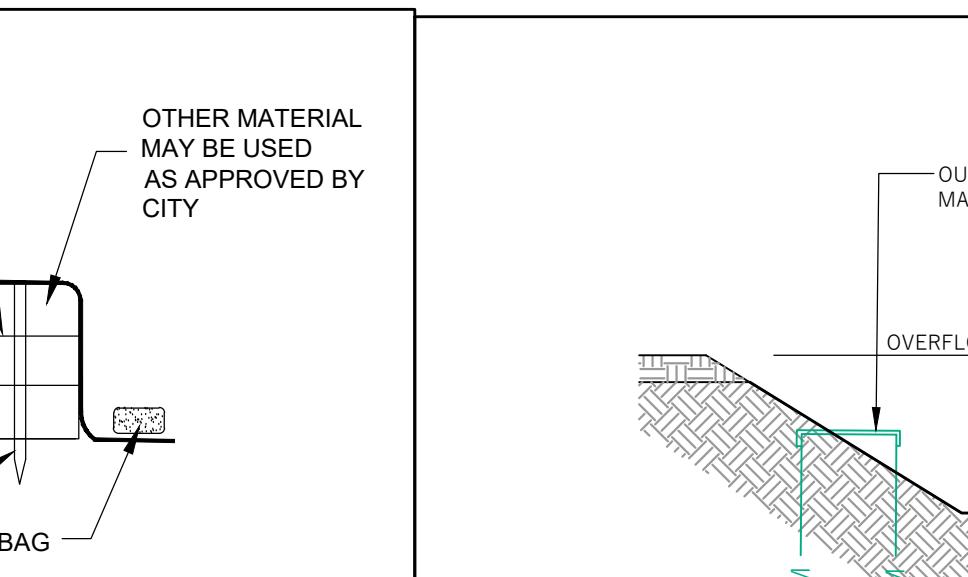
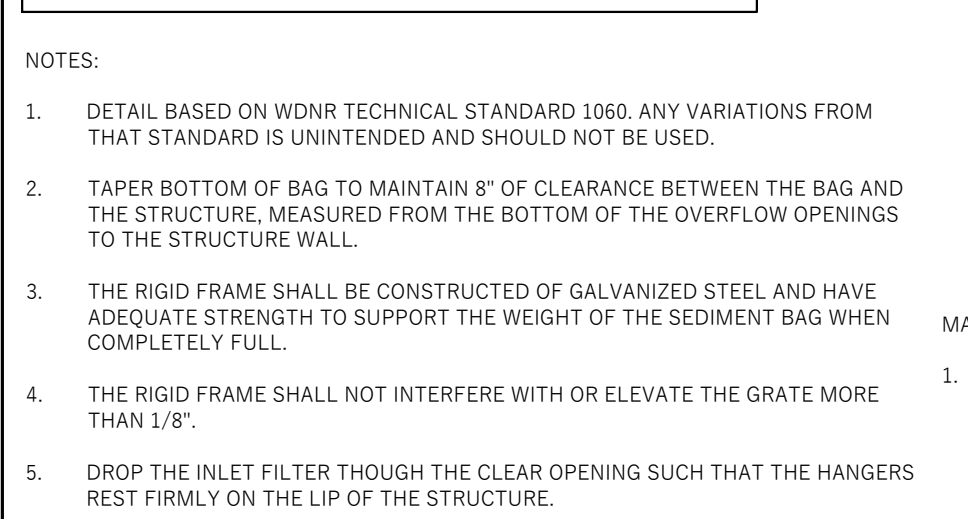
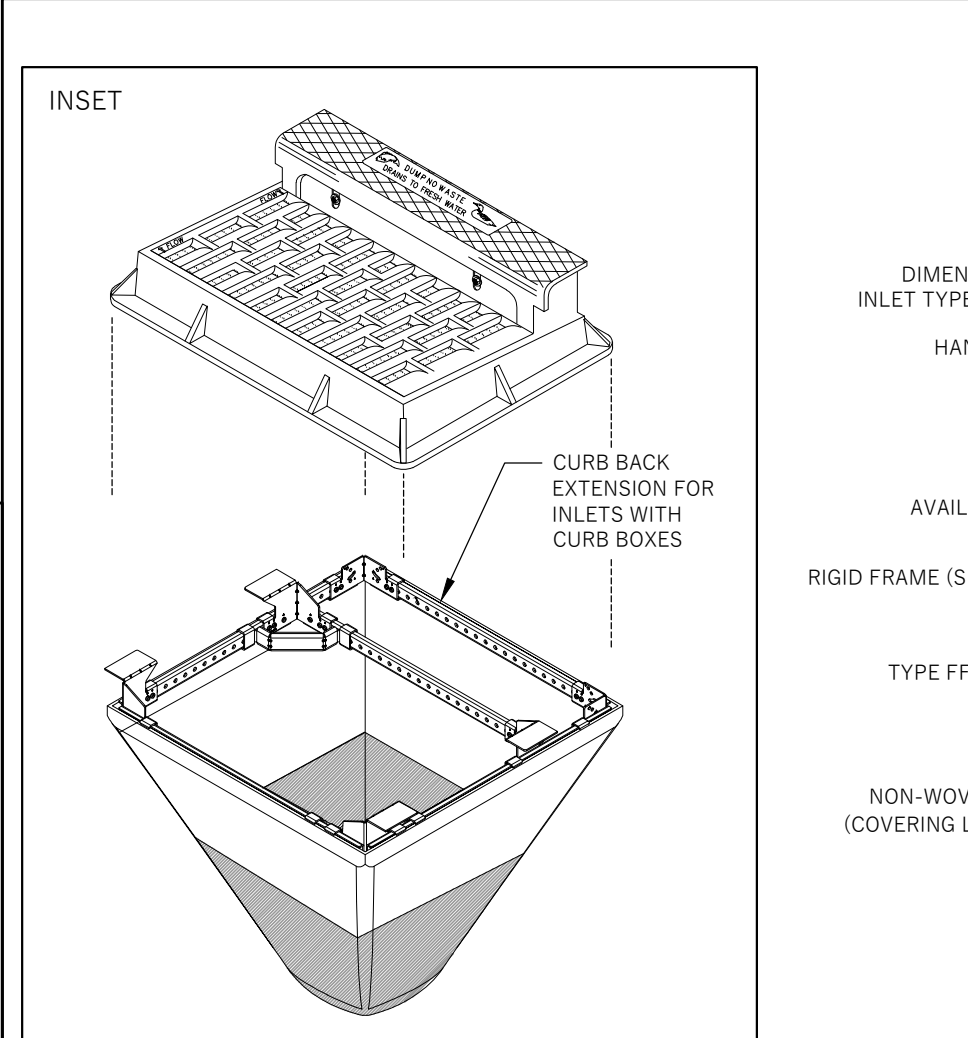
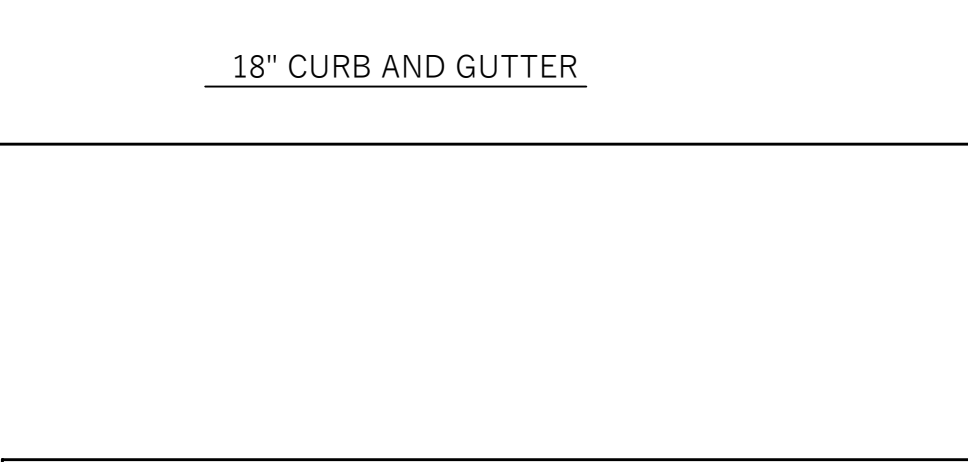
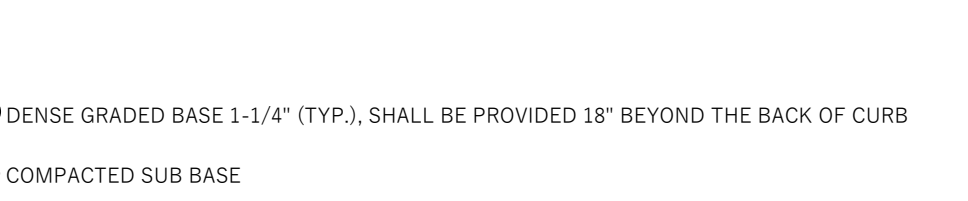
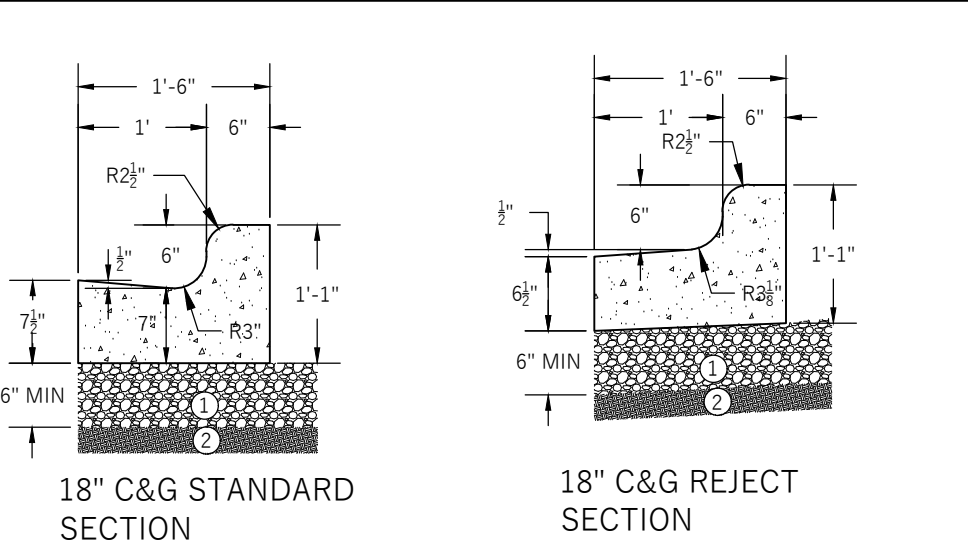
