

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received _____ ☐ Initial Submittal
Paid _____ ☐ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 1601 & 1617 Sherman Ave

Title: 1617 Sherman Ave Apartments

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 03/01/2023

- ☒ New development ☐ Alteration to an existing or previously-approved development
☐ Informational ☐ Initial Approval ☒ Final Approval

3. Project Type

- ☐ Project in an Urban Design District
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☐ Planned Development (PD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☒ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
☐ Modifications of Height, Area, and Setback
☐ Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Darrin Jolas
Street address 121 Wacker Dr, Ste 400
Telephone 312-239-3536

Company Vermilion Acquisitions, LLC
City/State/Zip Chicago, IL 60601
Email darrin.jolas@vermiliondevelopment.com

Project contact person Same as above
Street address _____
Telephone _____

Company _____
City/State/Zip _____
Email _____

Property owner (if not applicant) Tenney Place Development, LLC

Street address 639 S. Main St ste 103
Telephone _____

City/State/Zip DeForest, WI 53532
Email _____

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☒ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☒ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☒ PD text and Letter of Intent (if applicable)
- ☒ Samples of the exterior building materials
- ☐ Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials☒ **Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☒ **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☒ **Development Plans** (Refer to checklist on Page 4 for plan details)☒ **Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)☒ **Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☒ **Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

- Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Informational UDC meeting on 10/26/2022.
- The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Darrin Jolas Relationship to property Developer

Authorizing signature of property owner Mikel J. Schasfer Date 1/18/2023

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- ☐ Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- ☒ Planned Multi-Use Site or Residential Building Complex



January 17, 2023

To: City of Madison Common Council
City of Madison Plan Commission
City of Madison Urban Design Commission
Madison Municipal Building
215 Martin Luther King Jr. Blvd
Madison, Wisconsin 53703
Via email only: pcapplications@cityofmadison.com
udcapplications@cityofmadison.com

From: Darrin Jolas, Vermilion Acquisitions, LLC
Doug Hursh, Potter Lawson, Inc.

Re: Letter of Intent for a Proposed Residential Development
Zoning Change for 1601 & 1617 West Sherman Ave

The following is submitted together with the plans, Land Use Application and Zoning Text, for the rezoning of the site from Suburban Employment to Transitional Residential – Urban 2 (TR-U2).

Project Team

Developer: Vermilion Development LLC
Owner: Tenney Place Development LLC
Architect: Potter Lawson, Inc.
Civil Engineer: Wyse Engineering
Landscape Architect: Figure Ground Landscaping
Arborist: Bruce Allison, Allison Tree LLC
Traffic Engineer: TADI, Inc.
Planning Consultant: Urban Assets
Architectural Preservation Consultant: Isthmus Architecture, Inc.

Overall Project Data (Three Development Lot Data Only)

Current Zoning District: Suburban Employment
Rezoning from SE to Transitional Residential – Urban 2 (TR-U2) to allow for multifamily
Demolition Permit Required
Aldermanic District 12: Prior Alder was Syed Abbas who left midway through project development
Alder Brian Benford (District 6) has provided support and guidance in Aldermanic absence
Total Building Area: 437,093 square feet
Total Units: 331
Efficiency = 78, 1 BR = 165, 2 BR = 84, 3 BR = 4
Total Parking: 400
Parking Ratio: 1.21
Enclosed Parking: 364
Surface Parking: 36

EV Vehicle Ready = 41, EV Vehicle Installed = 10
Height: 1 - 5-stories (57'6" as measured from the first-floor level)
Total Bike Stalls: 365
Bike Stalls covered: 329
Bike Stalls Surface: 36
Total Area: 306,464 sq.ft., 7.0354 ac
Density (dwelling units per acre) = 47
Usable Open Space: 73,000 sq.ft.
Impervious Area: 156,799 sq.ft.

Overall Project Overview and Design Narrative

Located at 1601 and 1617 Sherman Avenue, the project site is the current location of an office building and surface parking lot that is leased by My Choice Wisconsin. The existing building was analyzed for historic significance and adaptive reuse as a residential building and was deemed incompatible with residential development on the basis of architectural significance, column-placement/structural systems, mechanical/building systems, improper entrance, and site drainage issues impacting the neighboring properties that led to an unfavorable cost-benefit analysis on the part of the development team. The "Emerson East-Eken Park-Yahara Neighborhood Plan" was used as the guiding document for the proposed demolition of the existing structure, residential use, project density, and inclusion of neighborhood connectivity that have been embraced and included throughout this project.

The site is surrounded by existing multifamily developments (Yahara Landing and River's Edge Apartments) to the southeast, the Sherman Terrace Condominiums to the north, the community of Maple Bluff to the northwest, Filene Park and Lake Mendota to the west, and the Yahara River and Tenney Park to the south. The plan will add to these surrounding community assets by creating additional density in the form of 331 apartments and townhomes, automobile and bike parking spaces, and supportive community amenities for these new residents. The project will benefit from the soon to be implemented Metro Network Redesign with improved route frequency on Johnson Street and access to the BRT on East Washington Avenue.

The design intends to create a variety of multifamily residences ranging from studio to 3-bedrooms in size, located in five different buildings with two distinct building types.

The project will dedicate 1.53 acres of land to the City of Madison in the form of a to-be-constructed road and two (2) supporting detention basins. This road, hardscaping, landscaping and detention basins, will be constructed by the developer at the developer's expense, to the design standards of the Engineering Division, then dedicated to the City of Madison. This road is intended to provide a meaningful portion of the connectivity desired by the neighborhood and staff as identified in the aforementioned neighborhood plan.

Building A - Project Data

Current Zoning District: Suburban Employment
Rezoning from SE to Transitional Residential – Urban 2 (TR-U2) to allow for multifamily
Demolition Permit Required
Aldermanic District 12: Prior Alder was Syed Abbas who left midway through project development
Alder Brian Benford (District 6) has provided support and guidance in Aldermanic absence
Total Building Area: 234,126 square feet
Total Units: 184
Efficiency = 51, 1 BR = 92, 2 BR = 41, 3 BR = 0
Total Parking: 208
Parking Ratio: 1.13

Enclosed Parking: 189
Surface Parking: 19
EV Vehicle Ready = 21, EV Vehicle Installed = 5
Height: 1 - 5-stories (57'6" as measured from the first-floor level)
Total Bike Stalls: 203
Bike Stalls covered: 184
Bike Stalls Surface: 19
Total Area: 100,196 sq.ft., 2.3002 ac
Density (dwelling units per acre) = 80
Usable Open Space: 34,000 sq.ft.
Impervious Area: 65,123 sq.ft.

Building A is situated along Sherman Avenue on the western side of the site. It will hold the street edge and capitalize on views of Lake Mendota, Tenney Park and southern sightlines to the Capital. This structure has responded to the neighborhood feedback and pulled the massing away from Sherman Avenue. The majority of building frontage along the Sherman Avenue will be single-story residences with individual patios and entrances to the street providing an enhanced residential character and activated streetscape. The building steps up to four and then steps back to a fifth story, which has been pushed to the rear of the building and further away from the street. The building will be wood frame construction on a concrete parking podium comprising two levels (grade level and basement). The building totals approximately 234,126 square feet located on a 2.3-acre lot.

Building A will contain:

- 184 apartments
- 189 covered parking spaces (five spaces electric-installed and 21 electric-ready)
- 19 surface parking spaces
- 203 total bike spaces

Amenities in Building A will include:

- indoor-outdoor space dedicated to fitness
- resident co-working space
- rooftop indoor-outdoor lounge space with views of Lake Mendota and Tenney Park
- entry lobby and greeting area for residents
- management office space

Residents of Buildings A will also have access to a distinct outdoor amenity in the form of the building's green roof. In addition to stormwater retention characteristics, this exterior space will provide:

- landscaped spaces
- public and private seating
- sun/shade alternatives
- recreational lawn
- outdoor grilling stations
- supportive seating for alfresco dining

Building A – Sustainability

Vermilion believes we have a duty to protect and preserve the unique and natural beauty of Lake Mendota, the Yahara River, Tenney Park and the surrounding area. We are committed to developing housing that thoughtfully considers the building's impact on the environment.

We will be achieving Wisconsin Green Built certification and including the following sustainable features into the development:

- Solar ready – Increased structural capacity at the roof to carry solar panels and a raceway to allow the installation of wiring between the roof-located solar panels and the electrical panels on the first floor.
- Inflation Reduction Act – Research the act to determine if it can be used to provide financial support for the inclusion of solar panels on the roof
- Exterior enclosure – Superior wall and roof insulation of greater thicknesses to achieve R-21 and R-50 respectively.
- Mechanical systems – High-efficiency furnaces (95%) and air-conditioning compressors (14 SEER) to produce more heating and cooling with less energy.
- Mechanical system controls – Smart thermostats to allow energy use to be reduced when the space is not occupied.
- Lighting systems – 100% LED light fixture in the building and site which use less energy while providing similar light levels.
- Lighting system controls – Occupancy sensors in common areas (garage, stairwells and corridors) to turn off lighting when no one is using the space.
- Energy Star appliance – 100% Energy Star appliances which are certified by the U.S. EPA as meeting strict energy-efficiency specifications.
- Low-flow plumbing fixtures – 100% low-flow and efficient plumbing fixtures throughout the building accomplish the same task using less water. A low-flow shower head uses less than 2.5 gallons per minute, a low-flow sink uses less than 1.5 gallons per minute and a low-flow toilet uses less than 1.5 gallons per flush.

Building B - Project Data

Current Zoning District: Suburban Employment

Rezoning from SE to Transitional Residential – Urban 2 (TR-U2) to allow for multifamily

Demolition Permit Required

Aldermanic District 12: Prior Alder was Syed Abbas who left midway through project development

Alder Brian Benford (District 6) has provided support and guidance in Aldermanic absence

Total Building Area: 38,854 square feet

Total Units: 20

Efficiency = 0, 1 BR = 0, 2 BR = 16, 3 BR = 4

Total Parking: 35

Parking Ratio: 1.75

Enclosed Parking: 35

Surface Parking: 0

EV Vehicle Ready = 4, EV Vehicle Installed = 1

Height: 2-stories (24'9" as measured from the first-floor level)

Total Bike Stalls: 22

Bike Stalls covered: 20

Bike Stalls Surface: 4

Total Area: 88,662 sq.ft., 2.0354 ac

Density (dwelling units per acre) = 10

Usable Open Space: 26,500 sq.ft.

Impervious Area: 38,636 sq.ft.

Buildings B.1, B.2, and B.3 are located east of the newly created City of Madison Road and are meant to be an attractive, townhome-style housing option that is in response to neighborhood feedback and meant to alleviate the lack of “missing middle housing” in Madison. The three buildings combine for a total of 20

townhome-style residences with 35 private indoor parking spaces. These two-story structures offer some of the larger units within the development.

Residents of Buildings B.1, B.2, and B.3 will enjoy surface-level outdoor amenities including:

- community gardens
- individual patios on either the front or rear of each unit
- walk-up entrances
- individually enclosed parking spaces
- close proximity to the pet run-and-relief field

The scale of these buildings is designed to blend seamlessly with the condominiums to the north and apartment buildings to the east.

Buildings B1, B2 and B3 – Sustainability

Vermilion believes we have a duty to protect and preserve the unique and natural beauty of Lake Mendota, the Yahara River, Tenney Park and the surrounding area. We are committed to developing housing that thoughtfully considers the building's impact on the environment.

We will be achieving Wisconsin Green Built certification and including the following sustainable features into the development:

- Solar ready – Increased structural capacity at the roof to carry solar panels and a raceway to allow the installation of wiring between the roof-located solar panels and the electrical panels on the first floor.
- Inflation Reduction Act – Research the act to determine if it can be used to provide financial support for the inclusion of solar panels on the roof
- Exterior enclosure – Superior wall and roof insulation of greater thicknesses to achieve R-21 and R-50 respectively.
- Mechanical systems – High-efficiency furnaces (95%) and air-conditioning compressors (14 SEER) to produce more heating and cooling with less energy.
- Mechanical system controls – Smart thermostats to allow energy use to be reduced when the space is not occupied.
- Lighting systems – 100% LED light fixture in the building and site which use less energy while providing similar light levels.
- Energy Star appliance – 100% Energy Star appliances which are certified by the U.S. EPA as meeting strict energy-efficiency specifications.
- Low-flow plumbing fixtures – 100% low-flow and efficient plumbing fixtures throughout the building accomplish the same task using less water. A low-flow shower head uses less than 2.5 gallons per minute, a low-flow sink uses less than 1.5 gallons per minute and a low-flow toilet uses less than 1.5 gallons per flush.

Building C - Project Data

Current Zoning District: Suburban Employment

Rezoning from SE to Transitional Residential – Urban 2 (TR-U2) to allow for multifamily

Demolition Permit Required

Aldermanic District 12: Prior Alder was Syed Abbas who left midway through project development

Alder Brian Benford (District 6) has provided support and guidance in Aldermanic absence

Total Building Area: 164,113 square feet

Total Units: 127

Efficiency = 27, 1 BR = 73, 2 BR = 27, 3 BR = 0

Total Parking: 157

Parking Ratio: 1.24

Enclosed Parking: 140

Surface Parking: 17

EV Vehicle Ready = 16, EV Vehicle Installed = 4

Height: 1 - 5-stories (57'6" as measured from the first-floor level)

Total Bike Stalls: 140

Bike Stalls covered: 127

Bike Stalls Surface: 13

Total Area: 117,605 sq.ft., 2.6998 ac

Density (dwelling units per acre) = 47

Usable Open Space: 12,500 sq.ft.

Impervious Area: 53,040 sq.ft.

Building C is oriented along the southern property line toward the east and will have tremendous views of Tenney Park and the Capitol building in the distance.

Building C will be a five-story structure including:

- 127 apartments
- 140 enclosed parking spaces (four spaces electric-installed and 16 electric-ready)
- 17 surface parking spaces
- 140 total bike spaces

Amenities in Building C will be similar to Building A including:

- indoor-outdoor space dedicated to fitness
- resident co-working space
- rooftop indoor-outdoor lounge space with views of the Capitol and Tenney Park
- entry lobby and greeting area for residents

Residents of Buildings C will also have access to a distinct outdoor amenity in the form of the building's green roof. In addition to stormwater retention characteristics, this exterior space will provide:

- landscaped spaces
- public and private seating
- sun/shade alternatives
- recreational lawn
- outdoor grilling stations
- supportive seating for alfresco dining

Building C – Sustainability

Vermilion believes we have a duty to protect and preserve the unique and natural beauty of Lake Mendota, the Yahara River, Tenney Park and the surrounding area. We are committed to developing housing that thoughtfully considers the building's impact on the environment.

We will be achieving Wisconsin Green Built certification and including the following sustainable features into the development:

- Solar ready – Increased structural capacity at the roof to carry solar panels and a raceway to allow the installation of wiring between the roof-located solar panels and the electrical panels on the first floor.

- Inflation Reduction Act – Research the act to determine if it can be used to provide financial support for the inclusion of solar panels on the roof
- Exterior enclosure – Superior wall and roof insulation of greater thicknesses to achieve R-21 and R-50 respectively.
- Mechanical systems – High-efficiency furnaces (95%) and air-conditioning compressors (14 SEER) to produce more heating and cooling with less energy.
- Mechanical system controls – Smart thermostats to allow energy use to be reduced when the space is not occupied.
- Lighting systems – 100% LED light fixture in the building and site which use less energy while providing similar light levels.
- Lighting system controls – Occupancy sensors in common areas (garage, stairwells and corridors) to turn off lighting when no one is using the space.
- Energy Star appliance – 100% Energy Star appliances which are certified by the U.S. EPA as meeting strict energy-efficiency specifications.
- Low-flow plumbing fixtures – 100% low-flow and efficient plumbing fixtures throughout the building accomplish the same task using less water. A low-flow shower head uses less than 2.5 gallons per minute, a low-flow sink uses less than 1.5 gallons per minute and a low-flow toilet uses less than 1.5 gallons per flush.

Site Amenities and Unique Features

The project has incorporated numerous site amenities for the benefit of the residents living within the project and also taken a sensitive approach to those that will visit Tenney Park, Filene Park and the Yahara River.

Onsite Amenities:

- Assortment of community gardens created in two distinct locations to express their creativity through planning and nurturing plants and crops
- Fully enclosed, run-and-relief field for animals to enjoy the outdoors and each other
- Substantial landscaping to help the project fit into the park-like setting
- Maintain green buffer along the northern property line as requested by neighbors, Sherman Terrace
- Maintain green buffer along the southern property line shared with the City of Madison to screen the views of the project from Tenney Park and the Yahara River

Stormwater Management

Our project will greatly increase the stormwater protection to this site and the surrounding property through detention of stormwater runoff to match existing conditions up to the 200-year storm event. Our project will include:

- Two (2) substantial green roofs that help mitigate storm water runoff
- Bioretention basins
- Stormwater features to intercept stormwater prior to offsite discharge

Management and Operating Agreement

The developer is currently in conversation with two local property management companies, both with substantial experience managing similar sized projects and larger. The staffing model for this project includes six full-time employees including building manager, leasing agents, and maintenance team. We plan to have a property management team in-place approximately six months prior to first resident move-ins.

Neighborhood Presentations

The project was presented at two aldermanic hosted neighborhood meetings:

- October 10, 2022
- December 8, 2022

The development team held the following additional meetings:

- Tenney-Lapham Transportation and Safety meeting – November 17, 2022
- Sherman Terrace Neighborhood meeting – November 30, 2022

Proposed Project Schedule

To-date

- DAT meeting: June 24, 2022 (completed)
- Preapplication meeting: September 28, 2022 (completed)
- Neighborhood meeting #1: October 10, 2022
- Urban Design Information meeting: October 26, 2022
- Tenney-Lapham Transportation and Safety meeting: November 17, 2022
- Sherman Terrace Neighborhood meeting: November 30, 2022
- Neighborhood meeting #2: December 8, 2022
- Land Use Submittal: January 17, 2023


Upcoming

- Urban Design Commission: March 2023
- Plan Commission: March 2023
- Common Council: March 2023
- Construction commencement: September 2023
- Construction completion: February 2026

Thank you for your consideration, we look forward to your feedback following your review of this submittal. Please contact any member of the development team if you have any questions regarding this submittal.

Kind regards,

DocuSigned by:


0D259FB093DE4DC...

