

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

**AGENDA ITEM # _____
Project # _____**

DATE SUBMITTED: <u>11.09.05</u>	Action Requested
UDC MEETING DATE: <u>11.16.05</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 33 S. BROOM STREET

ALDERMANIC DISTRICT: 4

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
THE ALEXANDER CO., INC. Same as owner
145 E. PADGER ROAD #200
MADISON, WI 53713

CONTACT PERSON: THOMAS MILLER
Address: 145 E. PADGER ROAD
MADISON, WI 53713
Phone: 608.258.5580
Fax: 608.258.5599
E-mail address: tom@alexandercompany.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



33 SOUTH BROOM STREET
MADISON, WISCONSIN

DEVELOPER/ARCHITECT

THE ALEXANDER COMPANY
ATTN.: THOMAS MILLER
145 E. BADGER ROAD, SUITE 200
MADISON, WI 53713
608.258.5580 PHONE
608.258.5599 FAX

LANDSCAPE ARCHITECT/
CIVIL ENGINEER

JJR
ATTN.: NATHAN NOVAK
625 WILLIAMSON STREET
MADISON, WI 53703
608.251.1177 PHONE
608.251.6147 FAX

URBAN DESIGN
COMMISSION SUBMITTAL
NOVEMBER 9, 2005

SITE INFORMATION

TOTAL SITE AREA: APPROX. 13,913 S.F. (0.32 ACRES)
BUILDING FOOTPRINT: APPROX. 6,800 S.F.
LANDSCAPED AREA: APPROX. 2,168 S.F.
IMPERVIOUS AREA: APPROX. 11,704 S.F.

BUILDING INFORMATION

USE/OCCUPANCY: RESIDENTIAL CONDOMINIUMS
GROSS SQUARE FOOTAGE: 4 STORIES + MEZZANINE;
APPROX. 6800 S.F. FOOTPRINT
APPROX. 27,250 TOTAL G.S.F.

UNIT INFORMATION:

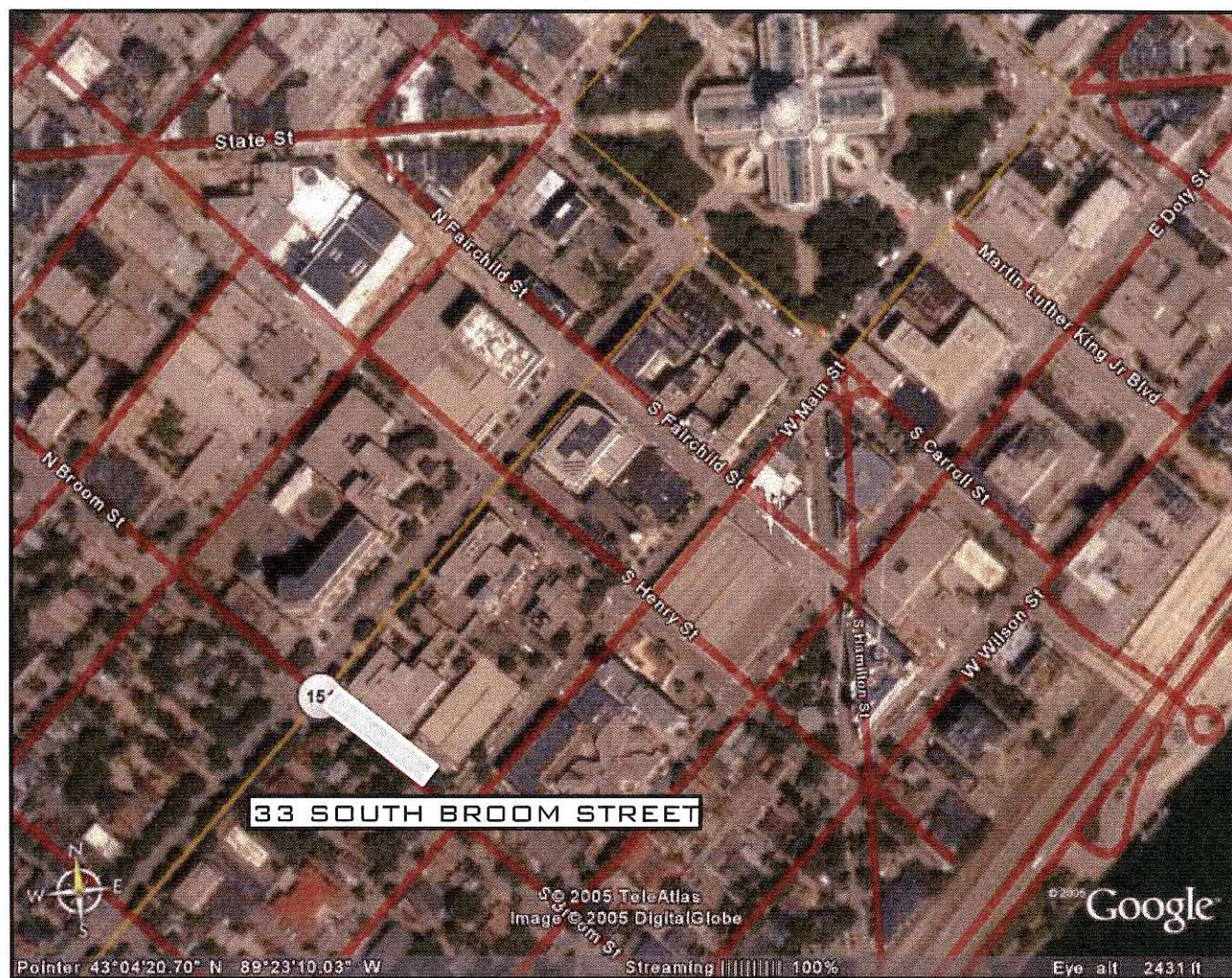
	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR
1 BR:	4	2	2	2
1 BR IZ:	1			
2 BR:	2	3	3	3
2 BR IZ:	1			
	8	5	5	5
				23

TOTAL NUMBER OF UNITS: 23
TOTAL NUMBER OF BEDROOMS: 35

PARKING

AUTOMOBILE ALL PARKING FOR THE BROOM STREET LOFTS IS ACCOMMODATED IN THE ADJACENT PARKING STRUCTURE PER PREVIOUSLY APPROVED SIP
BICYCLE ACCOMMODATED IN THE ADJACENT PARKING STRUCTURE

PROJECT LOCATION



- C100 - EXISTING CONDITIONS
- C101 - EXISTING CONDITIONS 2
- C102 - LAYOUT PLAN
- C103 - GRADING PLAN
- C104 - UTILITY PLAN
- C105 - LANDSCAPE PLAN
- C106 - ELECTRICAL SITE PLAN

- A0.0 - SITE PHOTOS
- A0.1 - MATERIAL EXAMPLES
- A1.0 - OVERALL DEVELOPMENT PLAN
- A1.1 - 1ST, 2ND, 3RD FLOOR PLAN
- A1.2 - 4TH FLOOR PLAN AND ROOF PLAN
- A4.1 - BUILDING ELEVATIONS

**CAPITOL WEST
BROOM ST. SIP**

BROOM ST. & W.
WASHINGTON AVE.