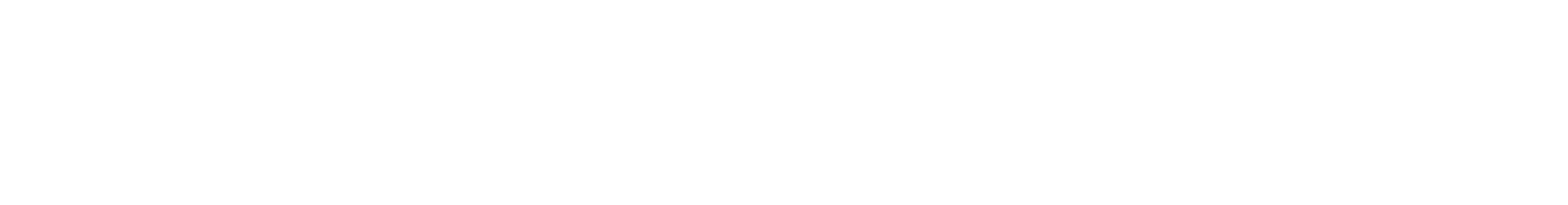
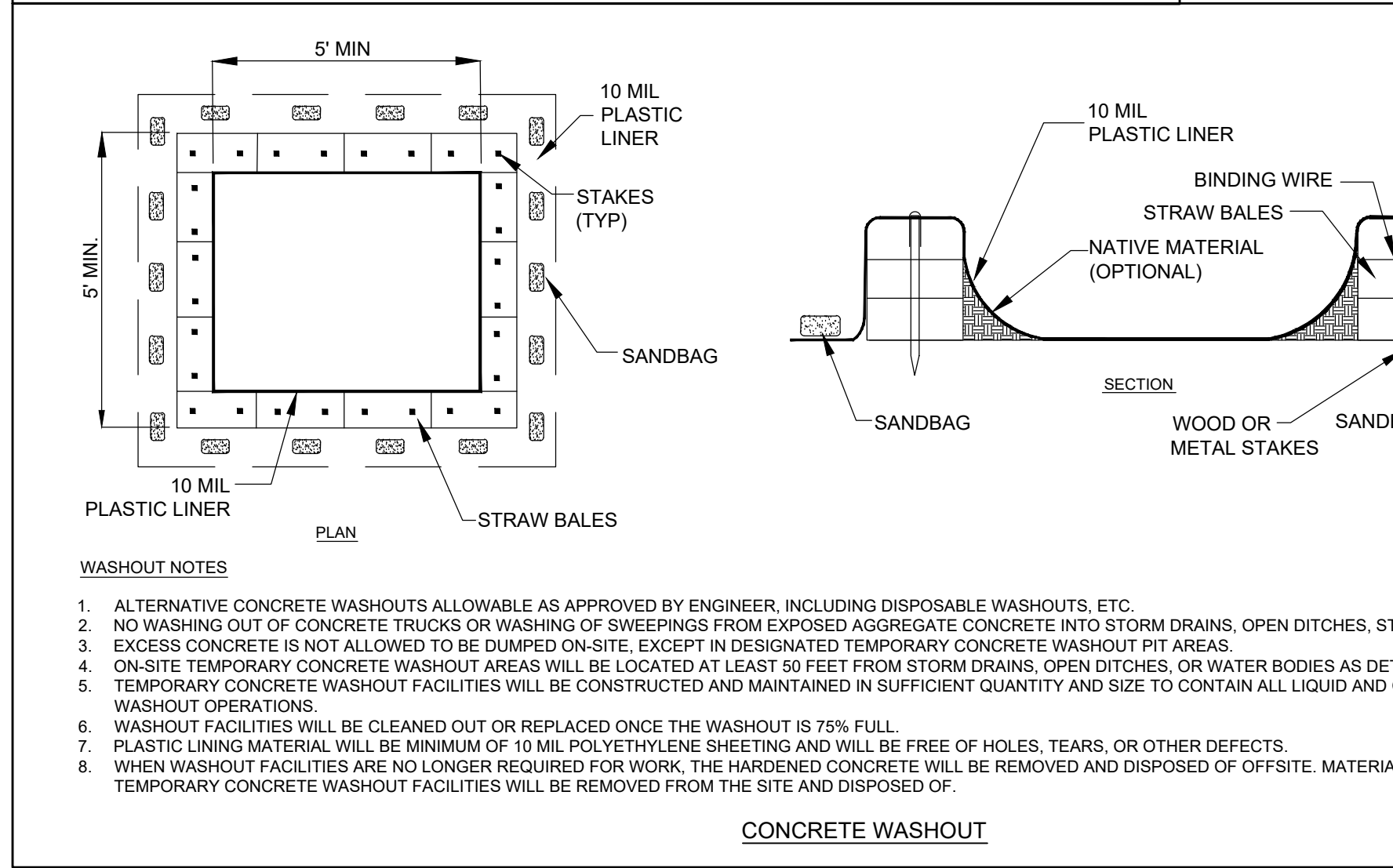
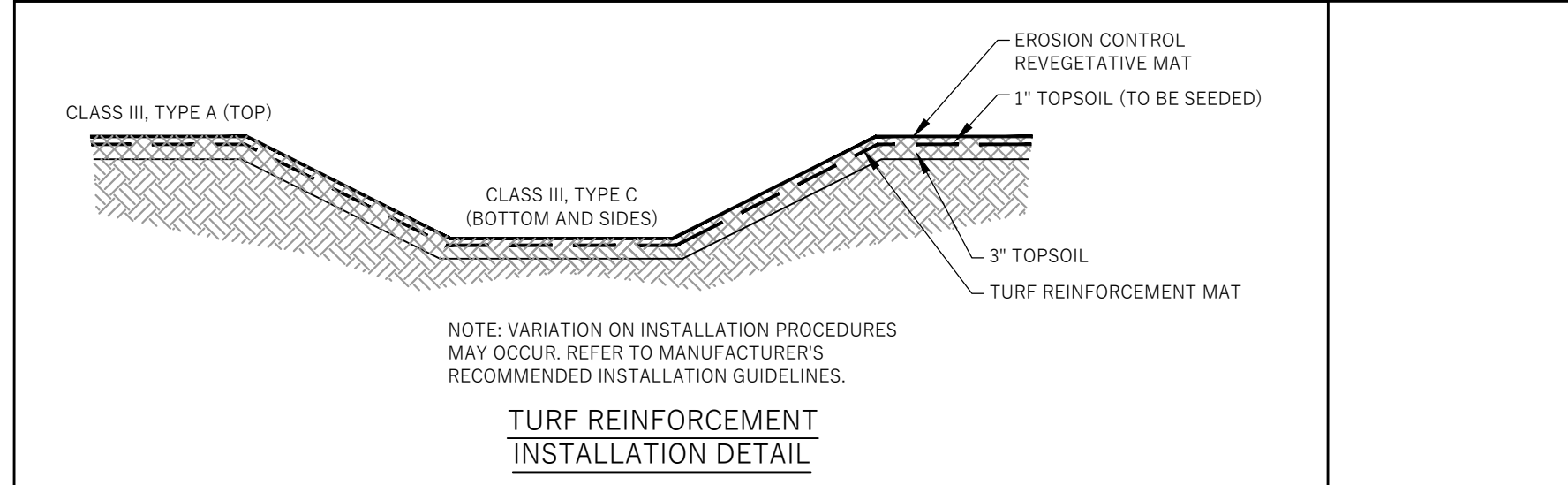
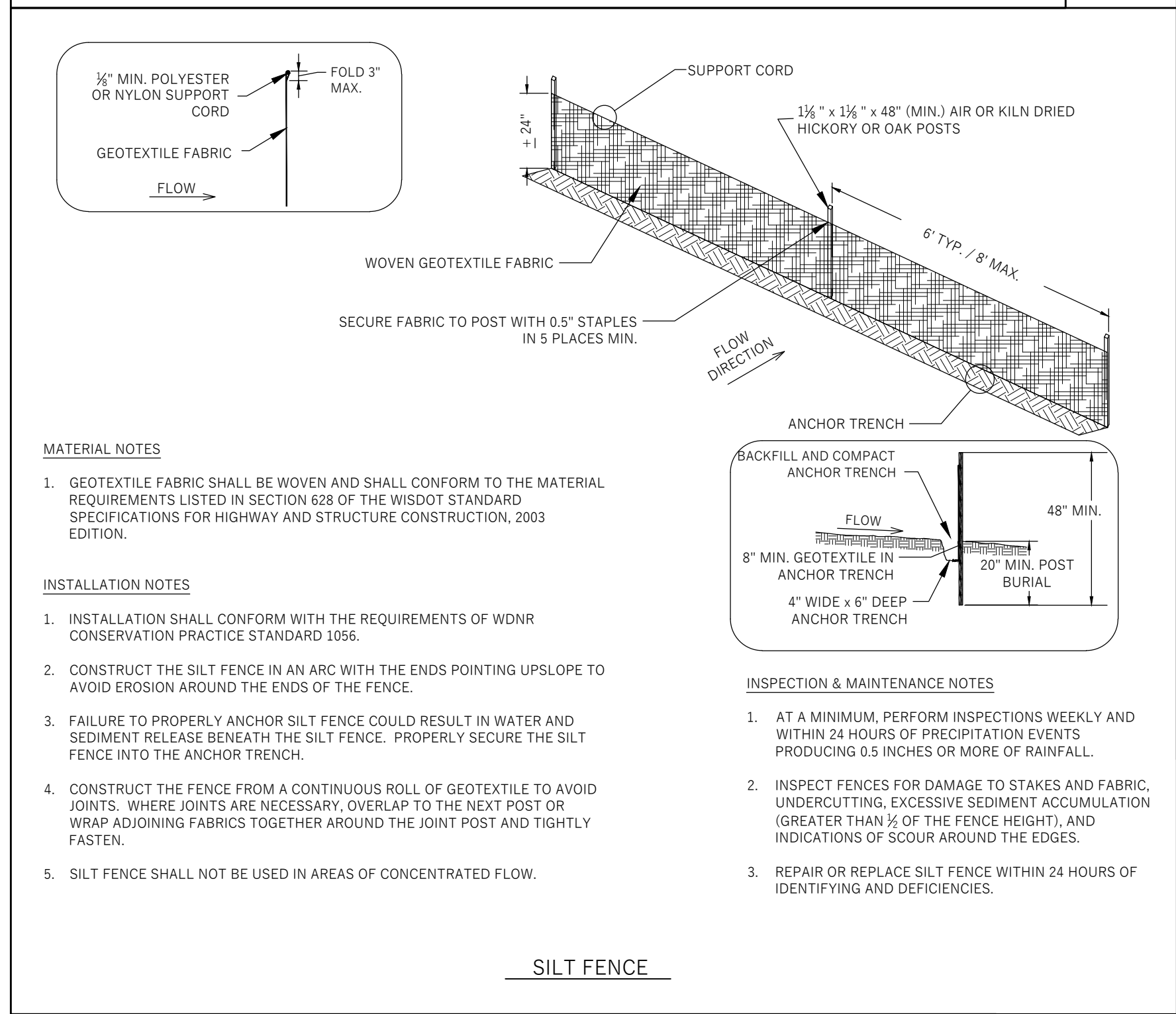
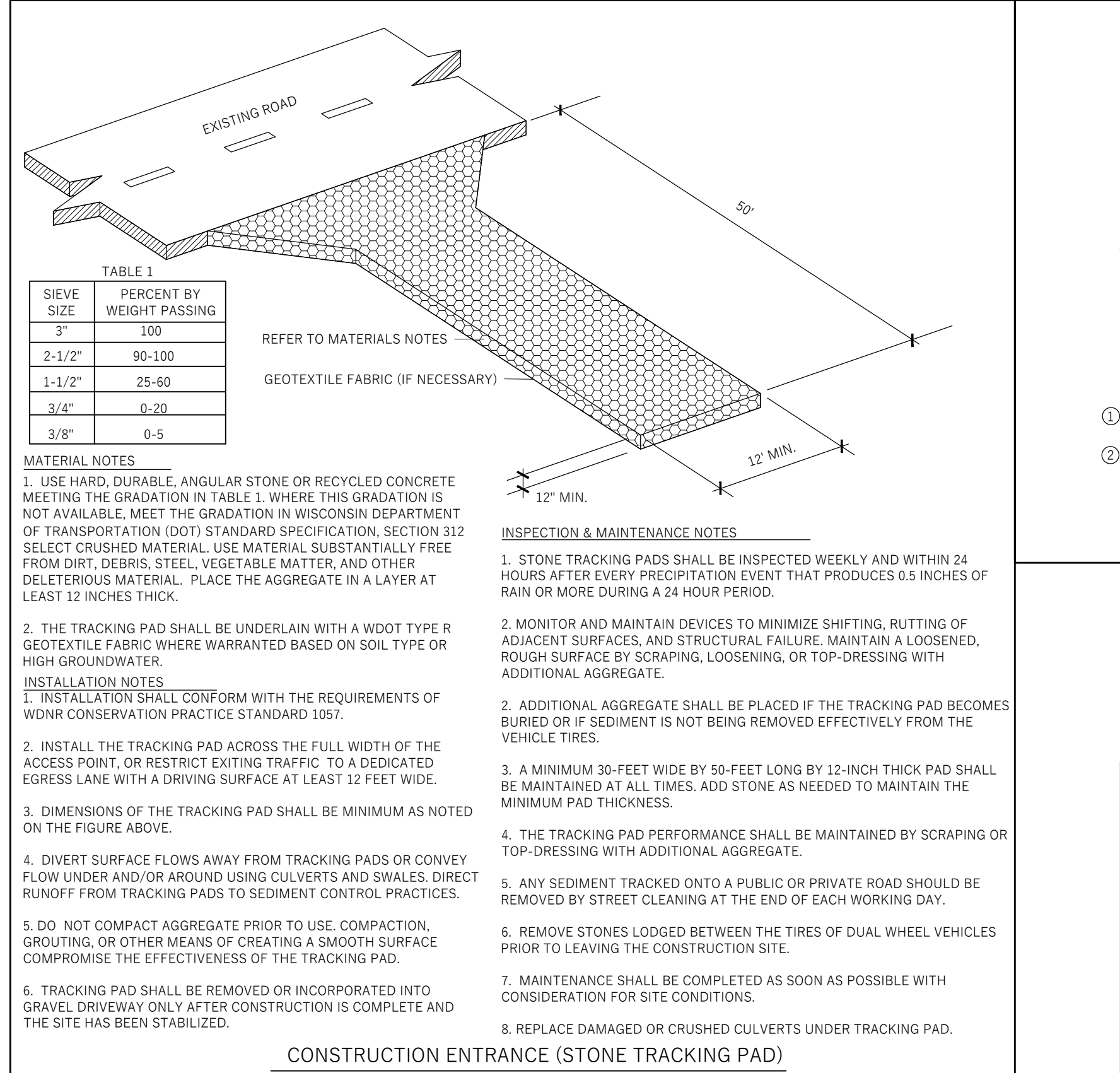
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DETAIL GRADING PLAN