Darrin Jolas

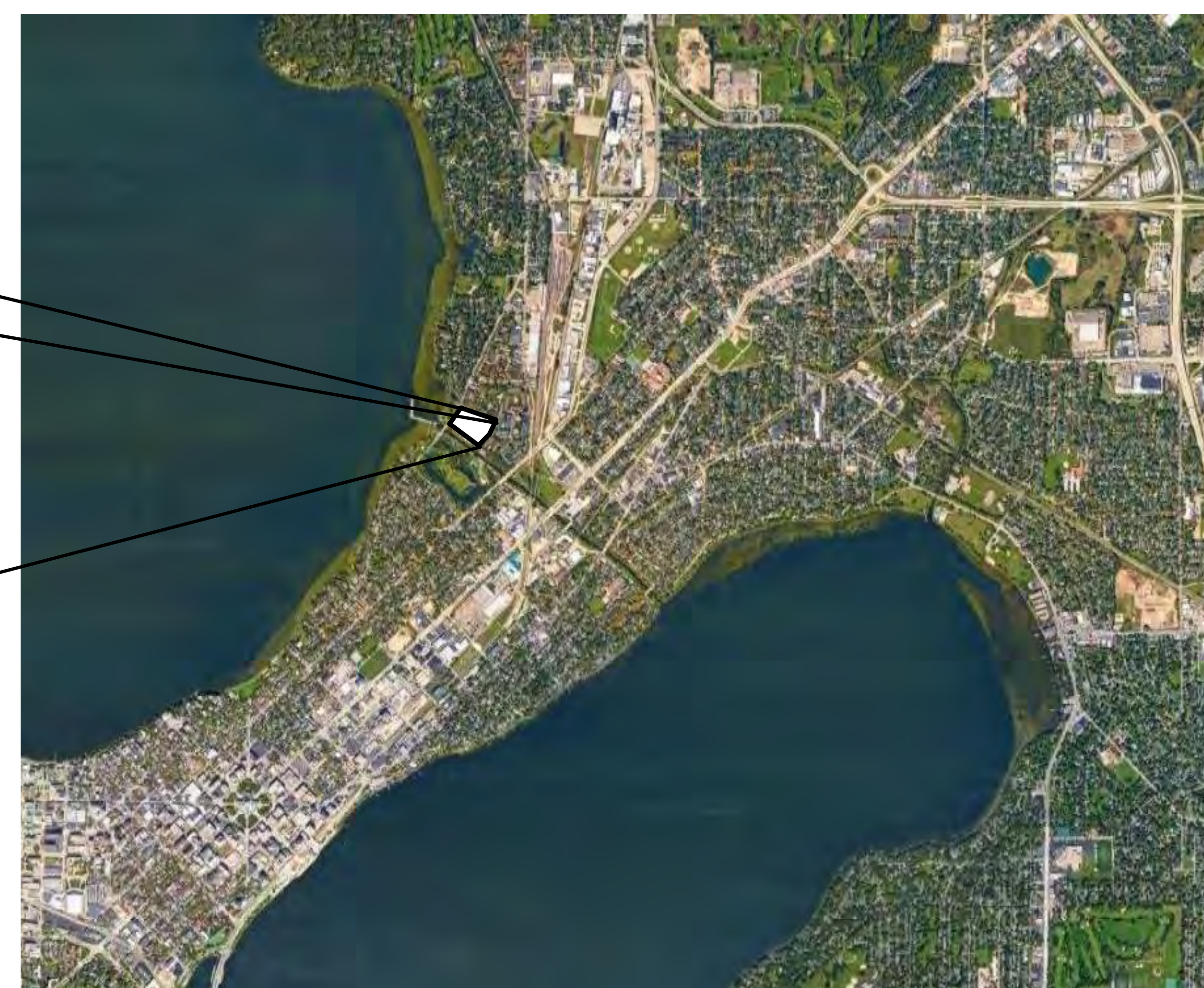
Vermilion Acquisitions LLC

(773) 914-7740

darrin@vermiliondevelopment.com

LAND USE APPLICATION

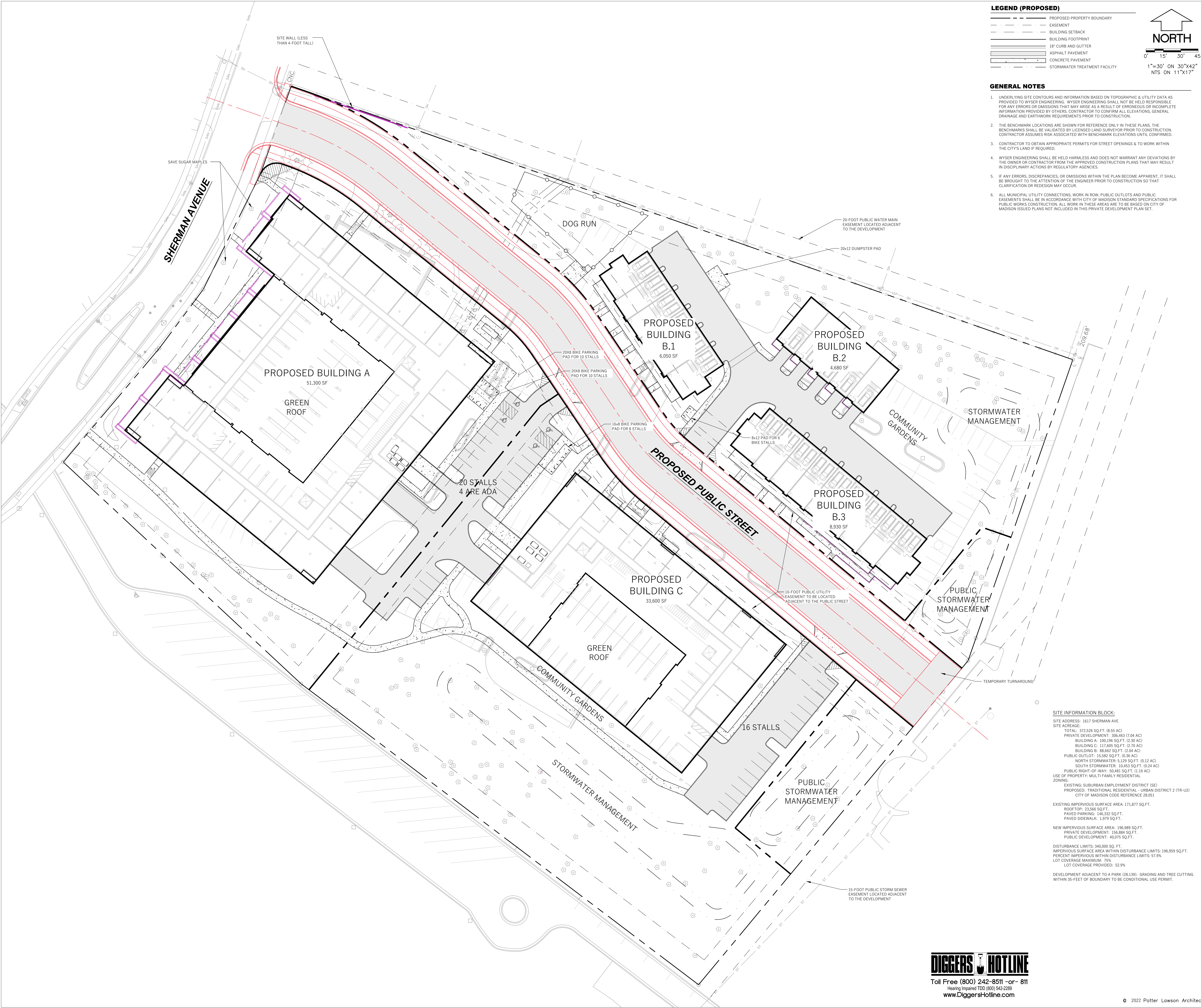
ELECTRICAL	
E001	PHOTOMETRIC PLAN
E002	LIGHTING CUT SHEETS
E003	LIGHTING CUT SHEETS
E004	LIGHTING CUT SHEETS
E005	LIGHTING CUT SHEETS
E006	LIGHTING CUT SHEETS



SITE LOCATION
NOT TO SCALE



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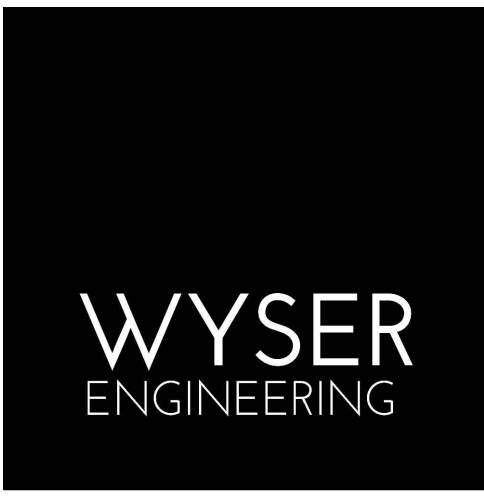


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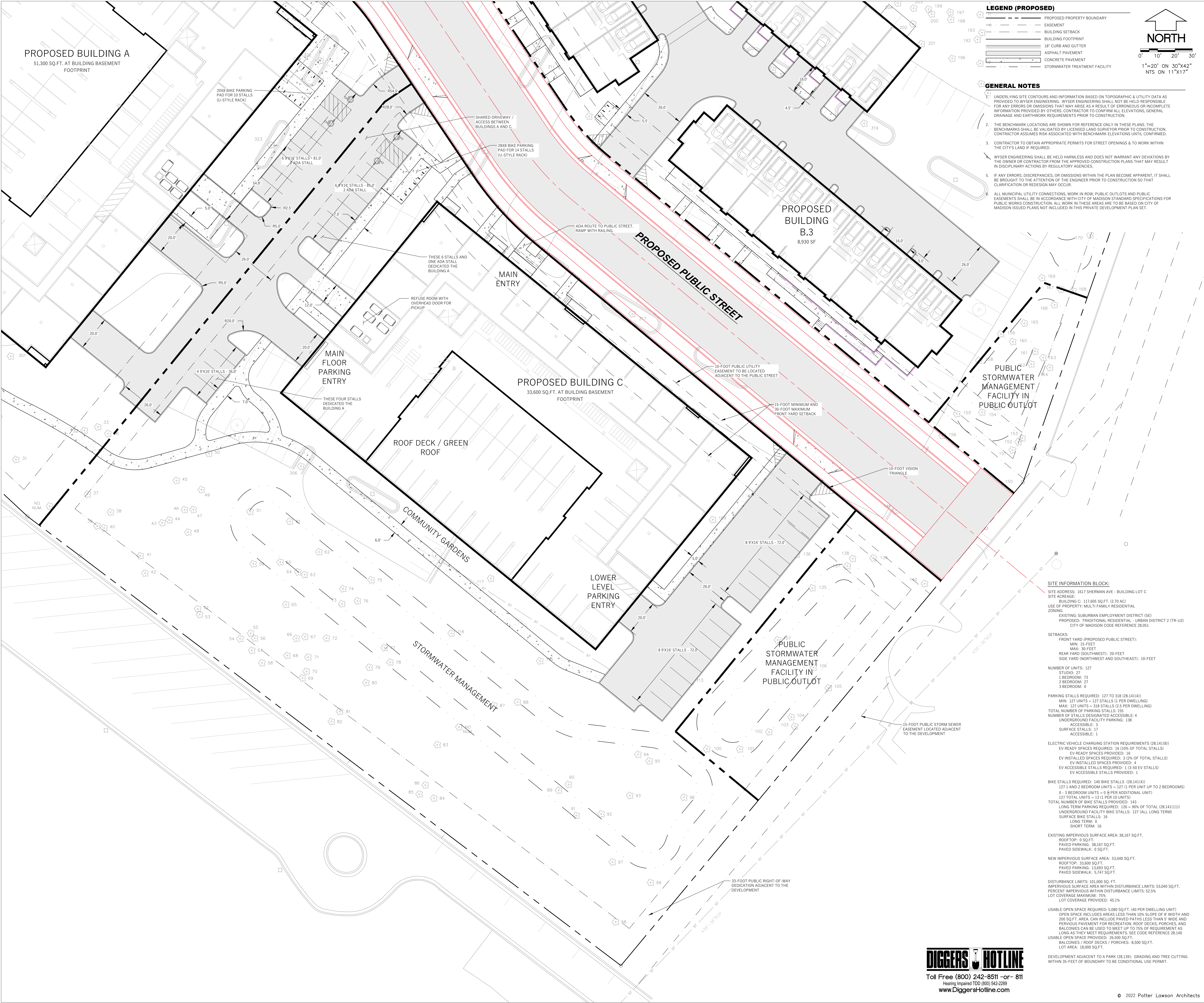
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C102

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File: W:\2022\220956_P\1 - 1617 Sherman Ave. Madison\DWG\22-0956_Civil Design.dwg Layout: Site Plan Bld C User: Don Plotted: Jan 16, 2023 - 3:32pm



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1617 SHERMAN AVE
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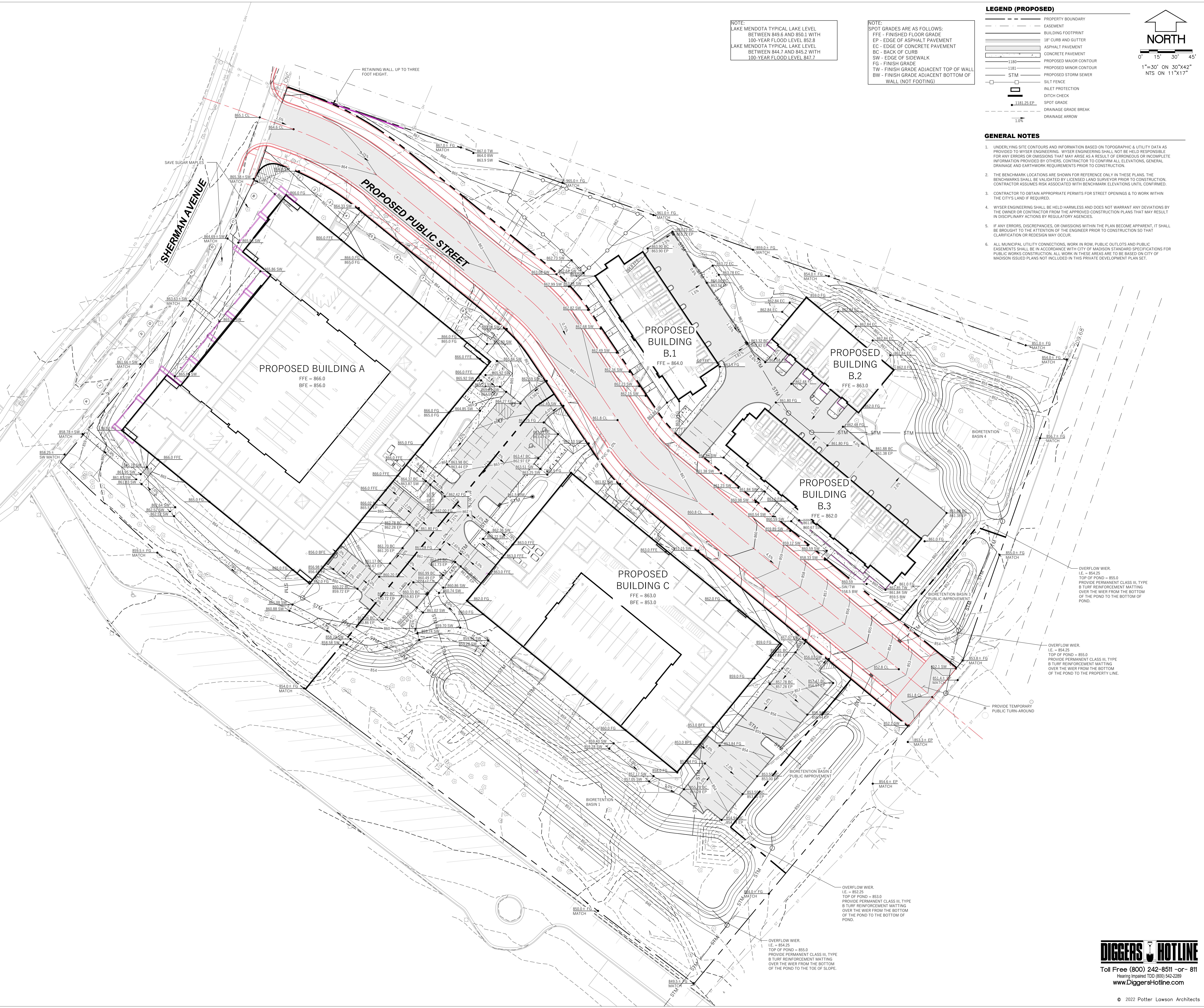
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Date	Issuance/Revisions	Symbol
01/17/2023	LAND USE APPLICATION	

SITE PLAN - BLD C
C103

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2022.21.00

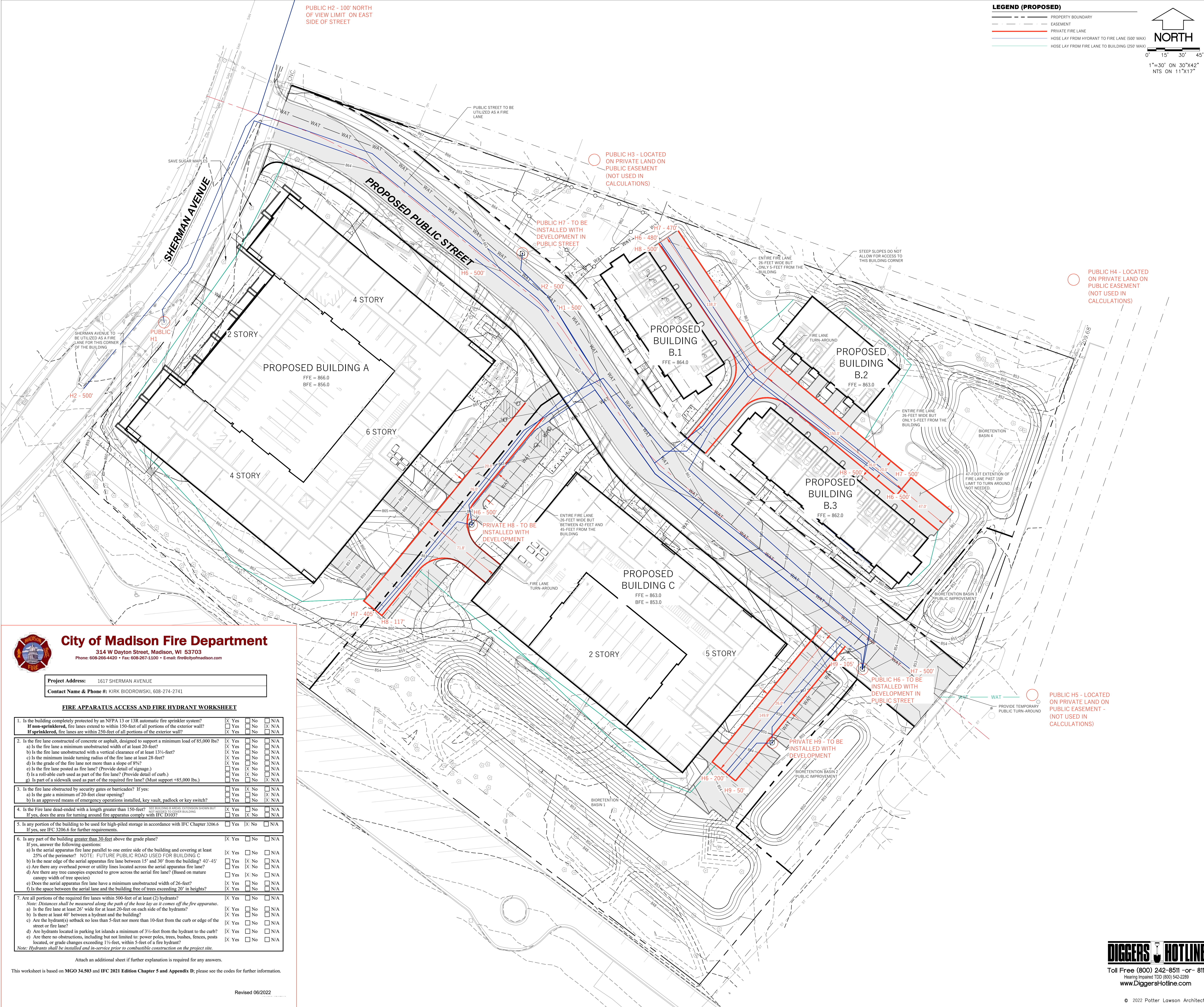
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01/17/2023	LAND USE APPLICATION	

GRADING PLAN

C200



File: W:\2022\220956_PU - 1617 Sherman Ave, Madison\WMO\22-0956_Civil Design.dwg Layout: Fire Apparatus User: Don Plattner, Jan 16, 2023 - 3:33pm



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703
Phone: 608-266-4420 • Fax: 608-267-1100 • Email: fire@cityofmadison.com

Project Address: 1617 SHERMAN AVENUE
Contact Name & Phone #: KIRK BODROWSKI, 608-274-2741

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a rollable curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire Lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6? If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? NOTE: FUTURE PUBLIC ROAD USED FOR BUILDING C b) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? 40'-45' c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2021 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 06/2022

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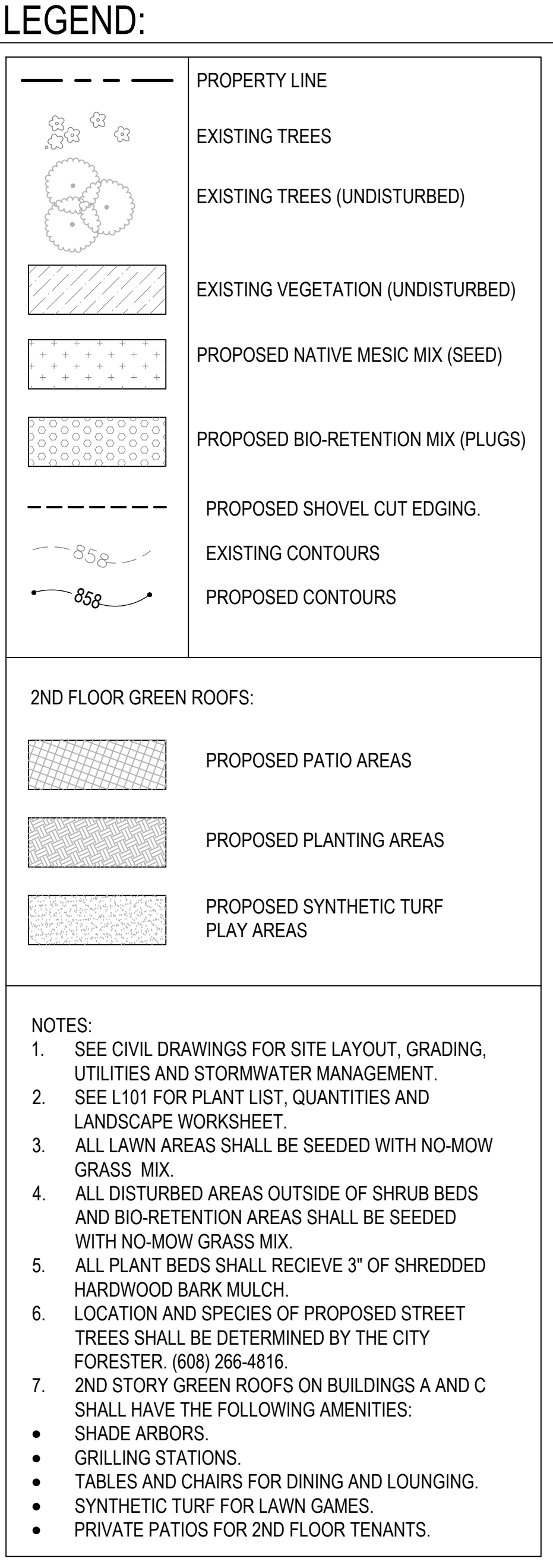
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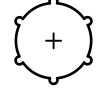
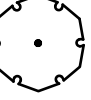
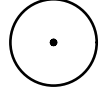
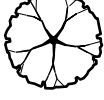

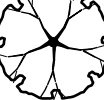

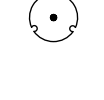
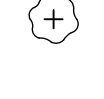
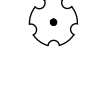

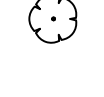
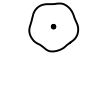
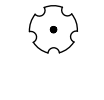
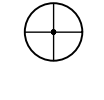
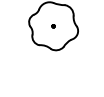
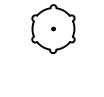
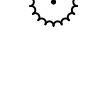

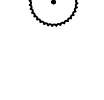
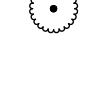
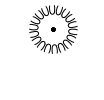

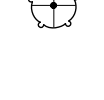

Date Issuance/Revisions Symbol
01/17/2023 LAND USE APPLICATION

FIRE APPARATUS

EX. FIRE




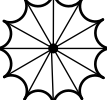
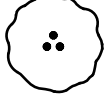
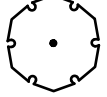
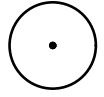


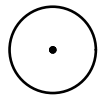
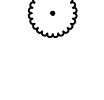
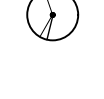
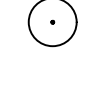


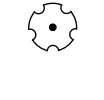
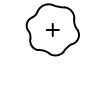
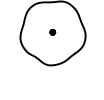
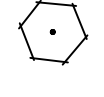
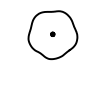
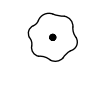

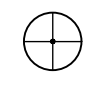
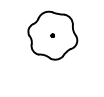
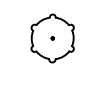

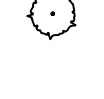
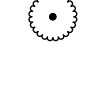