Owner:
**ALEXANDER
COMPANY, INC**

JJR architecture
interior design
civil engineering
environmental science

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www.jjr-us.com

ISSUED FOR	REV	DATE
Neighborhood Review		10/04/2005
Client Review		10/12/2005
RUD-SIP Submittal		10/26/2005

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
EXISTING CONDITIONS

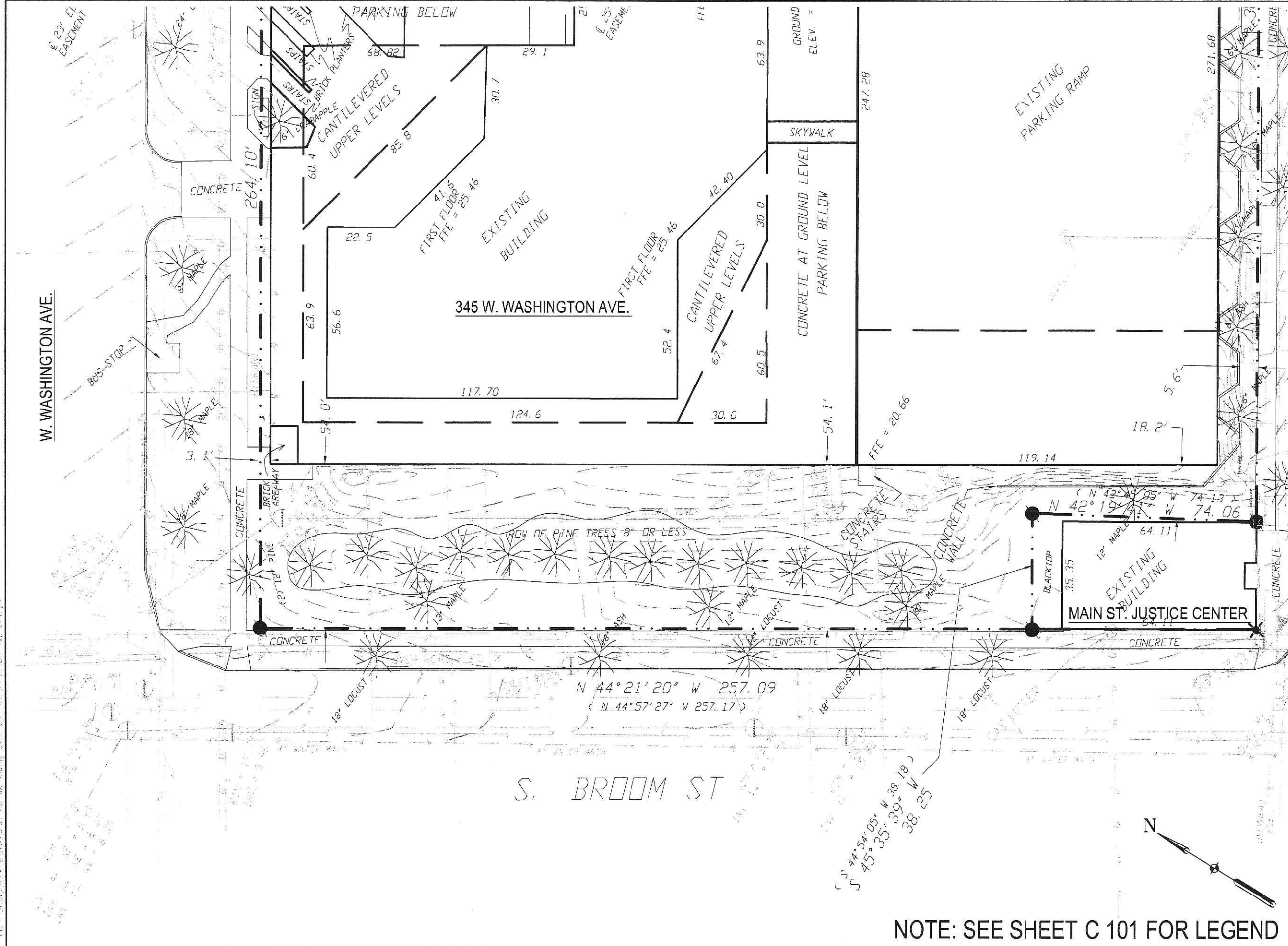
SCALE
0 7.5' 15' 30'
SCALE IN FEET
SCALE 1 : 30

SCALE
24589.000

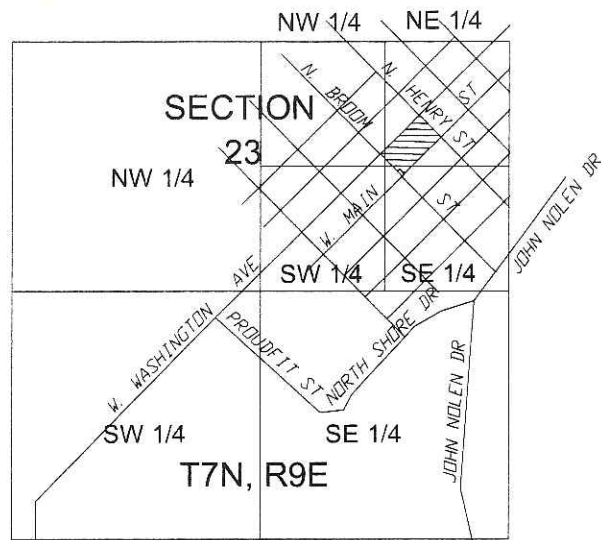
PROJECT NUMBER
C 100

DRAWING NUMBER

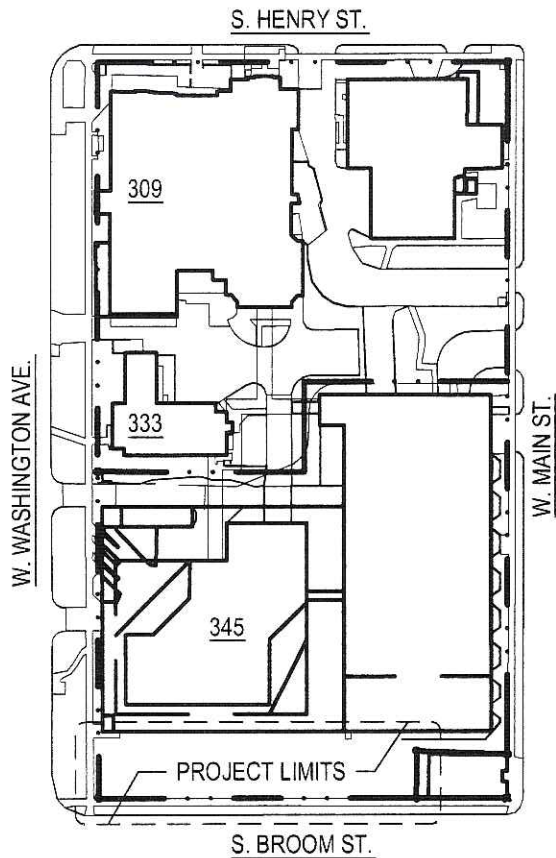
NOTE: SEE SHEET C 101 FOR LEGEND



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1 LOCATION MAP
NOT TO SCALE



2 VICINITY MAP
NOT TO SCALE

BLOCK 51 GDP LEGAL DESCRIPTION:

a portion of the SE 1/4, NW 1/4 and NE 1/4 of the NE 1/4 all in Section 23, T7N, R9E, City of Madison, Dane County, Wisconsin being all of Lots 5, 6, 7, 8, 9, 10, 11, 12 and that part of Lot 13 lying Northeast of Methodist-Jackson Medical Condominium, Block 51, Original Plat of Madison, and Unit 1, Methodist-Jackson Medical Condominium, also being Units 2, 3 and 4, Methodist-Jackson Medical Condominium.

BROOM ST. SIP DESCRIPTION:

The Broom St. lot is part of Lot 1 of CSM 11143.

SURVEY PREPARED BY:

WILLIAMSON SURVEYING COMPANY
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN 53597
PHONE 1 - (608) - 255 - 5705

A. L. T. A. SURVEY

LOCATED IN PART OF BLOCK 51, PRITCHETTE PLAT OF THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

DATE 7-23-04 CHECKED BY REW

NOTES:

ALL OVERHEAD AND UNDERGROUND UTILITIES SHOWN ON THE MAP ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR ESTABLISHED FROM PLANS PROVIDED BY UTILITY COMPANIES, CITY ENGINEERS, OR SURVEY MAP BY ROBERT A. RICHARDSON, THE SURVEYOR CAN CERTIFY ONLY TO THE LOCATION OF UTILITIES AS PROVIDED BY OTHERS, EXCEPT WHERE SNOW AND OTHER OBSTACLES MAY HAVE OBSCURED THE LOCATION OF THE UTILITIES. CONTRACTOR TO FIELD VERIFY.