Revisions:		
No.	Date:	Description:
Graphic Scale		
Wysar Number	23-1081	
Set Type	REVIEW	
Date Issued	03/20/2024	
Sheet Number	C201	











KEYNOTES

- 12 NEW STORMWATER PLUG PLANTINGS: 2,300 SF:  
BASE MATRIX, PLANTED AT 17" O.C. AND INTERMIXED:  
25% CAREX VULPINODES (FOX SEED) = 470 PLUGS  
25% CAREX HYSTERINHA (POPCUPINE SEED) = 470 PLUGS  
25% CHASMANTHRUM LATIFOLIUM (NORTHERN SEA OATS) = 470 PLUGS  
25% SCHEDACHRYM SCOPARIUM (LITTLE BLUESTEM) = 470 PLUGS

- PLANT IN BETWEEN BASE MATRIX IN DRIFTS OF AT LEAST 4:  
16 PLUGS ASCLEPIAS INCARNATA (SWAMP MILKWEED)  
16 PLUGS PIPERACANTHEMUM VIRGINIANUM (MOUNTAIN MINT)  
16 PLUGS MONARDA FISTULOSA (WILD BERGAMOT)  
16 PLUGS ECHINACEA PURPUREA (PURPLE CONEFLOWER)

- 10 NEW STORMWATER PLUG PLANTINGS: 1,890 SF:  
BASE MATRIX, PLANTED AT 17" O.C. AND INTERMIXED:  
25% CAREX VULPINODES (FOX SEED) = 470 PLUGS  
25% CAREX HYSTERINHA (POPCUPINE SEED) = 470 PLUGS  
25% CHASMANTHRUM LATIFOLIUM (NORTHERN SEA OATS) = 470 PLUGS  
25% SCHEDACHRYM SCOPARIUM (LITTLE BLUESTEM) = 470 PLUGS

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16 PLUGS MONARDA FISTULOSA (WILD BERGAMOT)  
16 PLUGS ECHINACEA PURPUREA (PURPLE CONEFLOWER)

- 02 ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE  
ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE  
THE ENTIRE WIDTH OF THE PAVED AND EXPOSED AT LEAST 5 FEET ON BOTH SIDES OF THE EXISTING CURB OR  
THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS  
THROUGH THE TREE PROTECTION ZONE.