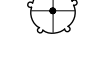
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PLANT SCHEDULE BUILDING A						
EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper	See Height	B&B	8'	ADAPTIVE	6
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Carpinus caroliniana 'J.N. Upright' Firespire Muscadewood	Multi-Stem	B&B	8'	WI NATIVE CULTIVAR	5
	Crataegus viridis 'Winter King' Winter King Hawthorn	2.5' Cal.	B&B	10'	ADAPTIVE	2
	Malus sargentii 'Tina' Tina Sargent Crabapple	See Height	B&B	4'	ADAPTIVE	4
OVERSTORY DECIDUOUS TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Gleditsia triacanthos inermis 'Draves' Street Keeper® Honey Locust	3' Cal.	B&B	18'	ADAPTIVE	7
	Ostrya virginiana Ironwood	3' Cal.	B&B	12'	WI NATIVE	5
	Ulmus x 'Morton' Accolade™ Elm	3' Cal.	B&B	18'	ADAPTIVE	4
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Aronia melanocarpa 'Morton' Iroquois Beauty™ Black Chokeberry	#3	Container	24"	WI NATIVE CULTIVAR	29
	Aronia melanocarpa 'UCONNAM165' TM Low Scape Mound Black Chokeberry	#3	Container	18"	WI NATIVE CULTIVAR	51
	Diervilla lonicera 'Copper' Copper Low Bush Honeysuckle	#3	Container	18"	WI NATIVE CULTIVAR	34
	Diervilla lonicera 'Michigan Sunset' Michigan Sunset Honeysuckle	#3	Container	24"	WI NATIVE CULTIVAR	19
	Forsythia x 'Meadowlark' Meadowlark Forsythia	#5	Container	48"	ADAPTIVE	2
	Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac	#3	Container	18"	WI NATIVE CULTIVAR	11
	Spiraea fritchiana 'J.N. Select A' Pink-a-licious™ Fritch Spirea	#3	Container	24"	ADAPTIVE	27
	Spiraea japonica 'Magic Carpet' PP9,363 Magic Carpet Spirea	#3	Container	24"	ADAPTIVE	6
	Viburnum dentatum 'Ralph Senior' Autumn Jazz Viburnum	#5	Container	36"	ADAPTIVE	4
	Viburnum dentatum 'Christom' Blue Muffin Viburnum	#5	Container	36"	ADAPTIVE	6
	Viburnum dentatum 'Raszam' Raspberry Tart Viburnum	#5	Container	36"	ADAPTIVE	3
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Juniperus chinensis 'Pfitteriana Kallay' Kallay's Compact Pfitzer Juniper	#5	Container	18"	ADAPTIVE	18
	Juniperus x pfitzeriana 'Sea Green' Sea Green Pfitzer Juniper	#5	Container	30"	ADAPTIVE	3
	Taxus x media 'Tauntoni' Tauton Yew	#5	Container	24"	ADAPTIVE	16
	Thuja occidentalis 'Bobozam' Mr. Bowling Ball® Arborvitae	#5	Container	18"	ADAPTIVE	18
GRASSES & SEDGES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Miscanthus sinensis 'Gracillimus' Gracillimus Eulalia Grass	#1	Container	N/A	ADAPTIVE	12
HERBACEOUS PERENNIALS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Geranium macrorrhizum 'Beven's Variety' Beven's Variety Geranium	#1	Container	N/A	ADAPTIVE	12
	Hemerocallis x 'Happy Returns' Happy Returns Daylily	#1	Container	N/A	ADAPTIVE	34
	Hosta x 'Guacamole' Guacamole Hosta	#1	Container	N/A	ADAPTIVE	9


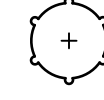

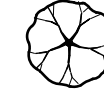


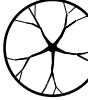



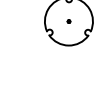
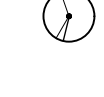




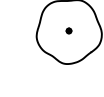
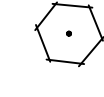
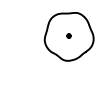


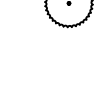
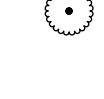
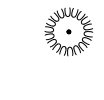


City of Madison, WI Landscape Worksheet - 1617 Sherman Avenue			
1/17/2023			
Zoning: Traditional Residential - Urban District 2 (TR-U2)			
Lots	Developed Area (SF)	Landscape Points Required	Landscape Points Achieved
Building 'A'	39,386	656	2,124
Building 'B'	64,104	1,068	1,568
Building 'C'	63,536	1,059	1,850
Total	167,026	2,784	5,542

BUILDING A			
Plant Type/Element	Points	Quantity	Points Achieved
Overstory deciduous trees	35	16	560
Tall evergreen trees	35	7	245
Ornamental trees	15	13	195
Upright evergreen shrubs	10	0	0
Shrubs, deciduous	3	194	582
Shrubs, evergreen	4	50	200
Ornamental grasses/perennials	2	59	118
Decorative fencing/wall	4/LF	0	0
Existing specimen tree	14/cal. inch	224	224
Landscape furniture (public)	5/seat	0	0
Total Points Achieved			2,124

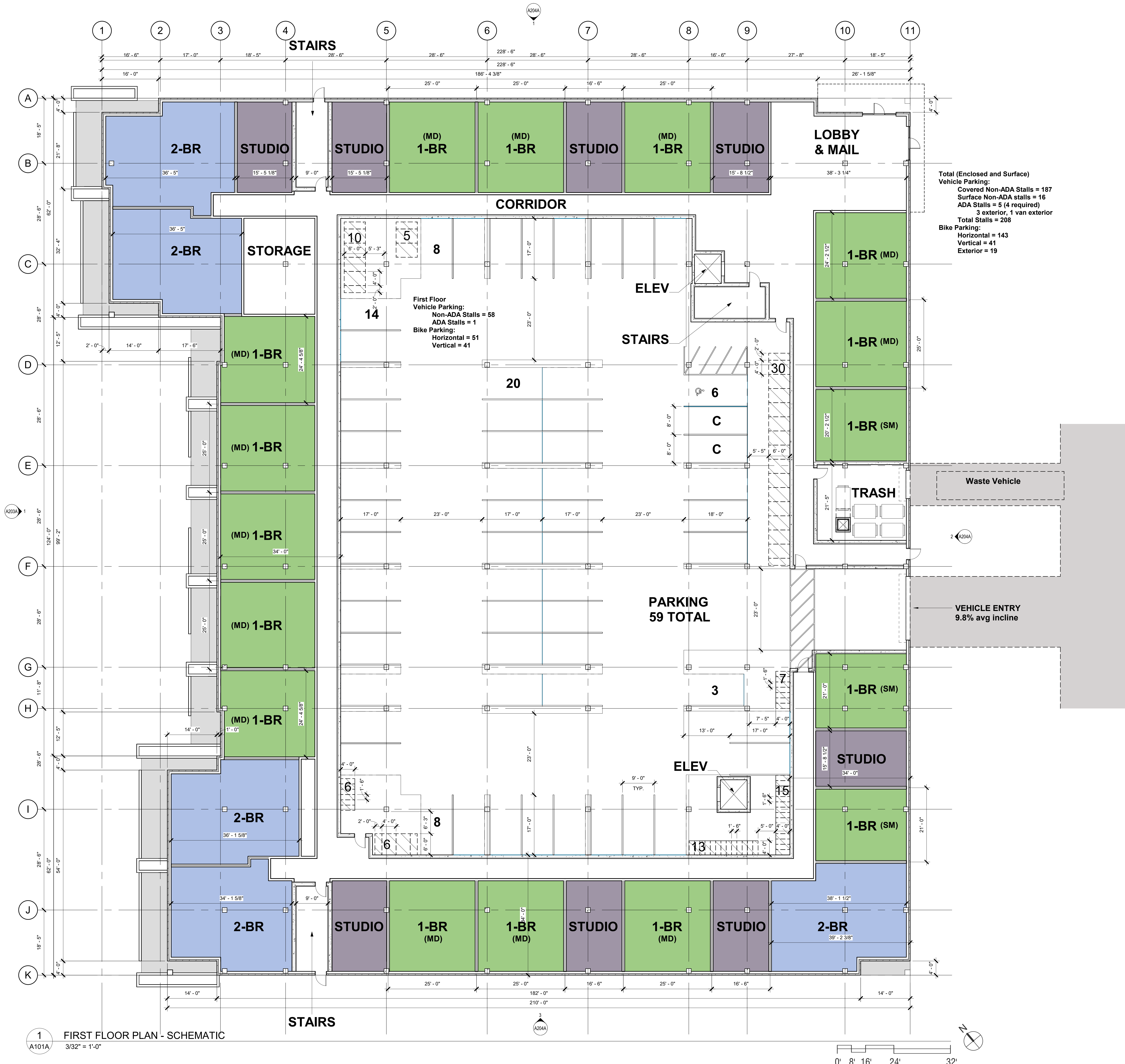
BUILDING B			
Plant Type/Element	Points	Quantity	Points Achieved
Overstory deciduous trees	35	14	490
Tall evergreen trees	35	5	175
Ornamental trees	15	7	105
Upright evergreen shrubs	10	0	0
Shrubs, deciduous	3	152	456
Shrubs, evergreen	4	60	240
Ornamental grasses/perennials	2	51	102
Decorative fencing/wall	4/LF	0	0
Existing specimen tree	14/cal. inch	0	0
Landscape furniture (public)	5/seat	0	0
Total			1,568

PLANT SCHEDULE BUILDING B						
EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper	See Height	B&B	8'	ADAPTIVE	3
	Picea glauca 'Densa' Black Hills Spruce	See Height	B&B	12'	WI NATIVE CULTIVAR	3
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Crataegus crus-galli var. inermis Thornless Cockspur Hawthorn	Multi-Stem	B&B	10'	WI NATIVE CULTIVAR	1
	Crataegus viridis 'Winter King' Winter King Hawthorn	2.5' Cal.	B&B	10'	ADAPTIVE	4
	Malus sargentii 'Tina' Tina Sargent Crabapple	See Height	B&B	4'	ADAPTIVE	1
OVERSTORY DECIDUOUS TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Maidenhair Tree	3' Cal.	B&B	14'	ADAPTIVE	11
	Gleditsia triacanthos inermis 'Skycole' TM Skyline Thornless Honey Locust	3' Cal.	B&B	18'	ADAPTIVE	3
	Populus grandidentata Large-tooth Aspen	See Height	Bare Root	8'	WI NATIVE	30
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Aronia arbutifolia 'Brilliantissima' Brilliant Red Chokeberry	#5	Container	36"	ADAPTIVE	9
	Cornus sericea Red Twig Dogwood	#3	Container	36"	WI NATIVE	2
	Cornus sericea 'Alleman's Compact' Alleman's Compact Dogwood	#3	Container	36"	WI NATIVE CULTIVAR	24
	Cornus sericea 'Flaviramea' Yellow Twig Dogwood	#3	Container	36"	WI NATIVE CULTIVAR	1
	Diervilla lonicera 'Copper' Copper Low Bush Honeysuckle	#3	Container	18"	WI NATIVE CULTIVAR	23
	Diervilla lonicera 'Michigan Sunset' Michigan Sunset Honeysuckle	#3	Container	24"	WI NATIVE CULTIVAR	20
	Forsythia x 'Meadowlark' Meadowlark Forsythia	#5	Container	48"	ADAPTIVE	1
	Rhus glabra Smooth Sumac	#5	Container	48"	WI NATIVE	30
	Rhus typhina Staghorn Sumac	#5	Container	48"	WI NATIVE	26
	Spiraea fritchiana 'J.N. Select A' Pink-a-licious™ Fritch Spirea	#3	Container	24"	ADAPTIVE	5
	Spiraea japonica 'Goldmound' Goldmound Japanese Spirea	#3	Container	24"	ADAPTIVE	12
	Spiraea japonica 'Magic Carpet' PP9,363 Magic Carpet Spirea	#3	Container	24"	ADAPTIVE	5
	Viburnum dentatum 'Ralph Senior' Autumn Jazz Viburnum	#5	Container	36"	ADAPTIVE	13
	Viburnum dentatum 'Christom' Blue Muffin Viburnum	#5	Container	36"	ADAPTIVE	6
	Viburnum dentatum 'Raszam' Raspberry Tart Viburnum	#5	Container	36"	ADAPTIVE	9
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Juniperus chinensis 'Pfitteriana Kallay' Kallay's Compact Pfitzer Juniper	#5	Container	18"	ADAPTIVE	27
	Juniperus x pfitzeriana 'Sea Green' Sea Green Pfitzer Juniper	#5	Container	30"	ADAPTIVE	5
	Thuja occidentalis 'Bobozam' Mr. Bowling Ball® Arborvitae	#5	Container	18"	ADAPTIVE	29
GRASSES & SEDGES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Miscanthus sinensis 'Gracillimus' Gracillimus Eulalia Grass	#1	Container	N/A	ADAPTIVE	26
HERBACEOUS PERENNIALS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Hemerocallis x 'Happy Returns' Happy Returns Daylily	#1	Container	N/A	ADAPTIVE	25

BUILDING C			
Plant Type/Element	Points	Quantity	Points Achieved
Overstory deciduous trees	35	32	1120
Tall evergreen trees	35	2	70
Ornamental trees	15	6	90
Upright evergreen shrubs	10	0	0
Shrubs, deciduous	3	110	330
Shrubs, evergreen	4	33	132
Ornamental grasses/perennials	2	54	108
Decorative fencing/wall	4/LF	0	0
Existing specimen tree	14/cal. inch	0	0
Landscape furniture (public)	5/seat	0	0
Total			1,850

PLANT SCHEDULE BUILDING C						
EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper	See Height	B&B	8'	ADAPTIVE	2
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Carpinus caroliniana 'J.N. Upright' Firespire Muscadewood	Multi-Stem	B&B	8'	WI NATIVE CULTIVAR	3
	Crataegus viridis 'Winter King' Winter King Hawthorn	2.5' Cal.	B&B	10'	ADAPTIVE	3
OVERSTORY DECIDUOUS TREES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Maidenhair Tree	3' Cal.	B&B	14'	ADAPTIVE	3
	Gleditsia triacanthos inermis 'Draves' Street Keeper® Honey Locust	3' Cal.	B&B	18'	ADAPTIVE	3
	Gleditsia triacanthos inermis 'Skycole' TM Skyline Thornless Honey Locust	3' Cal.	B&B	18'	ADAPTIVE	1
	Ostrya virginiana Ironwood	3' Cal.	B&B	12'	WI NATIVE	6
	Populus grandidentata Large-tooth Aspen	See Height	Bare Root	8'	WI NATIVE	11
	Quercus macrocarpa Burr Oak	3' Cal.	B&B	18'	WI NATIVE	3
	Ulmus x 'Morton' Accolade™ Elm	3' Cal.	B&B	18'	ADAPTIVE	5
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Aronia melanocarpa 'Morton' Iroquois Beauty™ Black Chokeberry	#3	Container	24"	WI NATIVE CULTIVAR	23
	Cornus sericea Red Twig Dogwood	#3	Container	36"	WI NATIVE	11
	Cornus sericea 'Flaviramea' Yellow Twig Dogwood	#3	Container	36"	WI NATIVE CULTIVAR	7
	Diervilla lonicera 'Copper' Copper Low Bush Honeysuckle	#3	Container	18"	WI NATIVE CULTIVAR	4
	Forsythia x 'Meadowlark' Meadowlark Forsythia	#5	Container	48"	ADAPTIVE	4
	Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac	#3	Container	18"	WI NATIVE CULTIVAR	10
	Rhus glabra Smooth Sumac	#5	Container	48"	WI NATIVE	18
	Rhus typhina Staghorn Sumac	#5	Container	48"	WI NATIVE	27
	Spiraea fritchiana 'J.N. Select A' Pink-a-licious™ Fritch Spirea	#3	Container	24"	ADAPTIVE	6
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Juniperus chinensis 'Pfitteriana Kallay' Kallay's Compact Pfitzer Juniper	#5	Container	18"	ADAPTIVE	4
	Juniperus x pfitzeriana 'Sea Green' Sea Green Pfitzer Juniper	#5	Container	30"	ADAPTIVE	4
	Taxus x media 'Tauntoni' Tauton Yew	#5	Container	24"	ADAPTIVE	23
	Thuja occidentalis 'Bobozam' Mr. Bowling Ball® Arborvitae	#5	Container	18"	ADAPTIVE	2
GRASSES & SEDGES	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Miscanthus sinensis 'Gracillimus' Gracillimus Eulalia Grass	#1	Container	N/A	ADAPTIVE	6
HERBACEOUS PERENNIALS	BOTANICAL / COMMON NAME	SIZE	STOCK	HEIGHT	WI NATIVE STATUS	QTY
	Geranium macrorrhizum 'Beven's Variety' Beven's Variety Geranium	#1	Container	N/A	ADAPTIVE	27
	Hosta x 'Guacamole' Guacamole Hosta	#1	Container	N/A	ADAPTIVE	20

Development Frontage Landscaping (1) overstory deciduous tree and (5) shrubs /30 LF *12) ornamental trees or (2) evergreen trees may be used in place of (1) overstory deciduous tree	Frontage (LF)	Overstory Trees Required	Overstory Trees Proposed/Existing	Shrubs Required	Shrubs Proposed/Existing
BUILDING A					
Sherman Avenue	250	8	8	42	64
			[(6) overstory trees and (4) ornamental trees]		
Proposed Public Street	250	8	9	42	78
			[(5) overstory trees and (8) ornamental trees]		
BUILDING B					
Proposed Public Street	321	11	9	53	75
			[(7) overstory trees and (8) ornamental trees]		



PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE
BLDG A
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

FIRST FLOOR PLAN

A101A


$$3/32'' = 1'-0''$$

NOT FOR CONSTRUCTION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

SECOND FLOOR PLAN

A102A



1617 SHERMAN AVE
BLDG A
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

[illegible]

A103A



NOT FOR CONSTRUCTION

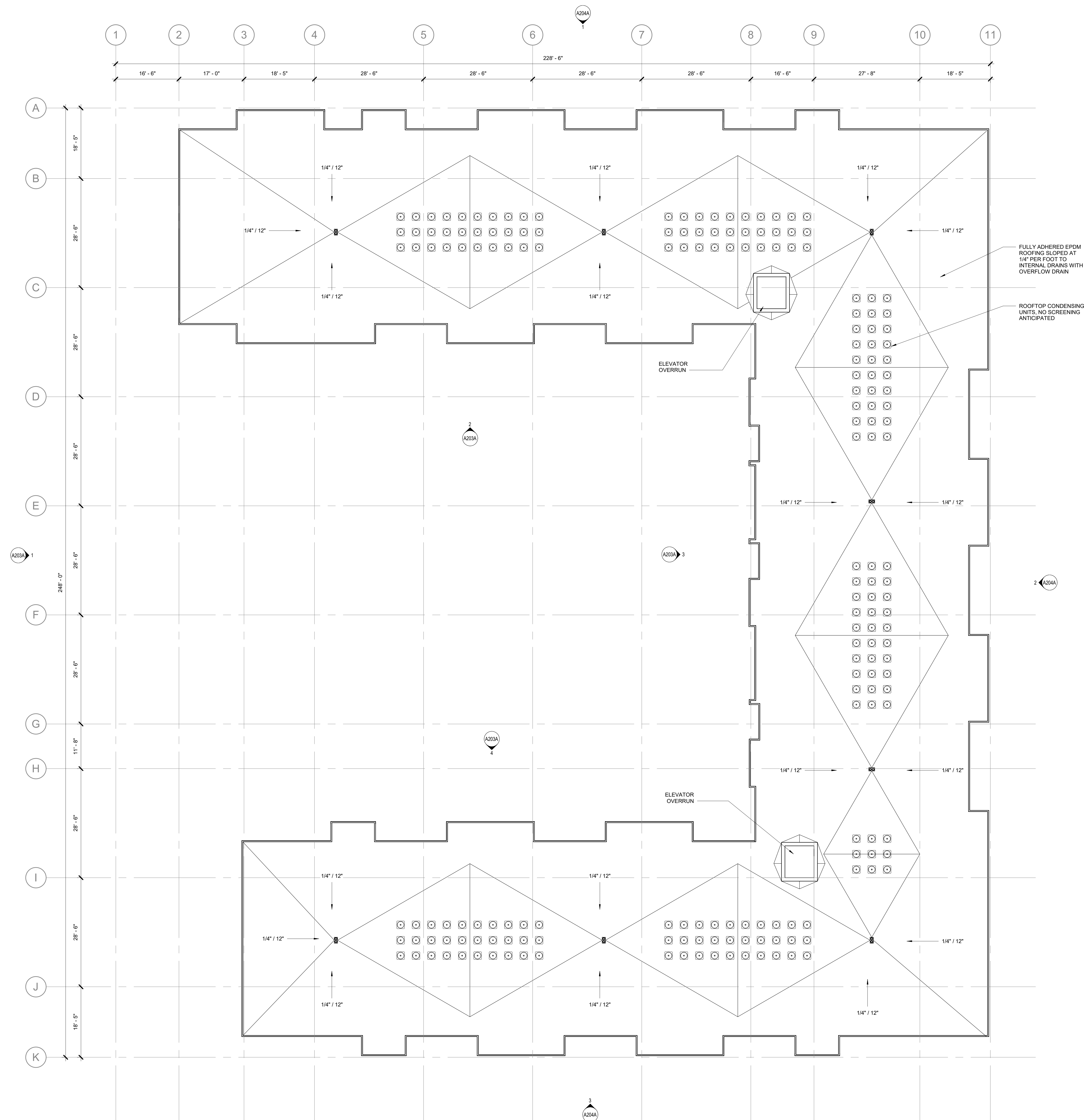
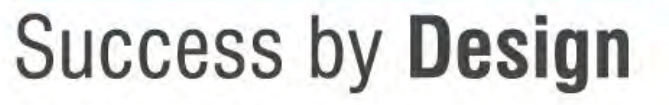
1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

FIFTH FLOOR PLAN

A105A



PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG A
VERMILION

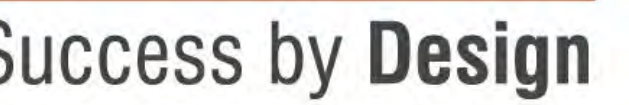
1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

ROOF PLAN

A106A



A	HARDIE PLANK LAP SIDING BEADED SMOOTH - IRON GRAY
B	HARDIE PLANK LAP SIDING BEADED SMOOTH - COBBLESTONE
C	ENDICOTT FACE BRICK - GRAY SANDS
D	ENDICOTT FACE BRICK - MANGANESE IRON SPOT
E	WOODSTONE RUSTIC SERIES, JAMES HARDIE - SAND CASTLE, TYPICAL
F	HARDIE ARCHITECTURAL PANEL - FINE SAND PAINT
G	HARDIE ARCHITECTURAL PANEL - SEAGRASS PAINT
H	RAILING SYSTEM, TYPICAL
I	INTUS DOOR AND WINDOWS, TYPICAL
J	PRODIMA - PARKLEX NATURCLAD B CLADDING - M
K	OVERHEAD COILING GARAGE DOOR
L	BRAKE METAL COPING - PAINT
M	ALUMINUM HOPPER AND DOWNSPOUT

APPROACH TO BIRD-FRIENDLY GLAZING:
ALL FACADES ARE COMPOSED OF LESS THAN
50% GLAZING
GLAZING AREAS ARE DIVIDED BY A MINIMUM OF
6' WHERE NECESSARY SO THAT NO AREA
EXCEEDS 50 SF.

PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE
BLDG A
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

BUILDING ELEVATIONS COLOR

A201A





GLAZING NOTES

ALUMINUM HOPPER AND DOWNSPOUT
APPROACH TO BIRD-FRIENDLY GLAZING:
ALL FACADES ARE COMPOSED OF LESS THAN
50% GLAZING
GLAZING AREAS ARE DIVIDED BY A MINIMUM OF
6" WHERE NECESSARY SO THAT NO AREA
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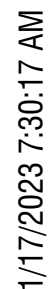
1617 SHERMAN AVE
MADISON, WI 53704

DATE	ISSUANCE/REVISIONS	
01/17/2023	LAND USE APPLICATION	

[illegible]

BUILDING ELEVATIONS COLOR

A202A





PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE
BLDG A
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

DATE	ISSUANCE REVISIONS
01/17/2023	LAND USE APPLICATION

BUILDING ELEVATIONS B/W

A203A



PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE
BLDG A
VERMILION
1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

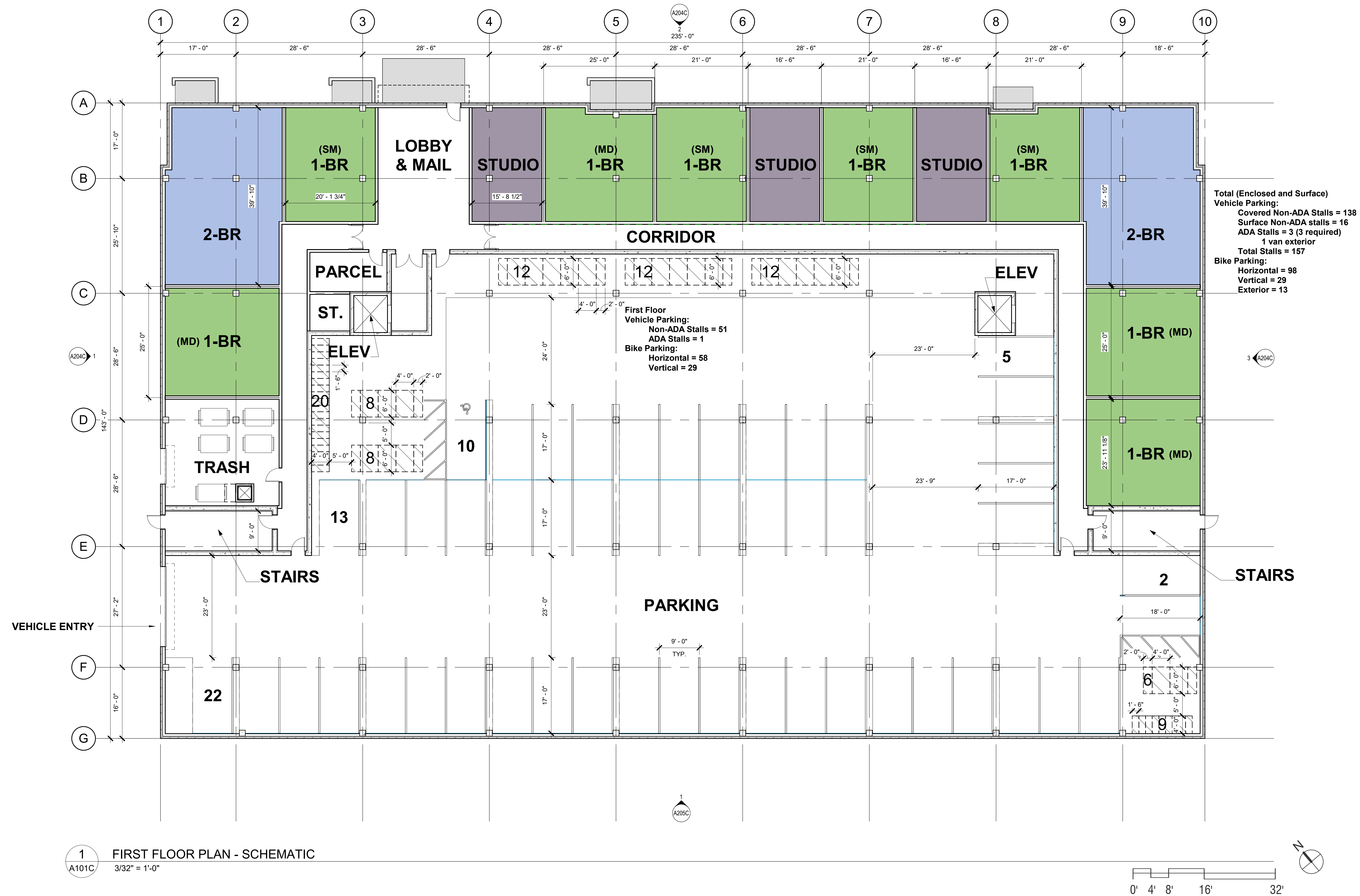
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BUILDING ELEVATIONS B/W

A204A



A100C



PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG C
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

FIRST FLOOR PLAN

A101C



PRELIMINARY
NOT FOR CONSTRUCTION

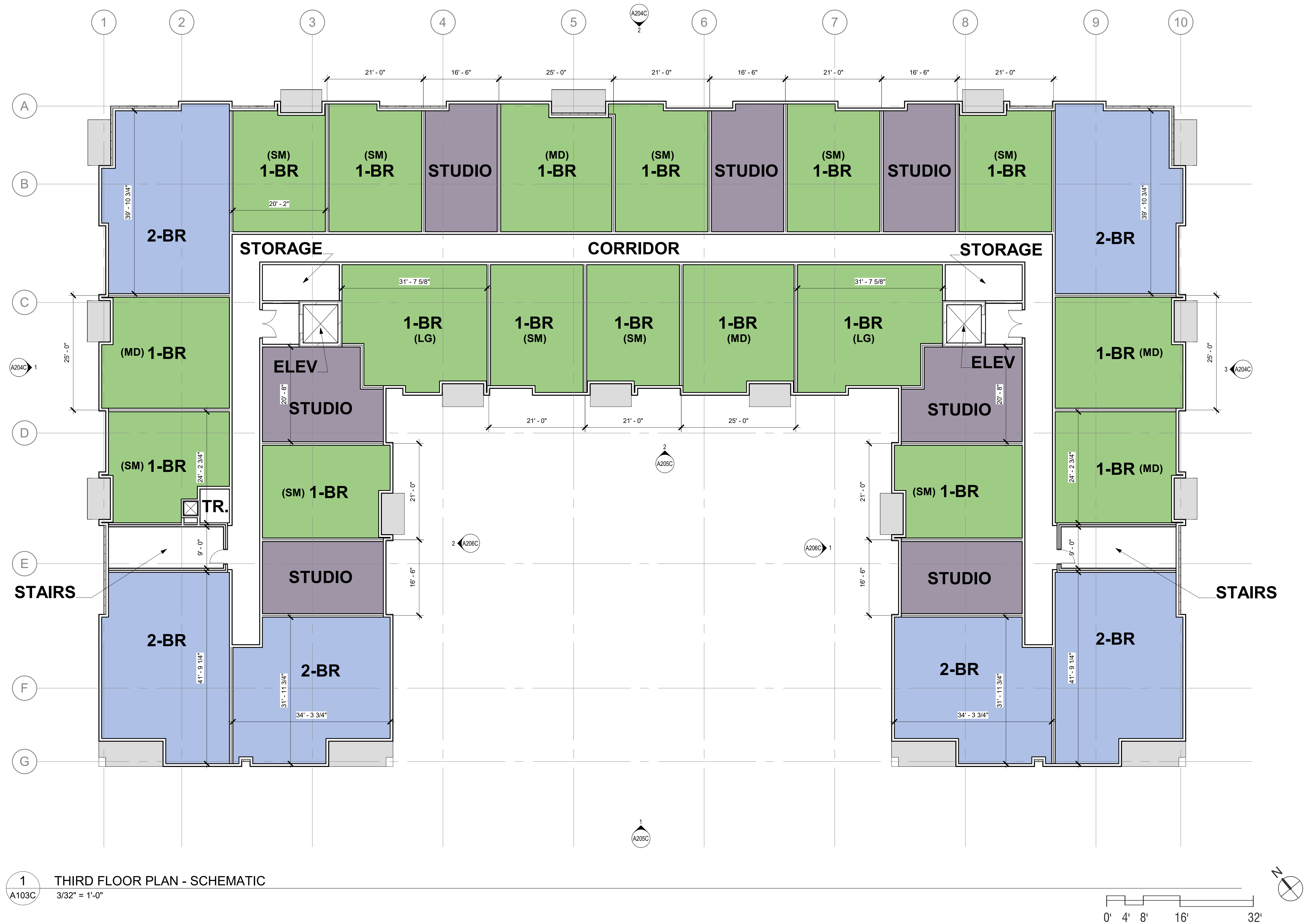
1617 SHERMAN AVE BLDG C
VERMILION
1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

SECOND FLOOR PLAN

A102C



PRELIMINARY
NOT FOR CONSTRUCTION

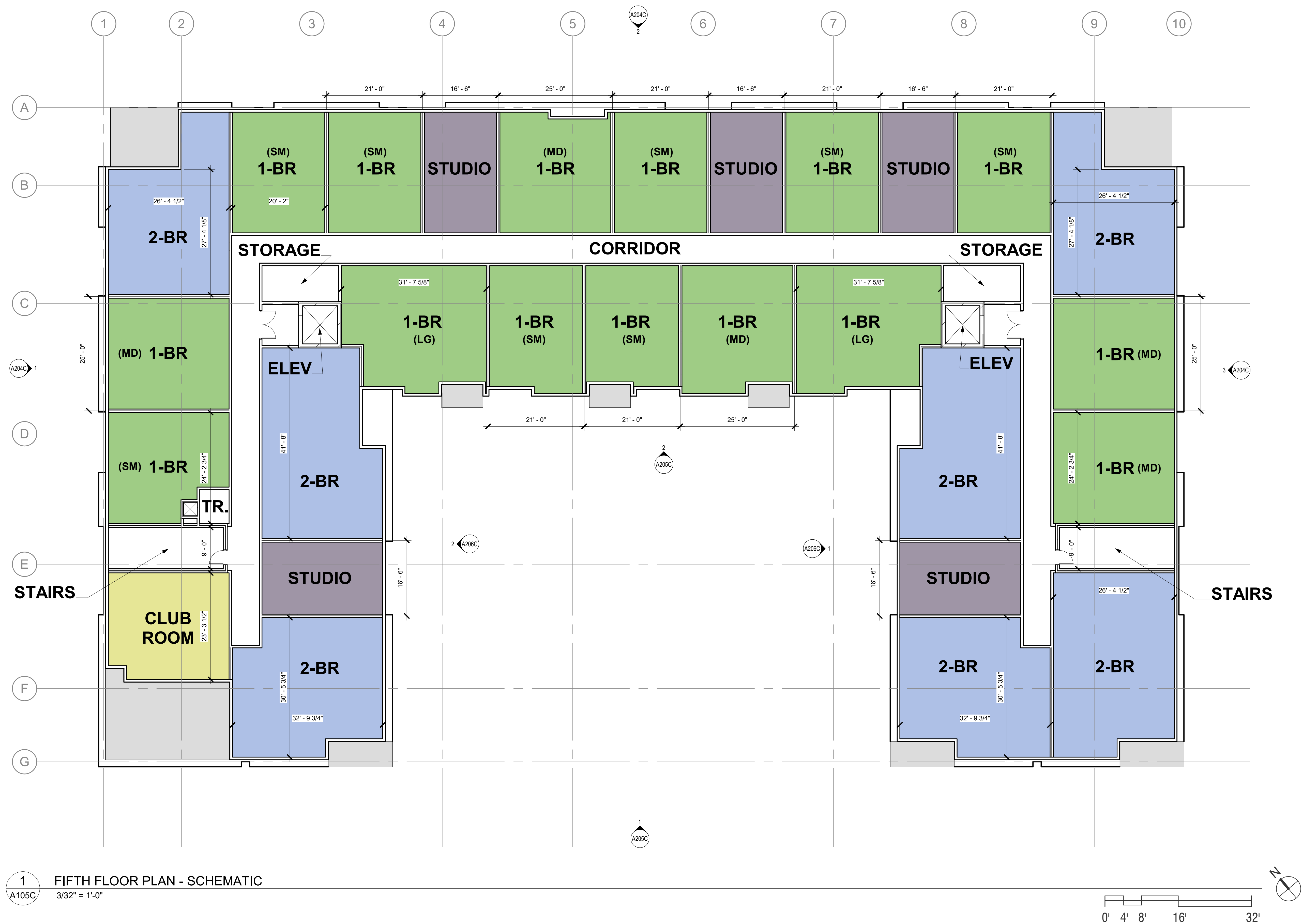
1617 SHERMAN AVE BLDG C
VERMILION
1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

THIRD-FOURTH FLOOR PLAN

A103C



PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG C
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

FIFTH FLOOR PLAN

A105C

[illegible]

A106C

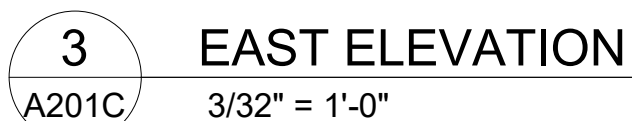
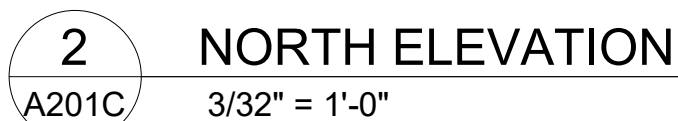
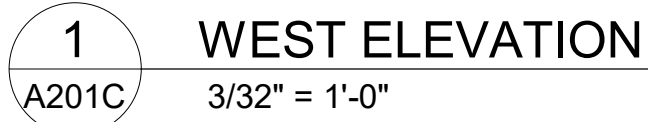


- A** HARDIE PLANK LAP SIDING
BEADED SMOOTH - IRON GRAY
- B** HARDIE PLANK LAP SIDING
BEADED SMOOTH - COBBLESTONE
- C** ENDICOTT FACE BRICK - LIGHT GRAY BLEND
- D** ENDICOTT FACE BRICK - MANGANESE IRON SPOT
- E** WOODSTONE RUSTIC SERIES, JAMES HARDIE
- SAND CASTLE, TYPICAL
- F** HARDIE ARCHITECTURAL PANEL - FINE SAND
PAINT
- G** HARDIE ARCHITECTURAL PANEL - SEAGRASS
PAINT
- H** RAILING SYSTEM, TYPICAL
- I** INTUS DOOR AND WINDOWS, TYPICAL
- J** PRODIMA - PARKLEX NATURCLAD B CLADDING - MUSTARD
- K** OVERHEAD COILING GARAGE DOOR
- L** BRAKE METAL COPING - PAINT
- M** ALUMINUM HOPPER AND DOWNSPOUT

PROACH TO BIRD-FRIENDLY GLAZING:
ALL FACADES ARE COMPOSED OF LESS THAN 50% GLAZING.
GLAZING AREAS ARE DIVIDED BY A MINIMUM OF 6" WHERE NECESSARY SO THAT NO AREA EXCEEDS 50 SF.

[illegible]

A201C



MATERIAL LEGEND

- A** HARDIE PLANK LAP SIDING
BEADED SMOOTH - IRON GRAY
- B** HARDIE PLANK LAP SIDING
BEADED SMOOTH - COBBLESTONE
- C** ENDICOTT FACE BRICK - LIGHT GRAY BLEND
- D** ENDICOTT FACE BRICK - MANGANESE IRON SPOT
- E** WOODTONE RUSTIC SERIES, JAMES HARDIE
- SAND CASTLE, TYPICAL
- F** HARDIE ARCHITECTURAL PANEL - FINE SAND
PAINT
- G** HARDIE ARCHITECTURAL PANEL - SEAGRASS
PAINT
- H** RAILING SYSTEM, TYPICAL
- I** INTUS DOOR AND WINDOWS, TYPICAL
- J** PRODIMA - PARKLEX NATURCLAD B CLADDING - MUSTAR
- K** OVERHEAD COILING GARAGE DOOR
- L** BRAKE METAL COPING - PAINT
- M** ALUMINUM HOPPER AND DOWNSPOUT

BLAZING NOTES

APPROACH TO BIRD-FRIENDLY GLAZING:
ALL FACADES ARE COMPOSED OF LESS THAN
50% GLAZING.
GLAZING AREAS ARE DIVIDED BY A MINIMUM
OF 6" WHERE NECESSARY SO THAT NO ARE
EXCEEDS 50 SF.

PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG C
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

DATE	ISSUANCE REVISIONS
01/17/2023	LAND USE APPLICATION

BUILDING ELEVATIONS COLOR

A202C

- A** HARDIE PLANK LAP SIDING
BEADED SMOOTH - IRON GRAY
- B** HARDIE PLANK LAP SIDING
BEADED SMOOTH - COBBLESTONE
- C** ENDICOTT FACE BRICK - LIGHT GRAY BLEND
- D** ENDICOTT FACE BRICK - MANGANESE IRON SPOT
- E** WOODTONE RUSTIC SERIES, JAMES HARDIE
- SAND CASTLE, TYPICAL
- F** HARDIE ARCHITECTURAL PANEL - FINE SAND
PAINT
- G** HARDIE ARCHITECTURAL PANEL - SEAGRASS
PAINT
- H** RAILING SYSTEM, TYPICAL
- I** INTUS DOOR AND WINDOWS, TYPICAL
- J** PRODIMA - PARKLEX NATURCLAD B CLADDING - MUSTARD
- K** OVERHEAD COILING GARAGE DOOR
- L** BRAKE METAL COPING - PAINT
- M** ALUMINUM HOPPER AND DOWNSPOUT

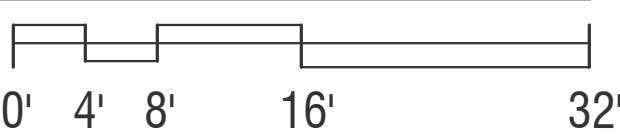
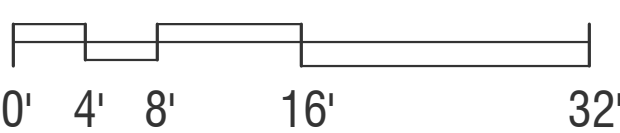
APPROACH TO BIRD-FRIENDLY GLAZING:
ALL FACADES ARE COMPOSED OF LESS THAN
50% GLAZING.
GLAZING AREAS ARE DIVIDED BY A MINIMUM
OF 6" WHERE NECESSARY SO THAT NO AREA
EXCEEDS 50 SF.

NOT FOR CONSTRUCTION

1617 SHERMAN AVE
MADISON, WI 53704

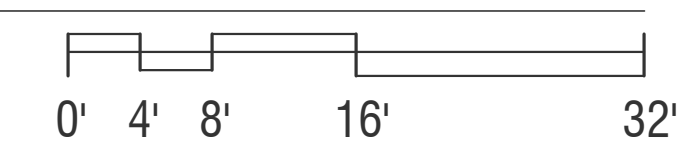
DATE	ISSUANCE/REVISIONS	
01/17/2023	LAND USE APPLICATION	

A203C

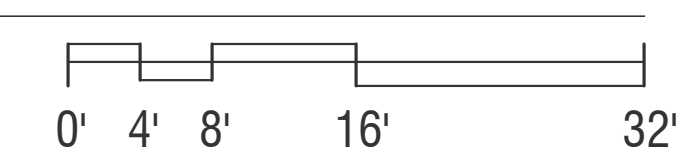




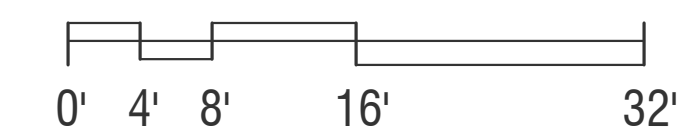
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A204C 3/32" = 1'-0"



2 NORTH ELEVATION
A204C 3/32" = 1'-0"



3 EAST ELEVATION
A204C 3/32" = 1'-0"



MATERIAL LEGEND

- A HARDIE PLANK LAP SIDING
BEADED SMOOTH - IRON GRAY
- B HARDIE PLANK LAP SIDING
BEADED SMOOTH - COBBLESTONE
- C ENDICOTT FACE BRICK - LIGHT GRAY BLEND
- D ENDICOTT FACE BRICK - MANGANESE IRON SPOT
- E WOODTONE RUSTIC SERIES, JAMES HARDIE
- SAND CASTLE, TYPICAL
- F HARDIE ARCHITECTURAL PANEL - FINE SAND
PAINT
- G HARDIE ARCHITECTURAL PANEL - SEAGRASS
PAINT
- H RAILING SYSTEM, TYPICAL
- I INTUS DOOR AND WINDOWS, TYPICAL
- J PRODIMA - PARKLEX NATURCLAD B CLADDING - MUSTARD
- K OVERHEAD COILING GARAGE DOOR
- L BRAKE METAL COPING - PAINT
- M ALUMINUM HOPPER AND DOWNSPOUT

PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG C
VERMILION

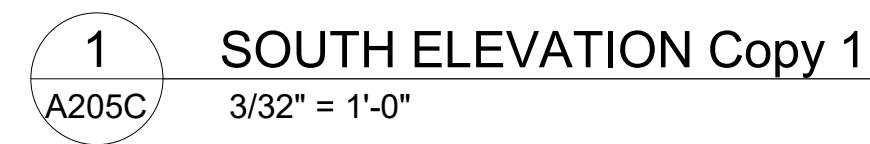
1617 SHERMAN AVE
MADISON, WI 53704

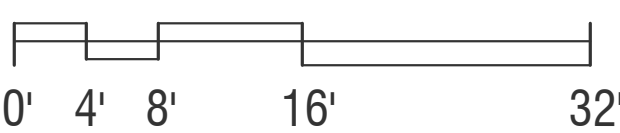
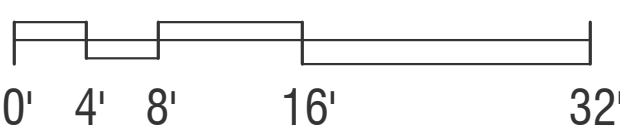
2022.21.00

[illegible]