REFER TO SEPARATELY RECORDED PRIVATE SANITARY EASEMENTS BENEFITING LOT 2 ACROSS LOTS 1 AND 3.

ELEVATIONS ARE REFERENCED TO CITY DATUM.

PARCEL AREA: APPROXIMATELY 0.32 ACRES

LEGEND:

- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- ⊗ = FOUND 3/4" REBAR
- ⊙ = FOUND DRILLED HOLE IN CONCRETE
- (##) = RECORDED AS
- ⊙ = GAS VALVE
- ⊗ = BOLLARD
- ⊞ = SERVICE VAULT
- * = LIGHT POLE
- ⊕ = PARKING METER
- ⊘ = MAN HOLE
- ▲ = FIRE HYDRANT
- △ = WATER VALVE
- + = STREET OR PARKING SIGN
- ⊠ = UTILITY BOX
- ⊞ = DRAINAGE INLET
- △ = VENT OR UNIDENTIFIED PIPE
- TOW = TOP OF WALL
- ⊙ = AIR SHAFT VENT
- ▭ = BLACK TOP
- = CONCRETE CURB
- ⊗ = TREE
- X 28.1 = SPOT ELEVATION (AS NOTED)
- E — E — = UNDERGROUND ELECTRIC
- F — F — = UNDERGROUND FIBER OPTIC
- G — G — G — = UNDERGROUND GAS LINE
- S — S — = UNDERGROUND SANITARY SEWER
- ST — = UNDERGROUND STORM SEWER
- T — T — T — = UNDERGROUND TELEPHONE
- W — W — W — = UNDERGROUND WATER
- — — = PROPERTY LINE

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PUD-SIP Submittal	—	10/26/2005

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
EXISTING CONDITIONS 2

SCALE
NOT TO SCALE
24589.000

PROJECT NUMBER
C 101

DRAWING NUMBER

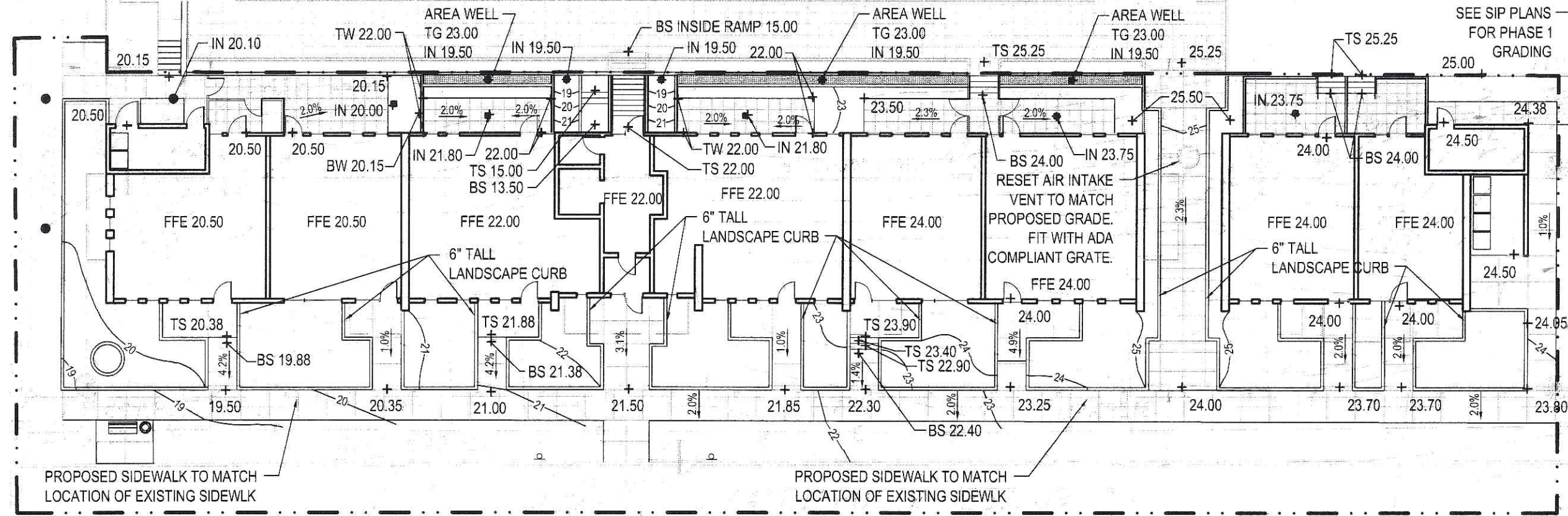


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PLD-SIP Submittal		10/26/2005

SEALS AND SIGNATURES

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- LEGEND:**
- TW TOP OF WALL
 - BW BOTTOM OF WALL
 - TS TOP OF STEP
 - BS BOTTOM OF STEP
 - IN INLET ELEVATION
 - TG TOP OF GRATE (AREAL WELL ADJACENT TO EXISTING PARKING DECK ONLY.)
 - MANHOLE
 - YARD INLET

DRAWING TITLE
GRADING PLAN

SCALE IN FEET
SCALE 1 : 20

SCALE 24589.000

PROJECT NUMBER
C 103

DRAWING NUMBER

**CAPITOL WEST
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SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
UTILITY PLAN