- 03 ANY STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO  
WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE  
AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.

- 04 AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY  
AT 608-264-4116 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW  
PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

- 05 100 ANY ROW DISTURBED DURING CONSTRUCTION.

- 06 NEW STONE MULCH AREA, 3" THICK LOCAL WASHED STONE MULCH WITH WEED BARRIER  
FABRIC AND BLACK HEAVY-DUTY PLASTIC EDGING.

- 07 100 MOW AREA, AGRI-COL SHORTGRASS PRAIRIE NATIVE SEED MIX FOR MEDIUM SOILS OR APPROVED  
EQUIVALENT, PLANTED PER SEED SUPPLIER'S RECOMMENDATIONS WITH COVER CROP.

LANDSCAPE GENERAL NOTES

- TRUE NORTH MAY VARY FROM PROJECT NORTH.
- CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE  
RESPONSIBILITY OF THE CONTRACTOR.
- FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
- DIGGERS HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO LAND OBTURANCE.
- RETROFIT AND REPAIR ALL AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING BEDS SHALL RECEIVE 3" THICK LOCAL WASHED STONE MULCH WITH WEED BARRIER  
FABRIC AND BLACK HEAVY-DUTY PLASTIC EDGING.
- ALL INDIVIDUAL TREES SHALL RECEIVE 4" O.D. DIAMETER, 3" THICK SHREDDED BARK MULCH TREE TRUNK  
WITH SPACE OUT EDGE. MULCH SHALL BE PULLED AWAY FROM TRUNK OF TREE TO PREVENT ROT.
- IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS  
LIST, THE PLANTING PLANS SHALL GOVERN.
- SEE DETAILS 11A, 10B AND 16L10 FOR PLANTING DETAILS.
- PROVIDE STONE MULCH MOW STRIP ALONG PORTION OF BUILDING NOT RECEIVING PLANTING BEDS.  
SEE KEYNOTES FOR LOCATIONS.
- STREET TREE PLANTING SHALL ADHERE TO CITY OF MADISON STANDARD SPECIFICATIONS SECTION 209  
FOR PUBLIC WORKS CONSTRUCTION. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING,  
CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 264-4816 TO SCHEDULE INSPECTION AND APPROVAL  
OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS  
CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR  
WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR  
SHALL CONTACT MADISON CITY FORESTRY (608-4816) PRIOR TO OCCUPATION. CITY OF MADISON FORESTRY  
PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING.  
THIS CAN BE FOUND HERE: <https://www.dcmadison.com/sites/default/files/2022-02/Part%201.pdf>
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISRUPT, SCAR, OR IMPAIR  
THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL SPARE EQUIPMENT IN A MANNER AS TO NOT  
DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND  
LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE  
CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW  
GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 264-4816. PENALTIES AND  
REMEDATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION  
ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE  
STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED  
SPILLS OR DUMPING OF POISSONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET  
OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION  
ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE  
STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED  
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OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS  
PRIOR TO THE START OF CONSTRUCTION OR TWO PROJECT. ALL PRUNING SHALL FOLLOW THE  
AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- LANDSCAPE BEDS AND FRONT LAWN TO HAVE IRRIGATION SYSTEM, SYSTEM TO BE DESIGN-BUILD.

City of Madison Landscape Requirements

Total SF Developed Area (Paved Areas, Excluding Greenspace and Building)	19,386	sf
Site Zoned IL, Provide 1 landscape point per 100 sf Developed Area	194	Landscape Points Required

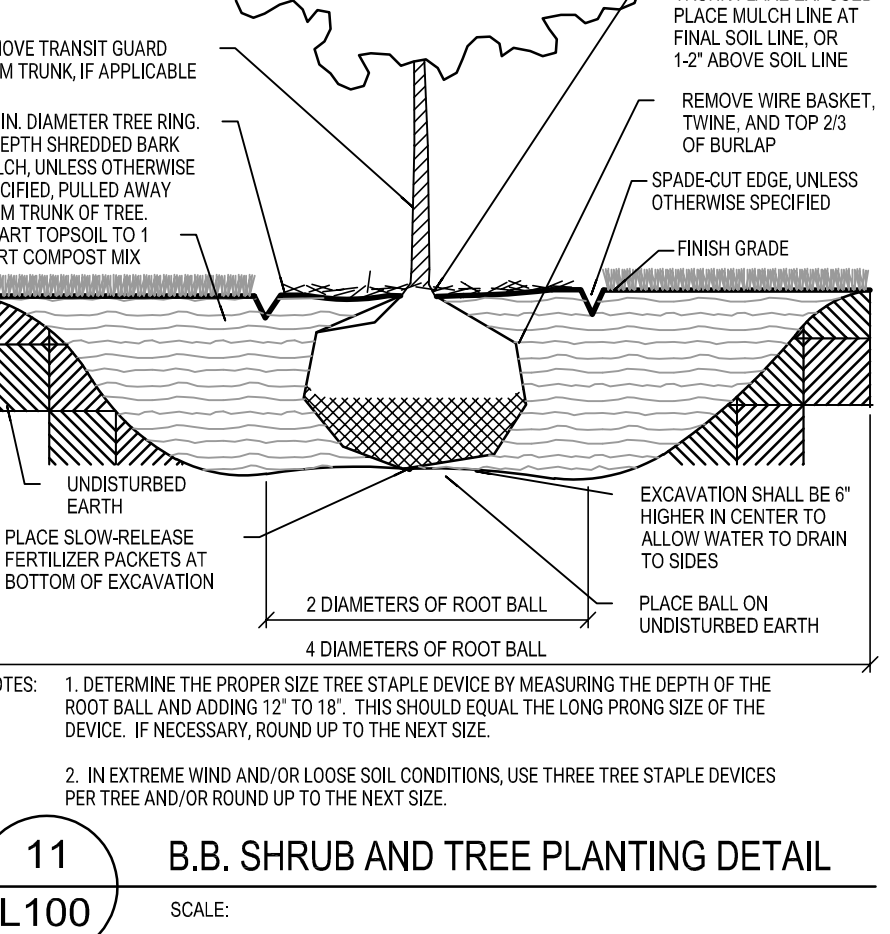
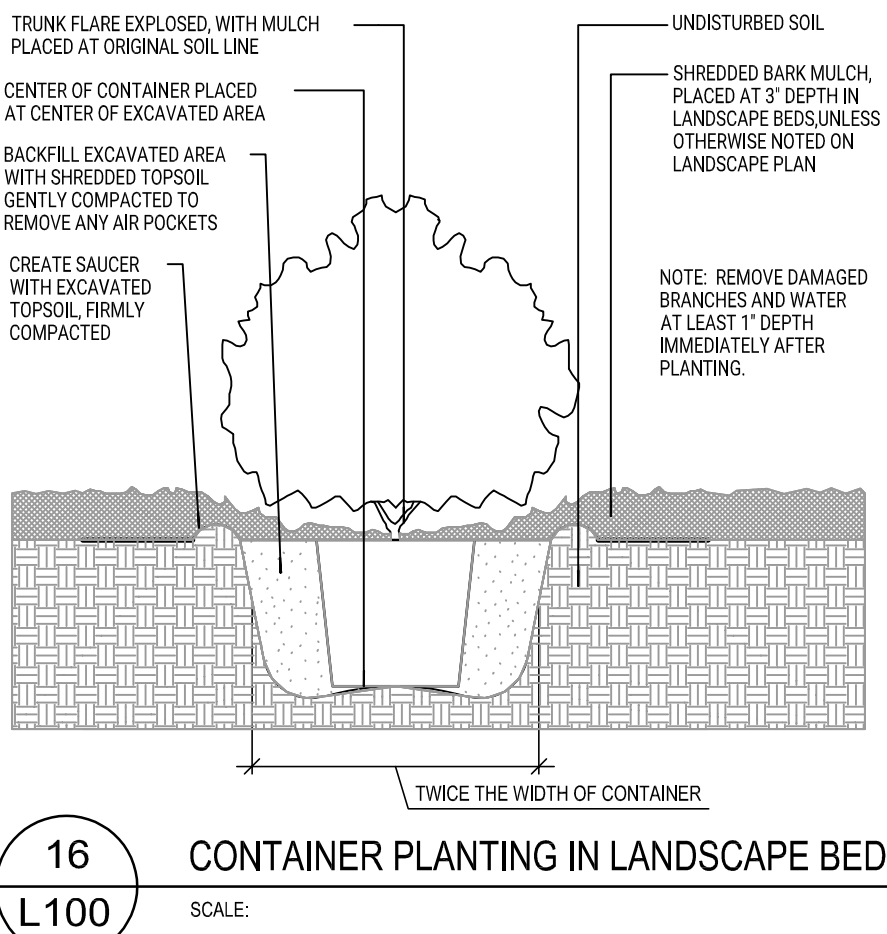
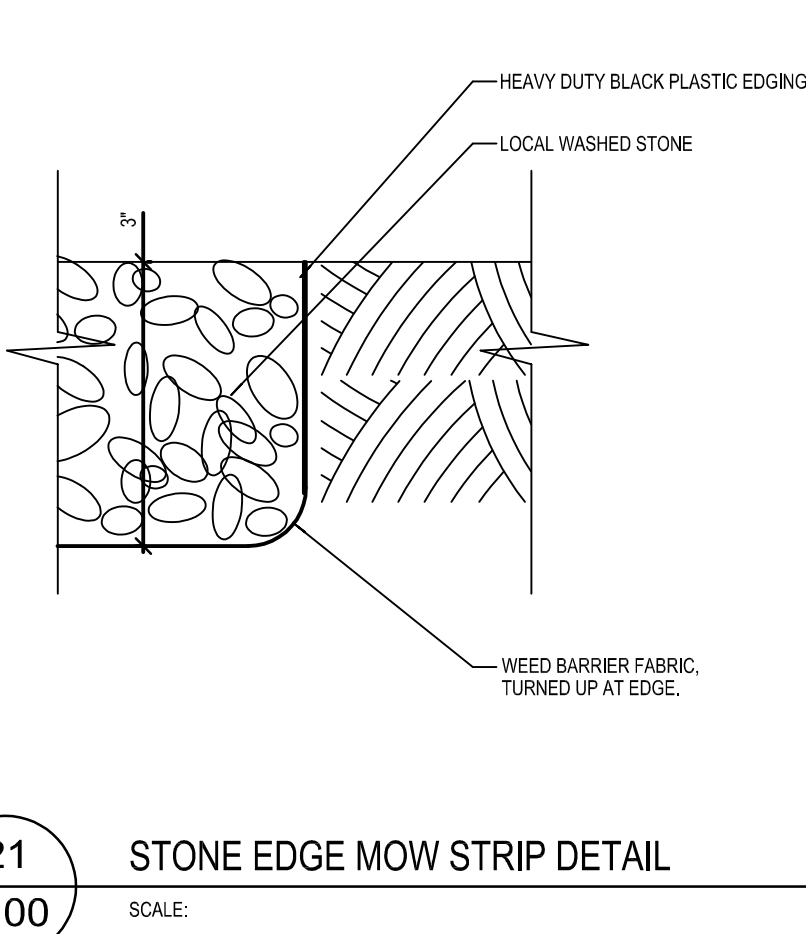
Plant Type / Element	Proposed Landscaping		
	Points	Quantity	Points Achieved
Overstory Deciduous Tree, 3" Cal. DBH	35	2	70
Ornamental Tree, 1.5" Cal.	15	10	150
Upright Evergreen Shrub, 3-4" H	10	10	100
Shrub, Deciduous, #3 Gallon, 12-24" H	3	71	213
Ornamental Grasses/Perennials, #1 Gallon	2	210	420
Total Number of Points Provided: 953			