BUILDING ELEVATIONS B/W

A204C





PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG C
VERMILION

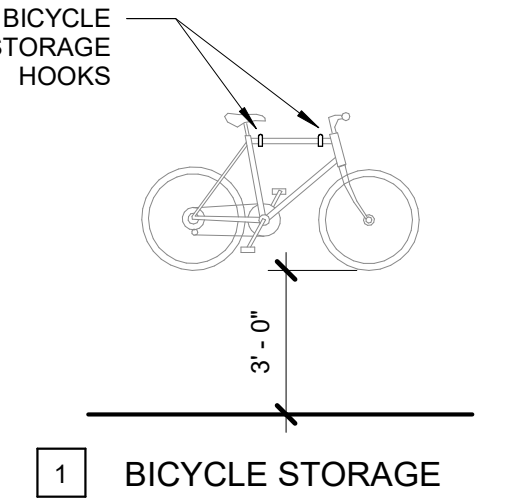
1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

BUILDING ELEVATIONS B/W

A206C



PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG B.3
VERMILION

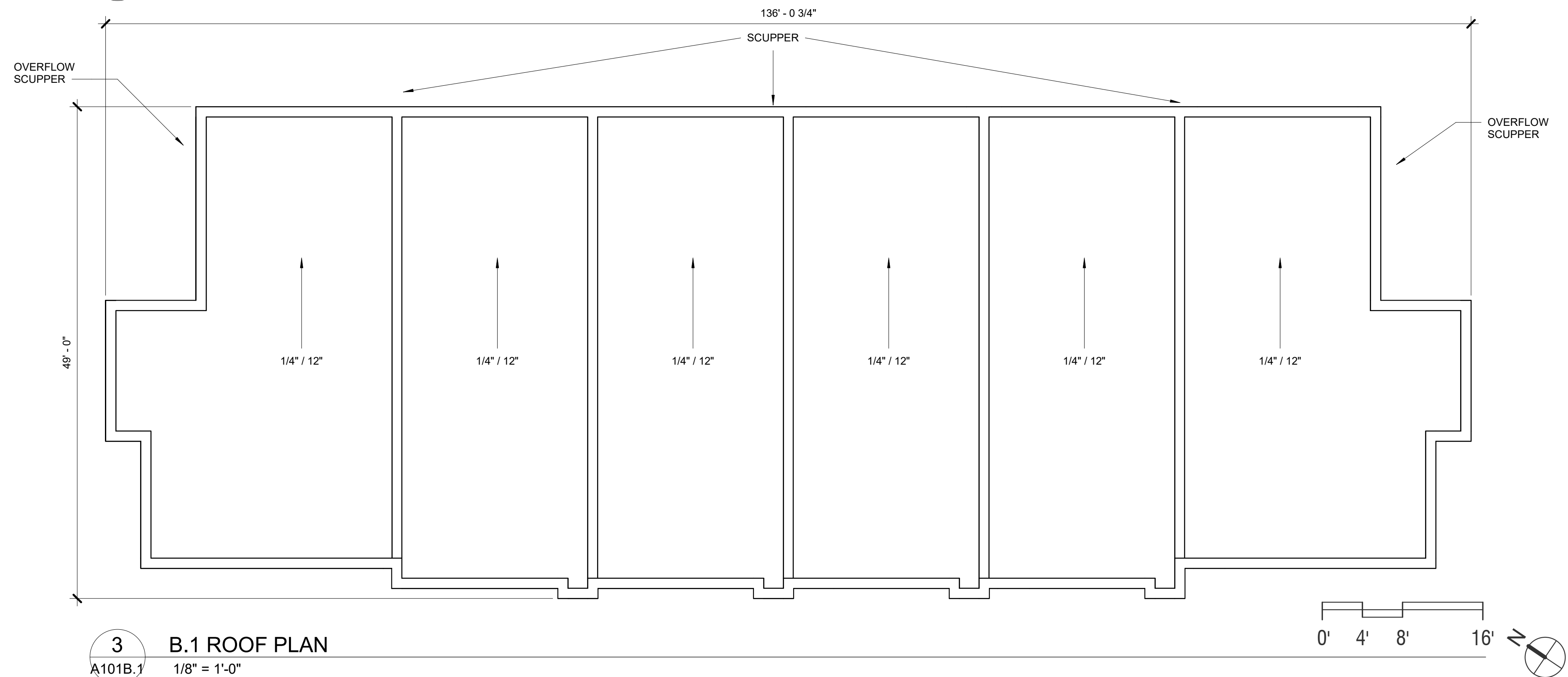
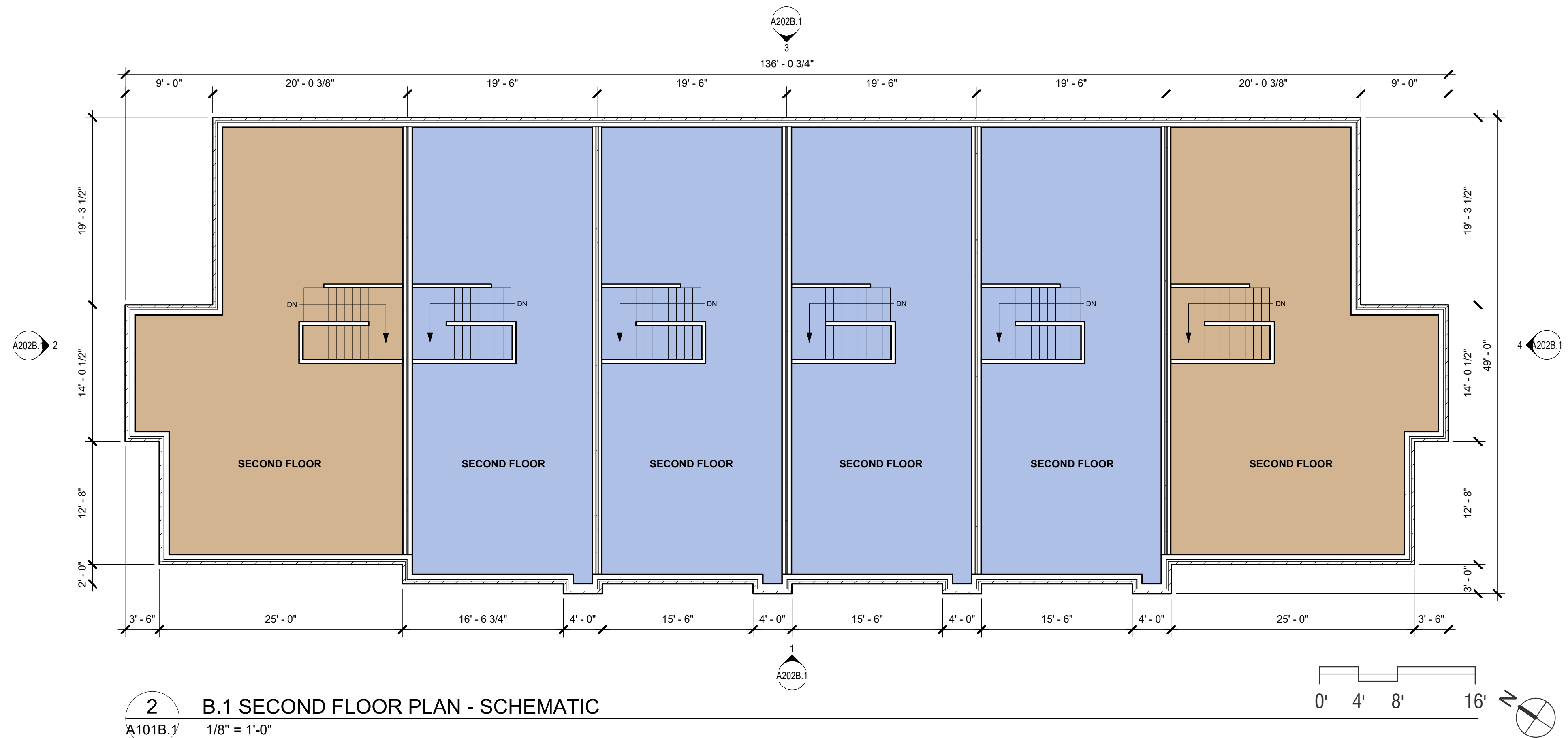
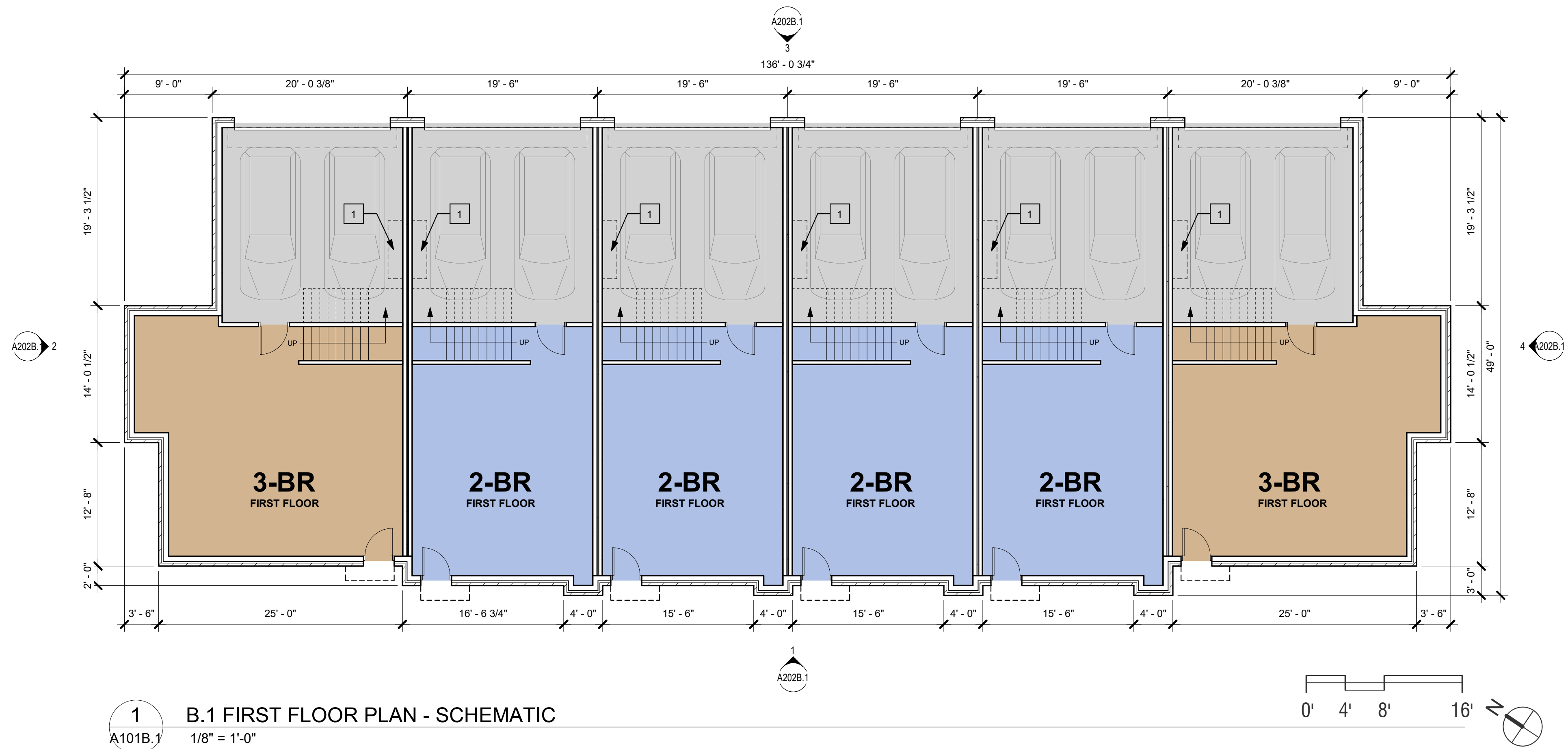
1617 SHERMAN AVE
MADISON, WI 53704

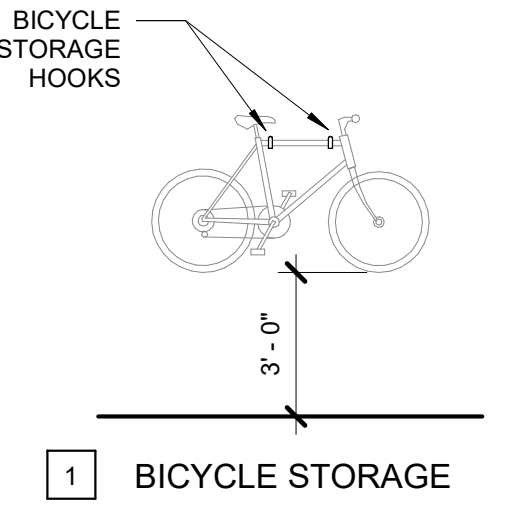
2022.21.00

[illegible]

BUILDING B.1 FLOOR & ROOF PLANS

A101B.1





PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG B.2
VERMILION

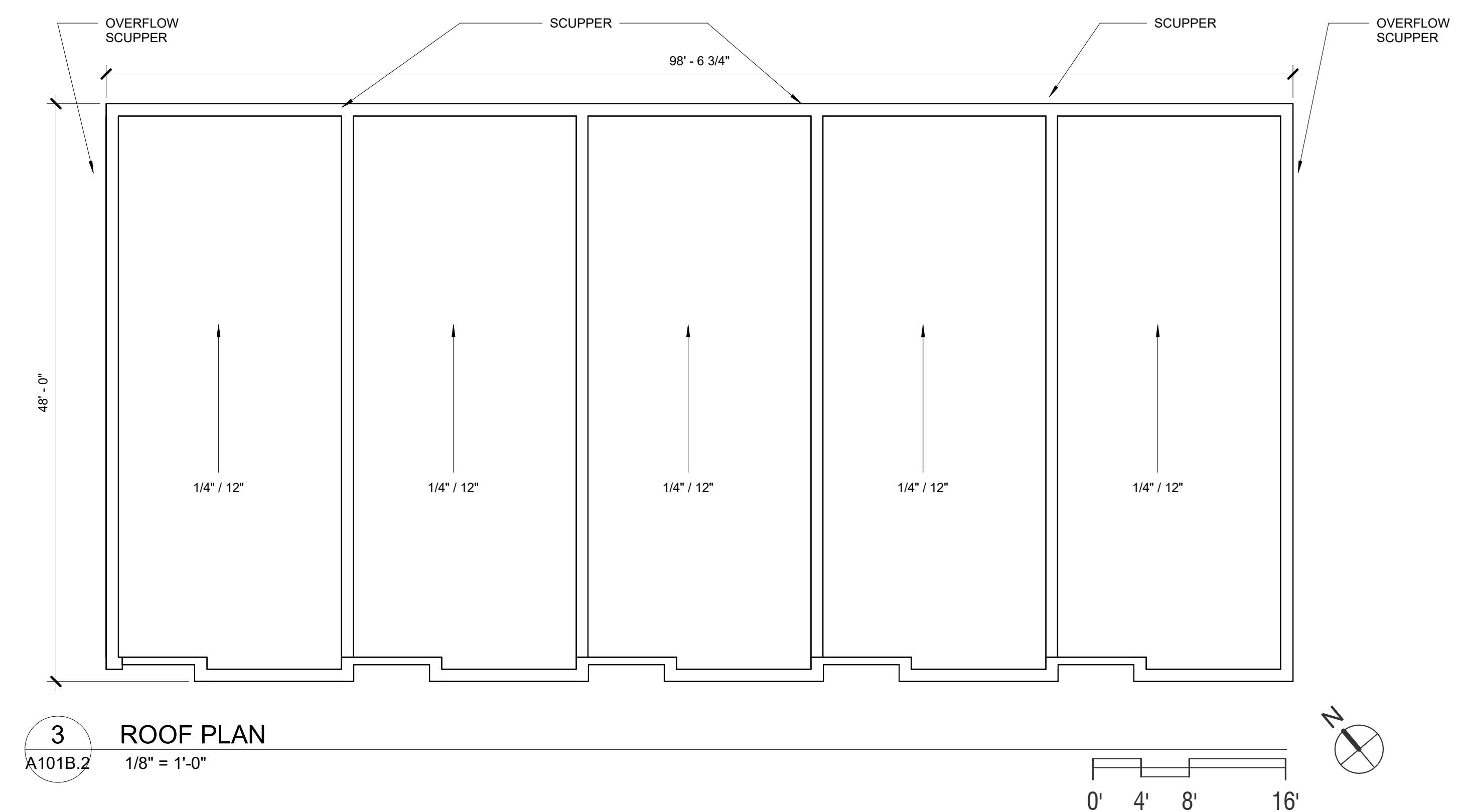
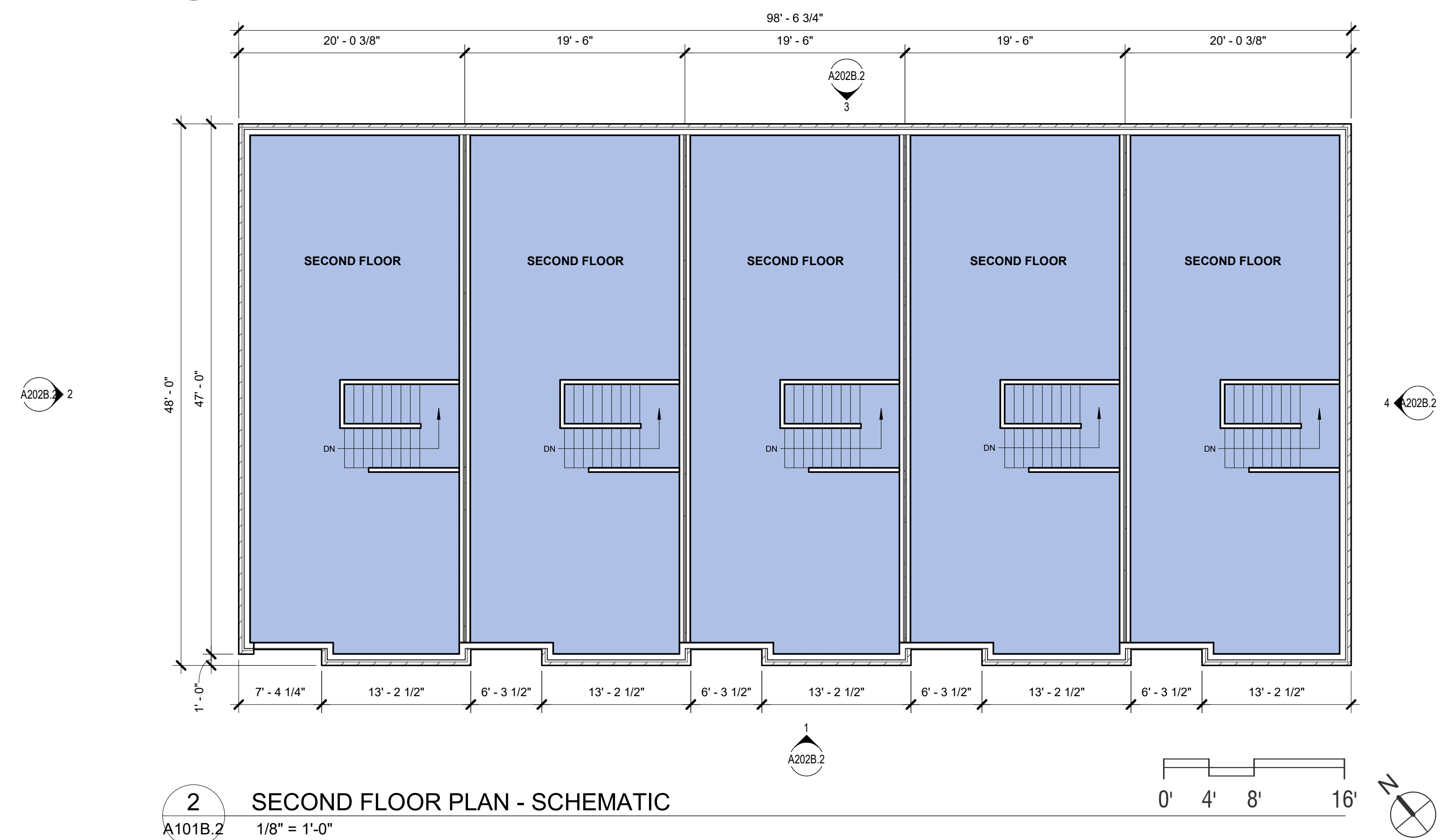
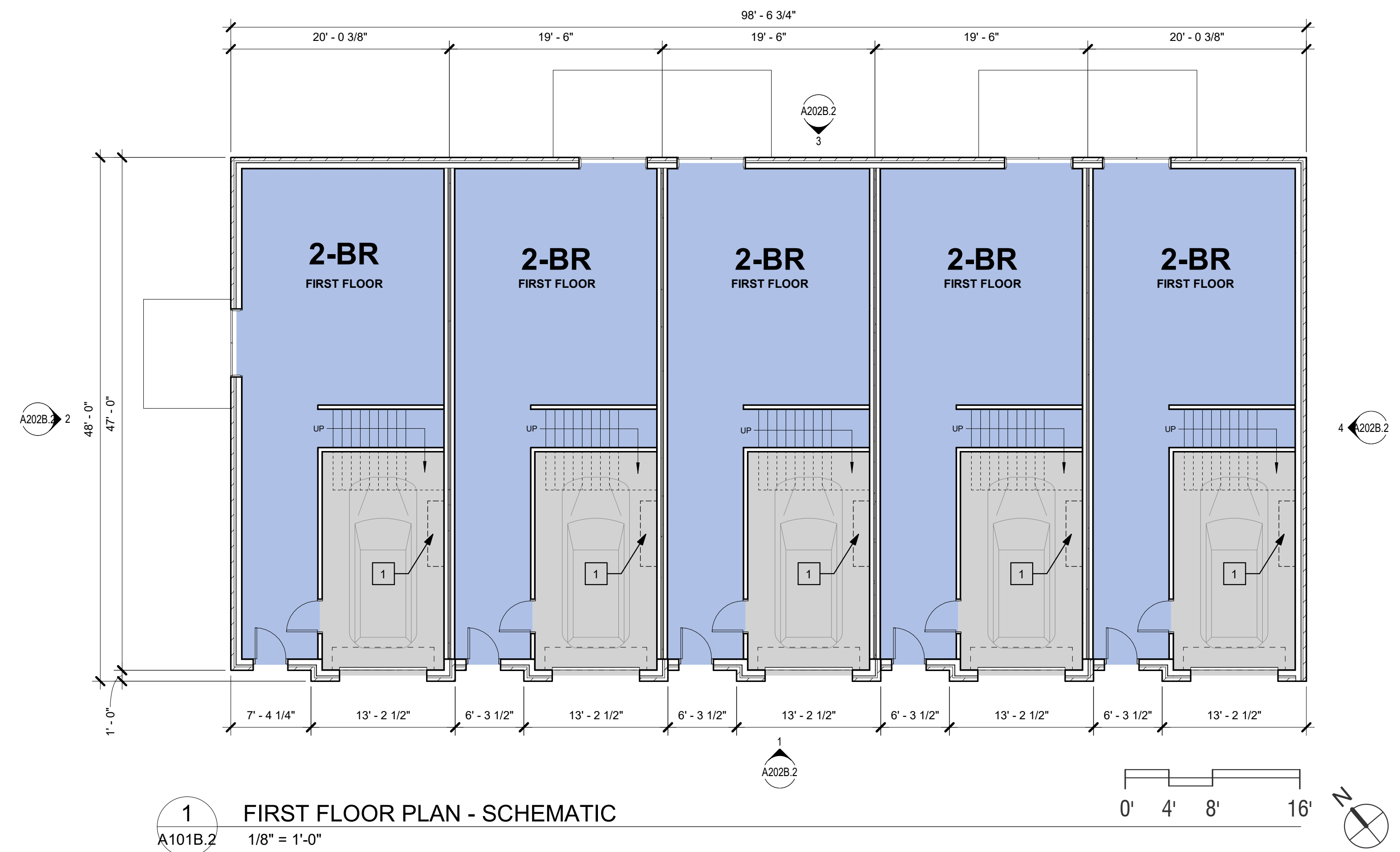
1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