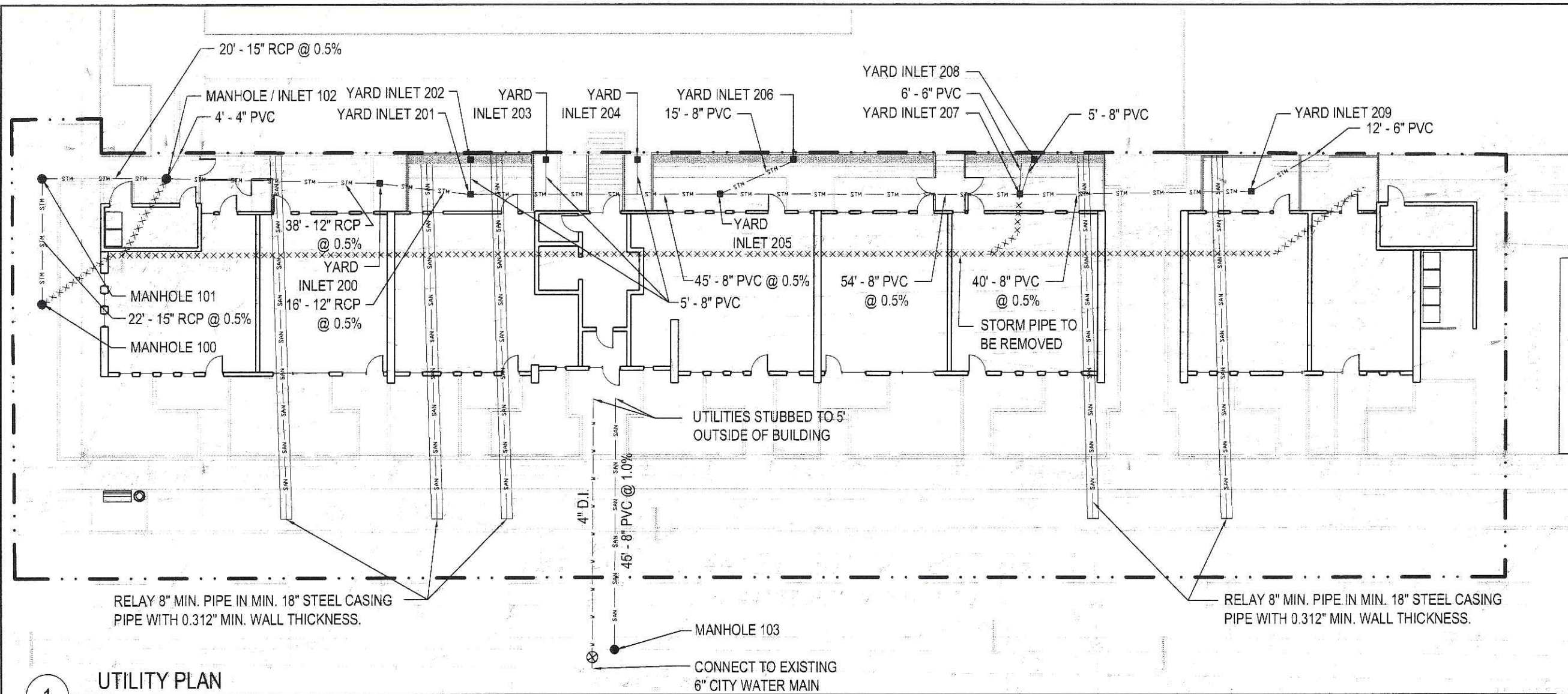
0 5' 10' 20'
SCALE IN FEET
SCALE 1 : 20

SCALE 24589.000

PROJECT NUMBER

C 104

DRAWING NUMBER



1 UTILITY PLAN
1" = 20'

STRUCTURE TABLE

MANHOLE / YARD INLET	RIM ELEV.	INVERT ELEV.
100	19.5	EXISTING W. (15") 15.10
		NE. (15") 15.15
101	20.40	SW. (15") 15.23
		SE. (15") 15.28
102	20.10	E. (15") 15.40
		NW. (15") 15.35
		SE. (12") 15.43
103	23.00	EXISTING NW. (10") 5.70
		EXISTING SE. (10") 5.80
		NE. (8") 6.70
200	20.00	NW. (12") 15.62
		SE. (12") 15.62

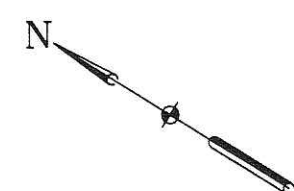
201	21.80	NW. (12") 15.70
		NE. (8") 16.30
		SE. (12") 15.70
202	19.50	SE. (8") 16.50
203	19.50	SE. (8") 16.50
204	19.50	SE. (8") 16.50
205	21.80	NW. (8") 15.93
		E. (8") 16.20
		SE. (8") 15.98
206	19.50	NW. (8") 16.50
207	23.75	NW. (8") 16.22
		NE. (6") 16.50
		E. (8") 16.40
		SE. (8") 16.22
208	19.50	W. (8") 16.50
209	23.75	NW. (8") 16.40
		SE. (8") 16.50

LEGEND

- XXXXXXXXXX- UTILITY DEMO
- SAN - SAN - SANITARY LINE
- STM - STM - STORM LINE
- W - W - WATER LINE
- MANHOLE
- YARD INLET

NOTE:

1. GAS AND ELECTRIC TO BE PROVIDED TO BUILDING MECHANICAL ROOM BY MG&E. CONTRACTOR TO COORDINATE UTILITY WORK.
2. ALL STRUCTURE UTILITIES TO BE ROUTED TO UTILITY ROOM
3. ALL PROPOSED UTILITIES TO BE STUBBED TO WITHIN 5' OF THE PROPOSED BUILDING, TYP.

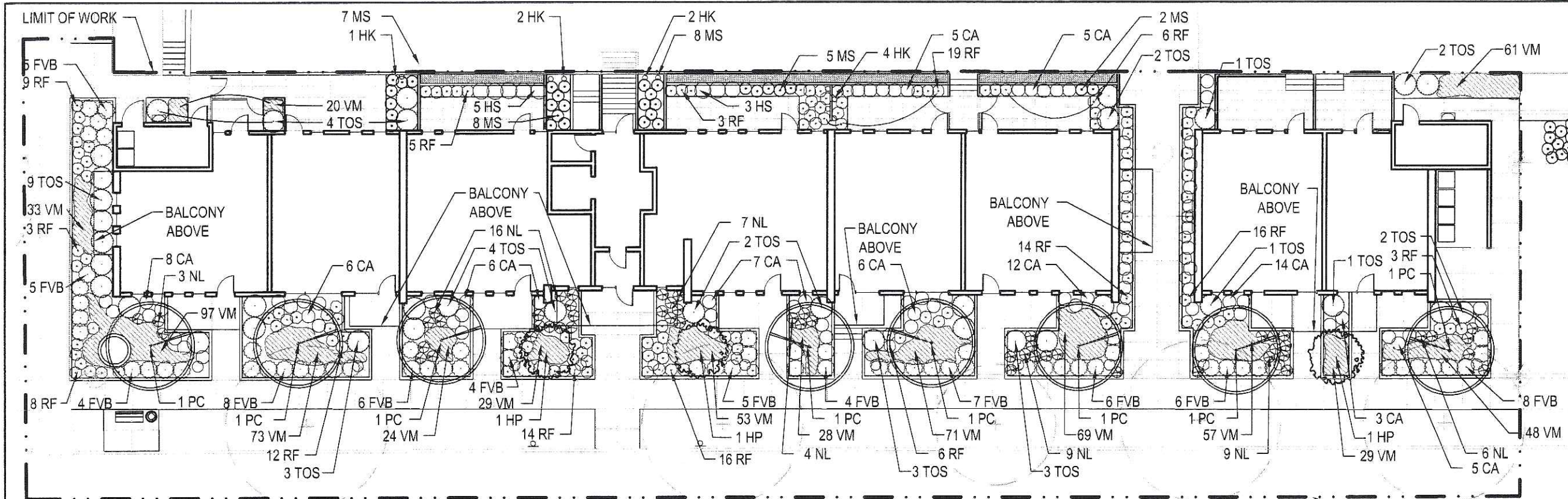


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NOTE: ALL TREES IN CITY TERRACE SHALL BE REVIEWED AND APPROVED BY CITY FORESTRY AND SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.

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KEY PLAN

DRAWING TITLE
LANDSCAPE PLAN

SCALE IN FEET
SCALE 1 : 20

SCALE 24589.000

PROJECT NUMBER

C 105

DRAWING NUMBER

PLANT LIST

SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	SPACING	PLANT GROWTH COMMENTS
ORNAMENTAL TREES							
HP	<i>Hydrangea paniculata</i> 'Unique'	Unique Hydrangea on Standard	1"	BB	3	See Plan	10'-12" Height, 10' Spread
PC	<i>Pyrus calleryana</i> 'Glen's Form'	Chanticleer Pear	1 1/2"	BB	8	See Plan	25'-30" Height, 12'-15' Spread
DECIDUOUS SHRUBS							
FVB	<i>Forsythia viridissima</i> 'Bronxensis'	Dwarf Forsythia	24" Ht.	CONT.	68	42" O.C., See Plan	2-3' Height and Spread
EVERGREEN SHRUBS							
TOS	<i>Thuja Occidentalis</i> 'Smaragd'	Smaragd Emerald Arborvitae	5' Ht.	BB	37	See Plan	10'15' Max. height, slow growth
GROUNDCOVERS AND PERENNIALS							
HK	<i>Actinidia arguta</i>	Hardy Kiwi Vine	1 gal.	CONT.	9	See Plan	
CA	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	CONT.	77	24" OC	4'-5' Height, 2'-3' Spread
HS	<i>Hosta</i> 'Sum and Substance'	Sum and Substance Hosta	1 gal.	CONT.	8	36" OC	24" Height, 24"-36" Spread
MS	<i>Matteuccia struthioptersis</i>	Ostrich Fern	1 gal.	CONT.	30	24" OC	3'-5' Height, 12"-24" Spread
NL	<i>Nepeta x faassenii</i>	Walker's Low Catmint	1 gal.	CONT.	54	24" OC	24" Height, 24" Spread
RF	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-eyed-Susan	1 gal.	CONT.	135	24" OC	24" Height, 18" Spread
VM	<i>Vinca Minor</i>	Periwinkle	4" Cont.	CONT.	692	12" OC	Mat groundcover 1'-2' Spread

LANDSCAPE REQUIREMENT CHART

I. NUMBER OF TREES REQUIRED:
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of the worksheet, determine the number of trees required. (Example: 1 tree is required for 10 parking stalls.)
Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls. (Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points.)