LANDSCAPE PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	ROOT	MATURE SIZE	QTY
<b>TREES:</b>						
AL	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Serviceberry	2" Cal	B.B.	25' H x 20' W	7
MR	<i>Malus</i> 'Royal Raindrops'	Royal Raindrops Crabapple	1.5" Cal	B.B.	20' H x 15' W	3
SR	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2" Cal	B.B.	20' H x 20' W	1
TA	<i>Tilia americana</i> 'Sentry'	Sentry American Linden	3" Cal.	B.B.	50' H x 25' W	2
<b>SHRUBS:</b>						
AM	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Black Chokeberry	3" H	3 Gallon	3' H x 5' W	11
DL	<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	18-24" H	3 Gallon	3-4' H x 3-4' W	27
EG	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	3-4" High	B.B.	12' H x 3' W	9
FG	<i>Fothergilla gardenii</i> 'Beaver Creek'	Beaver Creek Dwarf Fothergilla	24" H	3 Gallon	3-4' H x 3-4' W	8
HK	<i>Hypericum kalmianum</i>	St. John's Wort	4-5 Gallon	3 Gallon	3-4' H x 3-4' W	15
JC	<i>Juniperus chinensis</i> 'Fairview'	Fairview Upright Juniper	4" High	B.B.	15' H x 6-7' W	1
MP	<i>Myrica pennsylvanica</i>	Northern Bayberry	18" High	3 Gallon	4-5' H x 4-5' W	10
<b>GRASSES:</b>						
DC	<i>Deschampsia cespitosa</i> 'Goldschleier'	Goldschleier Tufted Hair Grass	1 Gallon		24" H / 1	13
PV	<i>Panicum virgatum</i> 'Rotstrehlbusch'	Rotstrehlbusch Switch Grass	1 Gallon		4' H x 2' W	72
SH	<i>Sporobolus heterlepis</i>	Prairie Dropseed	1 Gallon		24" H x 24" W	59
<b>PERENNIALS:</b>						
AS	<i>Allium</i> 'Summer Beauty'	Summer Beauty Onion	4.5" Pot		18" H x 12" W	66

LANDSCAPE SYMBOL LEGEND	
	SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN SHRUB OR TREE
	DECIDUOUS SHRUB
	ORNAMENTAL GRASS
	PERENNIAL
	EXISTING VEGETATION
	EXISTING EVERGREEN

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.



- NOTES:
1. DETERMINE THE PROPER SIZE TREE STAPLE DEVICE BY MEASURING THE DEPTH OF THE ROOT BALL AND ADDING 12" TO 18". THIS SHOULD EQUAL THE LONG PRONG SIZE OF THE DEVICE. IF NECESSARY, ROUND UP TO THE NEXT SIZE.
  2. IN EXTREME WIND AND/OR LOOSE SOIL CONDITIONS, USE THREE TREE STAPLE DEVICES PER TREE AND/OR ROUND UP TO THE NEXT SIZE.





