BUILDING B.2 FLOOR & ROOF PLANS

A101B.2





A	HARDIE PLANK LAP SIDING BEADED SMOOTH - IRON GRAY
B	HARDIE PLANK LAP SIDING BEADED SMOOTH - COBBLESTONE
C	ENDICOTT FACE BRICK - LIGHT GRAY BLEND
D	ENDICOTT FACE BRICK - MANGANESE IRON SPOT
E	WOODSTONE RUSTIC SERIES, JAMES HARDIE - SAND CASTLE, TYPICAL
F	HARDIE ARCHITECTURAL PANEL - FINE SAND PAINT
G	HARDIE ARCHITECTURAL PANEL - SEAGRASS PAINT
H	RAILING SYSTEM, TYPICAL
I	INTUS DOOR AND WINDOWS, TYPICAL
J	PRODIMA - PARKLEX NATURCLAD B CLADDING - MUSTARD
K	OVERHEAD COILING GARAGE DOOR
L	BRAKE METAL COPING - PAINT
M	ALUMINUM HOPPER AND DOWNSPOUT

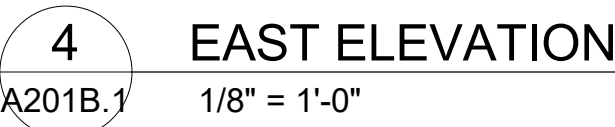
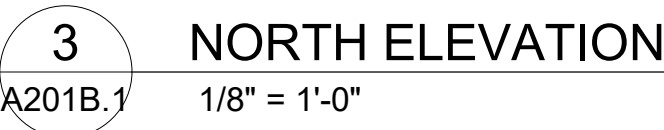
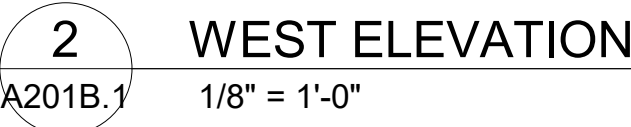
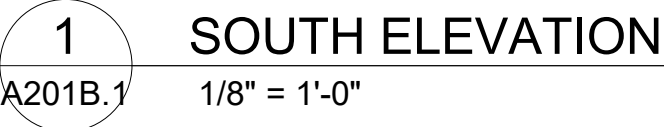
APPROACH TO BIRD-FRIENDLY GLAZING:
ALL FACADES ARE COMPOSED OF LESS THAN
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1617 SHERMAN AVE
MADISON, WI 53704

DATE	ISSUANCE/REVISIONS	
01/17/2023	LAND USE APPLICATION	1

[illegible]

A201B.1





- ▶ HARDIE PLANK LAP SIDING
BEADED SMOOTH - IRON GRAY
- ▶ HARDIE PLANK LAP SIDING
BEADED SMOOTH - COBBLESTONE
- ▶ ENDICOTT FACE BRICK - GRAY SANDS
- ▶ ENDICOTT FACE BRICK - MANGANESE IRON SPOT
- ▶ WOODSTONE RUSTIC SERIES, JAMES HARDIE
- SAND CASTLE, TYPICAL
- ▶ HARDIE ARCHITECTURAL PANEL - FINE SAND
PAINT
- ▶ HARDIE ARCHITECTURAL PANEL - SEAGRASS
PAINT
- ▶ RAILING SYSTEM, TYPICAL
- ▶ INTUS DOOR AND WINDOWS, TYPICAL
- ▶ PRODIMA - PARKLEX NATURLAC B CLADDING - MUSTARD
- ▶ OVERHEAD COILING GARAGE DOOR
- ▶ BRAKE METAL COPING - PAINT
- ▶ ALUMINUM HOPPER AND DOWNSPOUT

APPROACH TO BIRD-FRIENDLY GLAZING:
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NOT FOR CONSTRUCTION

1617 SHERMAN AVE
MADISON, WI 53704

DATE	ISSUANCE/REVISIONS	
01/17/2023	LAND USE APPLICATION	1

DATE	ISSUANCE/REVISIONS	
01/17/2023	LAND USE APPLICATION	1

[illegible]

BUILDING B.2

ELEVATIONS

COLOR

1/17/2023 7:49:40 AM

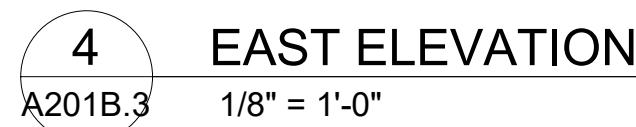
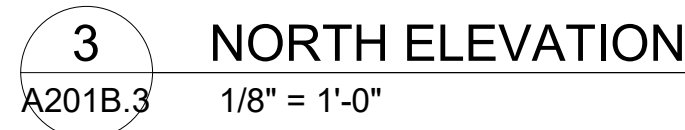
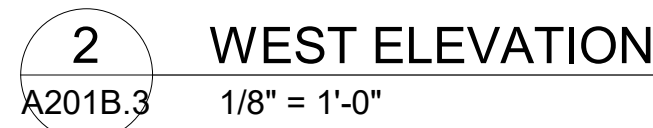
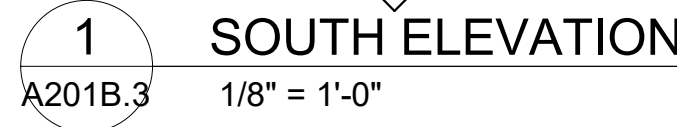


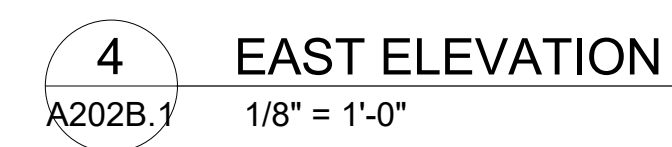
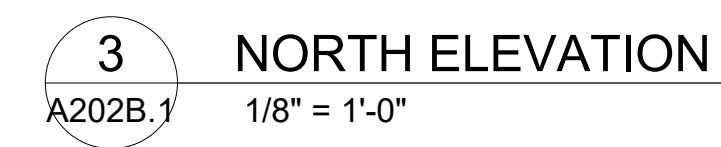
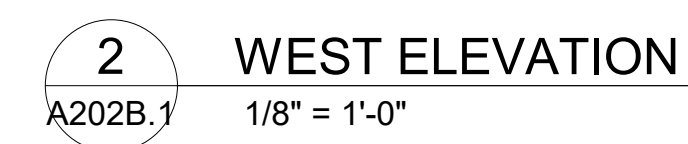
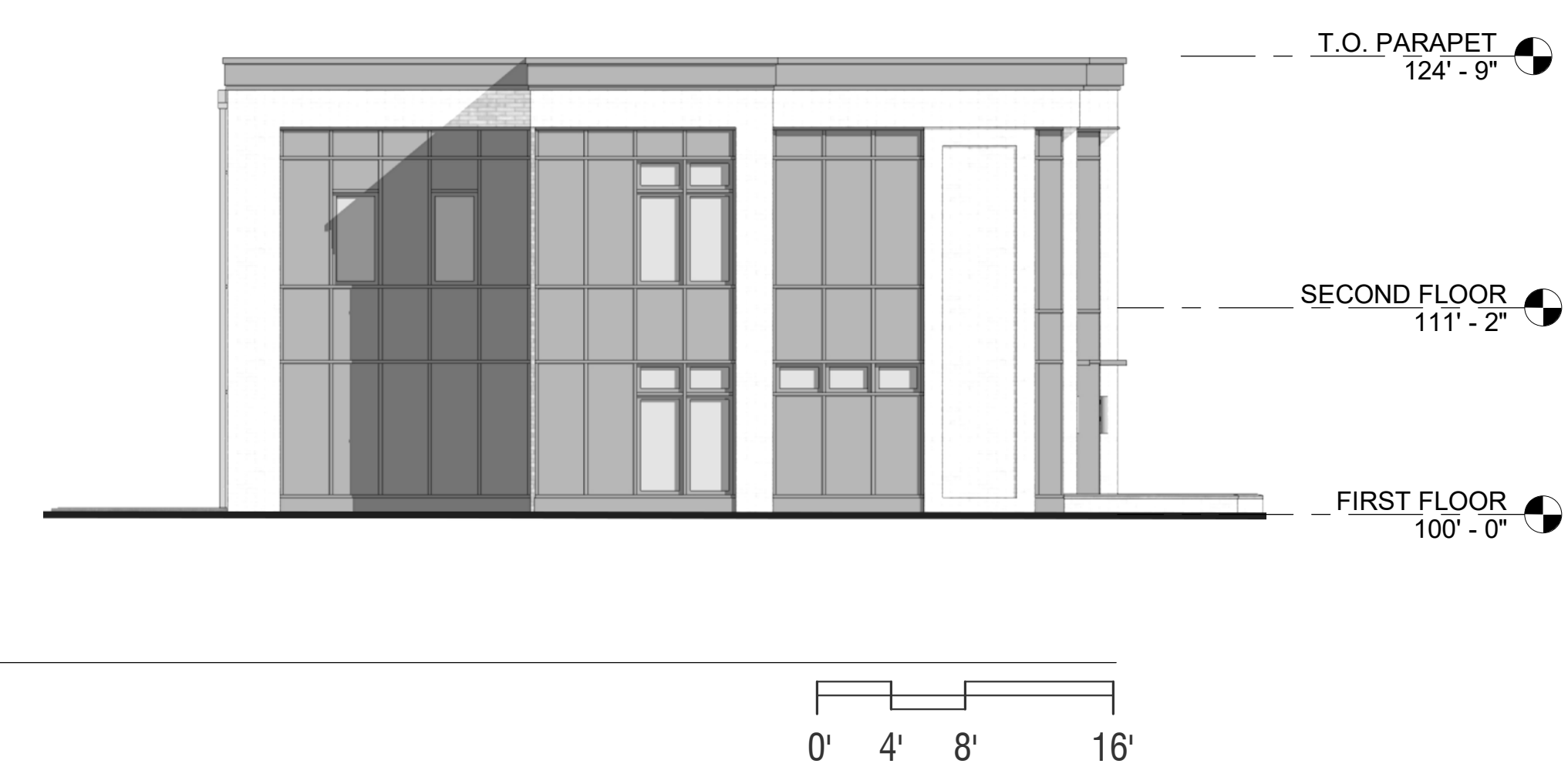
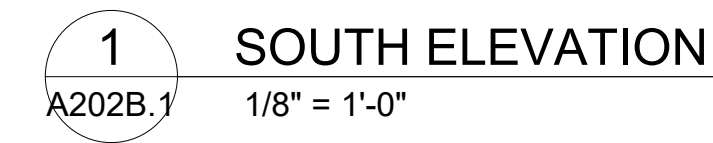
- A** HARDIE PLANK LAP SIDING
BEADED SMOOTH - IRON GRAY
- B** HARDIE PLANK LAP SIDING
BEADED SMOOTH - COBBLESTONE
- C** ENDICOTT FACE BRICK - LIGHT GRAY BLEND
- D** ENDICOTT FACE BRICK - MANGANESE IRON SPOT
- E** WOODSTONE RUSTIC SERIES, JAMES HARDIE
- SAND CASTLE, TYPICAL
- F** HARDIE ARCHITECTURAL PANEL - FINE SAND
PAINT
- G** HARDIE ARCHITECTURAL PANEL - SEAGRASS
PAINT
- H** RAILING SYSTEM, TYPICAL
- I** INTUS DOOR AND WINDOWS, TYPICAL
- J** PRODIMA - PARKLEX NATURCLAD B CLADDING - MUSTARD
- K** OVERHEAD COILING GARAGE DOOR
- L** BRAKE METAL COPING - PAINT
- M** ALUMINUM HOPPER AND DOWNSPOUT

PROACH TO BIRD-FRIENDLY GLAZING:
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










DATE	ISSUANCE/REVISIONS	
01/17/2023	LAND USE APPLICATION	1

A201B.3





MATERIAL LEGEND

-  HARDIE PLANK LAP SIDING
BEADED SMOOTH - IRON GRAY
-  HARDIE PLANK LAP SIDING
BEADED SMOOTH - COBBLESTONE
-  ENDICOTT FACE BRICK - LIGHT GRAY BLEND
-  ENDICOTT FACE BRICK - MANGANESE IRON SPOT
-  WOODTONE RUSTIC SERIES, JAMES HARDIE
- SAND CASTLE, TYPICAL
-  HARDIE ARCHITECTURAL PANEL - FINE SAND
PAINT
-  HARDIE ARCHITECTURAL PANEL - SEAGRASS
PAINT
-  RAILING SYSTEM, TYPICAL
-  INTUS DOOR AND WINDOWS, TYPICAL
-  PRODIMA - PARKLEX NATURCLAD B CLADDING - MUSTARD
-  OVERHEAD COILING GARAGE DOOR
-  BRAKE METAL COPING - PAINT
-  ALUMINUM HOPPER AND DOWNSPOUT

PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG B.3
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

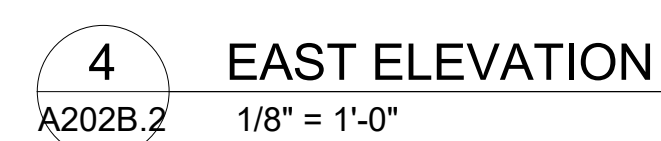
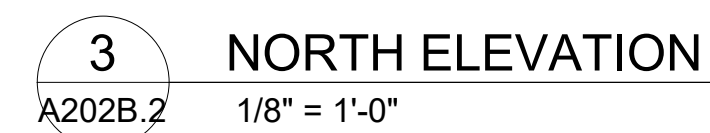
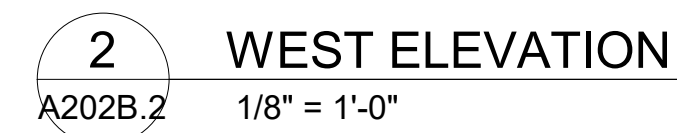
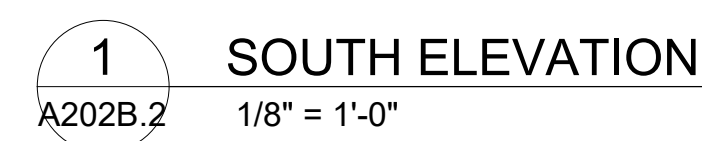
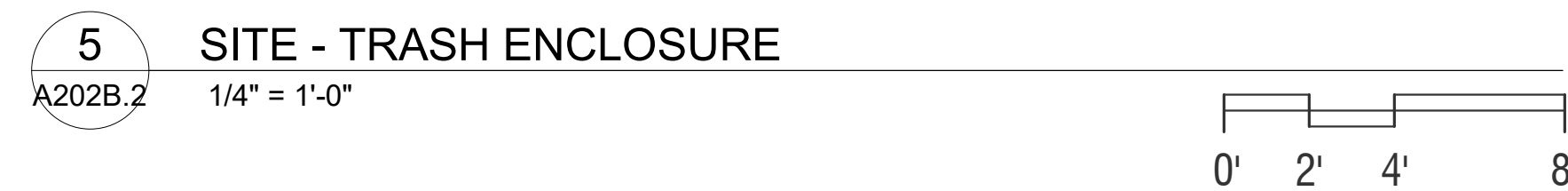
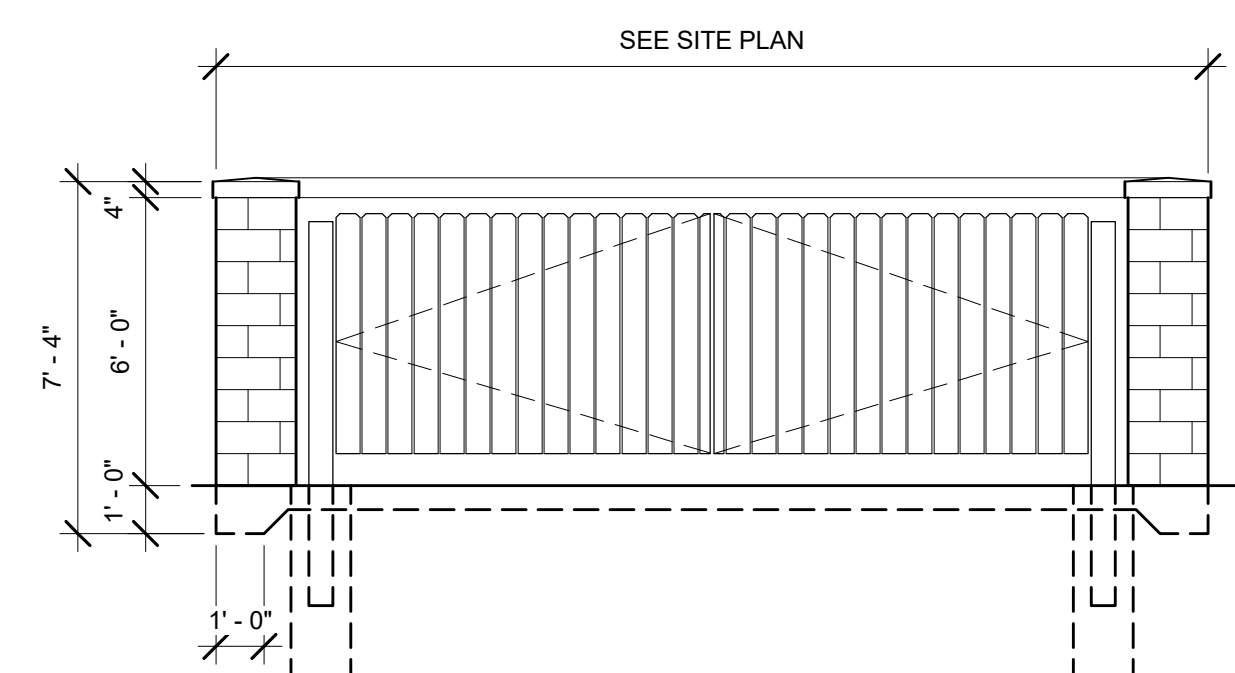
2022.21.00

[illegible]

BUILDING B.1

ELEVATIONS B/W

A202B.1



MATERIAL LEGEND

- A** HARDIE PLANK LAP SIDING
BEADED SMOOTH - IRON GRAY
- B** HARDIE PLANK LAP SIDING
BEADED SMOOTH - CORBLESTONE
- C** ENDICOTT FACE BRICK - GRAY SANDS
- D** ENDICOTT FACE BRICK - MANGANESE IRON SPOT
- E** WOODSTONE RUSTIC SERIES, JAMES HARDIE
- SAND CASTLE, TYPICAL
- F** HARDIE ARCHITECTURAL PANEL - FINE SAND
PAINT
- G** HARDIE ARCHITECTURAL PANEL - SEAGRASS
PAINT
- H** RAILING SYSTEM, TYPICAL
- I** INTUS DOOR AND WINDOWS, TYPICAL
- J** PRODIMA - PARKLEX NATURCLAD B CLADDING - MUSTARD
- K** OVERHEAD COILING GARAGE DOOR
- L** BRAKE METAL COPING - PAINT
- M** ALUMINUM HOPPER AND DOWNSPOUT

PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE BLDG B.2
VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

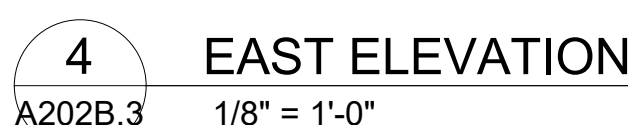
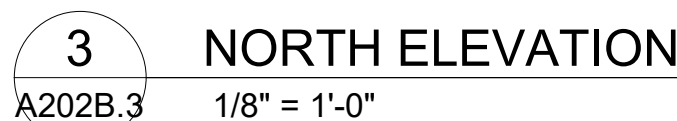
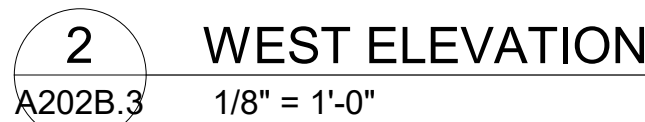
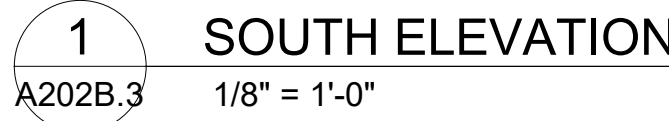
2022.21.00