NUMBER OF PARKING STALLS _____ 0
TOTAL SQUARE FOOTAGE OF THE STORAGE AREA DIVIDED BY THREE HUNDRED (300) SQUARE FEET _____ 0
NUMBER OF CANOPY SHADE TREES REQUIRED (2"-2 1/2" CALIPER) Manufacturing / Industrial (60% of requirement above) _____ 0

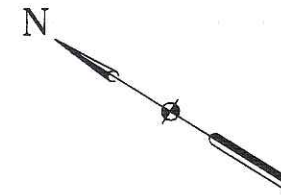
II. NUMBER OF LANDSCAPE POINTS REQUIRED:
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls.) A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.
The number of points required for loading areas is (75) points for each loading berth.

NUMBER OF POINTS REQUIRED _____ 0
Manufacturing / Industrial (60% of requirement above) _____ 0

TABULATION OF POINTS AND CREDITS
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

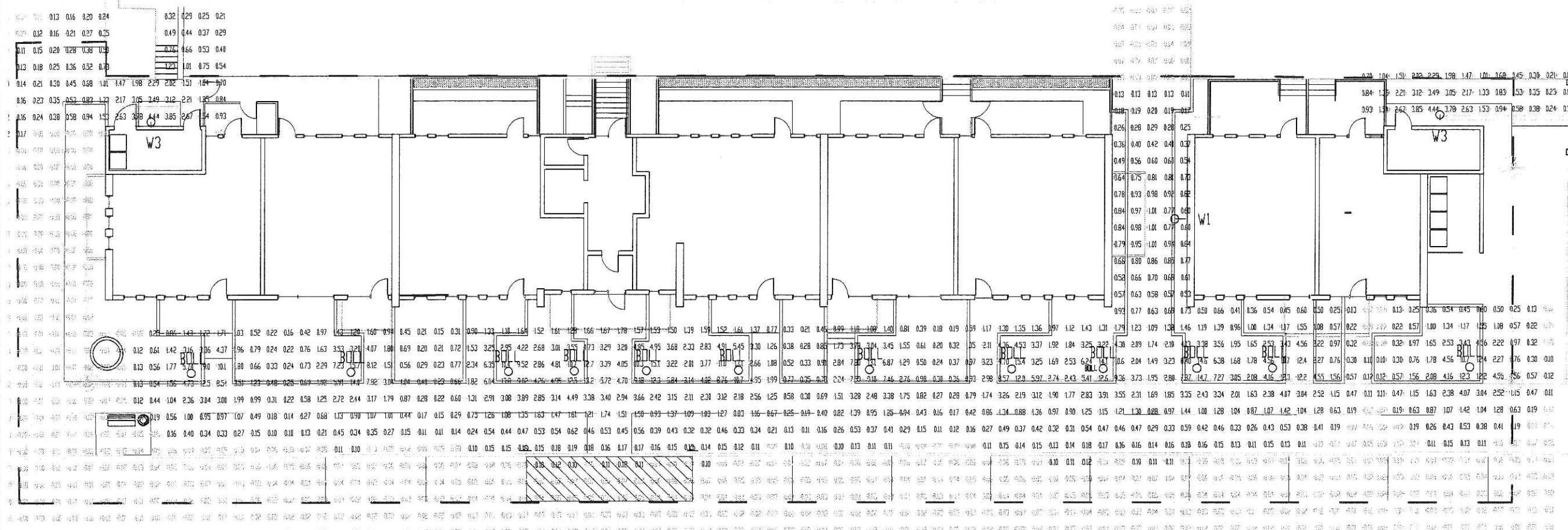
ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS QUANT.	POINTS
Canopy Tree - 2"-2 1/2" * *	35	0	0	0	0
Deciduous Shrub	2	0	0	0	0
Evergreen Shrub	3	0	0	0	0
Decorative wall or Fence (per) 10 L.F.	5	0	0	0	0
Earth Berm (per 10 L.F.) Ave. Height 30" Ave. Height 15"	5 2	0	0	0	0
Evergreen Trees 3 - ft. height min.	15	0	0	0	0
Canopy Tree or Small Tree 1 1/2" - 2" Cal. (i.e., Crab-, Hawthorn)	15	0	0	0	0
* Trees required in Part I above, are not to be included in the point count.					TOTAL
					0

* Note: All parking is accommodated within existing, covered parking structure. Proposed development will screen the parking structure entirely. Parking structure is not an open facility. Area wells and screen mesh provide air ventilation. See Phase 1 SIP package for entire block development for parking stall approvals. No new parking is associated with this project.



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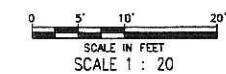
SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CALCULATION SUMMARY										
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
BroomSt	130.25x274.81Ft	Grid_Grade / H-H	1345	3.00	<+>	1.05	18.95	0.00	N/A	N/A

Block 51 LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF QTY
BOLL	o	Poulsen Lighting (1) "SB50" SAB-857-Grey	(1)	3200		0.80 11
W1	♠	SELUX CORPORATION (1) "RW10" RIT-1-H50 (RITORNO)	(1) MH50	3200		0.80 1
W3	♠	Poulsen Lighting (1) "NMW" NYW-MAX-209-WHITE	(1) Lamp catalog number	3200		0.80 2