Southwest Corner | Back

**2230 Pennsylvania Ave** | Madison Square Storage

PRELIMINARY - NOT FOR CONSTRUCTION

MADISON SQUARE  
STORAGE, LLC

PENNSYLVANIA AVENUE  
STORAGE BUILDING

2230 Pennsylvania Ave  
Madison, WI 53704

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76850

APPROVED BY  
AYA

REVIEWED BY  
BMA

DRAWN BY  
LMB

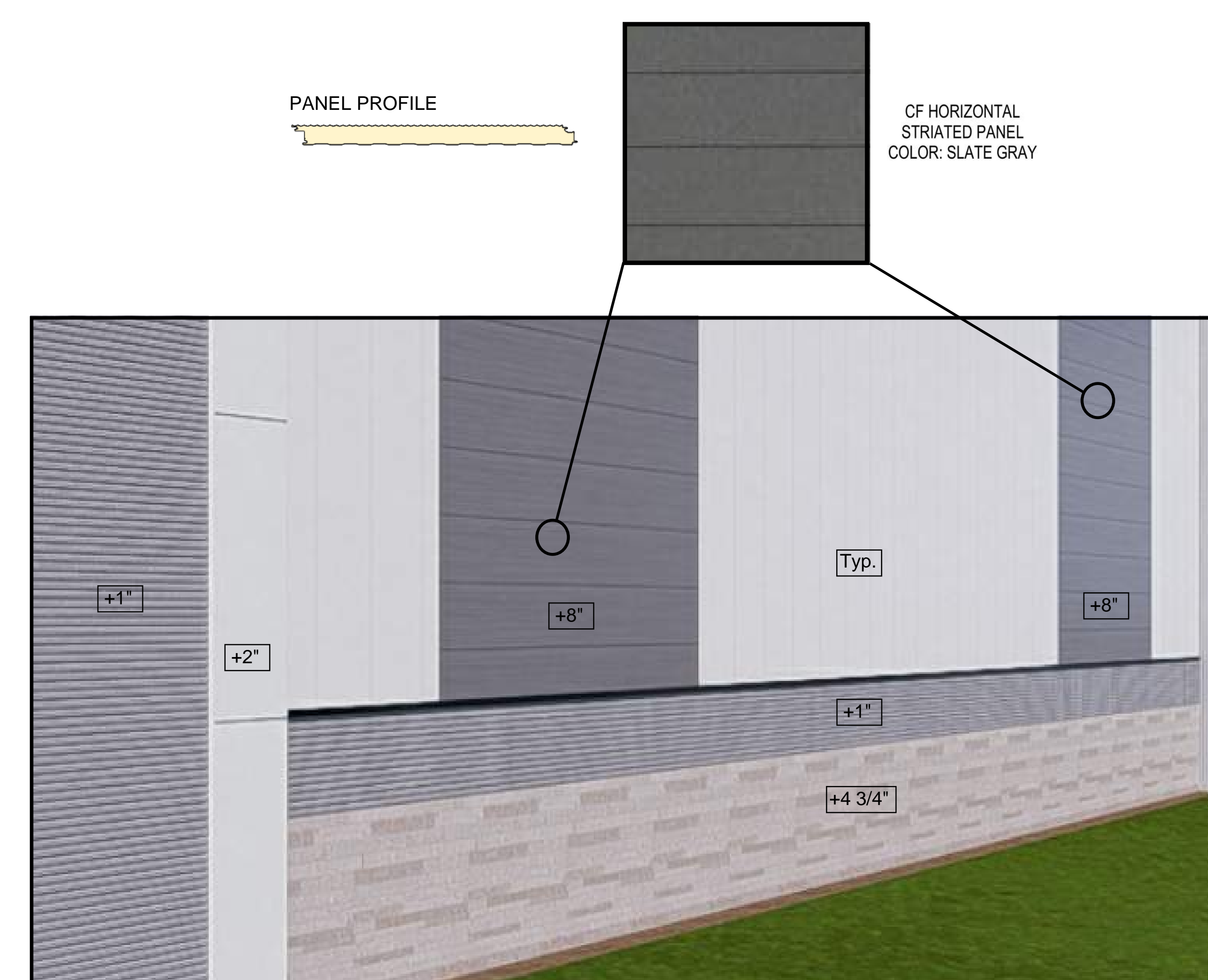
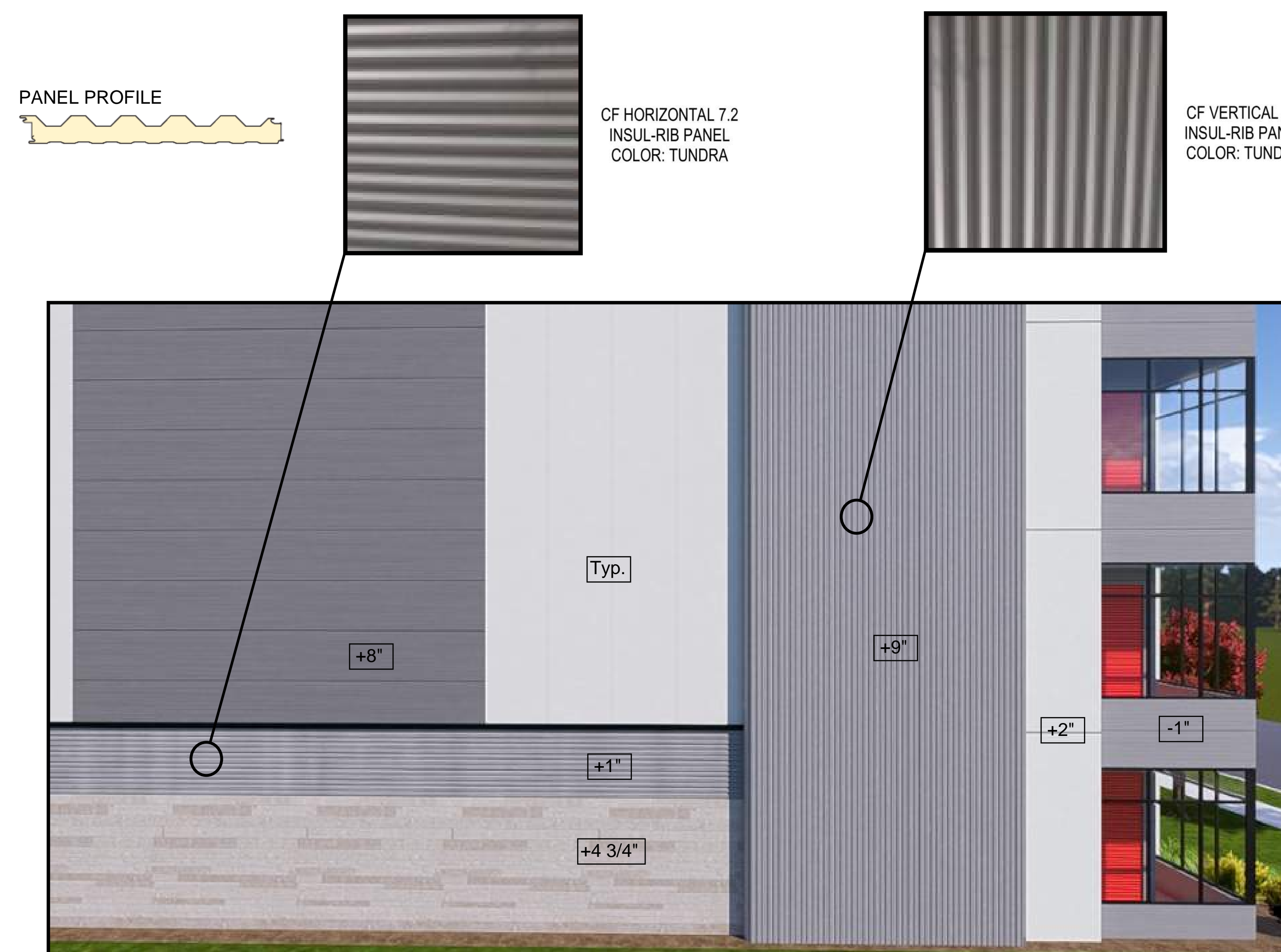
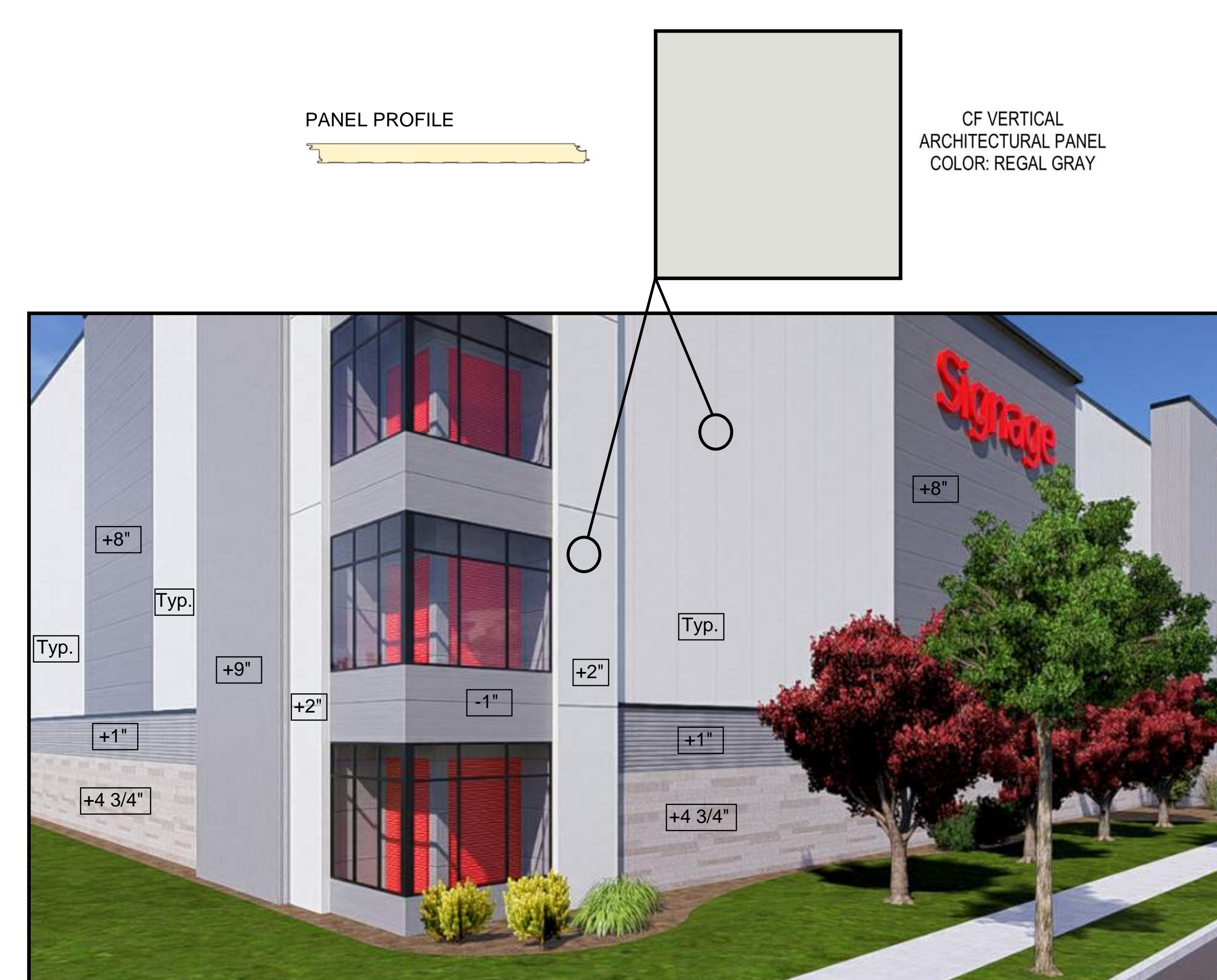
SOUTHWEST RENDERING

A004





NOTE: ELEVATION TAGS SHOWN HERE ARE IN  
REFERENCE TO FACE OF FACADE ARTICULATION  
FROM STANDARD 3" PANEL.