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BUILDING B.2

ELEVATIONS B/W

A202B.2



A202B.3

CONTEXT PHOTOS



McKENZIE PLACE: 2221 SHERMAN AVE



SHERMAN TERRACE: SHERMAN AVE



LAKEWOOD GARDENS: 1909 SHERMAN AVE



McKENZIE PLACE: 1640-1646 SHERMAN AVE



LAKE MENDOTA VIEW



NORTH VIEW



EAST VIEW



TENNEY PARK VIEW

1617 SHERMAN AVE EXISTING BUILDING PHOTOS



SHERMAN AVE FACADE



SOUTH ADDITION



EAST ENTRY ADDITION



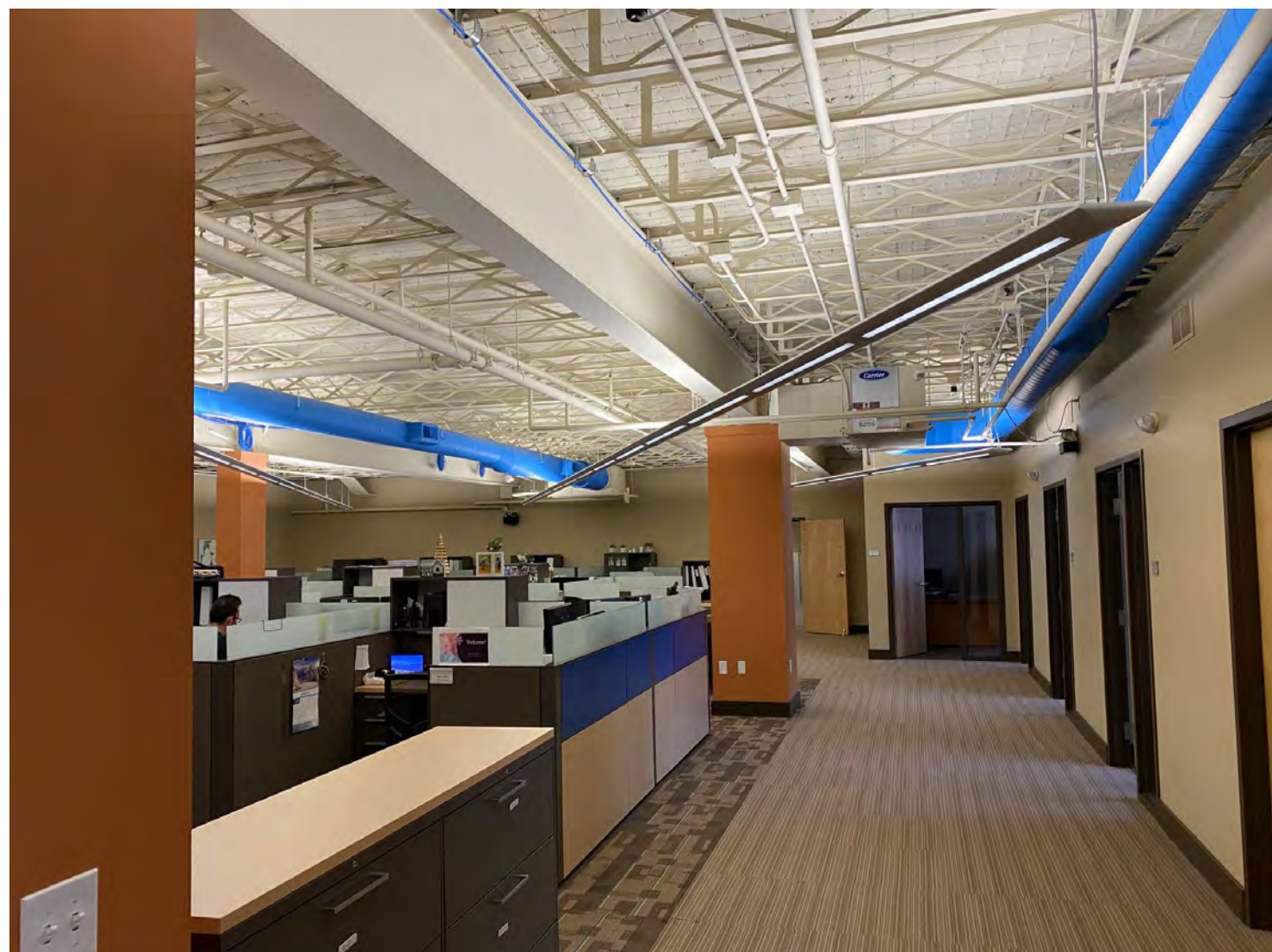
NORTH ADDITION



ORIGINAL WEST LOBBY ENTRY



ORIGINAL LOBBY



TYPICAL OPEN OFFICE SPACE



EAST ENTRY LOBBY ADDITION

PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE

VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

DATE 01/17/2023 ISSUANCE/REVISIONS LAND USE APPLICATION

CONTEXT &
EXISTING
BUILDING PHOTOS

BUILDING MATERIALS

BUILDINGS A AND C:



James Hardie Lap Siding
Iron Gray

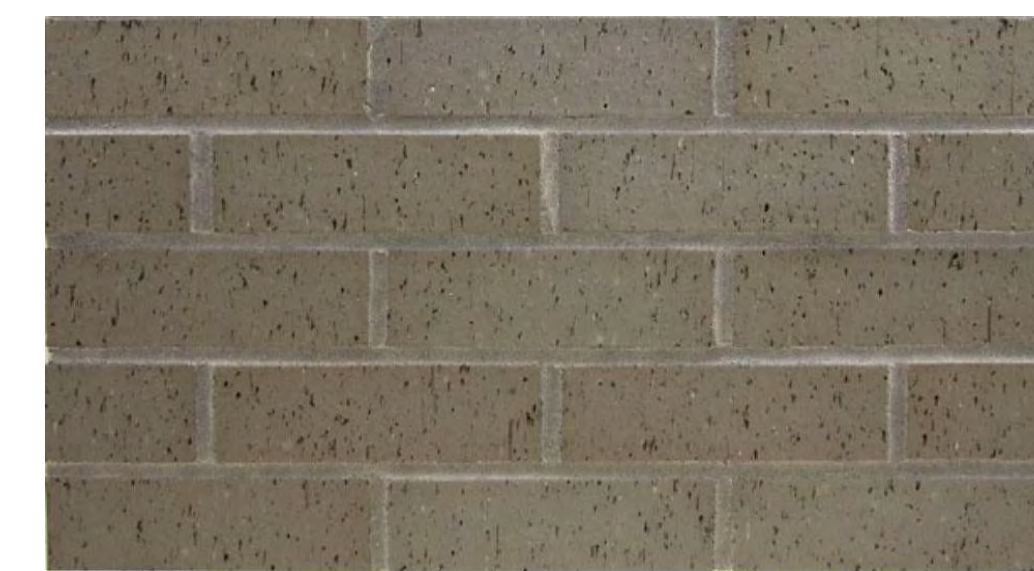


Endicott Brick
Manganese Iron Spot

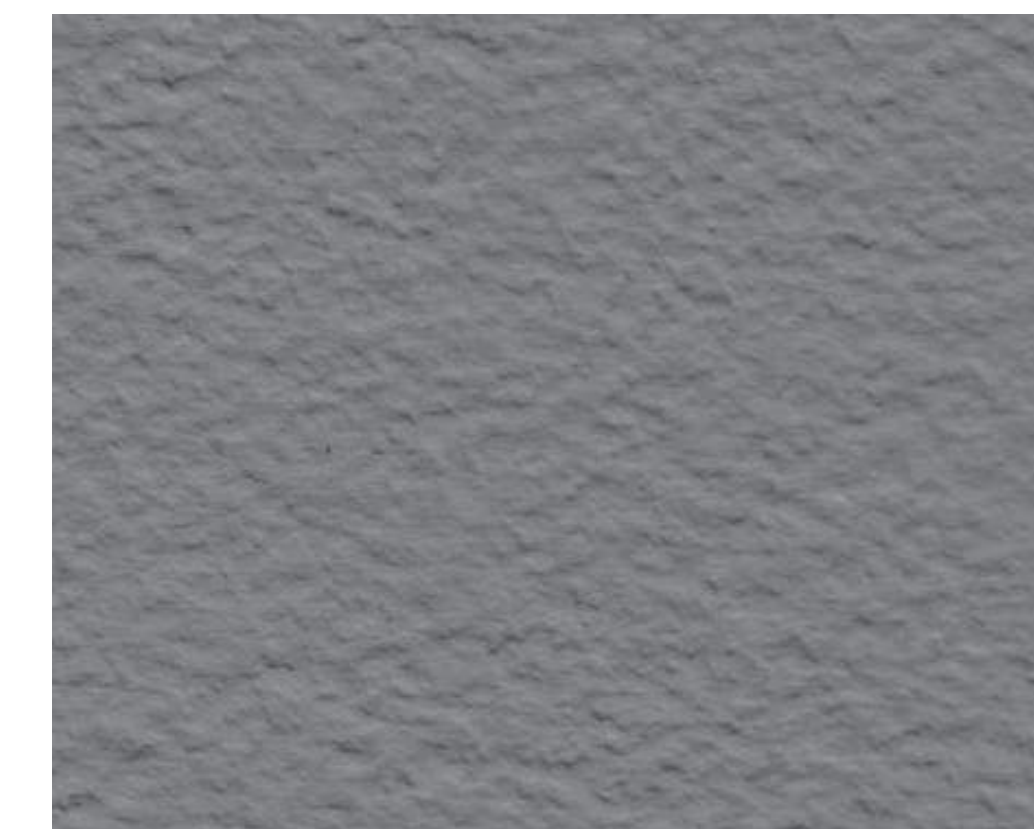


James Hardie Rustic Series Woodtone Sand Castle

BUILDINGS B1 AND B3:

James Hardie Lap Siding
CobbleStone

Endicott Brick
Light Gray Blend Velour Texture

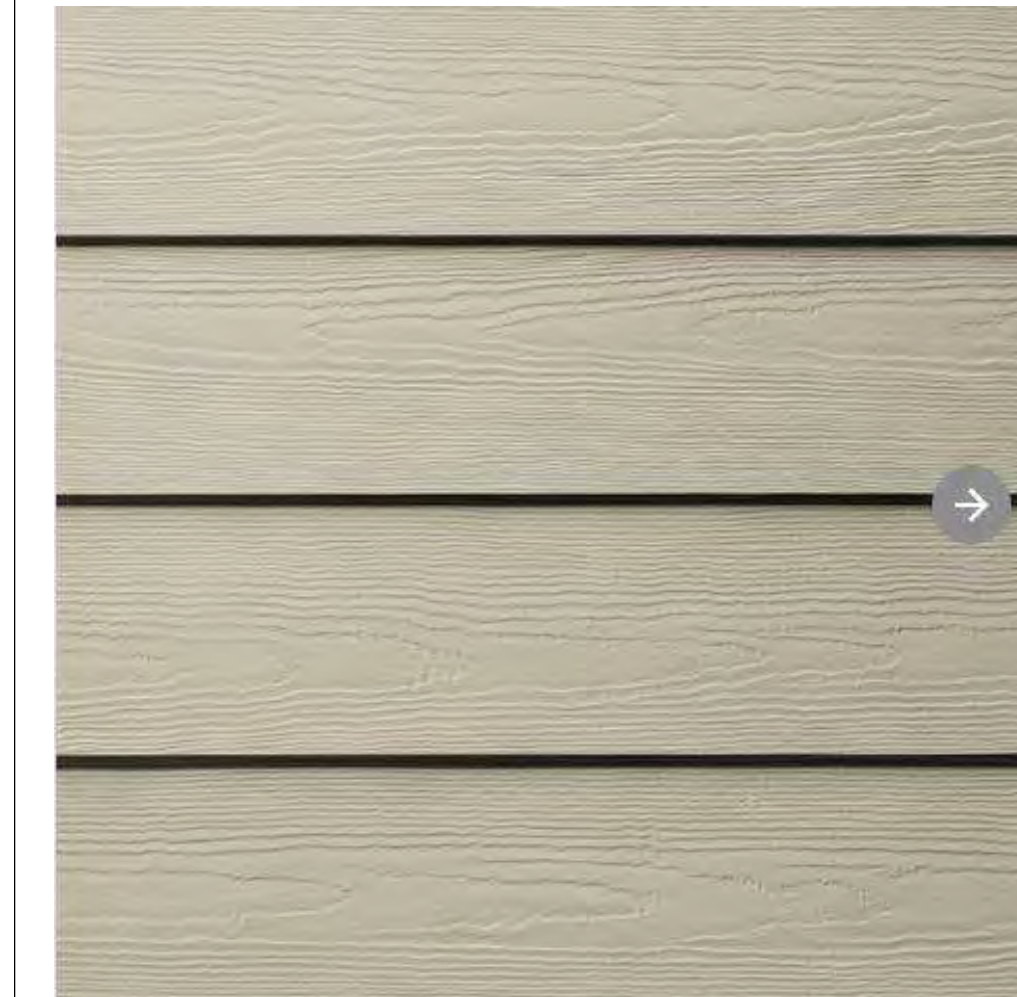


James Hardie Architectural Panel
Fine Sand -
Paint to match Iron Gray Lap Siding



Parklex Prodima Naturclad-B Cladding
Mustard Color

BUILDING B2:

James Hardie Lap Siding
CobbleStone

Endicott Brick
Light Gray Blend Velour Texture



James Hardie Architectural Panel
Sea Grass -
Paint Cream Froth OC-97

PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE

VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

BUILDING MATERIALS

G002

**FOR ILLUSTRATIVE
PURPOSES ONLY.
REFER TO LANDSCAPE
DRAWING L100 FOR
ACCURATE
PLANTINGS.**



PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE

VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

2022.21.00

[illegible]

EXTERIOR PERSPECTIVES

G003

1617 SHERMAN AVE
MADISON, WI 53704

[illegible]

E001



Luminaire Schedule								
Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
CAT	169	SINGLE	0.950	ALLIZ	AS-20Z0-07N+uk-GSF-1W - MOUNTED 2' ON CENTER - CABLE BY OTHERS	0.73	123.37	918
OA1	2	SINGLE	0.950	LITHONIA	DSK1 LED P2x 80CRI TFFM +20' POLE + 3' BASE	67.79	135.58	4854
OA2	3	SINGLE	0.950	LITHONIA	DSKWPML LED 10C 530 uk T2M MVOLT + 10' POLE + 2' BASE	19.1	57.3	2101
QA2M	1	SINGLE	0.950	LITHONIA	DSK1 LED P1 xok 80CRI T2M + 20' POLE +3' BASE	50.9	50.9	6887
QA3M	2	SINGLE	0.950	LITHONIA	DSK1 LED P2x uk 80CRI T3M HS + 20' POLE +3' BASE	67.7927	135.5854	7764
QAFT	3	SINGLE	0.950	LITHONIA	DSKWPML LED 10C 1000 uk TFFM MVOLT DDL + 10' POLE + 2' BASE	38.8	116.4	3656
OB2	19	SINGLE	0.950	LUMINIS	BVA11B-L116-TYP2	19.2	364.8	1637
OD	28	SINGLE	0.950	LITHONIA	LDN6 xx_10 LOGAR LSS	10.44	292.32	953
OW	4	SINGLE	0.950	LITHONIA	WPX2 LED uk Mvolt	47.77	191.08	5886
OW1	64	SINGLE	0.950	LITHONIA	WPX1 LED P2x uk Mvolt	24.42	1562.88	2913
OW2	6	SINGLE	0.950	LITHONIA	DSKW1 LED 20C 1000 uk T2S MVOLT	73.2	439.2	7736

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: AS-ZO-20-STN-24-XXX-GSF-WET-160F
Type: CAT
ALUZ
AS Series | String / Festoon
2020 Standard
LAMP OPTIONS
GENERAL FEATURES
Applications: Indoor and Outdoor
Length: Built to Order (1' - 18' Tailpiece)
Finish: Black
Feed: Standard 4' Power Lead
Mounting: Cable (Included, Not for Mounting)
Lighting: Day or Night Location
Options: Motion Sensing, 0-10V
Electrical: 120V
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 1 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: AS-ZO-20-STN-24-XXX-GSF-WET-160F
Type: CAT
ALUZ
AS Series | String / Festoon
2020 Standard
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Options: Motion Sensing, 0-10V
Electrical: 120V
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 2 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: AS-ZO-20-STN-24-XXX-GSF-WET-160F
Type: CAT
ALUZ
AS Series | String / Festoon
2020 Standard
ACCESSORIES (Sold Separately)
MOUNTING OPTIONS (Sold Separately - Click image to see cut sheet, if applicable)
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 3 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: AS-ZO-20-STN-24-XXX-GSF-WET-160F
Type: CAT
ALUZ
AS Series | String / Festoon
2020 Standard
DESIGN GUIDELINES
INSTALLATION OPTIONS
INSTALLATION RECOMMENDATIONS
WEIGHT PER FOOT
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 4 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: D-SERIES LED P7 40K T3M MVOLT SPA STD FINISH G1
Type: OA1
D-Series Size 1
Legacy LED Area Luminaire
Specifications
Introduction
Ordering Information
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 1 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: D-SERIES LED P7 40K T3M MVOLT SPA STD FINISH G1
Type: OA1
D-Series Size 1
Legacy LED Area Luminaire
Specifications
Introduction
Ordering Information
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 2 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: D-SERIES LED P7 40K T3M MVOLT SPA STD FINISH G1
Type: OA1
D-Series Size 1
Legacy LED Area Luminaire
Specifications
Introduction
Ordering Information
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 3 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: D-SERIES LED P7 40K T3M MVOLT SPA STD FINISH G1
Type: OA1
D-Series Size 1
Legacy LED Area Luminaire
Specifications
Introduction
Ordering Information
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 4 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: D-SERIES LED P7 40K T3M MVOLT SPA STD FINISH G1
Type: OA1
D-Series Size 1
Legacy LED Area Luminaire
Specifications
Introduction
Ordering Information
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 1 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: D-SERIES LED P7 40K T3M MVOLT SPA STD FINISH G1
Type: OA1
D-Series Size 1
Legacy LED Area Luminaire
Specifications
Introduction
Ordering Information
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 2 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: SSS-20-4C-DIMBAS STD FINISH
Type: OA1
SSS
SQUARE STRAIGHT STEEL
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 1 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: SSS-20-4C-DIMBAS STD FINISH
Type: OA1
SSS
SQUARE STRAIGHT STEEL
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 2 of 4


Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: SSS-20-4C-DIMBAS STD FINISH
Type: OA1
SSS
SQUARE STRAIGHT STEEL
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 3 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: SSS-20-4C-DIMBAS STD FINISH
Type: OA1
SSS
SQUARE STRAIGHT STEEL
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 4 of 4

Submitted by Enterprise Lighting, LTD.
Job Name: 1617 Sherman Ave - Site
Catalog Number: D-SERIES LED P7 40K T3M MVOLT SPA STD FINISH G1
Type: OA1
D-Series Size 1
Legacy LED Area Luminaire
Specifications
Introduction
Ordering Information
170 North Red Gum Street, Anaheim, CA 92806
Specification Submitted: Page 1 of 4

Potter Lawson
Success by Design
PRELIMINARY
NOT FOR CONSTRUCTION
1617 SHERMAN AVE
VERMILION
1617 SHERMAN AVE
MADISON, WI 53704
2022.21.00
DATE: 01/17/2023
ISSUANCE/REVISIONS: LAND USE APPLICATION
LIGHTING CUT SHEETS
E002

[illegible]



Job Name:
W7 Shanman Ave - Sha

Catalog Number:
SSS 20 4C DM18AS 2ST FINISH

Notes:

Type:
OA2M

2.0/2.0/1.0/0.5

SSS Square Steel Poles

BASE DETAIL

PARAMETER

Sheet Size	Base Plate Size	Base Diameter C	Base Height C	Baseplate Thickness	Welding Electrode	Anchor Bolt Diameter	Anchor Bolt Spacing
4'x6'	8" x 8"	1.57 x 1.57	4" x 6.25"	0.50"	A51550M/SAE192404	A503-8	A503-8
6'x6'	8" x 8"	1.57 x 1.57	6" x 6.25"	0.50"	A51550M/SAE192404	A503-8	A503-8
8'x8'	10" x 10"	1.57 x 1.57	8"	0.50"	A51550M/SAE192404	A503-8	A503-8
10'x10'	12" x 12"	1.57 x 1.57	10"	0.50"	A51550M/SAE192404	A503-8	8x8

HANDHOLE ORIENTATION

IMPORTANT INSTALLATION NOTES

- Be aware of pole orientation when installing:
 - For top-mounted installation, be sure not to allow setting on other side. (When lighting will be used place the correct mounting placement due to failure to correct lighting fixture location)
 - For pole-mounted installation, all pole-mounted equipment will be oriented accordingly (per utility location hand drawing)
 - When lighting will be exposed for the handhole design, be hand-hole oriented in 12" orientation

CARET: One installation is shown; please contact your account manager for the right-to-left change of design, without pole rotation, in a mounting style that is required by jurisdiction.

LITHIONIA LIGHTING

©2020 LLL - One Calhoun Way, Corpus, LA 78411 Phone: 888.755.5288 (7378) www.lithonia.com

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[illegible][illegible]

Submitted by: **Enterprise Lighting, LTD**

Job Name:
1617. Zhewamen Ave - Site

Enterprise Lighting

Catalog Number:
DSX1 LED P2 7K T3M 52W IMVOLT SPA
H6 STD FINISH Q1

Notes:

Type:
OA3M3

ELC2-1186163

Photometric Diagrams

Legend:

- 100% 0.4V
- 50% 0.4V
- 10% 0.4V

Legend:

- 100% 0.4V
- 50% 0.4V
- 10% 0.4V

To view complete photometric reports or download as files for this product, visit [Lithonia Lighting's 3-D Sims and Data Downloads](#).