DRAWING TITLE
SITE ELECTRICAL

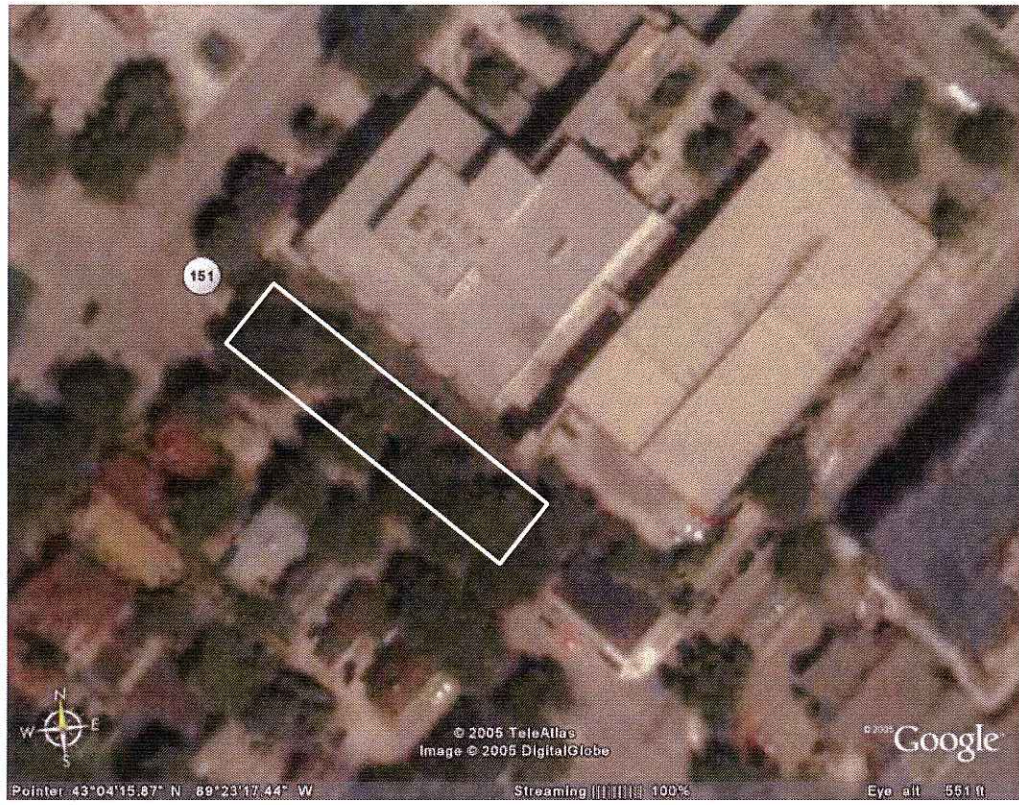


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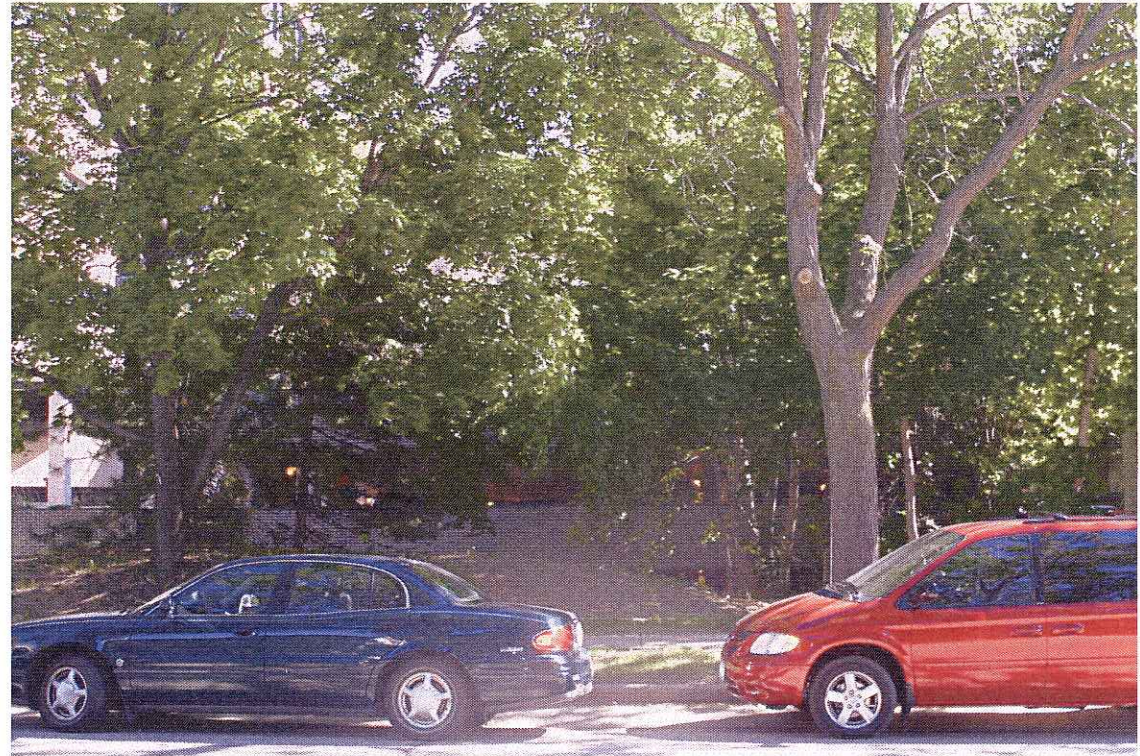
PROJECT NUMBER
C 106

DRAWING NUMBER

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AERIAL PHOTO



VIEW TO EAST FROM BROOM STREET



VIEW TO EAST FROM BROOM STREET



VIEW TO SOUTH ON BROOM STREET



VIEW OF PROPOSED WALKWAY FROM BROOM STREET

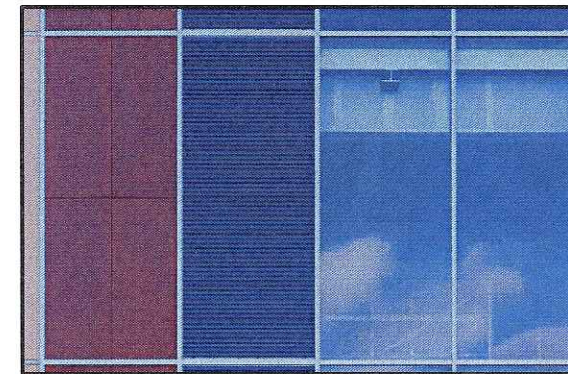
SITE PHOTOS	Alexander Company
AO.0	145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 608.258.5500



WIRE RAILING

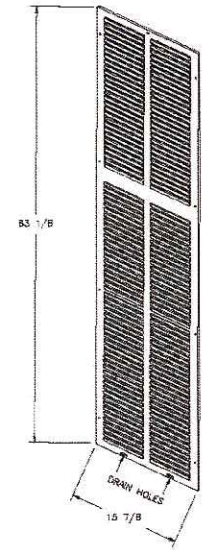


EXTERIOR MASONRY



HVAC GRILLE IN WINDOW FRAME

WALL SLEEVE GRILLE



HVAC GRILLE



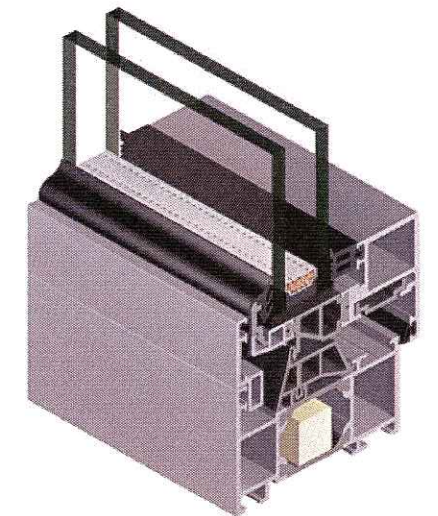
EXTERIOR CEDAR



EXTERIOR CEDAR



EXTERIOR EIFS (WHITE)