[illegible]

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76850

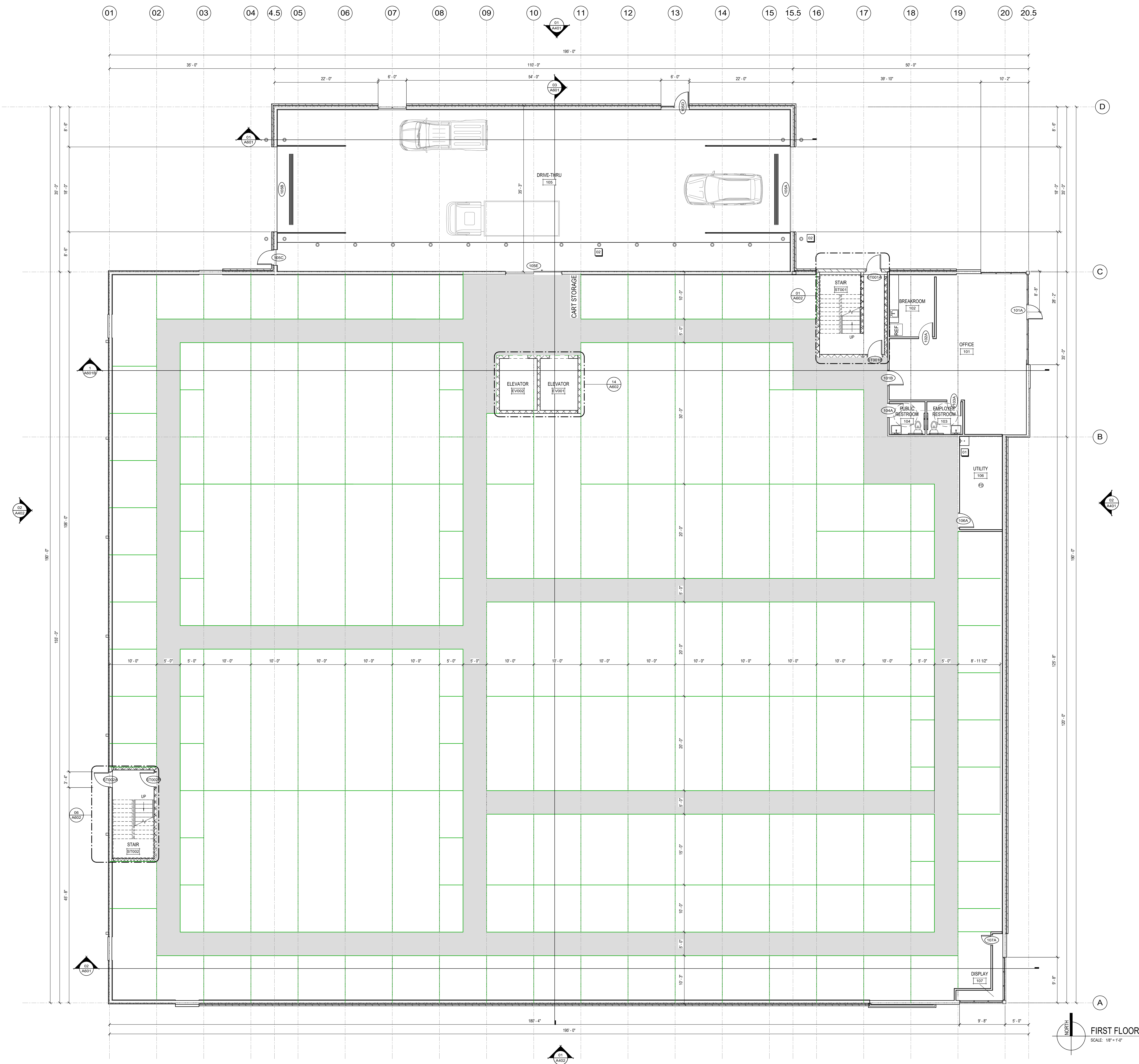
APPROVED BY  
AYA

REVIEWED BY  
BMA

DRAWN BY  
LMB

FIRST FLOOR PLAN

# A101



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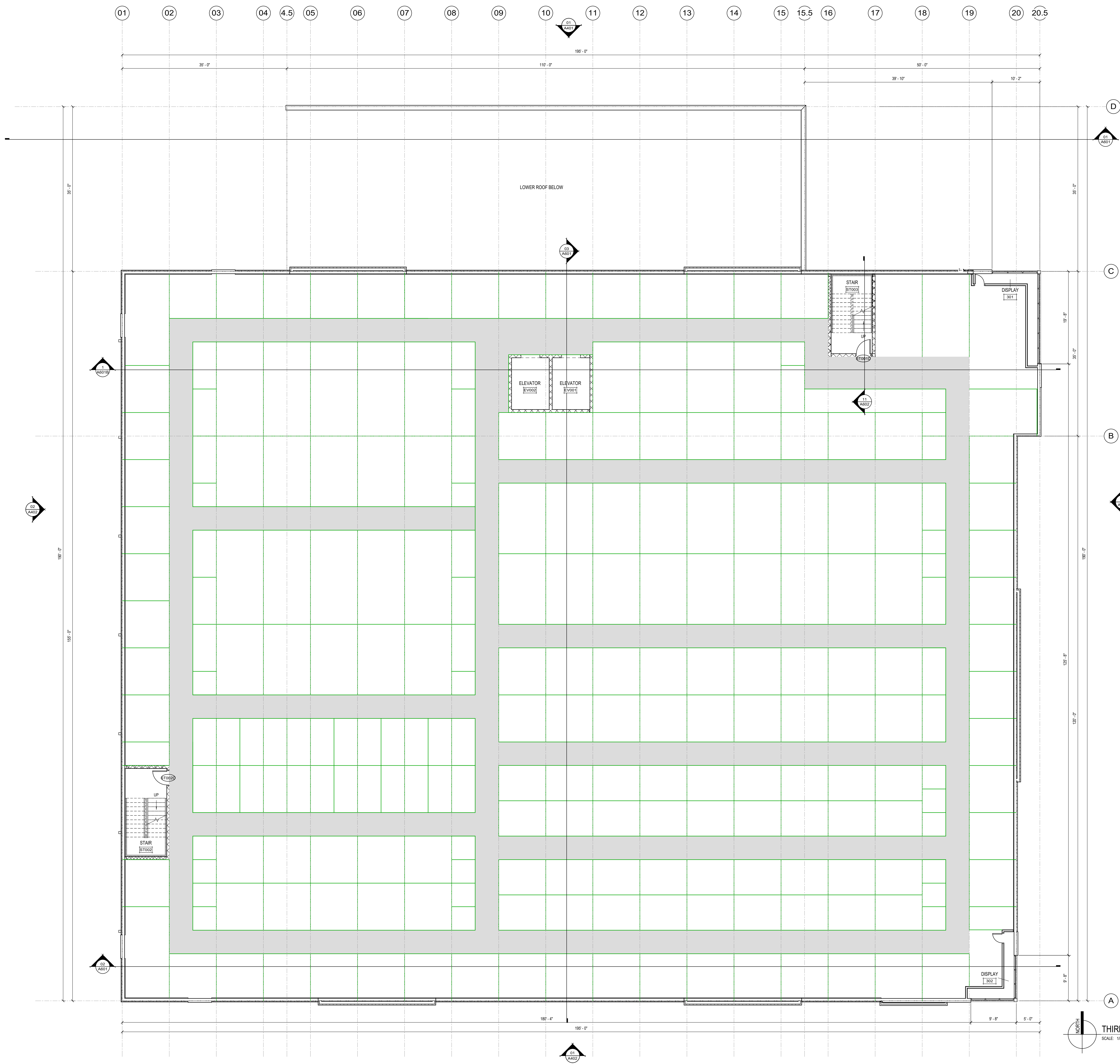
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### THIRD FLOOR PLAN