Legend:

- 100% 0.4V
- 50% 0.4V
- 10% 0.4V

LITHONIA LIGHTING

COMMERCIAL OUTDOOR

One Lithonia Way • Smyrna, Georgia 30134 • Phone: 1-800-150-5591 • [www.lithonia.com](#)


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DSX1 150-011
Rev: 01/2020
Page 3 of 3

Submitted On: Jan 13, 2023

3/6

Index Page

	OSRAM Opto Electronics Lighting Ltd. Job Number: 1917 Sherman Ave. - Site		Catalog Number: DSX1 LED P2-™ K31 MVOLT SPA HS STD FINISH C7 Notes:	Part Number: OA3M \$11.00 (10000)						
	Enterprise Light									
Performance Data										
Lumen Ambient Temperature (LAT) Multipliers Multiplier for Lumen Output at Ambient Temperature (LAT) Multiplier (LAT = Ambient Temperature - 25°C)										
LAT	25°C	1.00								
27°C	0.99									
29°C	0.98									
31°C	0.97									
33°C	0.96									
35°C	0.95									
37°C	0.94									
39°C	0.93									
41°C	0.92									
43°C	0.91									
45°C	0.90									
47°C	0.89									
49°C	0.88									
51°C	0.87									
53°C	0.86									
55°C	0.85									
57°C	0.84									
59°C	0.83									
61°C	0.82									
63°C	0.81									
65°C	0.80									
67°C	0.79									
69°C	0.78									
71°C	0.77									
73°C	0.76									
75°C	0.75									
77°C	0.74									
79°C	0.73									
81°C	0.72									
83°C	0.71									
85°C	0.70									
87°C	0.69									
89°C	0.68									
91°C	0.67									
93°C	0.66									
95°C	0.65									
97°C	0.64									
99°C	0.63									
101°C	0.62									
103°C	0.61									
105°C	0.60									
107°C	0.59									
109°C	0.58									
111°C	0.57									
113°C	0.56									
115°C	0.55									
117°C	0.54									
119°C	0.53									
121°C	0.52									
123°C	0.51									
125°C	0.50									
127°C	0.49									
129°C	0.48									
131°C	0.47									
133°C	0.46									
135°C	0.45									
137°C	0.44									
139°C	0.43									
141°C	0.42									
143°C	0.41									
145°C	0.40									
147°C	0.39									
149°C	0.38									
151°C	0.37									
153°C	0.36									
155°C	0.35									
157°C	0.34									
159°C	0.33									
161°C	0.32									
163°C	0.31									
165°C	0.30									
167°C	0.29									
169°C	0.28									
171°C	0.27									
173°C	0.26									
175°C	0.25									
177°C	0.24									
179°C	0.23									
181°C	0.22									
183°C	0.21									
185°C	0.20									
187°C	0.19									
189°C	0.18									
191°C	0.17									
193°C	0.16									
195°C	0.15									
197°C	0.14									
199°C	0.13									
201°C	0.12									
203°C	0.11									
205°C	0.10									
207°C	0.09									
209°C	0.08									
211°C	0.07									
213°C	0.06									
215°C	0.05									
217°C	0.04									
219°C	0.03									
221°C	0.02									
223°C	0.01									
225°C	0.00									
227°C	0.00									
229°C	0.00									
231°C	0.00									
233°C	0.00									
235°C	0.00									
237°C	0.00									
239°C	0.00									
241°C	0.00									
243°C	0.00									
245°C	0.00									
247°C	0.00									
249°C	0.00									
251°C	0.00									
253°C	0.00									
255°C	0.00									
257°C	0.00									
259°C	0.00									
261°C	0.00									
263°C	0.00									
265°C	0.00									
267°C	0.00									
269°C	0.00									
271°C	0.00									
273°C	0.00									
275°C	0.00									
277°C	0.00									
279°C	0.00									
281°C	0.00									
283°C	0.00									
285°C	0.00									
287°C	0.00									
289°C	0.00									
291°C	0.00									
293°C	0.00									
295°C	0.00									
297°C	0.00									
299°C	0.00									
301°C	0.00									
303°C	0.00									
305°C	0.00									
307°C	0.00									
309°C	0.00									
311°C	0.00									
313°C	0.00									
315°C	0.00									
317°C	0.00									

[illegible]

<p>Accessed by Extension Lighting 110</p> <div data-bbox="1184 768 1252 804">  <p>Extension LIGHTING</p> </div> <div data-bbox="1261 768 1344 789"> <p>Job Name: 1017 Shomana Ave - Site</p> </div> <div data-bbox="1383 764 1578 1323"> <div data-bbox="1383 764 1510 793"> <p>Catalog Number: LED 1 LED 9K T3M MVLDT SPA HS D70 100W D60</p> </div> <div data-bbox="1513 764 1578 793"> <p>Type: OAS3M 0.171/1.70/1.0</p> </div> <div data-bbox="1196 1029 1291 1037"> <p>FEATURES & SPECIFICATIONS</p> </div> <div data-bbox="1196 1043 1243 1052"> <p>REINFORCED UGL</p> </div> <div data-bbox="1196 1052 1380 1073"> <p>LED technology is used for lighting, which provides the outstanding light quality and is suitable for many different indoor and outdoor applications, such as street lighting, parking lots, and underground lighting.</p> </div> <div data-bbox="1196 1077 1243 1087"> <p>CONSTRUCTION</p> </div> <div data-bbox="1196 1087 1380 1136"> <p>LED technology and aluminum housing has integral heat sink for light application. The LED technology is used for lighting, which provides the outstanding light quality and is suitable for many different indoor and outdoor applications, such as street lighting, parking lots, and underground lighting. The LED technology is used for lighting, which provides the outstanding light quality and is suitable for many different indoor and outdoor applications, such as street lighting, parking lots, and underground lighting.</p> </div> <div data-bbox="1196 1142 1222 1150"> <p>FINISH</p> </div> <div data-bbox="1196 1150 1380 1178"> <p>Surface is powder coated by a professional Finish Super Durable T300 powder. The surface is powder coated by a professional Finish Super Durable T300 powder. The surface is powder coated by a professional Finish Super Durable T300 powder.</p> </div> <div data-bbox="1196 1184 1222 1192"> <p>OPTIC</p> </div> <div data-bbox="1196 1192 1380 1230"> <p>Optic is designed for lighting application. The optic is designed for lighting application. The optic is designed for lighting application. The optic is designed for lighting application.</p> </div> <div data-bbox="1196 1236 1228 1245"> <p>ELECTRICAL</p> </div> <div data-bbox="1196 1245 1380 1283"> <p>Electrical specifications comply with the high voltage LED technology. The electrical specifications comply with the high voltage LED technology. The electrical specifications comply with the high voltage LED technology.</p> </div> <div data-bbox="1196 1289 1243 1297"> <p>STANDARD CONFIG</p> </div> <div data-bbox="1196 1297 1380 1325"> <p>Standard configuration is provided for lighting application. The standard configuration is provided for lighting application. The standard configuration is provided for lighting application.</p> </div> <div data-bbox="1383 1043 1451 1052"> <p>LED LIGHT CONTROL</p> </div> <div data-bbox="1383 1052 1564 1089"> <p>LED technology is used for lighting, which provides the outstanding light quality and is suitable for many different indoor and outdoor applications, such as street lighting, parking lots, and underground lighting.</p> </div> <div data-bbox="1383 1096 1412 1104"> <p>LED OPTIC</p> </div> <div data-bbox="1383 1104 1564 1136"> <p>Optic is designed for lighting application. The optic is designed for lighting application. The optic is designed for lighting application. The optic is designed for lighting application.</p> </div> <div data-bbox="1383 1142 1427 1150"> <p>INSTALLATION</p> </div> <div data-bbox="1383 1150 1564 1184"> <p>Installation is designed for lighting application. The installation is designed for lighting application. The installation is designed for lighting application. The installation is designed for lighting application.</p> </div> <div data-bbox="1383 1190 1451 1199"> <p>ROYALTY AGREEMENT</p> </div> <div data-bbox="1383 1199 1564 1230"> <p>Royalty agreement is provided for lighting application. The royalty agreement is provided for lighting application. The royalty agreement is provided for lighting application.</p> </div> <div data-bbox="1383 1236 1412 1245"> <p>WARRANTY</p> </div> <div data-bbox="1383 1245 1564 1283"> <p>Warranty is provided for lighting application. The warranty is provided for lighting application. The warranty is provided for lighting application. The warranty is provided for lighting application.</p> </div> <div data-bbox="1383 1289 1564 1325"> <p>Notes: Additional information is provided for lighting application. The additional information is provided for lighting application. The additional information is provided for lighting application.</p> </div> </div>

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Designed by Encon Lighting LTD.		Catalog Number:			Type:								
Job Name:		SSS 20 40 CMM18AS STD FINISH			OA3M								
Customer Light:		Notes:			E11.11.11.11								
1917 Shearman Ave - Site													
SSS Square Straight Steel Poles													
TECHNICAL INFORMATION — EPA 1917 WITH 1st SECOND GIRT PER 40' HEIGHT													
Catalog Number	Normal Pole Height (ft)	Wind Speed (mph)	Lat/Long	Wind Speed (mph)	Lat/Long	Approximate Weight (lbs)							
2015-04-02	15	42.0	1.0	11	36.4	25							
2015-04-02	20	42.0	1.0	11	36.4	35							
2015-04-02	25	42.0	1.0	11	36.4	45							
2015-04-02	30	42.0	1.0	11	36.4	55							
2015-04-02	35	42.0	1.0	11	36.4	65							
2015-04-02	40	42.0	1.0	11	36.4	75							
2015-04-02	45	42.0	1.0	11	36.4	85							
2015-04-02	50	42.0	1.0	11	36.4	95							
2015-04-02	55	42.0	1.0	11	36.4	105							
2015-04-02	60	42.0	1.0	11	36.4	115							
2015-04-02	65	42.0	1.0	11	36.4	125							
2015-04-02	70	42.0	1.0	11	36.4	135							
2015-04-02	75	42.0	1.0	11	36.4	145							
2015-04-02	80	42.0	1.0	11	36.4	155							
2015-04-02	85	42.0	1.0	11	36.4	165							
2015-04-02	90	42.0	1.0	11	36.4	175							
2015-04-02	95	42.0	1.0	11	36.4	185							
2015-04-02	100	42.0	1.0	11	36.4	195							
2015-04-02	105	42.0	1.0	11	36.4	205							
2015-04-02	110	42.0	1.0	11	36.4	215							
2015-04-02	115	42.0	1.0	11	36.4	225							
2015-04-02	120	42.0	1.0	11	36.4	235							
2015-04-02	125	42.0	1.0	11	36.4	245							
2015-04-02	130	42.0	1.0	11	36.4	255							
2015-04-02	135	42.0	1.0	11	36.4	265							
2015-04-02	140	42.0	1.0	11	36.4	275							
2015-04-02	145	42.0	1.0	11	36.4	285							
2015-04-02	150	42.0	1.0	11	36.4	295							
2015-04-02	155	42.0	1.0	11	36.4	305							
2015-04-02	160	42.0	1.0	11	36.4	315							
2015-04-02	165	42.0	1.0	11	36.4	325							
2015-04-02	170	42.0	1.0	11	36.4	335							
2015-04-02	175	42.0	1.0	11	36.4	345							
2015-04-02	180	42.0	1.0	11	36.4	355							
2015-04-02	185	42.0	1.0	11	36.4	365							
2015-04-02	190	42.0	1.0	11	36.4	375							
2015-04-02	195	42.0	1.0	11	36.4	385							
2015-04-02	200	42.0	1.0	11	36.4	395							
2015-04-02	205	42.0	1.0	11	36.4	405							
2015-04-02	210	42.0	1.0	11	36.4	415							
2015-04-02	215	42.0	1.0	11	36.4	425							
2015-04-02	220	42.0	1.0	11	36.4	435							
2015-04-02	225	42.0	1.0	11	36.4	445							
2015-04-02	230	42.0	1.0	11	36.4	455							
2015-04-02	235	42.0	1.0	11	36.4	465							
2015-04-02	240	42.0	1.0	11	36.4	475							
2015-04-02	245	42.0	1.0	11	36.4	485							
2015-04-02	250	42.0	1.0	11	36.4	495							
2015-04-02	255	42.0	1.0	11	36.4	505							
2015-04-02	260	42.0	1.										

Continued by Enterprise Lighting, LTD.

Job Name:
1072 Sherman Ave - Site

Catalog Number:

SSS 20 4C DM19AS 2ST FINISH
Notes:

Type:

OA3M
See Table 1, Page 10

SSS Square Street Poles

BASE DETAIL

HANDHOLE ORIENTATION

IMPORTANT INSTALLATION NOTES:

- All cast of pole concrete must be kept moist and cured.
- Ensure supported structure must be level and square to ground.
- When lighting fixture is mounted, ensure the mounting plate is centered and the fixture is level.
- Ensure proper hand hole orientation.
- Ensure proper hand hole orientation.
- Ensure proper hand hole orientation.

NOTES: This installation is intended for general purpose use. For specific lighting requirements, please refer to the design and specifications, which may vary. This is a preliminary drawing and is subject to change.

LITHVIA LIGHTING

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Rev. 12/02/02

Submitted On: Jan 13, 2003

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Submitted by: Enterprise Lighting, LTD.

Job Name:
1817 Shuman Ave - Site

Enterprise Light

Catalog Number:
DC20VPM LED LUX 100 °K 1FT FM
MAC LUX SPUMMA STD FINISH

Type:
A Type

01/23/2024

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

See Table C-10.1

LAT	1	2	3	4	5
100	1.00	1.00	1.00	1.00	1.00
125	0.97	0.97	0.97	0.97	0.97
150	0.94	0.94	0.94	0.94	0.94
175	0.91	0.91	0.91	0.91	0.91
200	0.88	0.88	0.88	0.88	0.88

Projected LED Lumen Maintenance

Table 10.10 shows the predicted lumen maintenance for a system that is 100% LED and 100% MAC LUX SPUMMA STD FINISH. The predicted lumen maintenance is based on the following assumptions:

- 1. The system is a 100% LED system.
- 2. The system is a 100% MAC LUX SPUMMA STD FINISH system.
- 3. The system is a 100% LED system.
- 4. The system is a 100% MAC LUX SPUMMA STD FINISH system.

To calculate L70, see the lumen maintenance factor that corresponds to the distribution of operating hours. For more information, see the lumen maintenance factor table.

Operating Hours	L70	Operating Hours	L70
10,000	0.90	10,000	0.90
20,000	0.80	20,000	0.80
30,000	0.70	30,000	0.70

Electrical Load

Type	Wattage	Voltage					
		120V	180V	240V	360V	480V	600V
100	100W	1.00	0.50	0.33	0.20	0.17	0.17
150	150W	1.50	0.75	0.50	0.30	0.25	0.25
200	200W	2.00	1.00	0.67	0.40	0.33	0.33
300	300W	3.00	1.50	1.00	0.60	0.50	0.50
400	400W	4.00	2.00	1.33	0.80	0.67	0.67
500	500W	5.00	2.50	1.67	1.00	0.83	0.83

Photometric Diagrams

See table for the DC20VPM LED LUX 100 °K 1FT FM. Diagrams are in units of footcandle (ftC).

Legend:

- 0.5 ftC
- 1.0 ftC
- 1.5 ftC

To see complete photometric reports or download, see files for the product, visit Lighting.Lighting.com.
Lighting.Lighting.com

100W
120V
180V
240V
360V
480V
600V

150W
120V
180V
240V
360V
480V
600V

200W
120V
180V
240V
360V
480V
600V

300W
120V
180V
240V
360V
480V
600V

400W
120V
180V
240V
360V
480V
600V

500W
120V
180V
240V
360V
480V
600V

ENTERPRISE LIGHTING

COMMERCIAL OUTDOOR

One Lighthouse Way • Corona, Georgia 30016 • Phone: 1-800-1-755-5738 • www.lighting.com

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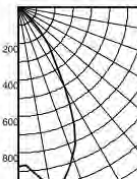
DC20VPM LED LUX 100 °K 1FT FM
Page 1 of 1

Submitted On Jan 13, 2023


3/4

Index

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	Address: 30 Science Landing, 4 th Fl. Job Name: LBN 1007 - Sherman Ave - Site Lithonia Lighting		Catalog Number: LDN17170 LOGAN LSS INVOLT (SCT1) Notes:		Type: OD 6.125" Dia. (156mm)																																																																																																																																																																																																																																																																																																																												
	LDN6																																																																																																																																																																																																																																																																																																																																
PHOTOMETRY																																																																																																																																																																																																																																																																																																																																	
Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Beamspread Data at 30° Beam Throw for a 570W Luminaire																																																																																																																																																																																																																																																																																																																													
LDN6 35/70 LOGAN, input watts: 70.44, delivered lumens: 987.8, LM/W = 94.54, spacing criterion at $\theta = 1.02$, test no. SF 30710P262.																																																																																																																																																																																																																																																																																																																																	
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Authorized by Cree Lighting, LTD.
 Luminaire Light





Job Name:
 1017 Zhongnan Ave. - Site

Catalog No:
 WPX1 LED P2™ 4xK MVOLT STD
 Finish:

Type:
 01-10-000000

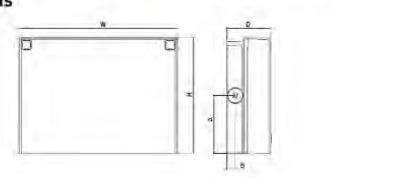


WPX LED
 Wall Packs





 20

Watts
 Volts
 Amps
 Feet
 Feet
 Feet

Specifications



Introduction
 The WPX LED wall packs are energy efficient, cost effective, and aesthetically appealing solutions for both HD wall-pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,500 to 3,000 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HD wall pack they replace, providing a better installation and an upgraded appearance. Available IP66 construction and 5-year warranty make WPX ideal for long-term life cycle. Photocell and emergency alarm battery options make WPX ideal for every application.

Ordering Information

EXAMPLE: WPX1 LED 4xK MVOLT DDBD

Size	Finish	Watts	Volts	Amps	Feet	Feet	Feet	Order
WPX1	4xK MVOLT STD	1500	120V	12.5A	10'	10'	10'	WPX1 1500 120V 12.5A 10' 10' 10'
WPX2	4xK MVOLT STD	2000	120V	16.7A	10'	10'	10'	WPX2 2000 120V 16.7A 10' 10' 10'
WPX2	4xK MVOLT STD	3000	120V	25.0A	10'	10'	10'	WPX2 3000 120V 25.0A 10' 10' 10'

Note: The lumens output and input power listed in the following table are average approximations of all configurations. Specific values are sensitive to regional differences in certification agencies.

NOTE: WPX wall packs with 4xK output are available in standard (STD) and dimmable (DDBD) versions. WPX wall packs with 4xK output are available in standard (STD) and dimmable (DDBD) versions. WPX wall packs with 4xK output are available in standard (STD) and dimmable (DDBD) versions.

FEATURES & SPECIFICATIONS

GENERAL USE: WPX LED wall packs are designed to provide a wide range of lighting solutions for both HD wall-pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,500 to 3,000 lumens with a wide, uniform distribution.

CONSTRUCTION: WPX LED wall packs are constructed from high quality, durable materials. The WPX LED wall packs are available in three sizes: 1,500, 2,000, and 3,000 lumens. The WPX LED wall packs are available in three finishes: 4xK MVOLT STD, 4xK MVOLT DDBD, and 4xK MVOLT DDBD.

ELECTRICAL: WPX LED wall packs are designed to provide a wide range of lighting solutions for both HD wall-pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,500 to 3,000 lumens with a wide, uniform distribution.

WARRANTY: WPX LED wall packs are covered by a 5-year warranty. The warranty covers the LED chips, the driver, and the housing. The warranty does not cover the lens or the mounting hardware.

INSTALLATION: WPX LED wall packs are designed to provide a wide range of lighting solutions for both HD wall-pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,500 to 3,000 lumens with a wide, uniform distribution.

ENVIRONMENTAL: WPX LED wall packs are designed to provide a wide range of lighting solutions for both HD wall-pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,500 to 3,000 lumens with a wide, uniform distribution.

ACCESSORIES: WPX LED wall packs are designed to provide a wide range of lighting solutions for both HD wall-pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,500 to 3,000 lumens with a wide, uniform distribution.

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**Potter
Lawson**
Success by **Design**

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Lighting by Lithonia Lighting, LTD.
Job Name:
 167 Sherman Ave. -
 Waterbury Light

Catalog Item:
 DOWXL1 LED 20C 1000°K T28
 MSLT STD FR834
 Notes

Type:
OW2
 2.12.13-10.0134

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

LAT	1.0	1.1	1.2	1.3	1.4	1.5
100°F	1.00	0.98	0.95	0.92	0.89	0.86
110°F	0.98	0.96	0.93	0.90	0.87	0.84
120°F	0.95	0.93	0.90	0.87	0.84	0.81
130°F	0.92	0.90	0.87	0.84	0.81	0.78
140°F	0.89	0.87	0.84	0.81	0.78	0.75
150°F	0.86	0.84	0.81	0.78	0.75	0.72

Projected LED Lumen Maintenance

For more information on Lumen Maintenance, please visit: [www.lithonia.com/LED/Lumen Maintenance](http://www.lithonia.com/LED/Lumen%20Maintenance)

Hours	10,000	20,000	30,000	40,000
LM70	90	80	70	60
LM80	95	85	75	65

Electrical Load

		Lumen (lm)				
		1,000	2,000	3,000	4,000	5,000
HSE	1000	0.00	0.00	0.00	0.00	0.00
	2000	0.00	0.00	0.00	0.00	0.00
HSE	1000	0.00	0.00	0.00	0.00	0.00
	2000	0.00	0.00	0.00	0.00	0.00
HSE	1000	0.00	0.00	0.00	0.00	0.00
	2000	0.00	0.00	0.00	0.00	0.00
HSE	1000	0.00	0.00	0.00	0.00	0.00
	2000	0.00	0.00	0.00	0.00	0.00
HSE	1000	0.00	0.00	0.00	0.00	0.00
	2000	0.00	0.00	0.00	0.00	0.00
HSE	1000	0.00	0.00	0.00	0.00	0.00
	2000	0.00	0.00	0.00	0.00	0.00

Relative Color Shift Settings

File Name	Relative Color Shift	Relative Color Shift	Relative Color Shift	Relative Color Shift	Relative Color Shift
TRC0101-0709-0128	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue
TRC0101-0709-0128	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue

Resonance Diagram

For more information on Resonance Diagrams, please visit: [www.lithonia.com/LED/Resonance Diagram](http://www.lithonia.com/LED/Resonance%20Diagram)

File Name	Resonance Diagram	Resonance Diagram	Resonance Diagram	Resonance Diagram	Resonance Diagram
TRC0101-0709-0128	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue
TRC0101-0709-0128	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue

For more information on Resonance Diagrams, please visit: [www.lithonia.com/LED/Resonance Diagram](http://www.lithonia.com/LED/Resonance%20Diagram)

File Name	Resonance Diagram	Resonance Diagram	Resonance Diagram	Resonance Diagram	Resonance Diagram
TRC0101-0709-0128	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue
TRC0101-0709-0128	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue	0.25% Blue

Options & Accessories

LEADER

1.0
0.5
0.25
0.125

LEADER


1.0
0.5
0.25
0.125

LEADER


1.0
0.5
0.25
0.125

LEADER


1.0
0.5
0.25
0.125




100' Stand




H1 - Haze-free glass



H2F - Haze-free glass



H3 - Haze-free glass



H4 - Haze-free glass

FEATURES & SPECIFICATIONS

RECESSED USE

For more information on Recessed Use, please visit: [www.lithonia.com/LED/Recessed Use](http://www.lithonia.com/LED/Recessed%20Use)

CONNECTIONS

For more information on Connections, please visit: www.lithonia.com/LED/Connections

FINISH

For more information on Finish, please visit: www.lithonia.com/LED/Finish

PAINT

For more information on Paint, please visit: www.lithonia.com/LED/Paint

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PAINT

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PAINT

For more information on Paint



PRELIMINARY
NOT FOR CONSTRUCTION

1617 SHERMAN AVE

VERMILION

1617 SHERMAN AVE
MADISON, WI 53704

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LIGHTING CUT SHEETS

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