TYPICAL WINDOW

MATERIAL EXAMPLES

A0.1

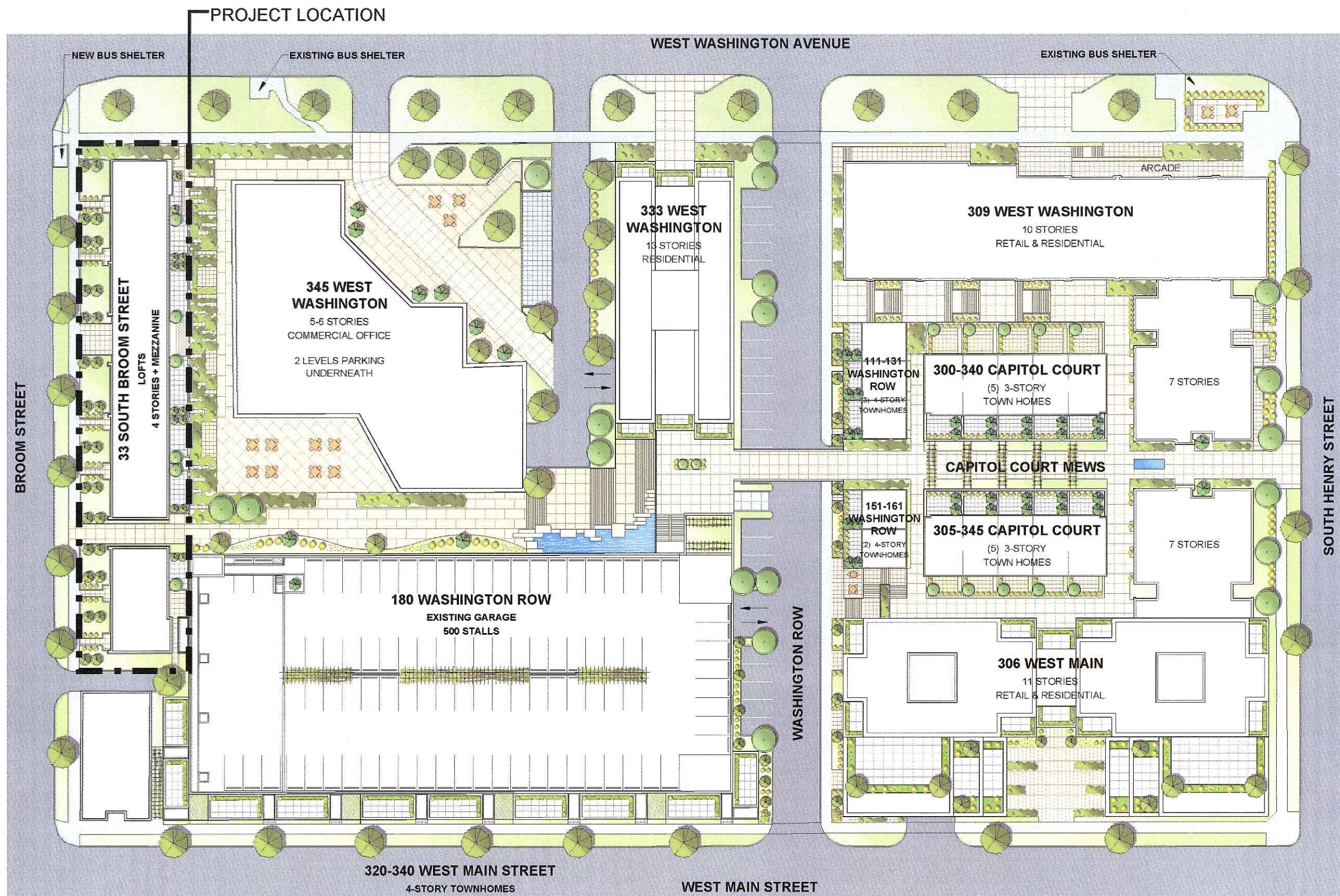
**Alexander
Company**

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**CAPITOL WEST
MADISON - BLOCK 51**

PHASE 1

NOTES:



THE ALEXANDER COMPANY

145 EAST BADGER ROAD
MADISON, WISCONSIN 53713
608-258-5580

ISSUE:

PUD/SIP NOVEMBER 2005

BROOM STREET LOFTS

DRAWING TITLE:
SITE PLAN

DWG:



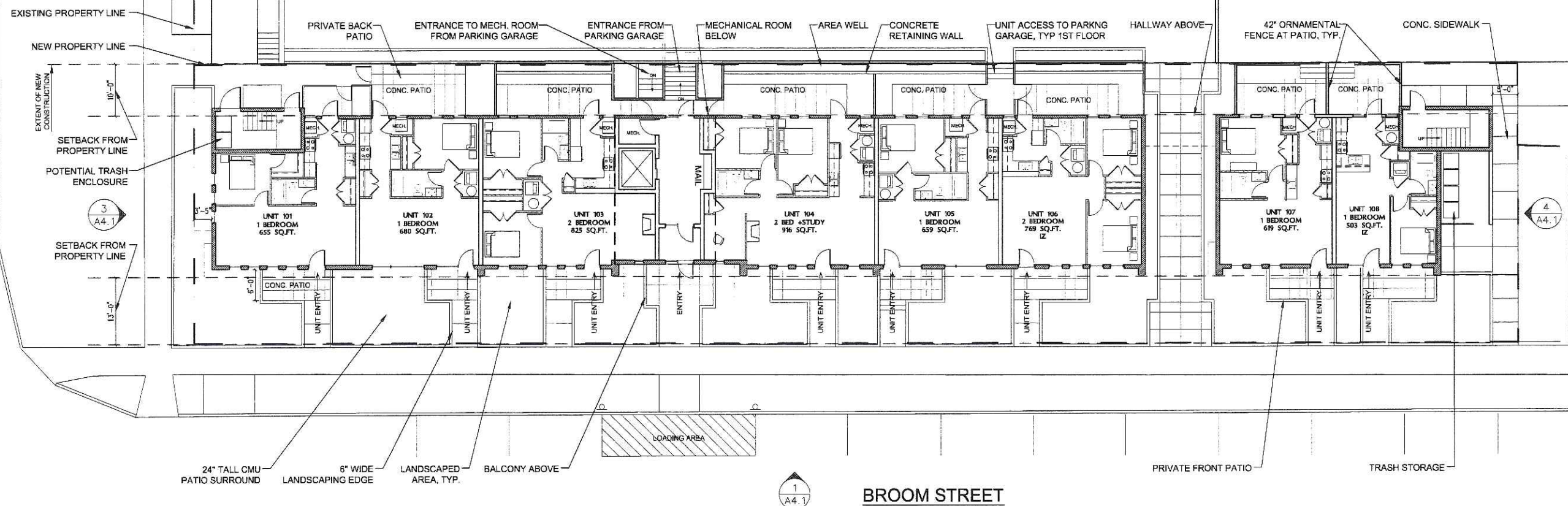
A1.0

WEST WASHINGTON AVENUE

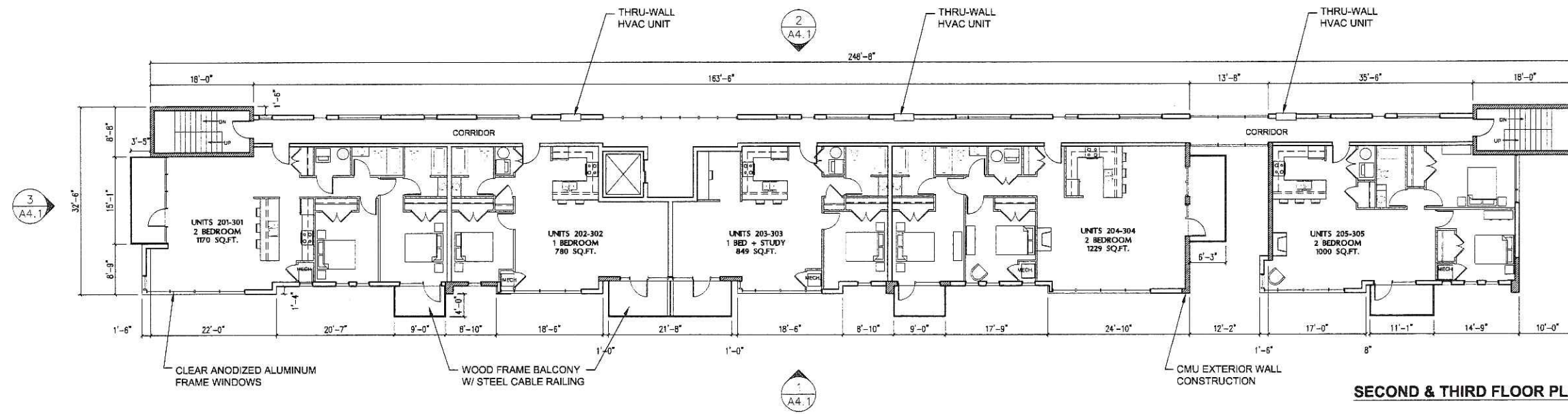
CAPITOL WEST MADISON - BLOCK 51

PHASE 1

NOTES:



FIRST FLOOR PLAN



SECOND & THIRD FLOOR PLAN

THE ALEXANDER COMPANY

145 EAST BADGER ROAD
MADISON, WISCONSIN 53713
608-258-5580

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BROOM STREET LOFTS

DRAWING TITLE:
FLOOR PLANS

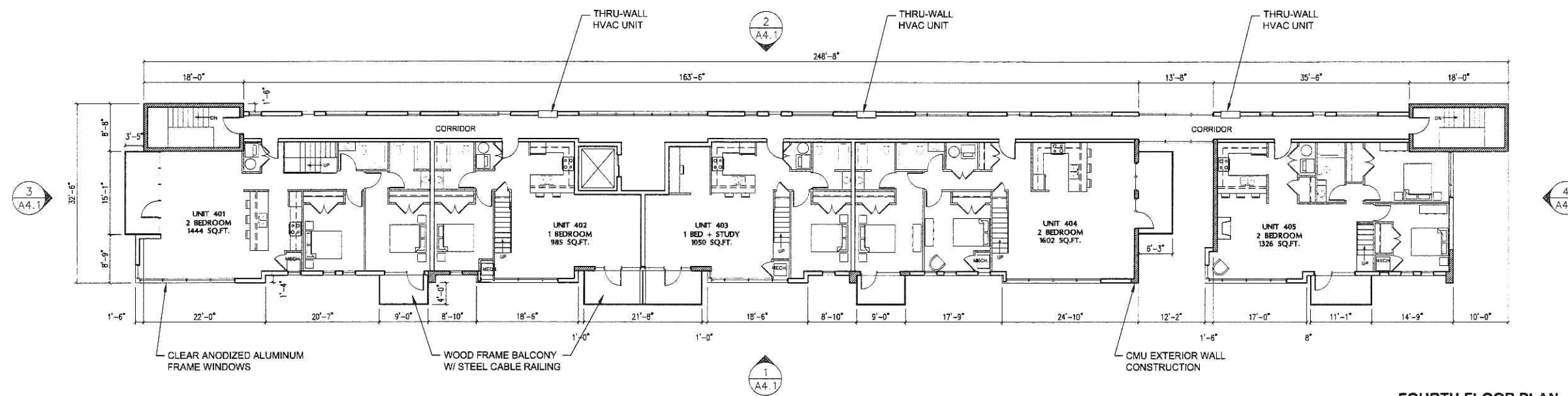
DWG:

A11

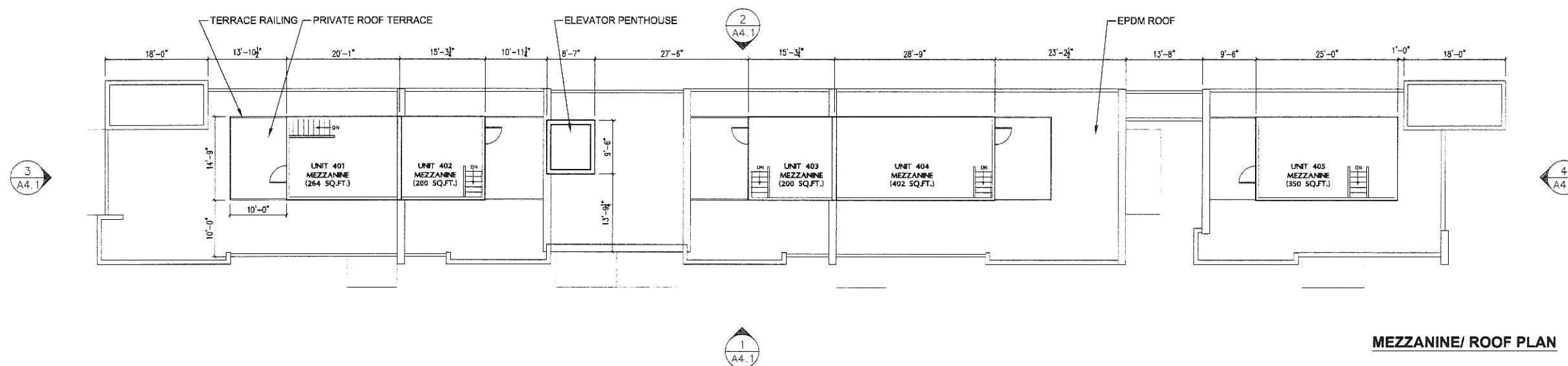
**CAPITOL WEST
MADISON - BLOCK 51**

PHASE 1

NOTES:



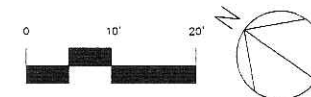
FOURTH FLOOR PLAN



MEZZANINE/ ROOF PLAN

THE ALEXANDER COMPANY

145 EAST BADGER ROAD
MADISON, WISCONSIN 53713
608-258-5580



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BROOM STREET LOFTS

DRAWING TITLE:
FLOOR PLANS

DWG:

A1.2

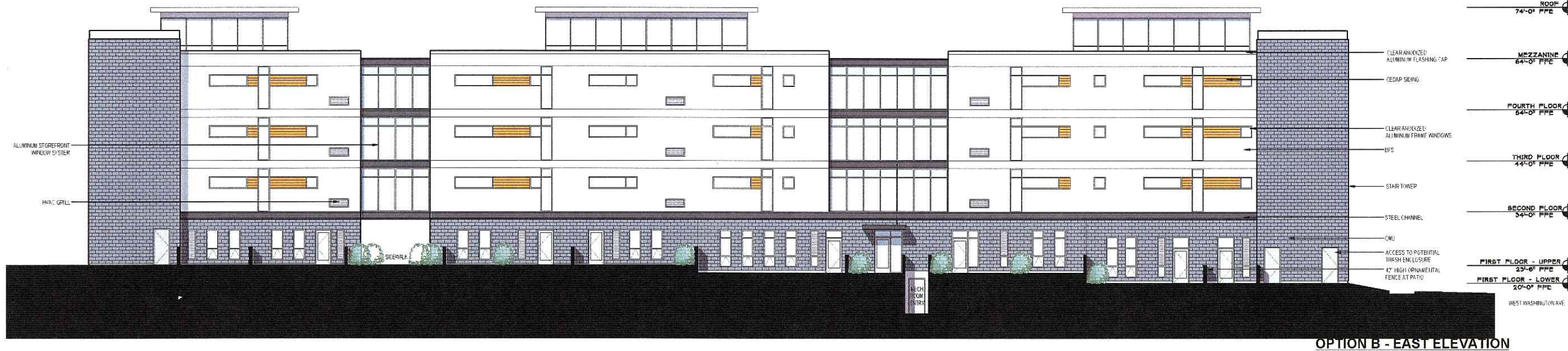
**CAPITOL WEST
MADISON - BLOCK 51**

PHASE 1

NOTES:



OPTION B - WEST ELEVATION

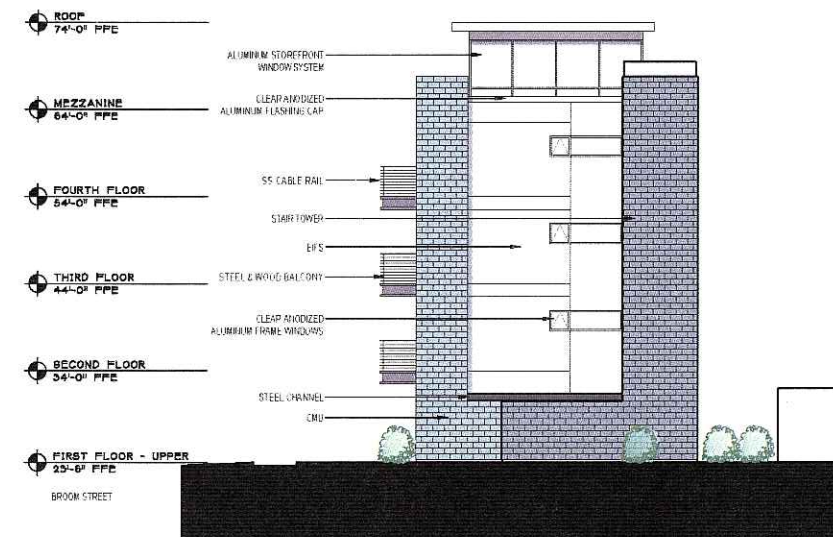


OPTION B - EAST ELEVATION

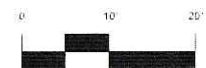
THE ALEXANDER COMPANY
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MADISON, WISCONSIN 53713
608-258-5580



OPTION B - NORTH ELEVATION



OPTION B - SOUTH ELEVATION



ISSUE:
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BROOM STREET LOFTS

DRAWING TITLE:
ELEVATIONS

DWG:

A4.1