# A103



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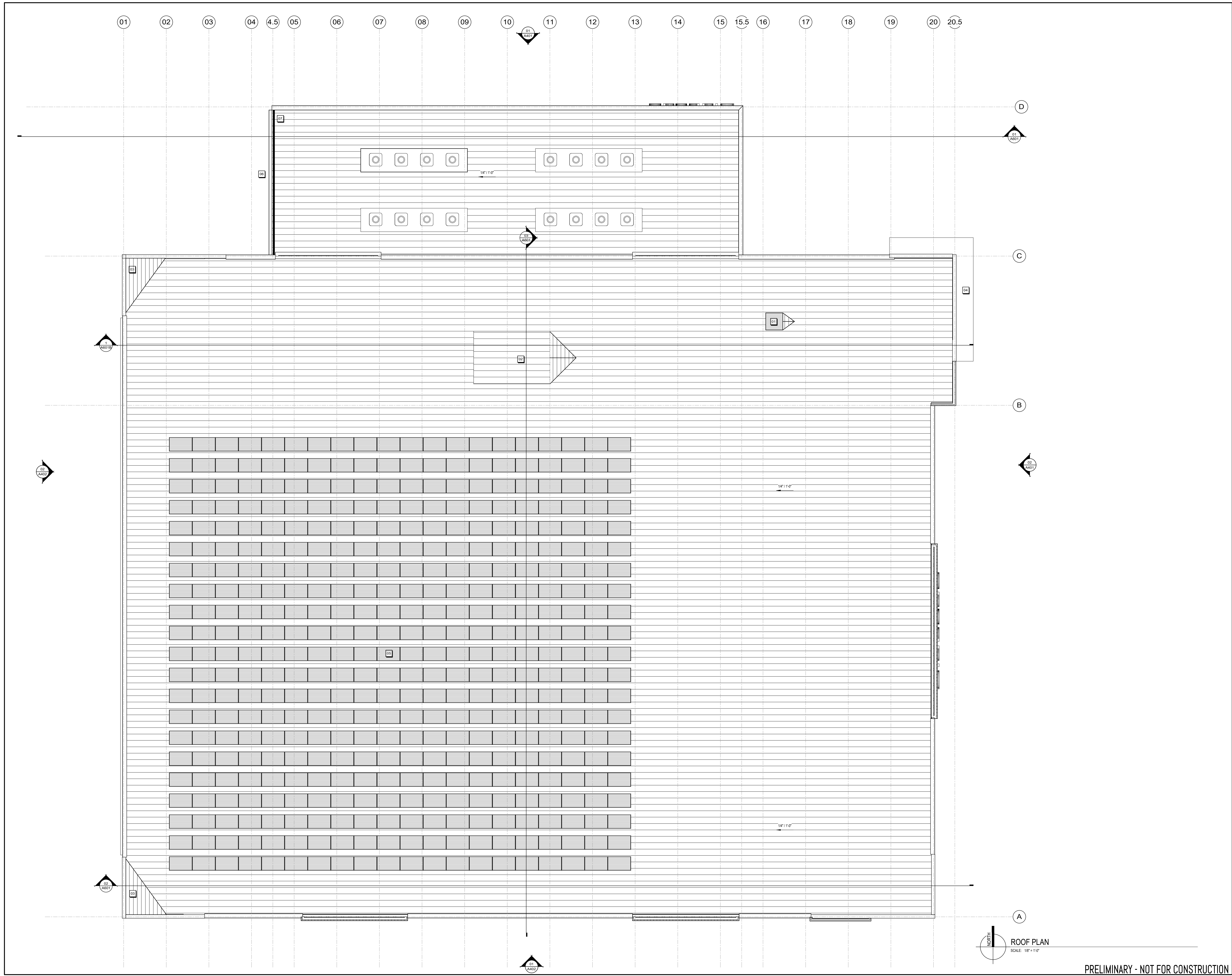
APPROVED BY  
AYA

REVIEWED BY  
BMA

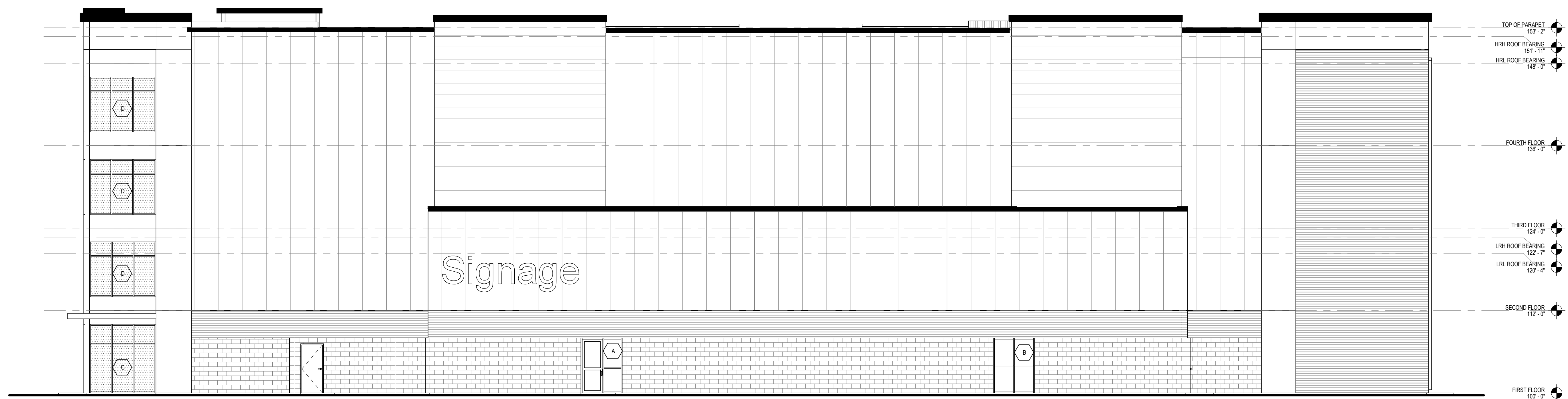
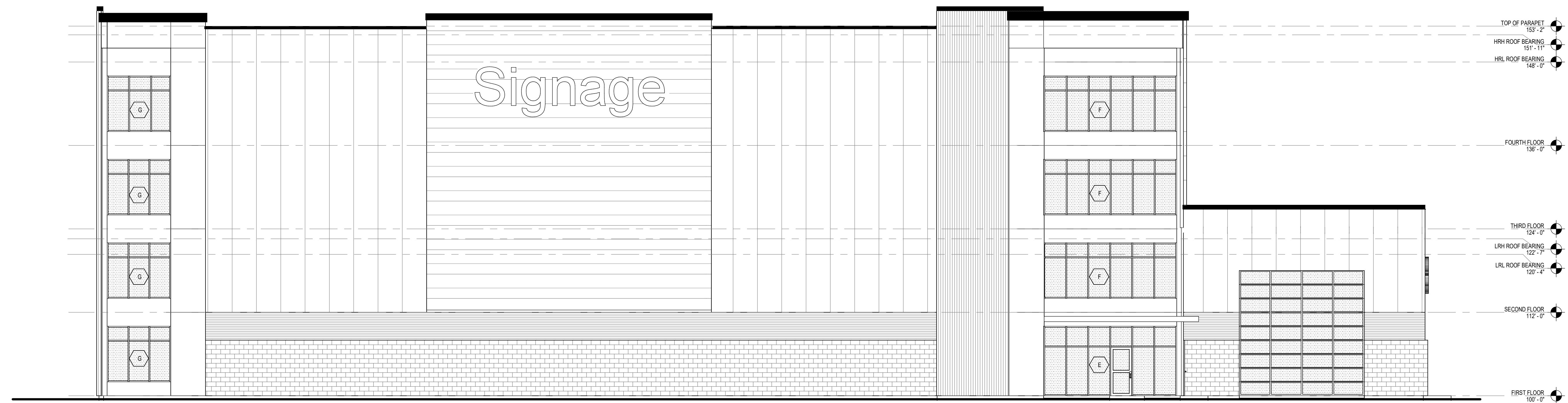
DRAWN BY  
LMB

ROOF PLAN

# A105





[illegible]

8/20/2024 11:15:38 AM

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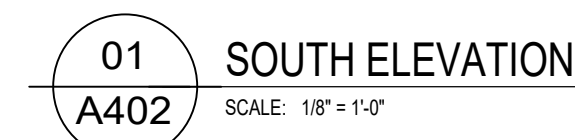
REVIEWED BY  
BMA

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## EXTERIOR ELEVATIONS

A401



[illegible]

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## EXTERIOR ELEVATIONS

A402

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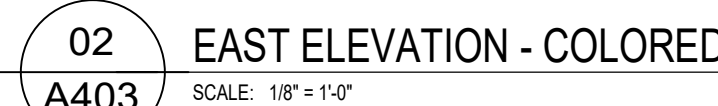


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### EXTERIOR ELEVATIONS - COLOR

# A403

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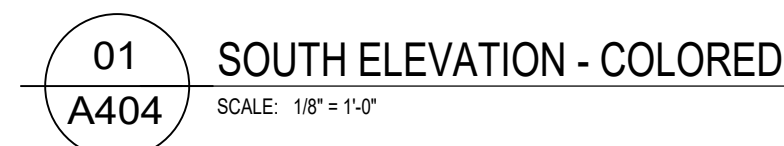
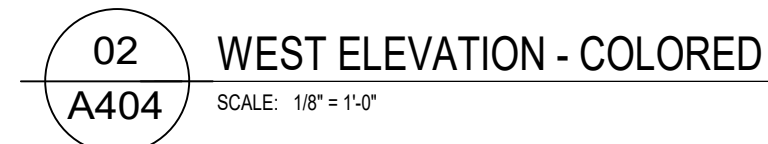


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EXTERIOR ELEVATIONS - COLOR

## A404

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